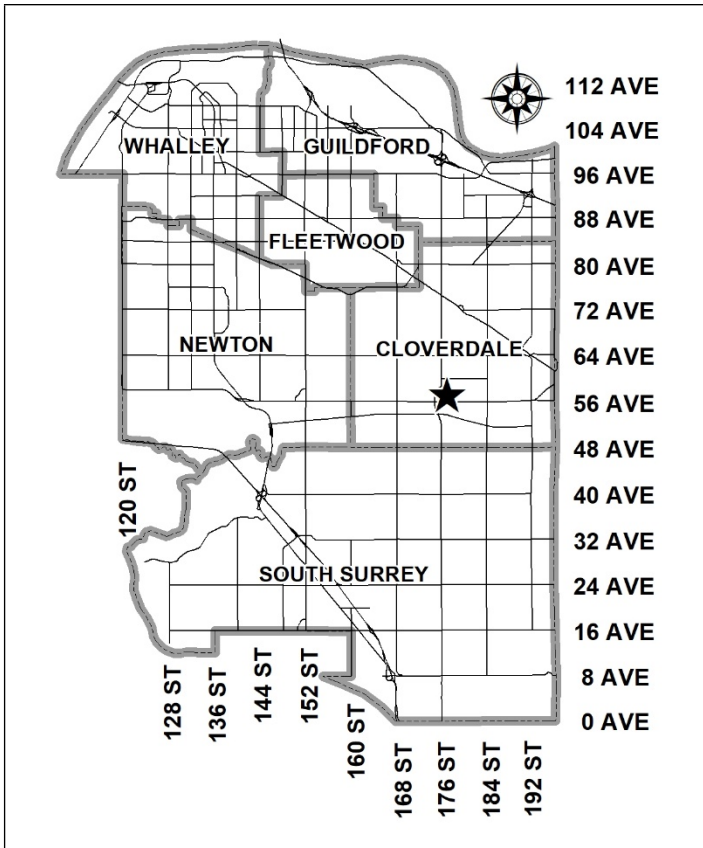


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7924-0004-00

Planning Report Date: May 27, 2024



PROPOSAL:

- **Development Permit**
- **Development Variance Permit**

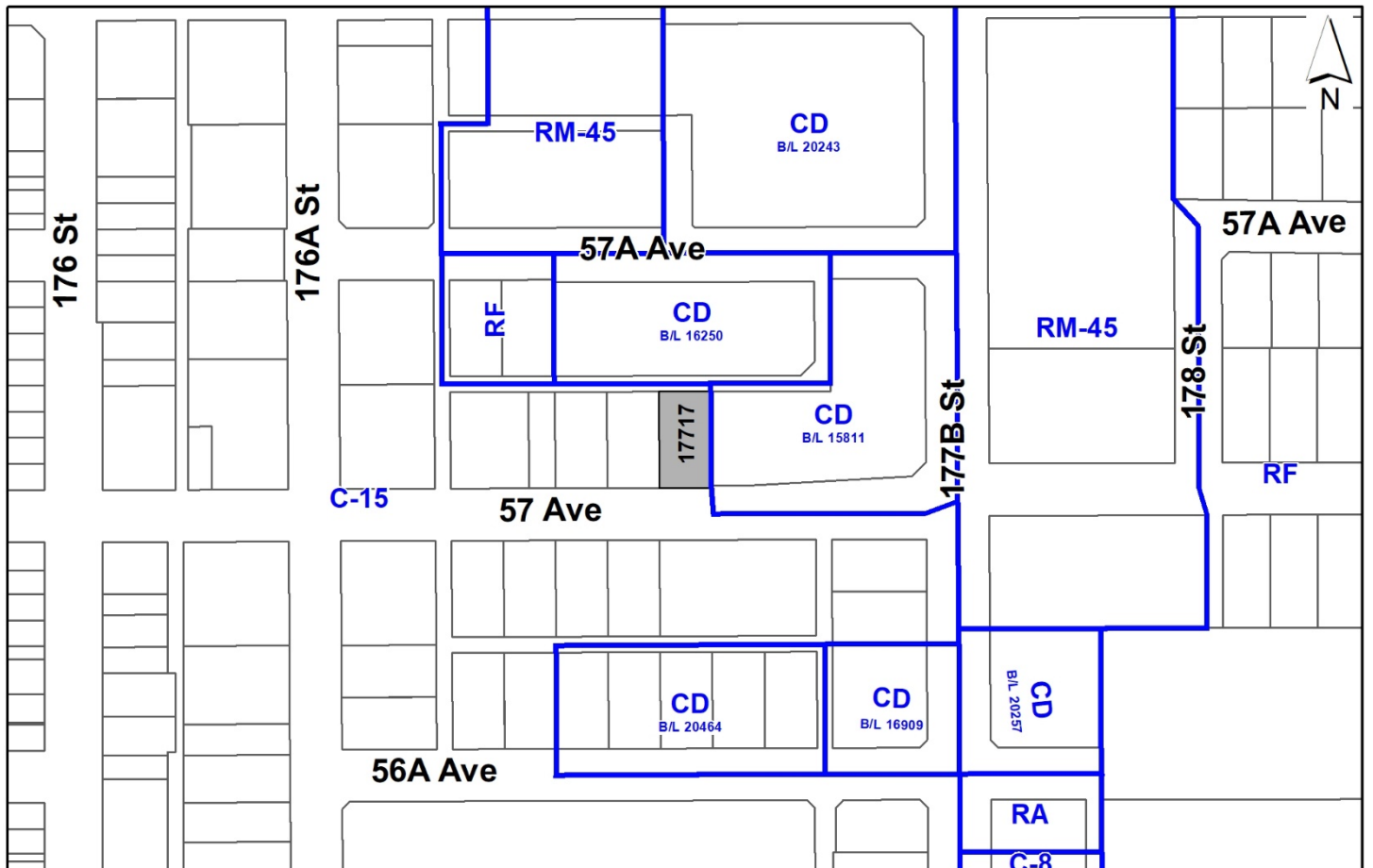
to construct exterior improvements and an addition to an existing dental office building.

LOCATION: 17717 - 57 Avenue

ZONING: C-15

OCP DESIGNATION: Multiple Residential

TCP DESIGNATION: Low-Rise Residential



RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking the following variances to facilitate construction of the proposed addition to the existing operational dental office building:
 - to allow for parking within the front (south) yard setback;
 - reduction of continuous landscape screening (planting) around the perimeter of the site from 1.5 metres to 0.3 metres;
 - to allow for garbage containers and passive recycling containers to be stored within required setbacks adjacent to a lot designated Residential in the OCP; and
 - to reduce the east and west side yard setbacks of the C-15 Zone from 3.0 metres to 0.0 metres to the principal building face.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP).
- The proposal to expand an existing local service aligns with key objectives in the Cloverdale Town Centre Plan (TCP).
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- This application will help address the growing need for medical services and care in Surrey and helps minimize existing gaps in service provision. The proposed exterior improvements to the building will enhance the overall appearance of the building and create a more contemporary aesthetic.
- The proposed reduction of landscaping screening around the perimeter of the site is an existing condition and allows for efficient parking onsite. To offset the reduction, the applicant has proposed landscape strips in front of the building and fronting 57 Avenue. The site abuts a residential parking lot to the east and a future commercial building to the west.
- Buildings on zero lot lines are part of the existing main street character of the Cloverdale Town Centre.
- The applicant proposes landscaping enhancements along the 57 Avenue frontage of the site to improve the overall aesthetic.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7923-0004-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to allow for parking within the front (south) yard setback;
 - (b) reduction of continuous landscape screening (planting) around the perimeter of the site from 1.5 metres to 0.3 metres;
 - (c) to allow for garbage containers and passive recycling containers to be stored within required setbacks adjacent to a lot designated Residential in the OCP; and
 - (d) to reduce the east and west side yard setbacks of the C-15 Zone from 3.0 metres to 0.0 metres to the principal building face.
2. Council authorize staff to draft Development Permit No. 7924-0004-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issued prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (c) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect; and
 - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	TCP Designation	Existing Zone
Subject Site	Dental office	Low Rise Residential	C-15
North (Across lane):	Apartment complex	Low Rise Residential	CD (Bylaw No. 16250)
East:	Apartment complex, surface parking lot	Low Rise Residential	CD (Bylaw No. 15811)
South (Across 57 Avenue):	Commercial retail	Low Rise Residential	C-15
West:	Empty parcels under Application No. 7920-0172-00 for a commercial building (pre-Council)	Low Rise Residential	C-15

Context & Background

- The subject site 17717 – 57 Avenue is located in Cloverdale and is 747 square metres in total lot area.
- The subject lot is zoned Town Centre Commercial Zone (C-15), designated “Multiple Residential” in the Official Community Plan (OCP) and “Low Rise Residential” in the Cloverdale Town Centre Plan (TCP).
- The site is occupied by an existing dental office. An original building permit for the building could not be found through a records search.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to construct exterior improvements and an addition to the existing dental office building, while also creating additional onsite parking. As such, a Form and Character Development Permit is proposed.
- The building, with the proposed addition, has a combined total floor area of 365 square metres (including building interior and patio space). The building complies with the floor area ratio, lot coverage and building height of the C-15 Zone.
- Based on the proposed 365 square metres of commercial (dental office) floor area, the total required parking is 11 parking spaces under the Zoning By-law. The applicant is proposing 12 onsite parking spaces.

- Site details are provided in the following table:

	Proposed
Lot Area	
Gross Site Area:	747.7 square metres
Road Dedication:	Dedication of 1.942 metres along 57 Avenue
Net Site Area:	737.6 square metres

Referrals

Engineering: The Engineering Department has no objection to the project.

Surrey Fire Department: The Surrey Fire Department has no objections.

Transportation Considerations

57 Avenue – Collector:

- A 1.942 special building setback along 57 Avenue is applicable.
- Construct 57 Avenue with 1.8m sidewalk at property line, boulevard with street lighting and street trees, barrier curb and gutter, and 6.0m pavement from centreline.

Parking:

- Construct 7.3-metre-wide concrete letdown for driveway to 57 Avenue.
- Proposed access along lane and 57 Avenue are acceptable.
- As per parking rates specified in the Zoning Bylaw, 11 parking spaces are required to be provided on-site for the proposed dental office. The applicant is proposing to provide 12 parking spaces, meeting the Zoning Bylaw.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the “General Urban” designation of the subject site under the Metro Vancouver Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The site is designated Multiple Residential in the Official Community Plan (OCP).
- The Multiple Residential land use designation is primarily intended to support higher-density residential development but also includes local, neighbourhood servicing commercial, and

community uses. As such, a small-scale neighbourhood-serving business is supported as a complementary use in the Multiple Residential designation.

