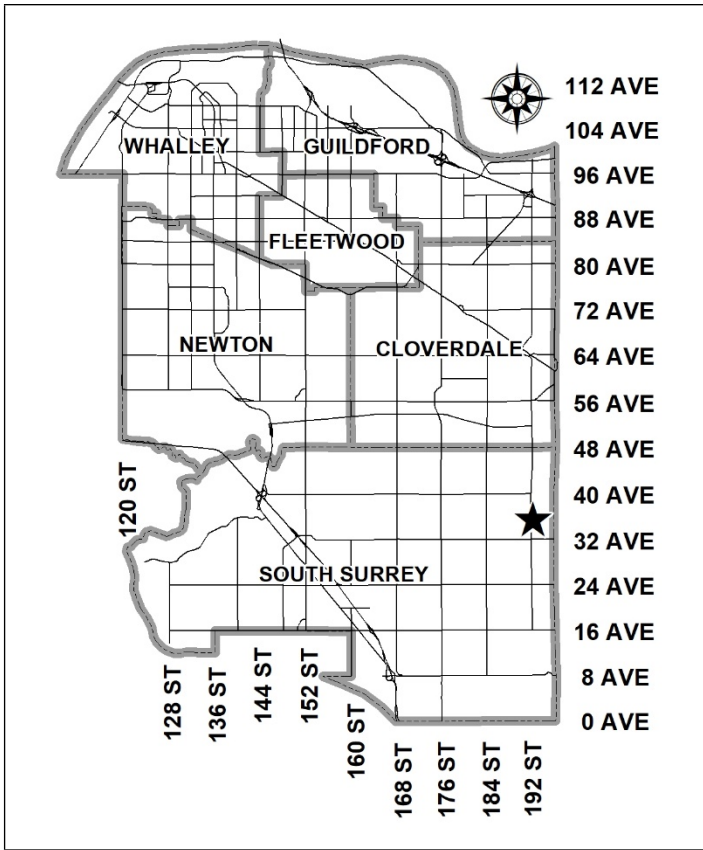


**City of Surrey
PLANNING & DEVELOPMENT REPORT**

Application No.: 7924-0159-00

Planning Report Date: November 04, 2024



PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

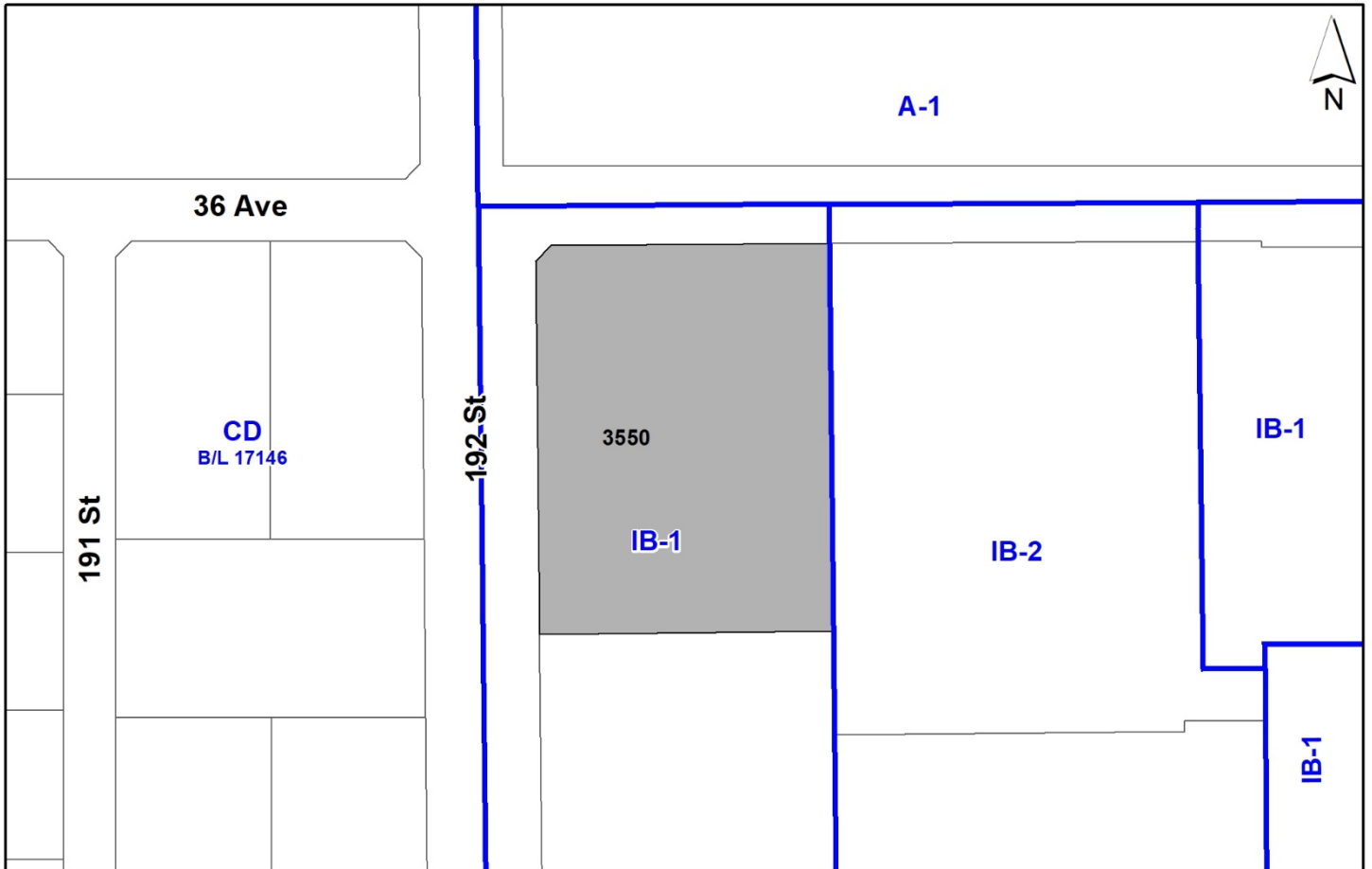
to permit the development of a multi-tenant industrial building with a daycare facility for 260 children.

LOCATION: 3550 192 Street

ZONING: IB-1

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park, Business Park (Office) and Landscape Strip



RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to increase the lot coverage and building height, and to reduce the building setback requirements of the IB-1 Zone.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal complies with the Business Park, Business Park (Office) and Landscape Strip designation in the Campbell Heights Local Area Plan (LAP).
- The proposal complies with the Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Campbell Heights.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building setback reduction is adjacent to a proposed drive aisle on the adjacent site and will have no impact on their operation.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposal is comprised of one large multi-tenant building, with two street interfaces and loading along the east setback.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7924-0159-00 generally in accordance with the attached drawings (Appendix I).
2. Council approve Development Variance Permit No. 7924-0159-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to increase the maximum lot coverage of the IB-1 Zone from 60% to 64%;
 - (b) to reduce the minimum rear yard (south) setback of the IB-1 Zone from 7.5 metres to 0.0 metres to the principal building face; and
 - (c) to increase the maximum building height of the IB-1 Zone allowed from 14 metres to 16 metres for the principal building.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (c) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect; and
 - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Vacant treed lot	Business Park, Business Park (Office) and Landscape Strip	IB-1
North (Across 36 Avenue):	Farmland	Technology Park/Business Park (Office) and Landscape Strip	A-1

Direction	Existing Use	LAP Designation	Existing Zone
East:	Sumitomo Drive Technology (industrial building)	Business Park and Landscape Strip	IB-2
South:	Vacant treed lot, under Development Application No. 7923-0212-00 for a multi-tenant industrial site.	Business Park, Business Park (Office) and Landscape Strip	IB-1
West (Across 192 Street):	Hayer Business Centre	Business Park and Landscape Strip	CD (By-law Nos. 17146 and 17934)

Context & Background

- The subject property is 1.69 hectares (4.18 acres), designated "Mixed Employment" in the Official Community Plan (OCP), "Business Park", "Business Park (Office)" and "Landscape Strips" in the Campbell Heights Local Area Plan (LAP) and zoned "Business Park 1 Zone (IB-1)". The property is located at the southeast corner of the intersection of 192 Street and 36 Avenue.
- The site was rezoned and subdivided, with a General Development Permit as part of previous Development Applications No. 7907-0326-00 and 7918-0139-00.
- The site is currently vacant and heavily treed. The site is mainly flat with minimal slope.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to develop a multi-tenant industrial building with a daycare facility, under the existing "Business Park 1 Zone (IB-1)". The proposal includes 10,689 square metres of industrial facility, with a 3,352 square metres of daycare. The total Floor Area Ratio (FAR) is 0.83, with 63.22% lot coverage.
- The daycare is proposed on the second and third floors of the corner unit, with the outdoor play space on the rooftop. The capacity of the daycare is 260 children. The outdoor play area can accommodate 130 children at a time, with a total space of 882 square metres of outdoor play area. There is no operator yet, so once an operator is selected, they will propose a Tenant Improvement and will provide the details of the programming. For the parking calculation, the applicant has assumed 4 classes of 25 children (3-5 years old), 4 classes of 16 (3-5 years old), 4 classes of 12 (1-3 years old) and 4 classes of 12 (0-1 year old). This would require 46 staff, which is the number used for the parking calculation.

- No road dedication is required, and the site is proposed to be accessed from 36 Avenue.

	Proposed
Lot Area	
Gross/Net Site Area:	16,901.16 square metres (4.18 acres)
Number of Lots:	1
Building Height:	15.85 metres
Floor Area Ratio (FAR):	0.83
Floor Area	
Commercial:	3,352 square metres
Industrial:	10,689 square metres
Total:	14,042 square metres

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
Parks, Recreation & Culture:	Latimer Park is the closest active park with amenities, including dog off-leash area, trails, and natural areas. It is 1,455 metres walking distance from the development.
Surrey Fire Department:	No concerns.

Transportation Considerations

- The application required no road dedication. Access is proposed from 36 Avenue to the north, with a small parking lot at grade, some tandem employee parking between loading bays, and the majority of the parking as a roof top parking lot accessed by a ramp.
- The proposed truck loading bays are located on the eastern portion of the site, and are screened from 192 St by the building, and from 36 Avenue by the parking ramp behind the surface parking.

Sustainability Considerations

- The applicant has met the majority of the sustainable development criteria, as indicated in the Sustainable Development Checklist; however, the applicant does not propose to meet the Climate Adaptation Strategy policy for a green roof or a high-albedo roof, which is typically considered to have a Solar Radiance Index (SRI) value of 75.
- The purpose of a high-albedo roof is to reduce the internal building temperatures by reflecting the sun and also to contribute to a lower overall heat island effect, which is an increase in the overall temperature of a developed area.

- Instead, the applicant proposes an EPDM roof system with light grey washed river worn rock, with a Solar Radiance Index value of between 50 and 65 over the warehouse area. The roof top parking area will either be concrete or have a traffic coating on it.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "Mixed Employment" land use designation in the Metro Vancouver Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the "Mixed Employment" land use designation in the Official Community Plan.

Themes/Policies

- B6.6 – Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces.

(The proposed development has attractive elevations along 192 Street and 36 Avenue with expansive two-level spandrel glazing at the corner. There is also a public amenity at the NW corner).

- B6.9 – Create opportunities for interactive and enjoyable public plazas by using furniture, banners, signs, interactive public art, heritage interpretation, paving patterns, vibrant colours and other "placemaking" design elements.

(The proposed development includes a plaza at the northwest corner of the site, with benches and an amenity space).

- C2.38 – Ensure the loading and on-site access of goods delivery vehicles is considered in conjunction with overall urban development site design.

(Site access and loading bays have been designed and located to minimize views from the public realm and to allow for the building to be used as screening for portions of the site. The loading area is accessed from 36 Avenue, with the parking ramp as screening to the north).

- E1.20 – Encourage the continued expansion of high-tech, research and development and light manufacturing to locate within Mixed Employment areas that are accessible to major transportation corridors and/or frequent transit services.

(The proposed development is compatible with the Mixed Employment designation and builds upon the employment lands in Campbell Heights. The subject site is also located near the major transportation corridors of 36 Avenue, Highway 15, 192 Street and international border crossings).

Secondary Plans

Land Use Designation

- The proposal complies with the Business Park, Business Park (Office) and Landscape Strip designation in the Campbell Heights Local Areas Plan (LAP) as follows:

Themes/Objectives

- 6.5.1.4 – Design Guidelines: Business Park – The use of glass and high quality materials and finishes is required of buildings facing the street. Blank walls should be avoided.

(The proposed development incorporates expansive two-level spandrel glass at the intersection corner and along 192 Street frontage).

- 6.5.1.4 – Design Guidelines: Business Park – Variations in massing and changes in height and horizontal planes are encouraged.

(The proposed development incorporates a variation in building height at the unit entrances, and the intersection corner has a detail with spandrel glass).

- 6.5.1.4 – Design Guidelines: Business Park – The exterior of buildings should be coordinated in the design on all elevations with regard to colour, materials, architectural form, and detailing to achieve design harmony and continuity.

(The proposed building is architecturally coordinated with a modern appearance that promotes harmony by using consistent cladding materials, glazing, and landscaping).

Zoning By-law

- The applicant proposes to develop the site under the existing "Business Park 1 Zone (IB-1)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Business Park 1 Zone (IB-1)" and parking requirements.

IB-1 Zone (Part 47A)	Permitted and/or Required	Proposed
Floor Area Ratio:	1.0	0.83
Lot Coverage:	60%	64% (DVP)
Yards and Setbacks		
North:	7.5 metres	7.5 metres
East:	3.6 metres	22 metres
South:	7.5 metres	0.0 metres (DVP)
West:	7.5 metres	7.5 metres
Height of Buildings		
Principal buildings:	14 metres	15.85 metres (DVP)
Accessory buildings:	6 metres	n/a
Parking (Part 5)	Required	Proposed
Number of Stalls		

IB-1 Zone (Part 47A)	Permitted and/or Required	Proposed
Commercial:	62	62
Industrial:	107	105
Total:	205	203 (no variance required, alternate hours of operation)

Setback/Height/Lot Coverage Variances

- The applicant is requesting the following variances:
 - (a) to increase the maximum lot coverage of the IB-1 Zone from 60% to 64%
 - (b) to reduce the minimum rear yard (south) setback of the IB-1 Zone from 7.5 metres to 0.0 metres to the principal building face; and
 - (c) to increase the maximum building height of the IB-1 Zone allowed from 14 metres to 16 metres.
- The proposal includes rooftop parking, and a denser utilization of the site. Staff supports densification of mixed employment lands, and the proposed increase in lot coverage from 60% to 64%.
- The proposed rear yard setback variance has no interface impact on adjacent use (future industrial), and allows for more efficient use of employment land.
- The increased building height supports the access to the roof top parking and the elevator access. This also allows access to the rooftop daycare outdoor play area. The proposed height increase from 14 metre to 16 metres is supported by staff.
- Staff support the requested variances to proceed for consideration.

PUBLIC ENGAGEMENT

- Development Proposal Signs were installed on October 16, 2024. Staff received no responses.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Campbell Heights Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Campbell Heights Local Area Plan (LAP).
- The applicant has worked with staff to enhance certain areas of the rooftop landscaping and adjust the signage to a more human scale.

- The general site design consists of one large multi-tenant industrial building, with a daycare facility. A 7.5 metre wide landscaping strip is proposed along 192 Street. Along 36 Avenue, the landscaping is 7.5 metres wide along the building frontage, and 6 metres wide in front of the small surface parking lot adjacent to the driveway.
- The longitudinal length of the building along 192 Street softened by the corner feature where three-storey offices are proposed, and the building height is increased with expansive use of spandrel glass. There are also details in green to break up the large grey scale of the building.
- Signage is proposed for each individual unit, as well as one free-standing sign with the complex name and address is proposed adjacent to the driveway on 36 Avenue.

