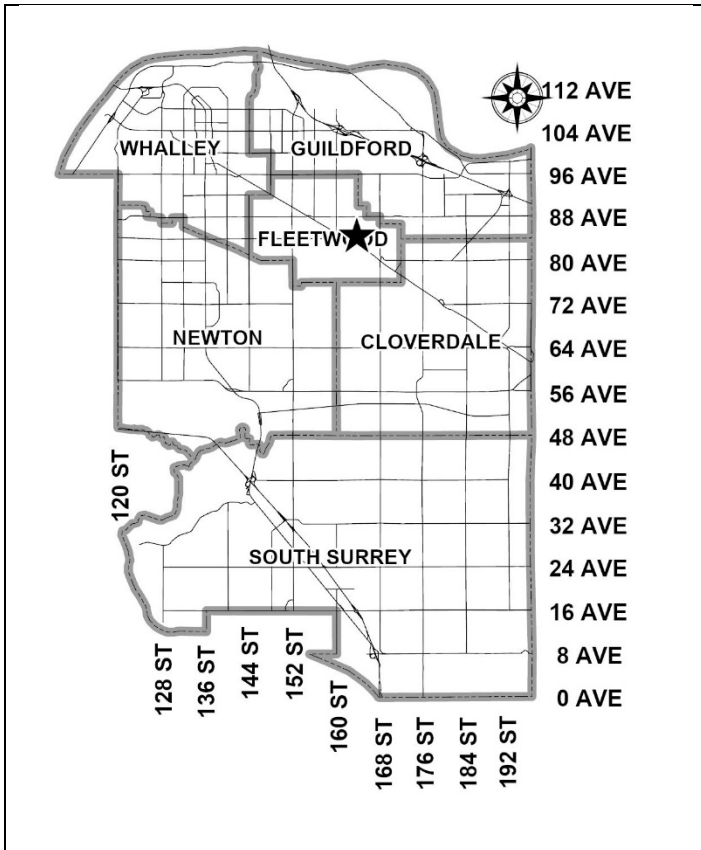


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7924-0233-00

Planning Report Date: January 27, 2025



PROPOSAL:

- **OCP Amendment** from Urban to Multiple Residential
- **OCP Text Amendment** to allow a higher density in the Multiple Residential designation
- **NCP Amendment** from Townhouse to Low Rise
- **Rezoning** from R3 to CD (based on RM-70)
- **Development Permit**

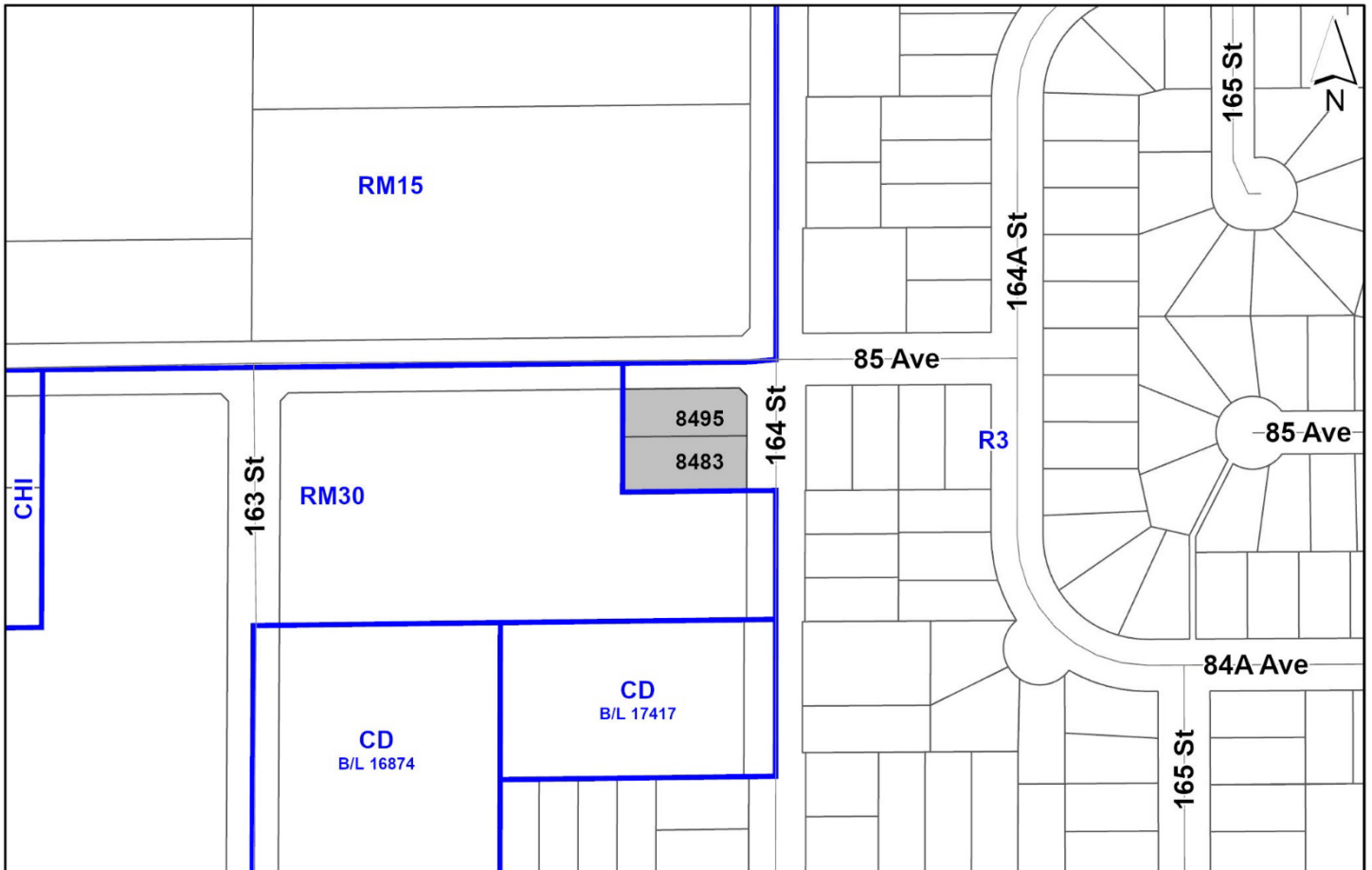
to permit the development of a 6-storey apartment building with 69 residential units.

LOCATION: 8495 - 164 Street
 8483 - 164 Street

ZONING: R3

OCP DESIGNATION: Urban

NCP DESIGNATION: Townhouse



RECOMMENDATION SUMMARY

- OCP Amendment and Rezoning By-laws to proceed to Public Notification. If supported the By-laws will be brought forward for consideration of First, Second and Third Reading.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) from "Urban" to "Multiple Residential" and a text amendment to permit a maximum density of 2.74 Floor Area Ratio (FAR) under the Multiple Residential designation.
- Proposed amendment to the Fleetwood Plan (Stage 1) from "Townhouse" to "Low Rise".

RATIONALE OF RECOMMENDATION

- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal does not comply with the Urban designation in the Official Community Plan (OCP). An OCP amendment from Urban to Multiple Residential is required for the site to allow for low-rise apartment buildings, and an OCP text amendment to permit a proposed gross Floor Area Ratio (FAR) of 2.74.
- However, the subject site is located within the Tier 3 Transit-Oriented Area (TOA) for Fleetwood Station and Bakerview-166 Street Station and complies with the Tier 3 minimum allowable density and height, with a proposed gross FAR of 2.74 and building height of 6-storeys.
- The proposed amendment to the OCP from "Urban" to "Multiple Residential" is considered to have merit given the subject site is located within a TOA and is pin an Urban Centre within the Fleetwood Plan area. The Tier 3 TOA for sites within 400-800 metres of SkyTrain stations, have a minimum allowable density of 3.0 FAR and up to 8 storeys.
- The OCP would permit a maximum 2.0 FAR at this location within the Fleetwood Plan. The proposed text amendment will increase this allowable density to 2.74 FAR (gross density), which is supportable given the relatively small size of the site, the proposed low-rise building form, and its location within a TOA.
- To accommodate the proposed development, an amendment to the Fleetwood Plan (Stage 1) is required in order to redesignate the subject properties from "Townhouse" to "Low Rise". Staff note that the surrounding neighbourhood context is three-storey townhouses and two-storey single family homes, all designated "Townhouse" in the Fleetwood Plan (Stage 1), and as such the 5th and 6th floors of the proposed building have been recessed to provide a more appropriate interface condition.

- The subject site is approximately 500 metres to the existing Frequent Transit Network (FTN) along Fraser Highway and is less than 1 kilometre away from the future Bakerview-166 Street SkyTrain Station at 166 Street and Fraser Highway. The proposal supports the objective of achieving higher-density development along transit corridors and therefore is considered appropriate for this part of the Fleetwood Plan.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the Development Permit (Form and Character) design guidelines in the OCP.
- The proposed buildings achieve an attractive architectural built form, which utilize high quality materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- In accordance with changes to the Local Government Act, Section 464, under Bill 47 (2023) a Public Hearing is not permitted for the subject Official Community Plan (OCP) amendment and rezoning application as the proposed density is consistent with Transit-Oriented Area (TOA) density and height provisions in the OCP. As such, Council is requested to endorse the Public Notification to proceed for the proposed OCP By-law and Rezoning By-law. The By-laws will be presented to Council for consideration of First, Second, and Third Reading, after the required Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the By-law readings.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a By-law to:
 - (a) amend the OCP Figure 3: General Land Use Designations, to redesignate the site from Urban to Multiple Residential (Appendix VI); and
 - (b) amend Table 7a: Land Use Designation Exceptions, by adding the following site specific notification:

Bylaw No.	Land Use Designation	Site Specific Property	Site Specific Permission
"Bylaw # xxxxx	Multiple Residential	8483 164 Street Lot 3 Section 25 Township 2 New Westminster District Plan LMP45256 8495 164 Street Lot 2 Section 25 Township 2 New Westminster District Plan LMP45256	Density permitted up to 2.74 FAR (gross density)"

2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the OCP, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. Council endorse the Public Notification to proceed for a By-law to rezone the subject site from "Urban Residential Zone (R3)" to "Comprehensive Development Zone (CD)".
4. Council authorize staff to draft Development Permit No. 7924-0233-00 generally in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision plan to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;

- (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department; and
 - (i) Council approval of Stage 2 of the Fleetwood Plan.
6. Council pass a resolution to amend the Fleetwood Plan (Stage 1) to redesignate the subject site from "Townhouse" to "Low Rise" as illustrated in Appendix V. when the project is considered for Final Adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	Fleetwood Plan Designation	Existing Zone
Subject Site	Single family residential	Townhouse	R3
North (Across 85 Avenue):	Townhouses	Townhouse	RM-15
East (Across 164 Street):	Single family residential	Townhouse	R3
South:	Townhouses	Townhouse	RM-30 and CD (Bylaw No. 17417)
West:	Townhouses	Townhouse	RM-30

Context & Background

- The subject properties are located on the south side of 85 Avenue, just west of 164 Street.
- The properties are approximately 0.45 acres in total combined area and are presently occupied by two (2) single family residential dwellings.
- The subject site is designated "Urban" in the Official Community Plan (OCP), "Townhouse" in the Fleetwood Plan (Stage 1) and is zoned "Urban Residential Zone (R3)".

Fleetwood Plan (Stage 1)

- After an extensive public consultation process, Stage 1 of the Fleetwood Plan was approved by Council on March 7, 2022. Stage 1 outlines the expected land-use and densities for the Fleetwood Plan area.
- At the Regular Council – Land Use meeting on March 7, 2022, Council was asked to consider Corporate Report No. R049-2022 ('Fleetwood Stage 1 Plan). The Corporate Report established interim Secondary Plan Community Amenity Contributions (CAC) rates that will allow for development applications that are consistent with the Fleetwood Plan to be considered for Final Adoption, subject to completion of all outstanding items identified in the Planning Report.
- However, the subject application involves a proposed amendment to the land-use designation in the Stage 1 Plan from "Townhouse" to "Low Rise". As a result, this development application may proceed to Council for consideration and initial approval (Third Reading) but will not proceed to Final Adoption until Stage 2 of the Fleetwood Plan has been completed and approved by Council.

DEVELOPMENT PROPOSAL

Planning Considerations

- In order to permit the development of the proposed 6-storey residential building consisting of 69 units, the applicant proposes the following:
 - OCP Amendment from "Urban" to "Multiple Residential";
 - OCP Text Amendment to permit a maximum density of 2.74 FAR (gross density) in the Multiple Residential designation;
 - Fleetwood Plan Amendment from "Townhouse" to "Low Rise";
 - Rezoning from "Urban Residential Zone (R3)" to "Comprehensive Development Zone (CD)" (based on the Multiple Residential 70 Zone (RM-70));
 - Development Permit for Form and Character; and
 - Subdivision (consolidation) from two (2) lots into (1) lot.

- Development details are provided in the following table:

	Proposed
Lot Area	
Gross Site Area:	1,845 sq. m
Road Dedication:	44 sq. m
Net Site Area:	1,801 sq. m
Number of Lots:	1
Building Height:	21 m
Floor Area Ratio (FAR):	2.74 FAR (gross), 2.81 FAR (net)
Floor Area	
Residential:	5,064.8 sq. m
Commercial:	N/A
Total:	5,064.8 sq. m
Residential Units:	
1-Bedroom:	5
1-Bedroom + Den:	25
2-Bedroom:	24
2-Bedroom + Den:	5
3-Bedroom:	10
Total:	69

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: The School District has advised that there will be approximately 11 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

6 Elementary students at Frost Road Elementary School
3 Secondary students at North Surrey Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

Parks, Recreation & Culture:

No concerns.

Frost Road Park is the closest active park with amenities including, pathways soccer field and playground, and is 275 metres walking distance from the development. Bonnie Schrenk Park is the closest natural area and is 550 metres walking distance from the development.

Surrey Fire Department:

No concerns.

Advisory Design Panel:

At the Regular Council – Land Use meeting on December 18, 2023, Council endorsed Corporate Report No. R214 (2023) which amended the Terms of Reference of the City’s Advisory Design Panel (ADP) which permits multi-family proposals that are 6-storeys or less, and supported by City staff, to proceed to Council for By-law introduction, without review and/or comment from the ADP.

The subject development proposal is generally supported by City staff and the applicant has agreed to resolve any outstanding items, to the satisfaction of the Planning and Development Department, prior to consideration of Final Adoption of the Rezoning By-law as well as issuance of the Development Permit.

Transportation Considerations

- The subject site is approximately 500 metres to an existing Frequent Transit Network (FTN) along Fraser Highway and is less than 1 kilometre away from the future Bakerview-166 Street SkyTrain Station at 166 Street and Fraser Highway. The proposal supports the objective of achieving higher-density development along transit corridors and is located within a Transit Oriented Area (TOA), and therefore is considered appropriate for this location.
- As such, the proposed development is appropriate for this part of Fleetwood, given its location within an Urban Centre, TOA, and it complies with the goal of achieving higher density development in locations that benefit from access to frequent transit service.

Driveway Access and Dedication Requirements

- The proposed development will obtain vehicular access to the underground parkade from 85 Avenue. No vehicular access to 164 Street is permitted.
- The applicant is proposing 78 residential parking spaces and 8 visitor parking spaces, which exceeds typical parking requirements based on the number of residential units for developments outside of Transit-Oriented Areas (TOA). As the site is located within a TOA, there are no minimum residential parking requirements. The applicant is voluntarily proposing to exceed the minimum residential parking requirements.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

School Capacity Considerations

- The School District has advised that Frost Road Elementary is at 90% capacity. While there is currently capacity to accommodate some growth, the 10-year enrolment projections in this report do not include future growth from the Fleetwood Plan update, nor the Provincial legislation to increase housing. These will both have significant impacts of future projections for this school and others along the Skytrain corridor.
- The School District has advised that North Surrey Secondary is operating at 123% and projected to grow to 1500+ students by the middle of this decade. As part of the 2025/2026 Capital Plan submission to the Ministry of Education, the District is requesting a 525 capacity addition. This project has not been approved by the Ministry as of yet.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposed residential apartment buildings comply with the General Urban designation in the Regional Growth Strategy (RGS).