Themes/Policies

- The proposal is consistent with the following OCP Themes/Policies:
- Policy B4 Healthy Neighbourhoods (General): Complete, walkable and green neighbourhoods provide opportunities for working, living and recreating while accommodating the needs of all age groups and abilities.
 - *The proposed expansion of the dental practice in the Cloverdale Town Centre area will improve service levels and increase access to medical services for residents.*
- Policy B4.11 Create mixed-use neighbourhood centres that support the needs of local residents by including local-oriented shopping, services, schools, and amenities within easy walking and cycling distance in order to reduce dependency on private vehicles.
 - *The proposal will provide increased capacity and improved access to medical services to a local community that is well served by active transportation routes.*

Secondary Plans

Land Use Designation

- The site is designated Low Rise Residential in the Cloverdale Town Centre Plan (TCP).
- Although the proposal does not include a residential component. The proposal is an expansion of an existing local service, which will improve service levels and access to medical services for residents of the Cloverdale Town Centre Plan (TCP) area. The proposal complies with the existing zoning of the property (C-15).

VariANCES

- The applicant is requesting the following variances:
 - to allow for parking within the front (south) yard setback;
 - to reduce continuous landscape screening (planting) around the perimeter of the site from 1.5 metres to 0.3 metres;
 - to allow for garbage containers and passive recycling containers to be stored within required setbacks adjacent to a lot designated Residential in the OCP; and
 - to reduce the east and west side yard setbacks of the C-15 Zone from 3.0 metres to 0.0 metres to the principal building face.
- Proposed parking within the front yard allows for the existing parking configuration to remain intact, minimizing costs for the owner while still allowing for adequate parking space availability for customers relying on vehicular transportation.

- The proposed reduction of landscaping screening around the perimeter of the site is an existing condition and allows for efficient parking onsite. In order to offset the reduction, the applicant has proposed landscape strips in front of the building and fronting 57 Avenue. The site abuts a residential parking lot to the east and a future commercial building to the west.
- Proposed refuse containers will be stored along the east property line, adjacent to a 5-metre off-site municipal right of way and approximately 25 metres away from the multi family development to the east. In addition, the proposed refuse containers will be screened by cedar fencing. As such, visual impacts to adjacent neighbours will be minimized.
- Proposed east and west side yard setback reductions will have minimal impacts on adjacent properties. To the east, the existing multi family development is approximately 25 metres away from property line. To the west, the adjacent property is currently vacant but is anticipated to be developed for commercial purposes under Application No. 7920-0172-00 (under Initial Review).
- Buildings on zero lot lines are part of the existing main street character of the Cloverdale Town Centre.
- Staff support the requested variances to proceed for consideration.

PUBLIC ENGAGEMENT

- The Development Proposal Sign was installed on May 17, 2024. Staff have not received responses from neighbouring property owners.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Cloverdale Town Centre Plan (TCP)
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Cloverdale Town Centre Plan (TCP).
- The applicant has worked with staff to address parking, landscaping and public realm/interface concerns on the site.
- The proposed parking configuration includes parking stalls within the front yard, in order to adequately accommodate onsite parking for the site. Maintaining surface parking stalls meant reduced opportunities for onsite landscaping. To offset this, landscape strips are proposed in front of the building and along the street. A public bench has also been incorporated to provide a form of public amenity space.
- The exterior improvements to the existing single-storey building and proposed 2-storey addition provides a simple, contemporary character that incorporates brick, simple window

configurations and high-quality metal panels. The addition features substantial glazing at the ground level facing 57 Avenue.

- At this time, a comprehensive sign design package has not been submitted. However, the owner is only anticipating the installation of one channel letter fascia sign. This sign will comply with the Sign By-law and can be captured through a sign permit process.

Landscaping

- The landscaping for the site incorporates two Eastern Redbud trees along with shrub planting throughout the site. Due to lot area constraints the applicant was not able to accommodate one landscaped island for every 6 parking spaces in accordance with the City’s Form and Character Guidelines. Landscape strips have been added in lieu of a landscaped island.

TREES

- D.Glyn Romaine, ISA Certified Arborist of Van Der Zam + Associates, prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Japanese Maple	1	1	0
Coniferous Trees			
Total (excluding Alder and Cottonwood Trees)	1	1	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		2	
Total Retained and Replacement Trees Proposed		2	

- The Arborist Assessment states that there is 1 mature tree on the site. The applicant proposes to remove this tree as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a proposed total of 2 replacement trees on the site. The applicant is proposing 2 replacement trees, meeting City requirements.
- The new trees on the site will consist of Eastern Red Bud trees.

- In summary, a total of 2 trees are proposed to be replaced on the site.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Draft Development Permit Drawings
Appendix II.	Engineering Summary
Appendix III.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix IV.	Development Variance Permit

approved by Ron Gill

Don Luymes
General Manager
Planning and Development

EM/ar



#	Date	Issued for
1	2023.12.22	DP APPLICATION
2	2024.05.17	DP RE-APPLICATION

FLAGSHIP DENTAL ADDITION & RENOVATION

ISSUED FOR DEVELOPMENT PERMIT APPLICATION - REV1
MAY 17, 2023

SHEET LIST

#	SHEET NAME
A000	COVER SHEET
A001	PROJECT DATA & PROCESS
A002	CONTEXT AERIAL VIEW
A011	CONTEXT PLAN
A018	BASE PLAN
A020	SITE PLAN
A100	FLOOR PLANS
A200	ELEVATIONS
A201	COLOURED ELEVATIONS
A202	COLOURED ELEVATIONS
A204	STREETSCAPE - CONTEXT ELEVATIONS
A300	SECTIONS - REFUSE AREA
A300	SHADOW ANALYSIS
A301	PERSPECTIVES - STREET CONTEXT
A302	PERSPECTIVES - FROM SOUTH EAST
A303	PERSPECTIVES - FROM PARKING
A304	PERSPECTIVES - ENTRY
A305	PERSPECTIVES - REAR LANE

PROJECT TEAM

CLIENT	ARCHITECTURAL	CIVIL	LANDSCAPE	GEOTECHNICAL
FLAGSHIP DENTAL	FORM ARCHITECTS	VDZ+A	VDZ+A	FRASER VALLEY ENG
17717 57 Ave, Surrey, BC V3S 1H1 604 576 8228 Contact Dr. Jordan Turton jordanturton11@gmail.com	9556 Hadden St, Langley, BC V1M 3T1 604 998 7840 Contact Brent Wiebe brent@formarchitects.ca	#102-9181 Church St Langley, BC V1M 2S3 604 546 0930 Contact Taylor Webber twebber@vdtz.ca	#102-9181 Church St Langley, BC V1M 2S3 604 882 0024 ext.130 Contact Selina Zheng selina@vdtz.ca	#101-33465 Macdure Rd Abbotsford, BC V2S 0C4 604-850-0364 Contact Jairo Prada jprada@fvel.com

COVER SHEET
A000

As indicated

Flagship Dental Addition
17717 57 Ave, Surrey BC, V3S 1H1
May 17 2023



PROJECT DATA

ADDRESS 17717 57 Ave, Surrey BC, V3S 1K1
PD 003-371-235
PLAN DESCRIPTION LOT 14 BLOCK 13 SECTION 8 TOWNSHIP 8
 PLAN NW9731 MMD PART SW 14
OCF Multiple Residential
COVERAGE TOP Low Rise Residential
DP AREAS DP1 (Form and Character)
ZONING C-15
DESCRIPTION Town Center Commercial Zone
SITE AREA 747.7 sqm 8047.9 sq ft
SETBACKS PERMITTED (m) PERMITTED (ft) PROPOSED (m) PROPOSED (ft)
 NORTH- REAR YARD 2.00 m* 6.56 ft 6.46 m 21.19 ft
 EAST- SIDE YARD 0.4 m* 1.31 ft 0.4 m 1.31 ft
 SOUTH- FRONT YARD 6.50 m* 21.33 ft 7.50 m 24.61 ft
 WEST- SIDE YARD 0.4 m* 1.31 ft 0.4 m 1.31 ft
LANDSCAPE BUFFERS PERMITTED (m) PERMITTED (ft) PROPOSED (m) PROPOSED (ft)
 NORTH 1.50 m* 4.92 ft 1.10 m 3.61 ft
 SOUTH 1.50 m* 4.92 ft 1.50 m 4.92 ft
* Permitted Setbacks provided in Planning Comments, April 26th, 2023.
 ** During winter months, the side and setback may be reduced to 0.2 m if the side yard adjoins a lot other than a lot designated Residential in the OCP. *** Immediately next to the East property line is a 5m ROW with the nearest building face setback 25.5m.
HEIGHT PERMITTED (m) PERMITTED (ft) PROPOSED (m) PROPOSED (ft)
 14.00 m 45.93 ft 7.82 m 25.66 ft
SEMI-FLUSH PERMITTED PROPOSED
FLOOR AREA RATIO 1.0*
* Planned with Amenity Contribution
CALCULATION: 365 sqm / 747.7 sqm = 0.49
LOT COVERAGE PERMITTED PROPOSED
 80.0% 89.0%
PARKING REQUIRED PROPOSED
 11 # 13
 20% EV CHARGING 2 2
*Medical Office Use = 3.5 spaces per 100 sqm of GFA

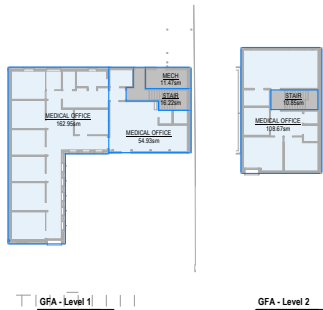
GFA CALCULATION

Level	Use	Phase	Area (sq ft)	Area (sqm)
Level 1	MEDICAL OFFICE	EXISTING	1354 sq ft	125.92 sqm
Level 1	MEDICAL OFFICE	NEW CONSTRUCTION	281 sq ft	26.02 sqm
Level 1	STAIR	NEW CONSTRUCTION	135 sq ft	12.52 sqm
Level 1	MECH	NEW CONSTRUCTION	123 sq ft	11.42 sqm
Level 1			2643 sq ft	245.87 sqm
Level 2	MEDICAL OFFICE	NEW CONSTRUCTION	1193 sq ft	110.67 sqm
Level 2	STAIR	NEW CONSTRUCTION	117 sq ft	10.86 sqm
Level 2			1310 sq ft	121.53 sqm
GRAND TOTAL			3953 sq ft	366.99 sqm

GFA PARKING CALCULATION

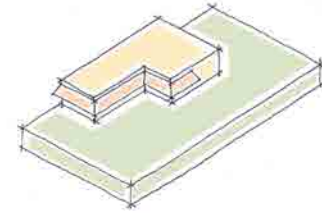
Level	Use	Comments	Area	Area (sqm)
Level 1	MEDICAL OFFICE	EXISTING	1354 sq ft	125.92 sqm
Level 1	MEDICAL OFFICE	NEW CONSTRUCTION	281 sq ft	26.02 sqm
Level 1	MEDICAL OFFICE	NEW CONSTRUCTION	1193 sq ft	110.67 sqm
Level 1			3615 sq ft	336.55 sqm

*MEDICAL AND OTHER PROGRAMS NOT INCLUDED IN GFA

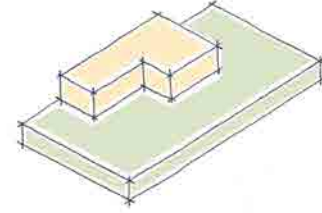


SIMPLE, UTILITARIAN FORM
 MAXIMIZED WINDOWS AT STOREFRONT
 MINIMAL MATERIAL PALETTE

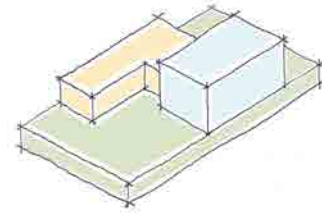
EXISTING BUILDING
1980s RENOVATION



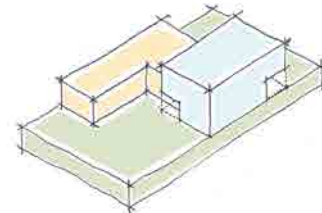
ORIGINAL BUILDING
1960s(?)



