

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7924-0060-00

Planning Report Date: July 08, 2024

PROPOSAL:

- **Temporary Use Permit**

to permit the development of a temporary real estate sales centre for a duration not to exceed 3 years.

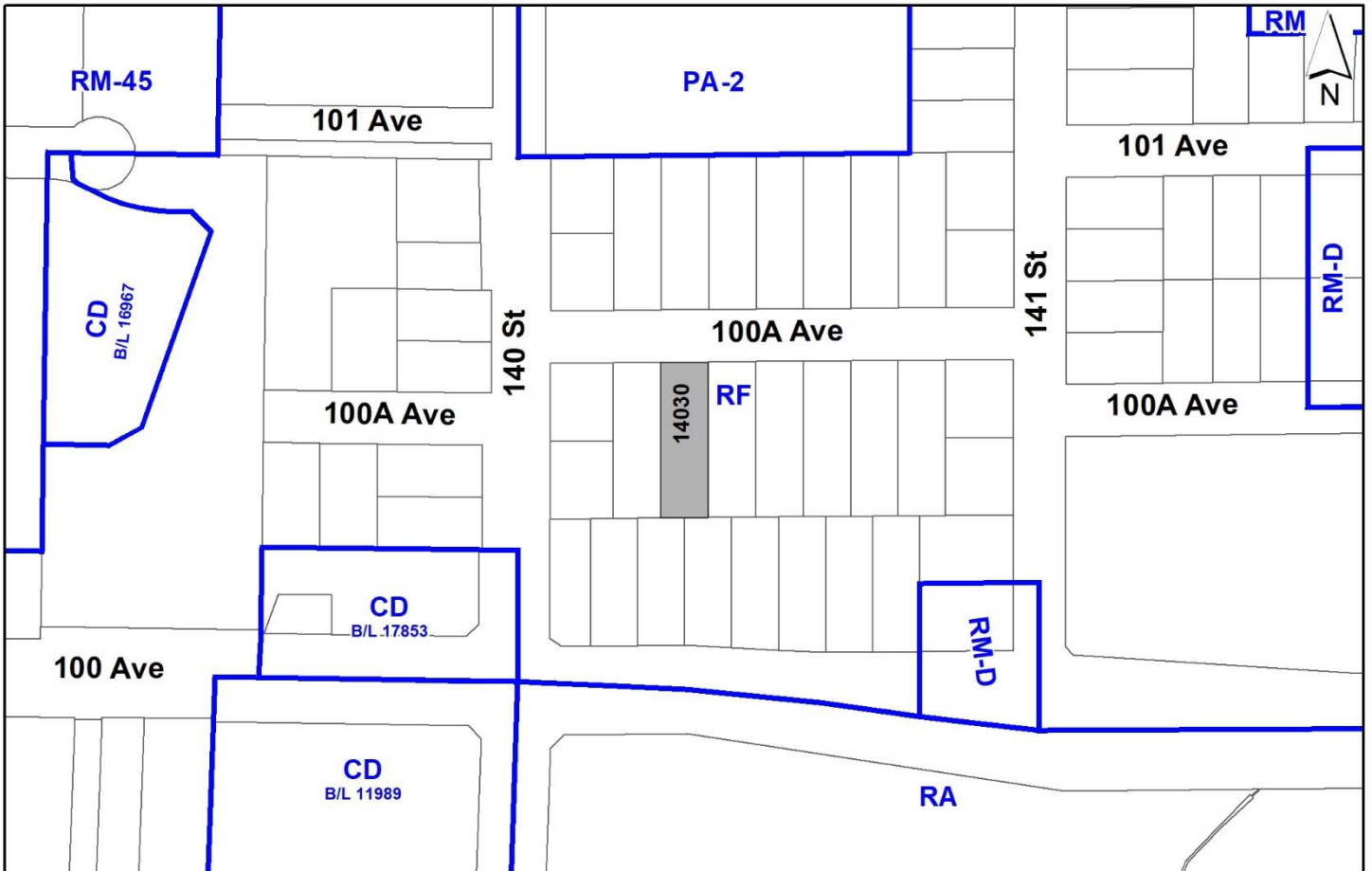
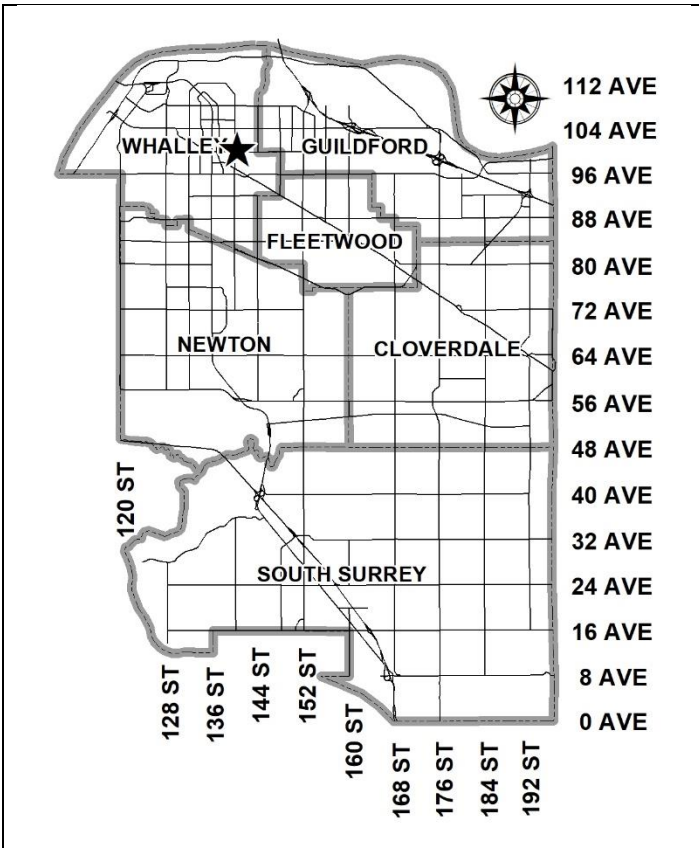
LOCATION: 14030 - 100A Avenue

ZONING: RF

OCP DESIGNATION: Multiple Residential

GUILDFORD TOWN CENTRE PLAN DESIGNATION: Low to Mid Rise Residential

DESIGNATION:



