

**Regular Council - Land Use
E.4 7924-0003-00
Monday October 21, 2024**

TO: City Clerk, Legislative Services Division

FROM: Director, Development Planning, Planning & Development Department

DATE: October 21, 2024 **FILE: 7924-0003-00**

**RE: Agenda Item E.4, October 21, 2024, Regular Council – Land Use Meeting
Development Application No. 7924-0003-00
Replacement Pages for the Planning Report**

Development Application No. 7924-0003-00 is on the agenda for consideration by Council at the October 21, 2024, Regular Council – Land Use Meeting under Item E.4.

After finalizing the Planning Report, staff identified that Development Permit No. 7917-0146-01 has expired and, as such, does not require it to be filed, i.e., no action is required by Council in regards to Development Permit No. 7917-0146-01.

Pages 2 and 3 of the Planning Report have been updated to reflect this change.

The replacement page for the Planning Report detailing this change is attached to this memorandum.



Shawn Low
Director, Development Planning
Planning & Development Department

Attachment - 7924-0003-00 – Page 2 and 3 Replacement Pages

c.c. - City Manager

RECOMMENDATION SUMMARY

~~• File Development Permit No. 7917-0146-01.~~

- Approval to draft Development Permit No. 7924-0003-00 for Form and Character.
- Approval for Development Variance Permit No. 7924-0003-00 to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to vary Part 5, Off-Street Parking and Loading/Unloading to permit required parking spaces in front of overhead doors.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal complies with the Mixed Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- A previous application to construct two self-storage buildings was previously considered and approved under Development Application Nos. 7915-0328-00 and 7917-0146-00.
- The proposal generally complies with the Development Permit requirements in the OCP for Form and Character.
- A previous proposal to construct two self-storage buildings was reviewed and approved under Development Application No. 7917-0146-00, resulting in the subject property being rezoned to the Business Park 3 Zone (IB-3) and the site being prepared for development through the issuance and completion of a general Development Permit.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

RECOMMENDATION

The Planning & Development Department recommends that:

~~1. Council File Development Permit No. 7917-0146-01.~~

1. Council authorize staff to draft Development Permit No. 7924-0003-00 generally in accordance with the attached drawings (Appendix I).
2. Council approve Development Variance Permit No. 7924-0003-00 (Appendix III) to allow standard parking spaces in front of overhead loading doors and for these to be considered towards the calculation of required off-street parking spaces, to proceed to Public Notification.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) Approval from the Ministry of Transportation & Infrastructure;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) registration of a Section 219 Restrictive Covenant prohibiting the construction of additional mezzanine space; and
 - (h) submission of an acceptable fire access plan to the satisfaction of the Planning and Development Department.

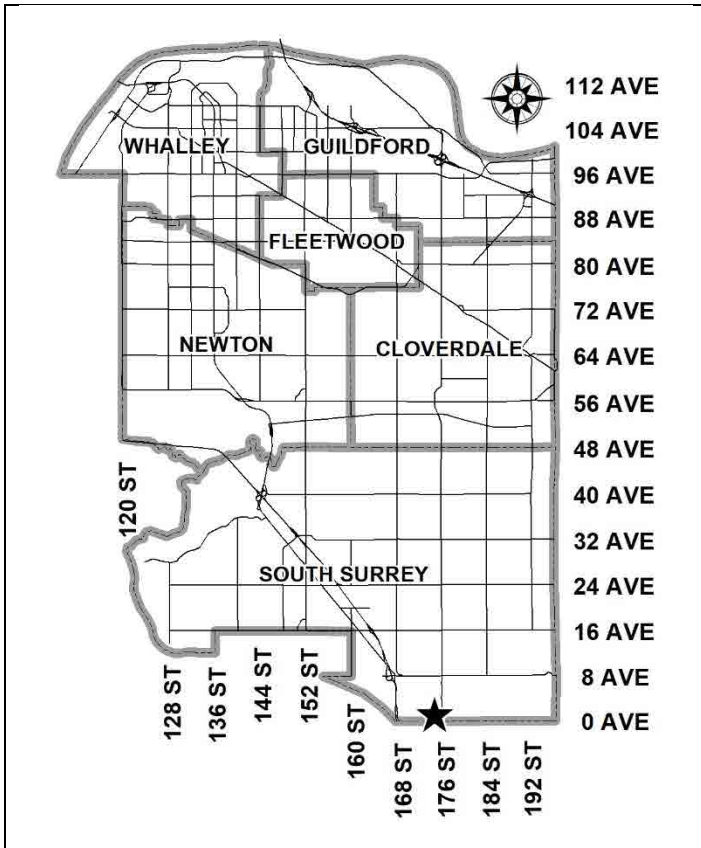
SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Vacant (graded and cleared)	Mixed Employment	IB-3

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7924-0003-00

Planning Report Date: October 21, 2024



PROPOSAL:

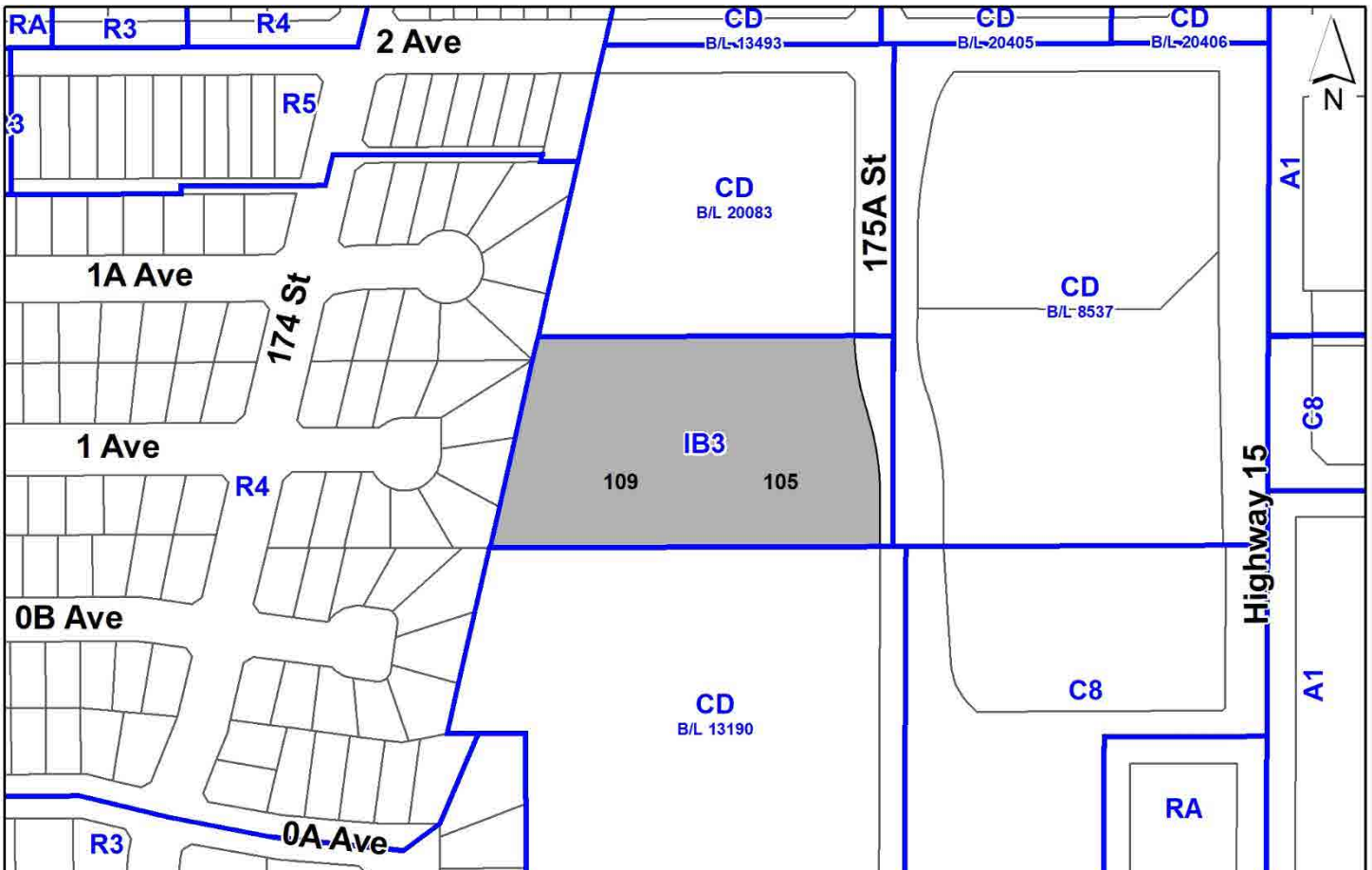
- **Development Permit**
- **Development Variance Permit**

to permit the development of a 6,725 square metre mixed employment building.