Landscaping

- The proposed landscaping consists of 7.5 metre wide landscape buffers along 192 Street and a 7.5 metre landscape buffer along 36 Ave fronting the building, and 6.0 metre wide landscape buffer along 36 Avenue, fronting the surface parking.
- A publicly accessible plaza with seating is proposed at the northwest corner of the site.
- Rooftop parking is proposed with additional landscaping along the western edge, facing 192 Street, as well as along the walkways within the parking area. A reduction from typical surface parking landscape was allowed on the rooftop, in consideration of the additional soil and landscaping would add to the roof.
- When a childcare facility operator is selected, detailed design of the rooftop outdoor play area will be provided.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include minor changes to the landscaping and signage.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Alexander Groenewold, ISA Certified Arborist of KM Civil Urban Forestry prepared an Arborist Assessment for the subject site. The table below provides a summary of the proposed tree retention and removal. A detailed list of the proposed tree retention and removal by tree species can be found in (Appendix III):
- All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

Table 1: Summary of Proposed Onsite Tree Preservation by Tree Species:

	Existing	Remove	Retain
Alder/Cottonwood	12	12	0
Deciduous Trees	5	5	0
Coniferous Trees	308	308	0
Onsite Tree Totals	325	325	325
Onsite Replacement Trees Proposed	58		
Total Onsite Retained and Replacement Trees	58		

- The Arborist Assessment states that there are a total of 325 bylaw protected trees on the site. Additionally, there are 5 bylaw protected offsite trees and 72 bylaw protected City trees within proximity of the proposed development. The applicant proposes to retain all 77 offsite trees, and remove all 325 trees onsite. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of 638 replacement trees on the site. Since the proposed 58 replacement trees cannot be accommodated on the site, the proposed deficit of 580 replacement trees will require an estimated cash-in-lieu payment of \$172,425, to the Green City Program, in accordance with the City’s Tree Protection By-law, based on a maximum payment of \$41,250 per gross acre.
- The new trees on the site will consist of a variety of trees including Sun Valley Red Maple, Japanese Zelkova, Sourwood, Japanese Emperor Maple, Pink Lobner Magnolia, Serbian Spruce and a variety of shrubs and grasses.
- In summary, a total of 58 trees are proposed to be retained or replaced on the site with an estimated contribution of \$172,425 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Survey Plan, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix IV. Development Variance Permit No. 7924-0159-00

approved by Shawn Low

Ron Gill
Acting General Manager
Planning and Development



NORTHWEST AERIAL PERSPECTIVE



NORTHEAST AERIAL PERSPECTIVE



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NO.	DATE	BY	DESCRIPTION
4	2024.10.25		REVISED FOR DEVELOP. PERMIT
3	2024.10.02		REVISED FOR DEVELOP. PERMIT
2	2024.06.19		REVISED FOR PERMIT
1	2024.05.31		REVISED FOR DEVELOP. PERMIT

ISSUES AND REVISIONS

DESIGNER

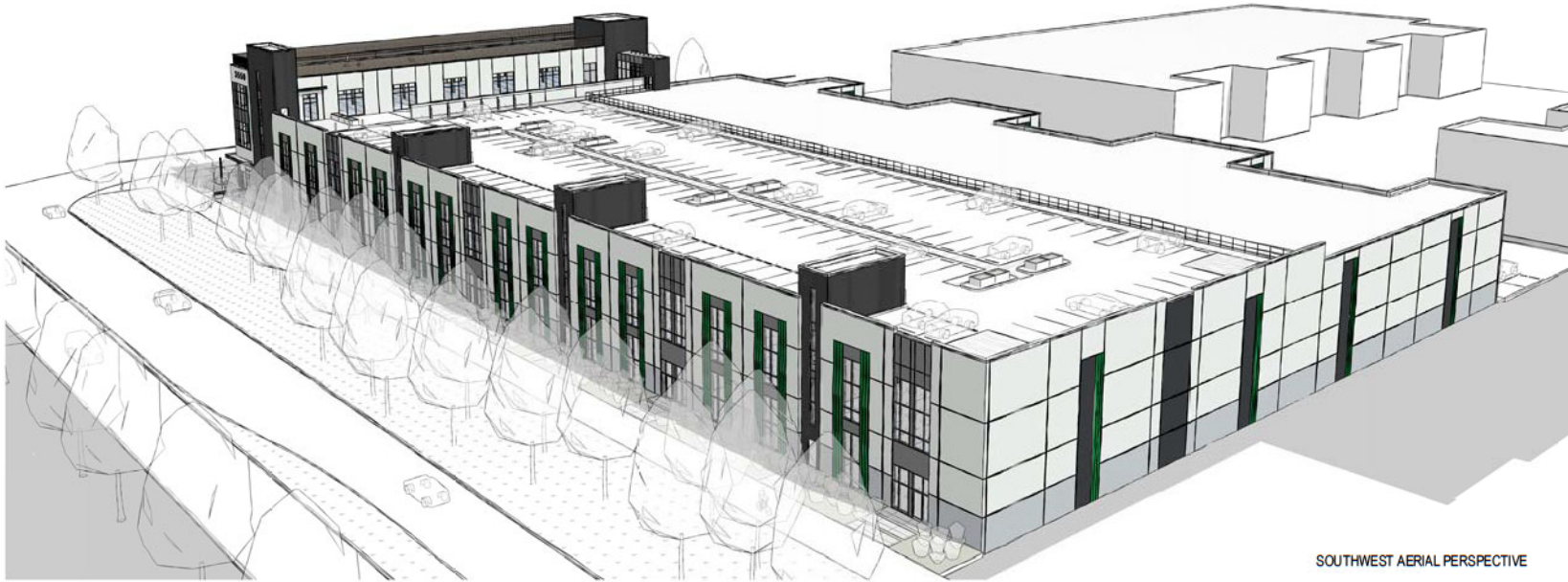
PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT NAME:
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS:
**3550 - HIGHWAY STREET
SURREY, BC V3R 0L5**

DRAWING TYPE:
PERSPECTIVES

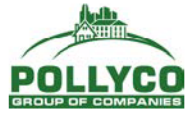
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REVIEWED	
PROJECT NO.	24021A
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SOUTHWEST AERIAL PERSPECTIVE



SOUTHEAST AERIAL PERSPECTIVE



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NO.	DATE	BY	DESCRIPTION
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3	2024.10.02		REVISED FOR DEVELOP. PERMIT
2	2024.06.19		REVISED FOR PERMIT
1	2024.05.14		REVISED FOR DEVELOP. PERMIT

PRELIMINARY
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**POLLYCO GROUP
CAMPBELL HEIGHTS**

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SURREY, BC V3S 0L5

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3	2024.10.02		REVISED FOR DEVELOP. PERMIT
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ISSUES AND REVISIONS

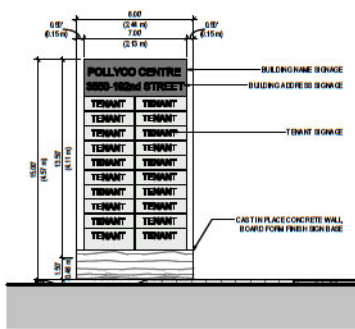
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PROJECT NAME:
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS:
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SURREY, BC V3R 0L5**

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RENDERS

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REVIEWED	
PROJECT NO.	24021A
DRAWING NO.	



CITY OF SURREY SIGN BY-LAW
 FREESTANDING SIGN
 - SIGN TOP TO TOP MINIMUM 2.0m (6' 6")
 - SIGN WIDTH - MAX SIGNING SURFACE PL. (100 sq. ft.) DOUBLE FACED SIGN
 - MAXIMUM HEIGHT = 4.5m (15' 0")

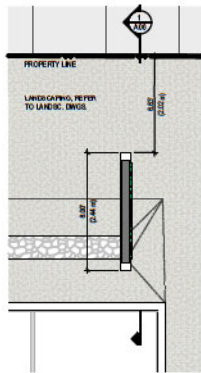
1 FREESTANDING SIGN - NORTH ELEVATION

SCALE 1/8" = 1'-0"



3 INDUSTRIAL TENANT SIGNAGE

SCALE 1/8" = 1'-0"



2 FREESTANDING SIGN PLAN

SCALE 1/8" = 1'-0"



NO.	DATE	BY	DESCRIPTION
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3	2026.10.02		REVISED FOR DEVELOP. PERMIT
2	2026.06.19		REVISED FOR PERMITS
1	2026.05.14		REVISED FOR DEVELOP. PERMIT

PRELIMINARY
 NOT FOR CONSTRUCTION

PROJECT NAME:
**POLLYCO GROUP
 CAMPBELL HEIGHTS**

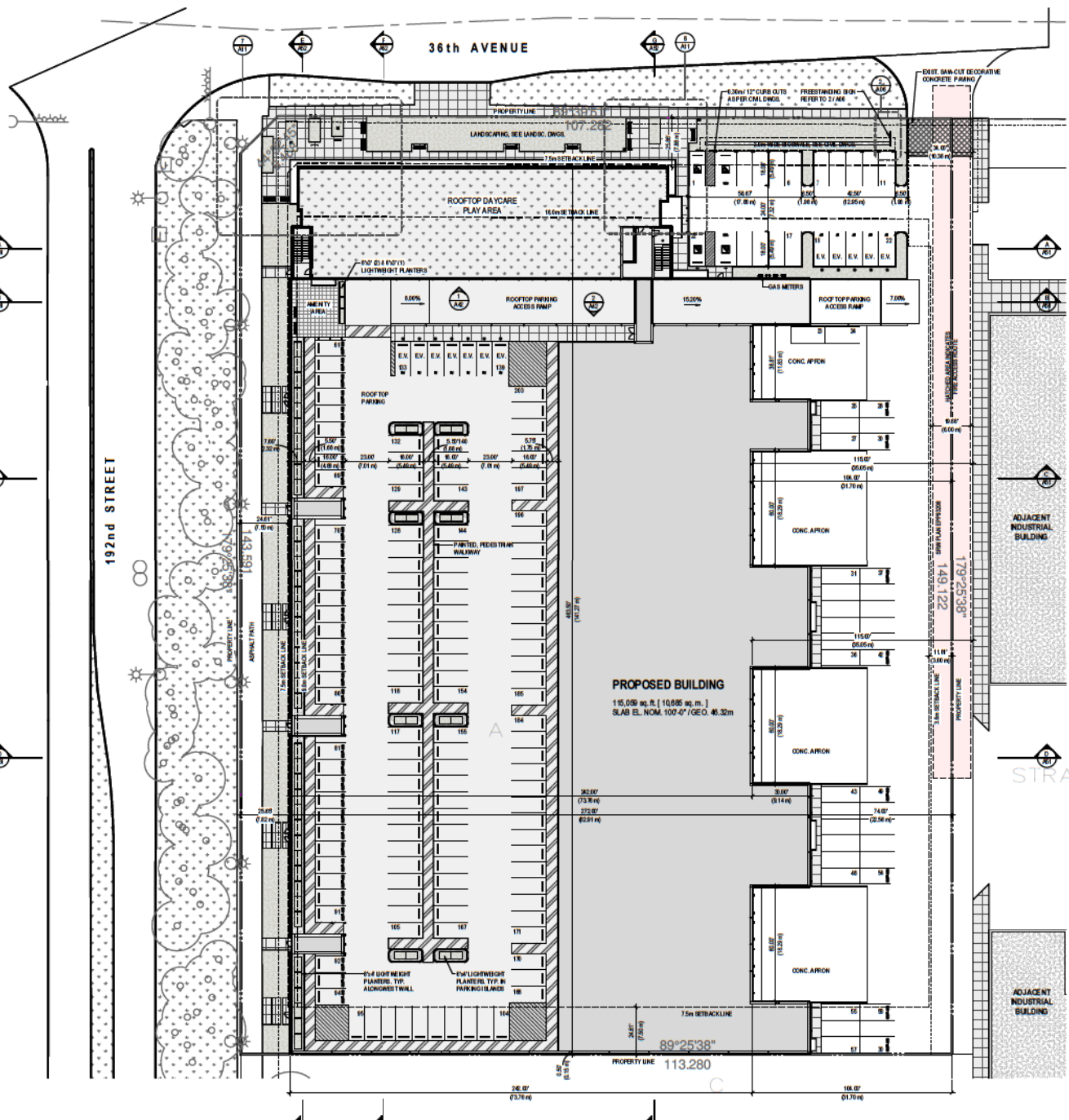
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 SURREY, BC V3S 0L5

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REVIEWED	
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DRAWING NO.	

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ZONING BY-LAW ANALYSIS

PROJECT DATA
 Civic Address: 355 192nd Street, Surrey, BC Building Use: LIGHT INDUSTRIAL
 Legal Address:
 Site Area: 8,911 sq. ft. [160 sq. m.] [161,922 sq. ft.] [415 sq. m.]
 Zoning: B1 - INDUSTRIAL BUSINESS PARK ONE

B1 - ZONING BY-LAW ANALYSIS (CITY OF SURREY)

1. ZONING: B1 - INDUSTRIAL BUSINESS PARK ONE
 2. SITE AREA: 8,911 sq. ft. [160 sq. m.] [161,922 sq. ft.] [415 sq. m.]
 3. SITE COVERAGE: 18.08 sq. ft. [1,688 sq. m.]
 TOTAL SITE COVERAGE: 18.08 sq. ft. [1,688 sq. m.] OR 0.22% MAXIMUM ALLOWABLE = 10% (DVP REQUIRED)
 4. BUILDING HEIGHT: 14.66 m (48.09')
 MAXIMUM HEIGHT: 21.30 m (69.87') (DVP REQUIRED)
 PROPOSED HEIGHT:
 5. REQUIRED SETBACKS: REQUIRED: PROVIDED:
 FRONT (FEET/INCHES): 7.50 m (24.61') 7.50 m (24.61')
 SIDE (FEET/INCHES): 7.50 m (24.61') 7.50 m (24.61')
 REAR (FEET/INCHES): 7.50 m (24.61') 7.50 m (24.61')
 REAR (FEET/INCHES): 7.50 m (24.61') 7.50 m (24.61')
 REAR (FEET/INCHES): 7.50 m (24.61') 7.50 m (24.61') (DVP REQUIRED)

6. LANDSCAPING REQUIREMENTS:
 LANDSCAPING AREAS, LANDSCAPING SCREENS, AND FENCING SHALL COMPLY WITH CITY OF SURREY LANDSCAPING REQUIREMENTS.

7. VEHICLE PARKING AND LOADING:
 REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATION, UNLESS NOTED OTHERWISE.

LIGHT INDUSTRIAL (1ST FLOOR)	1 STALL PER 100 sq. m. GFA	116.00 / 1,078 sq. ft.	• 116.00 STALLS
OFFICE (MEZZANINE / SECOND)	2.5 STALL PER 100 sq. m. GFA	12.28 sq. ft. / 1,078 sq. ft. x 2.5	• 30.7 STALLS
CHILD CARE FACILITY (SECOND / THIRD FLOOR)	0.8 STALLS PER EMPLOYEE	48 EMPLOYEES x 0.70	• 33.6 STALLS
	0.8 STALLS PER CHILD CARE CUP	24 x 1.5	• 36.0 STALLS
TOTAL PARKING STALLS REQUIRED:			• 216.3 STALLS REQ'D (DVP REQUIRED)
VEHICLE PARKING PROVIDED:			
PARKING TYPE		No. of SPACES	
ACCESSIBLE PARKING	4		
SMALL CAR	46		
STANDARD PARKING	45		
STANDARD PARKING - EV	0		
TOTAL PARKING SPACES PROVIDED:	95		

STALL DIMENSIONS:

STANDARD STALL	2.06 m (6.75') W	5.50 m (18.04') L
TANDEM PARKING STALL	2.06 m (6.75') W	8.06 m (26.44') L
PARALLEL STANDED STALL	2.06 m (6.75') W	6.76 m (22.18') L
ACCESSIBLE STALL	2.56 m (8.39') W	5.50 m (18.04') L
SMALL CAR STALL (MAX. 2.06 m)	2.06 m (6.75') W	4.86 m (15.94') L
LOADING STALL	4.06 m (13.32') W	5.50 m (18.04') L
DRIVE-AILE WIDTH:	7.06 m (23.17') W	0.00 m (0.00') L

LOADING CALCULATION:
 LOADING SPACE ADJACENT TO EACH OVERHEAD DOOR OF BUILDING

8. BICYCLE PARKING:
 REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATION, UNLESS NOTED OTHERWISE.

INDUSTRY LIGHT IMPACT - BICYCLE PARKING REQUIREMENTS NOT APPLICABLE PER TABLE 1 OF SECTION 6

GROSS FLOOR AREA

MAIN FLOOR LIGHT INDUSTRIAL	15,039 sq. ft. [1,408 sq. m.]
MEZZANINE	12,855 sq. ft. [1,196 sq. m.]
SECOND FLOOR DAYCARE	11,855 sq. ft. [1,097 sq. m.]
THIRD FLOOR DAYCARE	11,855 sq. ft. [1,097 sq. m.]
TOTAL GROSS FLOOR AREA:	51,604 sq. ft. [4,798 sq. m.]
DENSITY:	19,288 OR 0.65 (MAX ALLOWABLE = 1.0)

1 SITE PLAN
 SCALE: 1/8"



4	2026.10.25	RE-USED FOR DEVELOP. PERMIT
3	2026.10.02	RE-USED FOR DEVELOP. PERMIT
2	2026.06.19	ISSUED FOR PERMIT
1	2026.05.31	ISSUED FOR DEVELOP. PERMIT
NO.	DATE	REVISION / DESCRIPTION
ISSUED FOR PERMIT		
SEAL		

PRELIMINARY
 NOT FOR CONSTRUCTION

PROJECT NAME:
**POLLYCO GROUP
 CAMPBELL HEIGHTS**

PROJECT ADDRESS:
 3550 - 192ND STREET
 SURREY, BC V3S 0L5

DRAWING TITLE:
SITE PLAN

SCALE:	As Shown
DRAWN:	MB
REVIEWED:	
PROJECT NO.:	24821A
DRAWING NO.:	