Official Community Plan

Land Use Designation

- The site is designated Urban in the Official Community Plan (OCP). An OCP Amendment to Multiple Residential is proposed. The applicant is also proposing a Text Amendment to the OCP to increase the maximum permitted density under the Multiple Residential designation from 2.0 FAR to 2.74 FAR.
- In the OCP, the Urban designation will support a maximum unit density of 72 units per hectare (30 units per acre) for sites that are within a Frequent Transit Development Area (FTDA), that abut a Frequent Transit Network, or are located within an Urban Centre and/or where specifically noted in an approved Secondary Plan Area.
- The Multiple Residential designation in the OCP allows a maximum density of 1.5 FAR. For sites located within a FTDA, or Urban Centre, that abut the FTN, or where specifically permitted in an approved Secondary Land-Use Plan, a maximum density or FAR of 2.0 is permitted.
- The proposed 6-storey apartment form and density cannot be accommodated under the Urban designation and, as such, requires an OCP Amendment from "Urban" to "Multiple Residential" to facilitate the proposal. An OCP Text Amendment is also required to increase the allowable density under the Multiple Residential designation from 2.0 FAR (gross density) to 2.74 FAR (gross density).

- The Tier 3 Transit-Oriented Area (TOA) for sites within 400-800 metres of SkyTrain stations, have a minimum allowable density of 3.0 FAR and up to 8 storeys. The proposed development is located within the Tier 3 TOA for Fleetwood Station and Bakerview-166 Street Station and complies with the density and height allowed for the TOA.

Amendment Rationale

- This proposed development conforms to the goal of achieving higher density development near a transit corridor, while at the same time providing an appropriate density and interface with lower density designated lands to the west.
- The subject site is located within close proximity to the existing Frequent Transit Network (FTN) along Fraser Highway and is within walking distance of existing bus rapid transit service, in addition to the future SkyTrain station at Fraser Highway and 166 Street. The site is also within walking distance to Bonnie Schrenk Park and the Surrey Sport and Leisure Complex.
- The proposed text amendment to increase the permitted density in the Multiple Residential designation is considered appropriate given that the proposal complies with the Tier 3 Transit-Oriented Area (TOA) minimum allowable density and height in the Official Community Plan (OCP) with a proposed gross FAR of 2.74 and building height of 6-storeys.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.

Public Consultation for Proposed OCP Amendment

- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
 - Support compact and efficient land development that is consistent with Metro Vancouver Regional Growth Strategy (OCP Policy A1);
 - Accommodate higher density development near Frequent Transit Corridors at densities sufficient to encourage commercial development and transit service expansions (A2);
 - Encourage development that supports increased transit, pedestrian walkability, and bicycle access (B3);
 - Develop complete, accessible, and walkable green neighbourhoods with sufficient densities to support a high-quality transit system that is accessible to most residents (B4); and
 - Ensure new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods (B6).

Secondary Plans

Land Use Designation

- The subject properties are designated “Townhouse” in the Fleetwood Plan (Stage 1). In order to accommodate the development proposal, the applicant is required to amend the Fleetwood Plan (Stage 1) in order to redesignate the site from “Townhouse” to “Low Rise”.
- The proposal complies with the proposed “Low Rise” designation in the Fleetwood Plan (Stage 1), which permits 4-6 storeys, and allows for density bonus in accordance with the City’s Density Bonus Program.

Amendment Rationale

- The proposed density and building form are considered appropriate for this part of Fleetwood given the subject site is located within an Urban Centre, is in a TOA, is in close proximity to the existing FTN, and is close to other neighbourhood amenities.

CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" based on the “Multiple Residential 70 Zone (RM-70)” to accommodate the proposed 6-storey apartment building on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed.
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone
Unit Density:	N/A	N/A
Floor Area Ratio:	1.5 FAR (net)	2.81 FAR (net)
Lot Coverage:	33%	53%
Yards and Setbacks		
North Yard	7.5 m	4.5 m
East Yard	7.5 m	4.5 m
South Yard	7.5 m	4.5 m
West Yard	7.5 m	3.0 m
Principal Building Height:	50 m	21 m
Permitted Uses:	Multiple unit residential buildings, ground-oriented multiple unit residential buildings, and childcare centres.	Multiple unit residential buildings, ground-oriented multiple unit residential buildings, and childcare centres.
Indoor Amenity:	207 m ²	The proposed 207 m ² meets the Zoning By-law requirement.
Outdoor Amenity:	207 m ²	The proposed 207 m ² meets the Zoning By-law requirement.
Parking (Part 5)	Required	Proposed
Number of Stalls		
Residential:	NA	78
Residential Visitor:	NA	8
Total:	NA	86
Bicycle Spaces		
Residential Secure Parking:	83	83
Residential Visitor:	2	2

- The proposed CD Bylaw is based on the RM-70 Zone with modifications to the maximum permitted density, lot coverage, minimum building setbacks, maximum building height and location of the underground parkade relative to the lot lines.
- The RM-70 Zone permits a maximum FAR of 1.50. If calculated on gross site area, the proposed 6-storey building will have a FAR of 2.74. The FAR based on net site area is 2.81 FAR. Given proximity to existing and future rapid transit, as well as community amenities, and location within a TOA, the proposed increase in density to 2.81 FAR (net) in the CD Zone is supportable.
- The maximum lot coverage has been increased from 33% in the RM-70 Zone to a maximum of 53% in the CD Bylaw to accommodate the proposed built form. The proposed lot coverage is typical for a 6-storey apartment building on a site of this size.
- The proposed reduced setbacks will allow for better connectivity to the streets, outdoor patios to the at-grade units, and provide a more pedestrian-friendly urban streetscape.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No.Ro46;2024.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit issuance. The current rate is \$2,136 per new unit.
- The proposed development is not subject to the Tier 2 Capital Plan Project CACs as the proposed density complies with the Tier 3 Transit-Oriented Area (TOA) minimum allowable density and height in the Official Community Plan (OCP).

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,113.92 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on September 18, 2024 and the Development Proposal Signs were installed on September 23, 2024. Staff received 8 responses from neighbouring (*staff comments in italics*):

- The primary concern expressed by residents was that the proposal will contribute to existing street parking challenges in the neighbourhood and generate significant traffic.

(The applicant is currently proposing 69 units and 86 parking spaces, including 8 visitor parking spaces, exceeding the standard minimum requirements under Part 5 of the Zoning Bylaw. As the subject site is located within a Transit Oriented Area (TOA), no minimum parking requirements are applicable. The applicant is voluntarily providing parking and exceeding the standard parking requirements for sites outside of TOAs.

Staff clarified that all residential and visitor parking will be located within the underground parkade.)

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character. The proposed development generally complies with the Form and Character Development Permit guidelines.
- The unit mix consists of 30 one-bedroom, 29 two-bedroom and 10 three-bedroom units. The dwelling units will range in size from 50 square metres (545 square feet) for a one-bedroom to approx. 84 square metres (900 square feet) for the largest three-bedroom apartment.
- The unit mix also includes 4 adaptable two-bedroom units, located on the first and second floors.
- The proposed building reflects a modern "L-shaped" apartment building form along the street frontages with a flat roof. The building materials were chosen to echo the surrounding context and include hardie horizontal lap siding, cedar longboard and brick along the lower levels to bring texture and human-scaled design to the building facades.
- The proposed building includes a 2-storey townhouse expression along the façade at grade. White vertical siding and dark grey brick with wooden accents define the first 4 storeys of the building, while the stepped back 5th and 6th storeys are clad in white hardi panel to soften and reduce the massing to minimize the transition to existing 3-storey townhouse and 2-storey single-family residential homes in the area.
- The corner red-cedar element at the intersection of 85 Avenue and 164 Street creates an anchor of visual interest at the corner and is supplemented by a corner plaza at the northeast corner of the site. Warm earth tones, contrasted by cooler whites and light greys create visual interest and character.
- All ground floor units have front door access from 164 Street and 85 Avenue and usable, private/semi-private outdoor space.
- The building orientation ensures the units will provide greater observation of the public realm with active rooms facing toward the streets which helps to address Crime Prevention Through Environmental Design (CPTED) concerns.

- The applicant has worked with staff to improve the design, including simplifying materials and expression to better fit the neighbourhood context and increasing detail on the south and west facades.

Indoor Amenity

- The applicant is proposing 207 square metres of indoor amenity, which meets the requirements of the Zoning Bylaw.
- The proposed indoor amenity space is centrally located on the main floor and provides connectivity to outdoor amenity space located at the southwest corner of the site. The indoor amenity space consists of a meeting room, lounge area, kitchen and dining area, patio, gymnasium, and an accessible washroom.

Outdoor Amenity and Landscaping

- The applicant is proposing 207 square metres of outdoor amenity, which meets the requirements of the Zoning Bylaw.
- The proposed outdoor amenity is centrally located on the ground level and has a direct connection with the indoor amenity on the main floor. The programming of the outdoor amenity includes a lounge area, picnic tables, herb gardens, a trellis, and a separate children's play area.
- The applicant has proposed landscaping to the west and to the south, including larger caliper species and year-round vegetation.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
 - Design refinement to the architectural expression to better integrate the varied design elements, e.g. at the corner frames and the horizontal projection at the third floor level, and by minimizing the appearance of the 6th floor balconies;
 - Design development to the material expression, reconsidering the extensive use of white and illustrating detailing including the termination of the fourth floor parapet;
 - Clarify the impact of shadow by providing context (i.e. orthophotos) in the shadow studies, and by using conventional study times;
 - Revise the garbage staging design.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Arminder Virk, ISA Certified Arborist of Arbor & Co. prepared an Arborist Assessment for the subject site. The table below provides a summary of the proposed tree retention and removal. A detailed list of the proposed tree retention and removal by tree species can be found in (Appendix IV):
- All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

Table 1: Summary of Proposed Onsite Tree Preservation by Tree Species:

	Existing	Remove	Retain
Alder/Cottonwood (outside riparian area)	0	0	0
Alder/Cottonwood (within riparian area)	N/A	N/A	N/A
Deciduous Trees	6	6	20
Coniferous Trees	3	3	0
Onsite Tree Totals	9	9	0
Onsite Replacement Trees Proposed	24		
Total Onsite Retained and Replacement Trees	24		

- The Arborist Assessment states that there are a total of 9 bylaw protected trees on the site. There are 2 bylaw-protected off-site City trees within proximity of the proposed development. The applicant proposes to retain the 2 City trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of 18 replacement trees on the site. The applicant is proposing 24 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees including maples, cypress, dogwood and magnolia.
- In summary, a total of 24 trees are proposed to be retained or replaced on the site, exceeding City requirements.

INFORMATION ATTACHED TO THIS REPORT

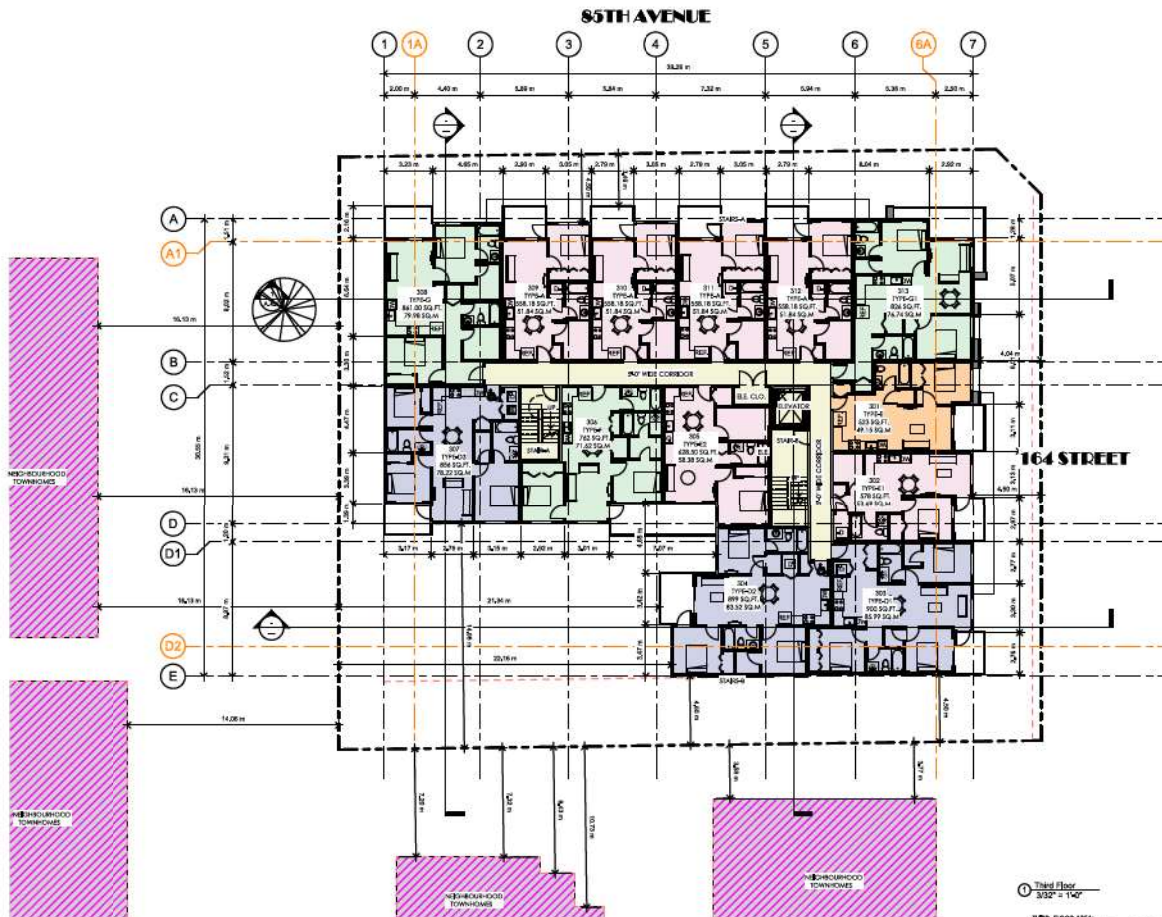
The following information is attached to this Report:

- Appendix I. Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix V. NCP Plan
- Appendix VI. OCP Redesignation Map

approved by Shawn Low

Ron Gill
Acting General Manager
Planning and Development

EM/cb



① Third Floor
3/32" = 1"0"

3RD FLOOR AREA
 GROSS AREA PROPOSED: 10,161.00 SQM
UNIT COUNT
 3 BED: 01 UNIT (7.6M)
 2 BED: 04 UNIT (64.0M)
 2 BED: 04 UNIT (50.4M)
 2 BED: 02 UNIT (17.0M)
TOTAL NO. OF UNITS: 11 UNITS



janed@crearchitecture.com

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 E-Mail: janed@crearchitecture.com
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 Phone: 778-848-8181
 E-Mail: janed@crearchitecture.com
- ENGINEER:**
 STEVEN CHONG INC. - Civil Engineer
 # 35 - 6228 King George Blvd., Surrey, B.C. V6K 1W6
 Phone: 604-597-5715
 E-Mail: steven@chongengineering.com
- CONTRACTOR:**
 S&S (SURREY) LTD., Surrey, B.C.
 Phone: 778-848-8181
 E-Mail: steven@chongengineering.com



Revis	Description	Date

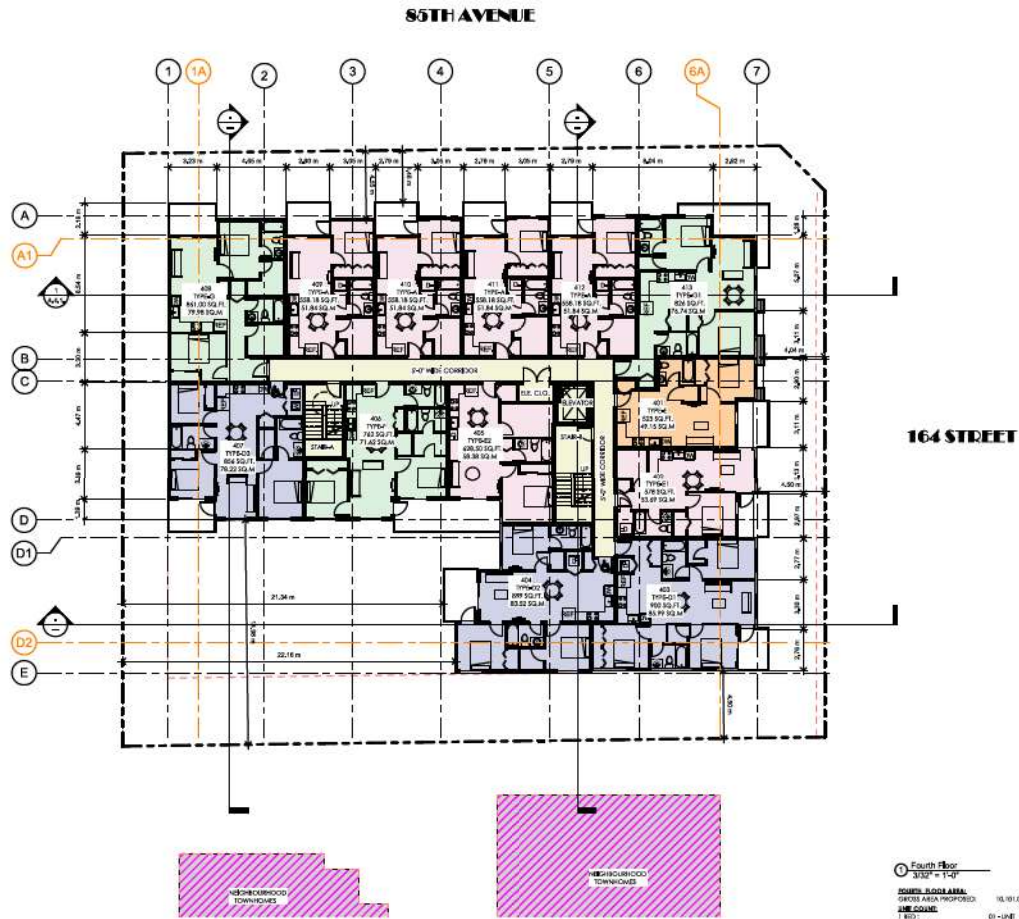
Site:
SILVER STAR PROPERTY LTD.