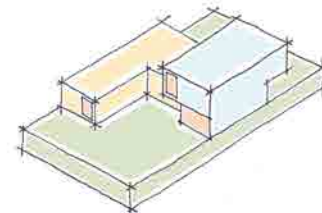
2-STORY ADDITION,
MAXIMIZE FLOOR AREA



CARVE OUT PARKING
AND FRONT ENTRY



PUNCH OPENINGS TO
SUPPORT INTERIOR
PROGRAM

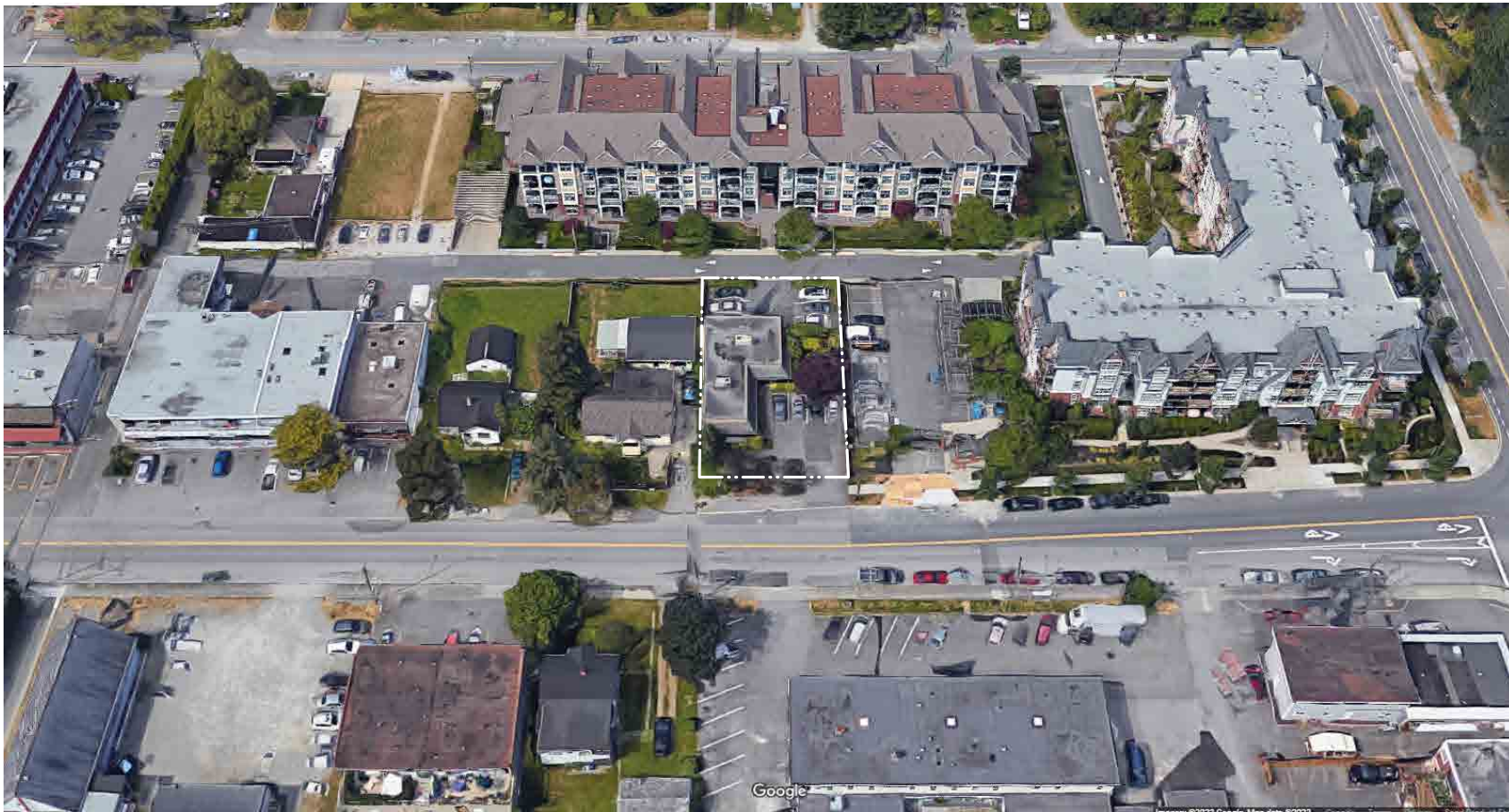


**PROJECT DATA &
PROCESS
A001**

As indicated

Flagship Dental Addition
 17717 57 Ave, Surrey BC, V3S 1H1
 May 17 2023

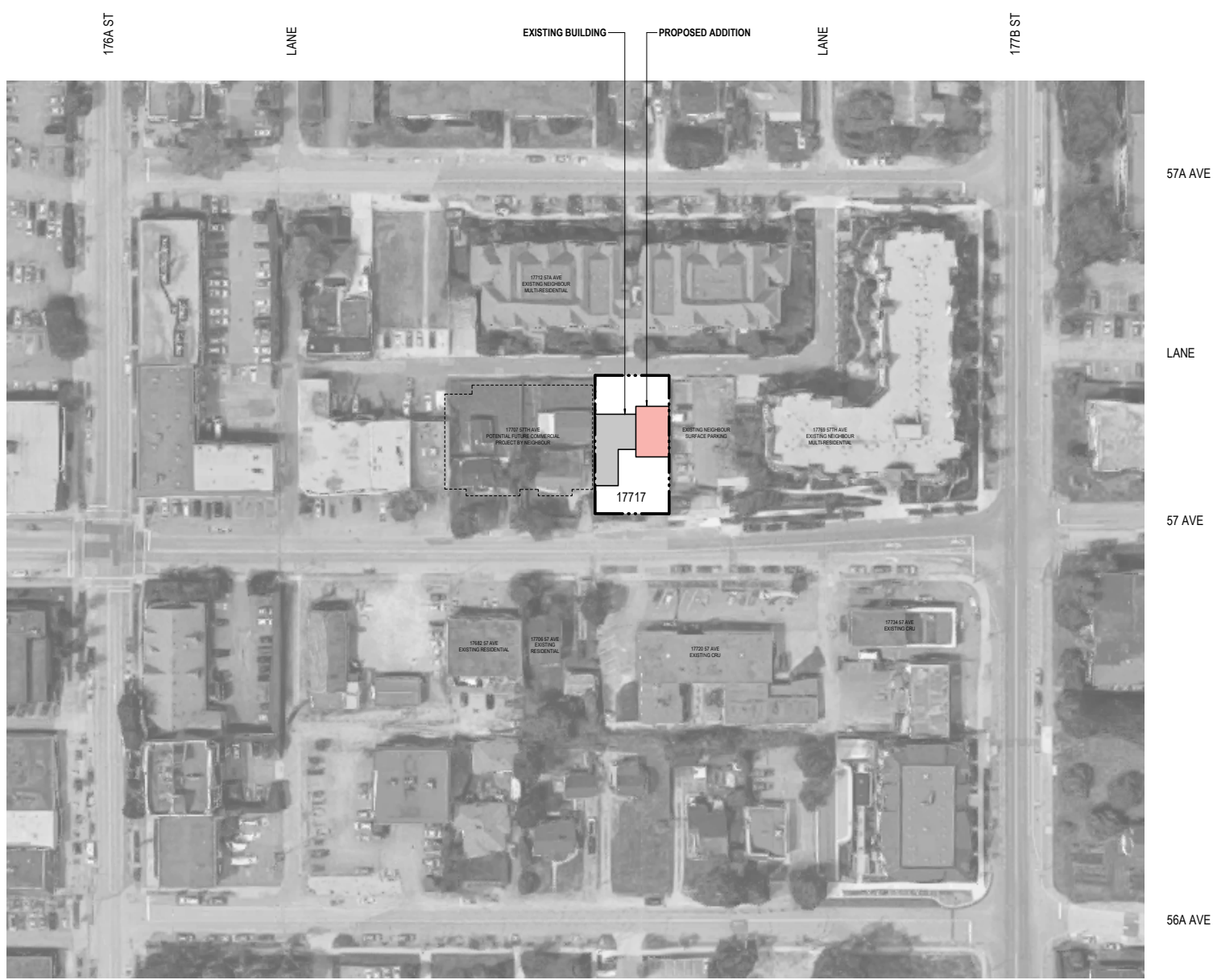
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1	2023.02.22	DP APPLICATION
2	2024.05.17	DP RE-APPLICATION