NO.	DATE	BY	DESCRIPTION
4	2008-10-25	REVISION	FOR DEVELOPMENT
3	2008-10-25	REVISION	FOR DEVELOPMENT
2	2008-10-25	REVISION	FOR DEVELOPMENT
1	2008-10-25	ISSUE	SAND REVISION

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT NAME:
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS:
**3550 - 192ND STREET
SURREY, BC V3R 0L5**

DRAWING TITLE:
CONTEXT PLAN

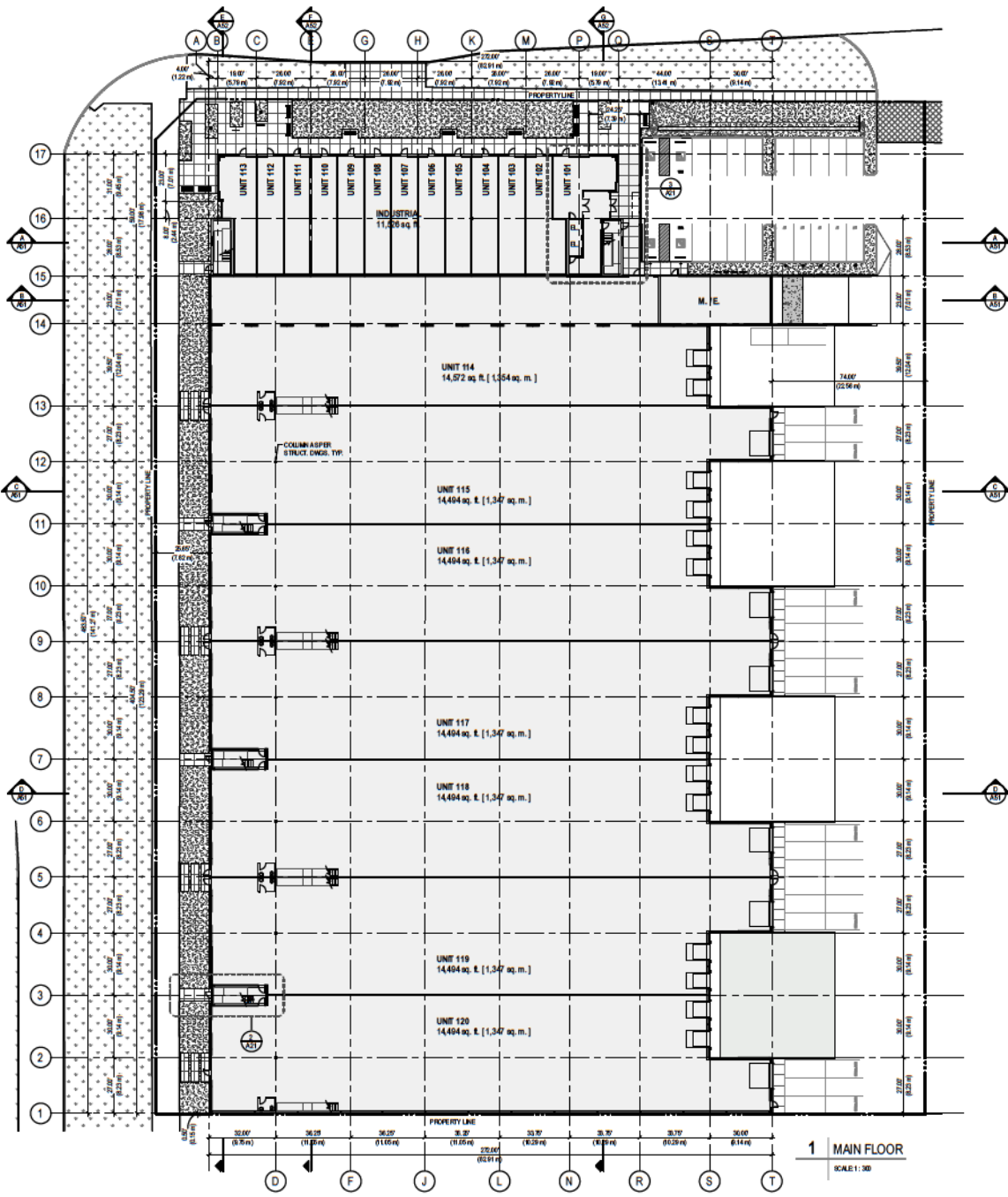
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DRAWN	010
REVIEWED	
PROJECT NO.	24021A
DRAWING NO.	



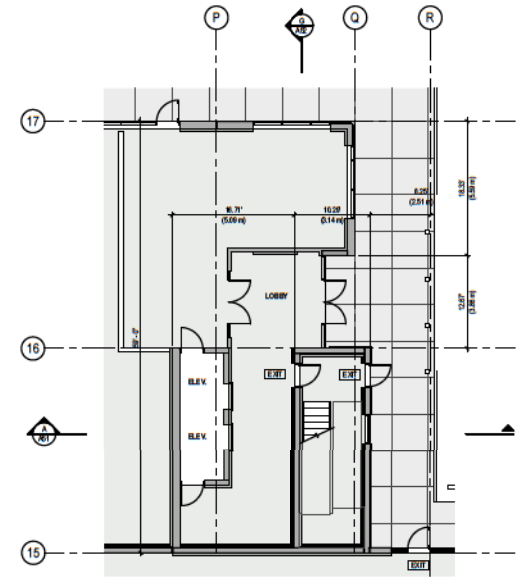
PROJECT NORTH

1 | **CONTEXT SITE PLAN**
SCALE: 1:140

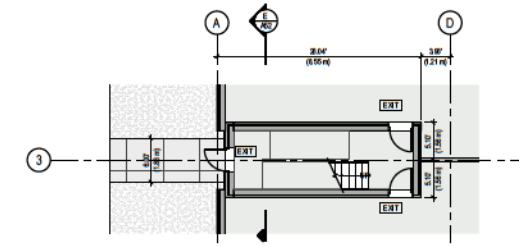
A13



1 MAIN FLOOR
SCALE: 1/32"



3 ALVL 1 - Callout 1
SCALE: 1/8" = 1'-0"



2 TYPICAL STAIR CORE MAIN
SCALE: 1/8" = 1'-0"

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- 4 2024.10.25 RE-ISSUED FOR DEVELOP. PERMIT
 - 3 2024.10.02 RE-ISSUED FOR DEVELOP. PERMIT
 - 2 2024.06.19 RE-ISSUED FOR PERMIT
 - 1 2024.05.31 RE-ISSUED FOR DEVELOP. PERMIT
- NO DATE, NAME, DESCRIPTION
ISSUES AND REVISIONS
SCALE

PRELIMINARY
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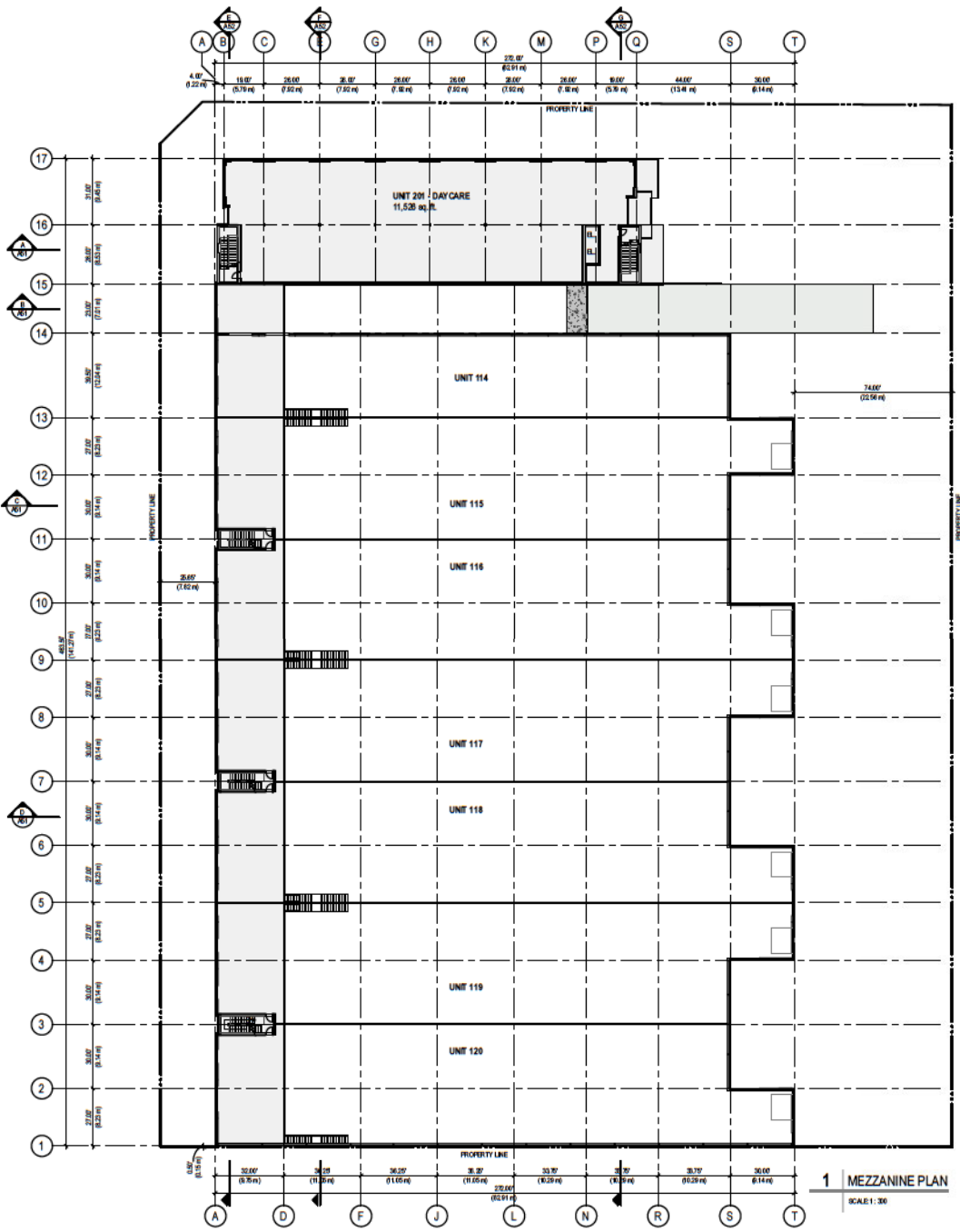
PROJECT NAME:
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS:
3550 - 142ND STREET
SURREY, BC V3S 0L5

DRAWING TITLE:
MAIN FLOOR

SCALE	As Indicated
DRAWN	MB
REVIEWED	
PROJECT NO.	24021A
DRAWING NO.	





1 MEZZANINE PLAN
SCALE: 1:300

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2	2006.06.19	REVISION FOR PERMIT
1	2006.05.31	REVISION FOR DEVELOP. PERMIT
NO.	DATE	REVISION
ISSUE AND REVISIONS		
SEAL		

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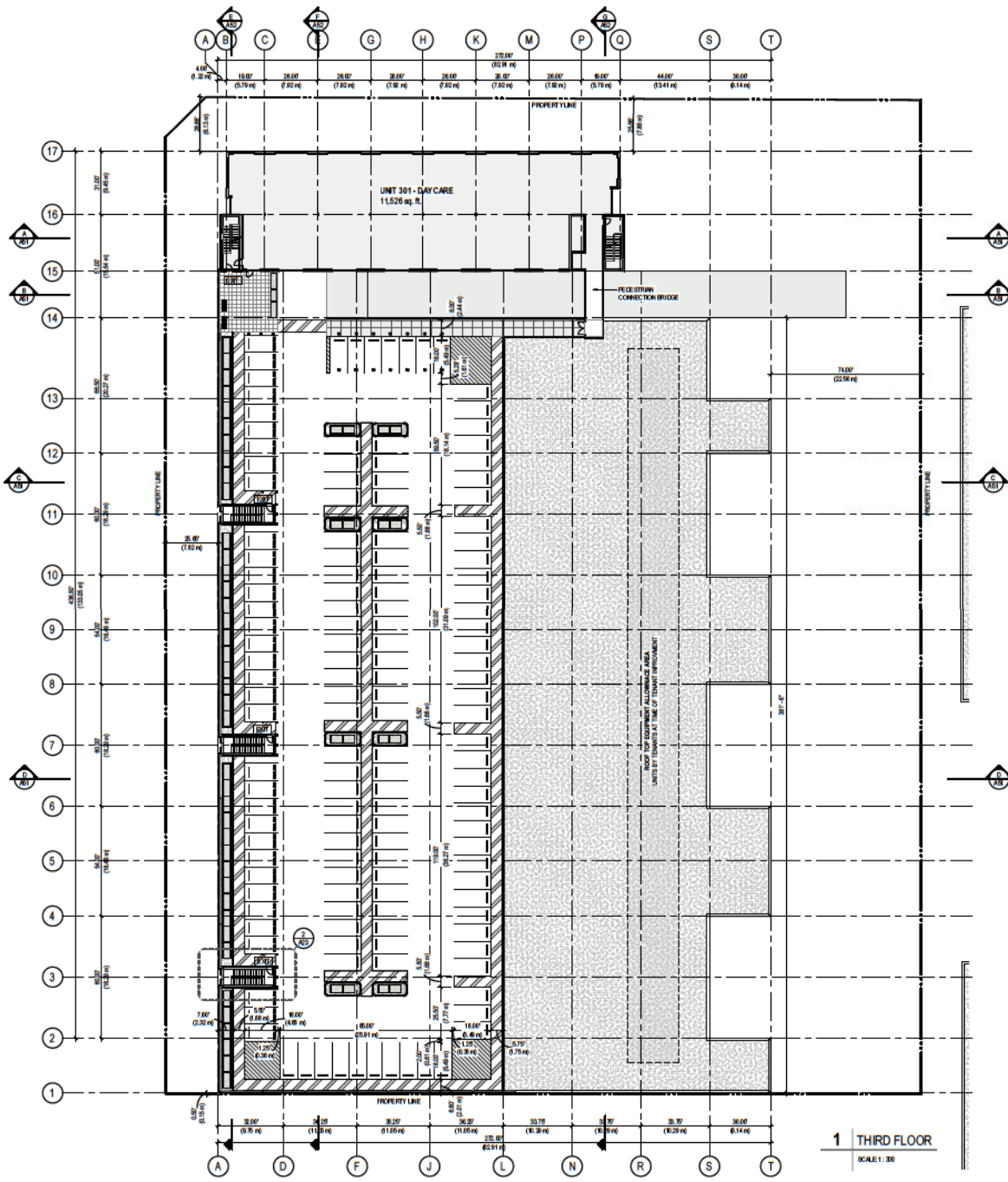
PROJECT NAME:
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS:
3550 - 142ND STREET
SURREY, BC V3R 0L5

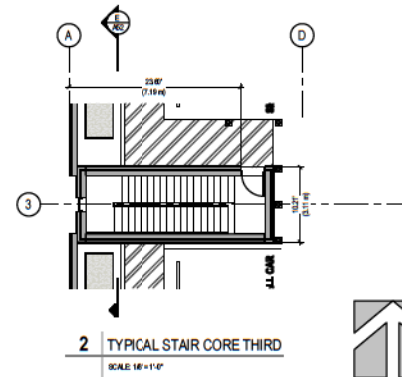
DRAWING TITLE:
SECOND FLOOR

SCALE	1:300
DRAWN	MB
REVIEWED	
PROJECT NO.	24021A
DRAWING NO.	





