

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7924-0051-00

Planning Report Date: December 16, 2024

PROPOSAL:

• **Development Permit**

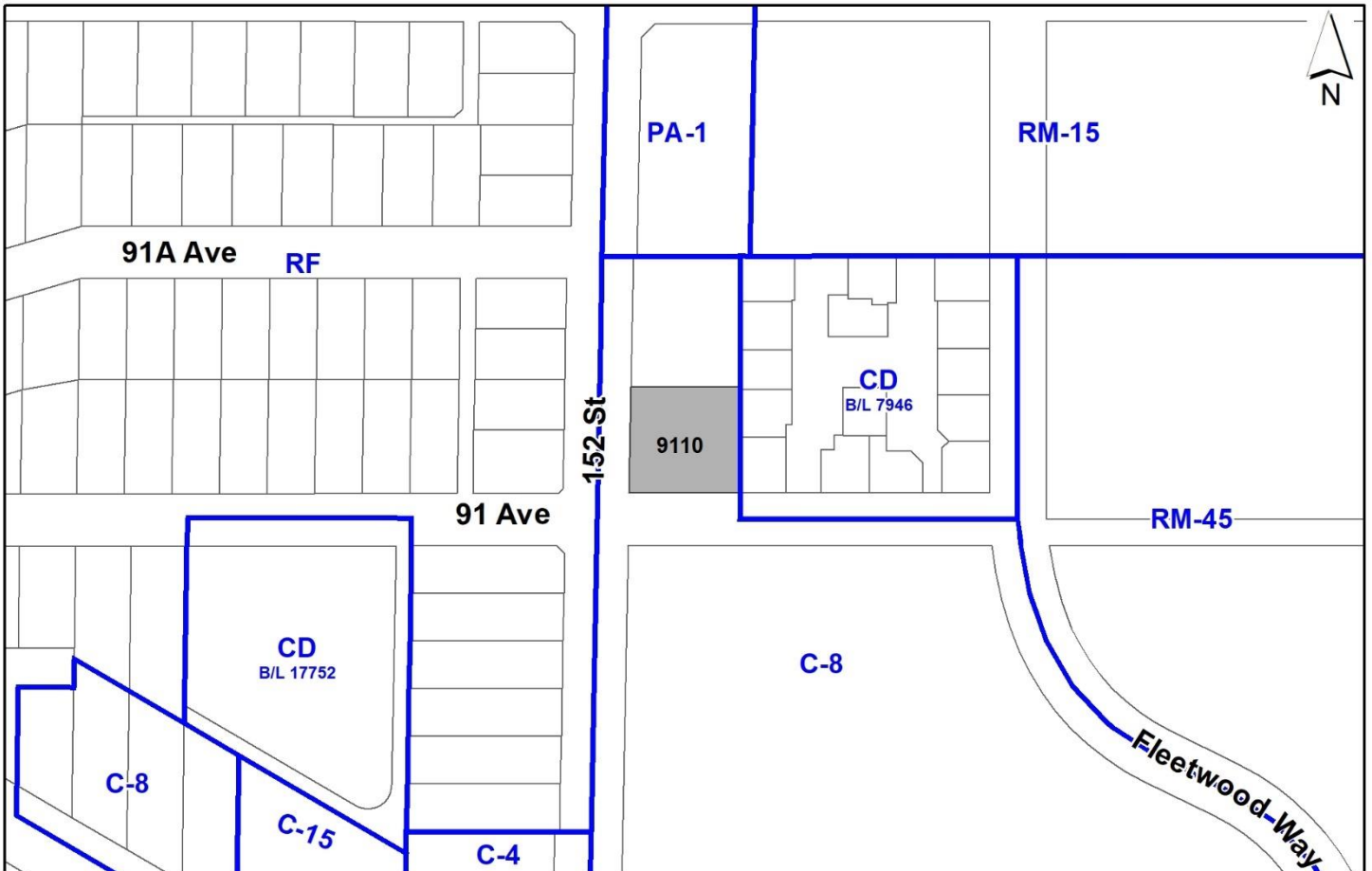
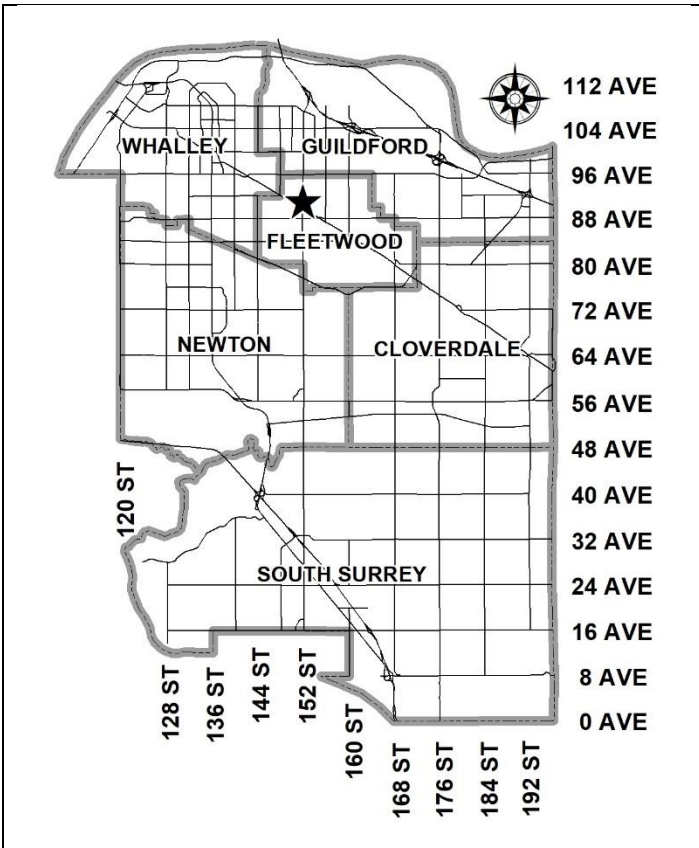
to permit exterior changes to an existing eating establishment including a drive-through restaurant window and associated queueing.