LOCATION: 105 - 175A Street
 109 - 175A Street

ZONING: IB-3

OCP DESIGNATION: Mixed Employment



RECOMMENDATION SUMMARY

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SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Vacant (graded and cleared)	Mixed Employment	IB-3

Direction	Existing Use	OCP Designation	Existing Zone
North:	Townhouse and Apartments (under construction)	Multiple Residential	CD (By-law No. 20083)
East (Across 175A Street):	Commercial	Commercial	CD (By-law No. 8537)
South:	Pacific Border RV Park	Mixed Employment	CD (By-law No. 13190)
West:	Single Family	Urban, Single Family Flex (Douglas Neighbourhood Plan)	R4

Context & Background

- The subject site is approximately 1.11 hectares and located near the Pacific Highway (176 Street) border crossing. The site is currently vacant, graded and does not contain any trees.
- A proposal to construct two self-storage buildings on the subject property was previously considered and approved under Development Application No. 7917-0146-00, which included the property to the north at 163, 177, and 185 – 175A Street and resulted in the following:
 - At 163, 177, and 185 – 175A Street; OCP Amendment, Rezoning, Development Permit for Form & Character and Development Variance Permit to construct 28 townhouse units and two 5-storey apartment building with ground floor commercial;
 - Subject Property at 105 and 109 – 175A Street:
 - Rezoning from "One-Acre Residential Zone (RA)" to "Business Park 3 Zone (IB-3)" consistent with the Mixed Employment land use designation in the Official Community Plan (OCP);
 - General Development Permit to prepare the site;
 - Detailed Development Permit for Form & Character; and
 - Development Variance Permit to increase the maximum building height.
- The subject application proposes a 6,725 square metre industrial building in place of the previously approved two self-storage buildings in order to respond to market demand.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing a Development Permit for Form & Character for an industrial building and a Development Variance Permit to allow required parking to located in front of overhead loading doors.

- The 6,725 square metre building is primarily industrial space, with supplementary office/mezzanine space.

	Proposed
Lot Area	
Gross Site Area:	1.11 Hectares
Road Dedication:	N/A
Undevelopable Area:	N/A
Net Site Area:	1.11 Hectares
Number of Lots:	1
Building Height:	10.4 metres
Floor Area Ratio (FAR):	0.60 (6,725.3 sq. m.)
Floor Area	
Industrial:	4,586.9 square metres
Office/Mezzanine:	2,138.4 square metres
Total:	6,725.3 square metres

Referrals

- Engineering: The Engineering Department has no objection to the project. Engineering servicing requirements were addressed under previous Development Application No. 7917-0146-00 and will be reviewed in conjunction with a future Building Permit.
- Ministry of Transportation & Infrastructure (MOTI): Rezoning of the subject property was approved by MOTI under Development Application No. 7917-0146-00. Approval of the subject Development Permit is a condition of Final Approval.
- Surrey Fire Department: Based on a preliminary review, there are no concerns at this time. A more detailed review and approval of the fire access plan is a condition of Final Approval.

Transportation Considerations

- The applicant is proposing two vehicular accesses to the site, one each on the north and south sides of the building, both from 175A Street which is a local road. Both accesses were constructed under the General Development Permit.
- The current proposal includes a parking surplus of one parking space which is based on the industrial parking rate with office/mezzanine in each unit. As such, the applicant will be required to register a Restrictive Covenant capping mezzanine space buildout in order to prevent future parking shortfall. All stalls are provided as surface parking.
- The applicant proposes a variance to allow required parking spaces to locate in front of overhead loading doors. Refer to the Zoning Bylaw Variance section below for further information.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the “Mixed Employment” land use designation in the Regional Growth Strategy (RGS).

Official Community Plan

Land Use Designation

- The proposal complies with the “Mixed Employment” land use designation in the Official Community Plan (OCP) by providing opportunities for light industrial uses with ancillary office needs.

Themes/Policies

- Policy E1.6 – Support the infill and redevelopment of under-utilized properties within Commercial, Mixed Employment and Industrial land designations.

The proposed development is an efficient industrial development on under-utilized land.

- Policy E1.20 – Encourage the continued expansion of high-tech, research and development and light manufacturing to locate within Mixed Employment areas that are accessible to major transportation corridors and/or frequent transit services.

The proposed development is compatible with the Mixed Employment designation and adds employment opportunities to South Surrey. The subject site is also located near Highway 15 (176 Street).

Zoning By-law

- The applicant has proposed a Development Permit utilizing the existing "Business Park 3 Zone (IB-3)", with a request for a Development Variance Permit to accommodate parking.

Variances

- The applicant is requesting the following variance:
 - To allow parking spaces located in front of overhead loading doors to be utilized as both standard and loading spaces and counted towards the calculation of required off-street parking spaces.
- The proposed “park/load” stalls will be primarily used for parking as these are smaller industrial units and the loading is intended to happen at the bylaw compliant loading stall located on the West side of the development.
- Staff support the requested variance to proceed for consideration.

Public Art Policy

- A Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.25% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements was registered to the property's title as a condition of Final Adoption under Development Application No. 7917-0146-00.

PUBLIC ENGAGEMENT

- A Development Proposal Sign was installed on August 27, 2024. Staff received no responses regarding the proposed development.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The proposed multi-tenant industrial development is designed utilizing modern design features and materials, including painted concrete, faux wood, architectural steel and an aluminum curtainwall with neutral colours.
- The site is designed with a strong pedestrian interface, with three pedestrian access points along 175A, bench seating, attractive landscaping and parking setback to minimize visual impact.
- Specific details of fascia signage have not been provided at this time; however, the general location and scale identified on the submitted drawings appears to be appropriate for the proposed development. A small freestanding address sign is proposed along 175A Street which is consistent with the design of the building and sensitive to the pedestrian interface.

Landscaping

- Sufficient landscaping areas have been provided in accordance with the minimum requirements of the Zoning Bylaw, including 6 metres along the west, north and east lot lines, and 3 metres along the south.
- Emphasis has been placed on providing a robust landscape buffer between the subject site and the residential uses to the west and north, with a variety of shrubs and trees. The parking area along the west lot line also includes landscape islands every five spaces.
- Decorative paving is provided at vehicular site entrances.
- Site amenities include bike racks and bench seating along the 176A Street.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include enhanced pedestrian circulation and connectivity, landscape planting and lighting details.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Elvis Truong, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment confirming that the subject site has been cleared, in accordance with the tree retention and removal approved under Development Application No. 7917-0146-00 which proposed a total of 234 replacement trees, meeting City requirements. The current application proposes 63 replacement trees. Since the proposed 234 replacement trees can no longer be accommodated on the site, the new deficit of 171 replacement trees will require an estimated cash-in-lieu payment of \$94,050 representing \$550 per tree to the Green City Program, in accordance with the City's Tree Protection By-law. Further consideration may be given to additional replacement trees through continued review of the proposed landscaping plan.
- The Arborist Assessment includes an updated tree protection and preservation plan to ensure the retention of four bylaw protected trees and hedging cedars located offsite and one bylaw protected City tree that are within proximity of the proposed development.
- In summary, a total of 63 trees are proposed to be replaced on the site with an estimated contribution of \$94,050 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Proposed Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Summary of Tree Survey and Tree Preservation
Appendix III.	Development Variance Permit No. 7924-0003-00

approved by Shawn Low

Ron Gill
Acting General Manager
Planning and Development

SA/ar



LITCO INDUSTRIAL

105 + 109 - 175A STREET, SURREY, BC



KPA PROJECT No. 240181-A

PROJECT TEAM

ARCHITECT OF RECORD

KP ARCHITECTURE LTD.
406 + 3477 GLADYS AVENUE
ABBOTSFORD, BC V3G 1E8
EMAIL: LARRY@KPAARCH.COM
PRINCIPAL IN CHARGE: LARRY PODCHKA, ARCHITECT ABC, MWAC

BUILDING DESIGN

KP ARCHITECTURE LTD.
406 + 3477 GLADYS AVENUE
ABBOTSFORD, BC V3G 1E8
PHONE: 664.63.8011
EMAIL: STU@KPAARCH.COM
PROJECT MANAGER: MARK BRONSEMA
TECH LEAD: STU BENU

CIVIL

CENTRAS ENGINEERING LTD.
356 + 203 CROFTON DRIVE
SURREY, BC V3Z 6T3
PHONE: 844.77.1887
EMAIL: GURPREET@CENTRAS.COM
PROJECT MANAGER: GURPREET PARMAR

SURVEY

SOUTH PRAIRIE LAND SURVEYING
202 + 15322 96th AVENUE
SURREY, BC V3V 3G9
PHONE: 664.48.1856

LANDSCAPE

KD PLANNING & DESIGN LTD.
406 + 3477 GLADYS AVENUE
ABBOTSFORD, BC V3G 1E8
PHONE: 664.63.8011
EMAIL: JIM@KPAARCH.COM
PROJECT MANAGER: JIM BEEA TH-ERSEN

ISSUE DATE: JUNE 26, 1984

SHEET LIST

ARCHITECTURE

- A01 COVER
- A02 PERSPECTIVES
- A10 SITE PLAN
- A10.1 FIRE DEPARTMENT SITE PLAN
- A11 SITE DETAILS
- A12 FIRE DEPARTMENT SITE PLAN
- A21 MAIN FLOOR
- A22 SECOND FLOOR
- A23 ROOF PLAN
- A24 ENLARGED PLANS
- A41 BUILDING ELEVATIONS
- A42 STREETSCAPES
- A51 BUILDING SECTIONS

CIVIL

- SITE GRADING PLAN

LANDSCAPING

- L1 OVERALL LANDSCAPE PLAN
- L1.1 ENLARGEMENT 1
- L1.2 ENLARGEMENT 2
- L1.3 ENLARGEMENT 3
- L1.4 ENLARGEMENT 4
- L2 DETAILS
- L3 NOTES



This drawing has been prepared solely for the use of the CLIENT and there are no representations of any kind made by KP Architecture Ltd. to any party with whom KP Architecture Ltd. has not entered into a contract. This drawing shall not be used for construction purposes until it is issued for the purpose.