CONTEXT AERIAL VIEW
A010

Flagship Dental Addition
17717 57 Ave, Surrey BC, V3S 1H1
May 17 2023

#	Date	Issued for
1	2023.02.22	DP APPLICATION
2	2024.05.17	DP RE-APPLICATION



1 Site Context
2024.11.20

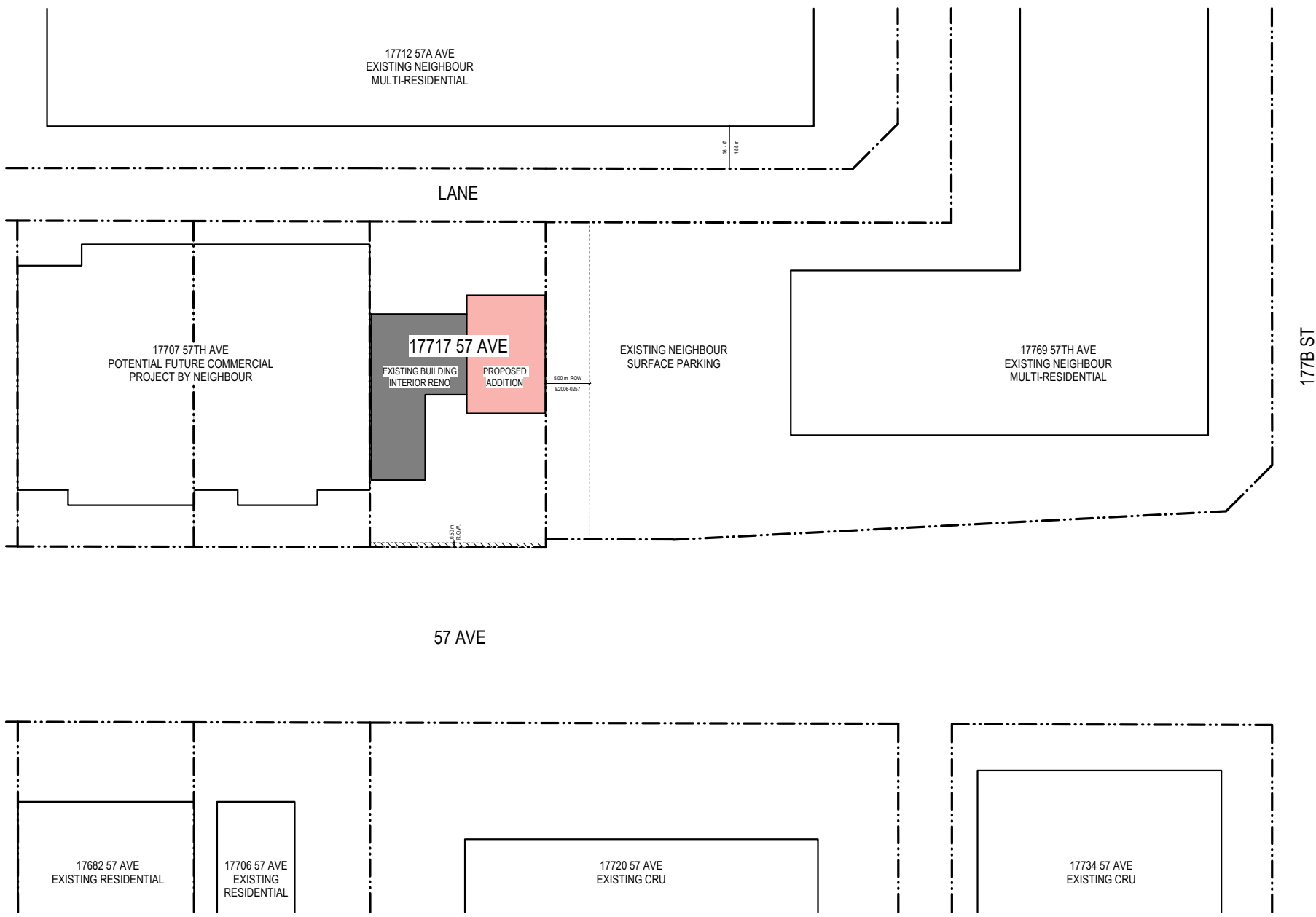


CONTEXT PLAN
A011

1 : 500

Flagship Dental Addition
17717 57 Ave, Surrey BC, V3S 1H1
May 17 2023



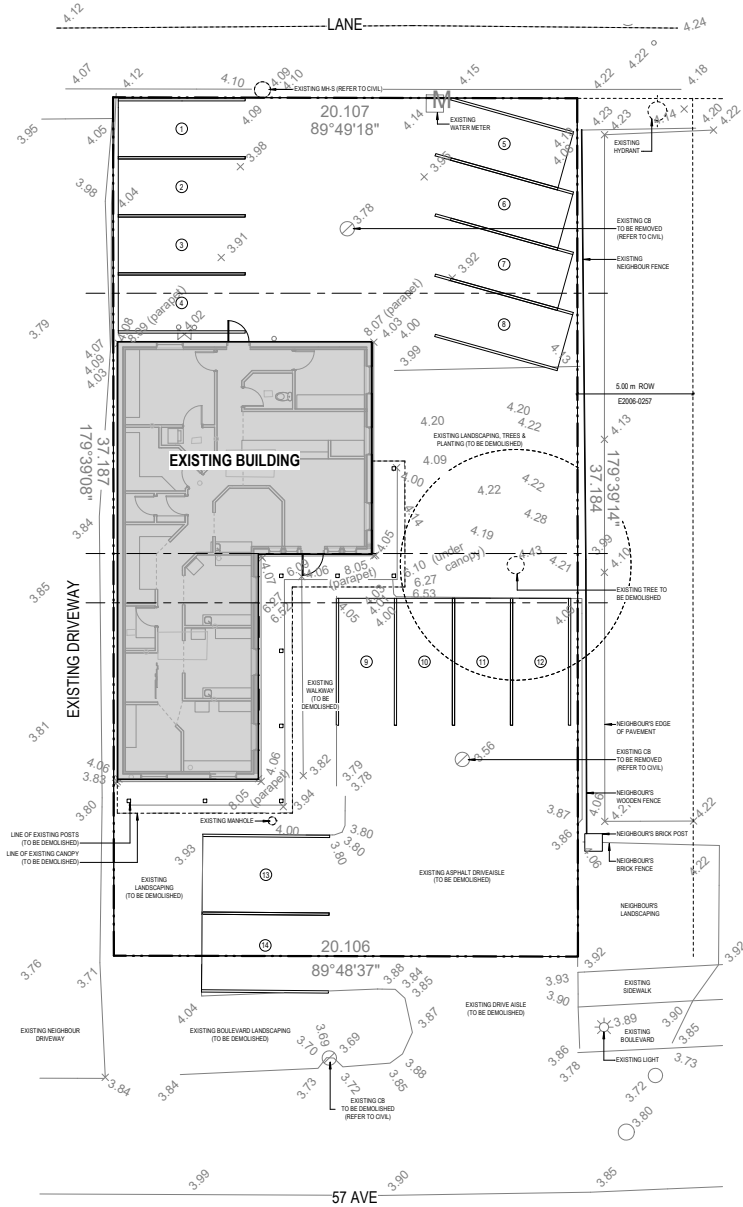


BASE PLAN
 A019

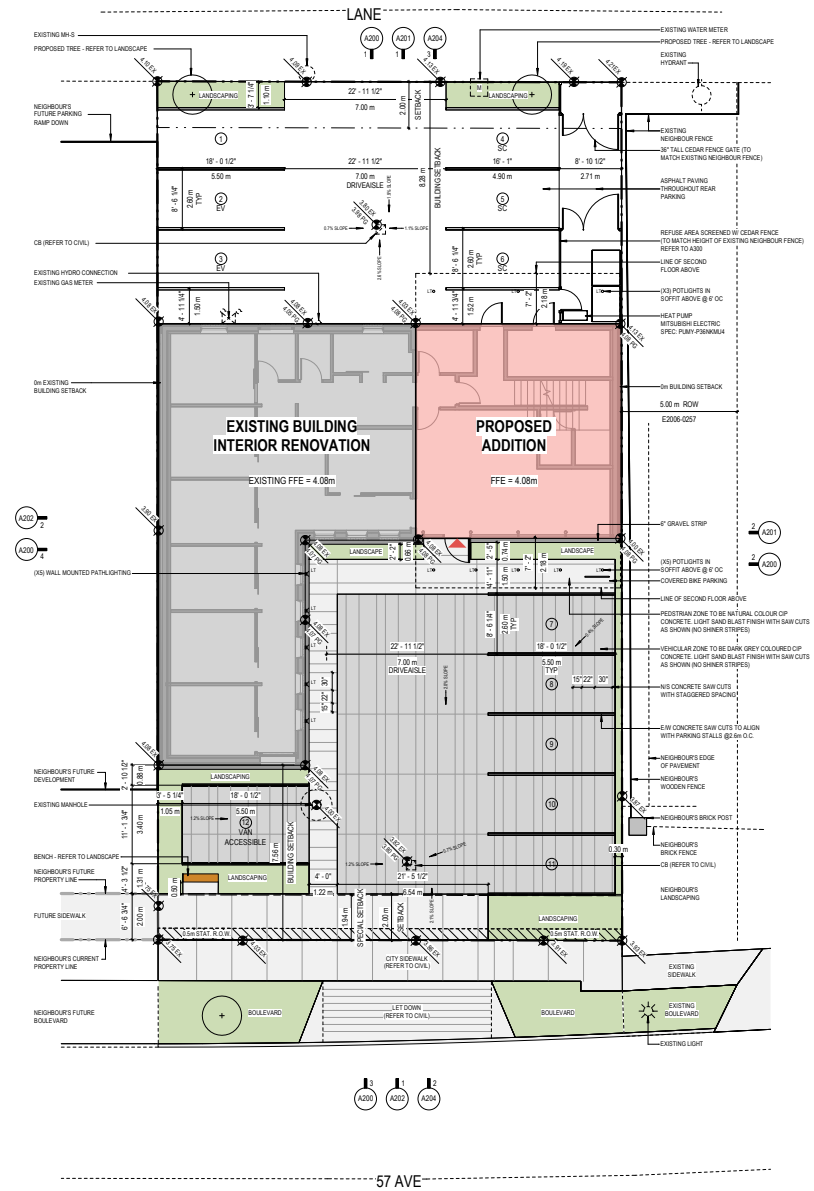
1/16" = 1'-0"