LOCATION: 9110 - 152 Street

ZONING: C-8

OCP DESIGNATION: Commercial

TCP DESIGNATION: Low to High Rise Mixed Use - Fleetwood Plan



RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Form and Character.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Commercial designation in the Official Community Plan (OCP).
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed renovations achieve a more urban, pedestrian streetscape in general compliance with the Fleetwood Plan design guidelines and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The proposed building renovation achieves an attractive architectural built form, which utilizes high quality materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7924-0051-00 generally in accordance with the attached drawings (Appendix I).
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) registration of a Section 219 Restrictive Covenant stipulating that, should 152 Street be widened to the City's ultimate Arterial Road Standard, the owner agrees to remove the patio area at full cost to the owner, to the satisfaction of the General Manager, Engineering.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Eating establishment (Dairy Queen)	Commercial (OCP) / Low to High-rise Mixed Use (Fleetwood Plan)	C-8
North:	Offices	Commercial (OCP) / Low to High-rise Mixed Use (Fleetwood Plan)	C-8
East:	Small scale commercial and personal service facilities	Commercial (OCP) / Low Rise Residential (Fleetwood)	CD (Bylaw No. 7946)
South (Across 91 Avenue):	Retail stores, office uses, eating establishments, liquor store	Commercial (OCP) / High Rise Mixed Use (Fleetwood)	C-8
West (Across 152 Street):	Single Family Dwellings	Urban (OCP) / Low to High-rise Mixed Use (Fleetwood Plan)	R3

Context & Background

- The 1,717 square metre subject property is located at 9110 - 152 Street and zoned Community Commercial Zone (C-8). It is designated "Commercial" in the OCP and "Low to High Rise Mixed Use" in the Fleetwood Plan.
- The applicant is proposing a facelift of the building's exterior through installation of the franchise's new visual identity including the removal of the existing solarium on the west side of the property along 152 Street. The solarium will be converted into an open patio.

- The subject site was first developed under Development Application No. 6984-0206-00 for a rezoning and development variance permit application. The property was rezoned to Retail Commercial Zone One (C-R(1)) under Zoning Bylaw 5942. The C-R(1) zone allowed "restaurant and coffee shop" as a permitted use, however, there was no language in the zone about a drive-through. The development drawings associated with the application included a drive-through.
- In 1983, Zoning Bylaw 12000 was adopted and the Retail Commercial Zone One (C-R(1)) became Community Commercial Zone (C-8). The C-8 Zone allows eating establishments as a permitted use excluding drive-through restaurants.
- The existing drive-through use, building setbacks and parking are considered to be "existing, non-conforming" given the historic uses on the site. A Development Variance Permit will not be required for the west front yard setback, drive-through window, number of parking spaces and landscaping.
- The subject property shares an access easement with 9128 and 9138 152 Street, north of the property.

DEVELOPMENT PROPOSAL

Planning Considerations

- In order to permit exterior renovations to an existing eating establishment, including accommodating a drive-through restaurant window with associated queuing, the applicant requires a Development Permit for Form and Character.

	Proposed
Lot Area	
Gross Site Area:	1,717 square metres
Net Site Area:	1,717 square metres
Number of Lots:	1
Building Height:	5 metres
Floor Area Ratio (FAR):	0.2
Floor Area	
Commercial:	348 square metres
Total:	348 square metres

Referrals

- Engineering: The Engineering Department has no objection to the project subject to the restrictive covenant required in case of 152 Street arterial road widening.
- Surrey Fire Department: No concerns. Comments provided to be addressed as part of the associated Building Permit.
- Urban Design: No concerns. Provide more details on proposed railing in open patio area.

Transportation Considerations

Access:

- Access to the site is proposed from 152 Street and 91 Avenue by retaining the existing driveway locations.

Parking:

- The existing eating establishment currently provides 22 parking stalls onsite. The required number of parking spaces is 35, based on 10 parking spaces per 100 square metres gross floor area. Due to the site's accessibility to public transit, the drive-through window and regular eating establishment foot traffic, the proposed number of parking stalls is anticipated to adequately meet the parking needs of the eating establishment.

Transit and/or Active Transportation Routes:

- TransLink Bus 320 travels between Langley through Fleetwood to Surrey Central Station and has a bus stop right in front of the subject site on 152 Street. TransLink Bus 375 travels from White Rock to Guildford and has a bus stop just a few steps away from the subject site on 91 Avenue.

Special Building Setback:

- 152 Street, which flanks the west side of the subject property, is classified as an arterial road. Part 7 Special Building Setbacks of the Surrey Zoning Bylaw stipulates that the setback of buildings on a lot abutting an existing or future major road shall be the sum of one-half of the ultimate road width, as measured from the centreline of the ultimate road allowance, plus the required setback of the Zone in which the lot is located.
- The Engineering Department has confirmed that approximately 6.5 metres of future road widening is required from the subject site in order to ultimately widen 152 Street to the City's Arterial Road Standard. As the subject development application does not require the rezoning of the subject site, no additional road dedication is required. The Part 7 Special Building Setback noted above will apply, in addition to the required building setback that is measured beyond this area.
- The Engineering Department has required a Section 219 Restrictive Covenant to be registered on the subject property's title to protect for the ultimate road right of way stipulating that should 152 Street be widened to the City's ultimate Arterial Road Standard, the owner agrees to remove the patio area at full cost to the owner.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the existing "General Urban" designation of the subject site under the Metro Vancouver Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the existing "Commercial" designation of the subject site under the Official Community Plan.