3 2024/07 REQUIRED FOR DP
1 2024/06 ISSUED FOR DEVELOPMENT PERMIT
NO. DATE YMMO DESCRIPTION
ISSUES AND REVISIONS
SEAL

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT NAME
LITCO INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
105 + 109 - 175A STREET, SURREY, BC

DRAWING TITLE
COVER

SCALE
DRAWN MB
REVIEWED LP, MB
PROJECT NO. 240181-A
DRAWING NO.

A01



175A STREET STREETSCAPE RENDER



NORTH / SOUTH TYPICAL DESIGN NIGHT RENDER



NORTH / SOUTH TYPICAL DESIGN RENDER



175A STREET FACADE DESIGN NIGHT RENDER



175A STREET FACADE DESIGN RENDER

NO.	DATE	BY	DESCRIPTION
3	2024/07/17	MB	REQUIRED FOR CP
1	2024/04/10	MB	ISSUED FOR DEVELOPMENT PERMIT

ISSUES AND REVISIONS

SEAL

PRELIMINARY
NOT FOR CONSTRUCTION

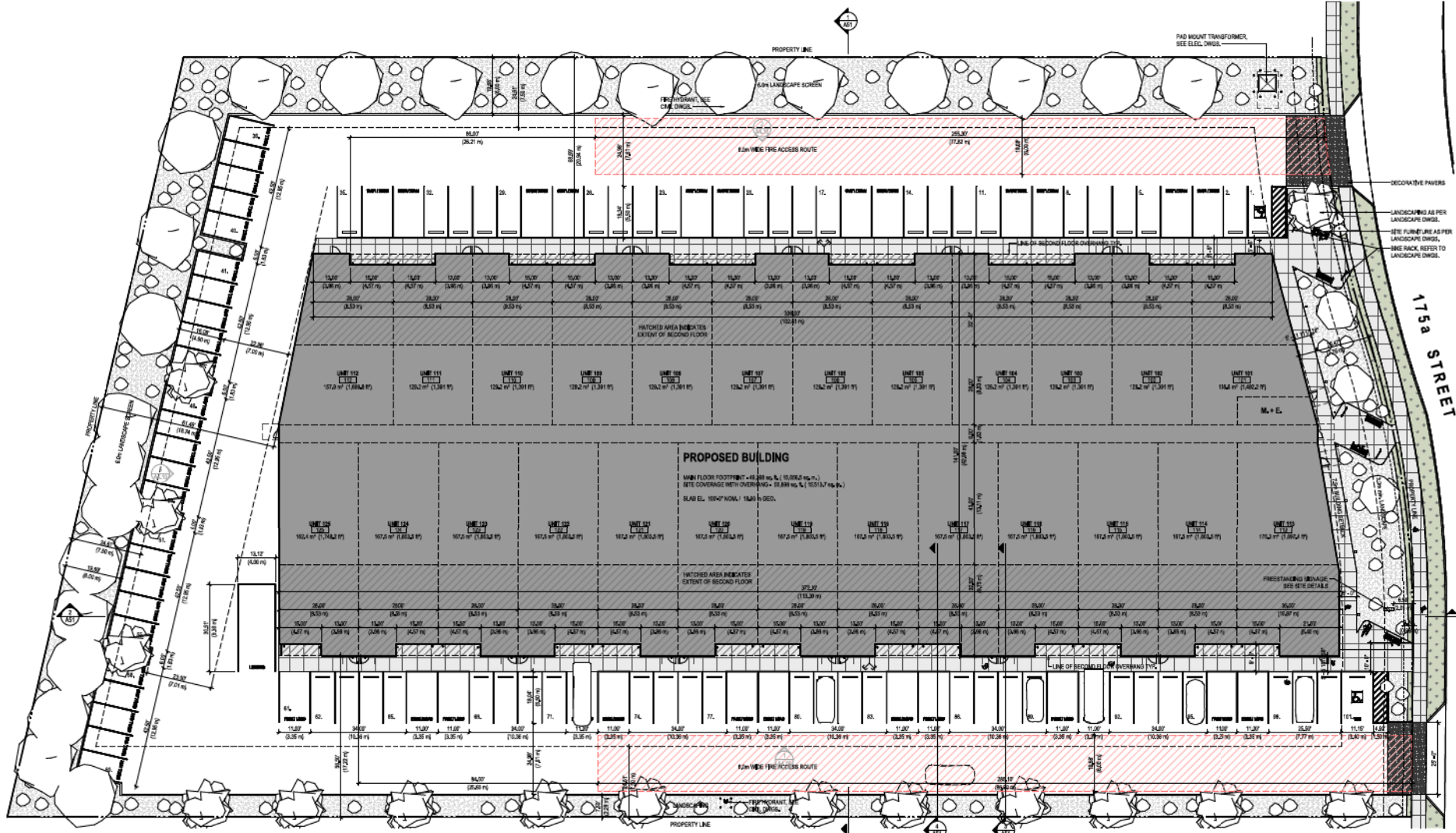
PROJECT NAME
LITCO INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
105 + 100 + 175A STREET, SURREY, BC

DRAWING TITLE
PERSPECTIVES

SCALE	DATE
DRAWN	MB
REVIEWED	LP, MB
PROJECT NO.	24091-A
DRAWING NO.	

A02



ZONING BY-LAW ANALYSIS

PROJECT DATA

CITY ADDRESS: 105 + 100 - 175A AVENUE, SURREY, BC
 LEGAL ADDRESS: LOT 2, SECTION 28, RANGE 1E PLAN EP192885 MVD
 BUILDING USE: INDUSTRIAL

BUILDING AREA: 4,982.4 sq ft (49,372.7 sq ft)
GROSS FLOOR AREA: 6,726.34 sq ft
ZONING: B10 - BUSINESS PARK 3 ZONE
SITE AREA: 11,124.79 sq ft (121 hectares) (118,746.11 sq ft (2.76 hectares))

BUILDING HEIGHT:
 MAXIMUM HEIGHT: 14.00 m (45.93)
 PROPOSED HEIGHT: 16.20 m (53.33)

REQUIRED SETBACKS:
 FRONT YARD (EAST): 7.20 m (24.00) PROVIDED 7.20 m (24.00)
 SIDE YARD (NORTH): 7.20 m (24.00) PROVIDED 7.20 m (24.00)
 SIDE YARD (SOUTH): 7.20 m (24.00) PROVIDED 11.20 m (36.75)
 REAR YARD (WEST): 7.20 m (24.00) PROVIDED 14.74 m (48.36)

ZONING BYLAW ANALYSIS (CITY OF SURREY)

LANDSCAPING REQUIREMENTS:
 LANDSCAPING AREA, LANDSCAPING EXTENSIVE, AND FENCING SHALL COMPLY WITH CITY OF SURREY BY-LAW REQUIREMENTS.

6. SITE COVERAGE + BUILDING AREAS
 BUILDING FOOTPRINT AREA CALCULATIONS

SITE AREA	PROV. SET	BUILDING AREA	MAXIMUM SITE COVERAGE
6214	192 FT	2,188.46	35.22%
11,124.79	118,746.14	4,982.4	44.67%

GROSS FLOOR AREA CALCULATIONS

LEVEL	OCCUPANCY	FLOOR AREA	90 SQ FT
SECOND FLOOR	RM	2,188.46	23,817.35
MAIN FLOOR	RM	4,982.4	48,372.37
TOTAL		6,726.34	72,289.72

F.A.R. CALCULATIONS

SOFT	90 M	PERMITTED	ALLOWABLE F.A.R.
49,372.7	1,498.4	1.41	1.20

7. VEHICLE PARKING AND LOADING:
 REFER TO LOCAL ZONING REQUIREMENTS FOR USE CLASSIFICATION AND PARKING REQUIREMENTS. ALL AREAS ARE BASED ON GROSS AREA CALCULATIONS, UNLESS NOTED OTHERWISE.

VEHICLE PARKING REQUIREMENT CALCULATIONS

LEVEL	PARKING CLASSIFICATION	LOCAL BY-LAW REQUIREMENTS	PERCENTAGE OF SPACE	AREA (SQ M)	SPACES REQUIRED
MINOR FLOOR	4,982.4	180,372.7	1	100.00	46.37
SECOND FLOOR	2,188.46	19,217.35	2.5	100.00	15.44
TOTAL					64.37

VEHICLE PARKING SPACES REQUIRED: 6,726.34 sq ft (72,289.72 sq ft)

VEHICLE SPACES PROVIDED:
 ACCESSIBLE PARKING: 2
 SMALL CAR: 35
 STANDARD PARKING: 60
 TOTAL PARKING SPACES PROVIDED: 97

LOADING SPACES PROVIDED:
 DESIGNATED LOADING STALLS: 1
 PARKING LOADING COMBO STALLS: 25
 TOTAL LOADING STALLS: 26

STALL DIMENSIONS:
 STANDARD STALL: 2.86 m (9.39) W, 5.30 m (17.41) L
 STANDING STALL ADJACENT STRUCTURE: 2.86 m (9.39) W, 5.30 m (17.41) L
 PARALLEL STANDARD STALL: 5.68 m (18.64) W, 5.30 m (17.41) L
 ACCESSIBLE STALL: 2.86 m (9.39) W, 5.30 m (17.41) L
 VAN ACCESSIBLE STALL: 3.48 m (11.42) W, 5.30 m (17.41) L
 SMALL CAR STALL (SMALL): 2.86 m (9.39) W, 4.00 m (13.12) L
 LOADING STALL: 4.68 m (15.37) W, 5.30 m (17.41) L