Flagship Dental Addition
 17717 57 Ave, Surrey BC, V3S 1H1
 May 17 2023





1 Site Plan - Existing & Demolition Plan (w/ Survey Underlay)
A200 / 1:100



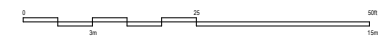
2 Site Plan - Proposed
A200 / 1:100

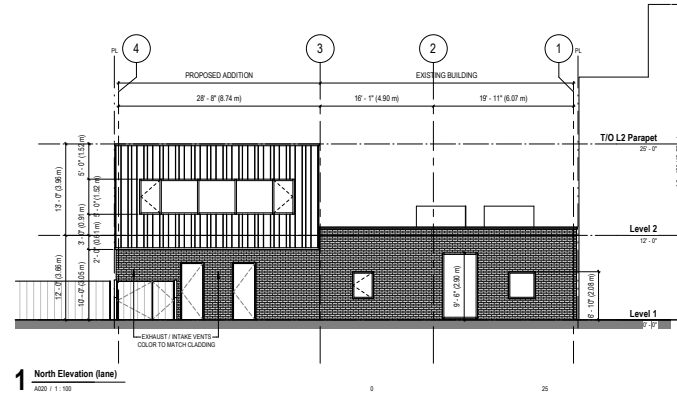
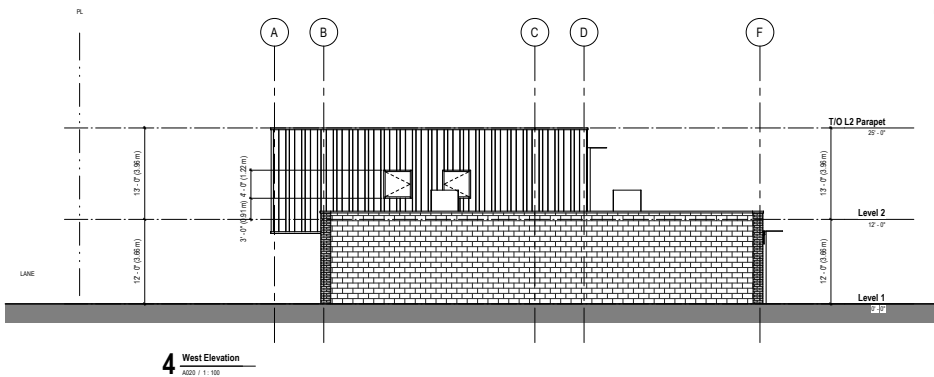
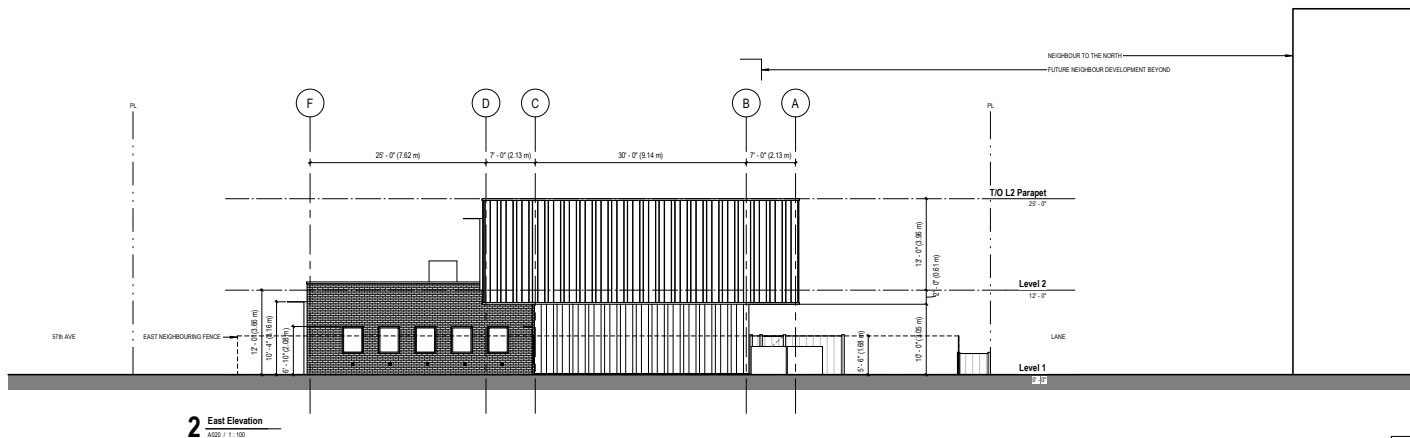
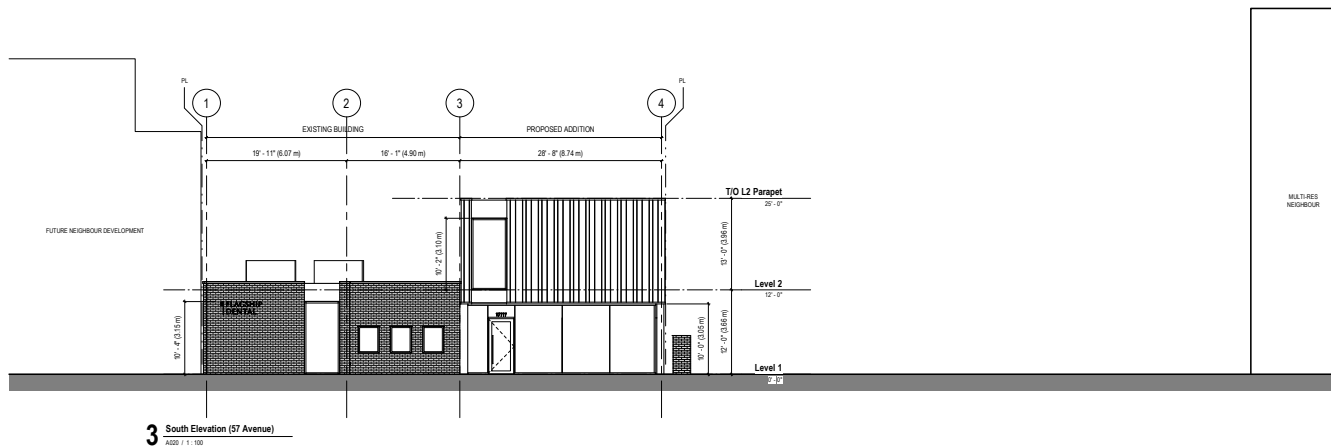
#	Date	Issued by
1	2023.02.22	DP APPLICATION
2	2024.05.17	DP RE-APPLICATION
3	2024.05.07	BACKGROUNDS

SITE PLAN
A020

1:100

Flagship Dental Addition
17717 57 Ave, Surrey BC, V3S 1H1
May 17 2023

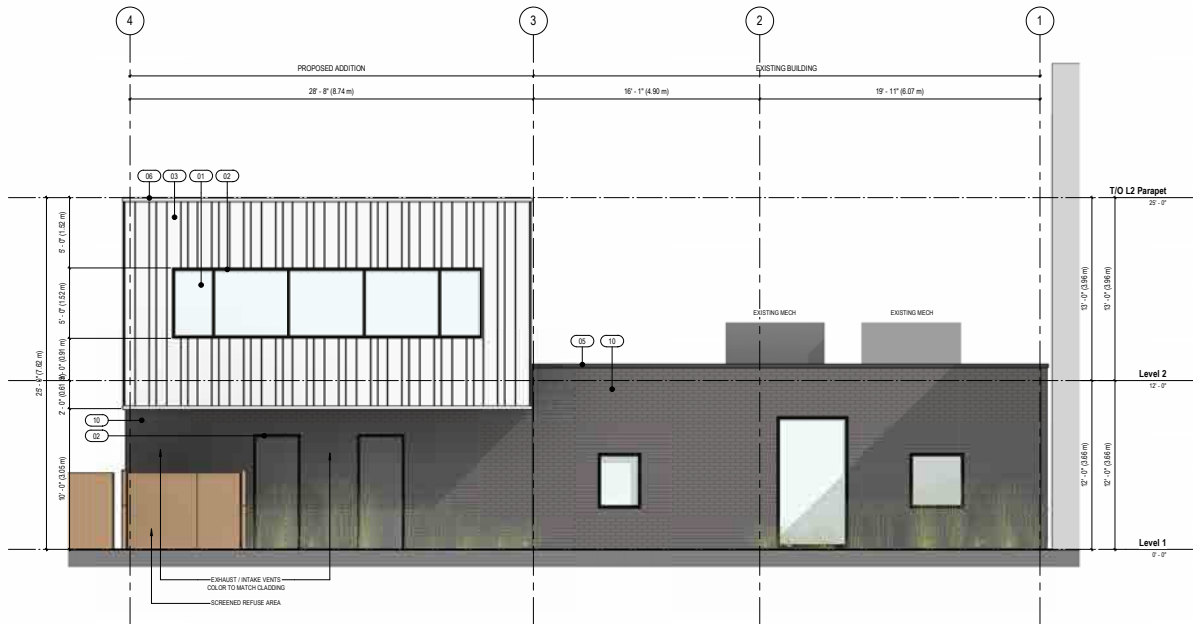




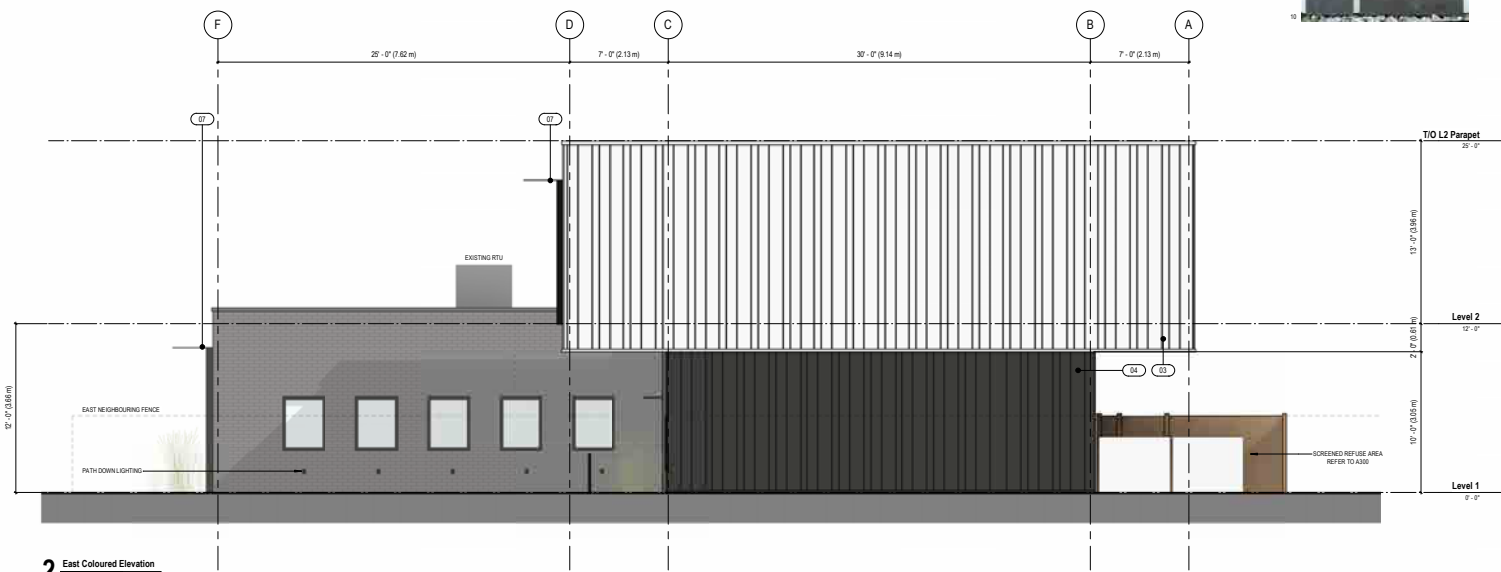
ELEVATIONS
 A200

1:100

Flagship Dental Addition
 17717 57 Ave, Surrey BC, V3S 1H1
 May 17 2023



1 North Coloured Elevation (lane)
ADD / 1:50



2 East Coloured Elevation
ADD / 1:50

MATERIAL LEGEND

#	Material
01	Clear Glazing
02	Anodized Aluminium - Ribs
03	Standing Seam Cladding Vertical & Staggered - Light Grey
04	Standing Seam Cladding Vertical & Staggered - Dark Grey
05	Metal Panels and Flashing - Dark Grey
06	Metal Panels and Flashing - Light Grey
07	Steel Plate Sheet Pile, Coloured, Painted Dark Grey
08	Metal Door - Painted Dark Grey
09	Existing CMU Painted Dark Grey
10	Brick Dark Grey Norman Size