DEVELOPMENT PERMIT

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Fleetwood Plan.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Fleetwood Plan.
- The applicant proposed both interior and exterior changes to an existing commercial building containing an eating establishment (Dairy Queen) in order to provide one drive-through restaurant window along the north side of the building.
- The exterior renovations will include a facelift of the building's exterior through installation of the franchise's new visual identity including the removal of the existing solarium on the west side of the property along 152 Street. The solarium will be converted into an open patio.
- The open patio area will be installed with some railing. The existing slab of the solarium will be retained.
- The proposed changes to the existing commercial building are considered attractive, well designed, contemporary and appropriate within the existing commercial context of this commercial corner on 152 Street and 91 Avenue in Fleetwood.

Landscaping

- Due to the fact that existing landscaping has been installed on the site, the applicant was not required to submit a landscape plan.

Outstanding Items

- The applicant is required to provide more details on the proposed railing in the open patio area.

TREES

- No bylaw-sized trees are impacted by the proposed redevelopment of the site.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Site Plan, Building Elevations and Perspective

approved by Shawn Low

Ron Gill
General Manager
Planning and Development

DQ/cb



Ph: 604.721.9940
 Email: gerry@gerryblonskiarchitect.com
 Suite 1A - 12468 - 52 Ave, Surrey, B.C. V3V 3E9

Gerry Blonski
 Architect a/b.c.



VIEW FROM 1525ST
 TO NORTH-EAST



VIEW FROM 1525T
 TO SOUTH-EAST

Drawing List

DWG. NO. DRAWING TITLE

Architectural

0.1	COVER PAGE
0.2	CONTEXT PLANS
A1	SITE
A2	EAST PLAN
A3	FLOOR PLAN
A4	ROOF PLAN
A5	SOUTHWEST ELEVATIONS
A6	NORTHEAST ELEVATIONS
A7	SECTION 1
A8	DETAILS 2 & 3
A9	DETAILS
L1	SITE LANDSCAPING
L2	SITE LANDSCAPING IMAGES

DAIRY QUEEN ALTERATIONS

9110 1525T
 SURREY B.C.

Owner:
DAIRY QUEEN
 9110 1525T
 SURREY B.C.
 TEL: (604) 721 9940
 EMAIL: dqb@dqqueen.com
 CONTACT: Robert Munn

Architectural:
GERRY BLONSKI ARCHITECT
 SUITE 1A - 12468 - 52 AVE.
 SURREY, B.C. V3V 3E9
 TEL: (604) 912 3908
 FAX: (604) 912 3909
 EMAIL: gerry@gerryblonskiarchitect.com
 CONTACT: Gerry Blonski, a.i.b.c.