RECOMMENDATION SUMMARY

- Approval for Temporary Use Permit (TUP) to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The subject TUP proposal is associated with Development Application No. 7922-0187-00, which proposes the development of a 6-storey apartment building, with a total of 109 residential units and underground parking. The application received Third Reading at the Regular Council - Public Hearing meeting on July 24, 2023.
- The proposed TUP will allow for the construction of a temporary sales center from which the applicant will be able to market residential units for the proposed development for the subject property and the four properties to the south, including 14009 - 100 Avenue, 14017 - 100 Avenue, 14027 - 100 Avenue and 14037 - 100 Avenue.
- The applicant will post a \$5,000.00 bond to ensure the removal of the temporary building upon expiry of the TUP.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Temporary Use Permit No. 7924-0060-00 (Appendix IV) to proceed to Public Notification.
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the Planning and Development Department; and
 - (d) submission of \$5,000.00 security to ensure the building is removed and the site is brought into compliance with the Zoning By-law following the expiration of the Temporary Use Permit.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Vacant parcel, under Development Application No. 7922-0187-00, at Third Reading, proposing a 6-storey apartment building and underground parking.	Low to Mid Rise Residential	RF
North (Across 100A Avenue):	Single family residential	Low Rise Transition Residential	RF
East:	Single family residential, under Development Application No. 7923-0020-00, at Third Reading, proposing a 6-storey apartment building and 2 levels of underground parking.	Low Rise Transition Residential	RF

Direction	Existing Use	NCP Designation	Existing Zone
South:	Vacant parcels, under Development Application No. 22-0187-00, at Third Reading, proposing a 6-storey apartment building and underground parking.	Low to Mid Rise Residential	RF
West (Across 140 Street):	Surface parking lot, 6-storey apartment building and standalone art gallery	Low to Mid Rise Residential in the City Centre Plan	CD (Bylaw No. 17853)

Context & Background

- The subject property is located at 14030 100A Avenue in Guildford Town Centre Plan. The subject site is approximately 1,094 square metres in size and is currently vacant.
- The subject property is designated “Multiple Residential” in the Official Community Plan (OCP), “Low to Mid Rise Residential” in the Guildford Town Centre Plan as well as zoned “Single Family Residential Zone (RF)”.
- On the subject property, Development Application No. 7922-0187-00, which received Third Reading at the Regular Council - Public Hearing meeting on July 24, 2024, proposes an OCP Amendment, a rezoning from “Single Family Residential Zone (RF)” to “Comprehensive Development Zone (CD)”, and a Development Permit for Form and Character, in order to permit for a 6-storey apartment building and underground parking.
- The development proposed under Application No. 7922-0187-00 will obtain vehicular access to the underground parkade via a 6-metre north-south green lane. This lane is proposed along the eastern property line of the subject site.
- To the east of the subject property, Development Application No. 7923-0020-00, which received Third Reading at the Regular Council -Public Hearing meeting on April 22, 2024, proposes an NCP amendment, a rezoning from “Single Family Residential Zone (RF)” to “Comprehensive Development Zone (CD)”, and a Development Permit for Form and Character, in order to allow for a 6-storey apartment building and two levels of underground parking.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is seeking a TUP to allow a temporary real estate sales centre on the subject site to market the residential units proposed under Development Application No. 7922-0187-00.
- The sales centre is proposed on the northernmost of the five lots proposed for development under Development Application No. 7922-0187-00.

- The proposed building has an approximately 177-square metre floor area that includes a presentation centre, an office, a reception, and a washroom.
- A surface parking lot with four parking spaces including one accessible parking space will be provided on-site for customers with access from 100A Avenue, which exceeds the Zoning Bylaw requirement of four parking spaces.
- The TUP is proposed to be in effect for three years, which should be sufficient time for the applicant to complete the sales of the proposed residential units.
- The arborist report for the site identifies four protected trees on-site and 10 off-site trees, including one dead off-site tree recommended for removal. All trees, excluding the dead tree, are proposed for retention under the subject TUP application.

Referrals

Engineering: The Engineering Department has no objection to the project as outlined in Appendix II.

Surrey Fire Department: The Fire Department has no objection to the project.

Transportation Considerations

- The subject site will be accessed via 100A Avenue.
- The proposed real estate sales centre is directly adjacent to a bus stop that is served by Route 325 – Surrey Central Station/Newton Exchange.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on June 10, 2024, and the Development Proposal Sign was installed on June 8, 2024. Staff did not receive any responses from neighbouring landowners.

TREES

- Adrian Szabunio, ISA Certified Arborist of Woodridge Tree Consulting Arborists Ltd., prepared an Arborist Assessment for the subject property.
- The Arborist Assessment states that there are a total of four protected on-site trees and 10 off-site bylaw-sized trees (including one dead tree), and no Alder and Cottonwood trees. All trees, excluding the dead tree (identified as OS2 in Appendix III), are proposed for retention under the subject TUP application. The dead tree was suggested for removal by the Project Arborist with consideration of site safety during construction.

- Should the applicant be unable to obtain the neighbouring property owner's approval to remove the dead tree, the applicant's arborist will need to provide recommendations to maintain safety during construction with the tree retained. This may involve some minor adjustments to the site plan prior to TUP issuance.
- As part of the subsequent development of the site, tree removal and tree replacement are outlined in the Planning & Development Report for the associated Development Application No. 7922-0187-00.
- The proposal includes a strip of landscaping and grass surrounding the surface parking lot. The landscape planting will primarily feature evergreen shrubs like Littleleaf Boxwood and Emerald Green Arborvitae, as well as evergreen grasses such as Gold Japanese Forest Grass and Japanese Sedge.