DRIVEABLE WIDTH: 7.68 m (25.19) @ 90° (700 WAYS)

LOADING CALCULATION:
 TOTAL LOADING SPACES REQUIRED

BIKE PARKING:
 BIKING ESTABLISHMENT / GENERAL SERVICE USE: 5.00 BIKE SPACE PER 100 SQ M OF THE G.V.A.
 TOTAL G.V.A.: 6,726.34 SQ M
 TOTAL BIKE SPACES PROVIDED: 17,254
 0% DESIGNATED BIKE SPACES PROVIDED



3	2024/01/17	REVISED FOR DP
2	2024/01/16	REVISED FOR REVIEW
1	2024/01/15	ISSUED FOR DEVELOPMENT PERMIT
NO.	DATE	DESCRIPTION
ISSUES AND REVISIONS		
SEAL		

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT NAME
LITCO INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
105 + 109 + 175A STREET, SURREY, BC

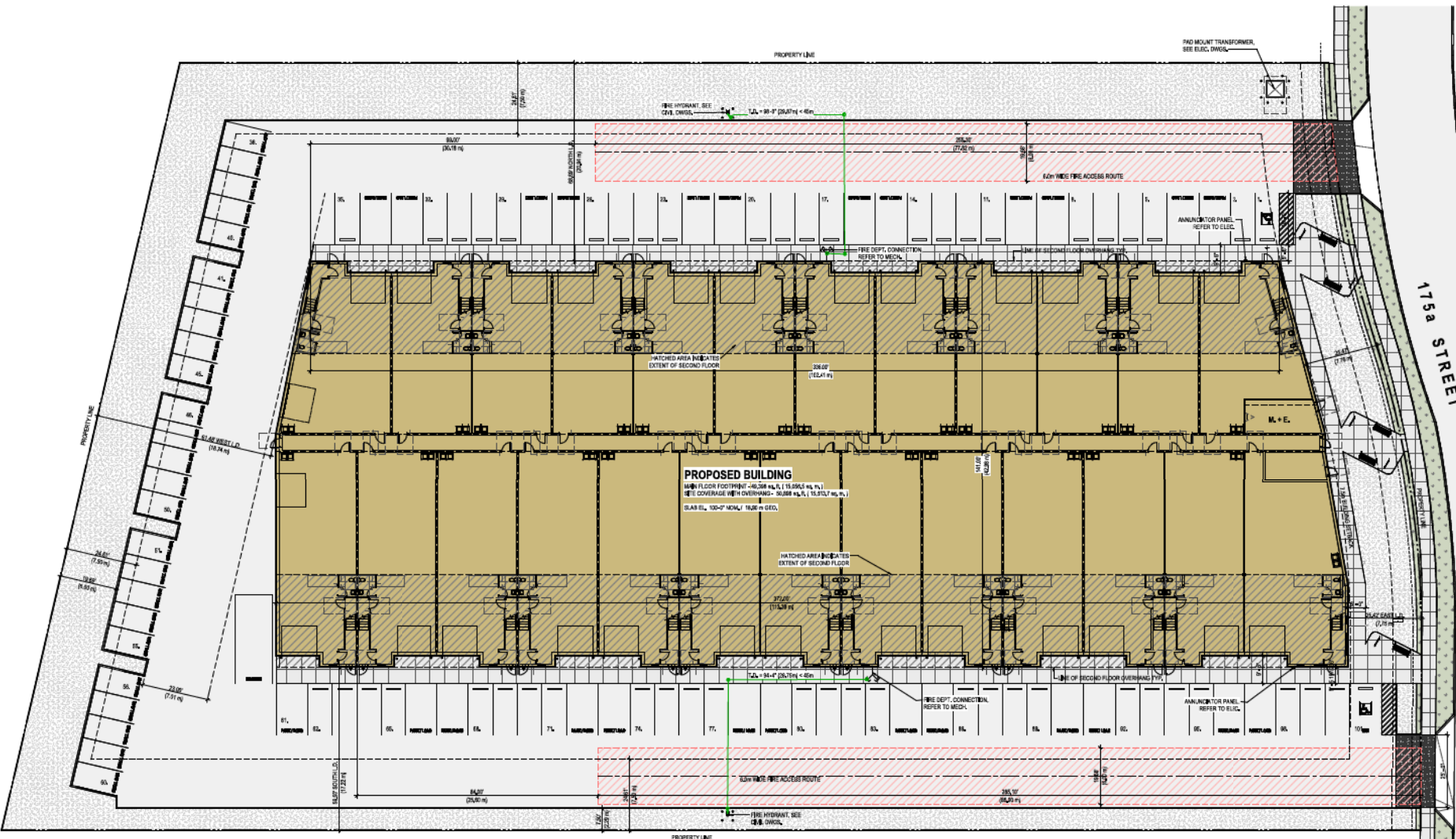
DRAWING TITLE
FIRE DEPARTMENT SITE PLAN

SCALE	1/8" = 1'-0"
DRAWN	MB
REVIEWED	LP, MB
PROJECT NO.	24091-A
DRAWING NO.	

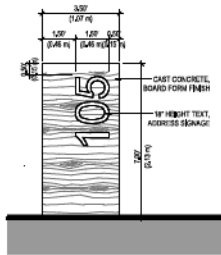
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PROJECT NORTH

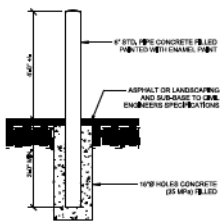


1 FIRE DEPARTMENT-SITE PLAN
SCALE: 1/8" = 1'-0"



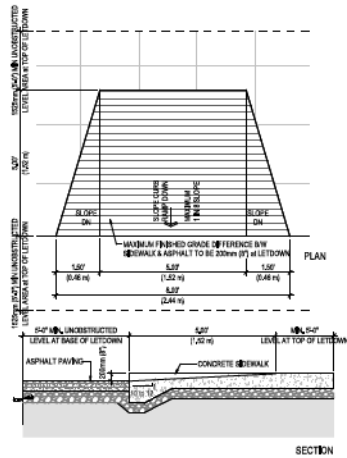
1 ADDRESS SIGN

SCALE: 3/4" = 1'-0"



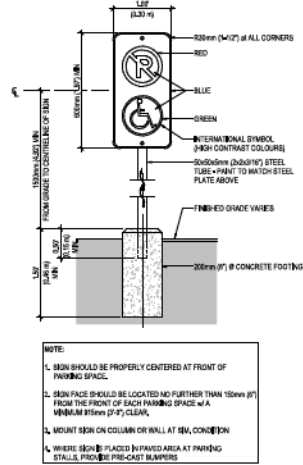
2 BOLLARD DETAIL

SCALE: 1" = 1'-0"



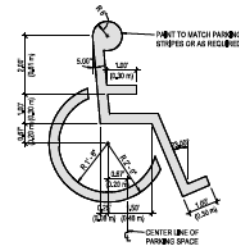
3 ACCESSIBLE LETDOWN

SCALE: 1/2" = 1'-0"



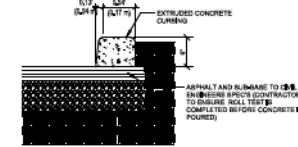
4 ACCESSIBLE POST MOUNTED SIGN

SCALE: 1" = 1'-0"



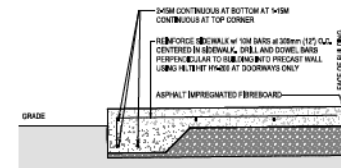
5 ACCESSIBLE PAINTED SYMBOL

SCALE: 1/2" = 1'-0"



6 EXTRUDED CURB DETAIL

SCALE: 1" = 1'-0"



NOTE:
 1. PROVIDE 100mm (4") SIDEWALK ON 4" COMPACTED CLEAN GRANULAR FILL, PROVIDE CONTROL JOINTS EVERY 2286mm (9'-0") - REFER TO SITE PLAN.
 2. PROVIDE 50mm (2") INSULATION BENEATH SIDEWALK AT ALL DOORS, EXTENDING 1220mm (5'-0") BEYOND DOOR AT SPHERES.

7 SIDEWALK DETAIL

SCALE: 1" = 1'-0"