1 THIRD FLOOR
SCALE: 1/8" = 1'-0"



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1	2006.05.31	ISSUED FOR DEVELOP. PERMIT
NO.	DATE	REVISION DESCRIPTION
ISSUED AND REVISED		
SEAL		

PRELIMINARY
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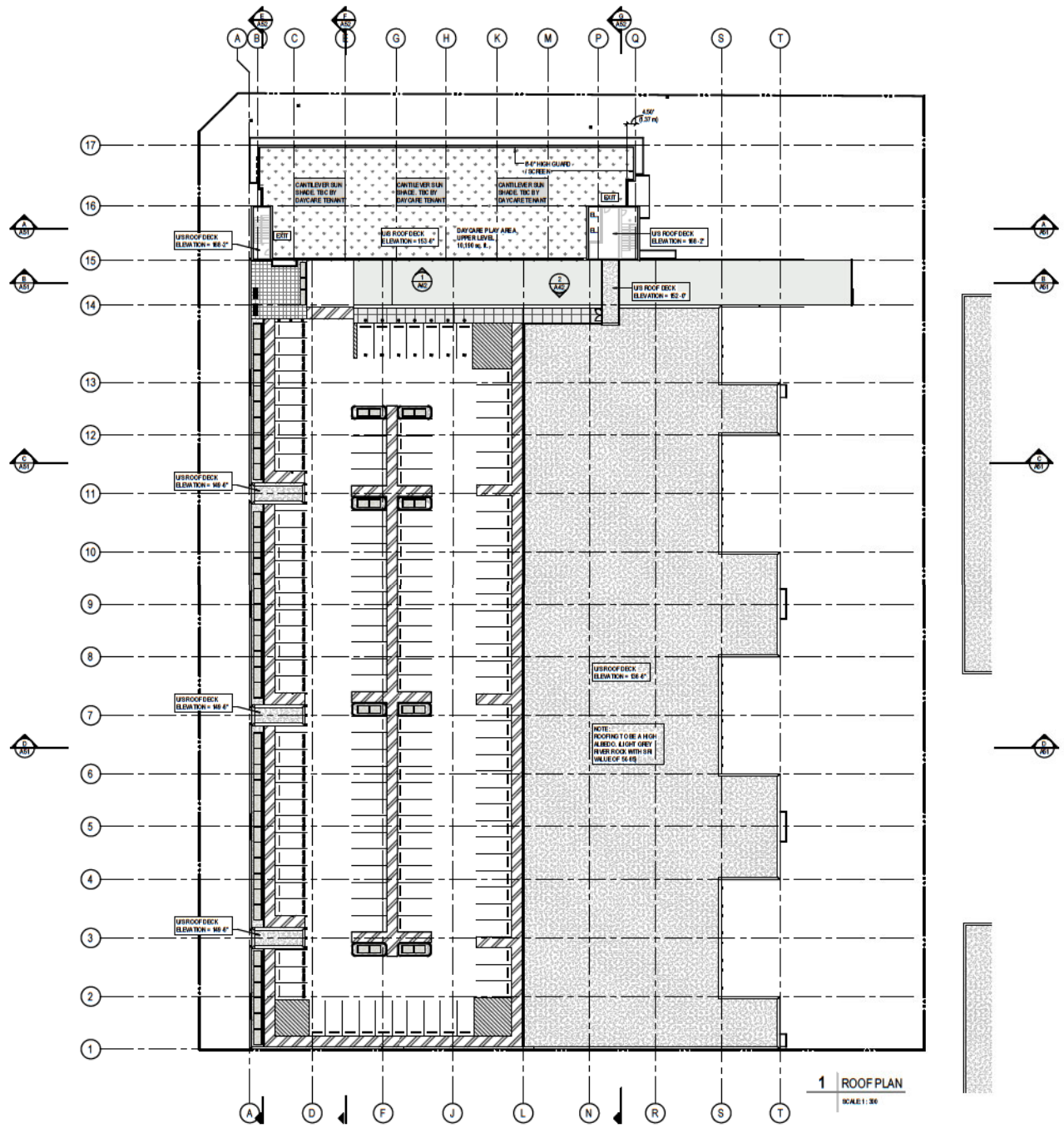
PROJECT NAME:
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS:
3550 - 142ND STREET
SURREY, BC V3S 0L5

DRAWING TITLE:
THIRD FLOOR

SCALE	As Indicated
DRAWN	MB
REVIEWED	
PROJECT NO.	24021A
DRAWING NO.	





1 ROOF PLAN
SCALE: 1/32

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KPA
KP Architecture Ltd.

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3	2026.10.02	REVISED FOR DEVELOP. PERMIT
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1	2026.05.21	REVISED FOR DEVELOP. PERMIT
NO.	DATE	REVISION DESCRIPTION
ISSUES AND REVISIONS		
S.E.A.L.		

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PROJECT NAME:
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS:
3550 - 142ND STREET
SURREY, BC V3R 0L5

DRAWING TITLE:
ROOF PLAN

SCALE	1:320
DRAWN	MB
REVIEWED	
PROJECT NO.	24821A
DRAWING NO.	



MATERIAL LEGEND

TYPE	DESCRIPTION
A1	CONCRETE - PAINTED BENJAMIN MOORE - 2121-06 WHITE DIAMOND
A2	CONCRETE - PAINTED BENJAMIN MOORE - 2121-06 WHITE DIAMOND
A3	CONCRETE - PAINTED POLYCO CORPORAITE GREEN
A4	CONCRETE - PAINTED BENJAMIN MOORE - 2121-06 WHITE DIAMOND
A5	CONCRETE - BOARD FORM FINISH
B	CORRUGATED CLADDING - PRE-FINISHED BLACK
C	CLIP FINISHING - PAINTED TO MATCH ADJACENT WALL COLOR
D1	GLAZING - LIGHT GRAY
D2	SP. METAL GLAZING - METAL PANEL BLACK
D3	SP. METAL GLAZING - DARK GRAY
E	ALUMINUM FRAME - BLACK ANODIZED
F1	ARCHITECTURAL STEEL - PAINTED POLYCO CORPORAITE GREEN
F2	ARCHITECTURAL STEEL - PAINTED BENJAMIN MOORE - 2121-06 BLACK RICH
G1	STEEL DOOR - PAINTED BENJAMIN MOORE - 2121-06 BLACK RICH
G2	STEEL DOOR - PAINTED BENJAMIN MOORE - 2121-06 WHITE DIAMOND
H	OVERHEAD DOOR - PRE-FINISHED DARK GRAY
X	PLAY AREA GUARD / SCREEN

PROJECT COLOURS

CONCRETE - PAINTED
BENJAMIN MOORE - 2121-06 WHITE DIAMOND

CONCRETE - PAINTED
BENJAMIN MOORE - 2121-06 BLUE HALF DOLLAR

CONCRETE - PAINTED
BENJAMIN MOORE - 2121-06 BLACK RICH

CORRUGATED METAL CLADDING
PRE-FINISHED BLACK

BOARD FORM CONCRETE

ARCHITECTURAL STEEL - PAINTED
POLYCO CORPORAITE GREEN

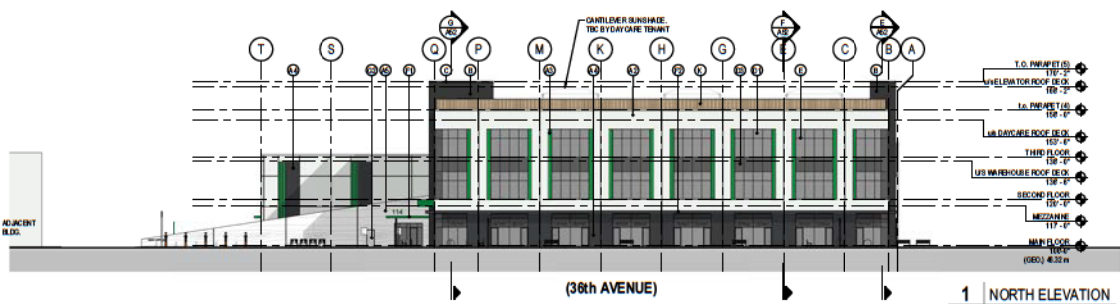
ARCHITECTURAL STEEL - PAINTED
BENJAMIN MOORE - 2121-06 BLACK RICH

GLAZING FRAME
PRE-FINISHED BLACK ANODIZED ALUMINUM

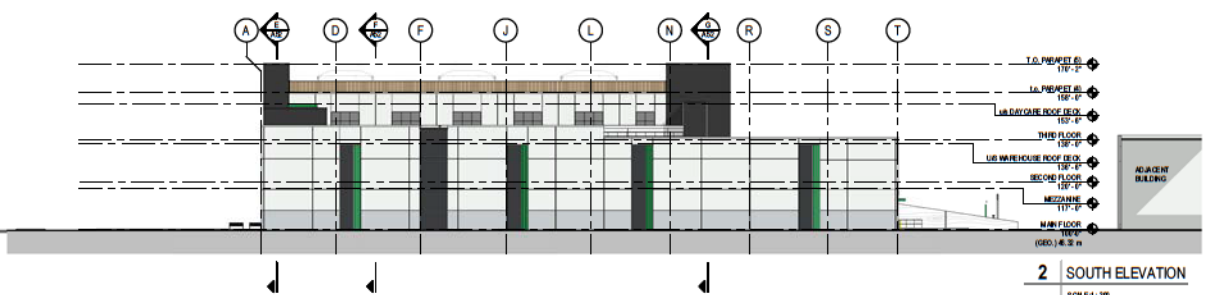
METAL DOORS - PAINTED
BENJAMIN MOORE - 2121-06 WHITE DIAMOND

METAL DOORS - PAINTED
BENJAMIN MOORE - 2121-06 BLACK RICH

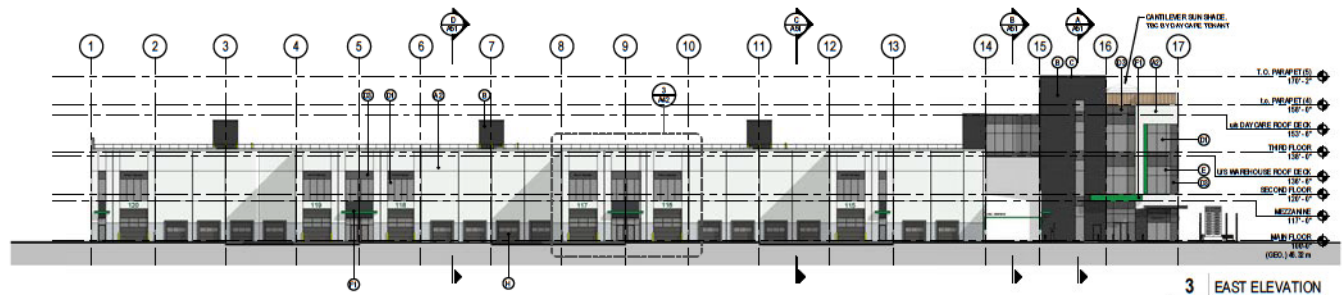
KNOTWOOD - 1/2" (WOOD) OR 5/8"
ROOF TOP PLAY AREA



1 NORTH ELEVATION
SCALE: 1:300



2 SOUTH ELEVATION
SCALE: 1:300



3 EAST ELEVATION
SCALE: 1:300



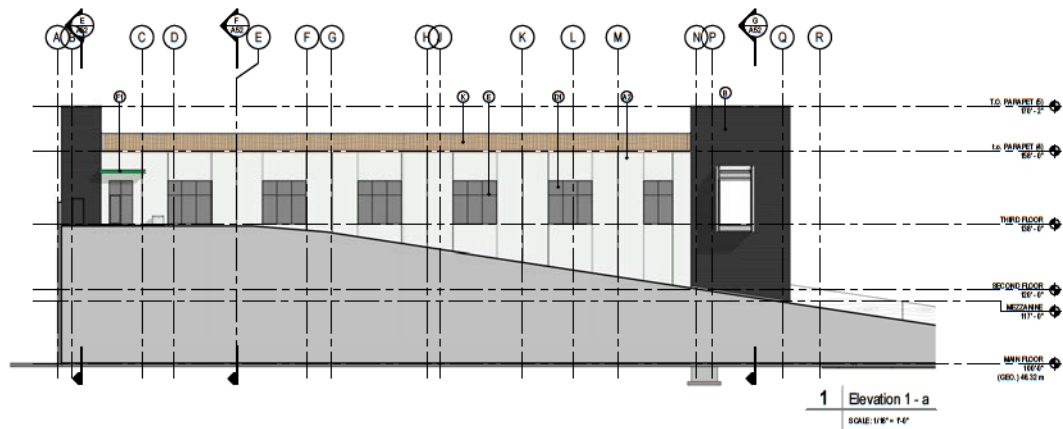
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SCALE: 1:300

(192nd STREET)

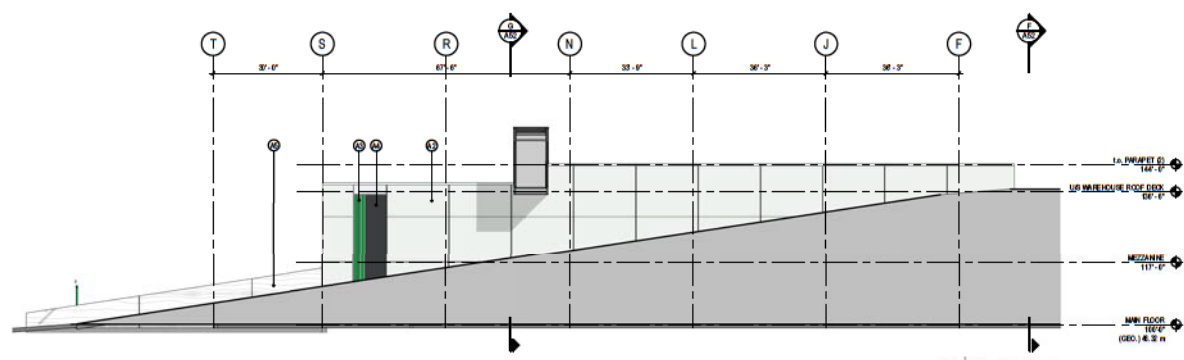
(39th AVENUE)

ADJACENT BLDG.

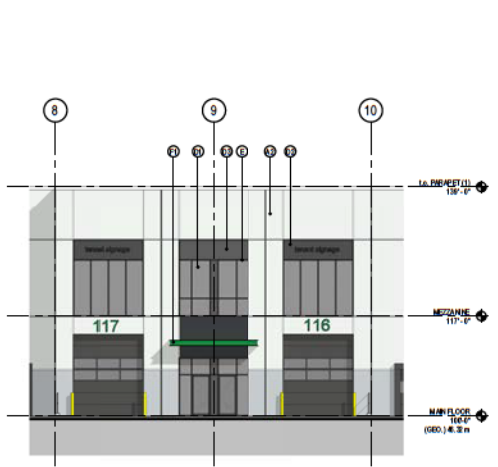
ADJACENT BUILDING



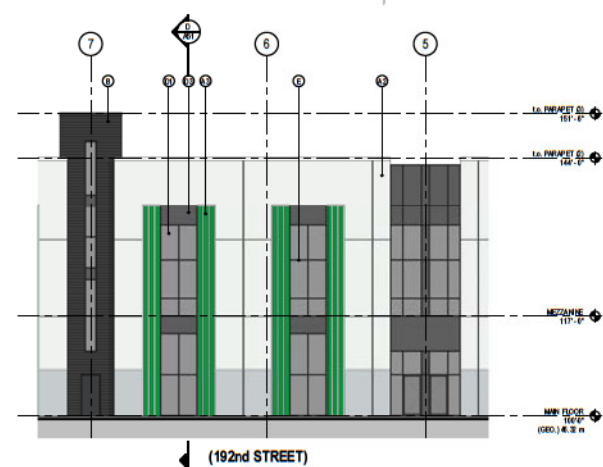
1 Elevation 1 - a
SCALE 1/4" = 1'-0"



2 Elevation 1 - d
SCALE 1/4" = 1'-0"














3 A EAST - Callout 1
SCALE 1" = 16'



4 A WEST - Callout 1
SCALE 1" = 16'

MATERIAL LEGEND	
TYPE	DESCRIPTION
A1	CONCRETE - PAINTED BENJAMIN MOORE - 31146 SILVER HALF DOLLAR
A2	CONCRETE - PAINTED BENJAMIN MOORE - 215-46 WHITE DIAMOND
A3	CONCRETE - PAINTED POLYCO COFFEEPORTE GREEN
A4	CONCRETE - PAINTED BENJAMIN MOORE - 312-09 BLACK RICH
A5	CONCRETE - BOARD FORM FINISH
B	CORRUGATED CLADDING - PRE-FINISHED BLACK
C	CAP FINISHING - PAINTED TO MATCH ADJACENT WALL COLOR
D1	GLAZING - LIGHT GRAY
E2	SPINEREL GLAZING - METAL PANEL BLACK
G3	SPINEREL GLAZING - DARK GRAY
E	ALUMINUM FRAME - BLACK ANODIZED
F1	ARCHITECTURAL STEEL - PAINTED POLYCO COFFEEPORTE GREEN
F2	ARCHITECTURAL STEEL - PAINTED BENJAMIN MOORE - 312-09 BLACK RICH
G1	STEEL DOOR - PAINTED BENJAMIN MOORE - 312-09 BLACK RICH
G2	STEEL DOOR - PAINTED BENJAMIN MOORE - 31146 SILVER HALF DOLLAR
H	OVERHEAD DOOR - PRE-FINISHED DARK GRAY
X	PLAY AREA GUARD / SCREEN


PROJECT COLOURS

-  CONCRETE - PAINTED BENJAMIN MOORE - 31146 SILVER HALF DOLLAR
-  CONCRETE - PAINTED BENJAMIN MOORE - 312-09 BLACK RICH
-  CONCRETE - PAINTED BENJAMIN MOORE - 312-09 BLACK RICH
-  CORRUGATED METAL CLADDING - PRE-FINISHED BLACK
-  BOARD FORM CONCRETE
-  ARCHITECTURAL STEEL - PAINTED POLYCO COFFEEPORTE GREEN
-  ARCHITECTURAL STEEL - PAINTED BENJAMIN MOORE - 312-09 BLACK RICH
-  GLAZING FRAME - PRE-FINISHED BLACK ANODIZED ALUMINUM
-  METAL DOORS - PAINTED BENJAMIN MOORE - 31146 SILVER HALF DOLLAR
-  METAL DOORS - PAINTED BENJAMIN MOORE - 312-09 BLACK RICH
-  KNOTWOOD - 1/2" FINISH / OR SIM. ROOFTOP PLAY AREA