#	Date	Issued for
1	2023.12.22	DP APPLICATION
2	2024.05.17	DP RE-APPLICATION

**COLOURED ELEVATIONS
A201**

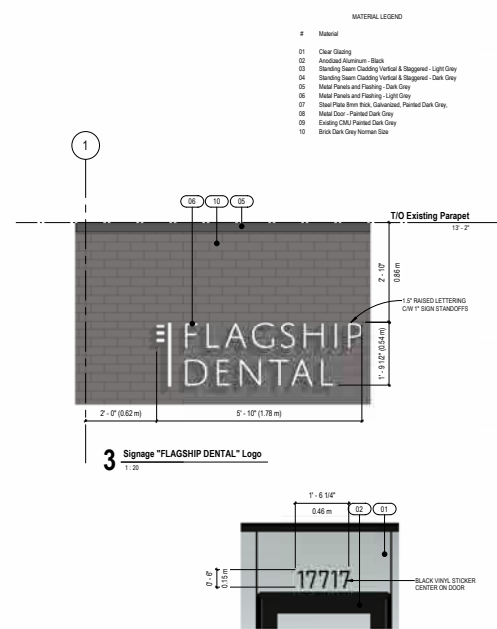
As indicated

Flagship Dental Addition
17717 57 Ave, Surrey BC, V3S 1H1
May 17 2023

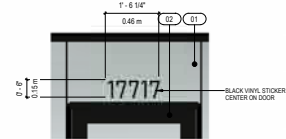




1 South Coloured Elevation (57 Avenue)
A202 1:1-30



3 Signage "FLAGSHIP DENTAL" Logo
1:20

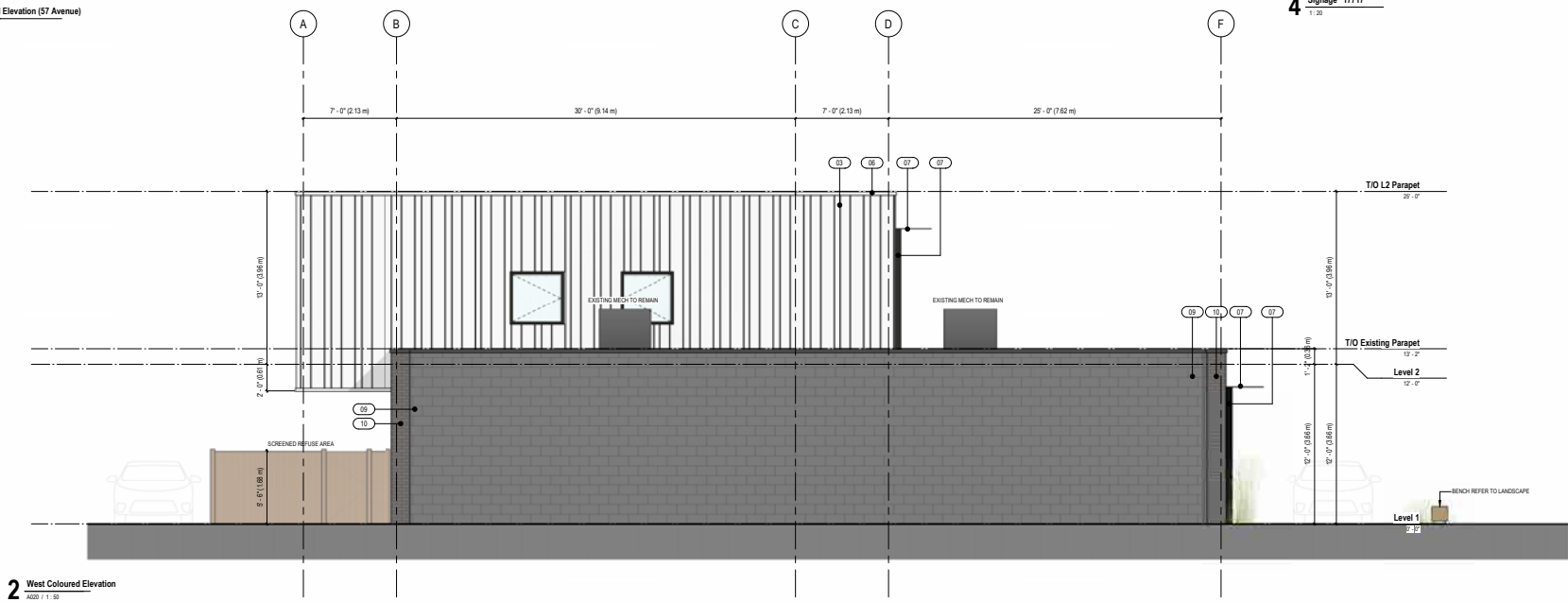


4 Signage "17717"
1:20

MATERIAL LEGEND

#	Material
01	Clear Glazing
02	Anodized Aluminium - Black
03	Standing Seam Cladding Vertical & Staggered - Light Grey
04	Standing Seam Cladding Vertical & Staggered - Dark Grey
05	Metal Panels and Flashing - Dark Grey
06	Metal Panels and Flashing - Light Grey
07	Steel Plate Street Sign, ColorMatch, Painted Dark Grey
08	Metal Door - Flashed Dark Grey
09	Existing CMU Painted Dark Grey
10	Brick Dark Grey Norman Size

#	Date	Issued for
1	2023.12.22	DP APPLICATION
2	2024.05.17	DP RE-APPLICATION



2 West Coloured Elevation
A202 1:1-30

**COLOURED ELEVATIONS
A202**

As indicated

Flagship Dental Addition
17717 57 Ave, Surrey BC, V3S 1H1
May 17 2023



#	Date	Issued by
1	2023.10.22	DP APPLICATION
2	2024.05.17	DP RE-APPLICATION



LANE 17817-17818 57th AVE SHOE REPAIR 17887 57th AVE CLINIC PROPOSED COMMERCIAL PROJECT BY NEIGHBOUR 17707 57th AVE EXISTING DENTAL OFFICE 5th BRY ROW & MULTI-RESIDENTIAL SURFACE PARKING 17789 57th AVE MULTI-RESIDENTIAL NEIGHBOUR 17788 STREET

Streetscape Facing North - 57th Ave



SITE DESCRIPTION
 Located halfway between 1776 and 1778, along the North side of 57th Ave, the site is within the Cloverdale's Land Use Strategy zone of Low-Rise Residential.
 To the East, the site is bordered by a ROW and surface parking lot, belonging to the multi-family residential building at the corner of 57th and 1776. Opposite the site's west side (to the North) is a multi-family residential building which fronts 57th St.
 This small stretch of 57th Ave is home to a mix of multi-family residential and small-scale commercial and industrial. The buildings in this area are defined by simple, pragmatic architectural gestures, simple storefront fenestration, and front entrance entries leading to front yard surface parking. The commercial buildings typically extend to the rear of property lines, with recessed / covered entries at grade.

2 South Context Elevation - 57th Ave
 A204 / 1:200



3 North Context Elevation - Lane
 A203 / 1:200

STREETSCAPE + CONTEXT ELEVATIONS A204

As indicated

Flagship Dental Addition
 17717 57 Ave, Surrey BC, V3S 1H1
 May 17 2023



#	Date	Issued for
1	2023.12.22	DP APPLICATION
2	2024.05.17	DP RE-APPLICATION



PERSPECTIVES - STREET
CONTEXT
A901

Flagship Dental Addition
17717 57 Ave, Surrey BC, V3S 1H1
May 17 2023

#	Date	Issued for
1	2023.12.22	DP APPLICATION
2	2024.05.17	DP RE-APPLICATION



PERSPECTIVES - FROM
SOUT-EAST
A902

Flagship Dental Addition
17717 57 Ave, Surrey BC, V3S 1H1
May 17 2023

Form
Architects

#	Date	Issued by
1	2023.12.22	DP APPLICATION
2	2024.05.17	DP RE-APPLICATION



SHIP
AL

1777

Perspective - Approach

PERSPECTIVES - FROM
PARKING
A903

Flagship Dental Addition
17717 57 Ave, Surrey BC, V3S 1H1
May 17 2023

**Form
Architects**

#	Date	Issued by
1	2023.12.22	DP APPLICATION
2	2024.05.17	DP RE-APPLICATION



PERSPECTIVES - ENTRY
A904

Flagship Dental Addition
17717 57 Ave, Surrey BC, V3S 1H1
May 17 2023

#	Date	Issued for
1	2023.12.22	DP APPLICATION
2	2024.05.17	DP RE-APPLICATION



Perspective - Lane Context

PERSPECTIVES - REAR
LANE
A905

Flagship Dental Addition
17717 57 Ave, Surrey BC, V3S 1H1
May 17 2023



INTER-OFFICE MEMO

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Manager, Development Services, Engineering Department**

DATE: **May 21, 2024**

PROJECT FILE: **7824-0004-00**

RE: **Engineering Requirements (Commercial/Industrial)**
Location: 17717 57 Ave

BUILDING PERMIT

The following issues are to be addressed as a condition of issuance of the Building Permit.:

Works and Services

- Construct north side of 57 Avenue.
- Construct water, drainage and sanitary mains along full site frontage on 57 Avenue.
- Provide adequate sized storm, sanitary and water service connection to the lot.
- Register restrictive covenant for on site stormwater mitigation features in accordance with Cloverdale McLellan ISMP.

A Servicing Agreement is required.



Jeff Pang, P.Eng.
Manager, Development Services

RH

Table 3 : Tree Preservation Summary

Surrey Project No: TBD

Address: 17717 57 Ave, Surrey, BC

Registered Arborist: D.Glyn Romaine - ISA Certified Arborist PN-7929A

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	1
Protected Trees to be Removed	1
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 x one (1) = 0 All other Trees Requiring 2 to 1 Replacement Ratio 1 x two (2) = 2	2
Replacement Trees Proposed	2
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	n/a
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 x one (1) = 0 All other Trees Requiring 2 to 1 Replacement Ratio 0 x two (2) = 0	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary, report, and plan prepared and submitted by: D.Glyn Romaine



(Signature of Arborist)

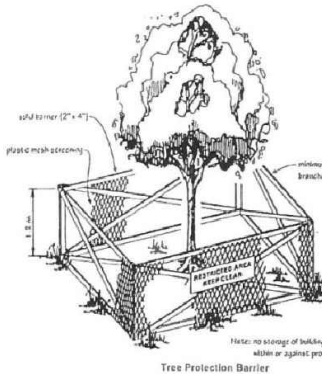
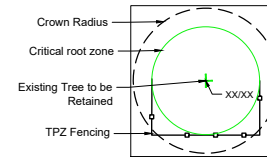
November 22, 2023

Date

LEGEND

Existing Tree to be Retained	Existing Tree to be Removed	Existing Tree in poor condition to be Removed	Existing Dead Tree to be Removed	Undersize tree or Stump	Tree Protection Fencing

