

CORPORATE REPORT

**As per memo dated July 26, 2024
Appendix I has been updated**

NO: R147

COUNCIL DATE: July 22, 2024

REGULAR COUNCIL

TO: **Mayor & Council** DATE: **July 18, 2024**

FROM: **General Manager, Planning & Development** FILE: **6745-20 (SSMUH)**

SUBJECT: **Transition from Single-Family Residential Zones to Small-Scale Multi-Unit Housing Zones for In-stream Development Applications**

RECOMMENDATION

The Planning & Development Department recommends that Council:

1. Receive this report for information;
2. Authorize staff to close and file in-stream zoning by-law amendments to *Surrey Zoning Bylaw, 1993, No. 12000*, as amended, and associated development variance permits, to align with provincial housing legislation and new Small-Scale Multi-Unit Housing zones, which reference original single-family or duplex zones, as provided in Appendix "I"; and
3. Authorize staff to close and file in-stream development variance permits without any associated rezoning, to align with provincial housing legislation and new Small-Scale Multi-Unit Housing zones, which reference original single-family or duplex zones, as provided in Appendix "II"; and
4. Authorize the City Clerk to provide notification for replacement of new amendment bylaws, and any associated development variance permits, and schedule for Council consideration of first, second, and third readings of new bylaw amendments for September 9, 2024, and approval as to form for associated development variance permits after final adoption.

INTENT

The intent of this report is to facilitate alignment of in-stream rezoning and development variance permit applications with the new Small-Scale Multi-Unit Housing zoning bylaw requirements mandated by provincial legislation and as adopted by the City on July 8, 2024 to allow in-stream application processes to proceed under the zoning currently in effect.

BACKGROUND

In November 2023, the Provincial Government introduced legislation under Bill 44, which included Small-Scale Multi-Unit Housing ("SSMUH") requirements intended to facilitate additional housing supply and affordability in British Columbia communities.

On June 10, 2024, Council endorsed Corporate Report No. R0109; 2024, titled “Small-Scale Multi-Unit Housing: Zoning By-law Amendments Related to Provincial Housing Legislation”. These amendments to *Surrey Zoning By-law, 1993, No. 12000* (the “Zoning By-law”) align with provincial housing legislation by replacing 14 single-family zones, one semi-detached zone, four gross density zones, and one duplex zone with nine new SSMUH zones.

DISCUSSION

The new SSMUH Zoning By-law amendments adopted on July 8, 2024 impact about 150 single-family and duplex development applications at third reading. Applications that received final adoption prior to July 8, 2024, or that are proposed to be rezoned from an old single-family or duplex zone to a non-SSMUH zone are not impacted. The impacted in-stream bylaws will need to be filed and closed and new bylaw replacements and associated development variance permits introduced to align to with new SSMUH zones.

In order to streamline this administrative requirement, it is proposed that these bylaws be brought forward for Council’s consideration in batches over the next few months. Appendix “I” lists the first batch in-stream zoning bylaw amendment applications, including any associated development variance permits. Appendix “II” lists the first batch in-stream development variance permits without rezoning.

Notification

Section 464 of the *Local Government Act* prohibits public hearings solely for zoning bylaw amendments related to Section 481.3 (zoning bylaws and small-scale multi-family housing), and therefore no public hearing is required. Notification will be provided in accordance with applicable bylaws and legislative requirements.

Legal Services Review

Legal Services has reviewed this report.

CONCLUSION

This report provides for a first batch of in-stream Zoning By-law amendment applications to ensure conformity with the new SSMUH framework and alignment with updated zones and regulations.

Original signed by

Don Luymes

General Manager, Planning & Development

Appendix “I” Table of Original and Replacement Bylaws in compliance with SSMUH Zoning By-law Amendments with any associated DVPs

Appendix “II” Table of Original and Replacement DVPs in compliance with SSMUH Zoning By-law Amendments without Rezoning

APPENDIX “I”

Table of Original and Replacement Bylaws in compliance with SSMUH Zoning By-law Amendments with any associated DVPs

DEVELOPMENT APPLICATION AND PLANNING REPORT	ORIGINAL BYLAW (CLOSED & FILED)				REPLACEMENT BYLAW (NEW)			
	Original Amendment Bylaw	From Zone(s)	To Zone(s)	Associated DVP	Replacement Amendment Bylaw	From Zone(s)	To Zone(s)	Associated DVP
21-0261	20646	RA	RF-13 RF-10	Yes	21328	RA	R4 R5	Yes 7921-0261-01 (See Attachment A)
21-0232	20712	RF	RF-13	Yes	21329	R3	R4	Yes 7921-0232-01 (See Attachment B)
21-0342	20713	RA RF-13	RF-13	Yes	21330	RA R4	R4	Yes 7921-0342-01 (See Attachment C)
23-0185	21158	RF	RF-10	Yes	21331	R3	R5	Yes 7923-0185-01 (See Attachment D)
21-0264	20993	RA	RF-13	Yes	21332	RA	R4	Yes 7921-0264-01 (See Attachment E)
21-0349	20817	RA	RF	Yes	21333	RA	R3	Yes 7921-0349-01 (See Attachment F)
22-0233	20819	RA	RQ	Yes	21334	RA	R2	Yes 7922-0233-01 (See Attachment G)
22-0231	21013	RA	RF-13	Yes	21335	RA	R4	Yes 7922-0231-01 (See Attachment H)

18-0305	19750	RA	RF-13	No	21336	RA	R4	No
15-0101	18639	RF	RF-10	No	21337	R3	R5	No
17-0381	19584	RF	RF-10	No	21338	R3	R5	No
18-0025	19874	RF	RF-10	No	21339	R3	R5	No
23-0097	21031	RA	RF	No	21340	RA	R3	No

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0261-01

Issued To:

("the Owner")

Address of Owner:

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-240-638
Lot 28 Section 15 Township 8 New Westminster District Plan 54452

19309 - 71 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In sub-Section C.2 of Part 17 “Compact Lot Residential Zone (R5)” the minimum lot depth of the R5 (Corner Type III) is reduced from 36.0 metres to 29.1 metres for proposed Lot 1;
- (b) In sub-Section C.2 of Part 17 “Compact Lot Residential Zone (R5)” the minimum lot width of the R5 (Interior Type I) is reduced from 9.7 metres to 9.1 metres for proposed Lots 2 and 3;
- (c) In sub-Section C.2 of Part 16 “Small Lot Residential Zone (R4)” the minimum lot width of the R4 (Corner Type II) is reduced from 15.4 metres to 14.5 metres for proposed Lot 5; and
- (d) In sub-Section C.2 of Part 16 “Small Lot Residential Zone (R4)” the minimum lot depth of the R4 (Interior Type I) is reduced from 28.0 metres to 27.9 metres for proposed Lot 6.

5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.

8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

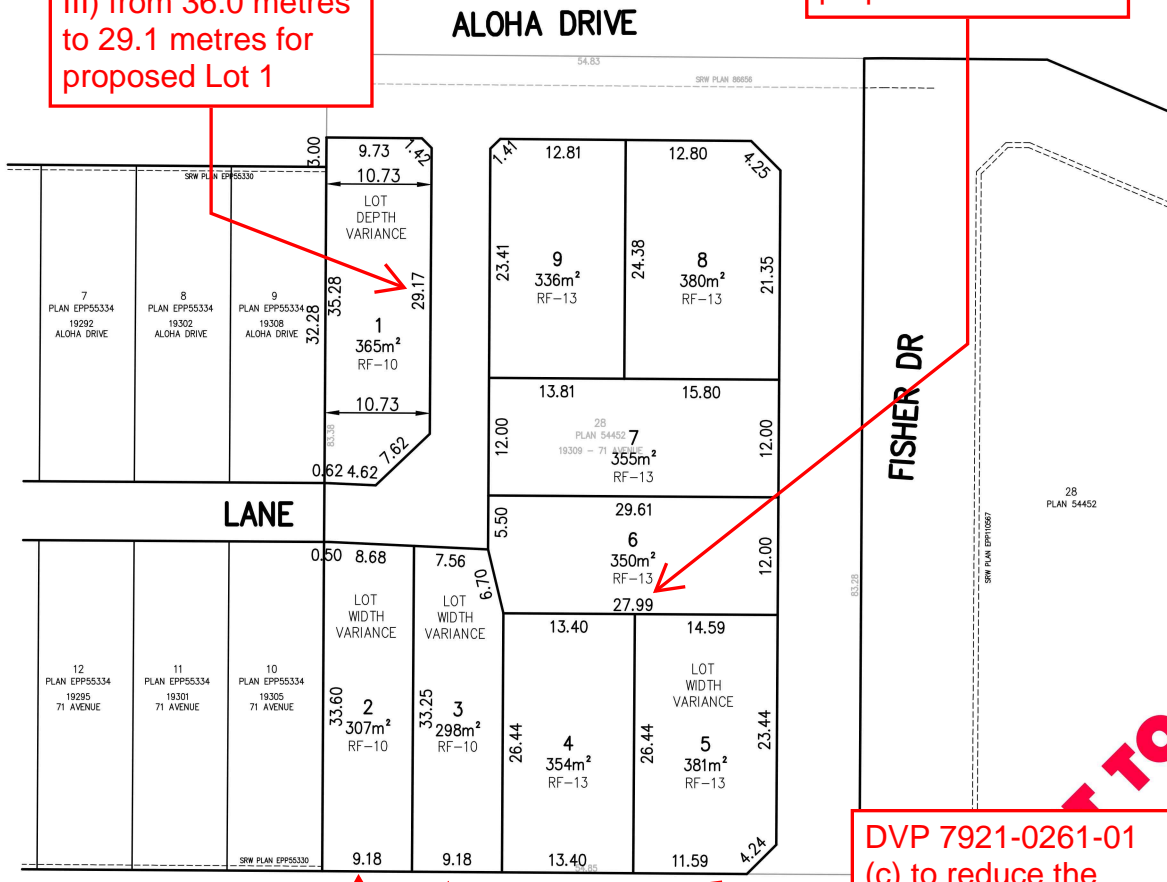
Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli



DVP 7921-0261-01 (a) to reduce the minimum lot depth of the R5 (Corner Type III) from 36.0 metres to 29.1 metres for proposed Lot 1

DVP 7921-0261-01 (d) to reduce the minimum lot depth of the R4 (Interior Type I) from 28.0 metres to 27.9 metres for proposed Lot 6



DVP 7921-0261-01 (b) to reduce the minimum lot width of the R5 (Interior Type I) from 9.7 metres to 9.1 metres for proposed Lots 2 and 3

DVP 7921-0261-01 (c) to reduce the minimum lot width of the R4 (Corner Type II) from 15.4 metres to 14.5 metres for proposed Lot 5

**PRELIMINARY
REVIEW AND
APPROVAL**

Hub Engineering Inc. Member PACIFIC LAND GROUP
 Engineering and Development Consultants
 Suite 212, 12992 - 76 Avenue, Surrey, B.C. V3W 2V6
 tel: 604-572-4328 | fax: 604-501-1625 | mail@hub-inc.com | www.hub-inc.com

G:\Projects\21041\AO Drawings\Layouts\ACAD-Lot_Layout - op 9 - Apr 29, 2022.dwg [Lot_Portrait 11x17] 5/03/2022 9:50AM

CLIENT:	PROJECT: 19309 71 AVENUE, SURREY		
DRAWING TITLE:	RESIDENTIAL SUBDIVISION		
PROJECT No. 21041	DATE: JAN 2022	LEGAL:	SCALE: 1:500
MUNICIPAL PROJECT No:			

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0232-01

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 008-167-044
 LOT 1 SECTION 16 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 210008
 14224 68 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) to reduce the minimum lot depth of the R4 Zone (Type II Interior) from 24 metres to 12.3 metres for proposed Lot 1;
 - (a) to reduce the minimum lot depth of the R4 Zone (Type II Interior) from 24 metres to 15.71 metres for proposed Lot 2;
 - (b) to reduce the minimum lot depth of the R3 Zone from 28 metres to 19.07 metres for proposed Lot 3;
 - (c) to reduce the minimum front yard setback of the R4 Zone from 5.5 metres to 2.0 metres to the principal building face for proposed Lots 1 and 2;
 - (d) to reduce the minimum front yard setback of the R3 Zone from 6.5 metres to 2.0 metres to the principal building face for proposed Lot 3;
 - (e) to reduce the minimum rear yard setback of the R4 Zone from 7.5 metres to 3.0 metres for proposed Lot 1;
 - (f) to reduce the minimum rear yard setback of the R4 Zone from 7.5 metres to 4.5 metres for proposed Lot 2;
 - (g) to reduce the minimum rear yard setback of the R3 Zone from 7.5 metres to 6.0 metres for proposed Lot 3; and
 - (h) to increase the maximum driveway width of the R4 Zone from 6.0 metres to 8.93 metres for proposed Lot 1.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

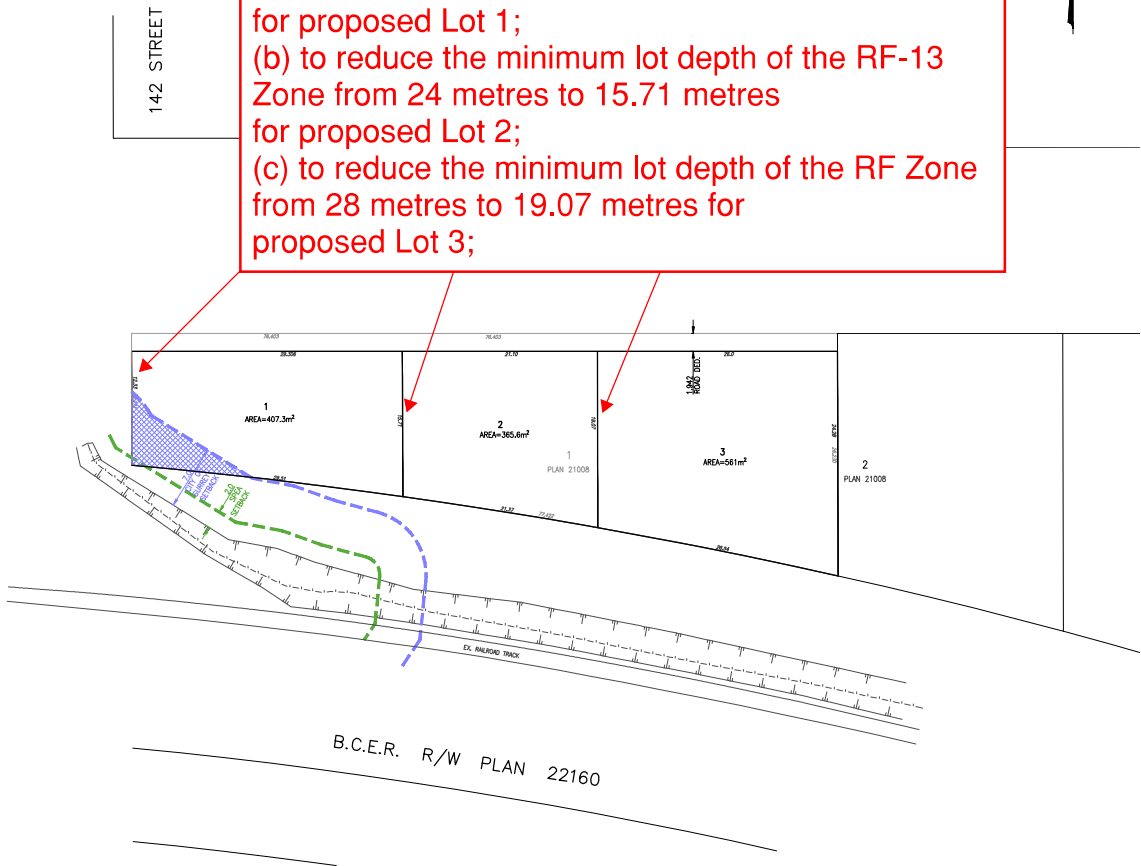
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

DVP 7921-0232-01:
 (a) To reduce the minimum lot depth of the RF-13 Zone from 24 metres to 12.3 metres for proposed Lot 1;
 (b) to reduce the minimum lot depth of the RF-13 Zone from 24 metres to 15.71 metres for proposed Lot 2;
 (c) to reduce the minimum lot depth of the RF Zone from 28 metres to 19.07 metres for proposed Lot 3;



NOT FOR CONSTRUCTION

LEGAL DESCRIPTION			
LOT 1, SEC 16, TP 2, WND PLAN 21008			
SURVEY BENCHMARK		SCALE FACTOR	
MON-8747 LOCATED AT 64 AVE & 142 ST		ELEV. 37.806m	
REV.	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			

CONSULTANT



GurSimer
Design and Management Inc.
Tel: 778-895-0358 | Email: nivali@gs-dm.com



CLIENT

1018797 BC LTD
6688-1288 STREET
SURREY
TEL: 604-780-4312

TITLE

LOT LAYOUT
14224 - 68 AVE

SCALE:	HOR. 1:250	DATE (YYYYMMDD)	2021.06.30
VERT. -		CONSULTANT PROJ. NO.	21-030
DESIGNED	NS	DWC NO.	
DRAWN	NS	REV.	A
REVIEWED	NS		

SURREY PROJECT NUMBER

7921-0232-00

DRAWING TYPE

LOT LAYOUT

142 ST

68 AVENUE

**PROPOSED BUILDING ENVELOPE
ANALYSIS for SUKHI RANDHAWA on
14224 68 AVE, SURREY, BC**

(d) to reduce the minimum front yard setback of the R4 Zone from 5.5 metres to 2.0 metres to the principal building face for proposed Lots 1 and 2