Project Description:
69 CONDO UNITS MULTIFAMILY DEVELOPMENT @ 8483 & 8495 164 STREET SURREY, B.C.

Drawing Description:
THIRD FLOOR PLAN

Project Number:	24467
Date:	2024-11-21
Drawn By:	JANE@81148
Checked By:	JANE@81148
Drawing No.:	JAN@81148

A.2.3



4th Floor
 3327 - 1st Flr

SUBNET SCHEDULE
 GROSS AREA PROPOSED: 10,101.00 SQ FT

LINE COUNT:

1	REV:	01	-LINE	(7 APP)
1	REV:	02	-LINE	(64 VLS)
2	REV:	04	-LINE	(25 XIB)
2	REV:	05	-LINE	(11 XBR)

TOTAL NO. OF UNITS: 33 - UNITS



REGISTERED:
 CRE ARCHITECTURE LTD.
 115-4775-4777 King George Blvd, Surrey, B.C. V3V 1K1
 Phone: 778-441-4171
 E-Mail: info@cre8architecture.ca

REGISTERED:
 JRM ARCHITECTURE INC.
 Suite 107 4775-4777 King George Blvd Surrey, B.C. V3V 1K1
 Phone: 604-294-0271
 E-Mail: jrm@jrmarchitect.com

REGISTERED:
 JRM ARCHITECTURE INC. - Civil Engineer
 # 151-15120 King George Blvd, Surrey, B.C. V3V 1K1
 Phone: 604-301-1213
 E-Mail: info@jrmarchitect.com

REGISTERED:
 JRM ARCHITECTURE INC.
 # 151-15120 King George Blvd, Surrey, B.C.
 Phone: 604-301-1213
 E-Mail: info@jrmarchitect.com

Name	Description	Size

Client:
SILVER STAR PROPERTY LTD.

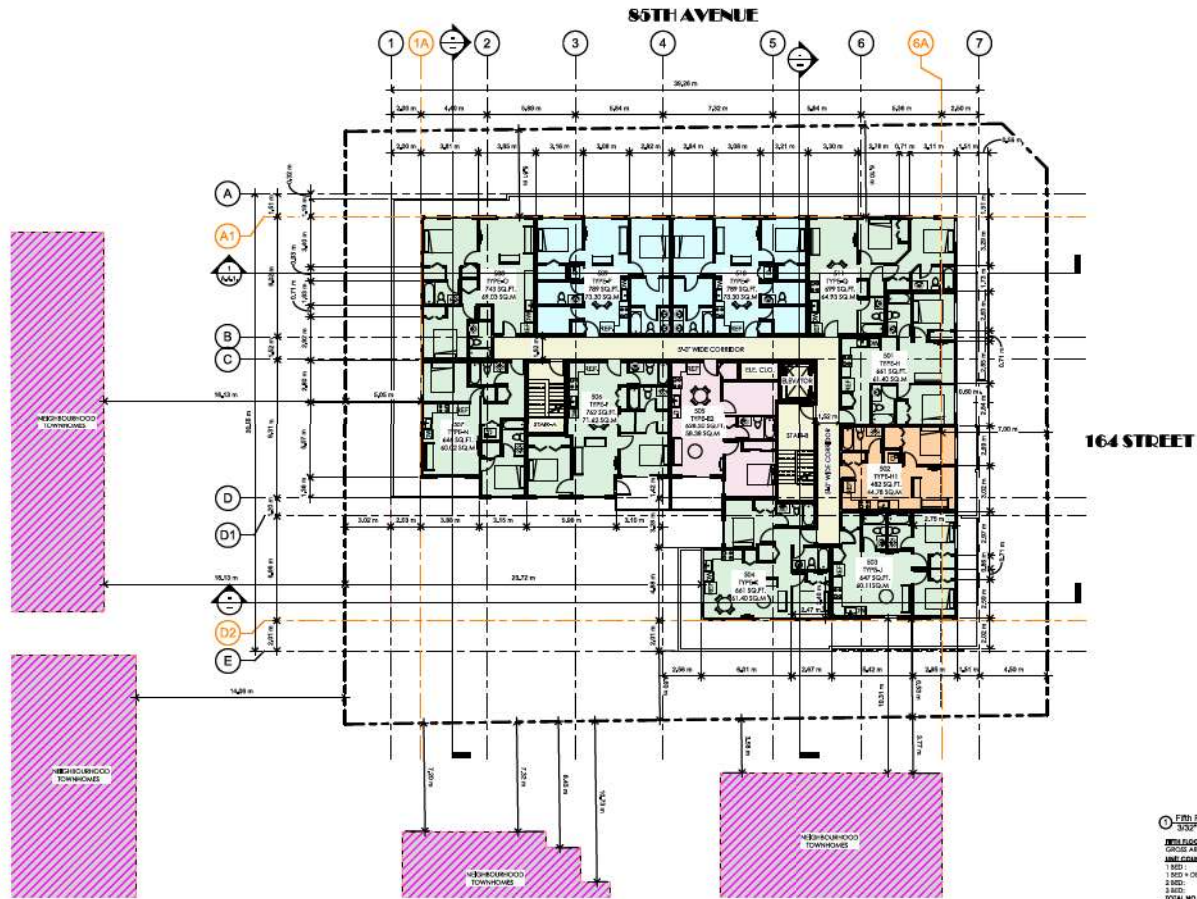
Project Description:
69 CONDO UNITS MULTIFAMILY DEVELOPMENT @ 8483 & 8495 164 STREET SURREY, B.C.

Drawing Description:
FOURTH FLOOR PLAN

Project Number	24487
Date	2024-11-12
Drawn By	JRM 01/11/24
Checked By	JRM 01/11/24
Drawing No.	JRM 01/11/24

A.2.4

Scale: as shown
 3/32" = 1' = 0"



Fifth Floor
 3/3/22 = 1407
 GROSS AREA PROPOSED: 8,548.00 SQ.FT.
 UNIT COUNT: 62 - UNITS (116,185)
 1 - 101 - 110 - UNITS (1,000)
 2 - 111 - 120 - UNITS (1,000)
 3 - 121 - 130 - UNITS (1,000)
 4 - 131 - 140 - UNITS (1,000)
 TOTAL NO. OF UNITS: 4.1 - UNITS

cre8 ARCHITECTURE LTD.
 101-475-4577, 4577 King George Blvd, Surrey, BC, V0K 1G1
 Phone: 778-484-4147
 E-MAIL: info@cre8architect.com

cre8 INTERIORS INC.
 5042-516-4700, 188 Green Drive Burnaby, B.C. V0C 6P0
 Phone: 604-296-0211
 E-MAIL: info@cre8interiors.com

cre8 CONSTRUCTION INC. - USA - USA Division
 #1 - 251-2525 16th Street SW, Surrey, BC, V0V 7N0
 Phone: 604-597-3733
 E-MAIL: info@cre8construction.com

cre8 DESIGN
 1485 - 2 Street South, Surrey, B.C.
 Phone: 774-096-1385
 E-MAIL: info@cre8design.com



Revision	Description	Date

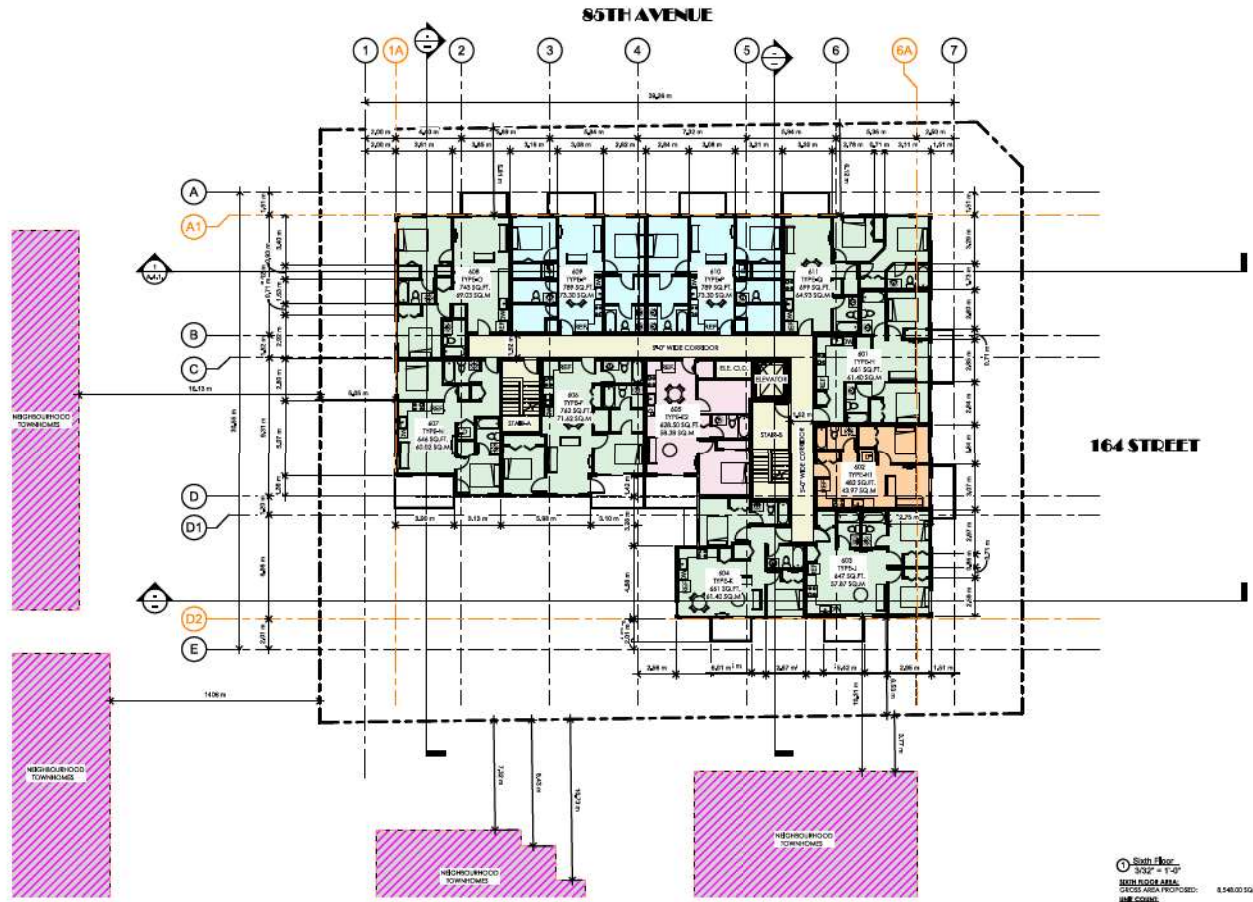
Client: SILVER STAR PROPERTY LTD.

Project Description:
 69 CONDO UNITS MULTIFAMILY
 DEVELOPMENT @ 8483 & 8495
 164 STREET SURREY, B.C.

Drawing Description:
 FIFTH FLOOR PLAN

Project Number: 24-027
 Date: 2022-03-02
 Drawn By: JAMES M. TAYLOR
 Checked By: JAMES M. TAYLOR

A.2.5



69 Condo Units
 8483 & 8495 164 Street
 NEIGHBOURHOOD TOWNHOMES
 GROSS AREA PROPOSED: 8,548.00 SQ. FT.
 UNIT COUNT:
 1 BED: 05 - UNIT (19.39%)
 2 BED: 01 - UNIT (3.07%)
 2 BED: 08 - UNIT (22.22%)
 3 BED: 02 - UNIT (5.71%)
TOTAL NO. OF UNITS: 16 - UNITS

cre8 ARCHITECTURE LTD.
 jason@cre8architecture.ca

CLIENT:
 CRE ARCHITECTURE INC.
 101-4775-4777 King George Blvd, Surrey, B.C. V3K 1G1
 Phone: 778-848-4187
 E-Mail: jason@cre8architecture.ca

DESIGNER:
 JASON JACOBSON ARCHITECTS
 801-10247 108 Green Drive Burnaby, B.C. V5C 6K9
 Phone: 604-296-0371
 E-Mail: jason@jacobsonarchitects.com

DATE:
 22/05/2024
 # 25 - 2528 The Square Bldg., Surrey, B.C. V3R 7V6
 Phone: 604-597-3733
 E-Mail: jacobson@squarebldg.com

APPROVED:
 JASON JACOBSON
 801-10247 108 Green Drive Burnaby, B.C. V5C 6K9
 Phone: 604-296-0371
 E-Mail: jason@jacobsonarchitects.com

NORTH

Revision	Description	Date

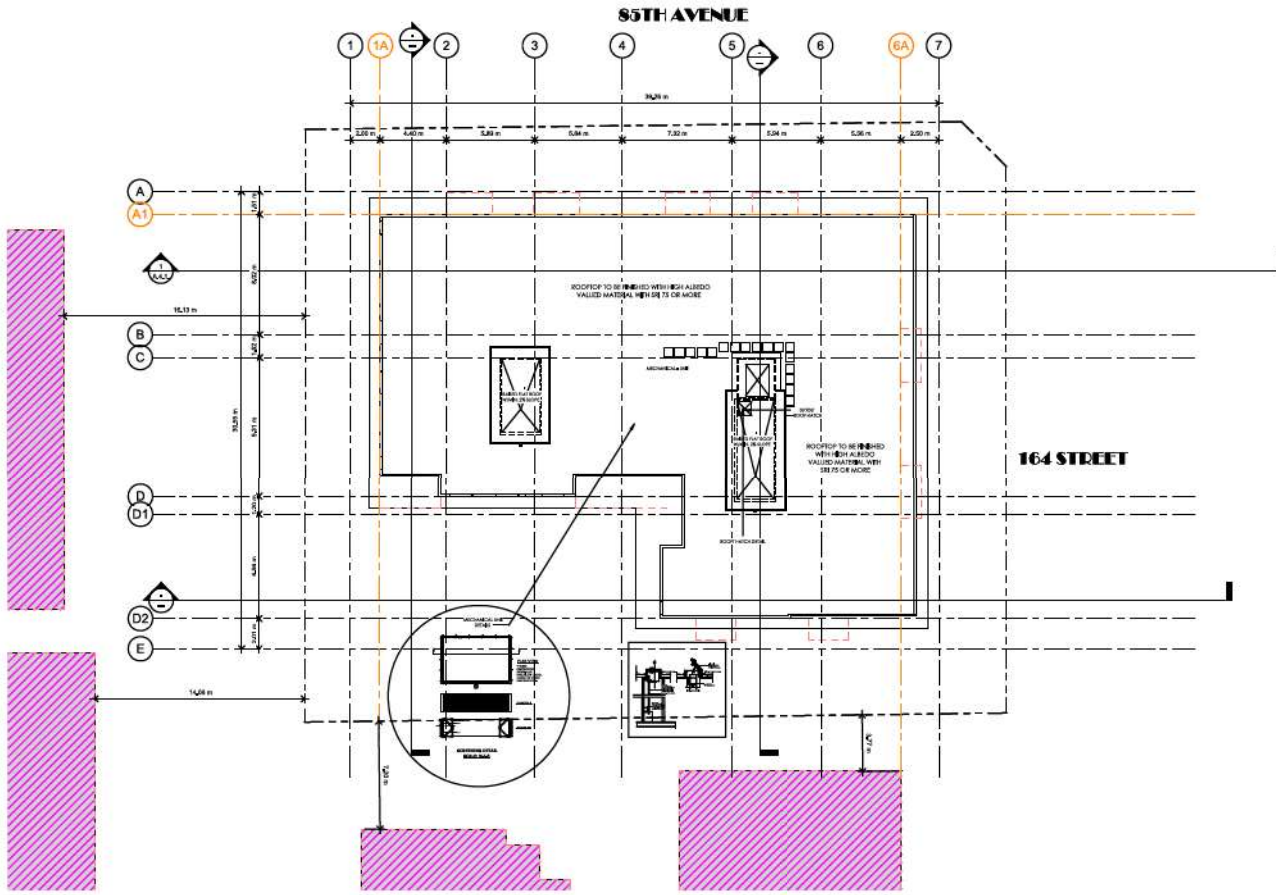
Client:
SILVER STAR PROPERTY LTD.