NO.	DATE	BY	REVISION
1	2024.04.10	ISSUED FOR DEVELOPMENT PERMIT	
ISSUES AND REVISIONS			
SEAL			

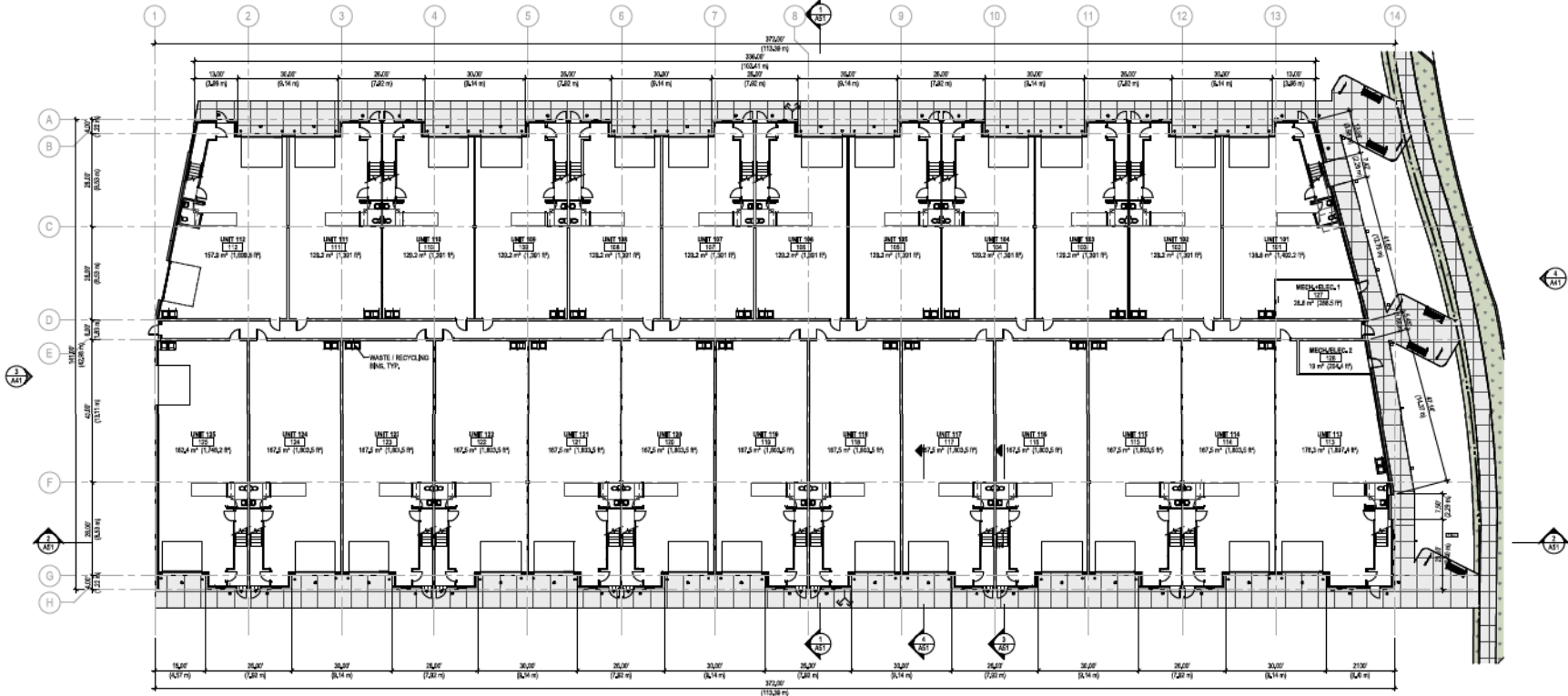
PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT NAME
LITCO INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
105 + 100 + 175A STREET, SURREY, BC

DRAWING TITLE
SITE DETAILS

SCALE	As Indicated
DRAWN	MB
REVIEWED	J.P. MB
PROJECT NO.	24191-A
DRAWING NO.	



1 MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



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3	2024/10/17	REVISED FOR DP	
2	2024/10/16	REVISED FOR REVIEW	
1	2024/10/16	ISSUED FOR DEVELOPMENT PERMIT	
NO.	DATE	YMO	DESCRIPTION
ISSUES AND REVISIONS			
SEAL			

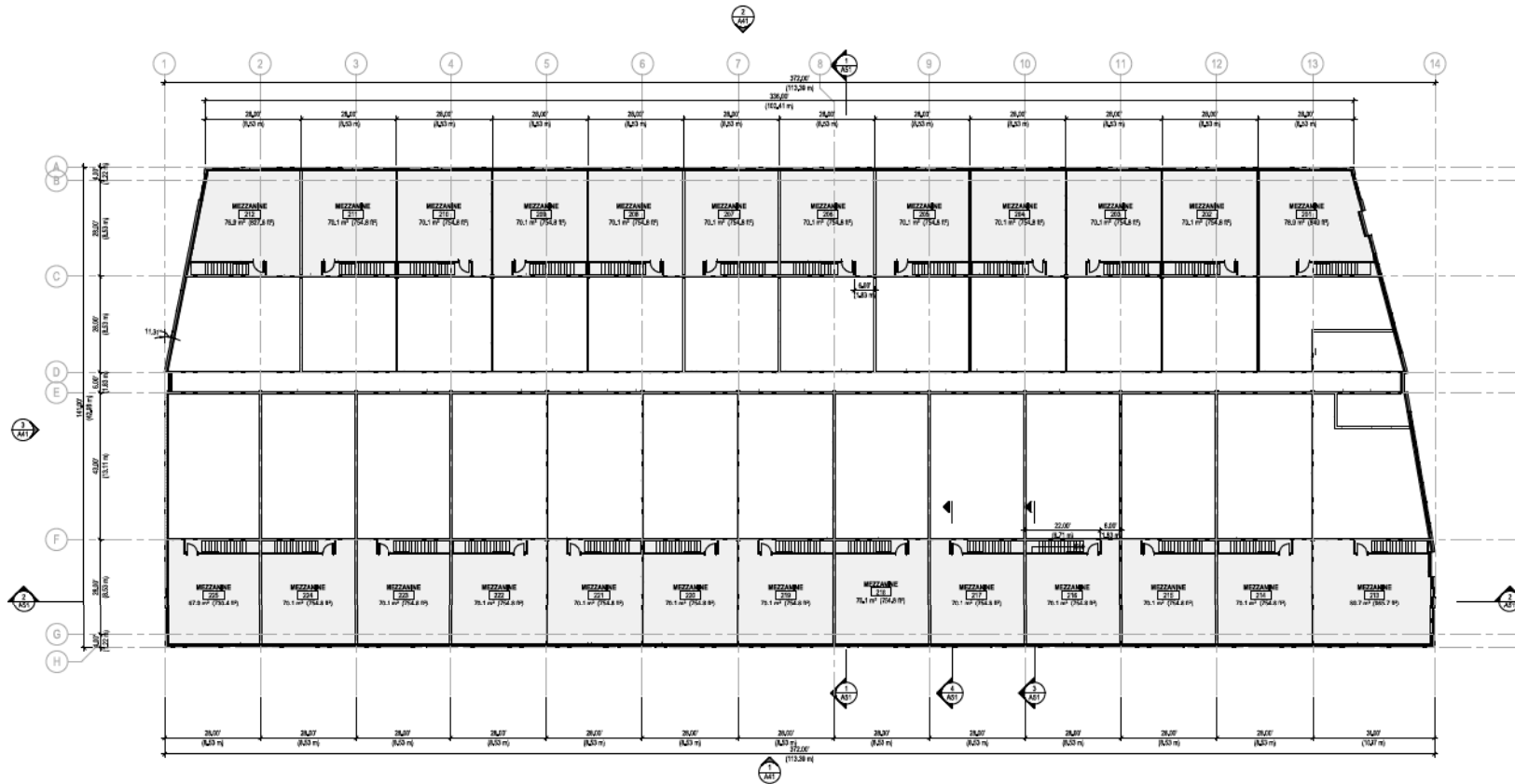
PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT NAME
LITCO INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
105 + 109 + 175A STREET, SURREY, BC

DRAWING TITLE
MAIN FLOOR

SCALE	1/8" = 1'-0"
DRAWN	MB
REVIEWED	LP, MB
PROJECT NO.	24991-A
DRAWING NO.	



1 SECOND FLOOR
SCALE: 1/8" = 1'-0"



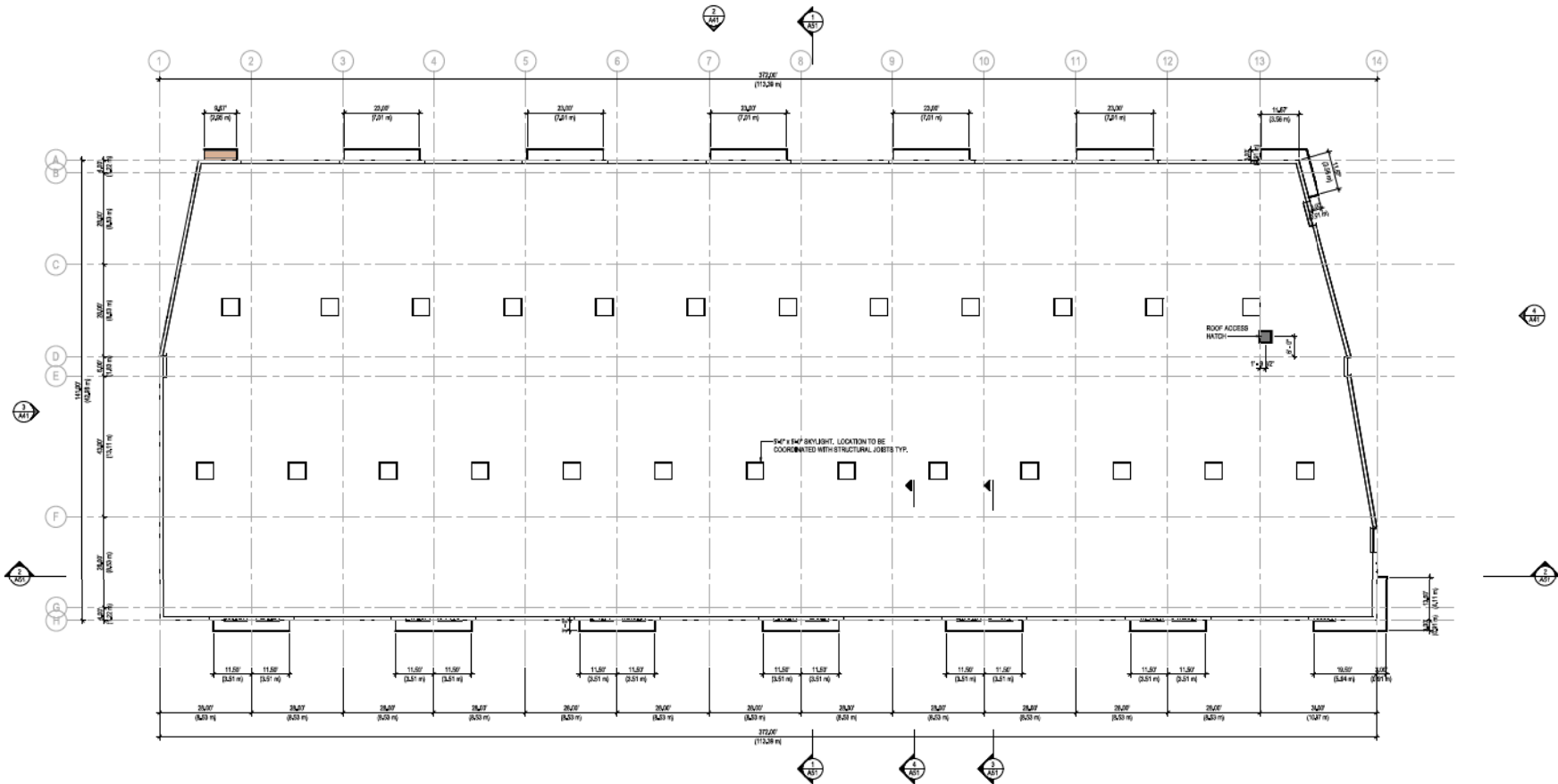
PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT NAME
LITCO INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
105 + 109 + 175A STREET, SURREY, BC