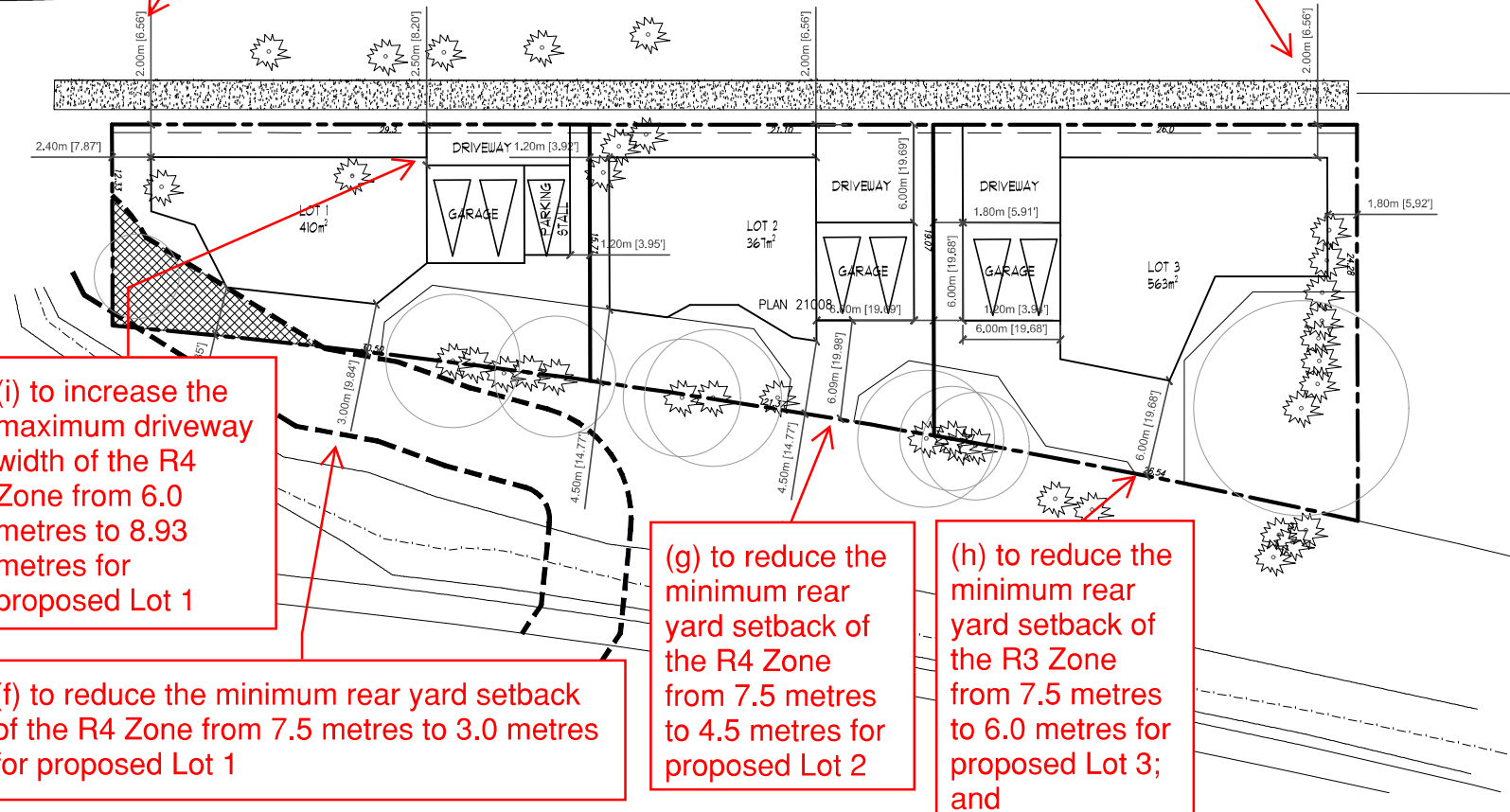
(e) to reduce the minimum front yard setback of the R3 Zone from 6.5 metres to 2.0 metres to the principal building face for proposed Lot 3

(i) to increase the maximum driveway width of the R4 Zone from 6.0 metres to 8.93 metres for proposed Lot 1

(f) to reduce the minimum rear yard setback of the R4 Zone from 7.5 metres to 3.0 metres for proposed Lot 1

(g) to reduce the minimum rear yard setback of the R4 Zone from 7.5 metres to 4.5 metres for proposed Lot 2

(h) to reduce the minimum rear yard setback of the R3 Zone from 7.5 metres to 6.0 metres for proposed Lot 3; and



LOT 1 (RF-13)	
MAX LOT COVERAGE PERMITTED (50%)	= 2211.00 SF
LOT COVERAGE PROPOSED	= 1720.00 SF
MAX FSR PERMITTED	= 2860.00 SF
FSR PROPOSED	= 2860.00 SF
PROPOSED GARAGE	= 420.00 SF

LOT 2 (RF-13)	
MAX LOT COVERAGE PERMITTED (50%)	= 1978.00 SF
LOT COVERAGE PROPOSED	= 1721.00 SF
MAX FSR PERMITTED	= 2769.00 SF
FSR PROPOSED	= 2769.00 SF
PROPOSED GARAGE	= 420.00 SF

LOT 3 (RF)	
MAX LOT COVERAGE PERMITTED (38%)	= 2290.00 SF
LOT COVERAGE PROPOSED	= 2179.00 SF
MAX FSR PERMITTED	= 3628.00 SF
FSR PROPOSED	= 3628.00 SF
PROPOSED GARAGE	= 420.00 SF

PLAN: 13B-7921-0232-00

DRAWN: JL

SCALE:

DATE: JULY 11, 2022



this drawing/design is the exclusive property belongs to SIMPLEX HOME DESIGN. no body is authorized to use or reproduce without the written approval from SIMPLEX HOME DESIGN.

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0342-01

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 004-749-561

Lot 1 Section 10 Township 2 New Westminster District Plan 20412
5930 147 Street

Parcel Identifier: 030-451-451

Lot 2 Section 10 Township 2 New Westminster District Plan EPP73704
14725 59 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

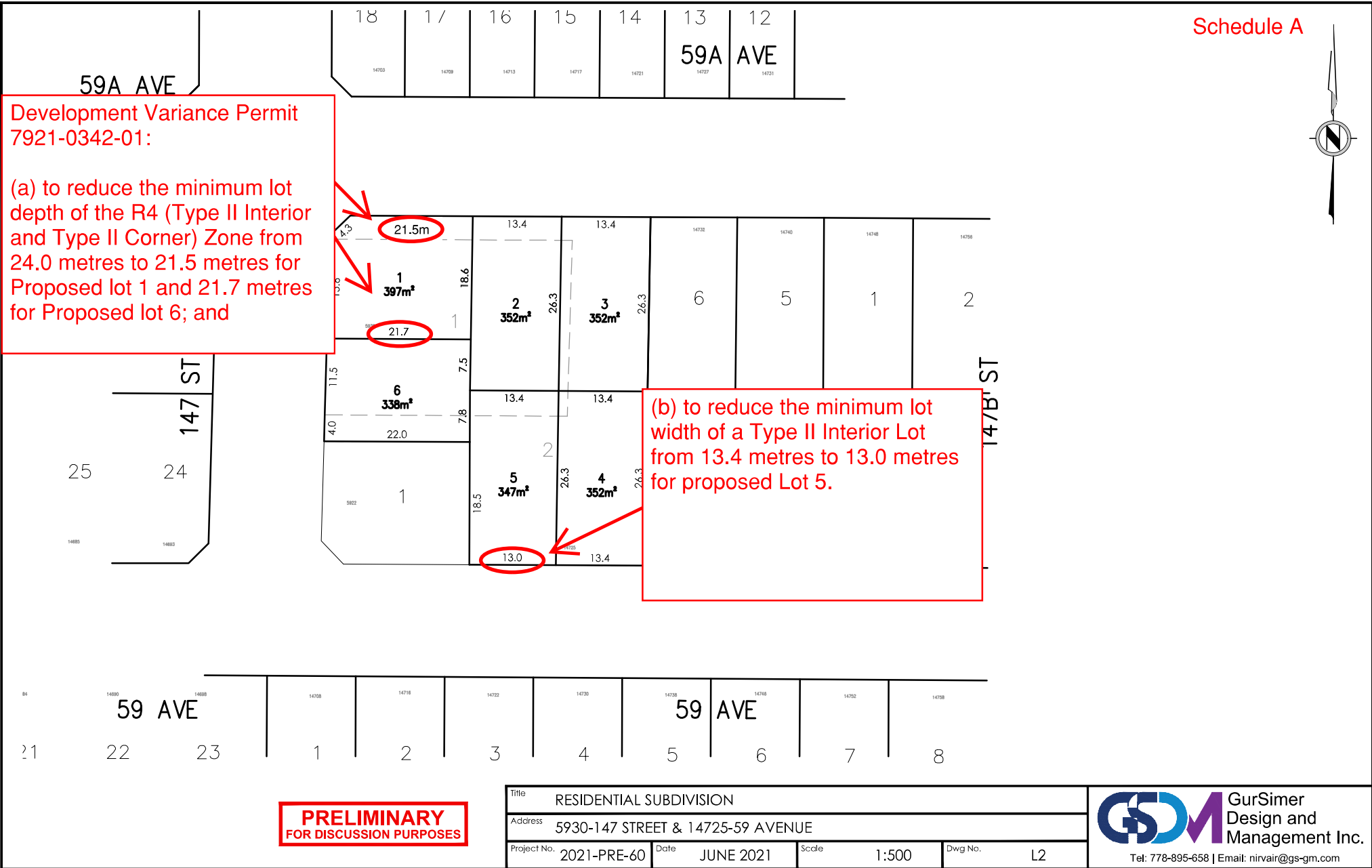
4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) to reduce the minimum lot depth of the R4 (Type II Interior and Type II Corner) Zone from 24.0 metres to 21.5 metres for Proposed lot 1 and 21.7 metres for Proposed lot 6; and
 - (b) to reduce the minimum lot width of the R4 (Type II Interior) Zone from 13.4 metres to 13.0 metres for proposed Lot 5.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7923-0185-01

Issued To:

(**"the Owner"**)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 003-405-907
 Lot 25 Section 27 Block 5 North Range 2 West NWD Plan 20923
 10068 - 133 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Sub-Section C.2. of Part 15 “Compact Residential Zone (R5)”, the minimum lot width for a “Type I – Interior” lot is reduced from 9.7 metres to 9.5 metres for proposed Lot 2.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
 6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
 7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
 9. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
 10. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and Director, Legislative Services
Jennifer Ficocelli

SUBDIVISION PLAN OF:

- LOTS 25, 26 AND 27 PLAN 20923
- LOT 160 PLAN 45323
- PARCEL 'A' PLAN EPP136382

PLAN EPP136386

ALL OF SECTION 27 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT

City of Surrey B.C.G.S. 92G.016

Pursuant To Section 67 of the Land Title Act



SCALE - 1 : 500

All distances are in metres

The intended plot size of this plan is 432mm in width by 560mm in height (C Size) when plotted at a scale of 1:500.

Integrated Survey Area No. 1
City of Surrey NAD83 (CSRS) 4.0.0.BC.1.MVRD

Grid Bearings are derived from observations between Control Monuments 5791 and 80H2057 and are referenced to the central meridian of UTM zone 10.

The UTM co-ordinates and estimated absolute accuracy achieved are derived from the MASCOT published coordinates and standard deviations for geodetic control monuments 5791 and 80H2057.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.9995902 which has been derived from geodetic control monument 80H2057.

Datum: NAD83 (CSRS) UTM Zone 10 4.0.0.BC.1.MVRD
UTM Northing: 5,448,510.256
UTM Easting: 510,458,586
Estimated horizontal positional accuracy: 0.02 m

Legend:

- ⊙ Denotes control monument found
- Denotes standard iron post found
- Denotes standard lead plug found
- Denotes standard iron post set
- NF Denotes nothing found
- Ex Denotes explanatory
- Pcl Denotes parcel
- WT Denotes witness

Note: This plan shows one or more witness posts which are not set on the true corner(s).
Witness posts are set along the production of a boundary unless otherwise noted.
Some symbols and lines have been exaggerated for clarity.



To vary the minimum lot width requirements for a "Type I - Interior" lot under the R5 Zone from 9.7 metres to 9.5 metres for proposed Lot 2.

Datum: NAD83 (CSRS) UTM Zone 10 4.0.0.BC.1.MVRD
UTM Northing: 5,447,957,854
UTM Easting: 510,704,371
Estimated horizontal positional accuracy: 0.02 m

Cameron Land Surveying Ltd.
B.C. Land Surveyors
Unit 234 - 18525-53rd Avenue
Surrey, B.C. V3S 7A4
Phone: 604-597-3777
File: 8507-SUB

This plan lies within the jurisdiction of the Approving Officer for the City of Surrey
This plan lies within the Metro Vancouver Regional District

The field survey represented by this plan was completed on the 10th day of June, 2024.
Sean Costello, B.C.L.S. (900)

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0264-01

Issued To:

("the Owners")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 003-036-189

Lot 37 Section 17 Township 8 New Westminster District Plan 62186
6617 - 181 Street

Parcel Identifier: 003-036-197

Lot 38 Section 17 Township 8 New Westminster District Plan 62186
6618 - 180 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Section B.1 of Part 7A "Streamside Protection", the minimum distance (streamside setback area) from top of bank for a "Natural Class A Stream" is reduced from 30 metres to 20 metres;
 - (b) In Section B.1 of Part 7A "Streamside Protection", the minimum distance (streamside setback area) from top of bank for a "Natural Class B Stream" is reduced from 15 metres to 10 metres;
 - (c) In In sub-Section C.2 of Part 16 "Small Lot Residential Zone (R4)" the minimum lot depth of the R4 (Interior Type I) is reduced from 28 metres to 26.9 metres for proposed Lots 3 and 4;
 - (d) In sub-Section C.2 of Part 16 "Small Lot Residential Zone (R4)" the minimum lot depth of the R4 (Interior Type II) is reduced from 24 metres to 18.4 metres for proposed Lot 6;
 - (e) In sub-Section C.2 of Part 16 "Small Lot Residential Zone (R4)" the minimum lot depth of the R4 (Interior Type II) is reduced from 24 metres to 21 metres for proposed Lot 7;
 - (f) In sub-Section C.2 of Part 16 "Small Lot Residential Zone (R4)" the minimum lot depth of the R4 (Interior Type I) is reduced from 28 metres to 25.6 metres for proposed Lot 8;
 - (g) In sub-Section C.2 of Part 16 "Small Lot Residential Zone (R4)" the minimum lot width of the R4 (Corner Lot Type I) is reduced from 14 metres to 12 metres for proposed Lot 13; and
 - (h) In sub-section H.4(a) Off-Street Parking of Part 16 "Small Lot Residential Zone (R4)" a front access, side-by-side double garage shall be permitted on a lot less than 13.4 metres in width for proposed Lots 1, 3-5 and 8-12, and on a Type I corner lot for proposed Lot 13.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.

8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

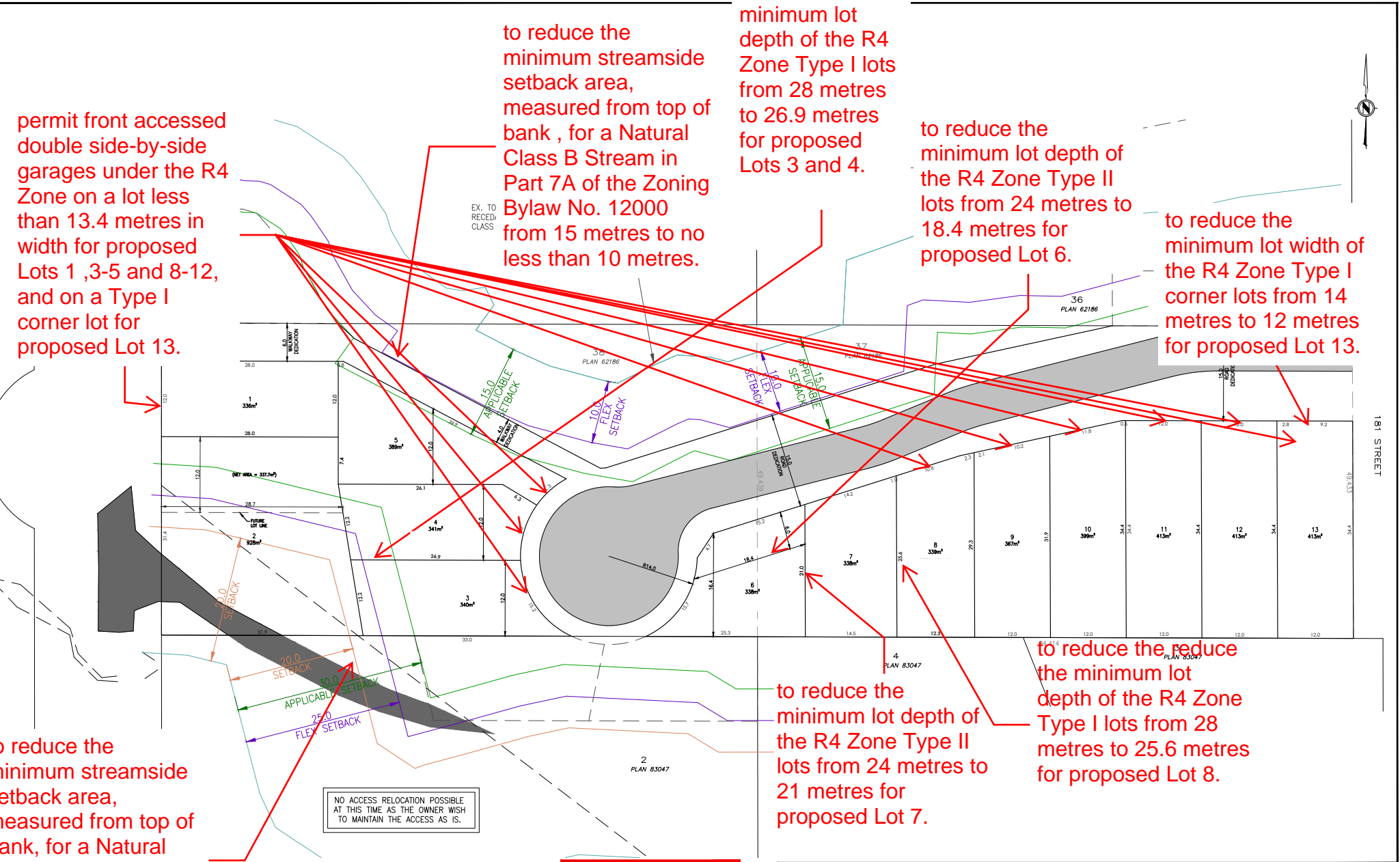
permit front accessed double side-by-side garages under the R4 Zone on a lot less than 13.4 metres in width for proposed Lots 1, 3-5 and 8-12, and on a Type I corner lot for proposed Lot 13.

to reduce the minimum streamside setback area, measured from top of bank, for a Natural Class B Stream in Part 7A of the Zoning Bylaw No. 12000 from 15 metres to no less than 10 metres.

to reduce the minimum lot depth of the R4 Zone Type I lots from 28 metres to 26.9 metres for proposed Lots 3 and 4.

to reduce the minimum lot depth of the R4 Zone Type II lots from 24 metres to 18.4 metres for proposed Lot 6.

to reduce the minimum lot width of the R4 Zone Type I corner lots from 14 metres to 12 metres for proposed Lot 13.



to reduce the minimum streamside setback area, measured from top of bank, for a Natural Class A Stream in Part 7A of the Zoning Bylaw No. 12000 from 30 metres to no less than 20 metres.

to reduce the minimum lot depth of the R4 Zone Type II lots from 24 metres to 21 metres for proposed Lot 7.

to reduce the minimum lot depth of the R4 Zone Type I lots from 28 metres to 25.6 metres for proposed Lot 8.