INFORMATION ATTACHED TO THIS REPORT

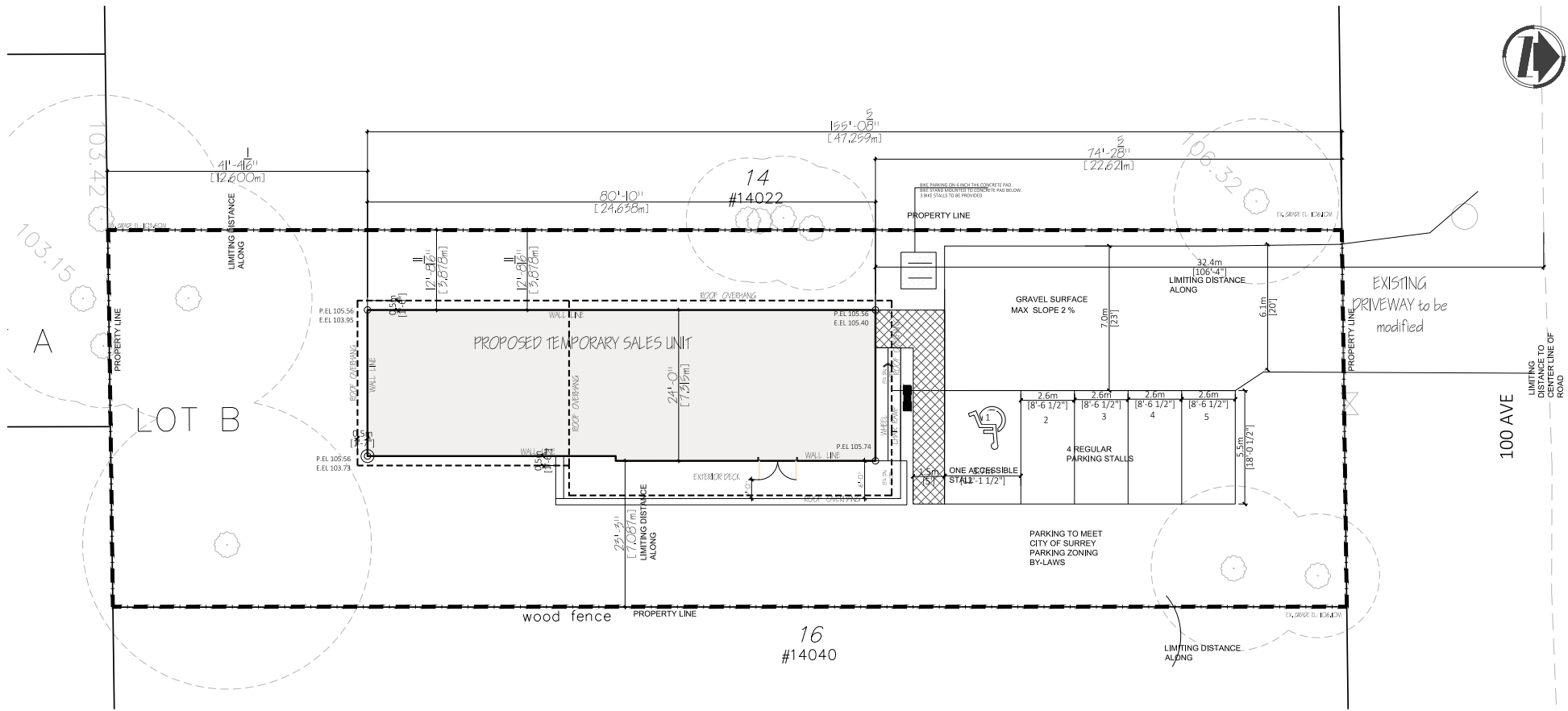
The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations and Landscape Plans
Appendix II.	Engineering Summary
Appendix III.	Tree Management Plan
Appendix IV.	Temporary Use Permit No. 7924-0060-00

approved by Ron Gill

Don Luymes
General Manager
Planning and Development

MWC/ar



SITE PLAN SCALE 1/8" = 1'-0"

REV	DESCRIPTION	BY	DATE
04			
03			
02			
01			

DATE
15 May 2024

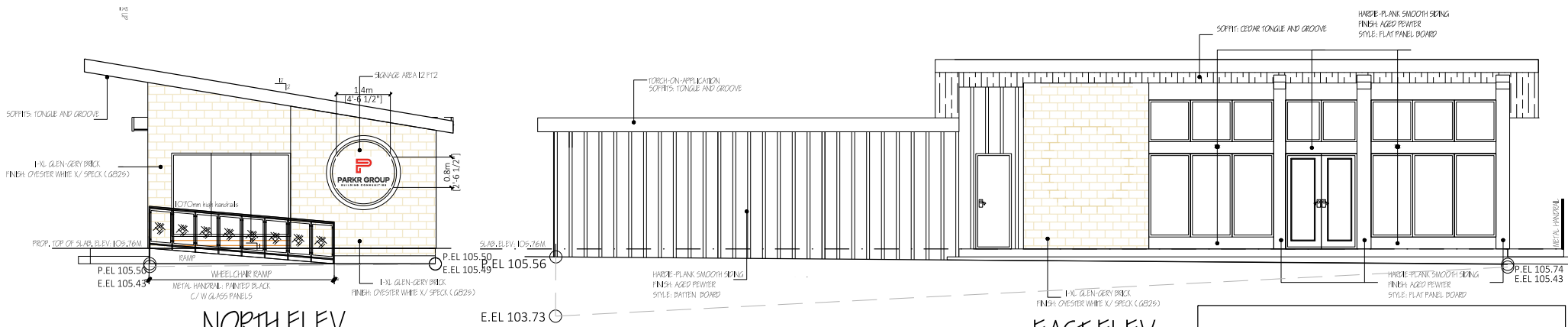
PROJECT NO:
24-TI

DRAWN BY:
GSJ

CHECKED BY:
RW

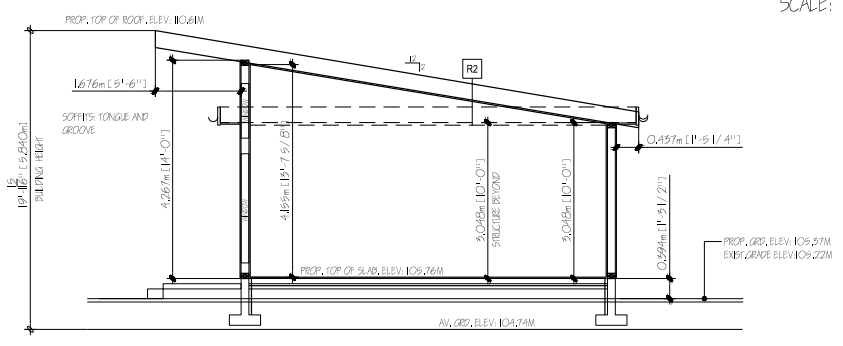
SCALE:
As Noted

SHEET NO:
A 1.1



NORTH ELEV.
SCALE: $\frac{1}{4}'' = 1'-0''$

EAST ELEV.
SCALE: $\frac{1}{4}'' = 1'-0''$



CROSS SECTION
SCALE: $\frac{1}{4}'' = 1'-0''$

THESE PLANS CONFORM TO THE 2018 EDITION OF THE BCBC.