DRAWING TITLE
SECOND FLOOR

SCALE 1/8" = 1'-0"
DRAWN MB
REVIEWED LP, MB
PROJECT NO. 2491-A
DRAWING NO.



1 ROOF PLAN
SCALE: 1/8" = 1'-0"



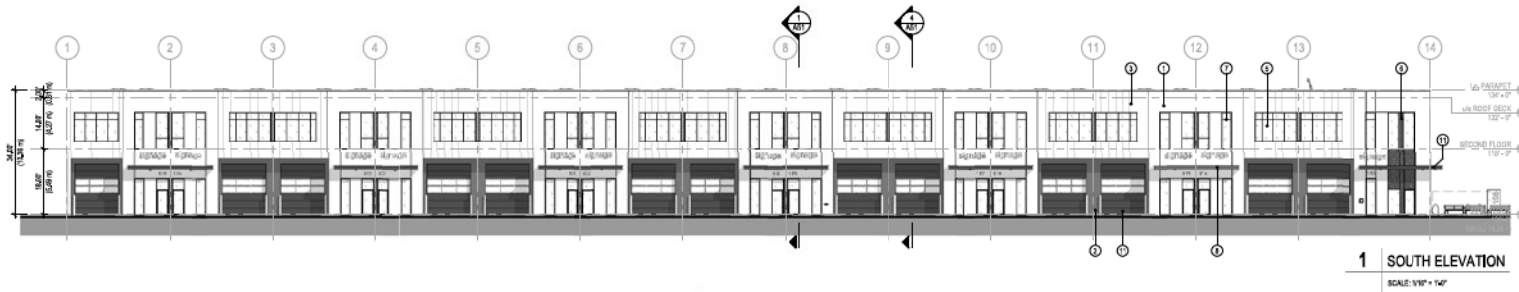
PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT NAME
LITCO INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
105 + 109 + 175A STREET, SURREY, BC

DRAWING TITLE
ROOF PLAN

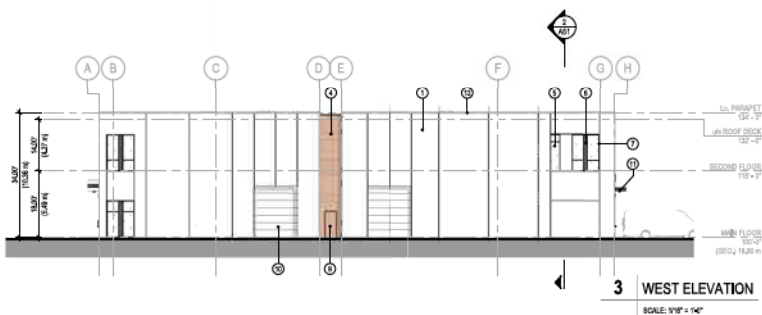
SCALE	1/8" = 1'-0"
DRAWN	MB
REVIEWED	JP, MB
PROJECT NO.	2491-A
DRAWING NO.	



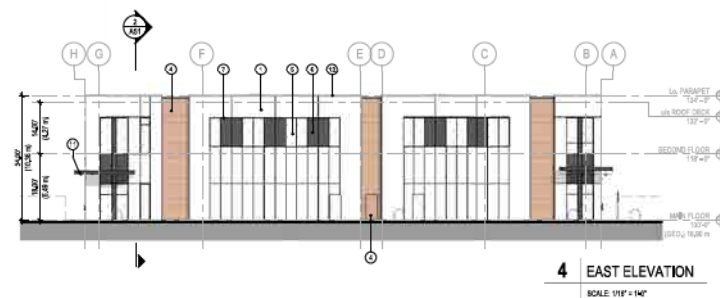
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



5 ENLARGED ELEVATION 1
SCALE: 1/8" = 1'-0"

TYPE	DESCRIPTION
1	CONCRETE PAINTED - C1
2	CONCRETE PAINTED - C2
3	INSULATED METAL PANELS
4	FAUX WOOD - CYPRESS
5	TINTED GLASS - LIGHT GRAY
6	METAL-COLOURED INSULATED SPAN-ON PANEL (COLOUR TO MATCH ALUM MULLIONS (M1))
7	CURTAIN WALL MULLIONS: PRE-ANODIZED ALUMINUM (COLOUR: BLACK)
8	ARCHITECTURAL STEEL - PAINTED
9	HOLLOW METAL DOOR - PAINTED
10	OVERHEAD DOOR - WHITE
11	OVERHEAD DOOR - BLACK
12	PARAPET CAP FLASHING (PAINTED TO MATCH WALLS)

PROJECT COLOURS

C1 BENJAMIN MOORE

00-25 - CLOUD COVER



C2 BENJAMIN MOORE

983 - GRAPHITE



C3 KINGS PAN PANELS

REGAL WHITE



C4 LIX ARCHITECTURAL

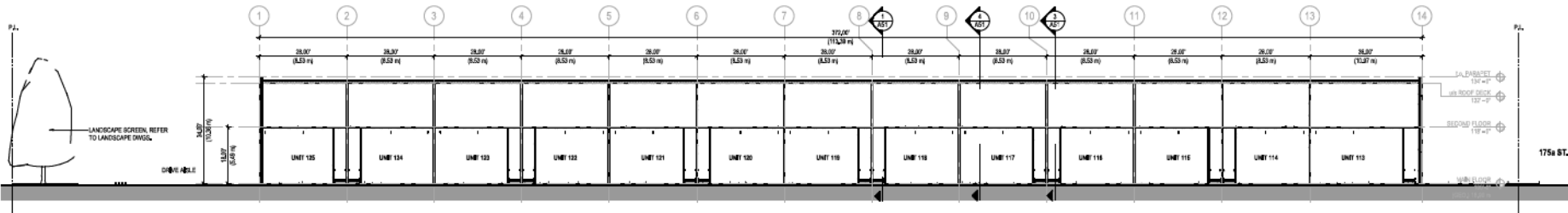
CYPRESS (OR LIMBARK)



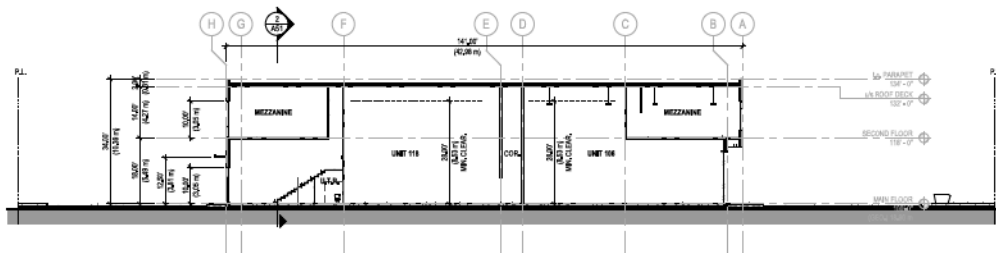
C5 BENJAMIN MOORE

AF-081 - COASTAL PATH

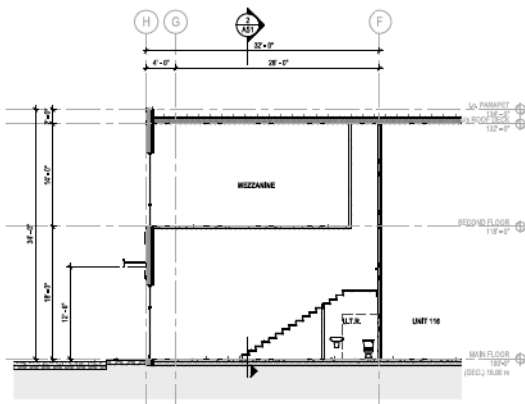




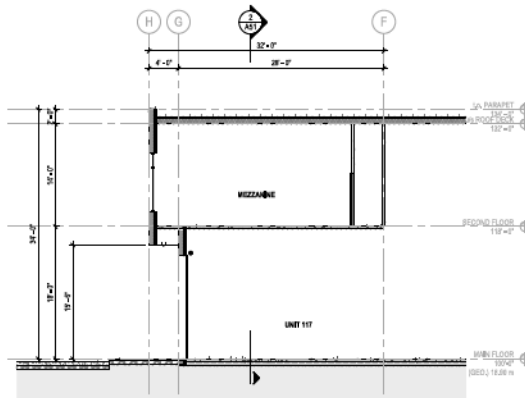
2 Section 2
SCALE: 1/8" = 1'-0"



1 Section 1
SCALE: 1/8" = 1'-0"



3 Section 7
SCALE: 1/8" = 1'-0"



4 Section 9
SCALE: 1/8" = 1'-0"

NO.	DATE	BY	DESCRIPTION
3	2024/07/17	REVISION	FOR ICP
1	2024/04/26	ISSUED FOR DEVELOPMENT PERMIT	

ISSUES AND REVISIONS

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT NAME
LITCO INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
105 + 109 + 175A STREET, SURREY, BC

DRAWING TITLE
BUILDING SECTIONS

SCALE	As Indicated
DRAWN	MB
REVIEWED	J.P. MB
PROJECT NO.	24191-A
DRAWING NO.	