Project Description:
69 CONDO UNITS MULTIFAMILY DEVELOPMENT @ 8483 & 8495 164 STREET SURREY, B.C.

Drawing Description:
SIXTH FLOOR PLAN

Project Number:	24-027
Date:	2024-10-12
Drawn By:	JACOBSON
Checked By:	JACOBSON

Drawing No. **A.2.6**
 Scale: as shown
 2024-10-12



jaan@cre8architects.ca

REFERENCE:
 CRE ARCHITECTURE INC.
 101-8715-8717 King George Blvd. Surrey, BC, V3V 7S1
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REFERENCE:
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REFERENCE:
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 Phone: 778-848-4127
 E-Mail: jaan@cre8architects.ca

N

Professional Engineer
Surrey, B.C.
2023-10-12

Name	Description	Date

Client: **SILVER STAR PROPERTY LTD.**

Project Description: **69 CONDO UNITS MULTIFAMILY DEVELOPMENT @ 8483 & 8495 164 STREET SURRY, B.C.**

Drawing Description: **ROOFTOP PLAN**

Project Number: 26427
 Date: 2024-11-22
 Drawn By: [Signature]
 Checked By: [Signature]
 Drawing Title: **A.2.7**
 Scale: as shown

0 = 7.62 m
1:300 = 1:400

MATERIAL LEGEND:

- 1.) Inside Window Sill
- 2.) 4" Metalized Hardie Siding - Arctic - White
- 3.) Hardie Panel / FASCIA/TIMS - Arctic - White
- 4.) ACP (ALUMINUM COMPOSITE PANEL) CLADDING : TO MATCH WITH AUSTRALIAN KID-CORAL
- 5.) 1/2" Wide Vertical Siding - Arctic - White
- 6.) HardiePanel / Trim / Fascia - Jet Gray
- 7.) NORWEGIAN SONG - UNFI-RED CEDAR : (USED BEING BIRD SHEETS TO MATCH WITH AUSTRALIAN RED CEDAR)
- 8.) Aluminium Soffit : TO MATCH WITH AUSTRALIAN RED CEDAR

MATERIAL LEGEND
1/8" = 1'-0"



NORTH ELEVATION (ALONG 85TH AVENUE)
3/32" = 1'-0"



jamie@cre8architects.com

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Issue	Description	Date

Client:
SILVER STAR PROPERTY LTD.

Project Description:
69 CONDO UNITS MULTIFAMILY DEVELOPMENT @ 8483 & 8495 164 STREET SURREY, B.C.

Drawing Description:
NORTH SIDE ELEVATION (TOWARDS 85TH AVENUE)

Project Number: 24-007
Date: 2024-10-01
Drawn By: JMW-BJ-18
Checked By: JMW-BJ-18
Drawing No. **A.3.1**

MATERIAL LEGEND

- 1) Insulation Outside Wall - Acrylic - White.
- 2) 4" Rigidboard Insulation - Acrylic - White.
- 3) Rigidboard Panel/Parclatens - Acrylic - White.
- 4) ACP (ALUMINIUM COMPOSITE PANEL) CLADDING - TO MATCH WITH AUSTRALIAN RED-CEDAR.
- 5) 1/2" Wide Vertical Slab - Acrylic - White.
- 6) Rigidboard Panel / Stone / Panels - Stone-Grey.
- 7) HORIZONTAL SIDING - 1/2" x 1/2" x 2" CMDF - ALUMINUM SIGNED FINISHES - TO MATCH WITH AUSTRALIAN RED-CEDAR.
- 8) Aluminium Siding - To match WITH AUSTRALIAN RED-CEDAR.

MATERIAL LEGEND
1/4" = 1'-0"



EAST ELEVATION (ALONG 164TH STREET)
1/32" = 1'-0"



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JOE
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E-Mail: joe@cre8architect.ca

ADAM
1405 160th Street, Surrey, B.C.
Phone: 778-694-1846
E-Mail: adam@cre8architect.ca



Name	Description	Date

Client:
SILVER STAR PROPERTY LTD.

Project Description:
69 CONDO UNITS MULTIFAMILY DEVELOPMENT @ 8483 & 8495 164 STREET SURREY, B.C.

Drawing Description:
EAST SIDE ELEVATION (FROM 164 STREET)

Project Number: 26487
Date: 2024-10-12
Drawn By: JAMIE
Checked By: JAMIE

Drawing No.
A.3.2

Scale: 1/32" = 1'-0" No. 10/20/2024

- MATERIALS LEGEND**
- 1) Insulation Finish Brick
 - 2) 4" Radiant Heated Slab - Acoustic - White
 - 3) Radiant Panel / FACIA/TREND - Acoustic - White
 - 4) ACP (ALUMINIUM COMPOSITE PANEL) CLADDING - TO MATCH WITH AUSTRALIAN RED-CEDAR
 - 5) 1/2" Wide Vertical Slab - Acoustic - White
 - 6A) Radiant Panel / Slab / Panels - White-Grays
 - 7) HORIZONTAL Slab - 4" IN-100 CONCRETE FLEETED SCREW FIN SHEETS - TO MATCH WITH AUSTRALIAN RED-CEDAR
 - 8) Akabakoa Siding - to match with AUSTRALIAN RED-CEDAR

MATERIAL LEGEND
3/16" = 1/4"



jamie@cre8architect.ca

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DAVID CRONIN ARCHITECTS
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ANDREW STANLEY
110-475-4771 King George Blvd, Surrey, B.C.
Phone: 778-464-6148
E-Mail: andrew@jamiearchitects.com



Revision	Description	Date

Client:
SILVER STAR PROPERTY LTD.

Project Description:
69 CONDO UNITS MULTIFAMILY DEVELOPMENT @ 8483 & 8495 164 STREET SURREY, B.C.

Drawing Description:
SOUTH SIDE ELEVATION

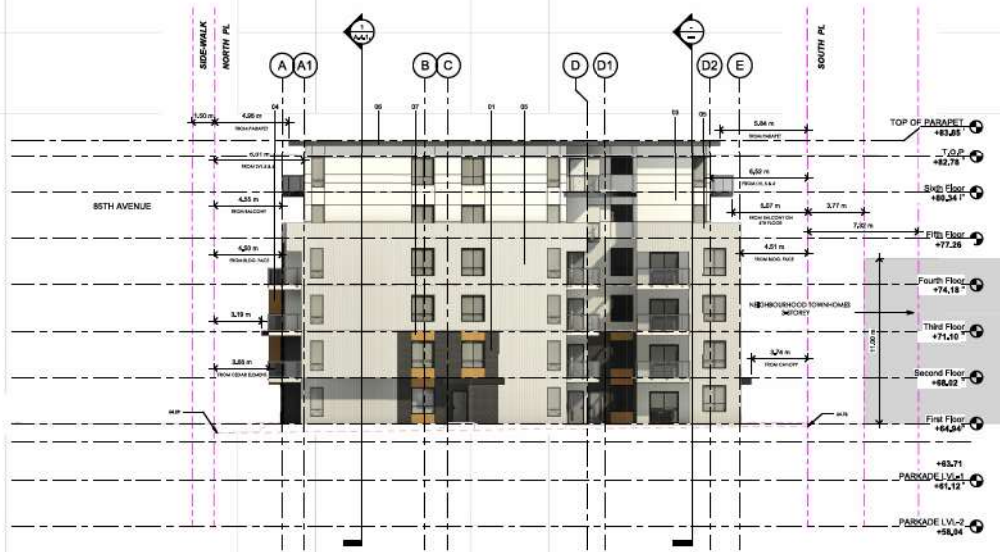
Project Number: 24827
Date: 2024-11-12
Drawn By: JWE/SL/MS
Checked By: JWE/SL/MS

Drawing No.
A.3.3

MATERIALS

- 1) Insulation Acoustic Brick
- 2) 4" Radiant Panel Slab/Air - Acrylic - White
- 3) Radiant Panel/FACIA/TERRAZZO - Acrylic - White
- 4) ACP (ALUMINIUM COMPOSITE PANEL) CLADDING - TO MATCH WITH AUSTRALIAN RED-CEDAR
- 5) 1/2" Wide Vertical Slab/Air - Acrylic - White
- 6) Radiant Panel / Slab / Panels - Blue-Grey
- 7) HORIZONTAL BRIMS - 4MM 480 CGRMS AULET SLOW FIN SHEETS - TO MATCH WITH AUSTRALIAN RED-CEDAR
- 8) Aluminium Sill - To match with AUSTRALIAN RED-CEDAR

MATERIAL LEGEND
1/4" = 1'-0"



WEST ELEVATION
3/32" = 1'-0"



jamie@cre8architects.ca

OWNER:
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Phone: 778-848-6187
E-MAIL: jamie@cre8architects.ca

ARCHITECT:
cre8 ARCHITECTURE LTD.
SUITE 205-4750 KING GEORGE BLVD SURREY, BC V3R 3V1
Phone: 778-848-6187
E-MAIL: jamie@cre8architects.ca

DATE:
2024-10-20

PROJECT:
69 CONDO UNITS MULTIFAMILY DEVELOPMENT @ 8483 & 8495 164 STREET SURREY, B.C.

DATE:
2024-10-20

SCALE:
3/32" = 1'-0"


Project Number: 24-027

Date: 2024-10-20

Drawn By: JAMIE@81148

Checked By: JAMIE@81148

Drawing No. **A.3.4**

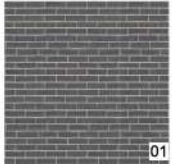


Revise	Description	Date

Client: **SILVER STAR PROPERTY LTD.**

Project Description: **69 CONDO UNITS MULTIFAMILY DEVELOPMENT @ 8483 & 8495 164 STREET SURREY, B.C.**

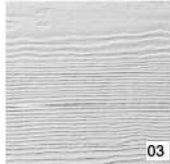
Drawing Description: **WEST SIDE ELEVATION**



01



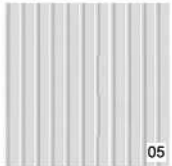
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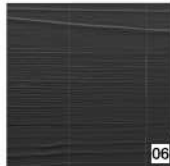
03



04



05



06



07



08

MATERIAL LEGEND:

- 1.) Concrete Textile Block.
- 2.) 4" Horizontal Hardie Board - ACIC - White.
- 3.) Hardie Panel / FASCIA / FINIS - ACIC - White.
- 4.) ACP (ALUMINUM COMPOSITE PANEL) CLADDING : TO MATCH WITH AUSTRALIAN RED CEDAR.
- 5.) 1" Wide Vertical Slats - ACIC - White.
- 6.) Hardie Panel / Stone / Facade - Iron Grey.
- 7.) NORWEGIAN SPRING - WHITE RED CEDAR : FLATTED SPRING THIN SHEET TO MATCH WITH AUSTRALIAN RED CEDAR.
- 8.) Australian Solid: To MATCH WITH AUSTRALIAN RED CEDAR.

MATERIAL LEGEND
SHEET # 120



MATERIAL TAGS SHEET



james@cre8architect.com

CRE8:
 640 ARCHITECTURE INC.
 124 STYVINGTON ROAD, STYVINGTON, ONTARIO, CANADA L4M 1C7
 Phone: 705.941.4141
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CRE8:
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CRE8:
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 # 31 22750 Creech Ridge Way, Oak Ridge, ON
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CRE8:
 4020 Sheppard Ave. E. Suite 100, Scarborough, ON M1S 1T6
 Phone: 709.939.1881
 E-MAIL: james@cre8architect.com



Number	Description	Size

Client: **SILVER STAR PROPERTY LTD.**

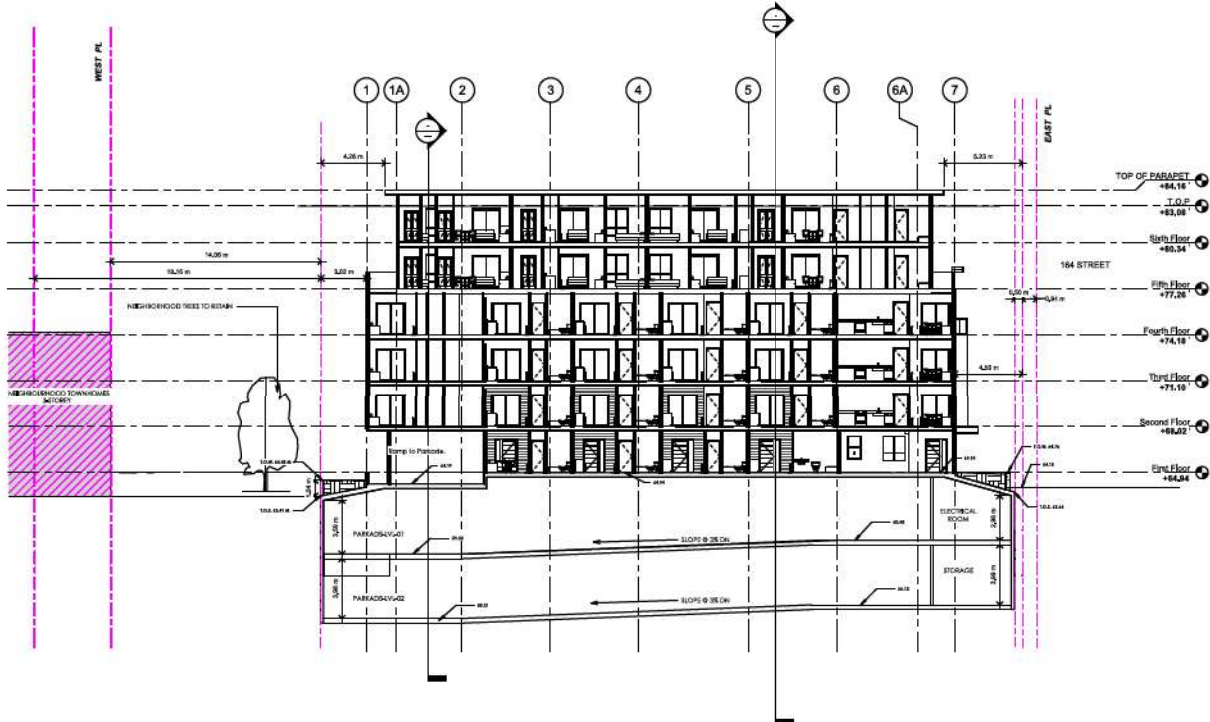
Project Description:
69 CONDO UNITS MULTIFAMILY DEVELOPMENT @ 8483 & 8495 164 STREET SURREY, B.C.

Drawing Description:
MATERIAL SPECIFICATIONS

Project Number: 24-021
 Date: 2024-11-12
 Drawn By: JAMES
 Checked By: JAMES

Drawing No. **A.3.5**

Scale: as shown (1:1) 1/8" = 1'-0"



Section 6
3/32" = 1'-0"

REFERENCE:
CAD ARCHITECTURE INC.
110-870-8707 (Vancouver, BC, Canada)
Phone: 778-881-8181
E-MAIL: james@cre8architecture.ca

DESIGNER:
SILVER STAR PROPERTY LTD.
110-870-8707 (Vancouver, BC, Canada)
Phone: 778-881-8181
E-MAIL: james@cre8architecture.ca

CLIENT:
SILVER STAR PROPERTY LTD. - 110-870-8707
110-870-8707 (Vancouver, BC, Canada)
Phone: 778-881-8181
E-MAIL: james@cre8architecture.ca



Revision	Description	Date

Client:
SILVER STAR PROPERTY LTD.

Project Description:
69 CONDO UNITS MULTIFAMILY DEVELOPMENT @ 8483 & 8495 164 STREET SURREY, B.C.