PRELIMINARY
FOR DISCUSSION PURPOSES
SUBJECT TO APPROVAL FROM GOVERNMENT
AGENCIES AND OTHER CONSULTANTS

Title: PROPOSED SUBDIVISION			
Address: 6618-180 STREET & 6617-181 STREET, SURREY			
Project No. 21-013	Date: OCTOBER 2022	Scale: 1:250	Dwg No. -



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0349-01

Issued To:

("the Owners")

Address of Owners:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-870-640

Lot 41 Section 15 Block 5 North Range 1 West New Westminster District Plan 40925

15694 - 112 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

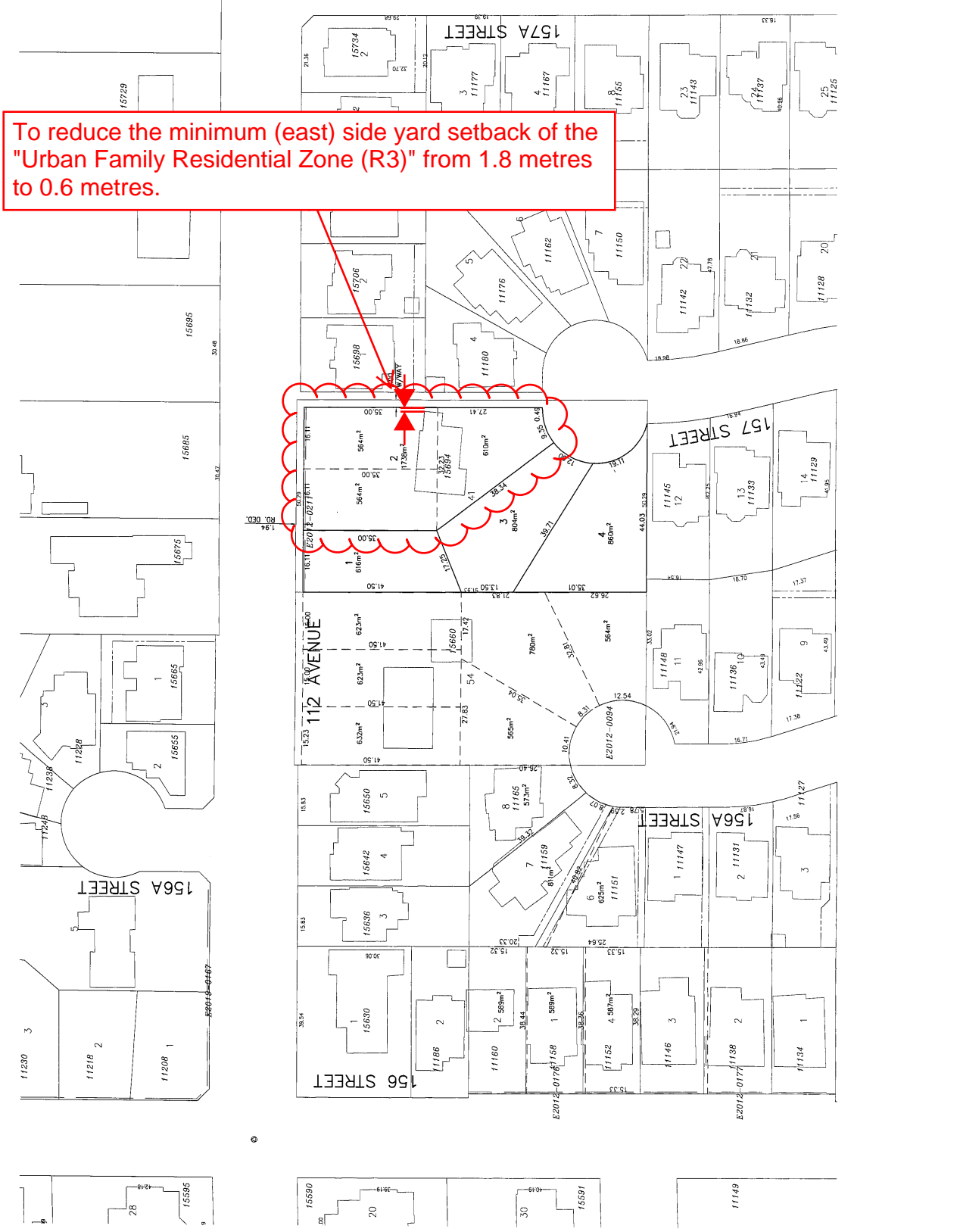
- (a) In Section F. Yards and Setbacks of Part 15 “Urban Residential Zone (R3)”, the minimum (east) side yard setback for a principal building is reduced from 1.8 metres to 0.6 metres.
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
 6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
 7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
 8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
 9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli



To reduce the minimum (east) side setback of the "Urban Family Residential Zone (R3)" from 1.8 metres to 0.6 metres.

Schedule A

- NOTES:**
1. ALL DIMENSIONS ARE APPROXIMATE ONLY BASED ON MASTER PLANS.
 2. LAYOUT IS PRELIMINARY AND SUBJECT TO APPROVALS AND SURVEY.
 3. EXISTING HOUSE TO BE REMOVED (LOCATION TO BE CONFIRMED).
 4. POOL TO BE REMOVED.
 5. DVP REQUIRED ON HOUSE ALONG THE EAST SIDE FRONT TO 0.60m

Scale:	1:1000	Mun. Proj. No.		Drawn:	LC	Dwg. #	
Drawn:	LC	Mun. Dwg. No.		Designed:	JK	Of	
Job No.	21-4336	Date	NOV/2021	Revised:			
1316784 BC LTD./1316784 BC LTD. 15694 - 112 AVENUE, SURREY, BC, V4L 1A6, PH: 604-807-9398, Email: ccs@omnion.com							
PRELIMINARY LOT LAYOUT SUBDIVISION AT 15694 - 112 AVENUE, SURREY, BC							
CitiWest Consulting Ltd. NO.101-9030 KING GEORGE BLVD., SURREY, BC, V3V 7Y3 TELEPHONE 604-591-2213 FAX 604-591-5518 E-MAIL: office@citiwest.com EIBC Permit to Practice #1001824							
No.	Date	Revision	Df.	Dr.	has drawing and design is the property of CITIWEST CONSULTING LTD. and cannot be used, re-used or reprinted without the written consent of said company.		

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0233-01

Issued To:

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 000-547-654

Lot 67 Section 24 Township 1 New Westminster District Plan 67389
16487 - 28 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once titles have been issued, as follows:

Parcel Identifier:

(b) If the civic addresses change, the City Clerk is directed to insert the new civic addresses for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

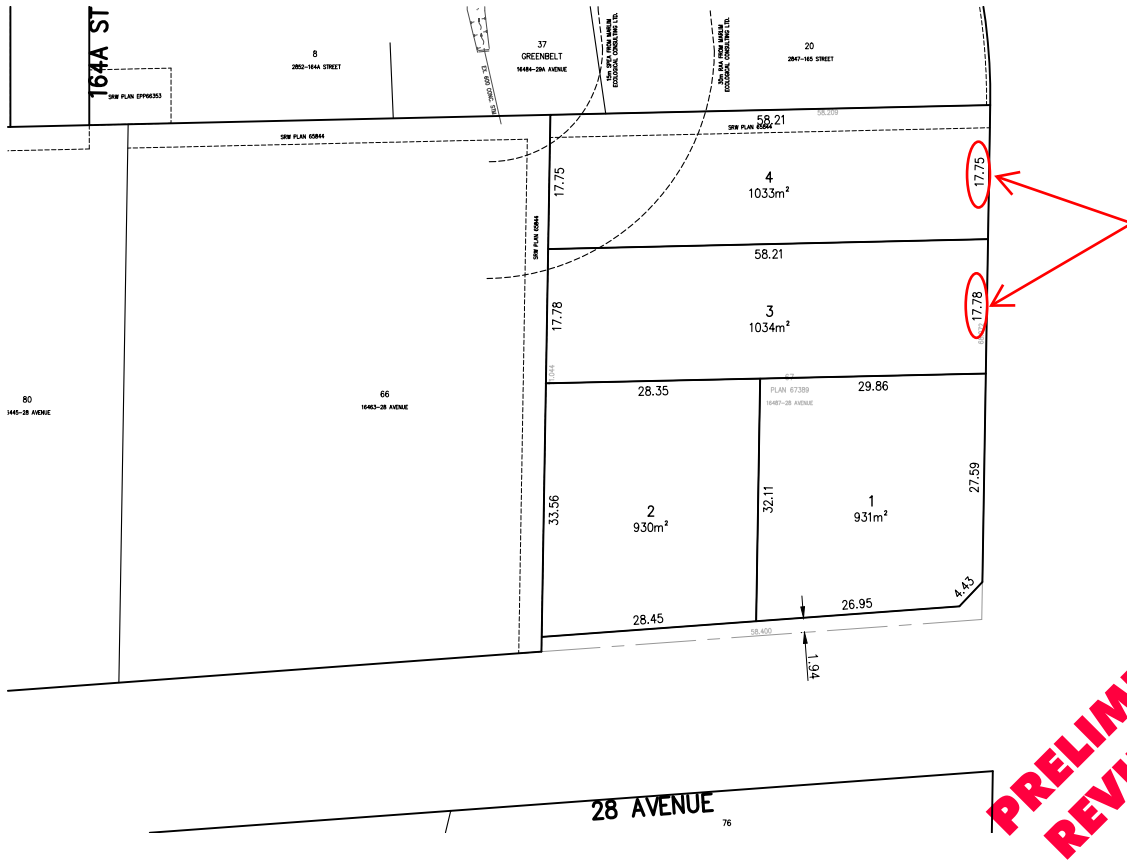
(a) In Section C. Subdivision of Part 14 "Quarter Acre Residential Zone (R2)", the minimum lot width is reduced from 24 metres to 17.7 metres for proposed Lots 3 and 4.

5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A, which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli



In Section C. Subdivision of Part 14 "Quarter Acre Residential Zone (R2)", the minimum lot width is reduced from 24 metres to 17.7 metres for proposed Lots 3 and 4.

PRELIMINARY SUBJECT TO REVIEW AND APPROVAL

G:\Projects\21098\plan\MO Drawings\Layouts\Lot Layout_11x17_8/20/2022_3:10PM

CLIENT:	PROJECT:	16487 28 AVENUE, SURREY		
DRAWING TITLE:	RESIDENTIAL SUBDIVISION			
PROJECT No.	DATE	LEGAL:	SCALE:	MUNICIPAL PROJECT No.:
21098	DEC 2021		1:500	
PRELIMINARY PLAN - SUBJECT TO APPROVAL(S) FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES				

Hub Engineering Inc.
 Engineering and Development Consultants
 Member PACIFIC LAND GROUP
 Suite 212, 12992 - 76 Avenue, Surrey, B.C. V3W 2V6
 tel: 604-572-4328 | fax: 604-501-1625 | mail@hub-inc.com | www.hub-inc.com

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0231-01

Issued To:

(“the Owner”)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 018-991-769

Lot 1 Section 31 Township 8 New Westminster District Plan LMP19397

17077 - 92 Avenue

Parcel Identifier: 018-991-777

Lot 2 Section 31 Township 8 New Westminster District Plan LMP19397

17121 - 92 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section C.2 of Part 16 “Small Lot Residential Zone (R4)” the minimum lot width for a Type II Interior Lot created through subdivision is reduced from 13.4 metres to 13.1 metres for proposed Lots 1, 13, and 16;
 - (b) In Section C.2 of Part 16 “Small Lot Residential Zone (R4)” the minimum lot width for a Type II Corner Lot created through subdivision is reduced from 15.4 metres to 15.2 metres for proposed Lots 2, 14, and 15; and
 - (c) In Section H.4 of Part 16 “Small Lot Residential Zone (R4)” a front access, side-by-side double garage shall be permitted on a lot less than 13.4 metres wide for proposed Lots 1, 3-13, and 16-27.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

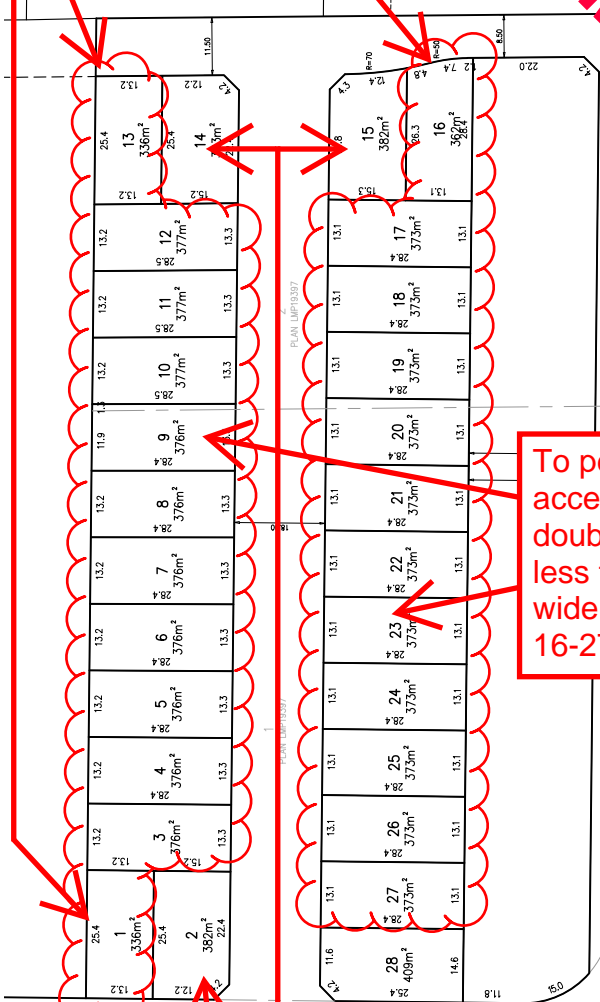
City Clerk and
Director Legislative Services
Jennifer Ficocelli

To reduce the minimum lot width for a Type II Interior Lot from 13.4-metres to 13.1-metres (Lots 1, 13, and 16).

To reduce the minimum lot width for a Type II Corner Lot from 15.4-metres to 15.2-metres (Lots 2, 14, and 15).

To permit a front access, side-by-side double garage on a lot less than 13.4-metres wide (Lots 1, 3-13, and 16-27).

**PRELIMINARY
SUBJECT TO REVIEW
AND APPROVAL**



Schedule A

Hub Engineering Inc.

Engineering and Development Consultants

EGBC Permit to Practice Number: 1030404

Suite 212, 12992, 76 Avenue, Surrey, B.C. V3V 2V6

tel. 604-572-4328 | fax. 604-501-1625 | mail@hub-inc.com | www.hub-inc.com

SCALE: 1:750

MUNICIPAL PROJECT NO.