ABBOTSFORD
EDMONTON
VANCOUVER



KPA Architecture Ltd.
ABBOTSFORD OFFICE
1150 1025 1/2 ST. S.W. ABBOTSFORD, BC V3E 1H8
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NO. DATE, TIME, DESCRIPTION		
ISSUES AND REVISIONS		
SEAL		

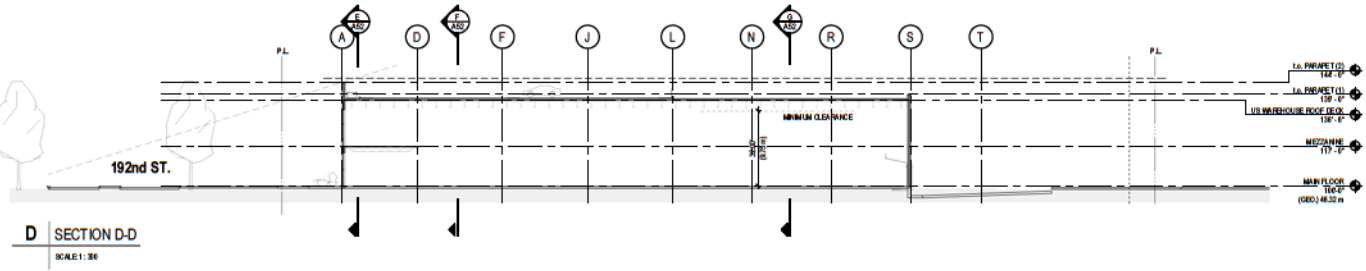
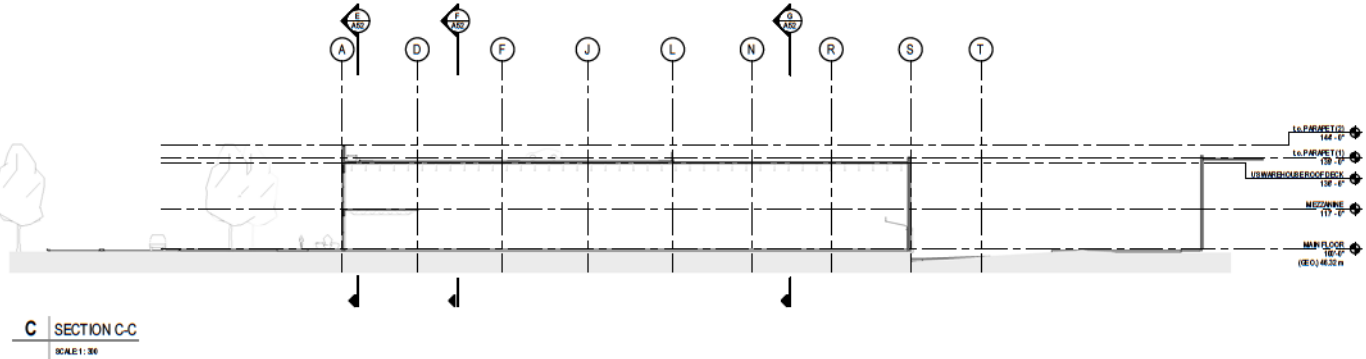
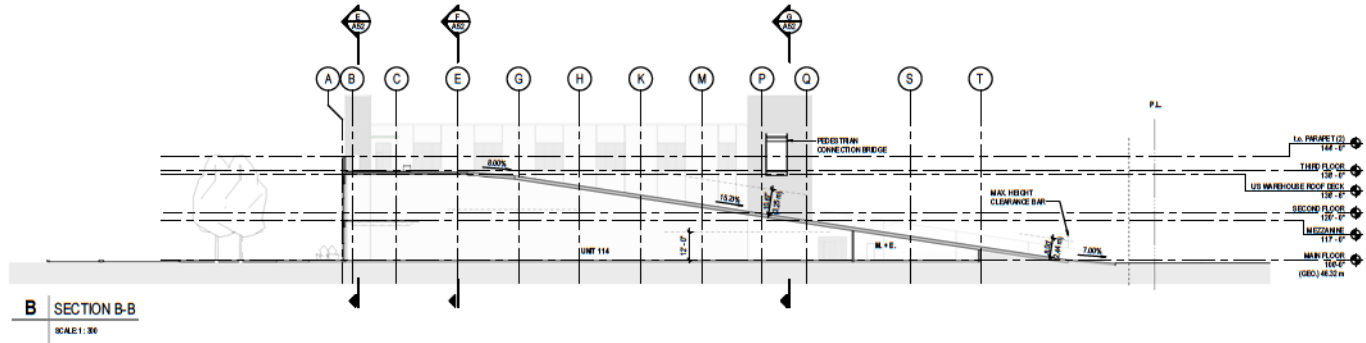
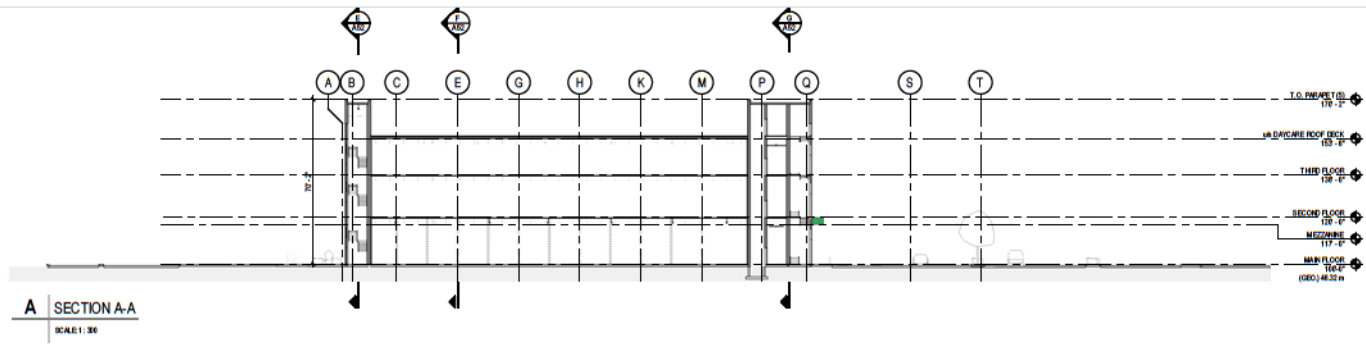
PRELIMINARY
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PROJECT NAME:
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS:
3550 - 116th STREET
SURREY, BC V3S 0L5

DRAWING TITLE:
BUILDING ELEVATIONS

SCALE	As Indicated
DRAWN	MB
REVIEWED	
PROJECT NO.	24021A
DRAWING NO.	



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1	2024.05.21		REVISED FOR DEVELOP. PERMIT

ISSUES AND REVISIONS

SCALE

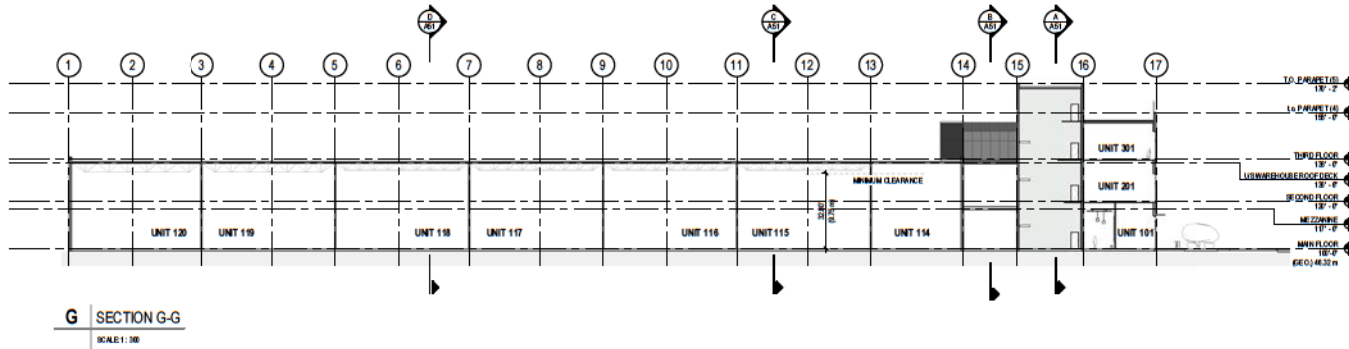
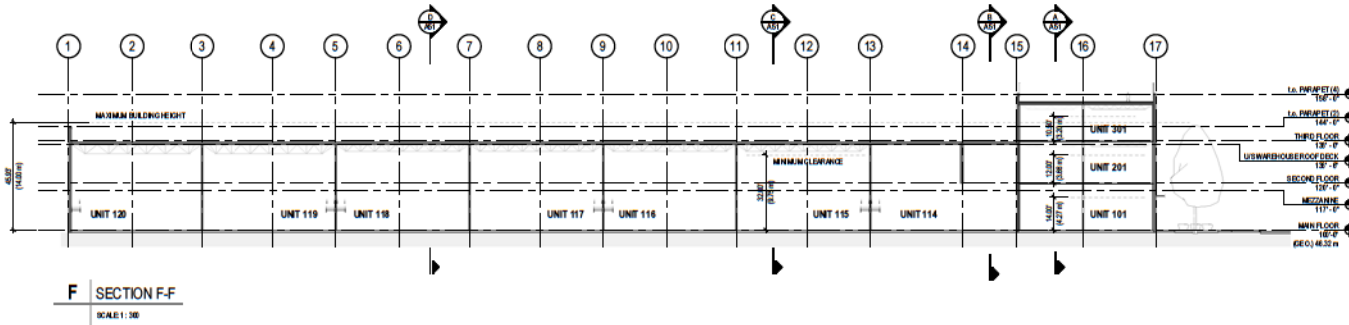
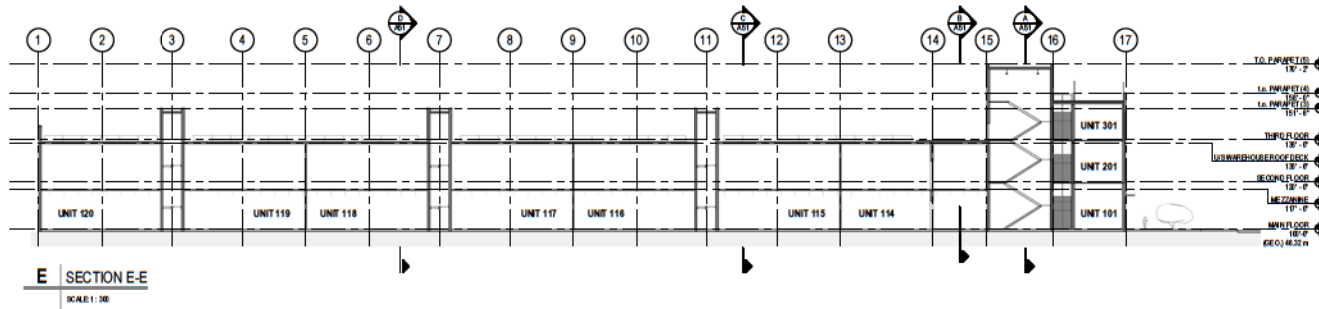
PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT NAME
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS
3550 - 102ND STREET
SURREY, BC V3S 0L5

DRAWING TITLE
BUILDING SECTIONS

SCALE	1:80
DRAWN	MD
REVIEWED	
PROJECT NO.	24021A
DRAWING NO.	



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1	2024.05.15		REVISED FOR DEVELOP. PERMIT

ISSUES AND REVISIONS

DEAL

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PROJECT NAME:
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS:
3550 - 142ND STREET
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DRAWING TITLE:
BUILDING SECTIONS

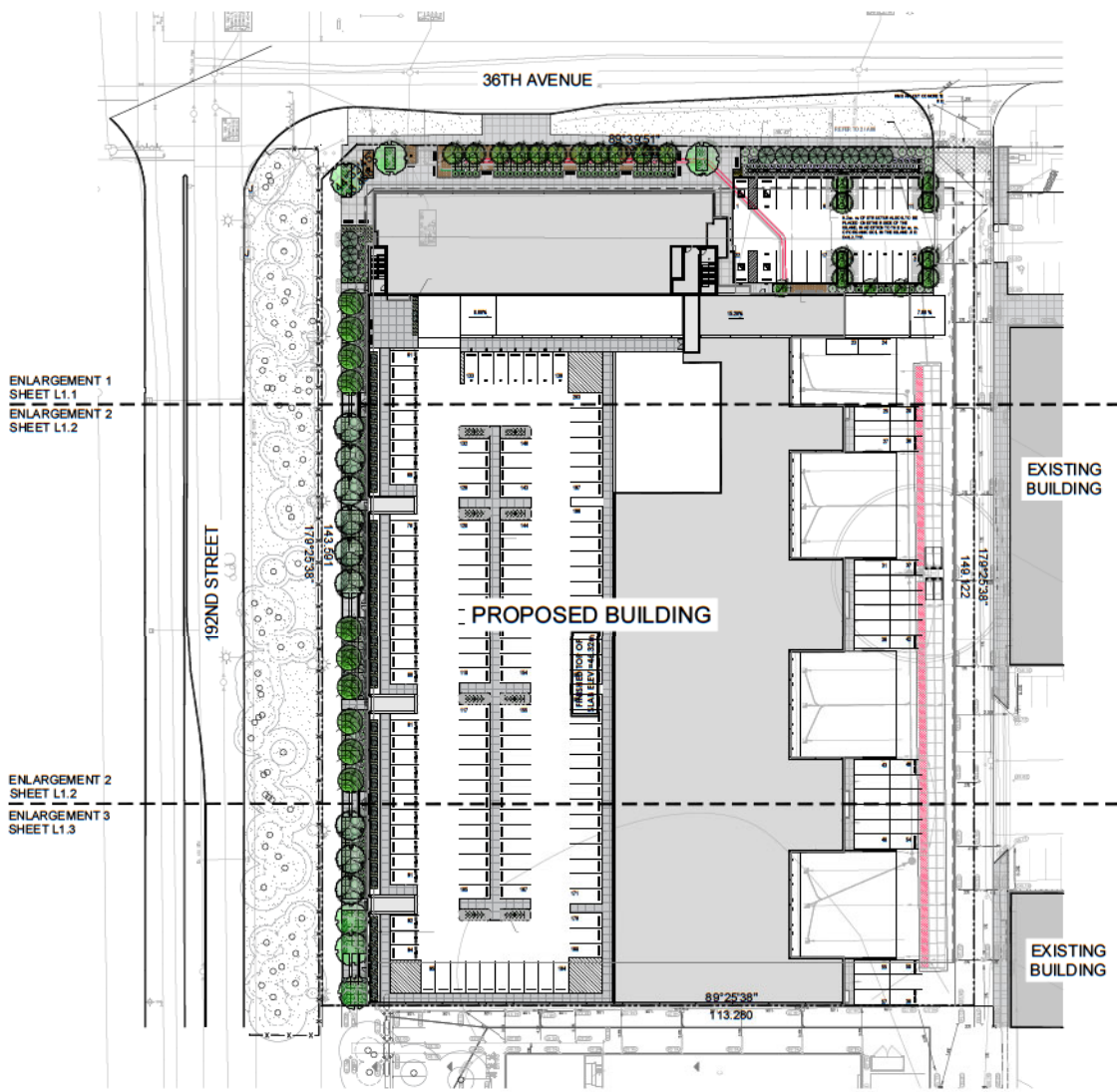
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DRAWN	MD
REVIEWED	
PROJECT NO.	24021A
DRAWING NO.	