Drawing Description:
SECTIONS

Project Number	24-027
Date	2024-11-21
Drawn By	JAMES JONES
Checked By	JAMES JONES

Drawing Title:
A.4.1.
Scale: 3/32" = 1'-0"



VIEW ALONG NORTH EAST CORNER



VIEW ALONG 86TH AVENUE (NORTH SIDE VIEW)

MATERIAL LEGEND

- 1.) Concrete Formwork BRIC.
- 2.) 4" Fibrecrete/ Hardie Board / A/C/L - White.
- 3.) Hardie Panel/ FASCIA/TIMBER / A/C/L - White.
- 4.) ACP (ALUMINIUM COMPOSITE PANEL) CLADDING / TO MATCH WITH AUSTRALIAN RED-CEDAR.
- 5.) 1/2" Wide Vertical Siding / A/C/L - White.
- 6.) Hardie Panel / Stone / Fibrecrete / Thin Brick.
- 7.) HIGH-DENSITY BOARD - GIBBS/WEBB CEDAR / PLYWOOD SOUND TYP SHEET / TO MATCH WITH AUSTRALIAN RED-CEDAR.
- 8.) Aluminium Soffit / TO MATCH WITH AUSTRALIAN RED-CEDAR.

MATERIAL LEGEND

1/4" = 1'-0"



OFFICE:
 cre8 architecture inc.
 125-475-4571 City Centre Bldg, Surrey, B.C. V0X 1S1
 Phone: 778-464-4187
 E-Mail: james@cre8architects.ca

PROJECT:
 69 Condo Units
 164 & 166 86th Ave. Surrey, B.C. V0X 1V0
 Phone: 862-284-0211
 E-Mail: james@cre8architects.ca

DESIGN:
 cre8 architecture inc. - Civil Engineer
 #10-12520 166th Street, Surrey, B.C. V0X 1V0
 Phone: 862-284-0211
 E-Mail: james@cre8architects.ca

ARCHITECT:
 cre8 architecture inc.
 125-475-4571 City Centre Bldg, Surrey, B.C. V0X 1S1
 Phone: 778-464-4187
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Revision	Description	Date

Client:
SILVER STAR PROPERTY LTD.

Project Description:
69 CONDO UNITS MULTIFAMILY DEVELOPMENT @ 8483 & 8495 164 STREET SURREY, B.C.

Drawing Description:
3D VIEWS

Project Number: 24-027
 Date: 2024-11-21
 Drawn By: JMG-01-10-18
 Checked By: JMG-01-10-18

A.5.1

Scale: as shown / 1/4" = 1'-0"



VIEW ALONG 164 STREET (EAST SIDE VIEW)



SOUTH SIDE VIEW (REALITY VIEW)

- MATERIAL LEGEND:**
- 1.) Insulate Panels BRIC.
 - 2.) 4" Riboform® Ribofoam Slab - ACSL - WHITE.
 - 3.) Ribofoam Panel Facia/TERRI - ACSL - WHITE.
 - 4.) ACP (ALUMINIUM COMPOSITE PANEL) CLADDING - TO MATCH WITH AUSTRALIAN RED-Cedar.
 - 5.) 1/2" Wide Vertical Slab - ACSL - WHITE.
 - 6.) Ribofoam Panel / Slab / Facia - FIBRE - FIBRE Grey.
 - 7.) HIGH-DENSITY CONCRETE - DIMENSION CONCRETE PLUED SOUND TUN SPECS - TO MATCH WITH AUSTRALIAN RED-CEDAR.
 - 8.) Aluminium Slat - TO MATCH WITH AUSTRALIAN RED-CEDAR.

MATERIAL LEGEND
1/4" = 1' 0"



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E-Mail: jamies@cre8architects.com

JAC:
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101 475-4871 4871 4871 4871 4871
Phone: 844 288 0971
E-Mail: jamies@cre8architects.com

BOB:
22000 4871 4871 - 4871 4871
101 475-4871 4871 4871 4871 4871
Phone: 778-848-4141
E-Mail: bob@cre8architects.com

Revision	Description	Date

Client:
SILVER STAR PROPERTY LTD.

Project Description:
69 CONDO UNITS MULTIFAMILY DEVELOPMENT @ 8483 & 8495 164 STREET SURREY, B.C.

Drawing Description:
3D VIEWS

Project Number: 24-027

Date: 2024-11-22

Drawn By: JMW 811118

Checked By: JMW 811118

Sheet No.
A.5.2

Scale: as shown 1/8" = 1'-0"



1 SOUTH WEST VIEW (REAR-SIDE)



2 NORTH WEST CORNER VIEW (ALONG 86TH AVENUE)

MATERIAL LEGEND

- 1.) Hardie Panels/ Tiles
- 2.) Hardie Panels/ Hardie Siding / Acrylic - White
- 3.) Hardie Panels/ Fascia/ Trim / Acrylic - White
- 4.) ACM (ALUMINUM COMPOSITE PANEL) CLADDING TO MATCH WITH AUSTRALIAN RED-CEDAR
- 5.) 1" Wide Vertical Siding / Acrylic - White
- 6.) Hardie Panel / Tiles / Panels / Thin Stone
- 7.) HIGH-DENSITY URETHANE (HDU) FIBRECEMENT BOARD - 3/4" THICK BOARD - FLUOROPOLYMER FINISH. TO MATCH WITH AUSTRALIAN RED-CEDAR
- 8.) Aluminium Soffit - TO MATCH WITH AUSTRALIAN RED-CEDAR

MATERIAL LEGEND
1/4" = 1'-0"



3 MAIN ENTRANCE



cre8
ARCHITECTURE
LTD

jamie@cre8architects.ca

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E-Mail: jamie@cre8architects.ca

ARCHITECT:
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500-6 4518-128 Green Glen Terrace, S.C. V6C 6B2
Phone: 604-294-0911
E-Mail: jameson@jamesonarch.com

OWNER:
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#11-10328 King George Blvd., Surrey, B.C. V3V 7K9
Phone: 604-391-2213
E-Mail: jamie@cre8architects.ca

DATE:
2024-05-20
JAMES JAMESON ARCHITECTS
Phone: 604-294-0911
E-Mail: jameson@jamesonarch.com



No.	Description	Date

Client:
SILVER STAR PROPERTY LTD.

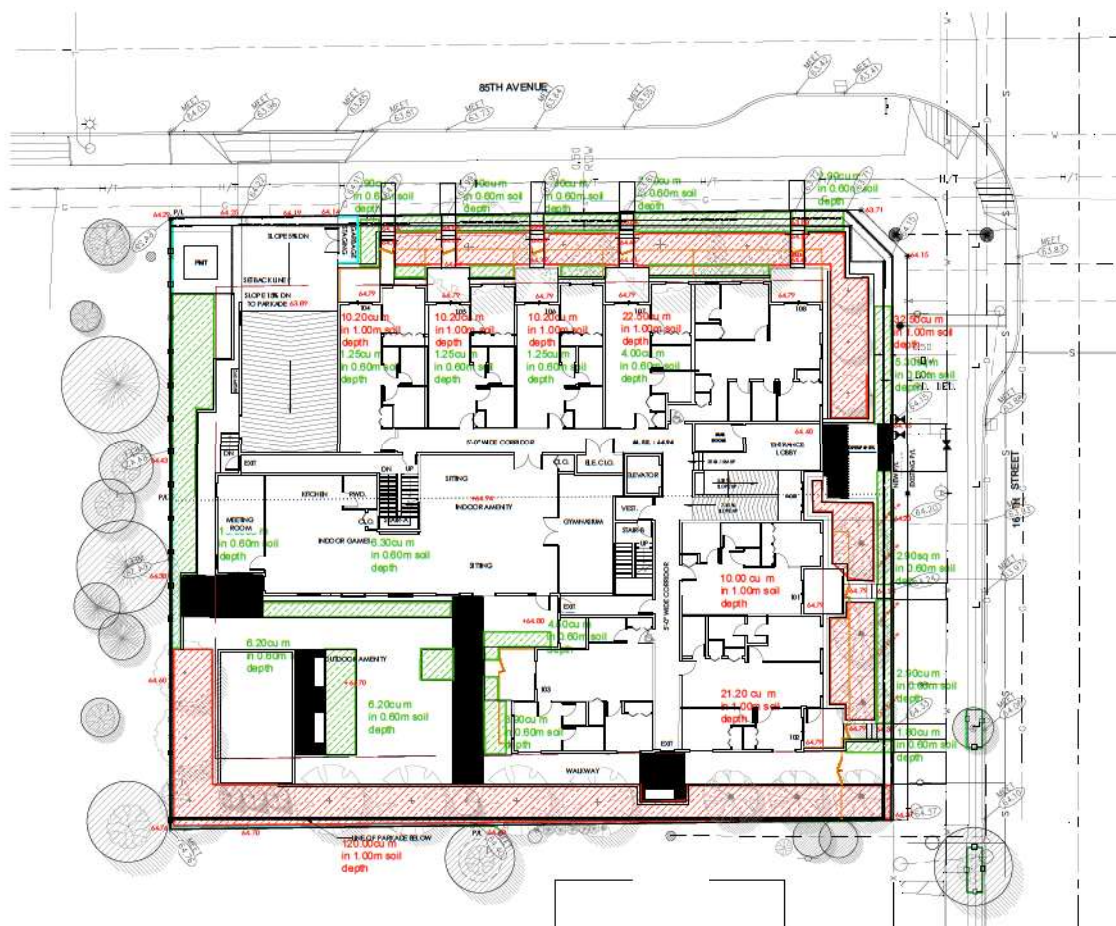
Project Description:
69 CONDO UNITS MULTIFAMILY DEVELOPMENT @ 8483 & 8495 164 STREET SURREY, B.C.

Drawing Description:
3D VIEWS

Project Number	24-027
Date	2024-05-20
Drawn By	JAMES JAMESON
Checked By	JAMES JAMESON
Drawing No.	A.5.3

Scale: 1/4" = 1'-0"

SEAL:



2	24 NOV 11	NEW/REVISION PLAN	OD
3	24 JUN 12	REVISION PLAN	OD
4	24 JUN 12	NEW SITE PLAN	OD
5	24 JUN 12	UNDERDECK	OD
6	24 JUN 12	NEW SITE PLAN	OD
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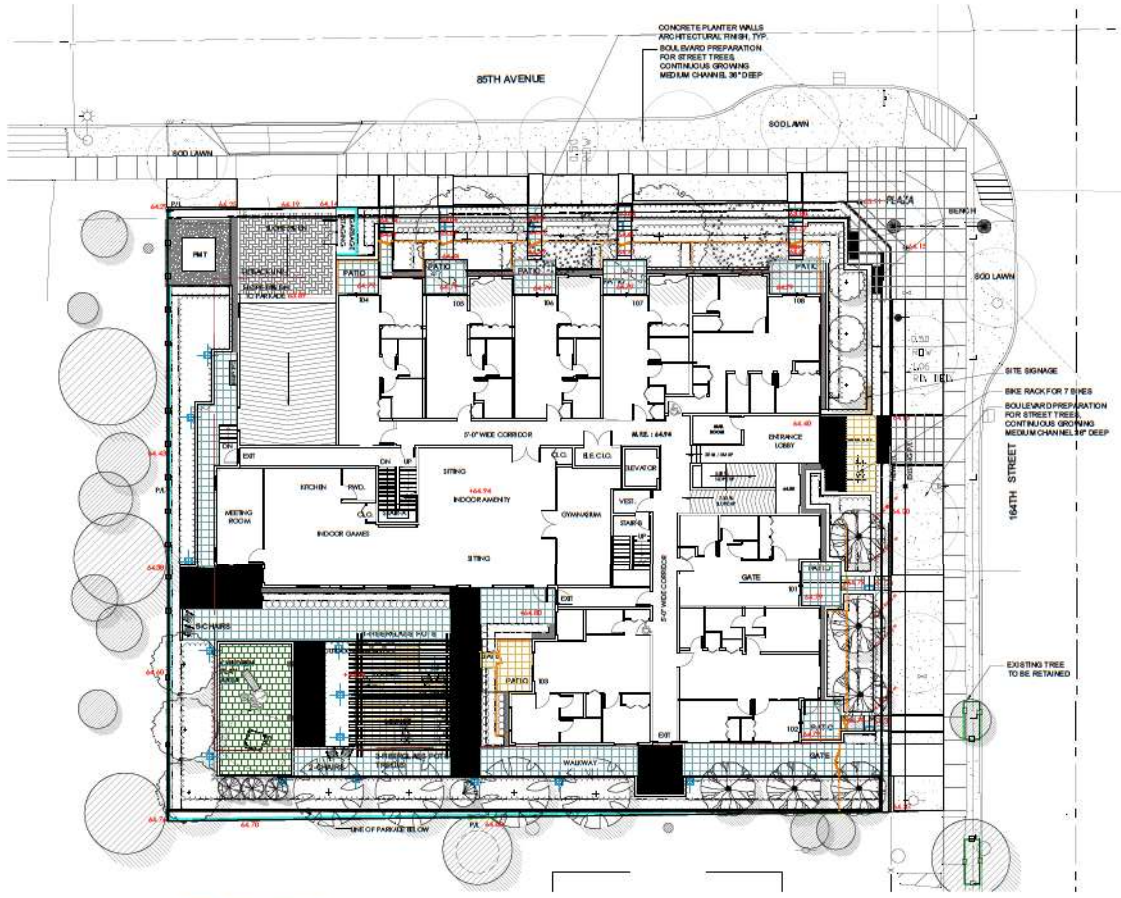
NO.	DATE	REVISION DESCRIPTION	DR.

PROJECT:
45 UNITS APARTMENT BUILDING
The Arthur
8493 164 STREET
SURREY

DRAWING TITLE:
SOIL VOLUME PLAN

DATE: 30 JUN 11 DRAWING NUMBER:
SCALE: 1:50
DRAWN: JR
DESIGN: JR
CHK'D: FC

LO
OF 8

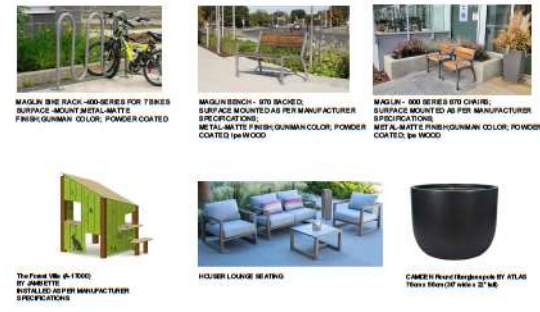


TREE SCHEDULE				PMG PROJECT NUMBER: 20-064	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
TREES					
4	ACER GRISEUM	PAPERBARK MAPLE	60M CAL, 1.8M STD, 8&B, CLIMATE RESILIENT		
2	ACER PALMATUM 'BLOODGOOD'	RED JAPANESE MAPLE	2.5M HT, 1.5 STD, 8&B		
3	ACER PALMATUM 'WOMBLEY'S RED SENTINEL'	COLUMNAR RED JAPANESE MAPLE	2.9M HT, 8&B		
3	CHAMAECYPARIS OSTENSIS 'GRACILIS'	SLENDER HINKY CYPRESS	3M HT, 8&B		
3	CORNUS KOUSA 'SAOTOM'	PINK NOUSA DOGWOOD	50M CAL, 1.5 STD, 8&B		
6	MAGNOLIA KOBUS STELLATA 'PINK STAR'	PINK STAR MAGNOLIA (LIGHT PINK)	50M CAL, 1.5 STD, 8&B		
2	OXYDENDRON ARBOREUM	SOURWOOD	50M CAL, 1.8M STD, 8&B, CLIMATE RESILIENT		
1	PICEA OMO RIKA 'BRUNF'	BURNS SPRUCE	3.0M HT, 8&B		

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. * AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DBASE FREE NURSERY. * BO-SOULDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE:
 - PROVIDE DESIGN/BUILD HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM TO I.L.A.C. STANDARDS TO ALL SOFT LANDSCAPE AREAS.
 - SHOP DRAWINGS TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INST ALLATION.