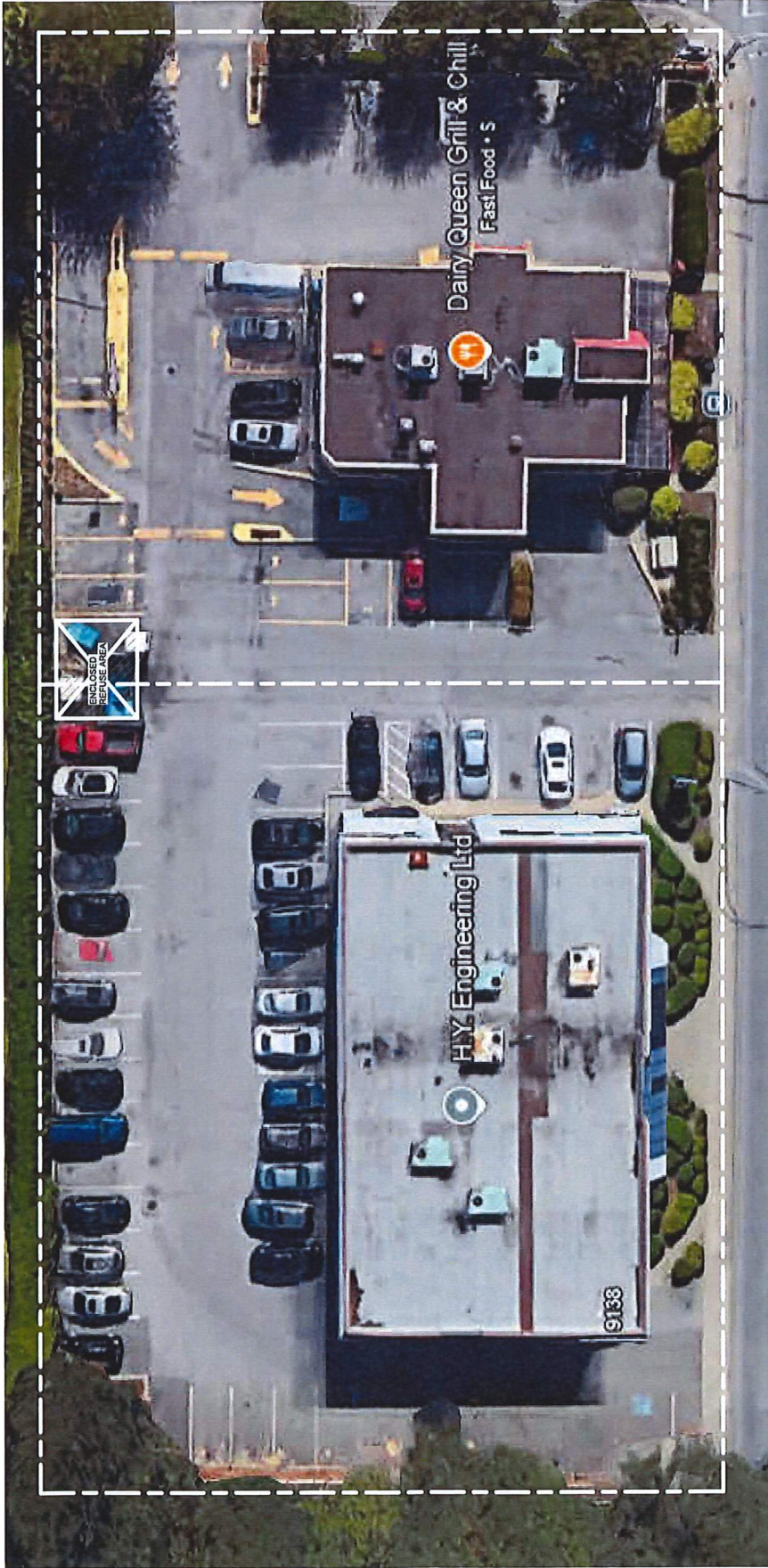


SOUTH WEST STREET VIEW
N.T.S



ENCLOSED REFUSE
N.T.S

1 CONTEXT PLAN
3/32" = 1'-0"



9110 152ST
SURREY B.C.

Job No. 23-44 Drawn: NM Checked: --

DAIRY QUEEN ALTERATIONS
Gerry Blonski
architect a.b.c.

Site: 1A-1248 - 82nd Ave., Surrey, B.C. V3V 3E9
Email: gerry@gerryblonskiarch.com
PH: 604.572.3004





Architect a.l.b.c.
 9110 152ST
 SURREY B.C.
 Checked: -
 Job No. 23-14
 Drawn: NM
 DEC 07 2023 ISSUED FOR DP

Gerry Blonski
 ARCHITECT A.L.B.C.

DAIRY QUEEN ALTERATIONS
 9110 152ST
 SURREY B.C.
 Checked: -
 Job No. 23-14
 Drawn: NM
 DEC 07 2023 ISSUED FOR DP

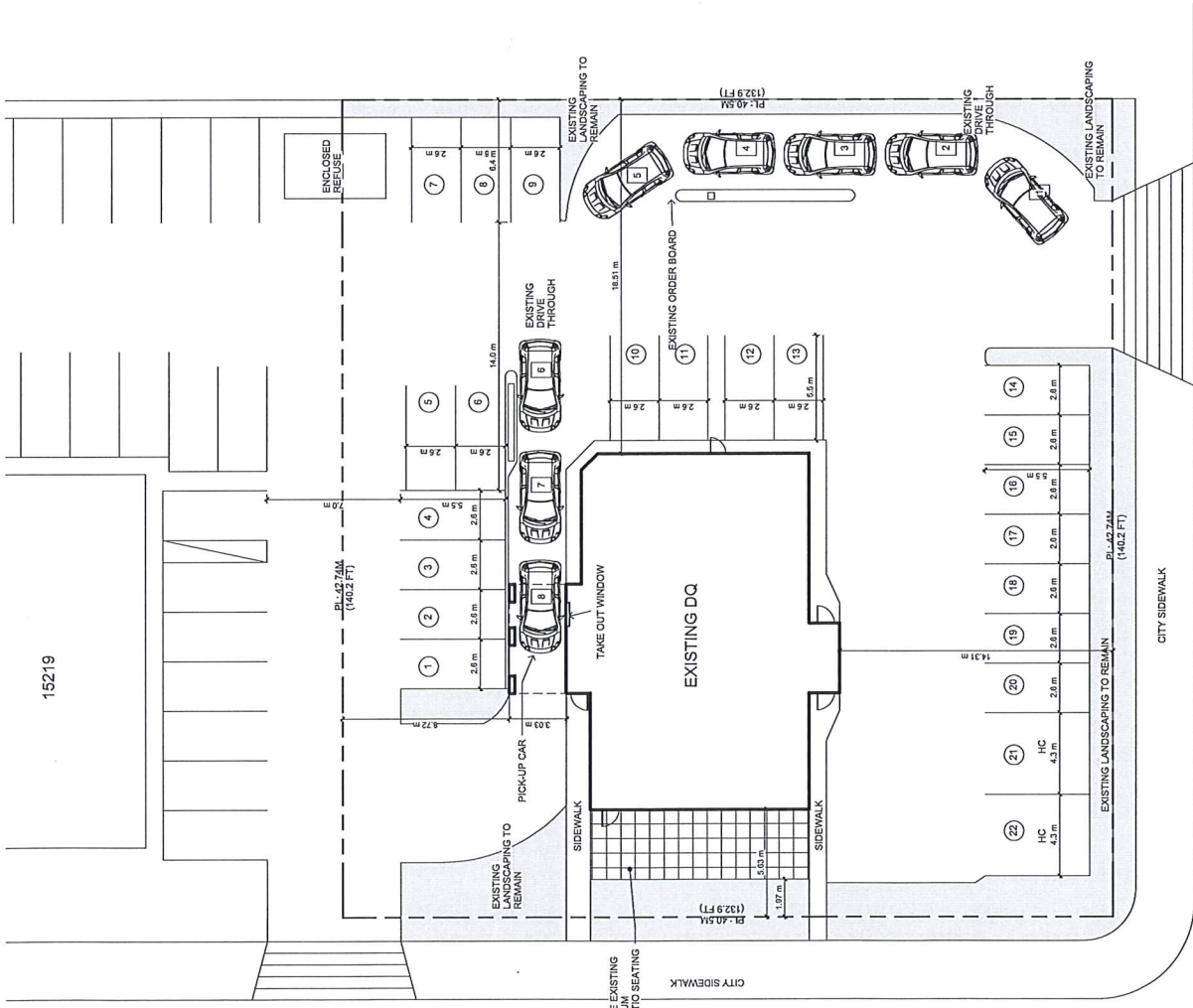
LEGAL DESCRIPTION
 LOT 51
 SECTION 35
 DISTRICT Z
 PLAN NWP7609 NWD

ZONING SYNOPSIS

ZONE C-8
 SITE AREA 1,717 SQM
 FLOOR AREA PERMITTED 0.8x1717 1,373.6 SQM
 EXISTING 1,174.4
 FIRST FLOOR 273.3
 TOTAL 396.7 SQM
 REMOVE SOLARIUM (42.4)
 PROVIDED 348.3 SQM
 PERMITTED 0x1717 898.5