PROJECT: 17077 & 17121 92 AVE

DRAWING TITLE: RESIDENTIAL SUBDIVISION

PROJECT NO. 22037

DATE: APR 2023

LEGAL:

PRELIMINARY PLAN - SUBJECT TO APPROVAL FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES

BOTHWELL DR

92 AVE

Table of Original and Replacement DVPs in compliance with SSMUH Zoning By-law Amendments without Rezoning

DEVELOPMENT APPLICATION AND PLANNING REPORT	ORIGINAL DVP ZONE	ORIGINAL DVP	CURRENT DVP ZONE	REPLACEMENT DVP (NEW SSMUH ZONE)
<u>18-0373</u>	RF	7918-0373-00	R3	7918-0373-02 (See Attachment I)
<u>19-0154</u>	RH	7919-0154-00	R1	7919-0154-02 (See Attachment J)
<u>24-0139</u>	RF	7924-0139-00	R3	7924-0139-01 (See Attachment K)
<u>24-0149</u>	RF	7924-0149-00	R3	7924-0149-01 (See Attachment L)

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7918-0373-02

Issued To:

(the "Owner")

Address of Owner:

This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 031-696-244
Lot 1 Section 8 Township 1 New Westminster District Plan EPP116328
13048 - 13 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section G.1 Height of Buildings and Structures of Part 15 "Urban Residential Zone (R3)", the maximum building height for of any portion of a single family dwelling with a roof slope of less than 1:4 is increased from 7.3 metres to 11.5 metres;
 - (b) In the table in Section B.2 of Part 7A "Streamside Protection", the minimum distance from top of bank for a "Natural Class B Stream" (yellow-coded) is reduced from 15.0 metres, as measured from top-of-bank, to a minimum of 31 metres from the high water mark (equivalent to a maximum of approximately 26 metres below top-of-bank).
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A and Schedule B which are attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A or Schedule B which is attached hereto and forms part of this development variance permit.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

SCHEDULE A



CHRISTOPHE VAISSEAU
BUILDING DESIGNER
17 604 844 0677
E. chr@christopheva.ca
WWW.CVDESIGNS.CA

13048 13TH AVE

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REV	DATE	REMARKS
1	NOV 21, 2022	DESIGN FOR PERMIT
2	MAY 12, 2023	PERMIT RECEIVED
3	JAN 12, 2023	PERMIT RECEIVED
4	OCT 12, 2023	PERMIT RECEIVED

CLIENT :	DATE :
PROJECT :	SCALE :
CONTENT :	PROJECT No. :
	SHEET No. :
	REVISION :

DATE :	OCT 2022
SCALE :	1/16" = 1'-0"
PROJECT No. :	
SHEET No. :	A 1.1
REVISION :	

GENERAL NOTES

- THESE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE B.C. BUILDING CODE 2018.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND WILL BE RESPONSIBLE FOR SAME.
- ALL WORK SHALL CONFORM TO THE B.C. BUILDING CODE (2018) AND ALL LOCAL MUNICIPAL CODES AND BY-LAWS.
- CONTRACTOR OR BUILDER TO VERIFY ROUGH OPENINGS OF ALL DOORS, WINDOWS, FITTINGS, APPLIANCES, AND BUILT-IN EQUIPMENT PRIOR TO CONSTRUCTION.
- SLOPE FINISHED GRADE AWAY FROM THE BUILDING MINIMUM 1/4" 1'-0" TO PROVIDE ADEQUATE DRAINAGE.
- CONCRETE STRENGTH SHALL CONFORM TO 9.3.1.1 B.C. BUILDING CODE 2018.
- ARCHITECTURAL CONCRETE TO BE WELL VENTILATED, CLEAR OF ANY FIREHOLE AND TO HAVE A SMOOTH THEN TEXTURED FINISH.
- CONCRETE SLABS TO BE SEALED IN ACCORDANCE WITH SUBSECTION 9.13.4.7 OF THE B.C. BUILDING CODE (2018 EDITION).
- ROOF TRUSS MANUFACTURERS TO PROVIDE SHOP DRAWINGS SEALED BY A REGISTERED PROFESSIONAL ENGINEER PRIOR TO INSTALLATION.
- ROOF VENTING SHALL BE 1/300 OF INSULATED CEILING SPACE. VENTS SHALL BE UNIFORMLY DISTRIBUTED.
- WALL PLATES SHALL BE #2 OR BETTER KD SPRUCE. ALL BUI BEAMS SHALL BE #2 OR BETTER KD SPRUCE. STUDS SHALL CONFORM TO RESIDENTIAL STANDARDS OF THE CURRENT B.C.D.C. CONFIRM WITH STRUCTURAL ENGINEER.
- FRAMING TO BE ANCHORED WITH 1/2" DIA. ANCHOR BOLTS @ 4'-0" O.C. MAXIMUM OR ANCHOR STRAPS @ 4'-0" O.C. POSTS TO BE ANCHORED WITH METAL POST ANCHORS. CONFIRM WITH STRUCTURAL ENGINEER.
- DIMENSIONS SHOWN TO THE OUTSIDE OF BUILDING FACE ARE TO THE OUTSIDE FACE OF WALL SHEATHING.
- DOUBLE FLOOR JOISTS UNDER ALL PARALLEL PARTITIONS. PLACE JOISTS TO SUIT PLUMBING, HEATING, ETC.
- UNTELS TO BE 2 - 2" X 1-0" WITH DOUBLE PLATE ON TOP UNLESS NOTED OTHERWISE.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE DAMP PROOFED WITH 50# BUILDING FELT.
- PASTE IN ALL GYPSUM WALL BOARD (G.W.B.) IN CONFORMANCE WITH SUB SECTION 9.29.5.5 OF THE B.C. BUILDING CODE (2018 EDITION).
- 9.29.5.5 (1) - B.C.D.C. 2018 - FOR SINGLE-LAYER GYPSUM BOARD APPLICATION, NAILS SHALL BE SPACED NOT MORE THAN 180 mm O.C. ON CEILING SUPPORTS AND NOT MORE THAN 200 mm APART ALONG VERTICAL WALL SUPPORTS. EXCEPT THAT NAILS MAY BE SPACED IN PAIRS ABOUT 50 mm APART EVERY 300 mm ALONG SUCH WALL OR CEILING SUPPORTS.
- 9.29.5.5 (2) - B.C.D.C. 2018 - WHERE SINGLE-LAYER GYPSUM BOARD IS APPLIED WITH DRYWALL SCREWS, THE SCREWS SHALL BE SPACED NOT MORE THAN 300 mm O.C. ALONG SUPPORTS, EXCEPT ON VERTICAL SURFACES THE SCREWS MAY BE SPACED NOT MORE THAN 400 mm O.C. WHERE THE SUPPORTS ARE NOT MORE THAN 400 mm O.C.
- PRE-FAB. GAS FIREPLACE INSTALLED TO MANUFACTURER'S SPECIFICATIONS AND TO THE REQUIREMENTS OF THE CANADIAN GAS ASSOCIATION. INSTALL NON-COMBUSTIBLE HEARTH TO MEET THE REQUIREMENTS OF SUBSECTION 9.22.5 OF THE B.C. BUILDING CODE (2018 EDITION). FINISH MATERIALS AS PER OWNER'S SPECIFICATIONS.
- PROVIDE ATTIC ACCESS HATCHES AS PER ARTICLE 9.13.2 OF THE B.C. BUILDING CODE (2018 EDITION). ALL HATCHES TO BE MINIMUM 21.5" X 23.25" (545 mm X 590 mm)
- ELECTRICAL, PLUMBING AND VENTILATION MUST COMPLY WITH ALL RELEVANT CODES AND REGULATIONS IN ALL RESPECTS.
- EVERY EFFORT HAS BEEN MADE TO CAREFULLY PREPARE THESE DRAWINGS AND AVOID MISTAKES. HOWEVER, THE POSSIBILITY OF HUMAN ERROR DOES EXIST AND THEREFORE THE BUILDING CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, MATERIALS AND CONDITIONS SHOWN ON THE STRUCTURAL NOTES AND FLOOR PLANS AND ASSUME RESPONSIBILITY FOR ALL BY USING THE PLANS HE ACCEPTS THAT RESPONSIBILITY.
- THE SCOPE OF THIS HOME DESIGN DOES NOT ALLOW FOR SITE CONDITIONS WHICH MAY AFFECT THE STRUCTURE. THE CONTRACTOR AND/OR OWNER ENGAGE THE SERVICES OF A PROFESSIONAL STRUCTURAL ENGINEER TO FULLY ASSES THE ABILITY OF THE STRUCTURE TO HANDLE ALL THE LOADS TO WHICH IT MAY COME IN CONTACT WITH. THE DESIGNER HAS NEITHER THE LEGAL ABILITY OR THE RESPONSIBILITY TO COUNSEL THE OWNER IN THIS REGARD.

SITE INFO

LEGAL DESCRIPTION
PLAN OF LOT 1, SECTION 8, TOWNSHIP 11, N.W.D. PLAN BCF 42201 ZONE R2

CIVIC ADDRESS
13048 13 AVENUE
SURREY, B.C.

SITE AREA
16,022 S.F.

SITE COVERAGE
ALLOWABLE: 23% (3,687 S.F.)
PROPOSED: 21% (3,372 S.F.)

FLOOR AREA RATIO
ALLOWABLE: 5,000 S.F.
PROPOSED: 4,956 S.F.

FLOOR AREA
4TH LEVEL: 660 S.F.
ATTACHED GARAGE: 467 S.F.
3RD LEVEL: 1,562 S.F.
2ND LEVEL: 1,749 S.F.
BASEMENT LEVEL AREA OVER: 299 S.F.
COVERED AREA OVER: 179 S.F.
TOTAL AREA: 4,956 S.F.

TOTAL BASEMENT FLOOR AREA: 2,048 S.F.

COVERED PATIO/BALCONY
ALLOWABLE: (5,000 S.F. * 10%) = 500.0 S.F.
PROPOSED: 679.0 S.F.

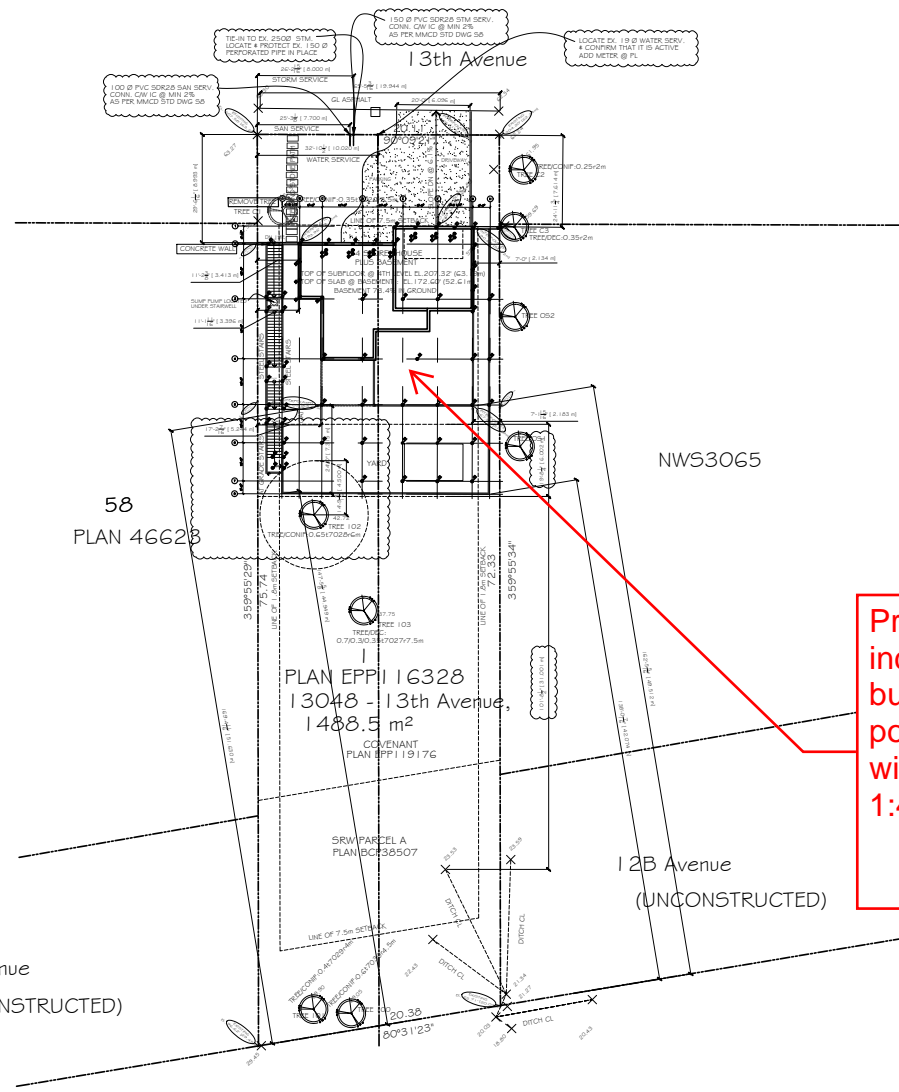
FRONT PORCH RESERVED: 160.0 S.F.
COVERED PATIO: 519.0 S.F.

TOTAL AREA: 679.0 S.F.

BUILDING HEIGHT
ALLOWABLE: 23.95' (7.3 m)
PROPOSED: 37.84' (11.53 m)

AVERAGE GRADE CALCULATION @ HOUSE
193.92 + 190.68 + 175.89 + 147.92 = EL. 182.12 (55.51 m)

Proposed variance to increase the maximum building height for any portion of a principal building with a roof slope less than 1:4 from 7.3 m to 11.5 m

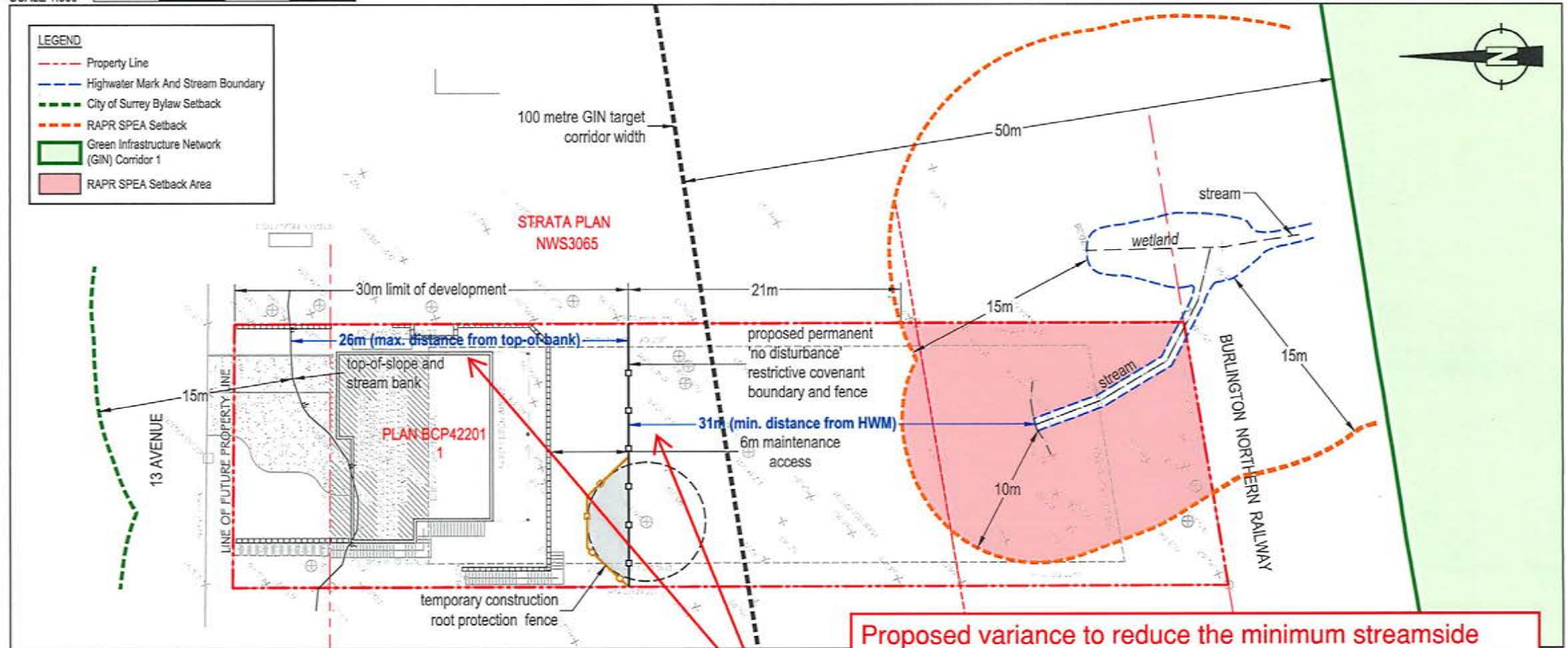


BURLINGTON NORTHERN RAILWAY
PART (6.19 ACRES)
SRW PLAN 10769

Schedule B

PLAN
SCALE 1:300

- LEGEND**
- - - Property Line
 - - - Highwater Mark And Stream Boundary
 - - - City of Surrey Bylaw Setback
 - - - RAPR SPEA Setback
 - Green Infrastructure Network (GIN) Corridor 1
 - RAPR SPEA Setback Area



Proposed variance to reduce the minimum streamside setback from a Natural Class B Stream on a lot of record from 15 metres, as measured from top-of-bank, to a minimum of 31 metres from the high water mark (equivalent to 26 metres below the top-of-bank).

LOCATION
SCALE 1:5000



- REFERENCE DRAWINGS**
1. Email: A11-13048-13th Ave May 5-20.dwg, Received May 11, 2020; Lorne Ebenal.
 2. File No. 201606. "B.C. Land Surveyors Plan Showing Location of Trees and Spot Elevations on Lot 1, Section 8, Township 1, NWD Plan BCP42201". February 08, 2016. John Bresnick and Associates.
 3. 2019 Legal Base from City of Surrey.

MR. HUNDAL

13048 13 AVENUE
Surrey, BC

enviowest
www.enviowest.ca

e enviowest consultants inc.
Suite 101 - 1515 Broadway Street
Port Coquitlam, British Columbia
Canada V3C 6M2

office: 604-944-0502
facsimile: 604-944-0507
saper-velone@enviowest.ca

SETBACKS				
DESIGN RWS	DRAWN CEV	CHECKED RWS	REVISION 08	REVISION DATE June 22, 2020
SCALE As Shown			DRAWING NUMBER 2195-01-02	
DATE January 18, 2018				

DATE: 2020-06-22 - 1:40pm
LAYOUT: 2195-01-02
FILE: \\enviowest\Projects\2020\Surrey\White Rock\2195-01\enviowest\2195-01-02\08-Setbacks.dwg

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7919-0154-02

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-136-863
Lot 3 Section 19 Township 1 New Westminster District Plan 5456

12711 Beckett Road

(the "Land")
3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F.1 of Part 13, Suburban Residential Zone (R1) – to reduce the minimum front yard setback of an Accessory Building from 18.0 metres to 15.9 metres; and
 - (b) In Section G.1 of Part 13, Suburban Residential Zone (R1) – to increase the maximum Accessory Building height from 4.0 metres to 4.6 metres.
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

Schedule A

NO SMOKING IN BUILDING OR ON PROPERTY AT ANY TIME.



General Notes

BENCHMARK: MONUMENT #5492
 CRESCENT ROAD & BECKETT ROAD
 GEODETIC ELEV. 26.711m(CVD28GVRD)

ALL GROUND ELEVATIONS ARE IN METRIC. ALL OTHER DIMENSIONS ARE IMPERIAL.

ALL WORKS SHALL COMPLY WITH LATEST VERSION OF BRITISH COLUMBIA BUILDING CODE.

ANY DETAILS OR SPECIFICATIONS NOT NOTED ON DRAWINGS OR NOT PROVIDED BY B.C. BUILDING CODE SHALL COMPLY WITH CMHC CANADIAN WOOD FRAME HOUSE CONSTRUCTION MANUAL.

ALL DIMENSIONS TO BE TAKEN FROM EAST AND SOUTH PROPERTY LINES ONLY.

NO SUBSTITUTION WITHOUT WRITTEN APPROVAL FROM OWNER

PRIOR TO START OF ANY CONSTRUCTION, CONTRACTOR SHALL MEET WITH OWNER TO REVIEW ALL DRAWINGS, DETAILS AND SCOPE OF WORK.