POLLYCO GROUP CAMPBELL HEIGHTS

3550 -192nd STREET | SURREY | BC

LANDSCAPE PLANS



ENLARGEMENT 1
SHEET L1.1
ENLARGEMENT 2
SHEET L1.2

ENLARGEMENT 2
SHEET L1.2
ENLARGEMENT 3
SHEET L1.3

NOTES

GENERAL NOTES

1. EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
2. CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
3. CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
4. CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS, OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
5. OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
6. PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORK FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
7. UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
8. THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE. DURING THE PERIOD OF WORKS, PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEPED AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

PLANTING NOTES

1. PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
2. PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
3. ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
4. TREE PROTECTION PER THE MUNICIPAL DETAIL IF REQUIRED.
5. ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.
6. SOIL DEPTH IN ALL PLANTING AREAS TO BE A MINIMUM OF 400mm AND A MINIMUM OF 600mm IN PLANTING BEDS WITH TREES.
7. SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. PLANTING MEDIUM TO MEET CANADIAN LANDSCAPE STANDARD FOR LEVEL 1.
9. ALL PLANTING BEDS TO BE FINISHED WITH 70mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
10. PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
11. REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY OF ARBORISTS (ISA) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
- 12.1 Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of when requested by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price on the back and otherwise recovered at the Contractor.
- 12.2 Maintenance and additional installation of mulch
- 12.3 Weed removal
- 12.4 Disease control

MINIMUM TREE PLANTING CLEARANCES

1. TREES SHALL HAVE THE FOLLOWING MINIMUM CLEARANCES FROM:
 - 1.1. STREET LIGHT POLES - 6.0m
 - 1.2. UTILITY POLES - 3.0m
 - 1.3. EDGE OF DRIVEWAY, CURB RETURN, CATCHBASIN OR ABOVE GROUND UTILITY FACILITY - 2.0m
 - 1.4. SEWER AND DRAINAGE SERVICE CONNECTIONS, FIRE HYDRANTS - 1.5m
 - 1.5. MANHOLES, VALVE BOXES, WATER SERVICES - 1.2m
 - 1.6. BOCHLPT/PM/AVISTA SWITCH VAULTS - 2.25m
2. WHERE THERE IS A BOULEVARD PLANTING STRIP BETWEEN THE BACK OF THE CURB AND FRONT OF THE SIDEWALK, TREES SHALL BE PLANTED A MINIMUM OF 1.0m FROM BACK OF CURB AND 1.0m FROM BACK OF SIDEWALK.
3. IN OTHER CIRCUMSTANCES TREES SHALL BE PLANTED 1.0m FROM THE BACK OF THE SIDEWALK AND 2.0m FROM BACK OF CURB.

SOODING NOTES

1. SOODED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOO WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
 - 40% BLEND (3) VARIETIES OF KENTUCKY BLUEGRASS
 - 40% CREEPING RED FESCUE
 - 20% PERENNIAL RYEGRASS
 - USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE
2. AREAS TO BE SOODED SHALL HAVE A MINIMUM 150MM TOPSOIL BASE.
3. LOOSEN SOO SURFACE PRIOR TO SOODING. ELIMINATE BUMPS AND HOLLOW. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
4. PRIOR TO SOODING OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
5. DELIVER SOO TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOO FROM DRYING, AND WATER SOO AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOO IN HANDLING. DRY SOO WILL BE REJECTED.
6. LAY SOO DURING GROWING SEASON. LAY SOO IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
7. WATER SOO IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SOODED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

IRRIGATION NOTES

1. IRRIGATION TO BE PROVIDED FOR ALL SOFT LANDSCAPE AREAS SHOWN ON THE DRAWING USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
2. IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILT IRRIGATION SYSTEM FOR THE SUB CUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
3. THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
4. ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
5. USE POP-UP SPRINKLER HEADS.
6. DO NOT SPRAY WATER ONTO TREE TRUNKS.

BOSWALE SOO SPECIFICATION

COARSE GRAVEL:	0-1%
ALL GRAVEL:	0-6%
SAND:	70-80% : Larger than 0.075mm : Smaller than 2mm
SILT:	5-15% : Larger than 0.075mm : Smaller than 0.06mm
CLAY:	10-20% : Smaller than 0.075mm
CLAY AND SILT COMBINED:	MAX 25%
ORGANIC CONTENT (by weight):	1% : Organics not to be derived from food waste
ACIDITY (pH):	6.0-8.5



LEGEND

---	PROPERTY LINE
---	RETRO LINE
■	TBM RIVER ROCK
■	PLANTING MEDIUM
■	TBM ANGULAR ROCK
■	CONCRETE SIDEWALK
○	EXISTING TREES TO REMAIN
○	TREE PROTECTION FENCING

J	30/04/2019	ISSUED FOR RE-PC	
L	30/04/2019	ISSUED FOR REVIEW	
NO.	DATE	DATE	DESCRIPTION
ISSUER APPROVED			
SEAL			



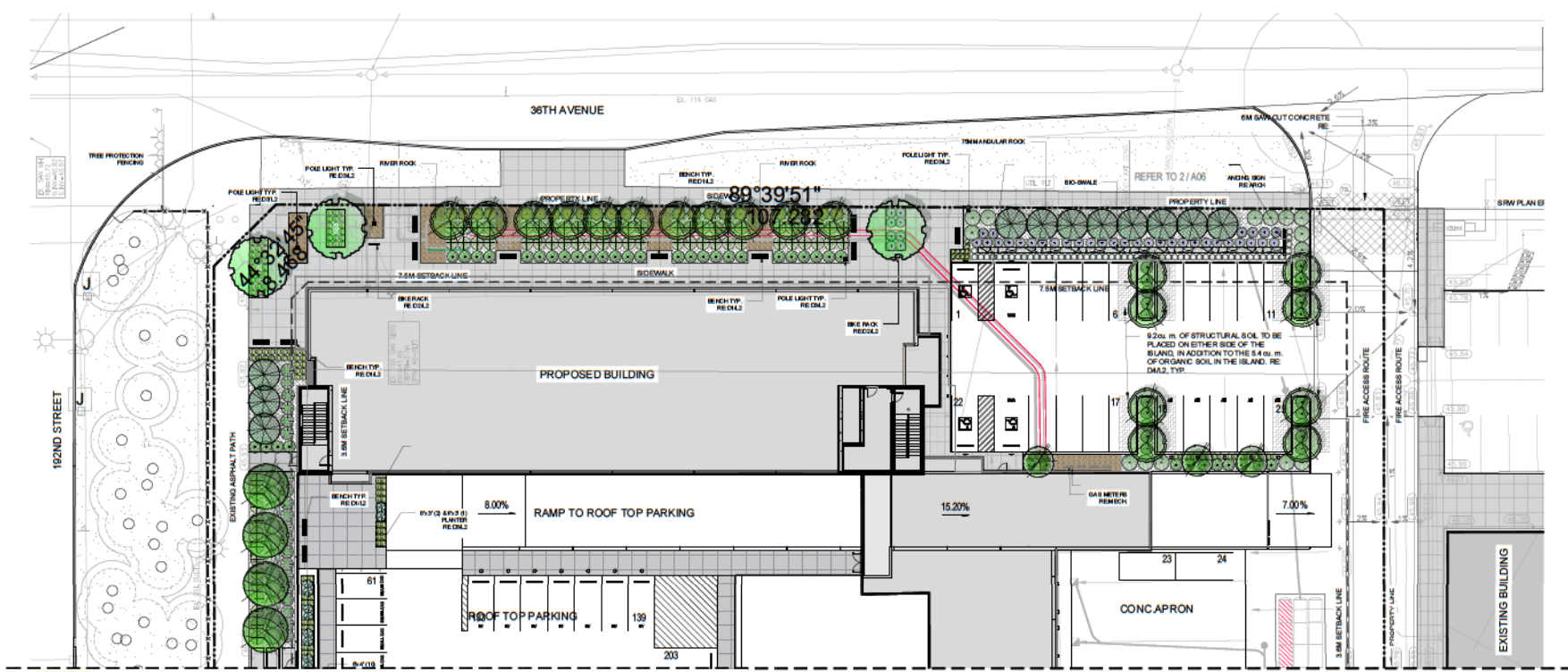
PROJECT NAME:
**POLLYCO GROUP
CAMBELL HEIGHTS**

PROJECT ADDRESS:
**3550 - 192 STREET
SURREY, BC**

DRAWING TITLE:
**OVERALL
LANDSCAPE PLAN**

SCALE:	1:500
DRAWN:	AV
CHECKED:	JT
PROJECT NO.:	2003-L
DRAWING NO.:	L1

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- LEGEND**
- PROPERTY LINE
 - - - SETBACK LINE
 - TRIMMANGULAR ROCK
 - PLANTING MEDIUM
 - TRIMMANGULAR ROCK
 - CONCRETE SIDEWALK
 - GROUND TREES TO REMAIN
 - TREE PROTECTION FENCING

1	3041028	ISSUED FOR RE-CP
2	3040931	ISSUED FOR REVIEW
NO.	DATE	DESCRIPTION
DRAWN APPROVED		
SEAL		

ENLARGEMENT 2
 SHEET L1.2

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
8	1	Acer rubrum 'Sun Valley'	Sun Valley Red Maple	8m Cal.	As Shown	WB
10	2	Zelkova serrata	Japanese Zelkova	8m Cal.	As Shown	WB
9	1	Ostrya virginiana	Starwood	8m Cal.	As Shown	WB
19	1	Acer palmatum 'Emperor 1'	Japanese Emperor Maple	8m Cal.	As Shown	WB
3	1	Magnolia 'suehrai' 'Lanark' Minori	Pink Lanark Magnolia	8m Cal.	As Shown	WB
CONIFEROUS TREES						
11	1	Picea canadica	Eastern Spruce	3m H.	As Shown	WB
SHRUBS						
60	1	Spirea japonica 'Snowmound'	Snowmound Spirea	40cm H.	As Shown	Plt
36	1	Clusia sylvatica	White Rock Rose	40cm H.	As Shown	Plt
14	1	Hydrangea 'Peaches'	Michael's Hydrangea	40cm H.	As Shown	Plt
23	1	Berberis buxifolia 'Nana'	Chart Red of Berbery	40cm Spread	As Shown	Plt
159	1	Physocarpus opulifolius 'Doree' / LITTLE CIVIL	Little Doree Honeysuckle	40cm H.	As Shown	Plt
152	1	Cakile sylvatica 'Spring Tansy'	Firestar	40cm H.	As Shown	Plt
62	1	Viburnum dentatum	Doan's Viburnum	40cm H.	As Shown	Plt
41	1	Sedum spectabile 'Rose'	Chart Purple Cedar	40cm H.	As Shown	Plt
155	1	Samolus floribundus var. alpinus 'Purple Star'	Purple Star Small Star	40cm Spread	As Shown	Plt
PERENNIALS, GROUND COVER, AND GRASSES						
20	1	Hydrangea 'Peaches' var. 'Sudworth' 'Doree'	Black-eyed Susan	10cm	As Shown	Plnt
22	1	Aster 'Hawaii' Minori	Pinkish Aster	10cm	As Shown	Plnt



PROJECT NAME:
**POLLYCO GROUP
 CAMPBELL HEIGHTS**

PROJECT ADDRESS:
**3550 - 192 STREET
 SURREY, BC**

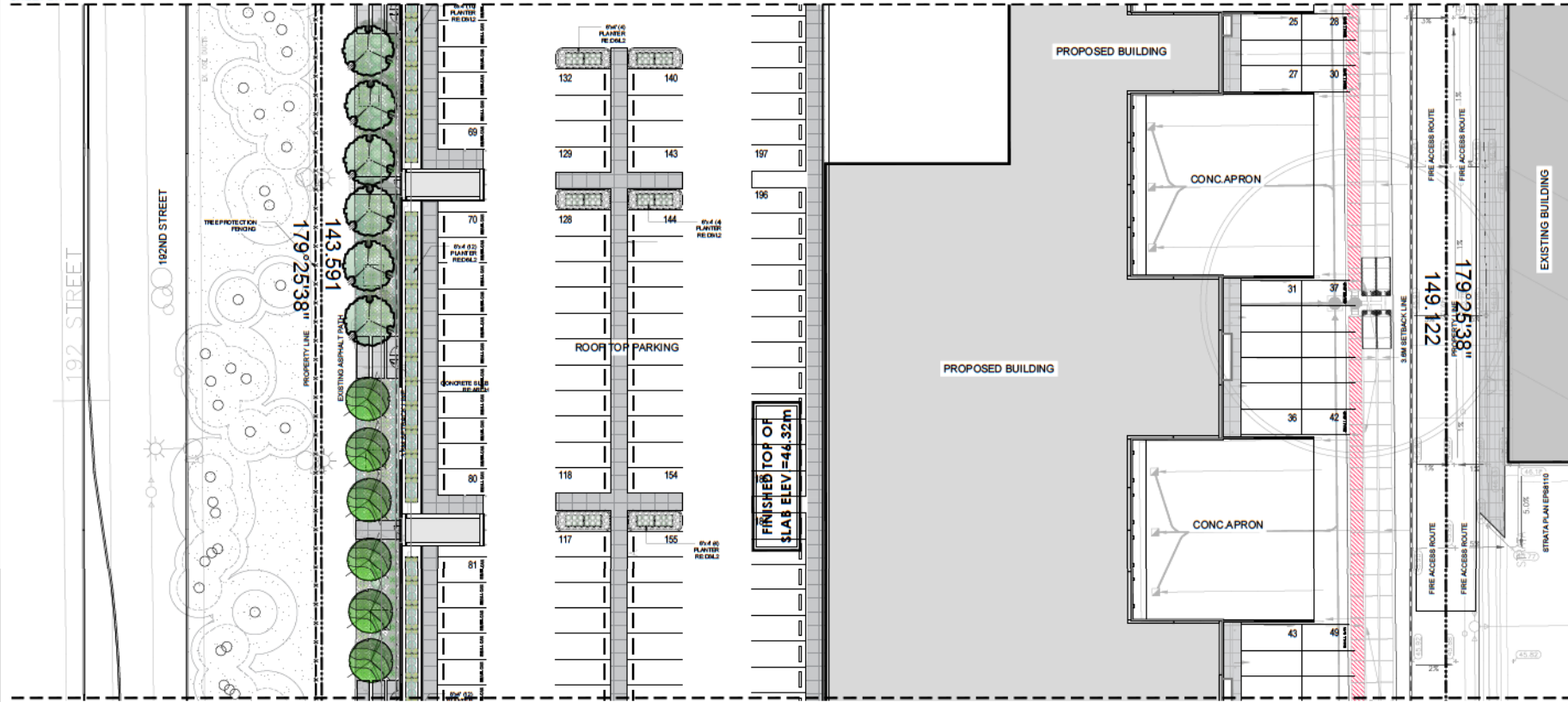
DRAWING TITLE:
ENLARGEMENT 1

SCALE: **1:200**
 DRAWN: **AV**
 CHECKED: **JT**
 PROJECT NO: **2003-L**

DRAWING NO: **L1.1**



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- LEGEND**
- PROPERTY LINE
 - SETBACK LINE
 - TRAM TIEVER ROCK
 - PLANTING MEDIUM
 - TRAM ANGLULAR ROCK
 - CONCRETE SIDEWALK
 - EXISTING TREES TO REMAIN
 - TREE PROTECTION FENCING

1	3041028	ISSUED FOR RFP
2	3040931	ISSUED FOR REVIEW
NO.	DATE DWN.	DESCRIPTION
ISSUED APPROVED		
SCALE		

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
8	1	Acer rubrum 'Sun Valley'	Sun Valley Red Maple	80m Gal.	As Shown	W.B.
9	2	Zelkova serrata	Japanese Zelkova	80m Gal.	As Shown	W.B.
10	1	Ostrya japonica	Sawwood	80m Gal.	As Shown	W.B.
16	1	Acer palmatum 'Sapporo 7'	Japanese Emperor Maple	80m Gal.	As Shown	W.B.
3	1	Magnolia kobata 'Leonard Messel'	Pink Lemon Magnolia	80m Gal.	As Shown	W.B.
CONIFEROUS TREES						
11	1	Pinus coraiica	Southern Spruce	2x 14	As Shown	W.B.
SHRUBS						
60	1	Spirea japonica 'Snowmound'	Snowmound Spirea	40cm H.	As Shown	85 Pot
36	1	Celastrus hybridus	White Rock Rose	40cm H.	As Shown	85 Pot
14	1	Hydrangea 'Praciosa'	Midnight Hydrangea	40cm H.	As Shown	85 Pot
23	1	Berberis buxifolia 'Yard'	Dwarf Barbed Barbary	400mm Spread	As Shown	85 Pot
159	1	Physocarpus opulifolius 'Dance May'	Little Cloud Hibiscus	40cm H.	As Shown	85 Pot
152	1	Calluna vulgaris 'Spring Touch'	Heather	40cm H.	As Shown	85 Pot
62	1	Meibomia densa	Dark's Viburnum	40cm H.	As Shown	85 Pot
41	1	Sida peruviana 'Yard'	Dwarf Purple Oak	40cm H.	As Shown	85 Pot
185	1	Sarcocolla hookeriana var. alpestris 'Purple Star'	Purple Star Gemmal Star	400mm Spread	As Shown	85 Pot
PERENNIALS, GROUND COVERS, AND GRASSES						
28	1	Prodraca (18) 18 - var. subulata 'Goldberry'	Black-eyed Susan	1 1/2kn	As Shown	Potted
22	1	Aster 'Broad White'	Pinkish Aster	1 1/2kn	As Shown	Potted