BUILDING SPECIFICATIONS:

ROOFING: FLAT ROOFING: HOT APPLIED RUBBERIZED ASPHALT ROOFING / TORCH-ON APPLICATION ON $\frac{1}{2}''$ OSB ON PRE-ENGINEERED 2X14 TRUSS JOISTS @ 24" O.C. R-28

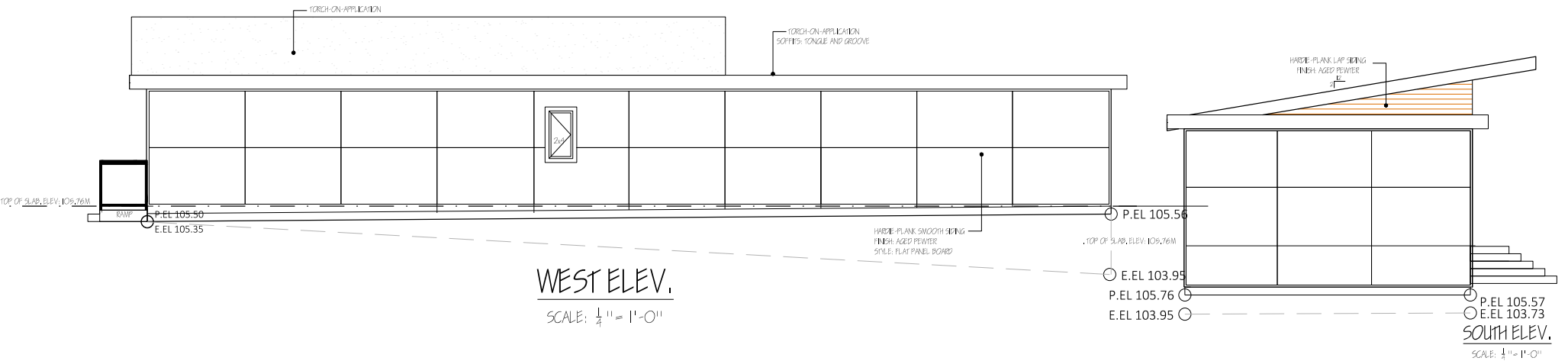
INSULATION ON 6 MIL POLY VB ON $\frac{3}{8}''$ DRYWALL. VENT $\frac{1}{300}$.

EAVES: DECORATIVE FASCIA BOARD, EXPOSED GUTTERS WITH EXPOSED DOWNSPOUTS, VENTED SOFFITS.

EXTERIOR WALLS: STUCCO/ROCK EXTERIOR FACE, C/W 2X6 STUDS @ 16" - R-20 INSULATION ON 6 MIL POLY VB ON $\frac{3}{8}''$ APYROC (SEE SHEET 2 FOR RAINSCREEN DETAIL).

INTERIOR WALLS: 2"X6" OR 2"X4" @ 16" O.C. ON 6 MIL POLY VB ON $\frac{3}{8}''$ APYROC, $\frac{1}{2}''$ DRYWALL (BOTH SIDES).

FOUNDATION/FOOTING: 4" CONC. SLAB IN LIVING AREA, 4" CONC. SLAB IN GARAGE, 6 MIL POLY VB - R-12 INSULATION, 6" CONCRETE PEDESTAL C/W ANCHOR BOLTS ON 8"X24" CONTINUOUS FOOTING.



WEST ELEV.
SCALE: $\frac{1}{4}'' = 1'-0''$

SOUTH ELEV.
SCALE: $\frac{1}{4}'' = 1'-0''$

PROJECT INFO:
Showroom at
14030 100A Ave, Surrey BC

CLIENT:
Parkgroup

NO.	DATE	BY	DESCRIPTION
01			
02			
03			
04			
05			
06			
07			
08			
09			
10			

DATE:

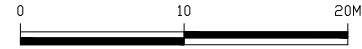
PROJECT NO: 24-TI

DRAWN BY: GSJ

CHECKED BY: RW

SCALE: As Noted

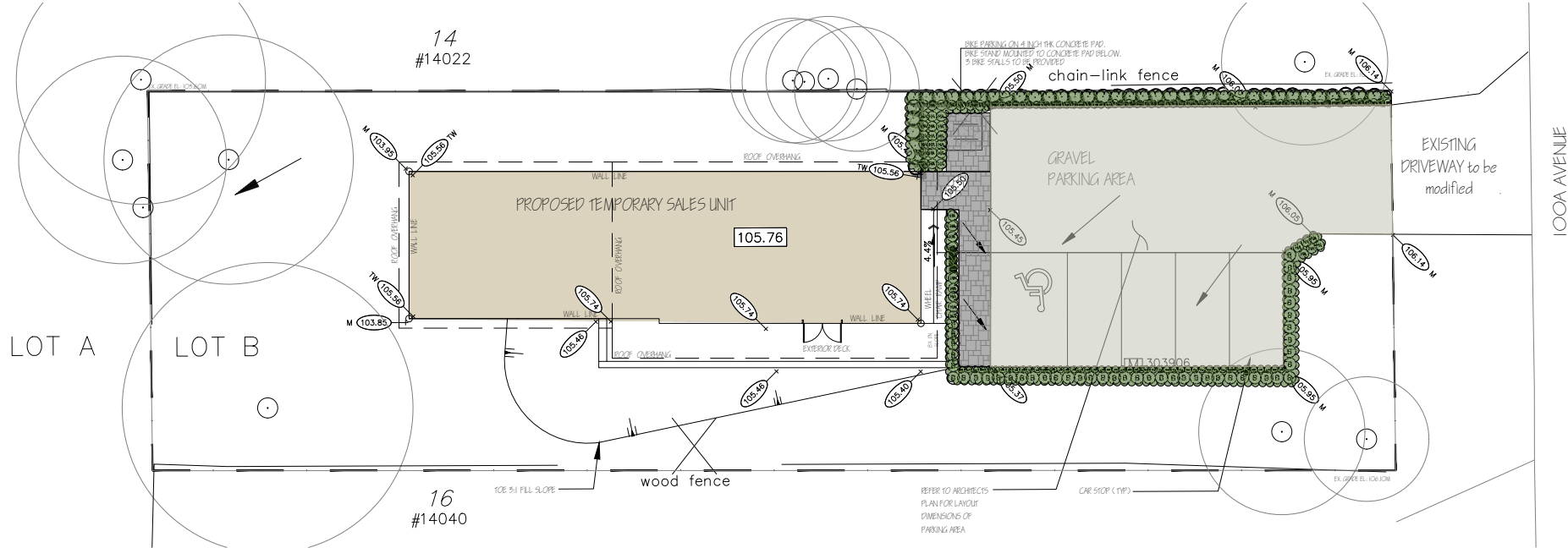
REVISION:



© Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.