LITCO INDUSTRIAL DEVELOPMENT

105-175A STREET | SURREY | BC

LANDSCAPE PLANS

LEGEND

- PROPERTY LINE
- SETBACK LINE
- SOB
- CONCRETE PAVING
- RIVER ROCK
- BENCH
- BIKE RACK
- STRUCTURAL SOB
- SAW CUT CONCRETE

1	DESIGN BY	RELEASED FOR OP
2	DESIGN BY	RELEASED FOR DEVELOPMENT PERMIT
3	DESIGN BY	RELEASED FOR REVIEW
REV.	DATE	DESCRIPTION
		ISSUES & REVISIONS

SCALE:
NORTH ARROW



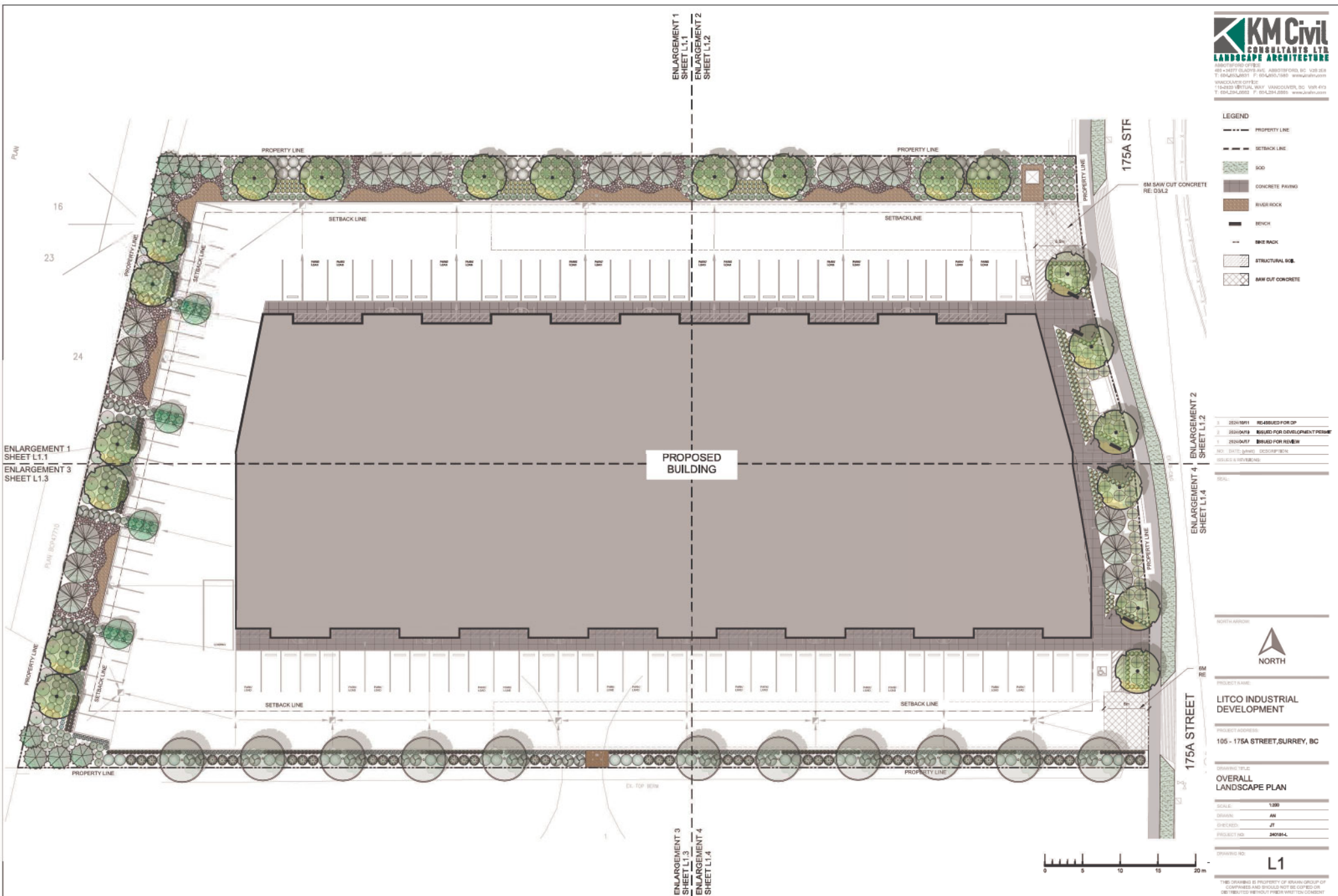
PROJECT NAME:
LITCO INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS:
105 - 175A STREET, SURREY, BC

DRAWING TITLE:
OVERALL LANDSCAPE PLAN

SCALE: 1:200
DRAWN: AN
CHECKED: JT
PROJECT NO: 24018-L
DRAWING NO: L1

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ENLARGEMENT 1
SHEET L1.1
ENLARGEMENT 3
SHEET L1.3

ENLARGEMENT 1
SHEET L1.1
ENLARGEMENT 2
SHEET L1.2

PROPOSED BUILDING

ENLARGEMENT 3
SHEET L1.3
ENLARGEMENT 4
SHEET L1.4

175A STF

ENLARGEMENT 2
SHEET L1.2
ENLARGEMENT 4
SHEET L1.4

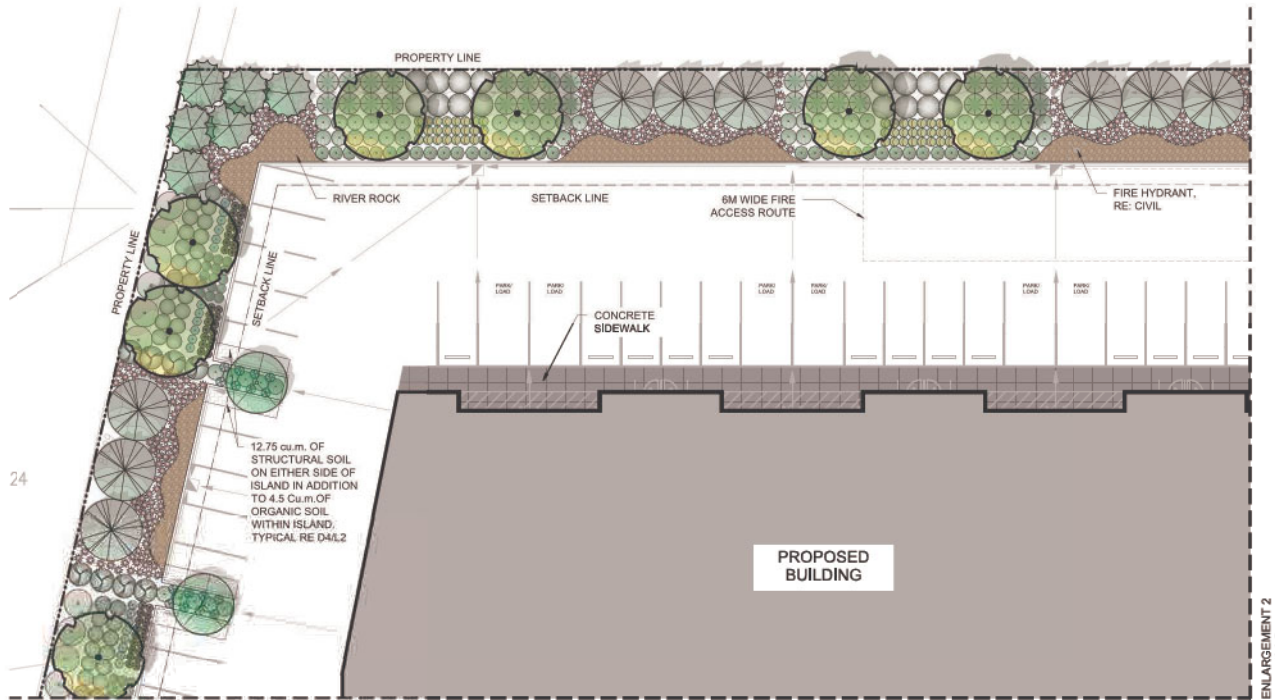
175A STREET



PLAN

16
23
24

DL TOP VIEW



J	2024/01/11	RELEASED FOR CP
J	2024/01/18	REVISED FOR DEVELOPMENT PERMIT
I	2024/01/17	REVISED FOR REVIEW
NO.	DATE (MM/DD)	DESCRIPTION
REVISED FOR REVIEW		
SCALE:		