NORTH ARROW

PROJECT NAME
POLLYCO GROUP
CAMPELL HEIGHTS

PROJECT ADDRESS
3550 - 192 STREET
SURREY, BC

DRAWING TITLE
ENLARGEMENT 2

SCALE
1:200

DRAWN
AV

CHECKED
JT

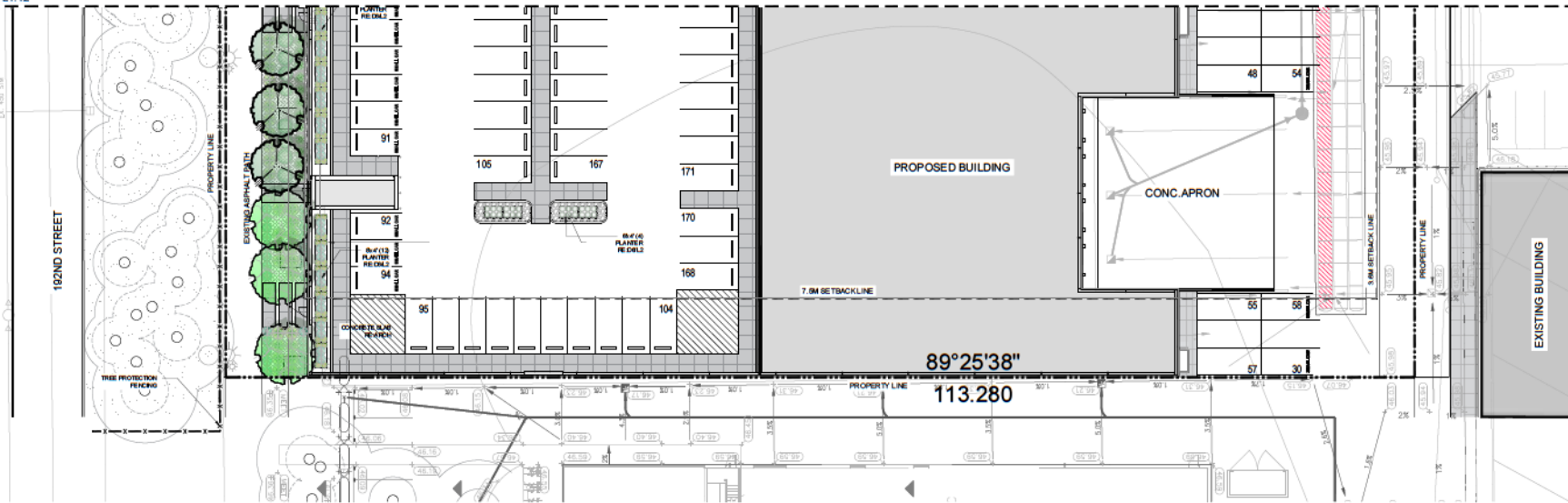
PROJECT NO.
3003-L

DRAWING NO.
L1.2

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ENLARGEMENT 2
SHEET L1.12



KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	8	Acer rubrum 'Sun Valley'	Sun Valley Red Maple	6cm Cal.	As Shown	WE
	10	Zabrus serrata	Japanese Zelkova	6cm Cal.	As Shown	WE
	9	Opalderum arbutum	Sourwood	6cm Cal.	As Shown	WE
	16	Acer palmatum 'Singapore I'	Japanese Paper Maple	6cm Cal.	As Shown	WE
	3	Magnolia 'Redstart' 'Lacoste' 'Mason'	Flk. Lorain Magnolia	6cm Cal.	As Shown	WE
CONIFEROUS TREES						
	11	Pinus canadensis	Scots Pine	3in Ht.	As Shown	WE
SHRUBS						
	60	Spirea japonica 'Snowmound'	Snowmound Spirea	400mm Ht.	As Shown	Ø Pot
	36	Celastrus hybridus	White Rock Rose	400mm Ht.	As Shown	Ø Pot
	14	Hydrangea 'Preziosa'	Myriad Hydrangea	400mm Ht.	As Shown	Ø Pot
	23	Berberis buxifolia 'Yucca'	Chart Berberis	400mm Spread	As Shown	Ø Pot
	159	Physocarpus opulifolius 'Diana'	Little Cloud Hibiscus	400mm Ht.	As Shown	Ø Pot
	162	Celastrus scandens 'Tropic Twist'	Hedger	400mm Ht.	As Shown	Ø Pot
	62	Viburnum davidsonii	David's Viburnum	400mm Ht.	As Shown	Ø Pot
	41	Salix purpurea 'Yucca'	Chart Purple Cedar	400mm Ht.	As Shown	Ø Pot
	168	Sarcococca hookeriana var. alba 'Purple Star'	Purple Star Sweet Box	400mm Spread	As Shown	Ø Pot
PERENNIALS, GRASSES, COVERS, AND GROUND COVERS						
	263	Thalictrum aquilegifolium var. subulatum 'Goldblatt'	Black-eyed Susan	1 Galon	As Shown	Pot/Pl
	22	Antennaria dioica 'Black Magic'	Black Magic Antennaria	1 Galon	As Shown	Pot/Pl



LEGEND

- PROPERTY LINE
- SETBACK LINE
- TRIM FEVER ROCK
- PLANTING MEDIUM
- TRIM ANGLULAR ROCK
- CONCRETE SIDEWALK
- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCING

1	3041028	ISSUED FOR RE-CP
1	3040931	ISSUED FOR REVIEW
NO. DATE DURING DESCRIPTION		
DRAWN BY: JZ		
CHECKED BY: JZ		
PROJECT NO: 2003-L		
DRAWING NO: L1.3		



PROJECT NAME:
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS:
**3550 - 192 STREET
SURREY, BC**

DRAWING TITLE:
ENLARGEMENT 3

SCALE:	1:200
DRAWN:	JZ
CHECKED:	JZ
PROJECT NO:	2003-L
DRAWING NO:	L1.3



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D1 BENCH N.T.S.

MANUFACTURER: SMOLEN
MODEL: 2008 SERIES CONC BACKED
MATERIAL: CAST ALUMINUM AND PEWEEOOD
QUANTITY: 12
OR APPROVED EQUAL



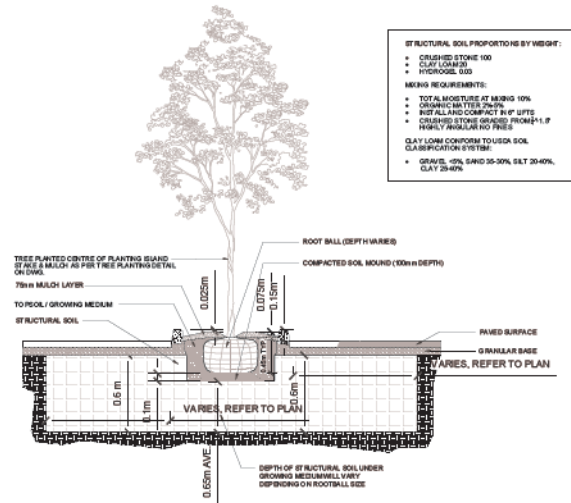
D2 BIKE RACK N.T.S.

MANUFACTURER: SERO
PRODUCT: SQUARE RACK
COLOR: OCEAN BLUE
QUANTITY: 3
OR APPROVED EQUAL



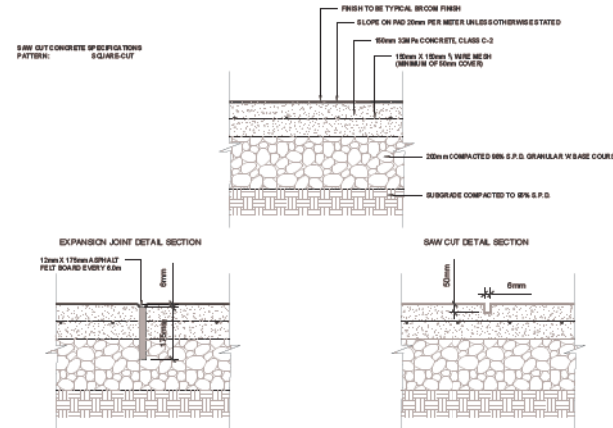
D3 POLE LIGHT N.T.S.

MANUFACTURER: LANDSCAPE FORMS
MODEL: PROFILE COLUMN LIGHT
QUANTITY: 4
OR APPROVED EQUAL



D4 STRUCTURAL SOIL N.T.S.

- NOTES:**
- CONCRETE TO BE 32M Pa, CLASS C-2 AT 28 DAYS WITH 6-8% AIR ENTRAINMENT
 - CONCRETE TO HAVE BROOK FINISH PERPENDICULAR TO THE LENGTH OF THE SIDEWALK
 - EXPANSION JOINTS TO BE LOCATED AT EVERY 6.0m AND WHERE CONCRETE PARTS ADJUTS OTHER STRUCTURES OR BUILDINGS
 - SAW-CUT JOINTS TO BE LOCATED AT INTERVALS OF 6.0m
 - CONCRETE TO BE GRAYED WITH WHITE PIGMENT DURING CONPOUND
 - ALL DIMENSIONS ARE IN MILLIMETRES



D5 SAW CUT CONCRETE N.T.S.

D6 PLANTER N.T.S.

MANUFACTURER: VICTOR STANLEY
PRODUCT: SEMA LOW PROFILE SLABS
QUANTITY: 65
OR APPROVED EQUAL

3	3024928	ISSUED FOR RE-OP
1	3024931	ISSUED FOR REVIEW
NO. DATE (Y/M/D) DESCRIPTION		
ISSUER APPROVED		
SCALE:		

NOTH ARROW:

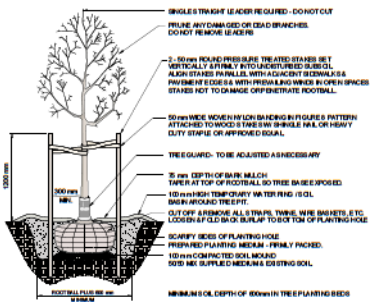
PROJECT NAME:
**POLLYCO GROUP
CAMPBELL HEIGHTS**

PROJECT ADDRESS:
**3500 - 192 STREET
SURREY, BC**

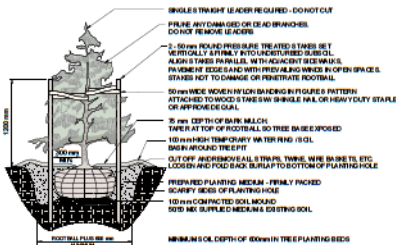
DRAWING TITLE:
DETAILS

SCALE:	AS NOTED
DRAWN:	AM
CHECKED:	JT
PROJECT NO:	2023-L
DRAWING NO:	L2

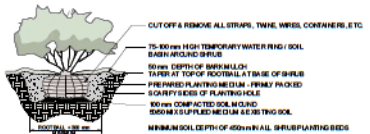
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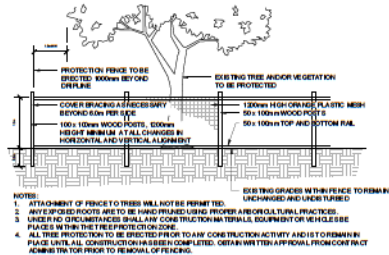
DECIDUOUS TREE N.T.S.



CONIFEROUS TREE N.T.S.



SHRUB AND PERENNIAL PLANTING DETAIL N.T.S.



TREE PROTECTION DETAIL

NO.	DATE	DESCRIPTION
1	2024/02/28	ISSUED FOR REVIEW
2	2024/03/21	ISSUED FOR REVIEW
DRAWN & PREPARED BY		
CHECKED BY		
APPROVED BY		
SCALE		

NORTH ARROW

PROJECT NAME
**POLLYCO GROUP
 CAMPBELL HEIGHTS**

PROJECT ADDRESS
**3550 - 192 STREET
 SURREY, BC**

DRAWING TITLE
DETAILS

SCALE	AS NOTED
DRAWN	AK
CHECKED	JT
PROJECT NO.	2024-1
DRAWING NO.	L2.1

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TO: **Director, Development Planning, Planning and Development Department**

FROM: **Acting Director, Land Development, Engineering Department**

DATE: **October 28, 2024**

PROJECT FILE: **7824-0159-00**

RE: **Engineering Requirements (Commercial/Industrial)**
Location: 3550 192 St

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/
Development Variance Permit.

BUILDING PERMIT

The following are to be addressed prior to issuance of the Building Permit (BP):

- Confirm existing reciprocal access easement conforms with proposed on-site drive aisle.
- Evaluate adequacy of existing sanitary connection and driveway provided under 7807-0326-00 and relocate/modify as required through the BP process.
- Install Backflow Preventor and Water meter on-site.
- Provide on-site drainage mitigation following Campbell Heights Land Use Plan requirements.
- Register applicable Restrictive Covenants on title through the BP process.

A Servicing Agreement is not required.



Jeff Pang, P.Eng.
Acting Director, Land Development

BD

TREE PRESERVATION SUMMARY

Surrey File Number:

Address: 3550 192nd Street Surrey

Arborist: Alexander Groenewold

Date of Report/Revision: 28th October 2024

Arborist Signature

*All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report

<u>ONSITE TREES</u>		<u># of Trees</u>
Existing Bylaw Trees		<u>325</u>
Proposed Removed Bylaw Trees		<u>325</u>
Proposed Retained Bylaw Trees		<u>0</u>
Total Replacement Trees Required		
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio		
	Removed	Subtotal
	12 x 1	12
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio		
	Removed	Subtotal
	0 x 2	0
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio		
	Removed	Subtotal
	313 x 2	626
Required Replacement Trees		<u>638</u>
Proposed Replacement Trees		<u>0</u>
Deficit of Replacement Trees		<u>638</u>
Total Onsite Retained and Replacement Trees		<u>0</u>

<u>OFFSITE TREES</u>		<u># of Trees</u>
Existing Bylaw Trees		<u>5</u>
Proposed Removed Bylaw Trees		<u>0</u>
Proposed Retained Bylaw Trees		<u>5</u>
Total Replacement Trees Required		
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio		
	Removed	
	0 x 1	0
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio		
	Removed	
	0 x 2	0
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio		
	Removed	
	0 x 2	0
Required Replacement Trees		<u>0</u>
*To be taken as cash-in-lieu		<u>0</u>
Total Offsite Retained Trees		<u>5</u>

<u>CITY TREES</u>	<u>Existing</u>	<u>Removed</u>	<u>Retained</u>
Park/City Lot Trees	0	0	0
Boulevard Trees	72	0	72
Total	72	0	72

TREE PRESERVATION BY LOCATION

Surrey File Number:

Address:

Arborist:

Date of Report/Revision:

3550 192nd Street Surrey

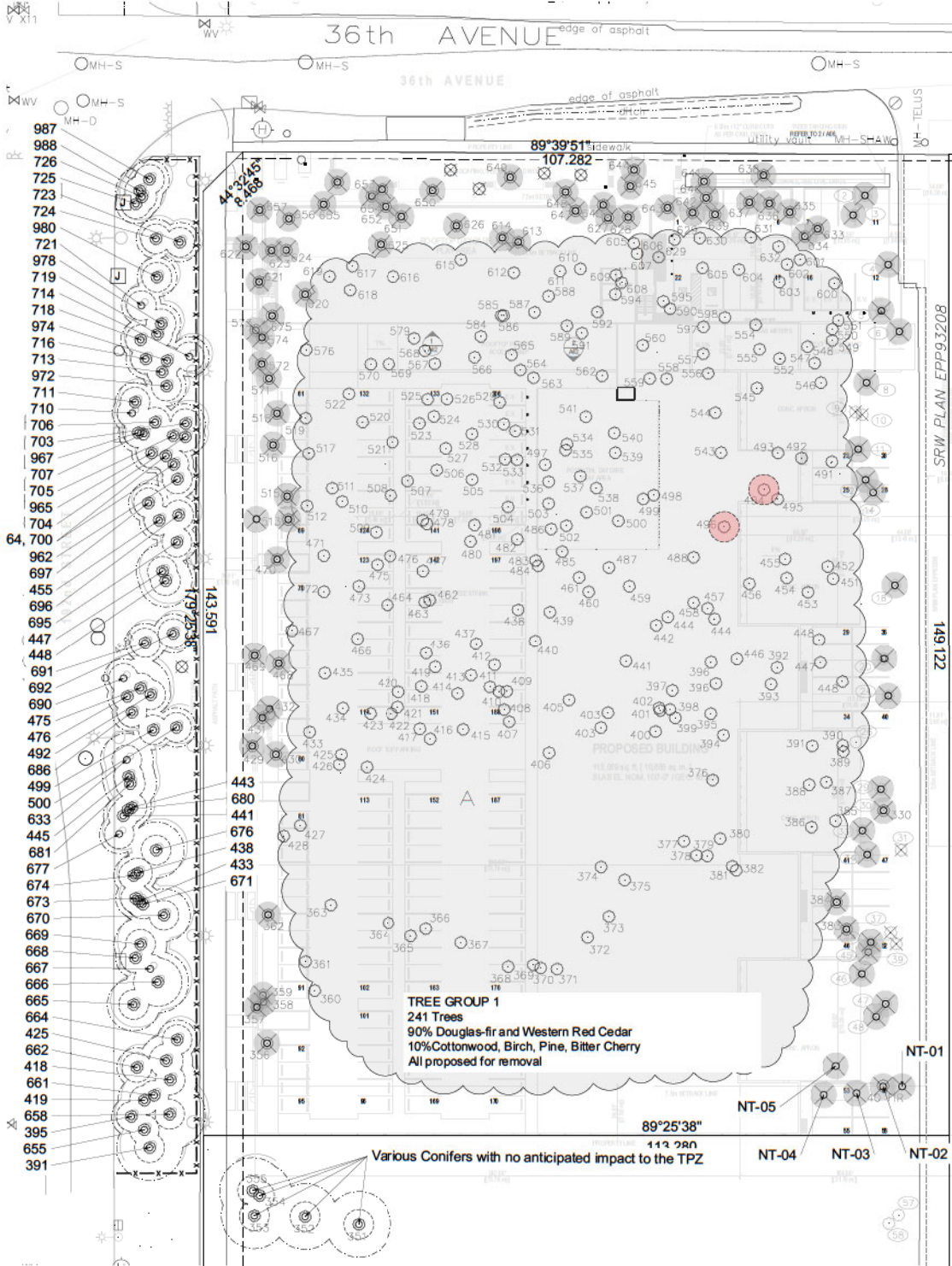
Alexander Groenewold

28th October 2024

*All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report

ONSITE	<u>Alder & Cottonwood Trees</u>			
		Existing	Remove	Retain
	Alder/Cottonwood (outside riparian area)	12	12	0
	Alder/Cottonwood (within riparian area)			
	Total	12	12	0
	<u>Deciduous Trees</u> (excluding Alder & Cottonwood Trees)			
	Tree Species	Existing	Remove	Retain
	<i>Bitter Cherry</i>	3	3	0
	<i>Birch</i>	2	2	0
	Deciduous Subtotal	5	5	0
<u>Coniferous Trees</u>				
Tree Species	Existing	Remove	Retain	
<i>Douglas Fir</i>	177	177	0	
<i>Western Red Cedar</i>	128	128	0	
<i>Pinus sp</i>	1	1	0	
<i>Hemlock</i>	2	2	0	
Coniferous Subtotal	308	308	0	
Deciduous & Coniferous Total	313	313	0	
<u>Onsite Tree Totals</u>	<u>325</u>	<u>325</u>	<u>0</u>	
Onsite Replacement Trees Proposed *insert "0" if TBD or unknown				
Total Onsite Retained and Replacement Trees		0		