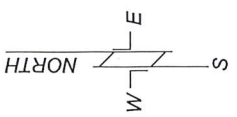
EXISTING 396.7
 FIRST FLOOR 273.3
 REMOVE SOLARIUM (42.4)
 REMOVE SOLARIUM 396.7 SQM
 BUILDING HEIGHT MAX PERMITTED 12 M
 EXISTING CHANGED 5 M

PARKING
 PARKING REQUIRED FOR EXISTING BY-LAW WANT TO COMPLY WITH CURRENT BY-LAW 348.3/10= 34.8 35
 REDUCTION FOR REMOVAL OF SOLARIUM 42.4/10=4.24 4
 TOTAL REQUIRED TO COMPLY WITH BY-LAW 31 SPACES
 EXISTING PARKING 20
 STANDARD 22 SPACES
 HC



91 AVE

1 SITE PLAN
 1" = 10'-0"





PH: 604-572-2008
 Email: gerry@blonskiarchitect.com
 Suite 1A - 12488 - 82nd Ave., Surrey, B.C. V3W 2E9
 architect a.i.b.c.

Gerry Blonski
 DAIRY QUEEN ALTERATIONS

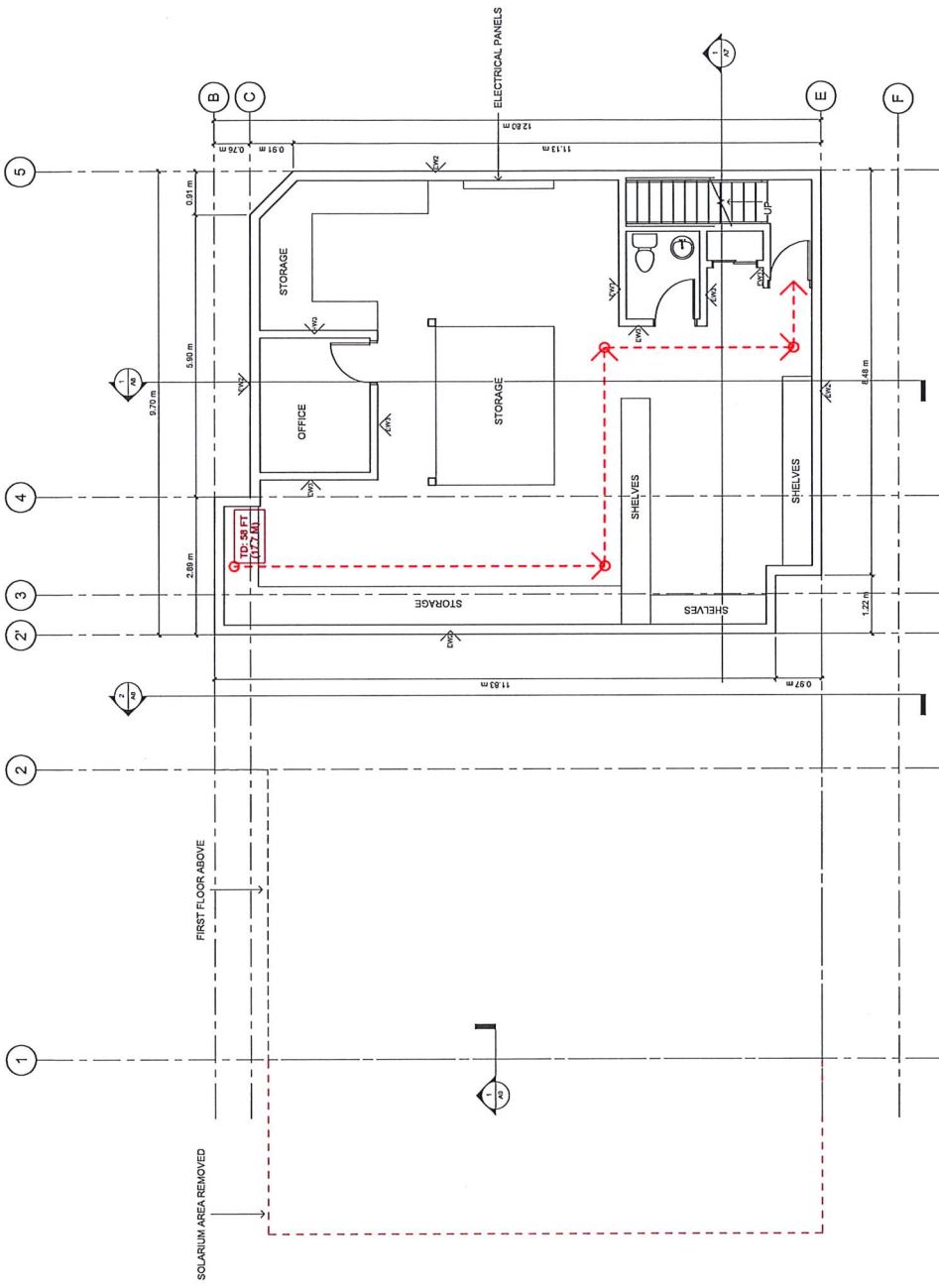
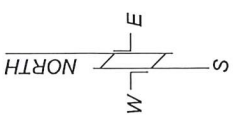
9110 152ST
 SURREY B.C.