FURNITURE KEY



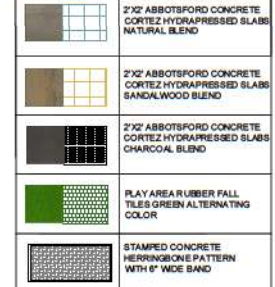
MAGLIN BIKE RACK-HOOD SERIES FOR TREES
 SURFACE MOUNTED METAL WHITE PINK GUNNAR COLOR, POWDER COATED

MAGLIN BENCH - STD BKACED
 SURFACE MOUNTED AS PER MANUFACTURER SPECIFICATIONS
 METAL WHITE PINK GUNNAR COLOR, POWDER COATED W/ WOOD

MAGLIN- 800 SERIES STD CHAIRS
 SURFACE MOUNTED AS PER MANUFACTURER SPECIFICATIONS
 METAL WHITE PINK GUNNAR COLOR, POWDER COATED W/ WOOD

BIKE RACK FOR 7 BIKES
 SOUL BOARD PREPARATION FOR STREET TREES
 CONTINUOUS GROWING MEDIUM CHANNEL 30\"/>

PAVER LEGEND



2'X2' ABBOTSFORD CONCRETE CORTEZ HYDRO-PRESSED SLABS NATURAL BLEND

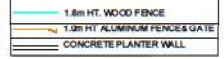
2'X2' ABBOTSFORD CONCRETE CORTEZ HYDRO-PRESSED SLABS SANDALWOOD BLEND

2'X2' ABBOTSFORD CONCRETE CORTEZ HYDRO-PRESSED SLABS CHARCOAL BLEND

PLAY AREA RUBBER FALL TILES GREEN ALTERNATING COLOR

STAMPED CONCRETE HERRINGBONE PATTERN WITH 6\"/>

FENCE KEY



1.8M HT. WOOD FENCE

1.0M HT. ALUMINUM FENCE & GATE

CONCRETE PLANTER WALL

SITE FURNITURE LEGEND

Symbol	Model
	BIKE RACK
	BENCH
	BOULDERS, BURY 1/3RD MIN. 24\"/>

LIGHTING LEGEND

	BOLLARD LIGHT
	STEP LIGHT



BOLLARD LIGHT: DARK BLY OPTIFLED 150MM RADIAN LED BOLLARD

STEP LIGHT: DARK BLY OPTIFLED 150MM RADIAN LED BOLLARD

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Suite C100 - 4185 281 Creek Drive
 Burnaby, British Columbia, V5G 6G6
 P: 604 284-0011 • F: 604 284-0022

SEAL:

10	24 NOV 21	REVISION: PLUMB	00
11	24 NOV 21	REVISION: PLUMB	00
12	24 NOV 21	REVISION: PLUMB	00
13	24 NOV 21	REVISION: PLUMB	00
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48	24 NOV 21	REVISION: PLUMB	00
49	24 NOV 21	REVISION: PLUMB	00
50	24 NOV 21	REVISION: PLUMB	00

CLIENT:

PROJECT:
45 UNITS APARTMENT BUILDING
 The Arthur
 8493 164 STREET
 SURREY

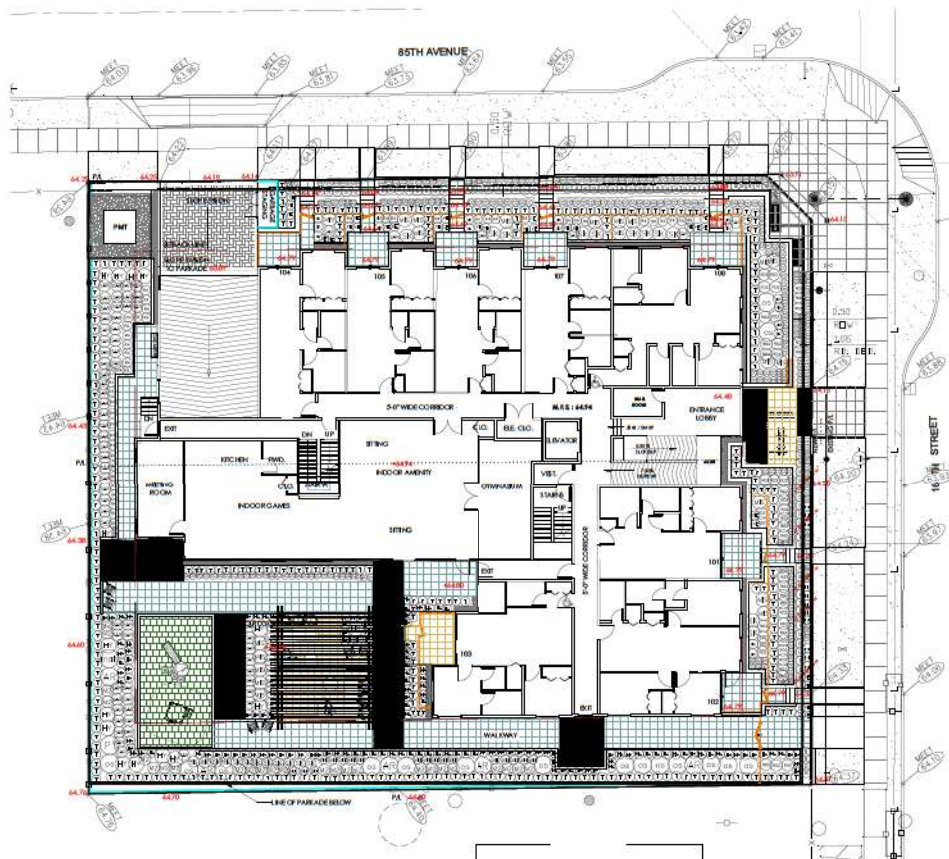
DRAWING TITLE:
LANDSCAPE PLAN

DATE: 20 JUN 11 DRAWING NUMBER:
 SCALE: 1:50
 DRAWN: JR
 DESIGN: JR
 CHECKED: JC

L1

OF 8

SEAL:



PLANT SCHEDULE				PMG PROJECT NUMBER: 20-064
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB	5	ARBUTUS UNEDO 'COMPACTA'	COMPACT STRAWBERRY BUSH	#3 POT, 80CM
	80	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE LEAF BOX	#2 POT, 25CM
	15	HYDRANGEA MACROPHYLLA 'PHANTOM'	PHANTOM HYDRANGEA, PINK-WHITE	#2 POT, 50CM
	25	MAHONIA AQUIFOLIUM	OREGON GRAPE	#2 POT, 40CM
	1	MAHONIA x MEDIA 'CHARITY'	CHARITY MAHONIA	#3 POT, 50CM
	16	OSMANTHUS x BURKWOODI	BURKWOOD OSMANTHUS	#3 POT, 50CM
	1	PHYSCARPUS OPULIFOLIUS 'DIABOL'	PURPLE HEBEBARY	#3 POT, 50CM
	46	RHOODOENDRON 'SNOW LADY'	RHOODOENDRON, WHITE	#2 POT, 30CM
	45	ROSA 'SCARLET MEDILAND'	SCARLET MEDILAND ROSE	#2 POT, 40CM
	76	SARCOCOCA 'HOOPERIANA' 'RUSCIFOLIA'	FRAGRANT SARCOCOCA	#2 POT
	23	SKIMMIA REVEVEIANA	DWARF SKIMMIA	#2 POT
	308	TAXUS x MEDIA 'HICKSII'	HICKS YEW	1.0M BAB
GRASS	6	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
	230	CAREX OSHIMENSBIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT
	136	HAYONCHLOA MAGRA 'ALLEGOL'	ALLEGOL JAPANESE FOREST GRASS	#1 POT
	21	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAP SILVER GRASS	#2 POT
	32	Pennisetum alopecuroides 'HAMELIN'	DWARF FOUNTAIN GRASS	#1 POT
PERENNIAL	17	ASTILE x ARENDSII 'RED SENTINEL'	FALSE SPIREA, RED	#1 POT
	11	RUDIBECKIA FUGIDA VAR SULLIVANTII	GOLDBLOCKRUDIBECKIA, YELLOW-ORANGE	15CM POT
	36	THYMUS VULGARIS	CULINARY THYME	#1 POT
	18	GAULTHERIA SHALLOON	SALAL	#1 POT, 20CM, 60CM O.C.

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. * ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

20-064-01	REVISED PLAN	01
20-064-02	REVISED PLAN	02
20-064-03	REVISED PLAN	03
20-064-04	REVISED PLAN	04
20-064-05	REVISED PLAN	05
20-064-06	REVISED PLAN	06
20-064-07	REVISED PLAN	07
20-064-08	REVISED PLAN	08
20-064-09	REVISED PLAN	09
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20-064-13	REVISED PLAN	13
20-064-14	REVISED PLAN	14
20-064-15	REVISED PLAN	15
20-064-16	REVISED PLAN	16
20-064-17	REVISED PLAN	17
20-064-18	REVISED PLAN	18
20-064-19	REVISED PLAN	19
20-064-20	REVISED PLAN	20

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:
45 UNITS APARTMENT BUILDING
The Arthur
8493 164 STREET
SURREY

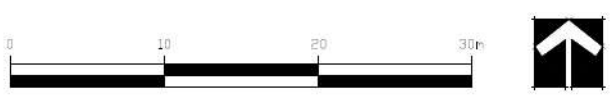
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DATE: 20 JUN 11 DRAWING NUMBER:
SCALE: 1:50
DRAWN: JR
DESIGN: JR
CHK'D: JC

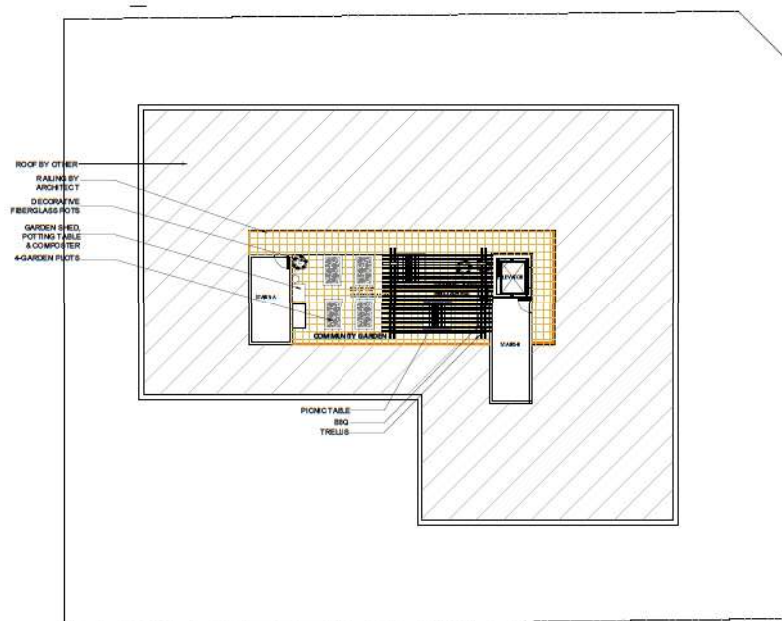
L2
OF 8

PMG PROJECT NUMBER: 20-064

30044-25.2P



SEAL:



FURNITURE KEY



PLANT SCHEDULE-ROOFTOP

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
ⓐ	3	CALAMAGROSTIS ACUTIFLORA VAR. FOERSTER	FEATHER REED GRASS	#1 POT
ⓑ	18	THYMUS VULGARIS	CULINARY THYME	#1 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BODS CANNOT BE PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

10	24 NOV 11	REVISIONAL PLANS	00
9	24 JUN 11	REVISION PLAN	00
8	24 JUN 11	NEW 9'S PLAN	00
7	24 MAY 11	CONCEPT	00
6	24 MAY 11	NEW 9'S PLAN	00
5	24 MAY 11	NEW 9'S PLAN	00
4	24 MAY 11	NEW 9'S PLAN	00
3	24 MAY 11	NEW 9'S PLAN	00
2	24 MAY 11	NEW 9'S PLAN	00
1	24 MAY 11	NEW 9'S PLAN	00

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:
45 UNITS APARTMENT BUILDING
The Arthur
8493 164 STREET
SURREY

DRAWING TITLE:
ROOFTOP PLAN

DATE: 20 JUN 11 DRAWING NUMBER:
SCALE: 1:250
DRAWN: JR
DESIGN: JR
CHK'D: JC

L3

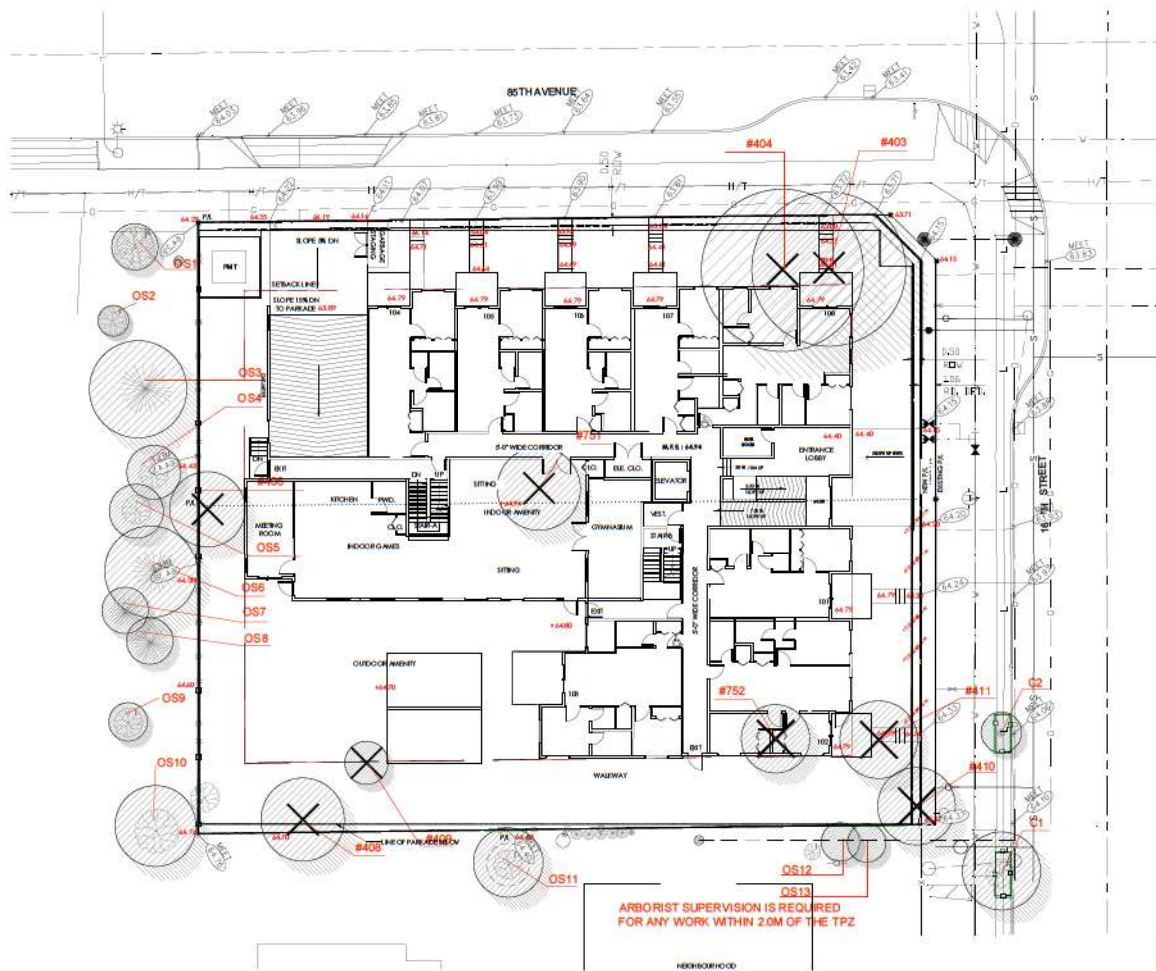
OF 8

PMG PROJECT NUMBER: 20-064

2004-25.2P



SCALE:



TREES PROTECTED BY SPECIES

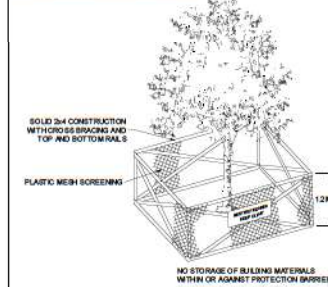
COMMON	TRUNK DIAMETER IN CM @ 1.3M	MINIMUM REQUIRED PROTECTION RADIUS DISTANCE FROM TRUNK IN METRES
QUARRY OAK	20	1.2
PACIFIC REDWOOD	25	1.5
PACIFIC WILLOW	30	1.8
WESTERN WHITE PINE	30	1.8
COAST REDWOOD	40	2.1
DAWSON REDWOOD	40	2.4
GRANT SEQUOIA	45	2.7
YEW	50	3
MONKEY PUZZLE TREE	50	3.3
	60	3.6
	75	4.5
	90	5
	100	6.0

TREE PROTECTION DISTANCE TABLE

TRUNK DIAMETER IN CM @ 1.3M	MINIMUM REQUIRED PROTECTION RADIUS DISTANCE FROM TRUNK IN METRES
20	1.2
25	1.5
30	1.8
40	2.1
45	2.4
50	2.7
60	3
75	3.6
90	4.5
100	6.0

EXTRAPOLATE PROTECTION RADIUS FOR TREES LARGER THAN 100 CM DIA. *DIAMETER AT BREAST HEIGHT OR 1.4M FROM GRADE.