ALL MATERIALS DELIVERED TO SITE SHALL BE PLACED ON DRY LEVEL SURFACE AND PROTECTED FROM THE WEATHER (SUN, RAIN, SNOW, ETC.).

THE SITE AND BUILDING SHALL BE SECURED AT ALL TIMES.

THE SITE AND BUILDING SHALL BE MAINTAINED CLEAN AND FREE OF DEBRIS, GARBAGE, ETC. AT ALL TIMES.

ALL WORKS SHALL BE INSTALLED WITH STRING/CHALK LINE OR LASER AND CONFIRMED BY SURVEY TO CONFIRM ALL WORKS ARE ALL INSTALLED STRAIGHT AND LEVEL.

NO SMOKING IN BUILDING OR ON PROPERTY AT ANY TIME.

REFER TO DRAWING G-1 FOR ADDITIONAL GENERAL NOTES & SPECIFICATIONS.

No.	Revision/Issue	Date

Drawing Title

OVERALL SITE PLAN

Project Name and Address

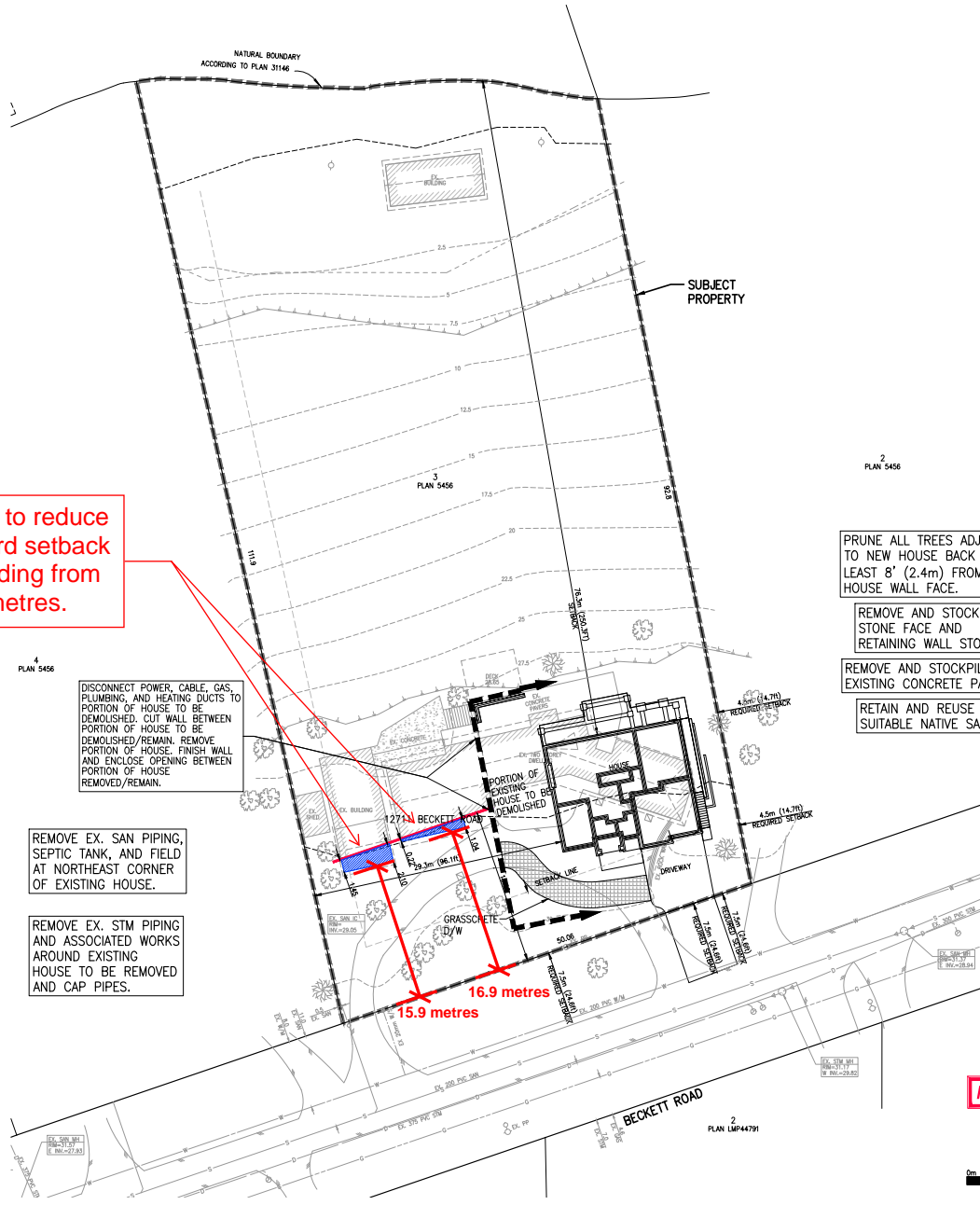
FAMILY RESIDENCE
 12711 BECKETT ROAD
 SURREY, B.C.

P.I.D.: 011-136-863
 LOT 3, SEC 19, Tp1,
 PL NWP 5456, NWD

Project 2017-150 Sheet

Date MAR 2018 A-1

Scale 1:250



Section F.1, Part 13 - to reduce the minimum front yard setback for an Accessory Building from 18.0 metres to 15.9 metres.

PRUNE ALL TREES ADJACENT TO NEW HOUSE BACK TO AT LEAST 8' (2.4m) FROM NEW HOUSE WALL FACE.

REMOVE AND STOCKPILE STONE FACE AND RETAINING WALL STONE.

REMOVE AND STOCKPILE EXISTING CONCRETE PAVERS.

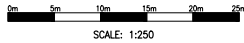
RETAIN AND REUSE ALL SUITABLE NATIVE SAND.

DISCONNECT POWER, CABLE, GAS, PLUMBING, AND HEATING DUCTS TO PORTION OF HOUSE TO BE DEMOLISHED. CUT WALL BETWEEN PORTION OF HOUSE TO BE DEMOLISHED/REMAIN. REMOVE PORTION OF HOUSE. FINISH WALL AND ENCLOSE OPENING BETWEEN PORTION OF HOUSE REMOVED/REMAIN.

REMOVE EX. SAN PIPING, SEPTIC TANK, AND FIELD AT NORTHEAST CORNER OF EXISTING HOUSE.

REMOVE EX. STM PIPING AND ASSOCIATED WORKS AROUND EXISTING HOUSE TO BE REMOVED AND CAP PIPES.

NOT FOR CONSTRUCTION

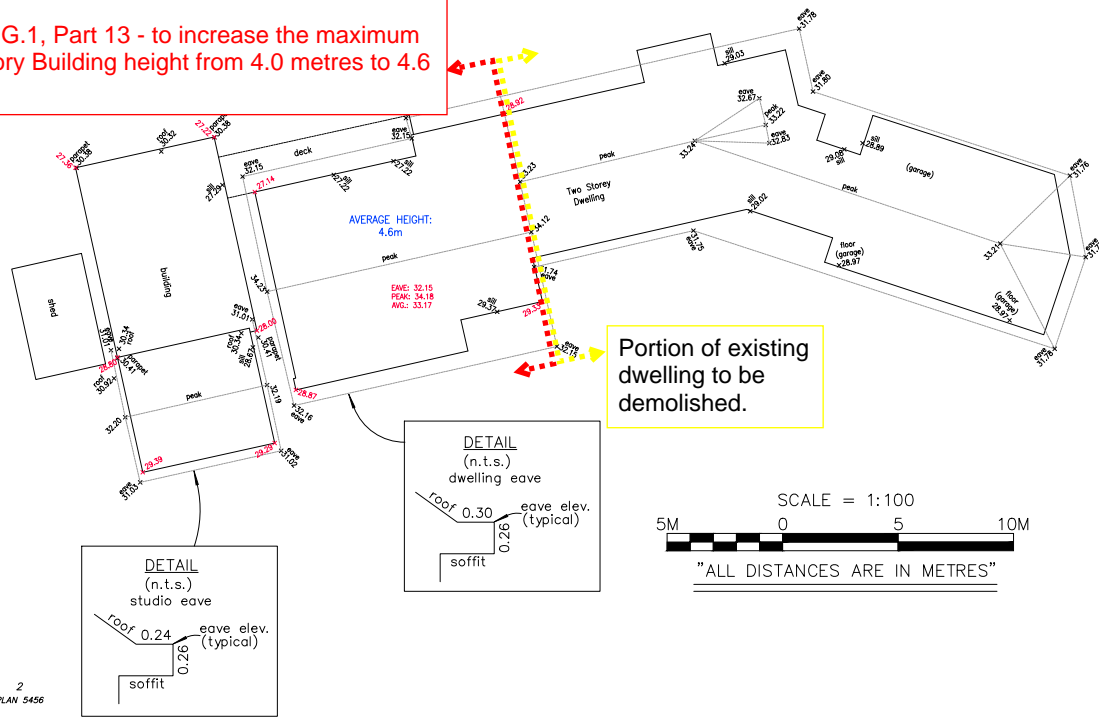


SCALE = 1:200
 ALL DISTANCES ARE IN METRES

Portion of existing dwelling to be retained and varied as follows:

Section G.1, Part 13 - to increase the maximum Accessory Building height from 4.0 metres to 4.6 metres.

DETAIL



NO SMOKING IN BUILDING OR ON PROPERTY AT ANY TIME.

General Notes

BENCHMARK: MONUMENT #5492
 CRESCENT ROAD & BECKETT ROAD
 GEODETIC ELEV. 26.711m(CVD286VRD)

ALL GROUND ELEVATIONS ARE IN METRIC, ALL OTHER DIMENSIONS ARE IMPERIAL.

ALL WORKS SHALL COMPLY WITH LATEST VERSION OF BRITISH COLUMBIA BUILDING CODE.

ANY DETAILS OR SPECIFICATIONS NOT NOTED ON DRAWINGS OR NOT PROVIDED BY B.C. BUILDING CODE SHALL COMPLY WITH CMHC CANADIAN WOOD FRAME HOUSE CONSTRUCTION MANUAL.

ALL DIMENSIONS TO BE TAKEN FROM EAST AND SOUTH PROPERTY LINES ONLY.

NO SUBSTITUTION WITHOUT WRITTEN APPROVAL FROM OWNER

PRIOR TO START OF ANY CONSTRUCTION, CONTRACTOR SHALL MEET WITH OWNER TO REVIEW ALL DRAWINGS, DETAILS AND SCOPE OF WORK.

ALL MATERIALS DELIVERED TO SITE SHALL BE PLACED ON DRY LEVEL SURFACE AND PROTECTED FROM THE WEATHER (SUN, RAIN, SNOW, ETC.).

THE SITE AND BUILDING SHALL BE SECURED AT ALL TIMES.

THE SITE AND BUILDING SHALL BE MAINTAINED CLEAN AND FREE OF DEBRIS, GARBAGE, ETC. AT ALL TIMES.

ALL WORKS SHALL BE INSTALLED WITH STRING/CHALK LINE OR LASER AND CONFIRMED BY SURVEY TO CONFIRM ALL WORKS ARE ALL INSTALLED STRAIGHT AND LEVEL.

NO SMOKING IN BUILDING OR ON PROPERTY AT ANY TIME.

REFER TO DRAWING G-1 FOR ADDITIONAL GENERAL NOTES & SPECIFICATIONS.

No.	Revision/Issue	Date

DRAWING TITLE

EXISTING SITE ELEVATIONS

Project Name and Address

FAMILY RESIDENCE
 12711 BECKETT ROAD
 SURREY, B.C.

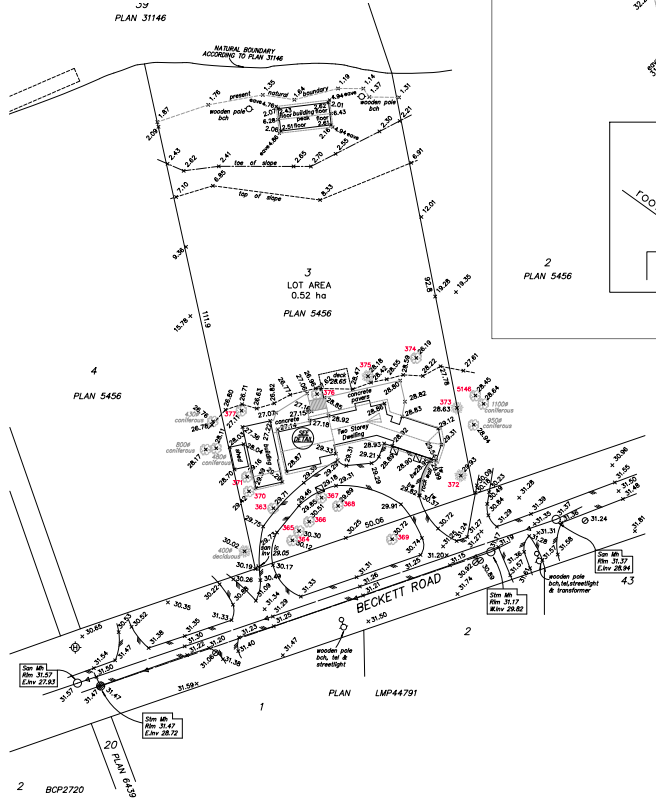
P.I.D.: 011-136-863
 LOT 3, SEC 19, Tp1,
 PL NWP 5456, NWD

Project 2017-150 Sheet

Date MAR 2018 DM-1

Scale 1:250

NOT FOR CONSTRUCTION



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7924-0139-01

Issued To:

(the Owner)

Address of Owner:

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 019-194-030
LOT 4 SECTION 12 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN LMP22125
838 164 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - o to reduce the minimum lot depth of the "Urban Residential Zone (R3)" from 28 metres to 24.2 metres for Proposed lots 1 and 2.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

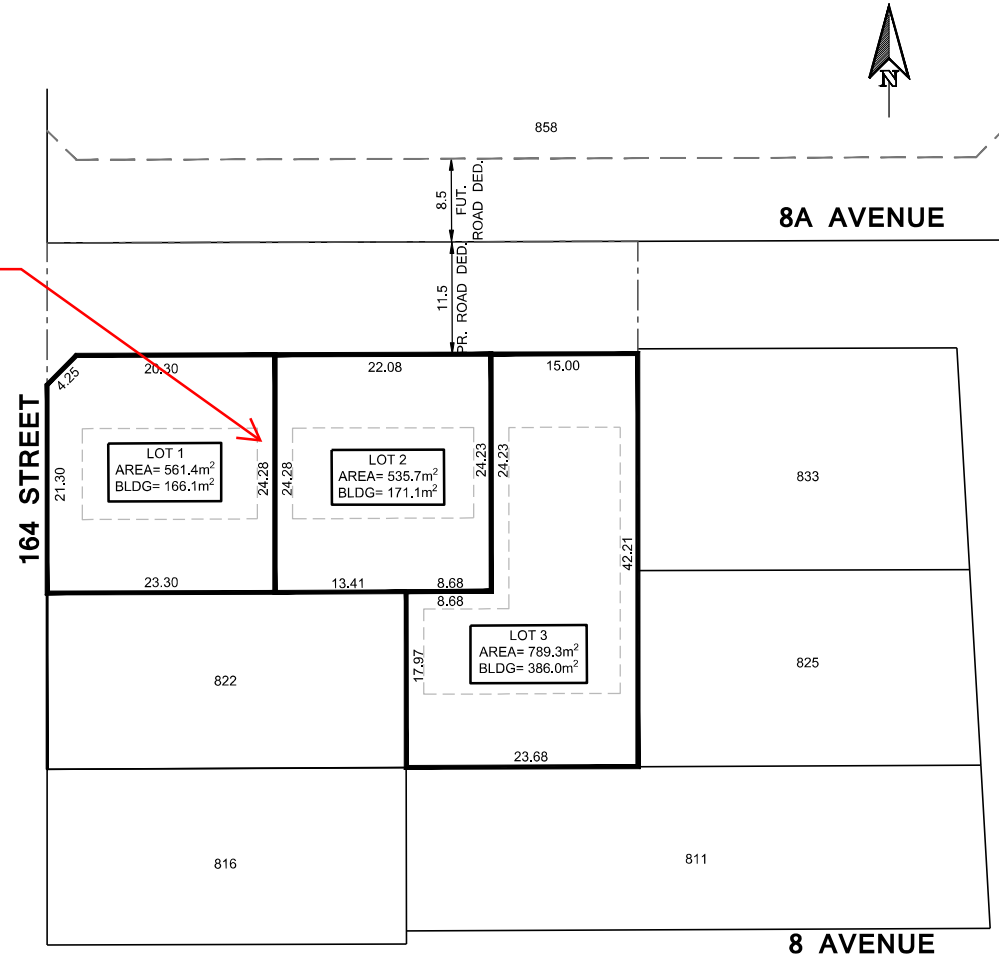
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

to reduce the minimum lot depth of the "Urban Residential Zone (R3)" from 28 metres to 24.2 metres for Proposed lots 1 and 2.