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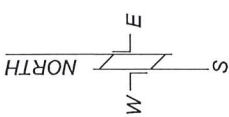
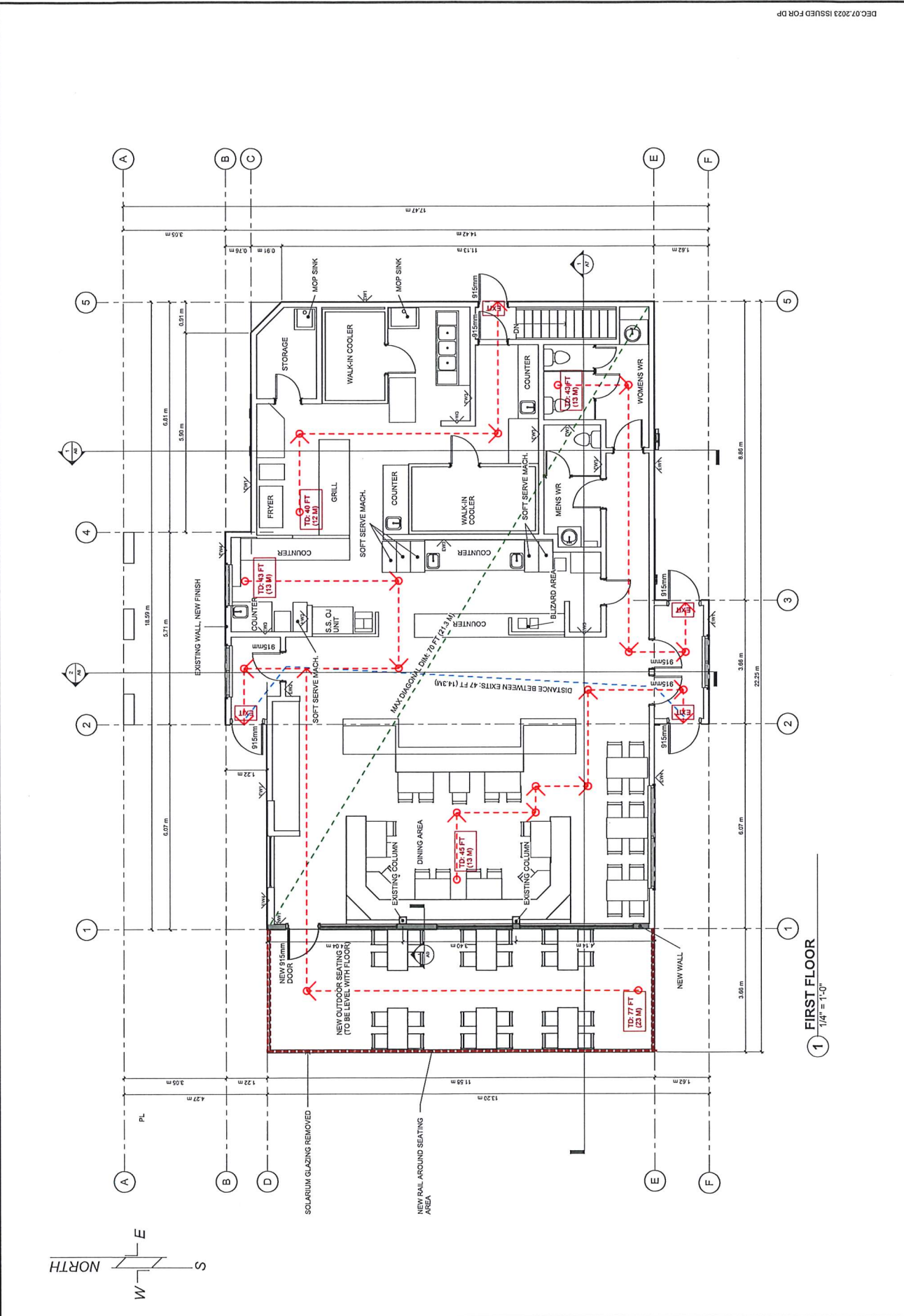
BASEMENT PLAN