pmg
LANDSCAPE
ARCHITECTS
Suite C100 - 4185 Gill Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
13	24 JUN 12	NEW SALES OFFICE PLAN	DD
14	24 APR 04	CP Amendment	DD
	24 MAR 01	ISSUED FOR BP	DD
13	24 FEB 01	NEW SITE PLAN	DD
12	24 JAN 08	NEW SITE LINES AND ELECTRICAL PLANS	DD
11	23 DEC 21	NEW SITE PLAN	DD
10	23 NOV 07	TIP permit	DD
9	23 JUN 12	REVISION AS PER CITY COMMENTS	DD
8	23 JUN 06	REVISION AS PER CITY COMMENTS	DD
7	23 MAY 26	NEW SITE PLAN/CITY COMMENTS	DD
6	23 APR 13	REVISION AS PER CITY COMMENTS	DD
5	23 APR 06	REVISION AS PER CITY COMMENTS	DD
4	23 MAR 23	CITY COMMENTS/NEW SITE SECTIONS PLAN	DD
3	22 NOV 03	NEW SITE PLAN/CITY COMMENTS	DD
2	22 MAR 02	NEW SITE PLAN	DD
1	22 FEB 16	NEW SITE PLAN	DD



PROJECT:
RESIDENTIAL DEVELOPMENT
"The Stand"
10028 140 Street
SURREY
CITY FILE No: 7922-0187-00
DRAWING TITLE:
SALED CENTRE PLAN

DATE: October 1, 2021 DRAWING NUMBER:
SCALE: 1:100
DRAWN: DD
DESIGN: DD
CHKD: PCM **OF 11**

PLANT SCHEDULE- SALES CENTER				PMG PROJECT NUMBER: 21-184
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB	45	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 40CM
MASS	41	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	2M HT; 880
MASS	111	CAREX OSHIMENSIS EVERGOLD	JAPANESE SEDGE	#1 POT
MASS	41	HAKONECHLOA MACROALLOIDY	ALLIGOLD JAPANESE FOREST GRASS	#1 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.





INTER-OFFICE MEMO

TO: Director, Development Planning, Planning and Development Department

FROM: Development Process Manager, Engineering Department

DATE: June 28, 2024 **PROJECT FILE: 7824-0060-00**

RE: Engineering Requirements
Location: 14030 100A Ave

TEMPORARY USE PERMIT

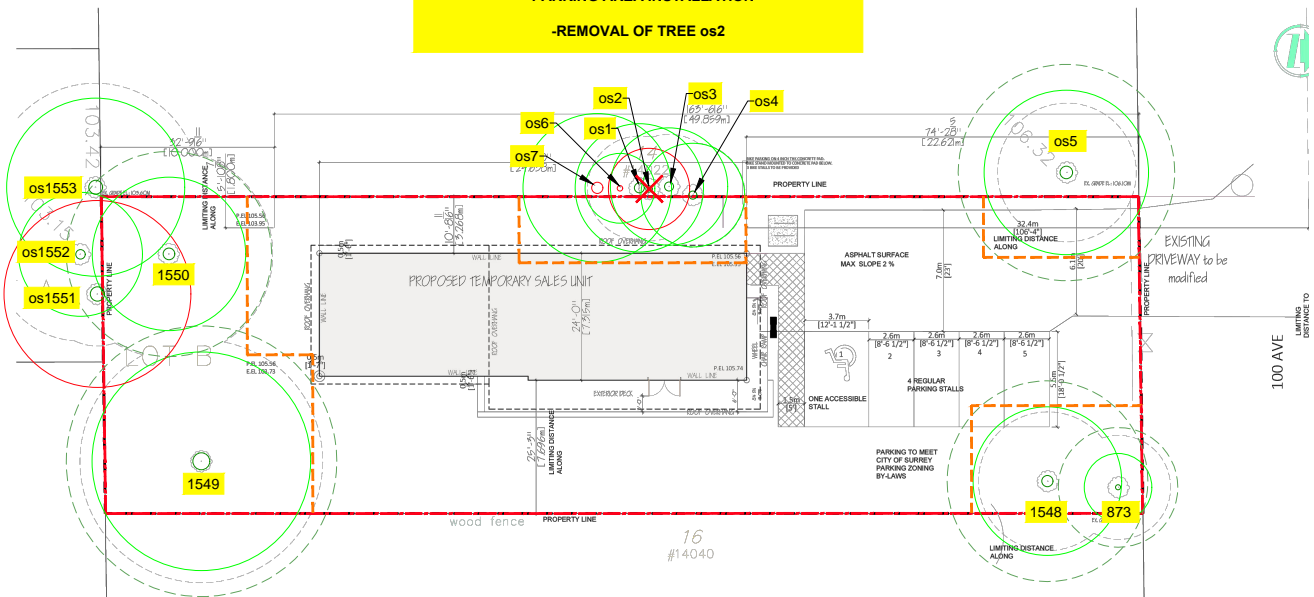
The following requirements for the proposed Temporary Use Permit are to be addressed as conditions of the subsequent Building Permit:

- Construct 6.0 m asphalt driveway on 100A Avenue.
- Provide on-lot storm mitigation to manage all stormwater runoff.
- Provide meter and backflow preventer at property line on the existing water connection.

A Servicing Agreement is not required.

Daniel Sohn, P.Eng.
Development Process Manager

ARBORIST TO SUPERVISE:
- BUILDING FOOTPRINT EXCAVATION
- PARKING AREA INSTALLATION
- REMOVAL OF TREE os2



TREE INVENTORY			
ID #	SPECIES	DBH (cm)	TPZ (m)
873	TULIP	30	1.80
1548	WILLOW	66	3.96
1549	WESTERN RED CEDAR	97	5.82
1550	ENGLISH OAK	68	4.08
os1	DOUGLAS FIR	57	3.42
os2	DOUGLAS FIR	36	2.16
os3	DOUGLAS FIR	52	3.12
os4	DOUGLAS FIR	46	2.76
os5	NORWAY SPRUCE	73	4.38
os6	WESTERN RED CEDAR	31	1.86
os7	DOUGLAS FIR	66	3.96
os1551	LOMBARDY POPLAR	83	4.98
os1552	DOUGLAS FIR	55	3.30
os1553	DOUGLAS FIR	79	4.74

LEGEND

- = Tree Location
- (red) = Non Surveyed Tree
- (blue) = Undersize Tree
- ⊗ = Remove Tree
- ⊖ = Tree Barrier
- = No Build Zone/ 1.5m TPZ offset
- - - = Assumed Excavation

NOTES:
- NON SURVEYED TREE LOCATIONS ARE APPROXIMATE
- RED TPZ INDICATES POOR RETENTION SUITABILITY. ALL OTHERS ARE GOOD OR MODERATE, REFER TO ARBORIST REPORT