NOTE: ALL TREES REGARDLESS OF SIZE ARE PROTECTED IN HIGH ENVIRONMENTALLY SENSITIVE AREAS.



1 TREE PROTECTION BARRIER
N/A



PROJECT:
45 UNITS APARTMENT BUILDING
The Arthur
8493 164 STREET
SURREY

DRAWING TITLE:
TREE MANAGEMENT PLAN

DATE: 20 JUN 11 DRAWING NUMBER:
SCALE: 1:250
DRAWN: JR
DESIGN: JR
CHK'D: JC

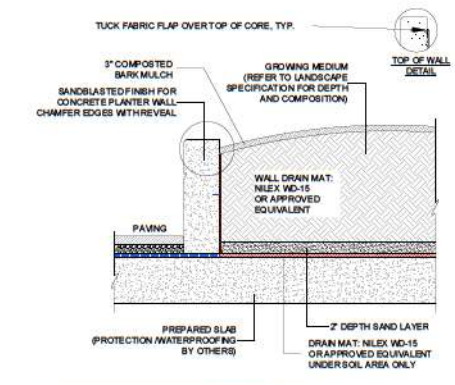
L4
OF 8

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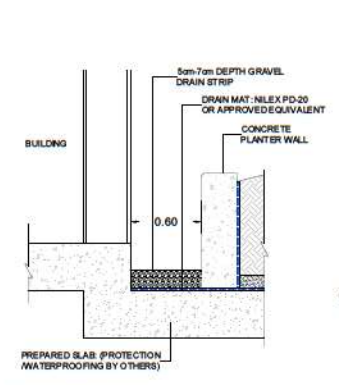


Suite C100 - 4185 261 Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604-294-0061 f: 604-294-0022

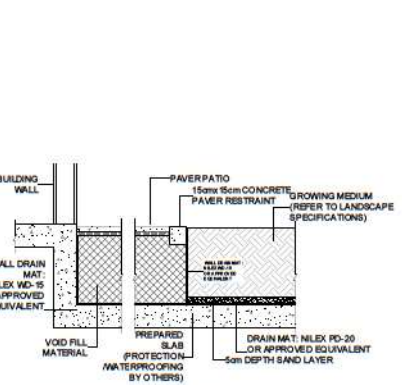
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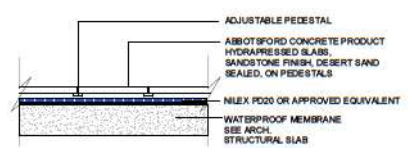
1 LANDSCAPE ON SLAB WITH PROPOSED TREE
SCALE 1: 20



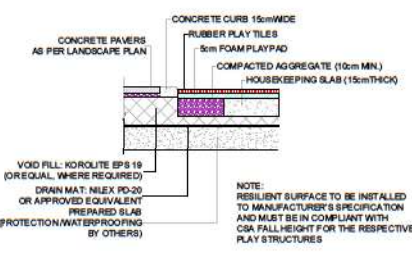
2 DRAIN STRIP ON SLAB
SCALE 1: 20



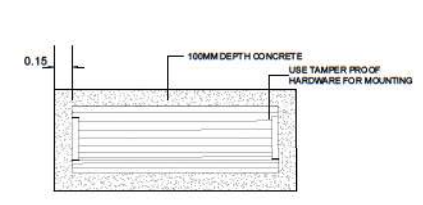
3 PATIO/LANDSCAPE AT SLAB DROP
SCALE 1: 20



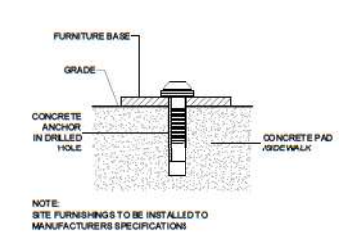
4 HYDRAPRESSED SLABS OVER PEDESTALS
SCALE 1: 20



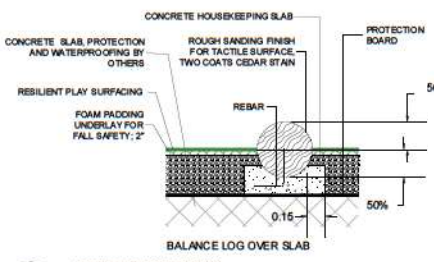
5 PLAY TILE SURFACE EDGE
SCALE 1: 20



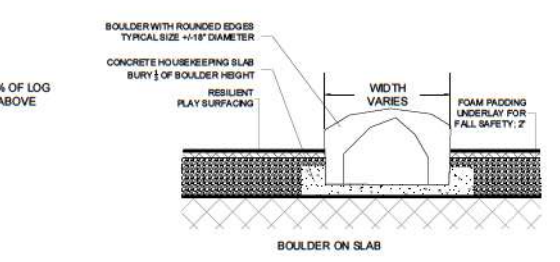
6 BENCH ON CONCRETE PAD
SCALE 1: 20



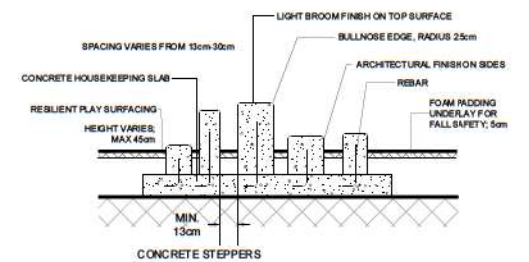
7 SITE FURNITURE MOUNTING
N.T.S.



8 NATURAL PLAY ELEMENTS
SCALE 1: 20



Boulder on slab
SCALE 1: 20



Concrete Steppers
SCALE 1: 20

NO.	DATE	REVISION DESCRIPTION	DR.
22	14 NOV 11	NEW MATERIAL PLANS	GD
23	24 JUN 12	NEW WORK PLAN	GD
24	24 JUN 12	NEW SITE PLAN	GD
25	24 JUN 12	UNDERDRIP	GD
26	13 OCT 12	NEW SITE PLAN	GD
27	13 NOV 12	NEW SITE PLAN	GD
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35	13 NOV 12	NEW SITE PLAN	GD
36	13 NOV 12	NEW SITE PLAN	GD
37	20 JUN 17	NEW SITE PLAN	GD
38	13 NOV 12	NEW WORK PLAN	GD
39	13 NOV 12	NEW WORK PLAN	GD
40	13 NOV 12	NEW WORK PLAN	GD
41	13 NOV 12	NEW WORK PLAN	GD
42	13 NOV 12	NEW WORK PLAN	GD
43	13 NOV 12	NEW WORK PLAN	GD
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46	13 NOV 12	NEW WORK PLAN	GD
47	13 NOV 12	NEW WORK PLAN	GD
48	13 NOV 12	NEW WORK PLAN	GD
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50	13 NOV 12	NEW WORK PLAN	GD
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53	13 NOV 12	NEW WORK PLAN	GD
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58	13 NOV 12	NEW WORK PLAN	GD
59	13 NOV 12	NEW WORK PLAN	GD
60	13 NOV 12	NEW WORK PLAN	GD

CLIENT:

PROJECT:
45 UNITS APARTMENT BUILDING
The Arthur
8493 164 STREET
SURREY

DRAWING TITLE:
LANDSCAPE DETAILS

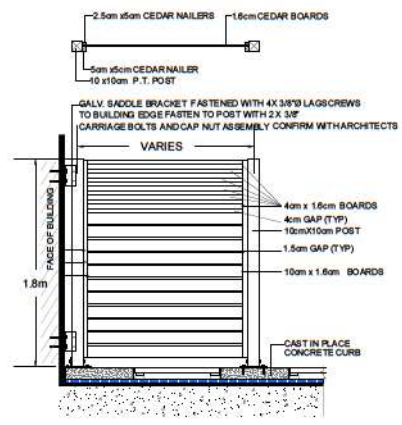
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DRAWN: JT
DESIGN: GD
CHK'D: JC OF 8

PMG PROJECT NUMBER: 20-064

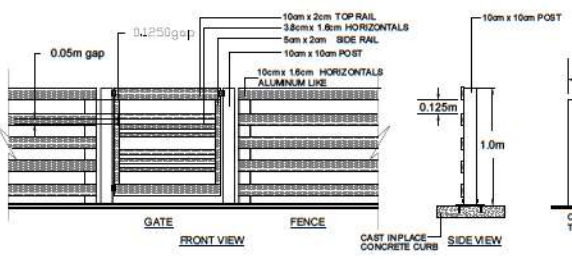
SCALE

- NOTES:**
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM.
 3. ALL HARDWARE HOT DIPPED GALVANIZED.
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3"-6".

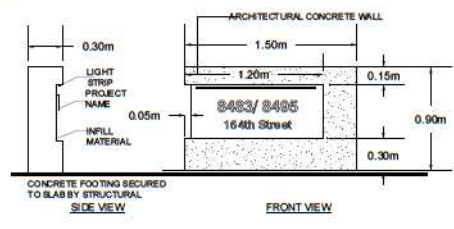
- NOTES:**
1. ALUMINUM TO BE POWDERCOATED WITH 2 COATS OF COLOR TO MATCH BUILDING RAILINGS.
 2. ALL HARDWARE TO BE HOT DIPPED GALVANIZED, MEDIUM GAUGE.
 3. GATE HARDWARE TO BE CHOSEN BY OWNER.



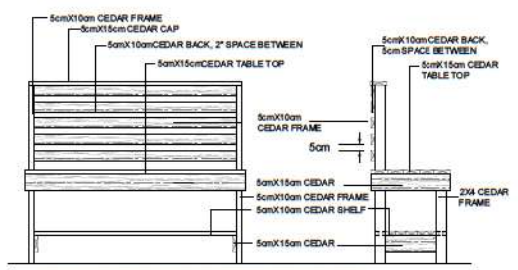
9. 1.8m HT PATIO SCREEN
SCALE 1:20



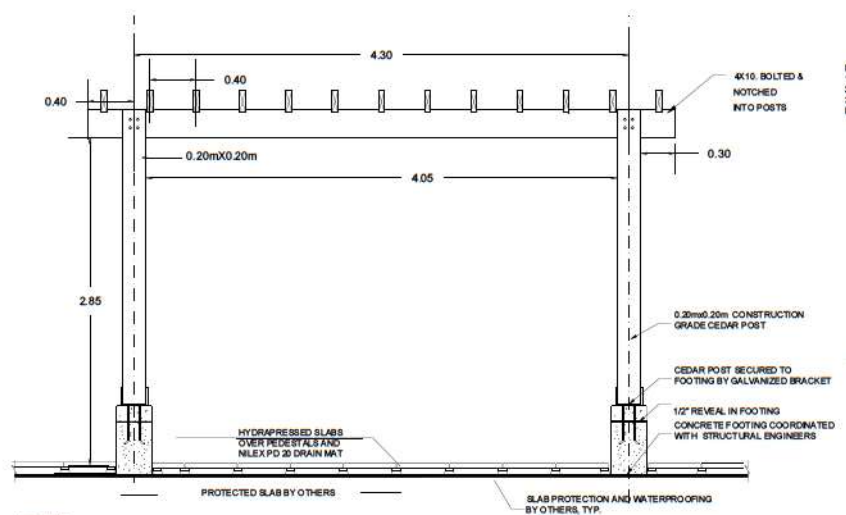
10. ALUMINUM GATE WITH ENTRY DECORATIVE COLUMN AND ALUMINUM FENCE
SCALE 1:20



11. SIGN WALL
SCALE 1:20



12. POTTING TABLE/ BENCH
SCALE 1:20



- NOTE:**
1. ALL MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM.
 2. ALL HARDWARE HOT DIPPED GALVANIZED.
 3. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.

13. TRELLIS
SCALE 1:20

02	24 JUN 11	NEW SIGN WALL	02
03	24 JUN 11	NEW SIGN WALL	03
04	24 JUN 11	NEW SIGN WALL	04
05	24 JUN 11	NEW SIGN WALL	05
06	24 JUN 11	NEW SIGN WALL	06
07	24 JUN 11	NEW SIGN WALL	07
08	24 JUN 11	NEW SIGN WALL	08
09	24 JUN 11	NEW SIGN WALL	09
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11	24 JUN 11	NEW SIGN WALL	11
12	24 JUN 11	NEW SIGN WALL	12
13	24 JUN 11	NEW SIGN WALL	13
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17	24 JUN 11	NEW SIGN WALL	17
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22	24 JUN 11	NEW SIGN WALL	22
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36	24 JUN 11	NEW SIGN WALL	36
37	24 JUN 11	NEW SIGN WALL	37
38	24 JUN 11	NEW SIGN WALL	38
39	24 JUN 11	NEW SIGN WALL	39
40	24 JUN 11	NEW SIGN WALL	40

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:
45 URS APARTMENT BUILDING
The Arthur
8493 164 STREET
SURREY

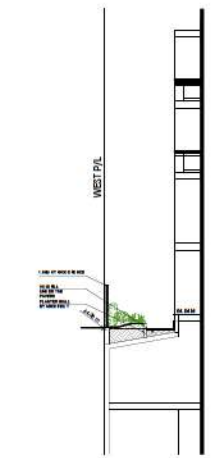
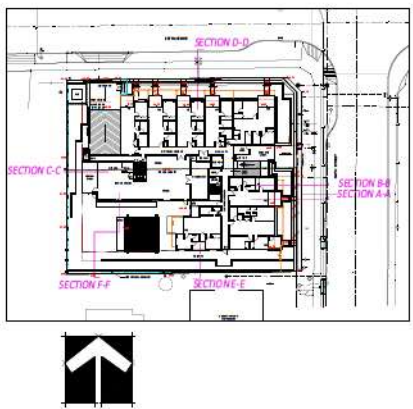
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SCALE: **L6**
DRAWN: JH
DESIGN: OS
CHK'D: FC OF 8

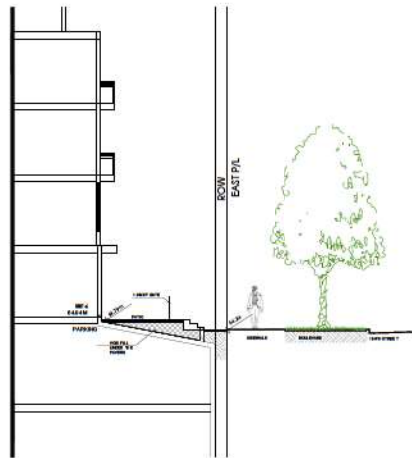
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LANDSCAPE ARCHITECTS
Suite C100 - 4185 261 Q west Drive
Burnaby, British Columbia, V5C 6G8
p: 604 284-0011 • f: 604 284-0022

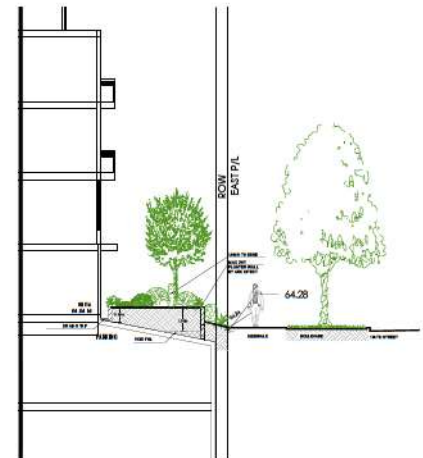
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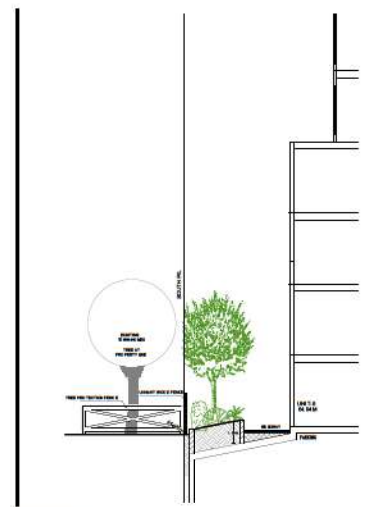
SECTION C-C