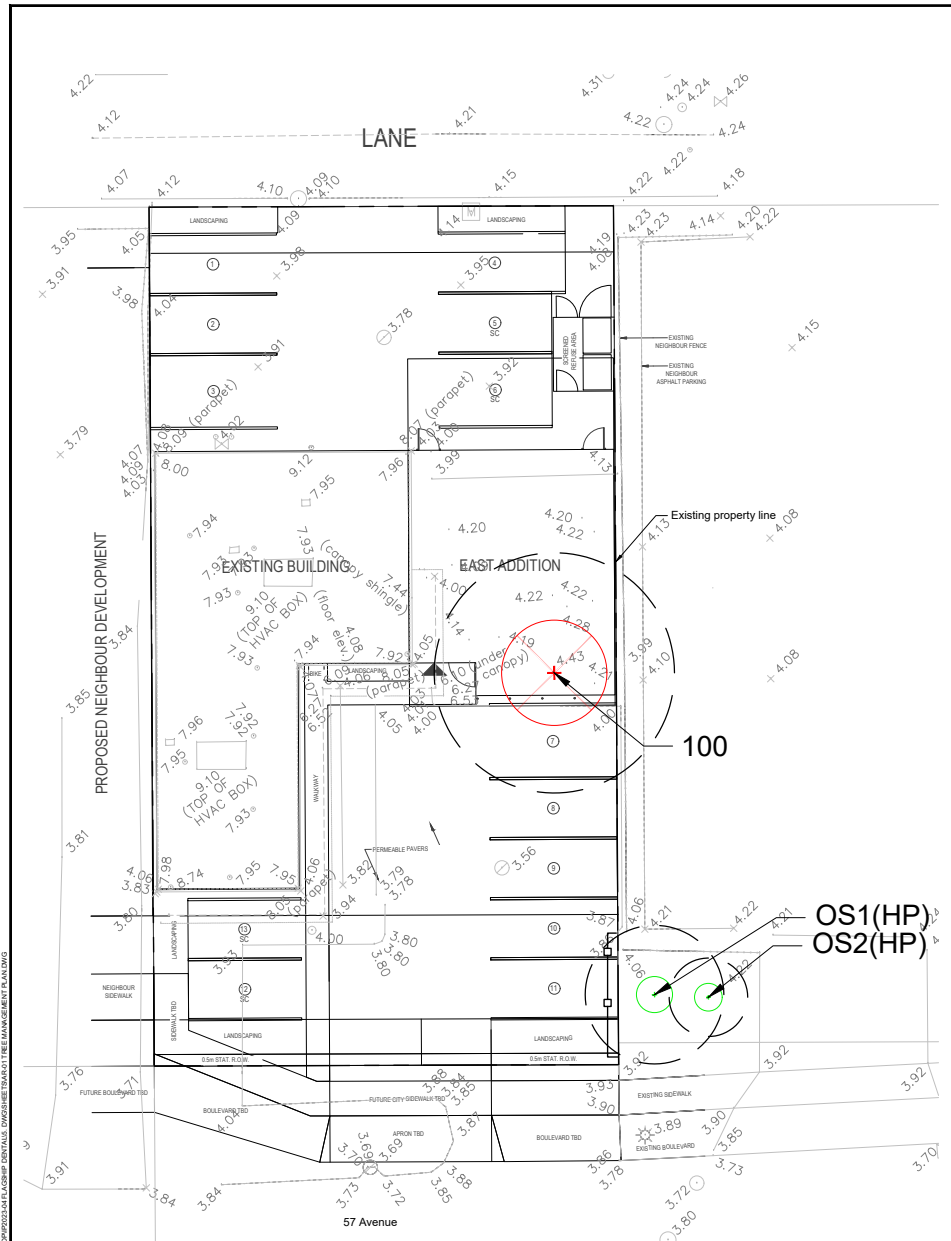
Tree Tag Legend
 XX - Tag number
 C-XX - Munciple tree
 OS-XX - Off-site tree
 S-XX - Straddling tree. Written permission required from owner to remove trees.
 XX-NT - No Tag #
 WRC= Western Red Cedar
 BLM= Big Leaf Maple
 RA= Red Alder



Tree Protection Distance Table

Trunk Diameter (cm)	Minimum Protection Req'd Around Tree (distance from trunk in metres)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5.4
100	6.0

- Note:
- Contact Vdz+A Project Arborist for inspection 72 hrs prior to any grading or excavation within the tree protection zone. (tpy) If during excavation it is found that it cannot be completed without severing roots that are critical to the trees health or stability it may be necessary to remove additional trees.
 - Read this plan together with the arborist report prepared by Vdz+A.
 - An additional 1m setback is shown for all hand-plotted trees to be retained
 - If Stump Grinding is to occur in close proximity to trees which are to be retained then it is requested stumps to be removed under Arborist supervision.
 - It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:
 *Locating TPZ Fencing
 *Locating Work Zone and Machine access corridors where required
 *Reviewing the Report with the project foreman or site supervisor.



No.	By	Description	Date
1	YY	Issued for Arborist report	2023-05-25

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
Flagship Dental

Location:
 17717 157 Avenue,
 Surrey, B.C.

Drawn:
 YY

Stamp:

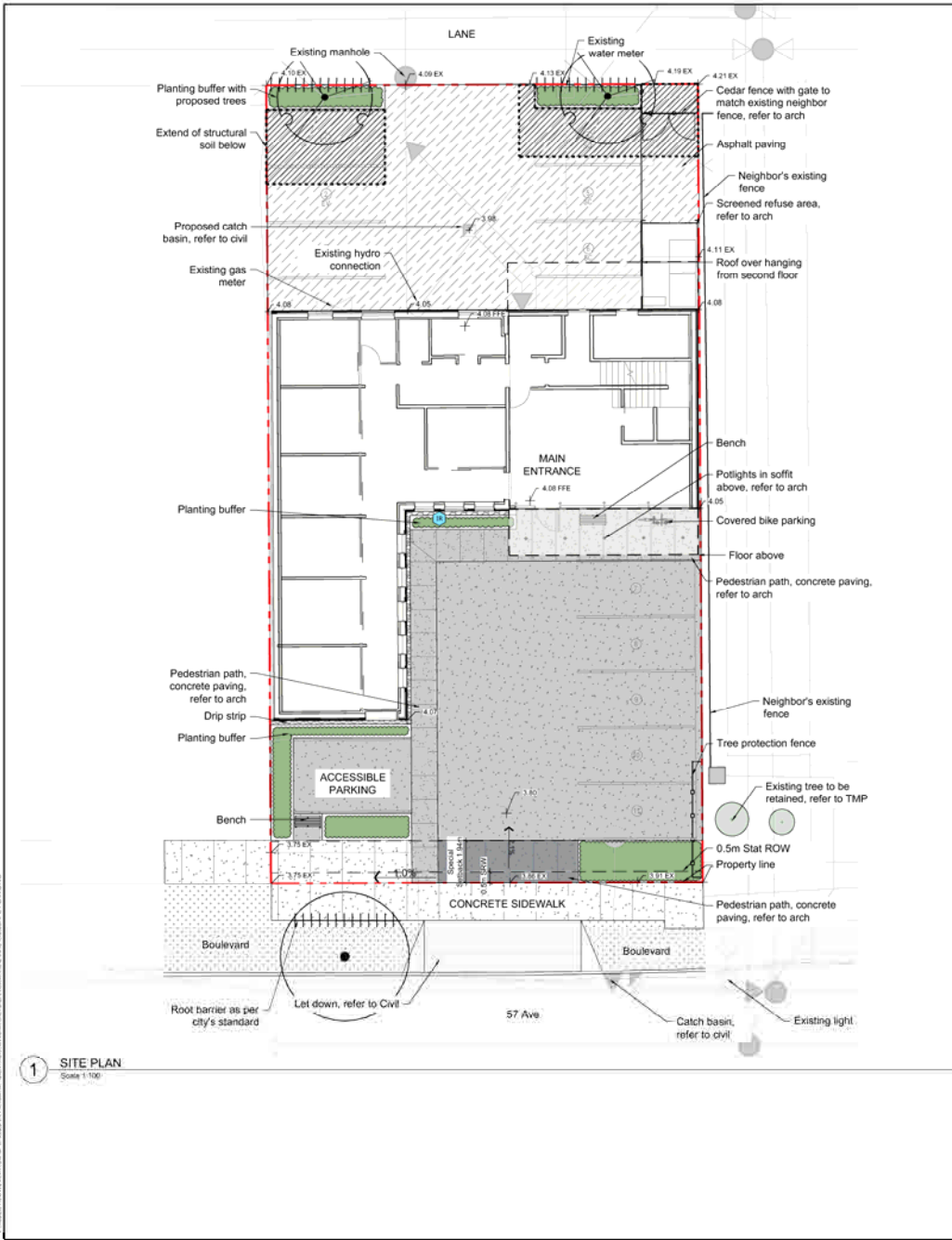
Checked:
 DGR

Approved:
 MVDZ

Original Sheet Size:
 24"x36"

Scale:
 1:100

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/CHANGES TO THE DRAWINGS MUST BE RECORDED FOR CONSTRUCTION (PLEASE LABELLED ISSUED FOR TENDER CONSTRUCTION).



LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
[Pattern]	3 LD-01	CONCRETE PAVING
[Pattern]		ASPHALT PAVING
[Pattern]	4 LD-01	DRIP STRIP
[Symbol]	5 LD-01	BIKE RACK
[Pattern]		SOIL
[Symbol]	1 LD-01	SHRUB PLANTING
[Symbol]	IR	IRRIGATION STUB-OUT
[Pattern]	6 LD-01	EXTENTS OF STRUCTURAL SOIL
[Symbol]		PERIMETER FENCE Refer to Arch
[Symbol]		ROOT BARRIER
[Symbol]		TREE PROTECTION FENCE

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	QTY
TREES				
[Symbol]	Cercis canadensis / Eastern Redbud	55B	6cm cal	2
STREET TREE				
[Symbol]	Street Tree	55B	6cm cal	1



FORT LANGLEY STUDIO MOUNT PLEASANT STUDIO
 100-9381 Church St | 102-355 Kingway
 Fort Langley BC | Vancouver, BC
 V5M 2R6 V5T 1J7
 www.vdz.ca 604-882-0024

No.	By	Description	Date
4	SZ	Issued for DP Re-submission	2024-05-17
3	SZ	Issued for 100% DP	2023-11-24
2	SZ	Issued for 90% DP	2023-11-17
1	SZ	Issued for Review	2023-10-27

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No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

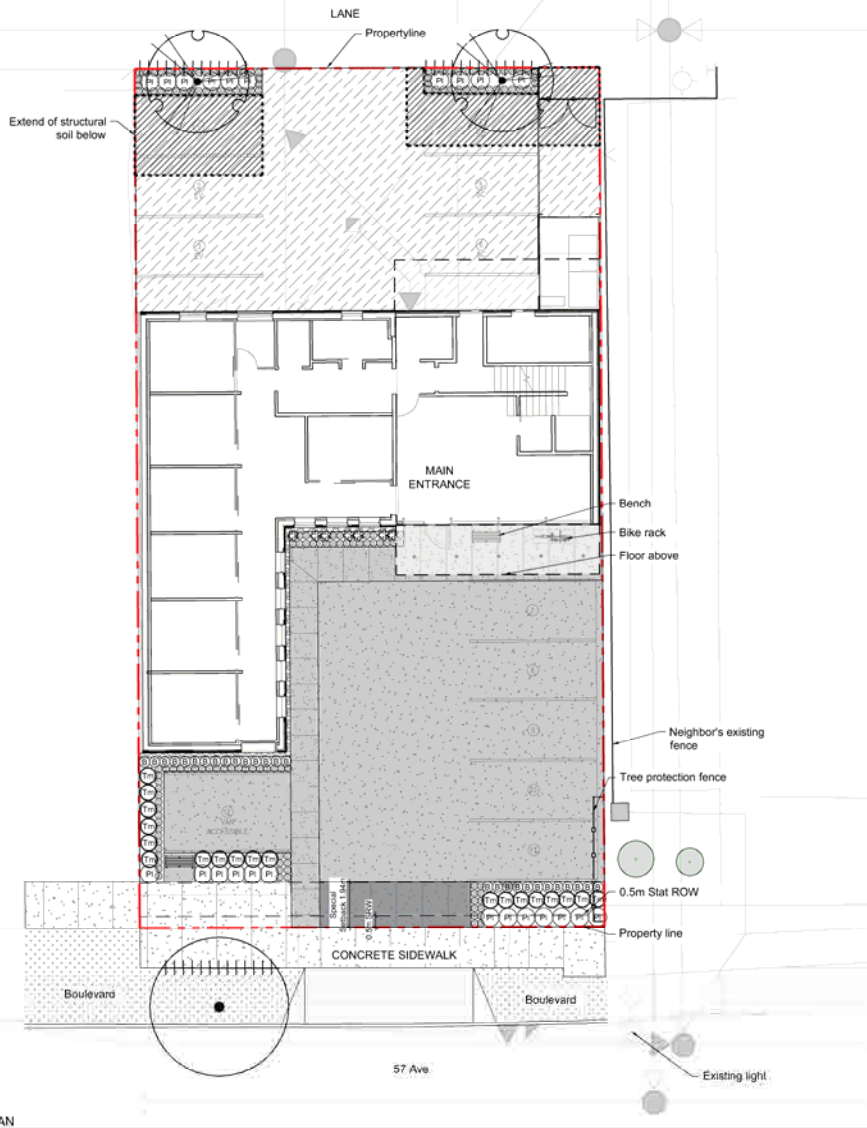
Project:
Flagship Dental

Location:
 17717 157 Avenue,
 Surrey, B.C.