PLAN
SCALE: 1:500

BENCHMARK	ELEVATIONS ARE DERIVED FROM CITY OF SURREY CONTROL MONUMENT No. 5760 ELEVATION = 36.213m DATUM CVD28GVRD2005. LOT DIMENSIONS AND CLEARANCES ACCORDING TO FIELD SURVEY			<p>TERRA NOBIS CONSULTING INC. #203 - 15585 24 Avenue, Surrey, V4A 2J4 PHONE: 604.946.3007 EMAIL: INFO@TERRANOBIS.COM PERMIT TO PRACTICE #: 1000490</p>	<p>CLIENT</p>	<p>PROJECT</p> <p>21063 7817-0523-00</p>	<p>SEAL</p>	<p>CITY OF SURREY</p>
	No.	DATE	REVISIONS / SUBMISSIONS					
LEGAL	LOT 4 SECTION 12 TOWNSHIP 1 PLAN LMP22125 NWD			<p>ENGINEER</p>	<p>CLIENT</p>	<p>PROJECT</p>	<p>SEAL</p>	<p>CITY OF SURREY</p>
	LOT 1 SECTION 12 TOWNSHIP 1 PLAN NWP88144 NWD							
<p>26 APR 2024 ALTERNATIVE SUBDIVISION LAYOUT (822 164ST REMOVED)</p>				<p>TEL: 604-716-8400 EMAIL: KANWALGHUMAN@HOTMAIL.COM</p>		<p>21063 7817-0523-00</p>		<p>NEW SUBDIVISION LAYOUT</p>
<p>HOR. SCALE</p>		<p>DRAWING NUMBER</p>		<p>1 OF 1</p>		<p>SURREY PROJECT NUMBER</p>		
<p>SURREY DRAWING NUMBER</p>		<p>DESTROY ALL PRINTS BEARING PREVIOUS REVISION NUMBER</p>		<p>SITE ADDRESS</p>		<p>838 164 STREET, SURREY</p>		

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7924-0149-01

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 001-337-718
LOT 267 SECTION 28 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 62527
8081 138A Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - to vary the definition of finished grade in Part 1 Definitions of Zoning Bylaw 12000, as amended, to “the lowest ground elevation existing prior to construction, as established on a legal survey by a registered British Columbia Land Surveyor, such ground elevation to include fill materials place on the lot to raise the ground elevation up to, but not above, the average elevation of adjacent lots at the adjoining lot lines” based on the topographic survey dated February 15, 2022; and
 - to vary the rear yard setback of the “Urban Residential Zone (R3)” from 7.5 metres to 4.4 metres as measured to the rear yard deck and 6.2 metres as measured to the garage.
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

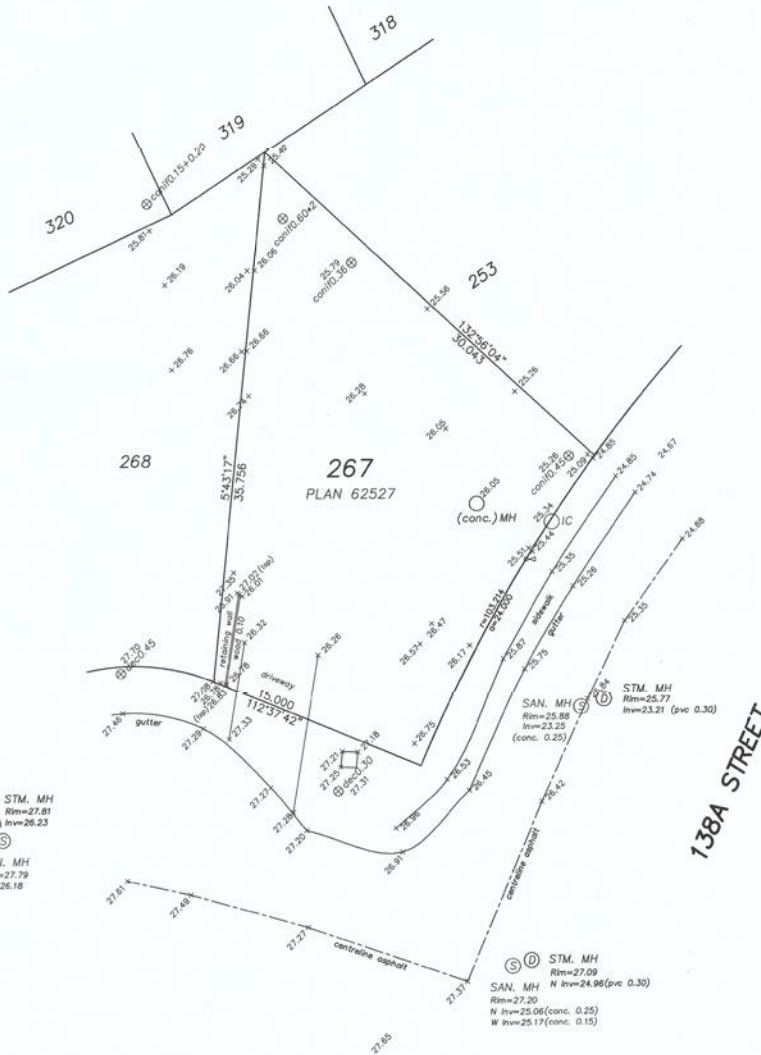
City Clerk and
Director Legislative Services
Jennifer Ficocelli

BRITISH COLUMBIA LAND SURVEYOR'S CERTIFICATE SHOWING EXISTING ELEVATIONS AND TREES ON LOT 267 SECTION 28 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 62527

Schedule A

Current Civic Address:
8081 138A Street
Surrey, B.C.
PID: 001-337-718
SCALE : 1:250

to vary the definition of finished grade in Part 1 Definitions of Zoning Bylaw 12000, as amended, to "the lowest ground elevation existing prior to construction, as established on a legal survey by a registered British Columbia Land Surveyor, such ground elevation to include fill materials place on the lot to raise the ground elevation up to, but not above, the average elevation of adjacent lots at the adjoining lot lines" based on the topographic survey dated February 15, 2022



- LEGEND
- ...denotes bc hydro
 - IC ○ ...denotes inspection chamber
 - MH ○ ...denotes manhole
 - SAN. MH ⊙ ...denotes sanitary manhole
 - STM. MH ⊕ ...denotes storm manhole
 - WM ⊖ ...denotes water meter
 - ⊗ ...denotes tree
 - ⊕ X ...denotes spot elevation

SAN. MH ⊙ STM. MH
Rim=23.74 Rim=23.71

GENERAL NOTES:

- All dimensions are in metres.
- This plan is NOT to be used for location of property lines.
- Elevations are based on City of Surrey Geodetic datum, monument 5219 elev.= 21.718m (CVD28GVRD 2018).
- On the subject lot, only trees with a diameter of at least 0.20m are shown
- This plan does not show non-plan charges, liens or interests.
- property dimensions are derived from Land Title Office records

© COPYRIGHT
DHALIWAL AND ASSOCIATES
LAND SURVEYING INC.
#216 12899-76th Avenue
Surrey, B.C. V3W 1E6
phone: (604) 501-6188
email: info@dhalawalssurvey.com
File: 2201120-103
Drawn by: GK

- This plan was prepared for design purposes and is for the exclusive use of our client. DHALIWAL AND ASSOCIATES LAND SURVEYING inc. and the signatory accept no responsibility for and hereby disclaim all obligations and liabilities for damages caused by the direct or indirect use or reliance upon the Plan beyond its intended use.

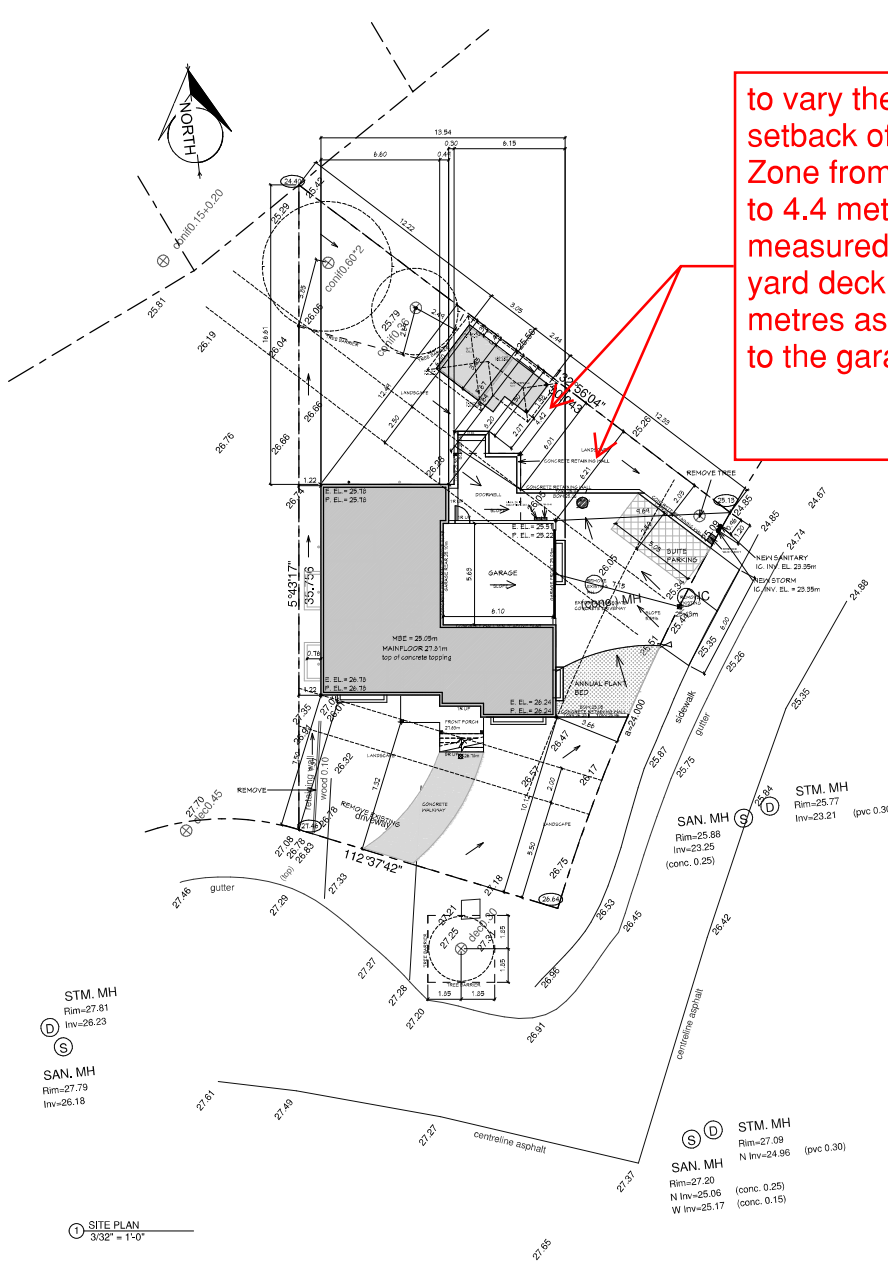
REVISED:
15th DAY OF FEBRUARY 2022.
DATE OF SURVEY:
25th DAY OF JANUARY 2022.

BRITISH COLUMBIA LAND SURVEYOR
Mark J. Dailey
B.C.L.S. #67

Schedule A

GENERAL NOTES:

- THE DESIGNER MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS AND/OR OMISSIONS WHICH MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION. SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS, IT IS INCUMBENT ON YOU TO ADVISE OUR OFFICE AS SOON AS POSSIBLE. BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS IF NECESSARY. IN THIS WAY WE CAN BETTER SERVE YOU AND PREVENT DISPUTES FROM OCCURRING.
- ALL FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOILS AND BELOW THE FROST LINE. FOUNDATIONS WALL HEIGHTS AND THICKNESSES AS WELL AS FOOTING SEES MAY NEED TO BE ADJUSTED AND/OR REINFORCED DUE TO SITE CONDITIONS. ANY ENGINEERING SERVICES REQUIRED ARE THE RESPONSIBILITIES OF THE OWNER OR BUILDER.
- APPROVED SMOKE ALARMS AND PHOTO ELECTRIC TO BE INSTALLED AS PER BCBC CODE.
- BUILDER TO CHECK SLOWS LOAD REQUIREMENTS FOR THEIR LOCAL AREA AND MAKE ANY NECESSARY ADJUSTMENTS PRIOR TO PROCEEDINGS WITH CONSTRUCTION.
- CARBON MONOXIDE ALARMS SHALL CONFORM TO CSA 6.19, "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES".
- DAMP-PROOFING OF 6 MIL POLYETHYLENE WITH SEAMS LAPPED AND TAPED, OVER A 4" OF GRANULAR FILL SHALL BE LAD UNDER CONCRETE SLABS. A FLEXIBLE SEALANT SHALL BE PLACED WHERE THE SLAB AND FOUNDATION WALL MEET.
- DIMENSIONS TAKE PRECEDENCE TO SCALE.
- DRAINAGE AROUND FOUNDATION TO CONSISTING OF 4" DIAMETER PIPED COVERED WITH A MINIMUM OF 6" CRUSHED STONE SHALL BE PLACED AROUND THE PERIMETER OF THE BUILDING.
- ENSURE THAT WINDOWS IN BEDROOMS HAVE A MINIMUM AREA OF .35m² (3.75FT²) WITH AN UNOBSTRUCTED HEIGHT AND WIDTH OF 300mm (15"). THE WINDOW OPENING SHALL BE A MAXIMUM OF 1.5m (5') ABOVE THE FLOOR.
- EXTERIOR DIMENSIONS ARE TO THE FACE OF SHEATHING.
- EXTERIOR WALLS ARE DRAWN AT 5" STUDS AND 1/2" PLYWOOD OR OSB SHEATHING OR AS STRUCTURAL ENGINEER SPECS.
- FOUNDATION WALLS TO HAVE 1 1/2" R-12 RIGID INSULATION TO MIN. 24" BELOW GRADE. ATTIC SPACES TO HAVE MIN. R-40 ROOF JOISTS AND CANTILEVERED FLOORS MIN. R-28. EXTERIOR 2X6 WALLS MIN. R-22. INTERIOR BASEMENT 2X4 WALLS MIN. R-14 IF REQUIRED.
- LIGHTING AND ELECTRICAL LOADS TO BE SPECIFIED BY THE OWNER OR BUILDER AND MUST MEET WITH 2018 BCBC REQUIREMENTS.
- PLANS ARE BASED ON THE USE OF 42 OR BETTER SPF, UNLESS OTHERWISE STATED. LAMINATED BEAMS WILL REQUIRE AN ENGINEERS CERTIFICATION. THIS IS THE RESPONSIBILITY OF THE OWNER OR BUILDER.
- REFER TO ENGINEERED FLOOR JOIST AND ROOF TRUSS LAYOUT TO CONFIRM BEAM, POSTS AND PAD FOOTING LOCATION AND SIZES. ENSURE PROPER BEARINGS IS PROVIDED FOR ALL BEAMS.
- ROOF SPACES SHALL BE VENTED WITH ROOF, EAVE AND/OR GABLE END TYPE VENTS OR 1:300 OF THE INSULATED AREA.
- SITING OF THE HOME IS THE RESPONSIBILITY OF THE BUILDER IN CONJUNCTION WITH THE HOMEOWNER.
- THE DRAWINGS HAVE BEEN PREPARED TO CONFORM TO THE 2018 EDITION OF THE BRITISH COLUMBIA BUILDING CODE. THE BUILDER IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION CONFORMS TO THE BCBC AND LOCAL BUILDING CODES AND BYLAWS. ALL CONSTRUCTION AND INSTALLATION OF MATERIALS SHALL BE DONE IN ACCORDANCE WITH GOOD BUILDING PRACTICES AND MANUFACTURING INSTRUCTIONS. LOCAL BUILDING DEPARTMENTS MAY REQUIRE CERTIFICATION FROM A STRUCTURAL ENGINEER FOR PART OR ALL OF THE STRUCTURE. ANY ENGINEERING FEES ARE THE RESPONSIBILITIES OF THE OWNER OR BUILDER.
- THE INSTALLATION OF ALL PLUMBING, HVAC AND ELECTRICAL EQUIPMENT AND MATERIALS SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND THE APPLICABLE SECTIONS OF THE 2018 BCBC.
- THE SITING OF THE HOME MUST BE IN COMPLIANCE WITH CITY BYLAWS. BEFORE COMMENCEMENT OF CONSTRUCTION, ENSURE THAT THE SITE PLAN HAS BEEN APPROVED BY THE CITY OFFICIALS.
- VANITY SIZES ARE FOR REFERENCE ONLY. REFER TO APPROVED HITCHEN LAYOUT FOR CABINET SEES.
- CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OF USE OF EQUIPMENT, SHALL BE ALLOWED TO EXCEED THE DESIGN LOADINGS.
- CONFIRM ALL DIMENSIONS ON SITE PRIOR TO BEGINNING OF ANY CONSTRUCTION. ANY DEFICIENCY MUST BE REPORTED TO THE DESIGNER IN WRITTEN OR BY EMAIL, AND SHALL BE CORRECTED BEFORE COMMENCING ANY CONSTRUCTION.
- EXTERIOR DOORS SHALL BE SOLID CORE AND WEATHERSTRIPPED. GARAGE DOORS TO DWELLING TO BE AS ABOVE AND SELF-CLOSING.
- GRADES SHOWN ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS AND HOUSE SETTING MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS.
- ROOF VENTING SHALL BE IN ACCORDANCE WITH 2018 BCBC.
- PROVIDE Baffle FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE.
- THE FACE OF SHEATHED EXTERIOR WALLS SHALL BE FLUSH WITH FOUNDATION WALLS.
- WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH SILL GASKET OR OTHER APPROVED METHOD. PLATES TO BE ANCHORED TO CONCRETE FOUNDATION WITH ANCHOR BOLTS AS SPECIFIED BY STRUCTURAL ENGINEER.
- THE BUILDER OR CONTRACTOR RESPONSIBLE FOR HIRING STRUCTURAL ENGINEER OR GEOTECHNICAL ENGINEER FOR STRUCTURAL DESIGNS.
- NOTE TO BUILDER OR CONTRACTOR DOORS AND WINDOW SIZES GIVEN ON ARCHITECTURAL PLANS READ, (EXAMPLE DOOR SIZE 2068 MEANS 26" x 69" TYPICAL AND WINDOWS 3018 MEANS 30" x 41" TYPICAL).
- SOLE RESPONSIBILITY OF OWNER/BUILDER/CONTRACTOR/DEVELOPER TO PROVIDE SINGH DRAFTING AND HOME PLANS LTD, WITH STORM SANITARY I/C INV. ELEVATION AND LOCATION.
- OWNER/BUILDER TO VERIFY STORM I/C SANITARY I/C ELEVATION AND LOCATION WITH CIVIL ENGINEER.
- THE CONTRACTOR SHALL CHECK ALL EXISTING GRADES AND LOCATIONS OF CITY SERVICES PRIOR TO CONSTRUCTION.
- FIRE PROTECTION SHALL CONFORM TO THE BCBC 2018 EDITION.
- ALL STAIRS, HANDRAILS AND GUARDRAILS SHALL COMPLY WITH THE BCBC 2018 EDITION.
- STRUCTURAL CONCRETE TO DEVELOP 20 MPa COMPRESSIVE STRENGTH WITH 28 DAYS EXCEPT CONCRETE USED FOR GARAGE AND EXTERIOR STAIRS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 38 MPa AT 28 DAYS.
- ALL EXTERIOR CONCRETE SLABS SHALL HAVE AIR-ENTRAINMENT.
- BEAMS SHALL HAVE EVEN AND LEVEL BEARINGS AND SHALL HAVE NOT LESS THAN 3x5" LENGTH OF BEARING AT END SUPPORTS.
- INDIVIDUAL MEMBERS OF A BUILT UP BEAM SHALL BE NAILED TOGETHER WITH A DOUBLE ROW OF NAILS, NOT LESS THAN 3x3" IN LENGTH. SPACED NOT MORE THAN 18" APART IN EACH ROW WITH THE END NAILS LOCATED 4" TO 6" FROM THE END OF EACH PIECE.
- FLOOR JOISTS SHALL HAVE BRIDGING ROWS @ 7'0" MAX O.C. OR U.N.O.
- ALL LOAD BEARING INTERIOR AND EXTERIOR LINTELS SHALL BE 2-x10 U.N.O.
- THE WIDTH OR DIAMETER OF A WOOD COLUMN SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTED MEMBER.
- FLOOR AREA FINISHED WITH CERAMIC TILES TO HAVE MIN. 1/4" PARTICLE BOARD APPLIED OVER SUBFLOOR.
- PROPOSED GAS LINE, HYDRO POWER POLE AND WATER METER LOCATIONS ARE AN ESTIMATE BY DESIGNER. BUILDER/OWNER TO VERIFY PRIOR TO CONSTRUCTION.