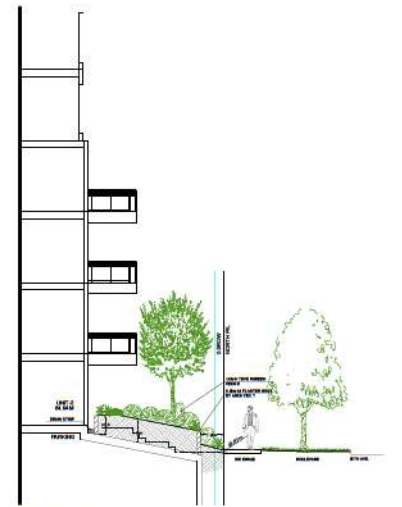
SECTION A-A



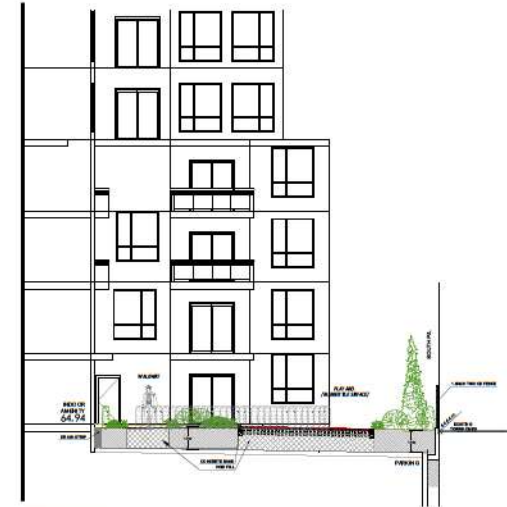
SECTION B-B



SECTION E-E



SECTION D-D



SECTION F-F

NO.	DATE	REVISION DESCRIPTION	DR.
10	24 NOV 11	NEW SITEPLAN PLANS	CO
9	24 JUN 11	NEW PLAN PLAN	CO
8	24 JUN 11	NEW SITE PLAN	CO
7	24 JUN 11	CONCEPT PLAN	CO
6	23 DEC 10	NEW SITE PLAN	CO
5	23 NOV 10	NEW SITE PLAN	CO
4	23 NOV 10	NEW SITE PLAN	CO
3	23 NOV 10	NEW SITE PLAN	CO
2	23 NOV 10	NEW SITE PLAN	CO
1	23 NOV 10	NEW SITE PLAN	CO
10	24 JUN 11	NEW SITE PLAN	CO
9	24 JUN 11	NEW SITE PLAN	CO
8	24 JUN 11	NEW SITE PLAN	CO
7	24 JUN 11	NEW SITE PLAN	CO
6	24 JUN 11	NEW SITE PLAN	CO
5	24 JUN 11	NEW SITE PLAN	CO
4	24 JUN 11	NEW SITE PLAN	CO
3	24 JUN 11	NEW SITE PLAN	CO
2	24 JUN 11	NEW SITE PLAN	CO
1	24 JUN 11	NEW SITE PLAN	CO

CLIENT:

PROJECT:
45 UNITS APARTMENT BUILDING
The Arthur
8493 164 STREET
SURREY

DRAWING TITLE:
LANDSCAPE SECTIONS

DATE: 20 JUN 11 DRAWING NUMBER:
SCALE: 1:500
DRAWN: JH
DESIGN: CO
CHECK: PC

L7
OF 8

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Director, Land Development, Engineering Department**

DATE: **November 26, 2024**

PROJECT FILE: **7824-0233-00**

RE: **Engineering Requirements**
Location: 8483 / 8495 164 Street

OCP AMENDMENT/NCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment/NCP Amendment.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate approx. 1.06m along 164th Street.
- Dedicate 3m x 3m corner cut at the intersection of 164th Street & 85th Avenue.
- Register 0.5m SRW along 164th Street.

Works and Services

- Construct min. 250 mm water main along 85th Avenue.
- Submit Storm Water Catchment Plan (SWCP) & Sanitary Catchment Analysis, and address downstream constraints as required.
- Construct storm, sanitary and water service connections for the lot.
- Register applicable legal documents as determined through detailed design stage.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Jeff Pang, P.Eng.
Director, Land Development

NG



Department: **Planning and Demographics**
 Date: **October 29, 2024**
 Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **24-0233**

The proposed development of **69** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	11
---------------------------------------------------	----

Projected Number of Students From This Development In:	
Elementary School =	6
Secondary School =	3
Total Students =	9

Current Enrolment and Capacities:	
Frost Road Elementary	
Enrolment	571
Operating Capacity	635
# of Portables	0
North Surrey Secondary	
Enrolment	1451
Operating Capacity	1175
# of Portables	9

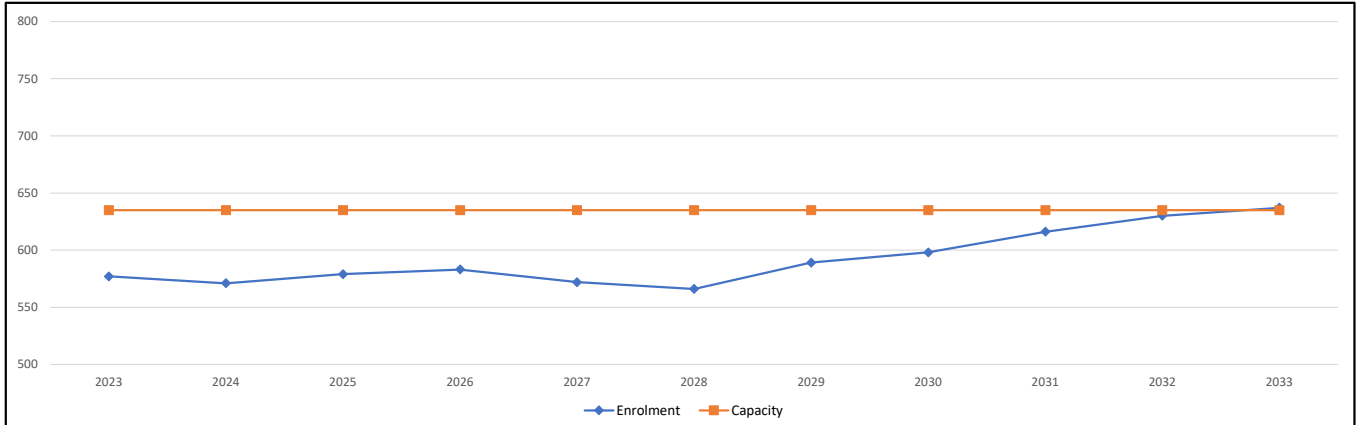
Summary of Impact and Commentary

The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

As of September 2024, Frost Road Elementary is at 90% capacity. While there is currently capacity to accommodate some growth, the 10-year enrolment projections in this report do not include future growth from the Fleetwood Plan update, nor the Provincial legislation to increase housing. These will both have significant impacts of future projections for this school and others along the Skytrain corridor.

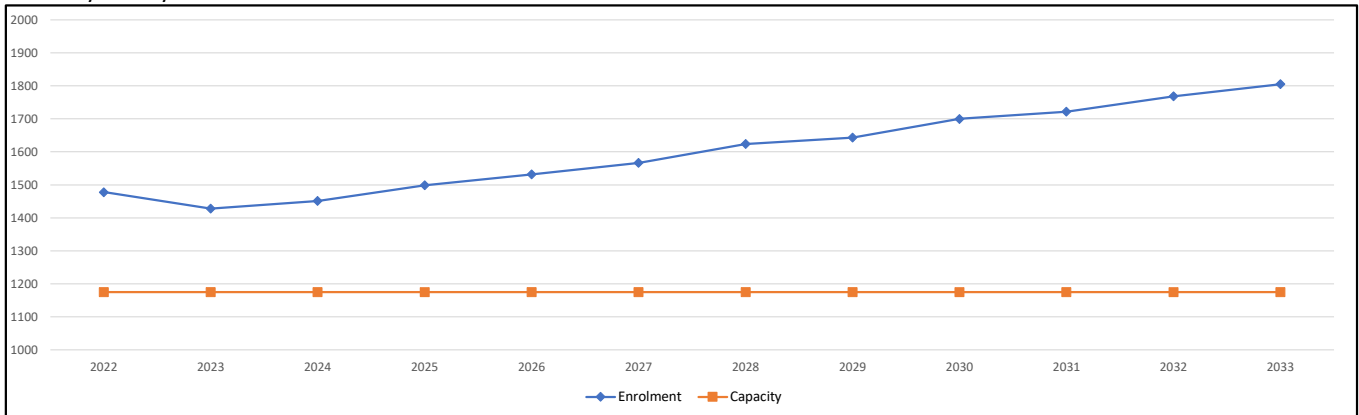
As of September 2024, North Surrey Secondary is operating at 123% and projected to grow to 1500+ students by the middle of this decade. As part of the 2025/2026 Capital Plan submission to the Ministry of Education, the District is requesting a 525 capacity addition. This project has not been approved by the Ministry as of yet.

Frost Road Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

North Surrey Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population : The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

Appendix C – Summary of Tree Perseveration

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including tree within boulevards and proposed streets and lanes, but excluding tree in proposed open space or riparian areas)	11
Protected Trees to be Removed	9
Protected Trees to be Retained (excluding tree in proposed open space or riparian areas)	2
Total Replacement Trees Required: -Alder & Cottonwood Trees Requiring 1 to1 Replacement Ratio __0__ x one (1) = 0 -All other Trees Requiring 2 to 1 Replacement Ratio __9__ x two (2) =18	18
Replacement Trees Proposed	24
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed (Open Space/Riparian Areas)	0

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: -Alder & Cottonwood Trees Requiring 1 to1 Replacement Ratio __0__ x one (1) = 0 -All other Trees Requiring 2 to 1 Replacement Ratio __0__ x two (2) =0	N/A
Replacement Tree Proposed	N/A
Replacement Trees in Deficit	N/A

Preservation Summary by Tree Species

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/Cottonwood Trees	0	0	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Magnolia	1	1	0
Beaked Hazelnut (Corylus cornuta)	1	1	0
Mountain Ash (Sorbus)	1	1	0
Apple (Malus)	1	1	0
Cherry (Prunus)	1	1	0
Purple Leaf Plum (Prunus cerasifera)	1	1	0
Tulip (Liriodendron tulipifera)	1-City Tree	0	1
Pyramidal Oak (Quercus robur 'Fastigiata")	1-City Tree	0	1
Coniferous Trees			
Western Red Cedar (Thuja plicata)	2	2	0
False cypress (Chamaecyparis)	1	1	0
Total		9	2
Additional Trees is Proposed Open Space/ Riparian Area	-	-	-
Total Replacement Trees Proposed (excluding Boulevard Trees)		24	
Total Retained and Replacement Trees		24	

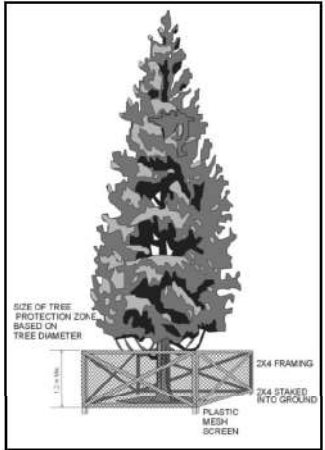
Off-site trees not included in total

Summary, report and plan prepared and submitted by:

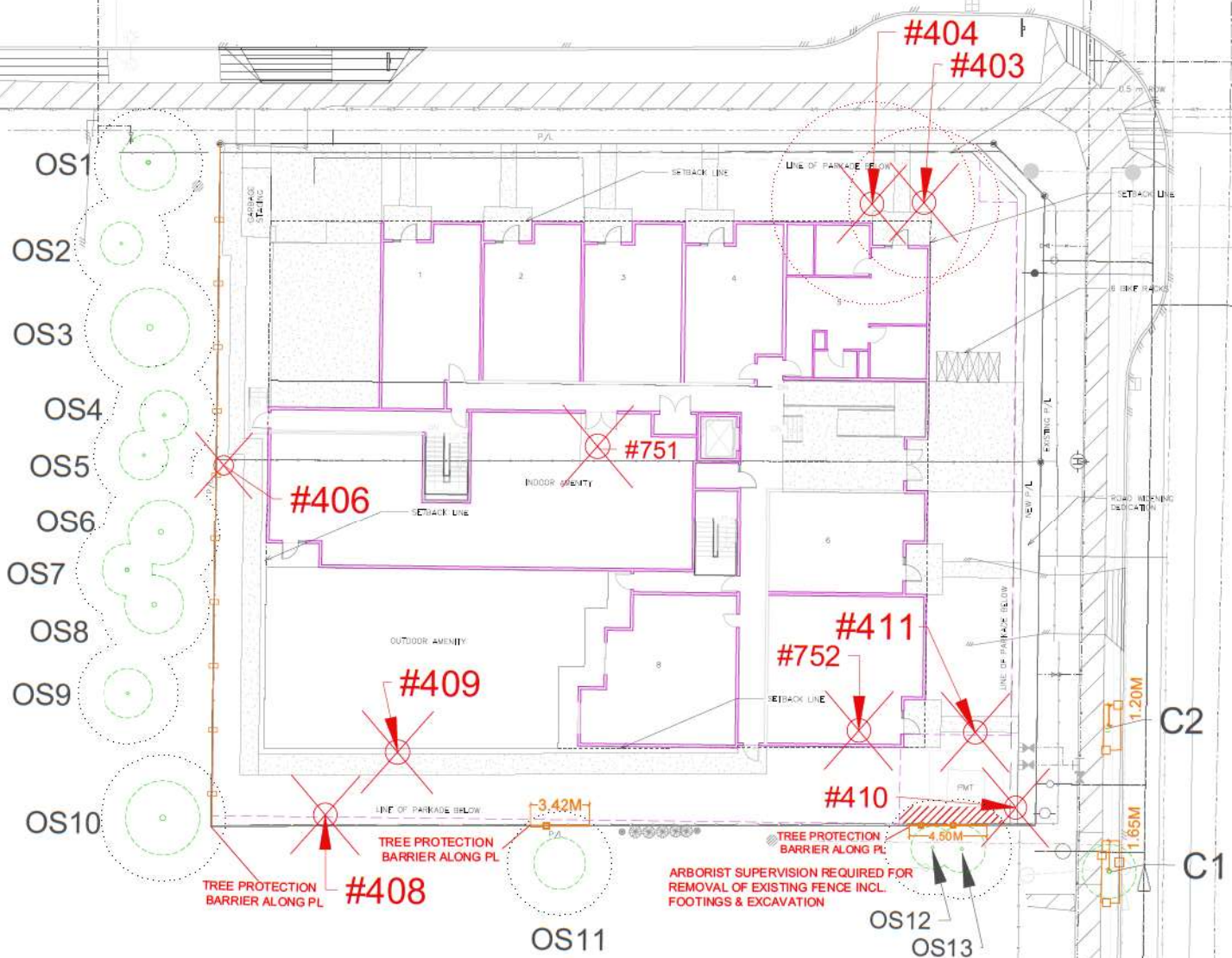


Arminster Virk, Consulting Arborist

Date: June 21, 2024



TRUNK DIAMETER	MINIMUM PROTECTION REQUIRED AROUND TREE
Trunk diameter	Distance from trunk
20 cm	1.2 m
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3.0
55	3.3
60	3.6
75	4.5
90	5.0
100	6.0



LEGEND

- TREES TO BE RETAINED (6xDBH)
- TREES TO BE REMOVED (6xDBH)
- TREE PROTECTION FENCE
- BUILDING FOOTPRINT
- ARBORIST SUPERVISION REQUIRED
- 1-80 TREE NUMBER/TREE ID
- NO BUILD ZONE 1.5M

1. 10/09/24 A.V.

(DDMMYY) NAME

REVISIONS

PROJECT TITLE
AC-164ST_SURREY

PROJECT ADDRESS
8483/ 8495 164ST SURREY, B.C.

DRAWING TITLE
TREE MANAGEMENT PLAN

NOTE

- CONTACT ARBORISTS ARBOR & CO. 72 HOURS PRIOR TO ANY GRADING OR EXCAVATION WITHIN THE TREE PROTECTION ZONES. EXCAVATION WITHIN THE 1.5M NO BUILD ZONE TO BE SUPERVISED BY THE PROJECT ARBORIST
- IT IS THE RESPONSIBILITY OF THE CLIENT OR HIS/HER REPRESENTATIVE TO CONTACT THE PROJECT ARBORIST FOR THE PURPOSE OF:
 - *LOCATING TPZ FENCING
 - *LOCATING WORK ZONE AND MACHINE ACCESS CORRIDORS WHERE REQUIRED
 - *REVIEWING THE REPORT WITH THE PROJECT FOREMAN OR SITE SUPERVISOR

Stage 1 Fleetwood Plan | Summary

Proposed Land Use Concept