A2

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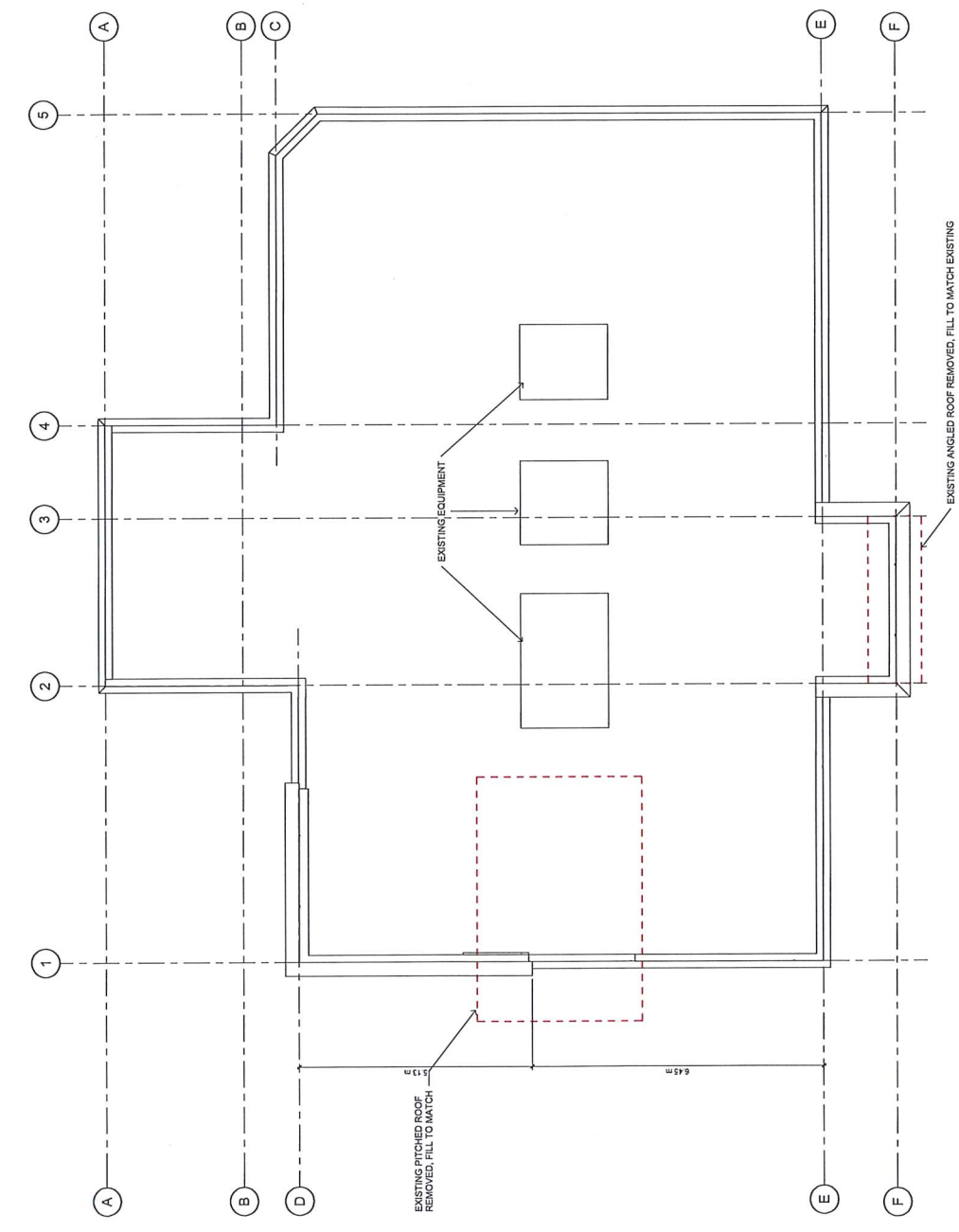
1 BASEMENT
 1/4" = 1'-0"



1 FIRST FLOOR
1/4" = 1'-0"

A4

DEC 07 2023 ISSUED FOR DP



1 ROOF
1/4" = 1'-0"



9110 152ST SURREY B.C.
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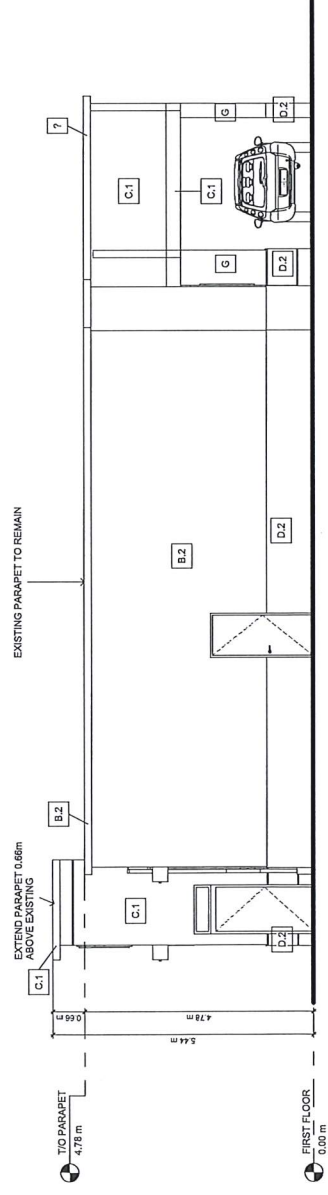
DAIRY QUEEN ALTERATIONS
 architect a.l.b.c.

A6
 NORTH/EAST ELEVATIONS

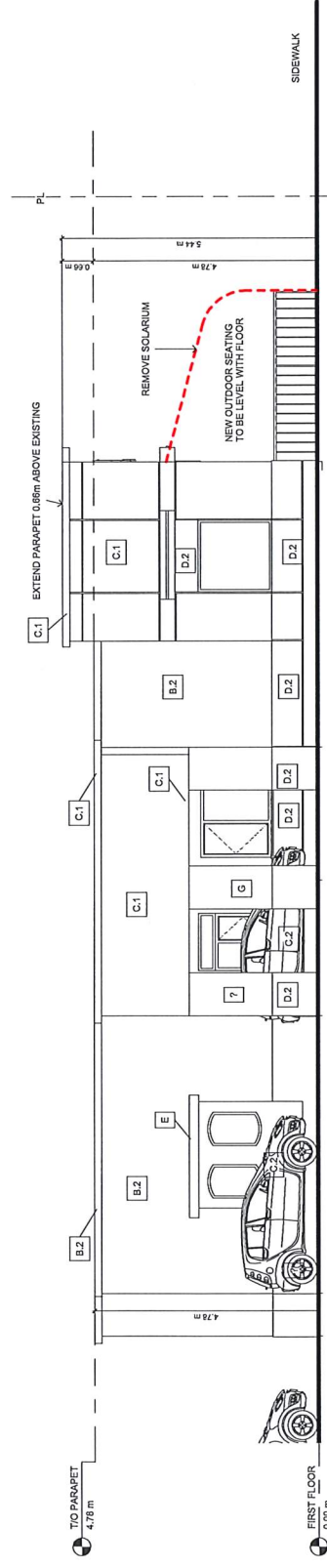
EXTERIOR FINISHES.
 EXISTING STUCCO TO BE REPAIRED TO
 AS NEW APPEARANCE AND PAINTED TO
 COLOUR SCHEDULE