SAN. MH (S) (D) STM. MH
Rim=23.74

MANPRIT TOOR
8081 138a st, SURREY

ZONE: RF-G
LOT 267 SECTION 28 TOWNSHIP
2 PLAN N1N62527
N1N4 PART 5/4 1/4
PID: 001-337-116
LOT AREA = 596.25m² (6410 sf)

FAR:
ALLOWABLE F.A.R = 2800 sf
PROPOSED F.A.R = 2749 sf

SITE COVERAGE:
ALLOWABLE = 2800 sf
PROPOSED = 2035 sf

ELEVATIONS IN METERS:
ROOF RIDGE = 35.74
MEAN HEIGHT = 34.42
ROOFLINE = 34.05
UPPER FLOOR = 27.87
MAIN FLOOR = 27.87
AVERAGE GRADE = 26.44
GARAGE SLAB = 25.05
BSMT = 25.05
MBE = 25.05
BSMT IN GROUND = 50%

STM. MH
Rim=27.81
Inv=28.23

SAN. MH
Rim=27.79
Inv=26.18

STM. MH
Rim=25.77
Inv=23.21 (gvc 0.30)

STM. MH
Rim=27.09
N Inv=24.96 (gvc 0.30)

SAN. MH
Rim=27.20
N Inv=25.06 (conc. 0.25)
W Inv=25.17 (conc. 0.15)

① SITE PLAN
3:32" = 1'-0"

THESE PLANS ARE IN COMPLIANCE WITH THE 2018 BCBC

SINGH DRAFTING AND HOME PLANS LTD.
1-417-2-774 AVE. SURREY, BC V3W2X3 (604)379-6000 SINGHDRAFTING@HOTMAIL.COM

A1

SCALE: 3/32" = 1'-0"

DATE: May 24 / 2024

DRAWN BY: DS

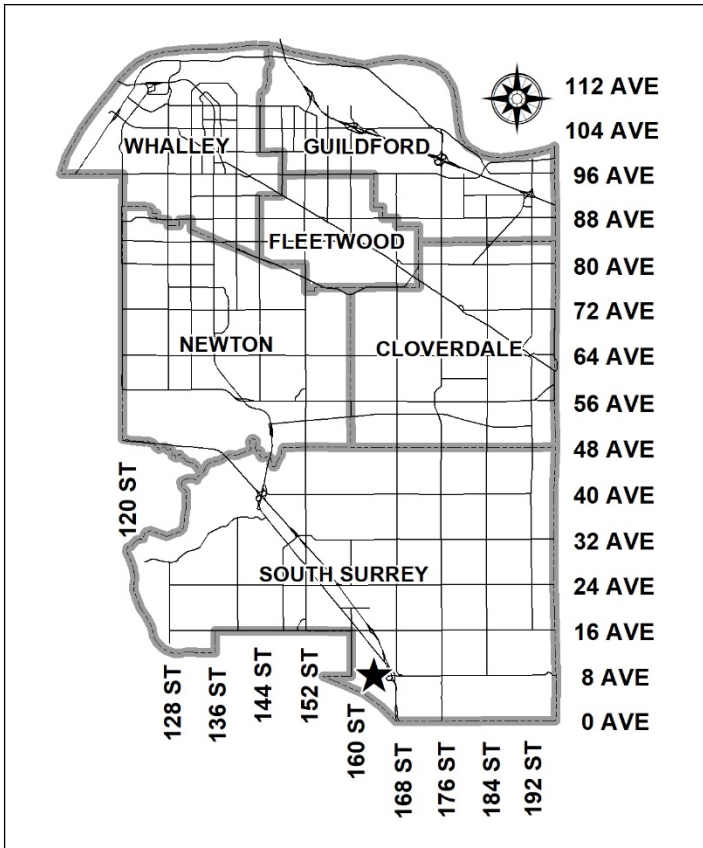
PROJECT: SITE PLAN / PROJECT INFO

SINGH DRAFTING AND HOME PLANS LTD. is a registered professional engineering firm under the Engineering Act, R.S.O. 1990, c. 122. The firm is a member of the Professional Engineers Ontario (PEO) and the Ontario Association of Professional Engineers (OAPE). The firm is also a member of the International Brotherhood of Teamsters (IBT).

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7924-0139-00

Planning Report Date: July 8, 2024



PROPOSAL:

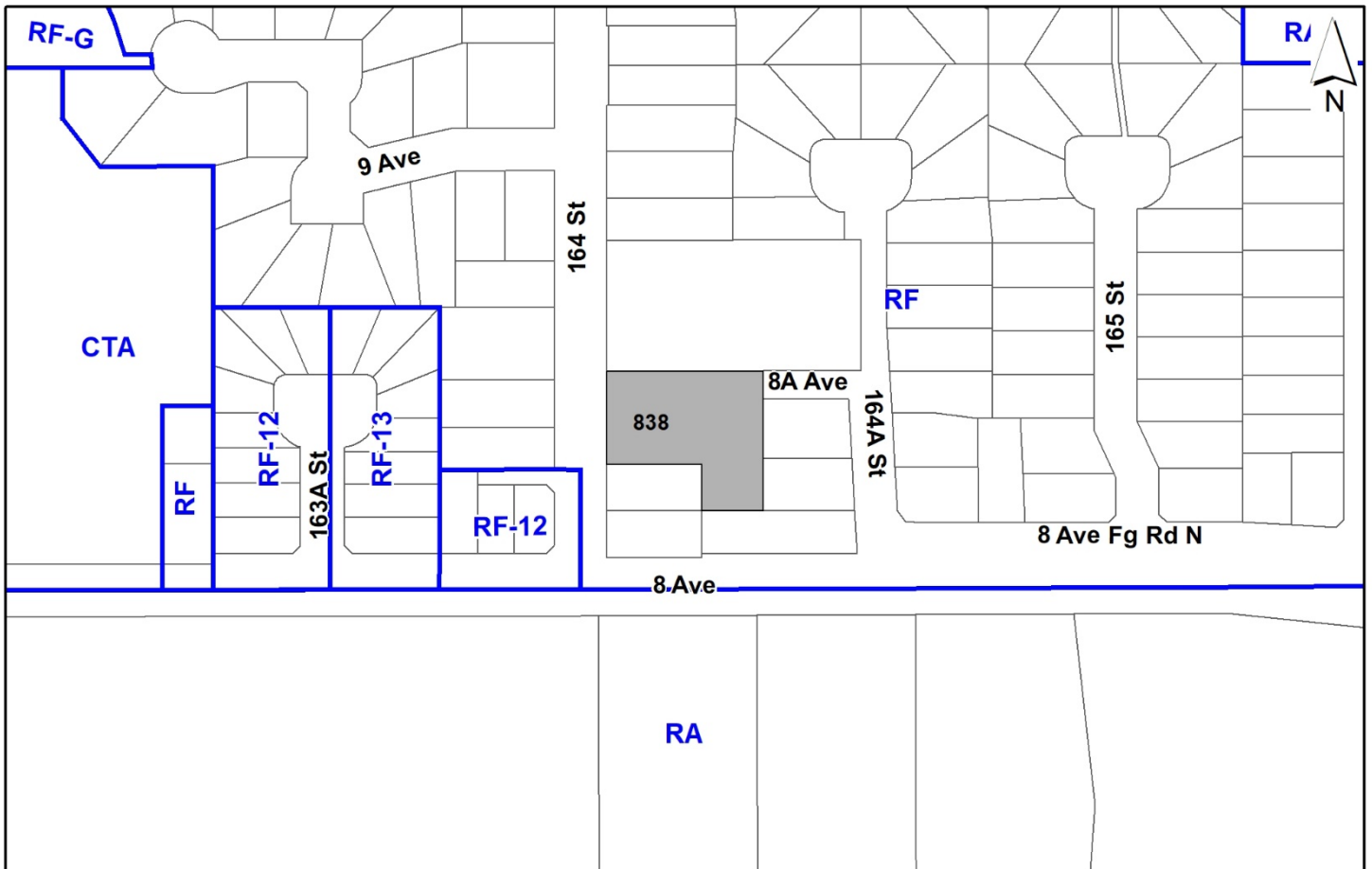
- **Development Variance Permit**

to allow subdivision into three (3) single family lots.

LOCATION: 838 164 Street

ZONING: RF

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit (DVP) to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing a Development Variance Permit for reduced lot depth and for reduced front yard setback.

RATIONALE OF RECOMMENDATION

- The applicant proposes a reduction to the minimum lot depth required for proposed Lots 1 and 2 from 28 metres to 24 metres to allow the subject site to be subdivided into three single family lots under the current RF Zone.
- Proposed lots 1 and 2 are wider than the minimum 15 metres required for new lots in the “Single Family Residential Zone (RF)”, at approximately 23.3 metres and 22.08 metres respectively. Proposed lot 1 is 561.4 square metres in area, above the minimum requirement of 560 square metres under the RF Zone. Proposed lot 2 is 537.7 square metres in area (note: a lot that is 90% of the minimum area may be permitted by the Approving Officer under the General Provisions of the Zoning Bylaw as this subdivision completes the development pattern for this block).
- The subject application would need to complete connection of a new road 8A Avenue along the north property line from 164A Street to 164 Street. Proposed lots 1 and 2 will have wider than standard RF widths and the single family dwellings on each parcel would complement the existing streetscape.
- Previously, variances for lot depth to permit consolidation and subdivision of 838 164 Street and 822 164 Street was considered through Development Application No. 7917-0523-00. This application would have resulted in the same increase in net lots as with the subject application. Development Variance Permit 7917-0523-00 was issued at the Regular Council – Public Hearing meeting on November 19, 2018.
- Development Variance Permit No. 7917-0523-00 lapsed as subdivision did not finalize. The application was closed as 822 164 Street chose to withdraw. A modified layout is proposed under the subject application to permit a more orderly subdivision of 838 164 Street without any consolidation with 822 164 Street.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7924-0139-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum lot depth of the “Single Family Residential Zone (RF)” from 28 metres to 24.28 metres for Proposed lots 1 and 2; and
 - (b) to reduce the minimum front yard setback from 7.5 metres to 6.7 metres for 50% of the building width on Proposed lot 1.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Single Family Dwelling	Urban	RF
North (Abutting):	Single Family Dwellings	Urban	RF
East (Abutting):	Single Family Dwellings	Urban	RF
South (Across 8 Avenue):	Single Family Dwellings	Urban	RA
West (Across 164 Street):	Single Family Dwellings	Urban	RF, RF-12

Context & Background

- The subject property at municipal address 838 164 Street, is designated "Urban" in the Official Community Plan (OCP), and is zoned "Single Family Residential Zone (RF)". The property is 2,587 square metres in area.
- The subject property and 822 164 Street abutting to the south were part of previous Development Application No. 7917-0523-00. That application proposed variances to reduce the minimum depth of the existing “Single Family Residential Zone (RF)” to permit subdivision into four (4) lots. The variance was issued at the Regular Council – Public Hearing meeting on November 19, 2018. After this variance expired due to the subdivision not completing within the allotted time, the variance was re-issued at the Regular Council – Public Hearing meeting on December 20, 2021.

- 822 164 Street was principally involved in the application to permit a lot line adjustment. Development Application No. 7917-0523-00 was closed after the owner of the subject property indicated that the owners of 822 164 Street did not wish to proceed with the original application.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to subdivide the subject property into three (3) single family residential lots. The subdivision will complete an extension of 8A Avenue along the north property line as a half-road (11.5 metres) connecting to 164 Street. The three subdivided lots would front 8A Avenue.
- To facilitate this subdivision, the applicant is proposing a Development Variance Permit (DVP) to reduce the minimum lot depth of the “Single Family Residential Zone (RF)” from 28 metres to 24.28 for Proposed lots 1 and 2.
- Proposed lot 1 has an area of 561.4 square metres, exceeding the minimum subdivided lot requirement under the RF Zone of 560 square metres.
- Proposed lot 2 is 537.7 square metres in area. Under Part 4 Section 28.(h) of the Zoning Bylaw, the Approving Officer may permit a newly subdivided lot to be no less than 90% of the minimum lot area. Only one lot under a subdivision may benefit from this provision. To avoid repeat usage of the provision, this discretion is only used when subdivision will complete the development pattern that has been established for a block.
- The front yard setback for Proposed lot 1 is also proposed to be varied from 7.5 metres to 6.7 metres for 50% of the building.
- Under the RF Zone, the front yard setback at the main floor level may be relaxed from 7.5 metres to 5.5 metres for a maximum of 50% of the width of the building. The proposed front yard setback variance on Lot 1 results in a building with a 6.7 setback for 50% of the building on the garage side of the structure and a setback of 5.5 metres for the remaining building width.

	Proposed
Lot Area	
Gross Site Area:	0.25 hectares
Road Dedication:	
Undevelopable Area:	
Net Site Area:	
Number of Lots:	3
Unit Density:	15.9 units per hectare
Range of Lot Sizes	535.7 – 789.3 square metres
Range of Lot Widths	15 – 23.30 metres
Range of Lot Depths	24.28 – 42.21 metres

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

Parks, Recreation & Culture: Parks accepts removal of eight (8) trees on 838 164 Street that will become City trees after dedication for 8A Avenue. Further detail is included under the TREES section of the report below.

The closest active park is South Meridian Park and is 900 metres away. South Meridian Park includes a soccer field and natural area (a park trail).

POLICY & BY-LAW CONSIDERATIONS

Zoning By-law

Lot Depth / Setback Variances

- The applicant is requesting the following variances:
 - to reduce the minimum lot depth of the “Single Family Residential Zone (RF) from 28 metres to 24.28 metres for Proposed lots 1 and 2; and
 - to reduce the minimum front yard setback from 7.5 metres to 6.7 metres for 50% of the building width on Proposed lot 1.
- The proposed minimum lot depth relaxation will permit subdivision under the existing RF zoning, completing the single-family development pattern established for the block, and allowing completion of the 8A Avenue connection to 164 Street. The proposed lots are similar in width and area to historic parcels in the neighbourhood.
- The proposed front yard setback relaxation for lot 1 would permit that a garage be setback from the front lot line by 6.7 metres, with the remainder of the house being relaxed to 5.5 metres under standard RF setback provisions. This will address challenges with siting a new dwelling on a corner lot with a shallower depth.
- The proposed variances are in keeping with what Council have previously supported through issuance of Development Variance Permits 7915-0523-00 and 7915-0523-01 on the subject property. The proposal for subdivision is essentially the same as the historic files, with the exception that an abutting property is no longer participating with a lot line readjustment under the application.

Lot Grading

- A preliminary lot grading plan, submitted by Terra Nobis Consulting Inc., and dated April 2024, has been reviewed by staff and found to be generally acceptable subject to more information on the stormwater detention values and proposed storm sewer connections.
- The applicant propose in-ground basements. The feasibility of in-ground basements will be confirmed once the City’s Engineering Department has reviewed and accepted the applicant’s final engineering drawings.

PUBLIC ENGAGEMENT

- The Development Proposal Signs were installed on June 18, 2024. Staff received one (1) response from neighbouring residents.
- The respondent indicated that one of the development signs was obscured due to vegetation overgrowth. The applicants subsequently submitted new photographs showing that this vegetation had been trimmed.

TREES

- Max Rathburn and Dean Bernasch, ISA Certified Arborists of Diamond Head Consulting Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Red Alder	1	1	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Arbutus	1	1	0
Bitter Cherry	1	1	0
Discovery Elm	2	0	2
English Holly	3	3	0
Hawthorn	3	3	0
Coniferous Trees			
Douglas Fir	15	14	1
Western Red Cedar	7	3	4
Total (excluding Alder and Cottonwood Trees)	32	25	7
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		15	
Total Retained and Replacement Trees Proposed		22	
Estimated Contribution to the Green City Program		\$19,800.00	

- The Arborist Assessment states that there are a total of 32 mature trees on the site, excluding Alder and Cottonwood trees. Of 33 existing trees, one is an Alder tree. The applicant proposes to retain seven (7) trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of 51 replacement trees on the site. Since 15 proposed replacement trees can be accommodated on the site (based on an average of five (5) trees per lot), the proposed deficit of replacement trees will require an estimated cash-in-lieu payment of \$19,800.00, representing \$550 per tree to the Green City Program, in accordance with the City's Tree Protection By-law.
- Eight (8) trees proposed for the removal fall on the northern portion of the site proposed for dedication and construction as 8A Avenue. Removal of these future City trees is accepted by Parks, which recommends 2:1 compensation into the Green City Program.
- In summary, a total of 22 trees are proposed to be retained or replaced on the site with an estimated contribution of \$19,800.00 to the Green City Program (this figure includes the compensation for removal of trees that would become City-owned after dedication for 8A Avenue).