TREE PLAN FOR CONSTRUCTION AT
14030 100A AVENUE, SURREY
 SCALE: 1:300
 DATE: JUNE 27, 2024
 TREE PLAN BY: AS



CITY OF SURREY

(the "City")

TEMPORARY USE PERMIT

NO.: 7924-0060-00

Issued To:

("the Owner")

Address of Owner:

1. This temporary use permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this temporary use permit.
2. This temporary use permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 009-759-701

LOT 15 SECTION 25 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT
PLAN 13037

14030 100A Ave

("the Land")

3. The authority to issue Temporary Use Permits is granted to municipalities under Sections 492 and 493 of the *Local Government Act* R.S.B.C. 2015, c.1. Pursuant to Implementation, II(c) Implementation Instruments, Temporary Use Permits of Surrey Official Community Plan, 2013, No. 18020, as amended, the entire City of Surrey is designated a Temporary Use Permit area.
4. The temporary use permitted on the Land shall be for a real estate sales centre and associated surface parking lot.
5. The temporary use permitted on the Land shall be in accordance with:
 - (a) The appearance and location of the buildings, access and parking as shown on Schedule A which is attached hereto and forms part of this permit.

6. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) Parking is restricted to vehicles less than 5,000 kilograms GVW;
 - (b) Parking is restricted to vehicles for use by visitors and staff of the real estate sales centre; and
 - (c) Upon termination of this Temporary Use Permit, the real estate centre and temporary parking shall be removed, and the land restored to its original condition.

7. As a condition of the issuance of this temporary use permit, Council is holding security set out below (the "Security") to ensure that the temporary use is carried out in accordance with the terms and conditions of this temporary use permit. Should the Owner fail to comply with the terms and conditions of this temporary use permit within the time provided, the amount of the Security shall be forfeited to the City. The City has the option of using the Security to enter upon the Land and perform such works as is necessary to eliminate the temporary use and bring the use and occupancy of the Land into compliance with Surrey Zoning By-law, 1993, No. 12000, as amended (the "Works"). The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Works. There is submitted accordingly:

Cash in the amount of \$5,000.00

8. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this temporary use permit. This temporary use permit is not a building permit.

9. An undertaking submitted by the Owner is attached hereto as Appendix I and forms part of this temporary use permit.

10. This temporary use permit is not transferable.

11. This temporary use permit shall lapse on or before three years from date of issuance.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS TEMPORARY USE PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS TEMPORARY USE PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

Authorized Agent: Signature

Name (Please Print)

OR

Owner: Signature

Name: (Please Print)

TO THE CITY OF SURREY:

I, _____ (Name of Owner)

being the owner of _____

(Legal Description)

known as _____

(Civic Address)

hereby undertake as a condition of issuance of my temporary use permit to:

- (a) demolish or remove all buildings and/or structures that are permitted to be constructed pursuant to the temporary use permit issued to me; and
- (b) restore the land described on the temporary use permit to a condition specified in that permit;

all of which shall be done not later than the termination date set out on the temporary use permit.

I further understand that should I not fulfill the undertaking described herein, the City or its agents may enter upon the land described on the temporary use permit and perform such work as is necessary to eliminate the temporary use and bring the use and occupancy of the land in compliance with Surrey Zoning By-law, 1993, No. 12000, as amended, and that any securities submitted by me to the City pursuant to the temporary use permit shall be forfeited and applied to the cost of restoration of my land as herein set out.

This undertaking is attached hereto and forms part of the temporary use permit.

(Owner)

(Witness)

EXISTING ROAD CENTRE LINE GRADE ELEV. : 1.30M
 EXISTING AVERAGE (NATURAL) GRADE ELEV. : 1.21M
 PROPOSED AVERAGE LOT GRADE ELEV. : 1.21M
 FINISHED GRADE AT HOUSE CORNERS ELEV.: 1.40M
 TOP OF SLAB ELEV. = 1.60M.

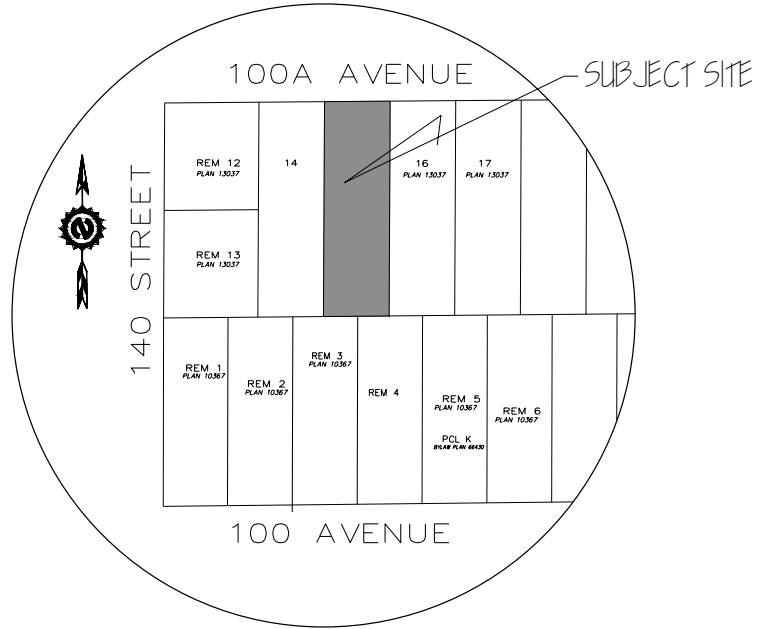
FIRM NAME:		FLAT ARCHITECTURE Inc.		The architect noted herein has exercised responsible control with respect to design activities.					
		The info is prepared for New work only							
NAME OF PROJECT:		TEMPORARY SHOW CENTRE							
LOCATION:		14030 100A AVENUE SURREY BC		2018 BCBC REFERENCE					
BC BUILDING CODE 2018				References are to Division B unless noted [A] for Division A or [C] for Division C.					
ITEM									
1	Project Description: ...describe the project with a brief narrative...	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration - tenant Improvement	TEMPORARY SHOW SUITE		[A] 1.1.1.1.				
2	Major Occupancy Classification	Group " D " PART 9			3.1.2.6				
	Code Classification	Group " D " PART 9			TABLE 3.2.2.28				
3	Area (sq.m.)	177.47 m2			[A] 1.4.1.2.				
4	Building Height (storeys):	1 Storey	BUILDING AREA = 177.47 m2						
5	Number of Streets Building is Facing:	One			3.2.2.10.				
	Fire Fighter Access Routes:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			3.2.5.6				
6	Construction Relative to Occupancy Classification:	COMBUSTIBLE CONSTRUCTION			3.2.2.61, 3.2.2.75				
7	Sprinkler System Proposed:	<input type="checkbox"/> Entire Building (EXTG)	BUILDING NOT SPRINKLERED		3.2.5.12				
8	Electrical Requirements:	Fire Alarm Required:	<input type="checkbox"/> Yes (extg) <input checked="" type="checkbox"/> No		3.2.4.1				
		Emergency Lighting Provided:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.2.7.3.				
		Exit Signs Provided:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		3.4.5.1. and 3.4.5.2.				
9	Required Fire Resistance Rating (F.R.R.) of Assemblies	Floors:	N/A extg to remain. Match extg on site		3.2.2.61				
		Suite Separation:	1 HR TO Adjoining Occupancy	Fire Separation <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	3.3.2.2				
10	Occupant Load Calculations:	Occupancy	Type of Use	Floor Area (sq. m.)	Area per Persons	Occupant Load (Persons)	Occupant Load Staff (Persons)	Designed Occupancy (Persons)	3.1.17.1.
		D	OFFICE USE	177.47 m2	4.60 / M2	38.5 persons	2 persons	10 Persons (notice to be posted)	
11	Smoke Detectors	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	EXISTING refer base building drawings.						3.2.4.11
12	UNIVERSAL WASHROOM	1 PROVIDED							
13	TRAVEL DISTANCE	GROUP D AREA 177 M2	Non Sprinklered	Max travel distance 25m					3.3.1.5-A