ITEM	MATERIAL	COLOUR	SUPPLIER
B.2	PAINT	TEMPORAL SPIRIT 965	BENJAMIN MOORE
C.1	PAINT	CALENTE AF-290	BENJAMIN MOORE
D.2	PAINT	DEEP CREEK 1477	BENJAMIN MOORE
E	STEEL	SILVER METALLIC	HOLCH ELEVATE
G	ALUMINUM	EXTRA DARK BRONZE	HOLCH ELEVATE
H	PAINT	BIG COUNTRY BLUE 2089-50	BENJAMIN MOORE
I	ACRYLIC	BLACK	BENJAMIN MOORE
K	ALUMINUM	DARK BRONZE ANODIZED	OLDCASTLE
L.2	PAINT	WILLOW CREEK 1488	BENJAMIN MOORE

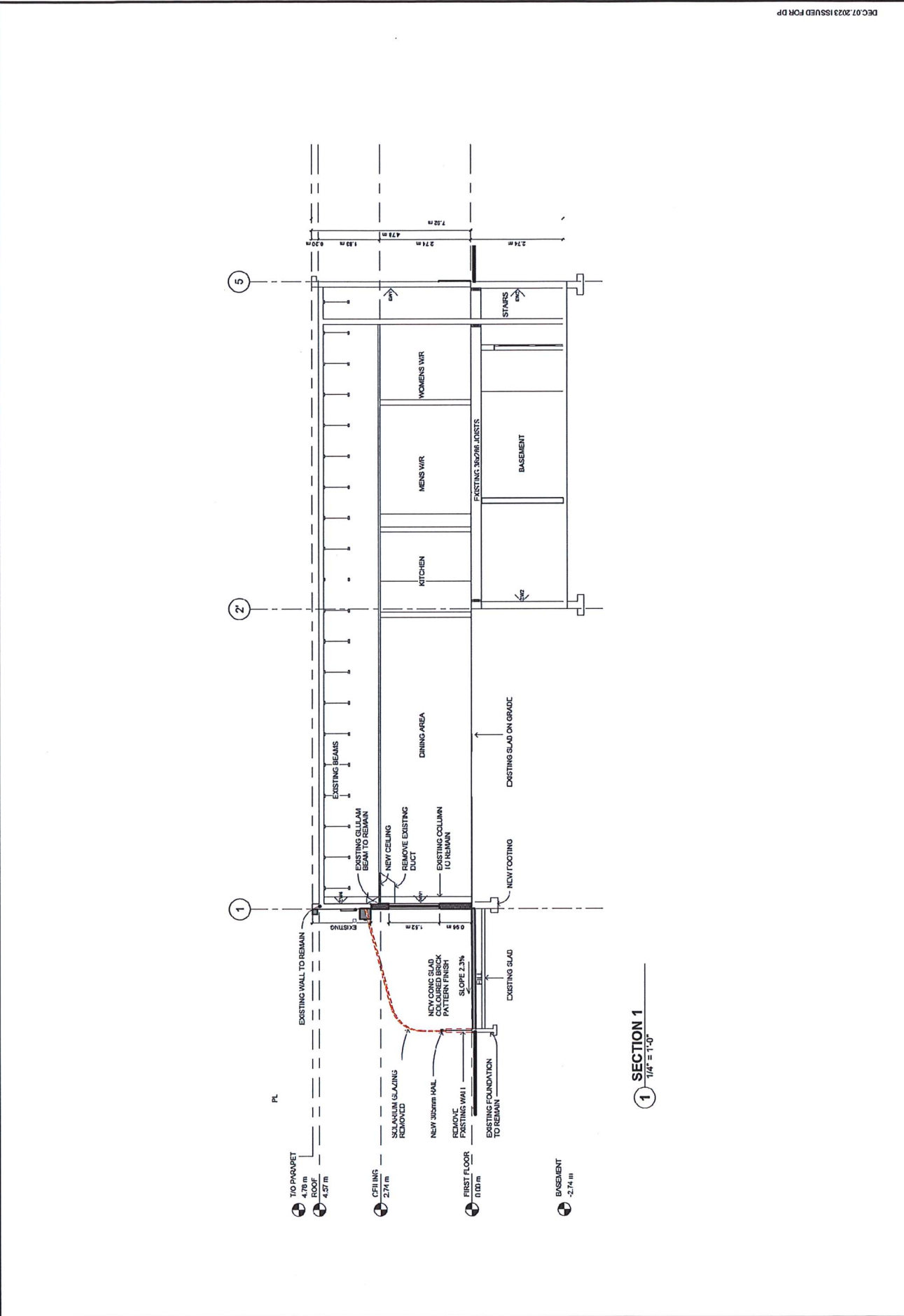
PATIO RAILINGS
 ALUMINUM
 1 1/2" SQ. POSTS @ 45° O.C.
 1 1/2" SQ. BALUSTERS @ 45° O.C.
 2 1/2" SQ. TOP RAIL @ 3" @ ABOVE PATIO
 COLOUR: BLACK



3 REAR / EAST
 1/4" = 1'-0"



4 DRIVE-THRU / NORTH
 1/4" = 1'-0"



SECTION 1
1/4" = 1'-0"