INFORMATION ATTACHED TO THIS REPORT

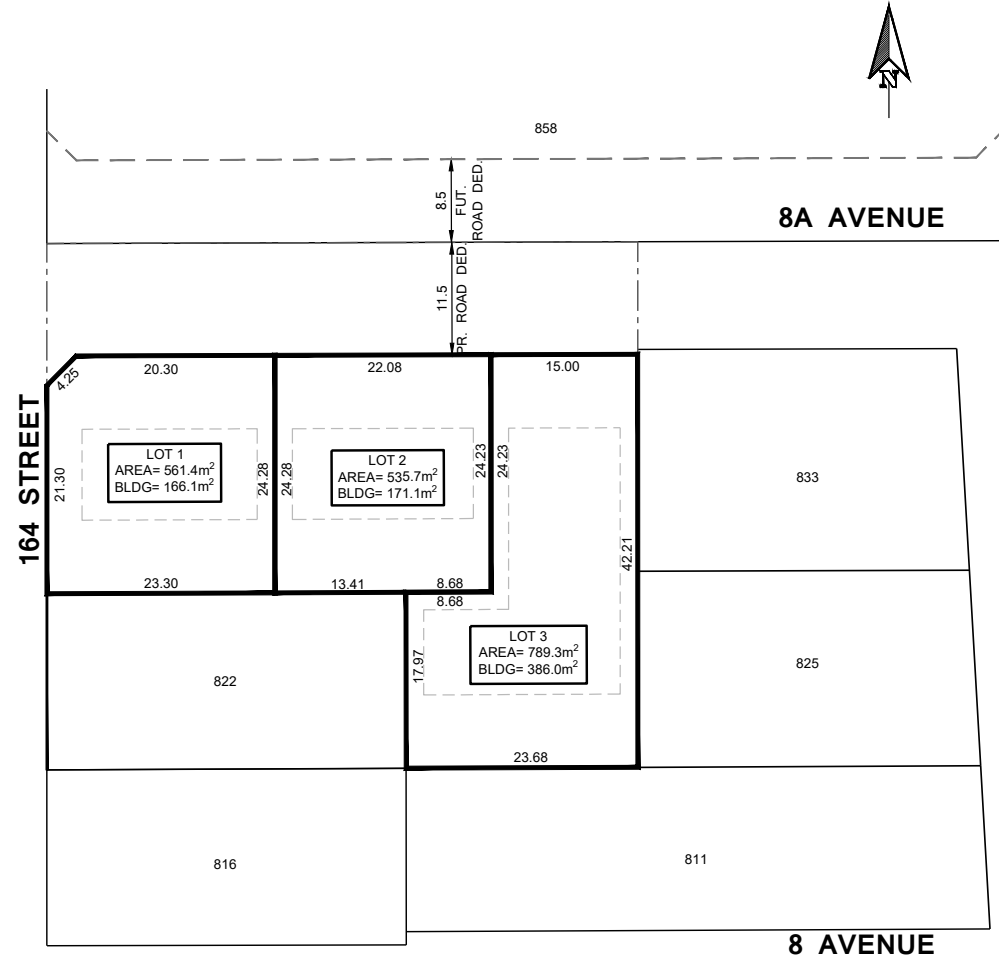
The following information is attached to this Report:

Appendix I.	Site Plan
Appendix II.	Engineering Summary
Appendix III.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix IV.	Development Variance Permit No. 7924-0139-00

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

JK/ar



PLAN
SCALE: 1:500

LEGAL BENCHMARK	ELEVATIONS ARE DERIVED FROM CITY OF SURREY CONTROL MONUMENT No. 5760 ELEVATION = 36.213m DATUM CVD28GVRD2005. LOT DIMENSIONS AND CLEARANCES ACCORDING TO FIELD SURVEY			<p>TERRA NOBIS CONSULTING INC.</p> <p>#203 - 15585 24 Avenue, Surrey, V4A 2J4 PHONE: 604.946.3007 EMAIL: INFO@TERRANOBIS.COM PERMIT TO PRACTICE #: 1000490</p>	CLIENT	PROJECT		SEAL	CITY OF SURREY			
	No.	DATE	REVISIONS / SUBMISSIONS			21063 7817-0523-00			NEW SUBDIVISION LAYOUT			
						SITE ADDRESS			HOR. SCALE	DRAWING NUMBER	1 OF 1	
						838 164 STREET, SURREY			SURREY PROJECT NUMBER			REV.
	26 APR 2024	ALTERNATIVE SUBDIVISION LAYOUT (822 164ST REMOVED)			TEL: 604-716-8400 EMAIL: KANWALGHUMAN@HOTMAIL.COM			SURREY DRAWING NUMBER				
								DESTROY ALL PRINTS BEARING PREVIOUS REVISION NUMBER				



INTER-OFFICE MEMO

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **July 2, 2024**

PROJECT FILE: **7824-0139-00**

RE: **Engineering Requirements**
Location: 838 164 St

SUBDIVISION***Property and Right-of-Way Requirements***

- Dedicate 11.5m for 8A Ave.
- Dedicate corner cut.
- Register 0.5m SRW along all development frontages.

Works and Services

- Construct east side of 164 St.
- Construct 8A Ave.
- Install new fronting water, sanitary and drainage mains as required.
- Provide adequately sized storm, sanitary and water service connection to each lot.
- Register RC for onsite storm pump maintenance.

A Servicing Agreement is required prior to Subdivision.

DEVELOPMENT VARIANCE PERMIT

There are no additional requirements to the proposed Development Variance Permit.

Jeff Pang, P.Eng.
Manager, Development Services

DYC

4.0 Tree Preservation Summary

Table 2: City of Surrey tree preservation summary table for on-site and off-site trees, including the number of replacement trees proposed.

Surrey Project Number 17-0523-00
 Site Address 838 164th Street, Surrey
 Registered Arborist Dean Bernasch (PN-8676A)

On-Site Trees	Number of Trees
Protected Trees Identified (On-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	33
Protected Trees to be Removed	26
Protected Trees to be Retained (Excluding trees within proposed open space or riparian areas)	7
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 1 X one (1) = 1 - All other Trees Requiring 2 to 1 Replacement Ratio 25 X two (2) = 50	51
Replacement Trees Proposed	15
Replacement Trees in Deficit	36
Protected Trees to be Retained in Proposed Open Space / Riparian Areas	-

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	6
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 6 X two (2) = 12	12
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD

Summary, report, and plan prepared and submitted by



Signature of Arborist

April 17, 2023

Date

Arborist Notes

Regarding Tree #287:

- Keep proposed grading outside TPZ.
- Install proposed servicing within 1.5m of TPZ under arborist supervision.

Regarding Tree Os2:

- Excavate within TPZ for servicing through easement using low-impact methods.

Regarding Tree Os3:

- Install proposed retaining wall carefully near crown.

Regarding Tree Os4:

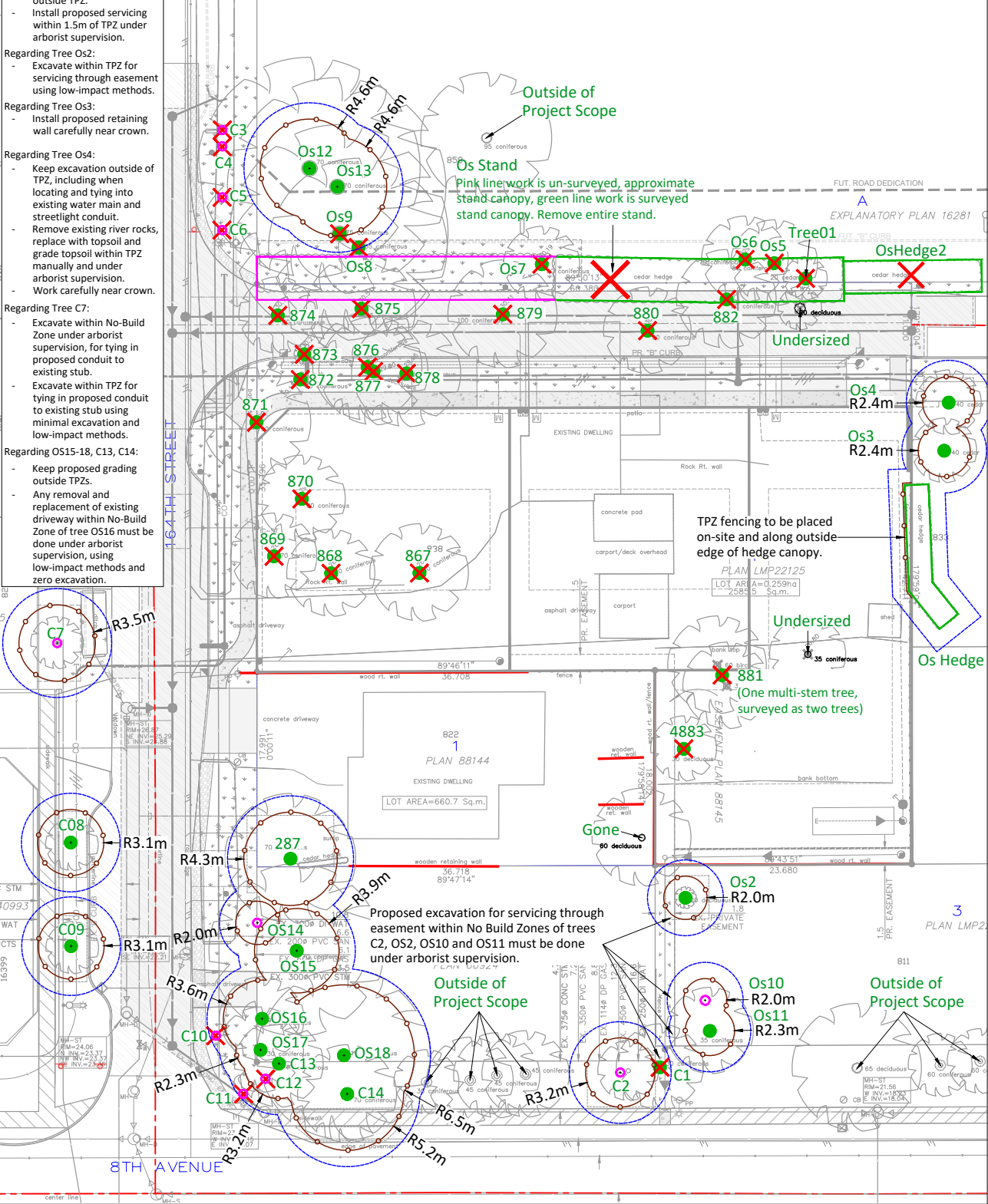
- Keep excavation outside of TPZ, including when locating and tying into existing water main and streetlight conduit.
- Remove existing river rocks, replace with topsoil and grade topsoil within TPZ manually and under arborist supervision.
- Work carefully near crown.

Regarding Tree C7:

- Excavate within No-Build Zone under arborist supervision, for tying in proposed conduit to existing stub.
- Excavate within TPZ for tying in proposed conduit to existing stub using minimal excavation and low-impact methods.

Regarding OS15-18, C13, C14:

- Keep proposed grading outside TPZs.
- Any removal and replacement of existing driveway within No-Build Zone of tree OS16 must be done under arborist supervision, using low-impact methods and zero excavation.

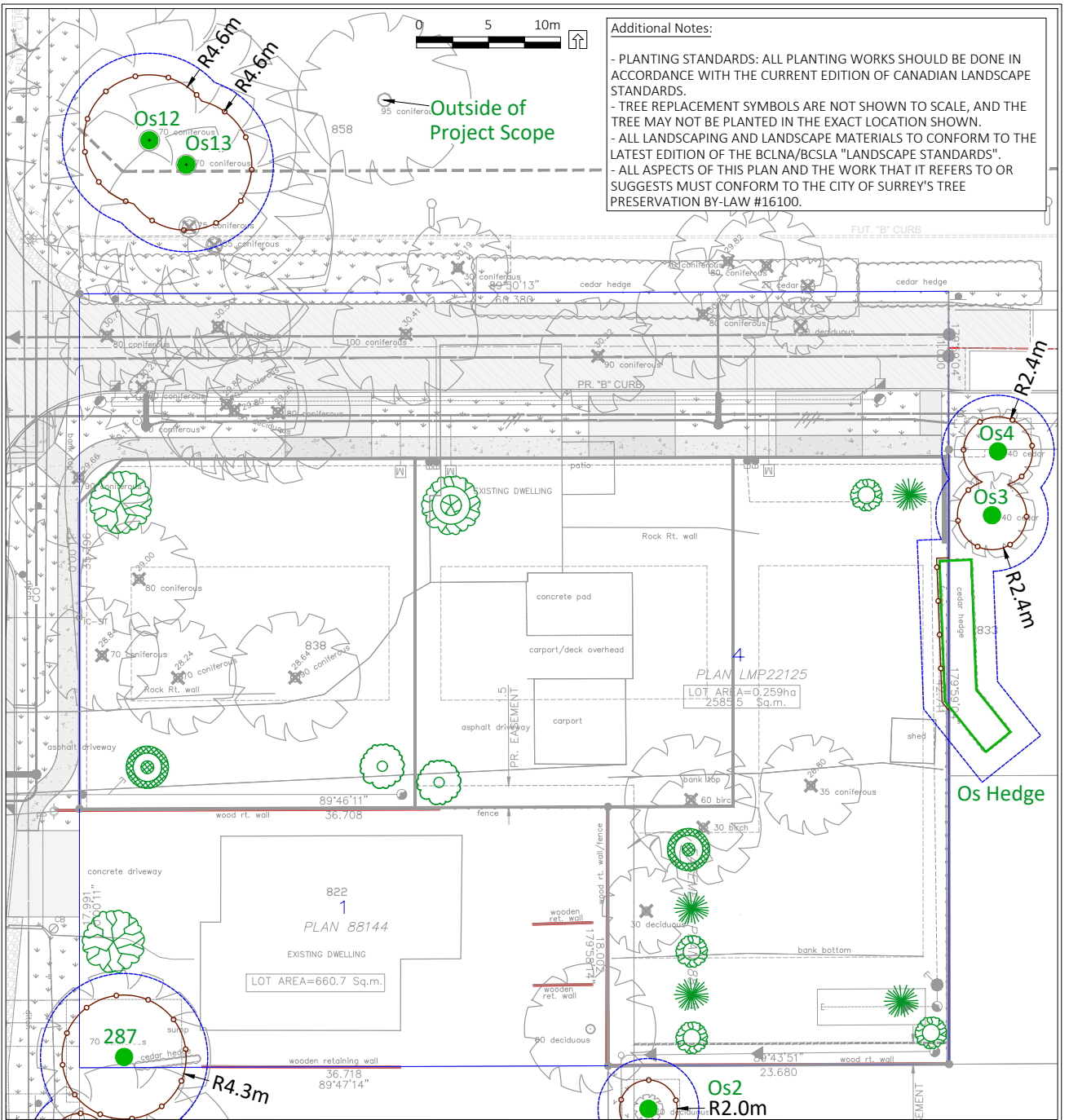


LEGEND	CRITICAL ROOT ZONE	SURVEYED TREE TO BE RETAINED	SURVEYED TREE TO BE REMOVED
	TREE PROTECTION ZONE AND FENCING	UN-SURVEYED TREE TO BE RETAINED (MUST BE SURVEYED)	UN-SURVEYED TREE TO BE REMOVED (MUST BE SURVEYED)
	NO BUILD ZONE		

REFERENCE DRAWINGS

1. Base Survey by Target Land Surveying dated March 13, 2018.
2. Proposed Civil CAD Plan provided by client.

NOTES	1. The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.	accommodate the survey point being in the center of the tree)	direct supervision of an arborist.
	2. All tree protection fencing must be built to the relevant municipal bylaw specifications.	4. No work is permitted within the Tree Protection Zone with the exception of swales. Swale construction is only permitted under the direct supervision of an arborist.	7. This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
	3. The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (1/2 the trees diameter was added to the graphical tree protection circles to	5. The 1.5m area No Build Zone does not allow for any building foundation wall encroachment. Excavation is permitted within this area under the direct supervision of an arborist.	8. This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.
	6. Drainage works such as lawn basins, associated piping or services are permitted within the No Build Zone under the		



PLANT LIST	KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	COMMENTS
	287	Cornus 'Eddies White Wonder'	Dogwood	1	6 cm. cal	As shown	B. & B.
		Cercidiphyllum japonicum	Katsura	2	6 cm. cal	As shown	B. & B.
		Acer griseum	Paperbark maple	4	6 cm. cal	As shown	B. & B.
		Chamaecyparis obtusa	Hinoki cypress	4	3.0 meters	As shown	B. & B.
		Styrax japonicus	Japanese snowbell	2	6 cm. cal	As shown	B. & B.
		Magnolia sieboldii	Oyama magnolia	2	6 cm. cal	As shown	B. & B.

LEGEND	REFERENCE DRAWINGS
CRITICAL ROOT ZONE	1. Base Survey by Target Land Surveying dated March 13, 2018.
TREE PROTECTION ZONE AND FENCING	2. Proposed Civil CAD Plan provided by client.
NO BUILD ZONE	
SURVEYED TREE TO BE RETAINED	
UN-SURVEYED TREE TO BE RETAINED (MUST BE SURVEYED)	

NOTES		
1. The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.	accommodate the survey point being in the center of the tree)	direct supervision of an arborist.
2. All tree protection fencing must be built to the relevant municipal bylaw specifications.	4. No work is permitted within the Tree Protection Zone with the exception of swales. Swale construction is only permitted under the direct supervision of an arborist.	7. This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
3. The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (½ the trees diameter was added to the graphical tree protection circles to	5. The 1.5m area No Build Zone does not allow for any building foundation wall encroachment. Excavation is permitted within this area under the direct supervision of an arborist.	8. This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.
	6. Drainage works such as lawn basins, associated piping or services are permitted within the No Build Zone under the	

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7924-0139-00

Issued To:

(the Owner)

Address of Owner:

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 019-194-030
LOT 4 SECTION 12 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN LMP22125
838 164 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - to reduce the minimum lot depth of the “Single Family Residential Zone (RF) from 28 metres to 24.28 metres for Proposed Lot 1 and 2; and
 - to reduce the minimum front yard setback from 7.5 metres to 6.7 metres for 50% of the building width on Proposed lot 1.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY COUNCIL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