Alder & Cottonwood Trees				
OFFSITE		Existing	Remove	Retain
	Alder/Cottonwood (outside riparian area)			
	Alder/Cottonwood (within riparian area)			
	Total	0	0	0
Deciduous & Coniferous (excluding Alder & Cottonwood Trees)				
	Existing	Remove	Retain	
Tree Species				
<i>Notassessed due to distance(7.5m+) from PL (tag351 - 355)</i>	5			5
Deciduous & Coniferous Total	5	0		5
Offsite Tree Totals	5	0		5
Total Offsite Retained Trees	5			
CITY		Existing	Remove	Retain
	Park/City Lot Trees			
	Boulevard Trees	72	0	72
Total	72	0		72



PROTECTING AND MANAGING TREES DURING CONSTRUCTION

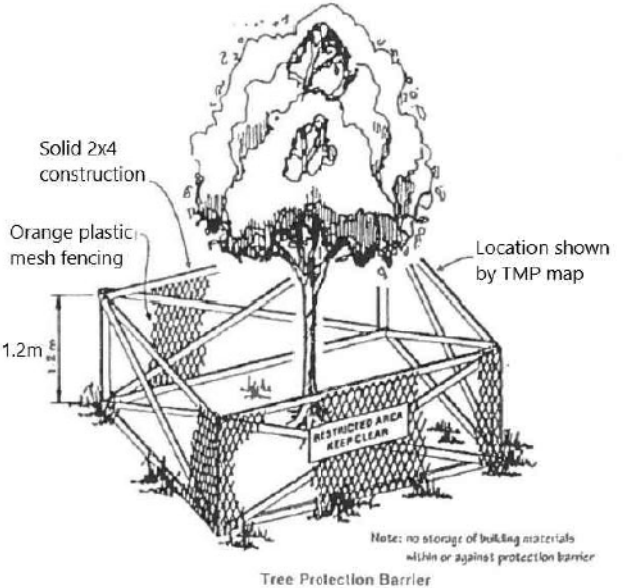
1. Refer to the most recent arborist report for full details on recommendations, required protection and management of trees. Contact the undersigned consulting arborist if any questions arise
2. Tree Protection Fencing must be installed to municipal specifications prior to demolition, tree removal or construction work and be kept in good order until the completion of project or final landscaping. Consulting arborist to be contacted prior to Tree Protection Fencing removal.
3. The following activities are prohibited within the area enclosed by the Tree Protection Fencing unless specifically exempt by the consulting arborist:
 - a. Excavation, trenching, stump grinding, stump removal or subsurface work,
 - b. Grade alteration,
 - c. Storage of any construction material or demolition debris,
 - d. Parking or storage of vehicles or machinery,
 - e. Installation of parking, sidewalk, curbing, asphalt or building, or
 - f. Contamination of soil by processes of washing, dumping or cleaning out materials (Especially concrete, or oil based materials) within the Tree Protection Fencing or in a location such as to allow the contaminants to flow into the area designated by the Tree Protection Fencing.
4. Within the Arborist Supervision Zone, outside of the Tree Protection Fencing:
 - a. Excavation, trenching, stump grinding, stump removal or subsurface work can proceed only under the supervision of the consulting arborist,
 - b. All activities prohibited within the Tree Protection Fencing (See 3. above) should be minimized where possible within the Arborist Supervision Zone.
 - c. Consulting arborist to be contacted minimum 48 hours prior to required supervision.



LEGEND

- EXISTING TREE PROPOSED FOR REMOVAL
- EXISTING TREE TO BE RETAINED
- UNDERSIZE TREE
- TREE PROTECTION FENCING
- ARBORIST SUPERVISION ZONE
- 19 TREE TAG NO.
- 19+ UNSURVEYED TREE TAG NO.
- CRITICAL ROOT ZONE
- TREE PROTECTION ZONE (LARGER OF CRZ OR DRIPLINE)
- HAZARD PRESENT
- TREE ON SURVEY NOT VISIBLE ON SITE

NOTE:
 All Trees shown outside Tree Group 1 were individually assessed for potential retention.
NO SUITABLE CANDIDATES WERE FOUND.
 Assessment Details can be found in Tree Inventory - Table 1 in the latest Arborist Report Package



Assessment Done May 27, 2024
 By Alexander Greenewald,
 I.S.A. TRAQ

PROJECT NAME:
POLLYCO INDUSTRIAL

PROJECT ADDRESS:
 3550 192nd Street, Surrey, BC

DRAWING TITLE:
TREE MANAGEMENT PLAN - OVERALL

SCALE: 1:500 AT ARCH. #22

DRAWN: AG

CHECKED: MP

PROJECT NO: 2003 - L

DRAWING NO: **T1**

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CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7924-0159-00

Issued To:

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 030-873-177
Lot A Section 27 Township 7 New Westminster District Plan EPP93207

3550 - 192 Street

(the "Land")

3. If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Subsection E. Lot Coverage of Part 47A Business Park 1 Zone, the maximum lot coverage is increased from 60% to 64%;
 - (b) In Subsection F. Yards and Setbacks of Part 47A Business Park 1 Zone, the minimum rear (south) setback is reduced from 7.5 metres to 0.0 metres to the principal building face; and

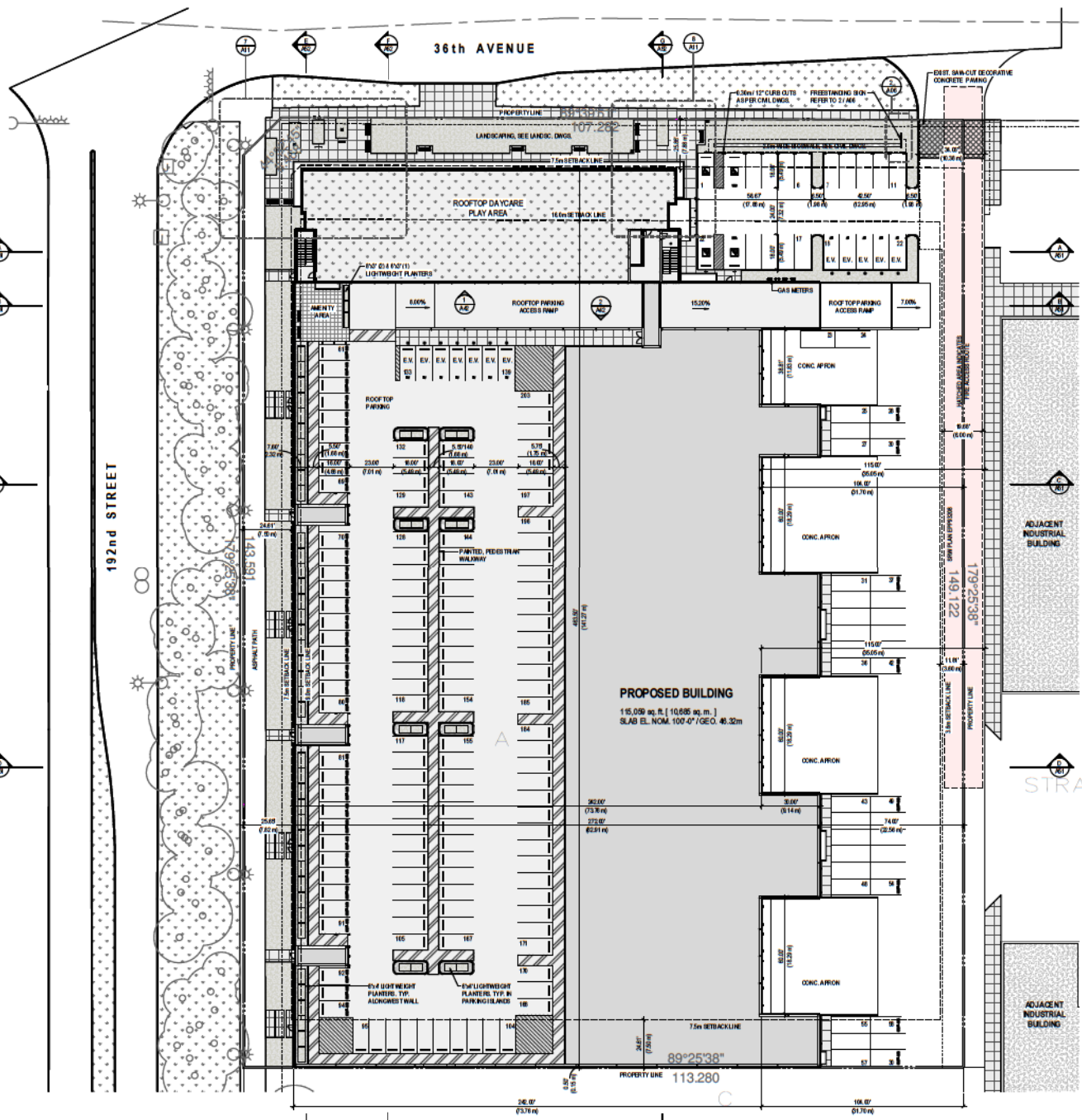
- (c) In Subsection G. Height of Buildings of Part 47A Business Park 1 Zone, the maximum building height for principal buildings is increased from 14 metres to 16 metres.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
 6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
 7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
 8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
 9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli



ZONING BY-LAW ANALYSIS

PROJECT DATA
 Civic Address: 356 192nd Street, Surrey, BC Building Use: LIGHT INDUSTRIAL
 Legal Address:
 Site Area: 8,911 sq. ft. [160 hectares] [101,922 sq. ft.] [416 acres]
 Zoning: R1 - INDUSTRIAL BUSINESS PARK CNE

R1 - ZONING BY-LAW ANALYSIS (CITY OF SURREY)

- ZONING:** R1 - INDUSTRIAL BUSINESS PARK CNE
- SITE AREA:** 8,911 sq. ft. [160 hectares] [101,922 sq. ft.] [416 acres]
- SITE COVERAGE:** 16.08% [10,685 sq. m.]
- TOTAL SITE COVERAGE:** 16.08% [10,685 sq. m.] OR 63.23% [DVP REQUIRED] **MAXIMUM ALLOWABLE = 16%**
- BUILDING HEIGHT:** MAXIMUM HEIGHT: 14.00 m (46.00') PROPOSED HEIGHT: 21.30 m (69.90') **DVP REQUIRED**
- REQUIRED SETBACKS:** FRONT YARD (R1): 7.50 m (24.60') SIDE YARD (R1): 3.00 m (9.84') REAR YARD (R1): 7.50 m (24.60')
- LANDSCAPING REQUIREMENTS:** LANDSCAPING AREAS, LANDSCAPING SCREENS, AND FENCING SHALL COMPLY WITH CITY OF SURREY REQUIREMENTS.
- VEHICLE PARKING AND LOADING:** REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATION, UNLESS NOTED OTHERWISE.
- LIGHT IMPACT INDUSTRIAL:** 1 STALL PER 100 sq. m. GFA 116.00 / 1,078 sq. ft.
- OFFICE (MEZZANINE / SECOND):** 25 STALL PER 100 sq. m. GFA 12,250 sq. ft. / 1,078 sq. ft. x 2.5 = 32 STALLS
- CHILD CARE FACILITY:** 6.8 STALLS PER EMPLOYEE
- DISCREET THREE FLOOR:** 6.8 STALLS PER CHLD. CRP OFF. 246 x 15
- EMPLOYEES = 670**
- TOTAL PARKING STALLS REQUIRED:** 32
- VEHICLE PARKING PROVIDED:** 33
- PARKING TYPE:** ACCESSIBLE PARKING: 4, SMALL CAR: 46, STANDARD PARKING: 45, STANDED PARKING: EV: 0
- TOTAL PARKING SPACES PROVIDED:** 33
- STALL DIMENSIONS:** STANDARD STALL: 2.00 m (6.56') x 5.50 m (18.04') L, TANGENT PARKING STALL: 2.00 m (6.56') x 6.00 m (19.68') L, PARALLEL STANDED STALL: 2.00 m (6.56') x 6.75 m (22.14') L, ACCESSIBLE STALL: 2.00 m (6.56') x 5.50 m (18.04') L, SMALL CAR STALL (MAX. 2000): 2.00 m (6.56') x 4.86 m (16.00') L, LOADING STALL: 4.00 m (13.12') x 5.50 m (18.04') L
- DRIVE ABLE METR:** 7.00 m (22.97') x 4.00' (DWO WAY)
- LOADING CALCULATION:** LOADING SPACE ADJACENT TO EACH OVERHEAD DOOR OF BUILDING
- BICYCLE PARKING:** REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATION, UNLESS NOTED OTHERWISE.
- INDUSTRY LIGHT IMPACT - BICYCLE PARKING REQUIREMENT NOT APPLICABLE PER TABLE 1 OF SECTION 6**

GROSS FLOOR AREA

MAIN FLOOR LIGHT INDUSTRIAL	15,039 sq. ft. [10,685 sq. m.]
MEZZANINE	12,250 sq. ft. [1,078 sq. m.]
SECOND FLOOR DAYCARE	11,855 sq. ft. [1,078 sq. m.]
THIRD FLOOR DAYCARE	11,855 sq. ft. [1,078 sq. m.]
TOTAL GROSS FLOOR AREA	19,200 sq. ft. [1,469 sq. m.]
DENSITY:	19,200 OR 6.63 (MAX ALLOWABLE = 14)

1 SITE PLAN
 SCALE: 1:50

SCHEDULE A



increase lot coverage from 60 % to 64 %

increase maximum building height from 14 m to 16 m



This drawing has been prepared solely for the use of POLLYCO GROUP and there are no representations of any kind made by KPA Architecture Ltd. to any party with whom KPA Architecture Ltd. has not entered into a contract. This drawing shall not be used for any other purpose other than that for which it is prepared.

4	2006.10.25	RE-ISSUED FOR DEVELOP. PERMIT
3	2006.10.02	RE-ISSUED FOR DEVELOP. PERMIT
2	2006.06.19	ISSUED FOR PERMIT
1	2006.05.31	ISSUED FOR DEVELOP. PERMIT
NO.	DATE	REVISION / DESCRIPTION
ISSUES AND REMEDION		
SEAL		

PRELIMINARY
 NOT FOR CONSTRUCTION

PROJECT NAME:
**POLLYCO GROUP
 CAMPBELL HEIGHTS**

PROJECT ADDRESS:
 3550 - 192ND STREET
 SURREY, BC V3S 0L5

DRAWING TITLE:
SITE PLAN

SCALE:	As Indicated
DRAWN:	MB
REVIEWED:	
PROJECT NO.:	24821A
DRAWING NO.:	