EXISTING ZONING : RF
 BUILDING SPACE 177 M2
 BUILDING HEIGHT : 5.84 m
 PARKING REQD :
 2.5 PER 100 M2 = 4.425 STALLS
 TOTAL STALLS PROVIDED : 5
 ACCESSIBLE STALL : 1

SETBACKS :

North : 22.62 m
 South : 12.60 m
 East : 7.087 m
 West : 3.87m

CONTEXT PLAN



Unit 205- 6321 King George Blvd
 Surrey BC, V3X 1G1
 www.flatarchitecture.ca
 contact@flatarchitecture.ca
 Ph: 604-503-4484

PROJECT INFO:
Showroom at
14030 100A Ave, Surrey BC

CLIENT :
Parkgroup

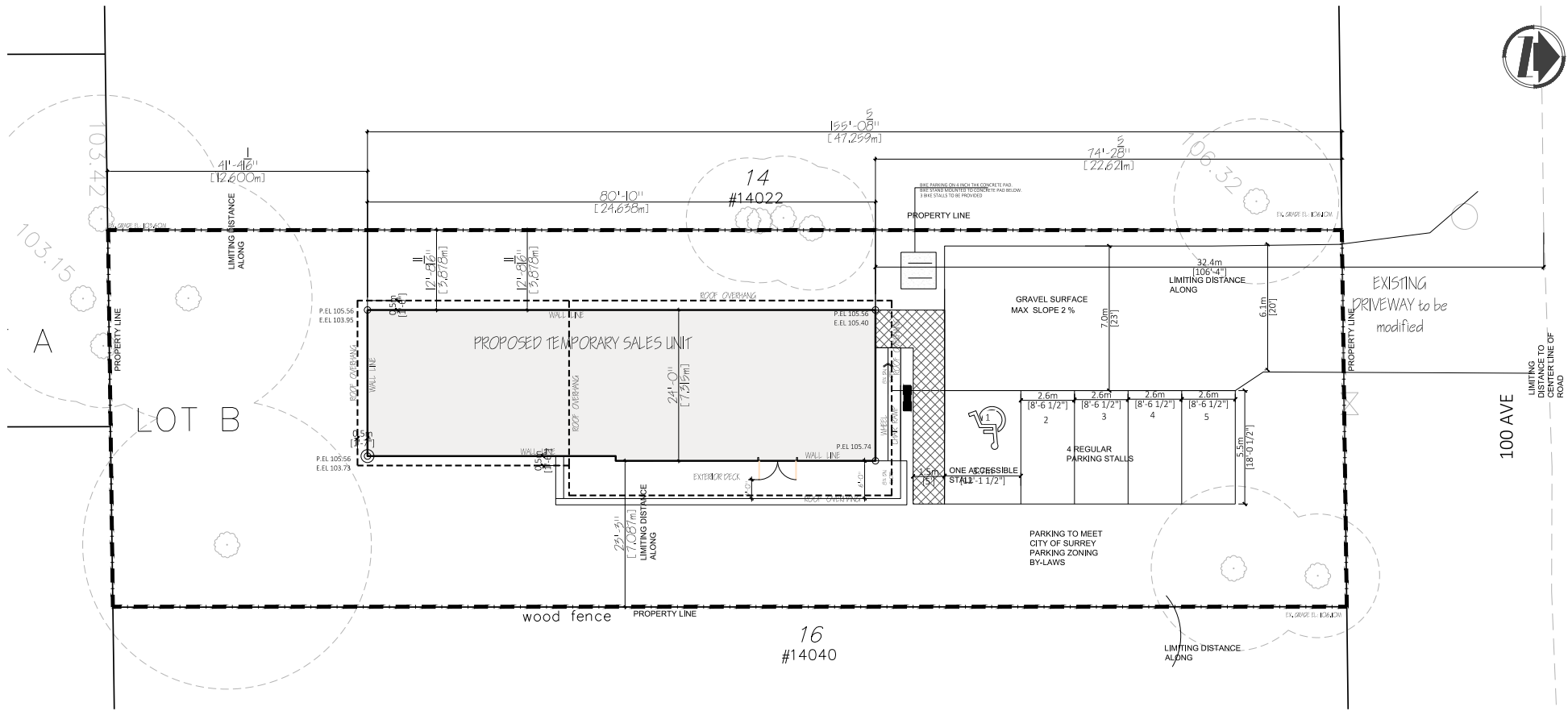
NO.	DATE	BY	DESCRIPTION

DATE	
PROJECT NO:	24-TI
DRAWN BY:	GSJ
CHECKED BY:	RW
SCALE:	As Noted
REV NO:	

SHEET NO:
A 0.0

THESE PLANS CONFORM TO THE 2018 EDITION OF THE BCBC.