Drawn: SZ	Stamp:
Checked: SZ	
Approved: TM	Original Sheet Size: 24"x36"
Scale: 1:100	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK REPRESENTED AND VERIFY ACCORDING TO THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS.

Drawing Title: **LANDSCAPE PLAN**
 Drawing #: **IP2023-04**
L-01

1 SITE PLAN
 Scale: 1:100



1 PLANTING PLAN
Scale 1:100

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	QTY
TREES				
	<i>Cercis canadensis</i> / Eastern Redbud	B&B	6cm cal	2
STREET TREE				
	Street Tree	B&B	6cm cal	1

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
SHRUBS				
PI	<i>Rhododaphis lanceolatus</i> / W&S Mockorange	42	0.3 m	23
TM	<i>Taxus x media</i> 'Hokaido' / Hoop Pine	1	1.2m m	19
FERNS				
B	<i>Blechnum lividum</i> / Deer Fern	41	0.45 m	27
GRASSES / PERENNIALS				
CK	<i>Cortaderia x acutiflora</i> 'Karl Foerster' / Karl Foerster Feather Reed Grass	42	0.5 m	7
D	<i>Deschampsia cespitosa</i> 'Gonitay' / Goss Owl Tufted Hair Grass	81	0.3m	151

No.	By	Description	Date
4	SZ	Issued for DP Re-submission	2024-05-17
3	SZ	Issued for 100% DP	2023-11-24
2	SZ	Issued for 90% DP	2023-11-17
1	SZ	Issued for Review	2023-10-27

REVISIONS TABLE FOR DRAWINGS
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No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
Flagship Dental

Location:
17717 157 Avenue,
Surrey, B.C.

Drawn: SZ	Stamp:
Checked: SZ	
Approved: TM	Original Sheet Size: 24"x36"
Scale: 1:100	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK REPRESENTED AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY UPON DISCOVERY. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7924-0004-00

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 002-371-235
Lot 14 Section 8 Township 8 New Westminster District Plan 8731
17717 - 57 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) Section H.2 of Part 37 Town Centre Commercial Zone (C-15), the requirement that no parking within a front (south) yard is permitted is waived.
 - (b) Section I.1(b) of Part 37 Town Centre Commercial Zone (C-15), is varied to reduce the continuous landscape screen (planting) from 1.5 metres to 0.3 metres around the perimeter of the site.
 - (c) Section J.1 of Part 37 Town Centre Commercial Zone (C-15), is varied to allow garbage containers and passive recycling containers within required setbacks adjacent to a lot designated Residential in the OCP; and
 - (d) Section F – Yards and Setbacks of Part 37 Town Centre Commercial Zone (C-15), the east and west side yard setbacks are reduced from 3.0 metres to 0.0 metres to the principal building face.

4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

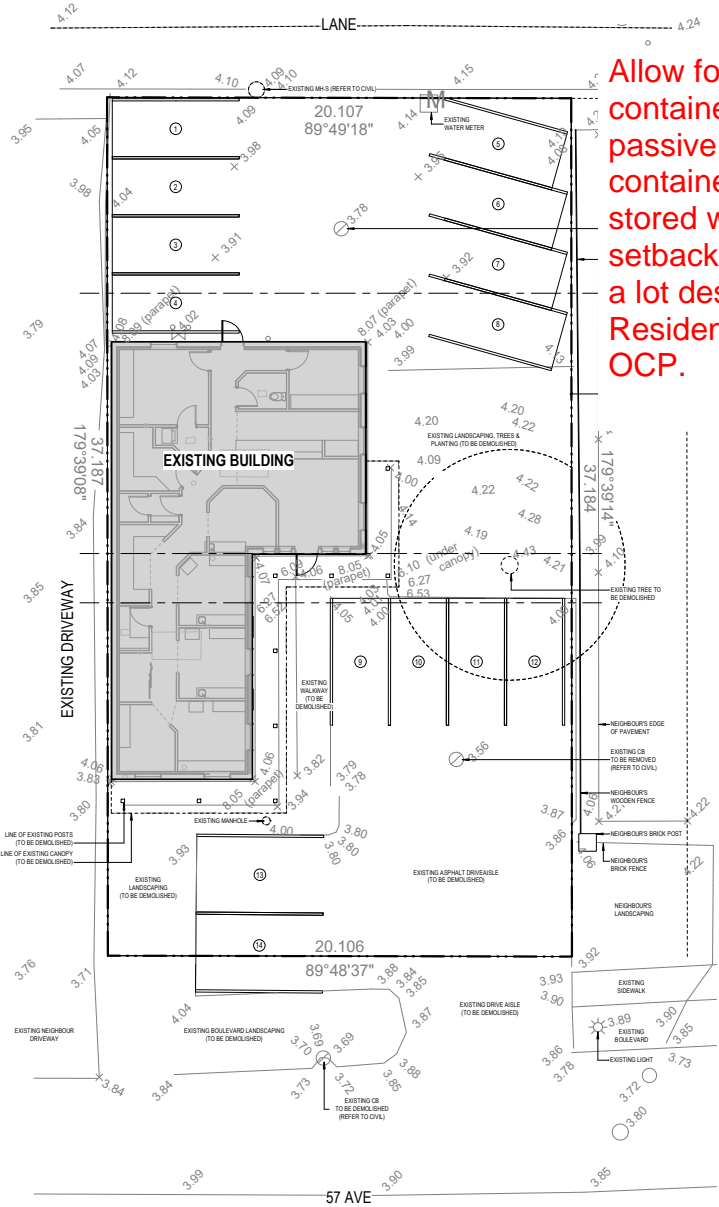
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

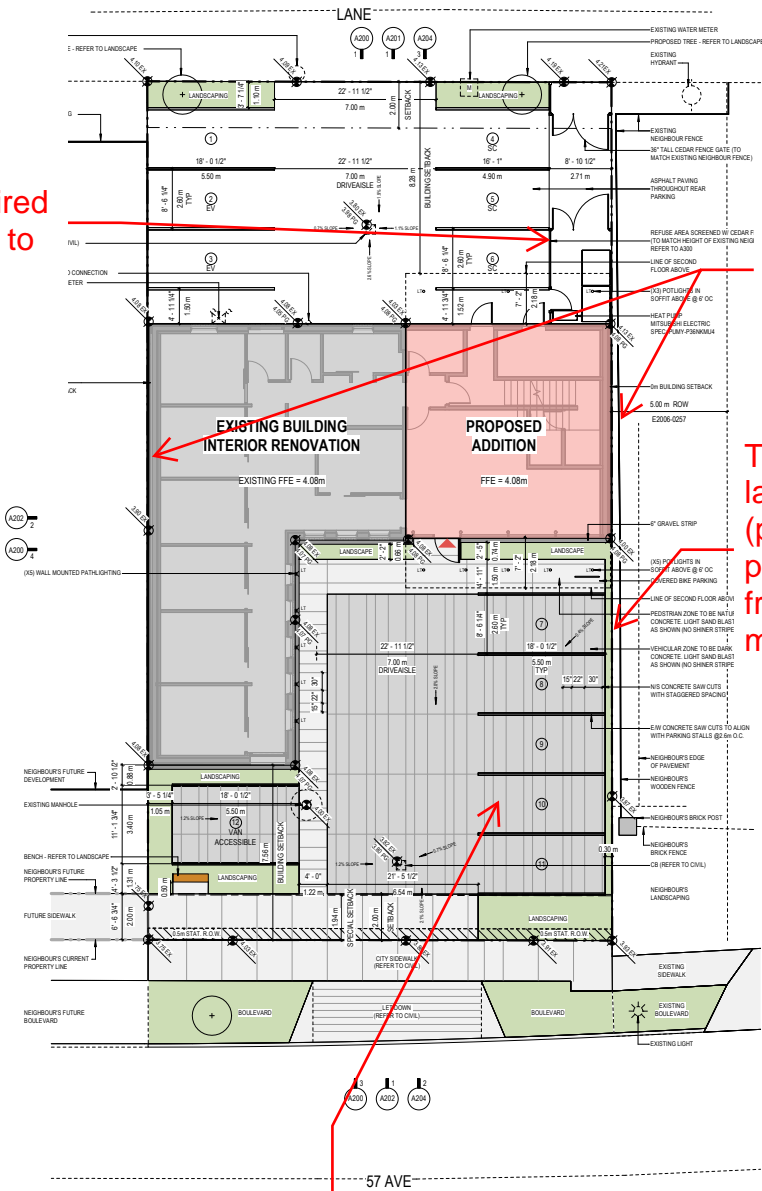
Mayor – Brenda Locke

City Clerk and Director of Legislative
Services – Jennifer Ficocelli

#	Date	Issued by
1	2023.02.22	DP APPLICATION
2	2024.05.17	DP RE-APPLICATION
3	2024.05.07	BACKGROUNDS



Allow for garbage containers and passive recycling containers to be stored within required setbacks adjacent to a lot designated Residential in the OCP.



To reduce the east and west side yard setbacks of the C-15 Zone from 3.0 metres to 0.0 metres to the principal building face.

To reduce continuous landscape screening (planting) around the perimeter of the site from 1.5 metres to 0.3 metres.

Allow for parking within the front (south) yard setback.

1 Site Plan - Existing & Demolition Plan (w/ Survey Underlay)
A200 / 1:100

2 Site Plan - Propose
A200 / 1:100

SITE PLAN
A020

1: 100

Flagship Dental Addition
17717 57 Ave, Surrey BC, V3S 1H1
May 17 2023