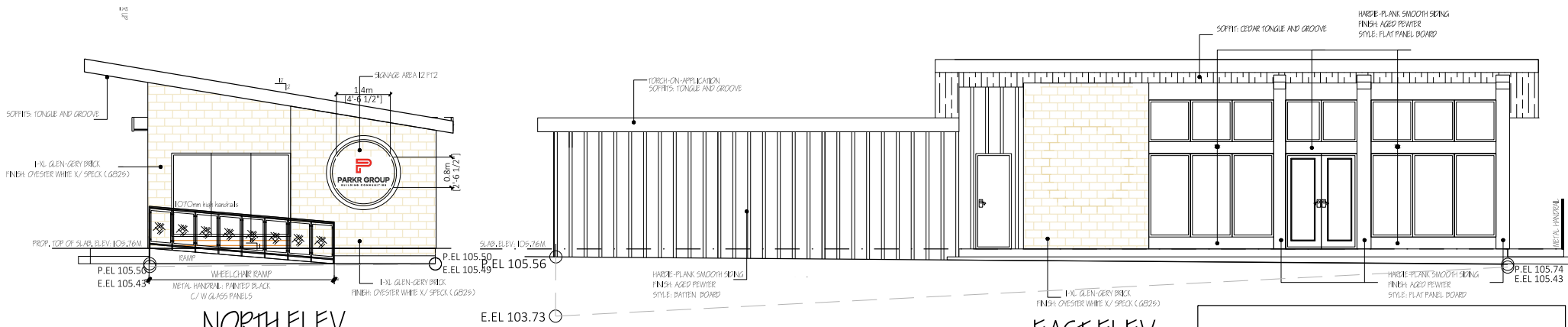
COVER SHEET



SITE PLAN SCALE 1/8" = 1'-0"

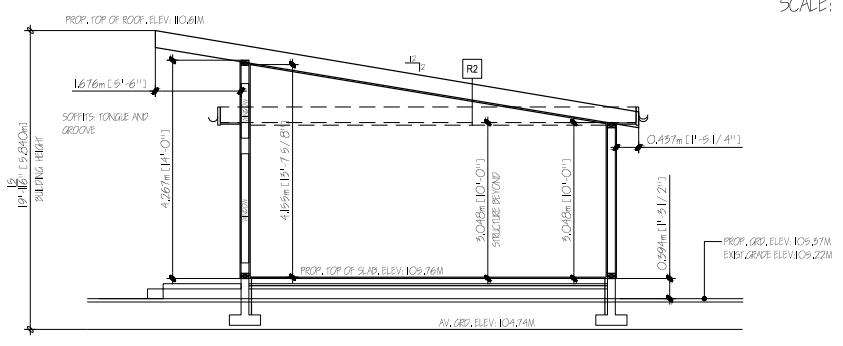
REV	DESCRIPTION	BY	DATE
04			
03			
02			
01			

DATE	15 May 2024
PROJECT NO.	24-TI
DRAWN BY:	GSJ
CHECKED BY:	RW
SCALE	As Noted
REV NO.	



NORTH ELEV.
SCALE: 1/4" = 1'-0"

EAST ELEV.
SCALE: 1/4" = 1'-0"



CROSS SECTION
SCALE: 1/4" = 1'-0"

THESE PLANS CONFORM TO THE 2018 EDITION OF THE BCBC.

BUILDING SPECIFICATIONS:

ROOFING: FLAT ROOFING: HOT APPLIED RUBBERIZED ASPHALT ROOFING / TORCH-ON APPLICATION ON 1/2" OSB ON PRE-ENGINEERED 2X14 TRUSS JOISTS @24" O.C. R-28

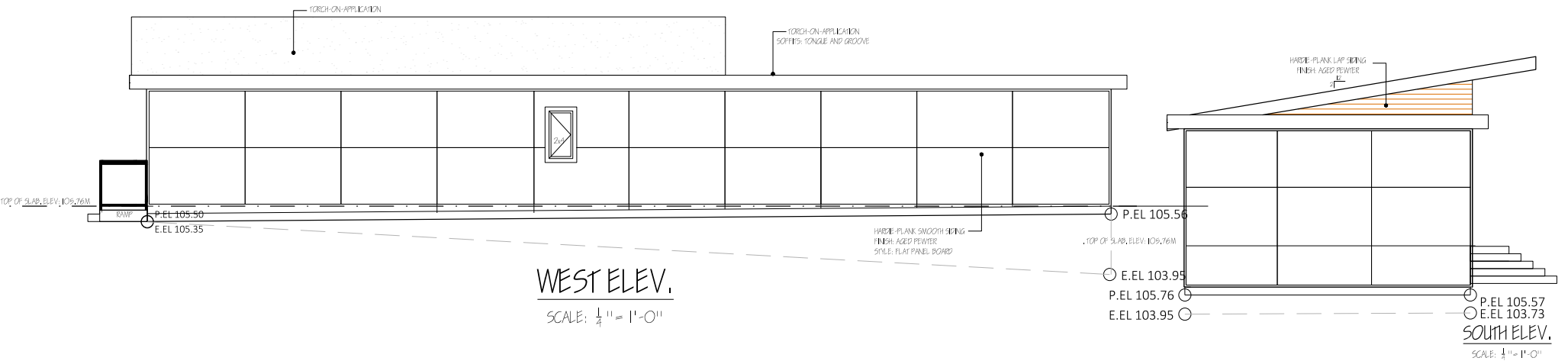
INSULATION ON 6 MIL POLY VB ON 3/8" DRYWALL. VENT 1/300.

EAVES: DECORATIVE FASCIA BOARD, EXPOSED GUTTERS WITH EXPOSED DOWNSPOUTS, VENTED SOFFITS.

EXTERIOR WALLS: STUCCO/ROCK EXTERIOR FACE, C/W 2X6 STUDS @ 16" - R-20 INSULATION ON 6 MIL POLY VB ON 3/8" APYROC (SEE SHEET 2 FOR RAINSCREEN DETAIL).

INTERIOR WALLS: 2"X6" OR 2"X4" @ 16" O.C. ON 6 MIL POLY VB ON 3/8" APYROC, 1/2" DRYWALL (BOTH SIDES).

FOUNDATION/FOOTING: 4" CONC. SLAB IN LIVING AREA, 4" CONC. SLAB IN GARAGE, 6 MIL POLY VB - R-12 INSULATION, 6" CONCRETE PEDESTAL C/W ANCHOR BOLTS ON 8"X24" CONTINUOUS FOOTING.



WEST ELEV.
SCALE: 1/4" = 1'-0"

SOUTH ELEV.
SCALE: 1/4" = 1'-0"

NO.	DATE	BY	DESCRIPTION
01			
02			
03			
04			
05			
06			
07			
08			
09			
10			

DATE	
PROJECT NO:	24-TI
DRAWN BY:	GSJ
CHECKED BY:	RW
SCALE:	As Noted
SHEET NO:	