ENLARGEMENT 3
SHEET L1.3

PLANT LIST

QTY	OFF	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
6		Acer rubrum 'Sun Valley'	Sun Valley Red Maple	60cm CxH	As Shown	W/L
20		Fraxinus excelsior 'Waywood'	Waywood Ash	60cm CxH	As Shown	W/L
11		Zakura serrata	Japanese Zakura	60cm CxH	As Shown	W/L
CONIFEROUS TREES						
16		Picea canadica	White Spruce	20cm Hx	As Shown	W/L (Bender caught form only, no weaving top)
16		Picea canadica	White Spruce	20cm Hx	As Shown	W/L
SHRUBS						
20		Strawfordia 'Sunburst'	Strawfordia	50cm Hx	1.2m	#3 pot
40		Physocarpus opulifolius	Orange Wonder Ninebark	50cm Hx	1.2m	#3 pot
20		Prunus nigra var. purshii	Dwarf Nigra Plum	40cm Hx	1.2m	#3 Pot
60		Cornus sericea 'Yellow'	Dwarf Kalmia Dogwood	60cm Hx	0.8m	#3 Pot
60		Viburnum doerfleri	Dwarf Viburnum	30cm Hx	0.8m	#3 pot
100		Potentilla fruticosa	Shrubby Cinqufoil	30cm Hx	1m	#3 pot
20		Ceanothus 'Purpl' Blue'	California Blue	50 cm Hx	As Shown	#3 Pot
44		Calluna vulgaris 'Spring Tonic'	Heather	30cm Hx	0.75m	#3 Pot
40		Hydrangea macrophylla 'Pav'	Compact Mophead Hydrangea	40cm Hx	1m	#3 Pot
72		Sorbus domestica 'Japanese Berry'	Dwarf Japanese Berry	40cm Hx	1m	#3 Pot
27		Thuja occidentalis 'Smaragd'	Emerald Green Cedar	150cm Hx	1m	B & S
PERENNIALS, GROUND COVERS, AND GRASSES						
100		Rudbeckia hirta	Black Eyed Susan	1 CxH	As Shown	Planted
240		Levinia de Agrippina	English Lavender	1 CxH	As Shown	Planted
110		Hemerocallis filipes	Day Lily	1 CxH	As Shown	Planted
200		Echinacea purpurea 'Strawberry'	Purple Coneflower	1 CxH	As Shown	Planted
40		Peonies glauciflora	Blue Peony	1 CxH	As Shown	Planted
100		Lactucastrum x asperum 'Sicily'	Shasta Daisy	1 CxH	As Shown	Planted



PROJECT NAME
LITCO INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
105 - 175A STREET, SURREY, BC

DRAWING TITLE
ENLARGEMENT 1

SCALE: 1:50

DRAWN: AM

CHECKED: JT

PROJECT NO: 24014-L

DRAWING NO: L1.1

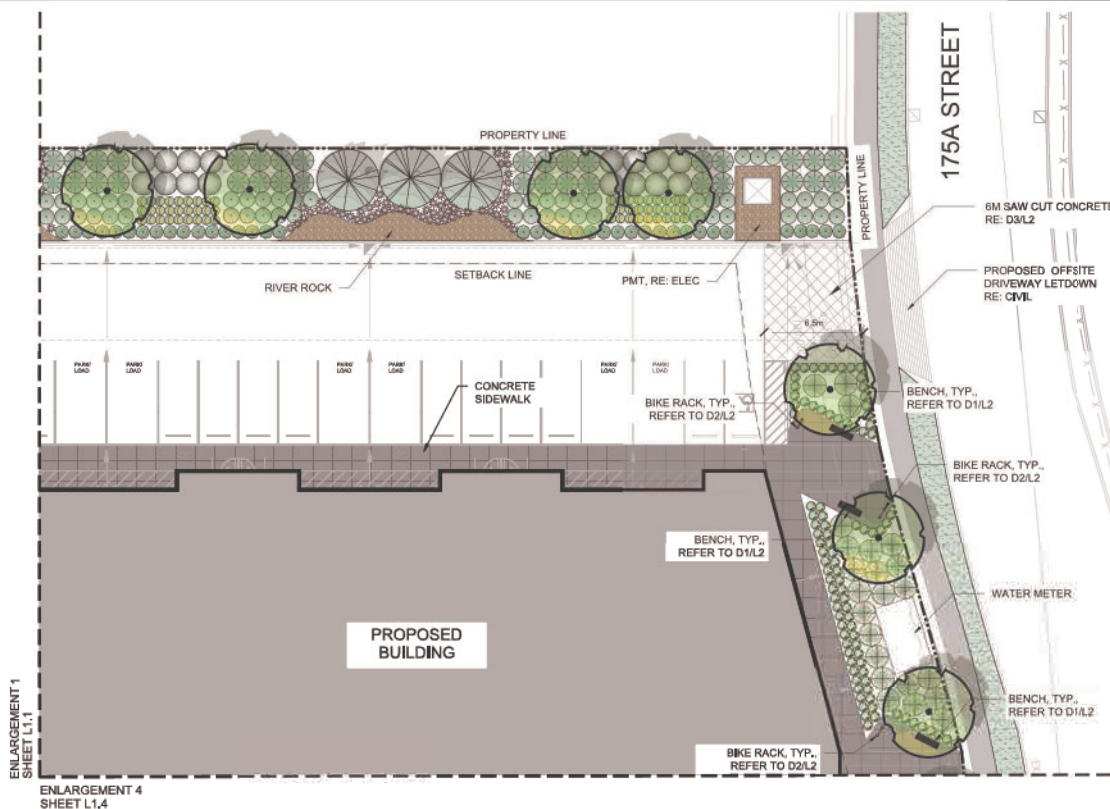


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LEGEND

- PROPERTY LINE
- - - SETBACK LINE
- SOG
- ▨ CONCRETE PAVING
- ▩ RIVER ROCK
- BENCH
- ◆ BIKE RACK
- ▧ STRUCTURAL SOE.
- ▤ SAW CUT CONCRETE

J	2024/01/11	RELEASED FOR CP
K	2024/01/18	RELEASED FOR DEVELOPMENT PERMIT
L	2024/01/17	RELEASED FOR REVIEW
NO.	DATE (MM/DD)	DESCRIPTION
REVISED & REVISIONS		
SCALE		



KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
14	4	<i>Acer laburnum 'Sun Valley'</i>	Sun Valley Red Maple	80cm Cal	As Shown	W.D.
20	20	<i>Fraxinus excelsior 'Raywood'</i>	Raywood Ash	80cm Cal	As Shown	W.D.
41	1	<i>Quercus serrata</i>	Japanese CorkOak	80cm Cal	As Shown	W.D.
CONIFER TREES						
17	1	<i>Thuja occidentalis</i>	Eastern Spruce	3m H.	As Shown	W.D. (Order upright form site, no nesting 191)
22	1	<i>Picea canadensis</i>	White Spruce	3m H.	As Shown	W.D.
SHRUBS						
23	1	<i>Stachytarpheta jamaicensis</i>	Stachytarpheta	50cm H.	1.2m	80 pot
41	1	<i>Zingiber officinale 'Mandarin'</i>	Ginger Mandarin	50cm H.	1.5m	80 pot
52	1	<i>Pinus strobus 'Millers Pride'</i>	Millers Pride Pine	45cm H.	1.5m	80 Pot
53	1	<i>Conium maculatum 'Yakuzai'</i>	Yakuzai Opium Poppy	60cm H.	50m	80 Pot
58	1	<i>Alnus incana 'Duchini'</i>	Duchini Almond	30cm H.	0.2m	80 pot
120	1	<i>Philadelphus 'Natchez'</i>	Natchez Dogwood	30cm H.	1m	80 pot
20	1	<i>Camellia 'Pagel Blue'</i>	Pagel Blue Camellia	50cm H.	As Shown	80 Pot
44	1	<i>Colinus virginianus 'Spring Tanager'</i>	Spring Tanager	30cm H.	0.75m	80 Pot
49	1	<i>Hydrangea macrophylla 'Pink Diamond'</i>	Pink Diamond Hydrangea	40cm H.	1m	80 Pot
54	1	<i>Salix purpurea 'Japanese Weeping'</i>	Japanese Weeping Willow	40cm H.	1m	80 Pot
57	1	<i>Thuja occidentalis 'Emerald Green'</i>	Emerald Green Cedar	150cm H.	1m	8 & 8
PERENNIALS, GROUND COVERS, AND GRASSES						
143	1	<i>Hosta 'Blue Heaven'</i>	Blue Heaven Hosta	1 Clump	As Shown	Plant
248	1	<i>Limonium carolinianum</i>	Carolinian Limonium	1 Clump	As Shown	Plant
112	1	<i>Andropogon glaucus</i>	Andropogon	1 Clump	As Shown	Plant
107	1	<i>Andropogon scoparius 'Savanna'</i>	Savanna Andropogon	1 Clump	As Shown	Plant
45	1	<i>Prunella sp.</i>	Prunella	1 Clump	As Shown	Plant
126	1	<i>Linum catharticum 'Aureum'</i>	Aureum Linum	1 Clump	As Shown	Plant

NORTH ARROW



PROJECT NAME

LITCO INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS

105 - 175A STREET, SURREY, BC

DRAWING TITLE

ENLARGEMENT 2

SCALE

1/50

DRAWN

AM

CHECKED

JT

PROJECT NO.

24014-L

DRAWING NO.

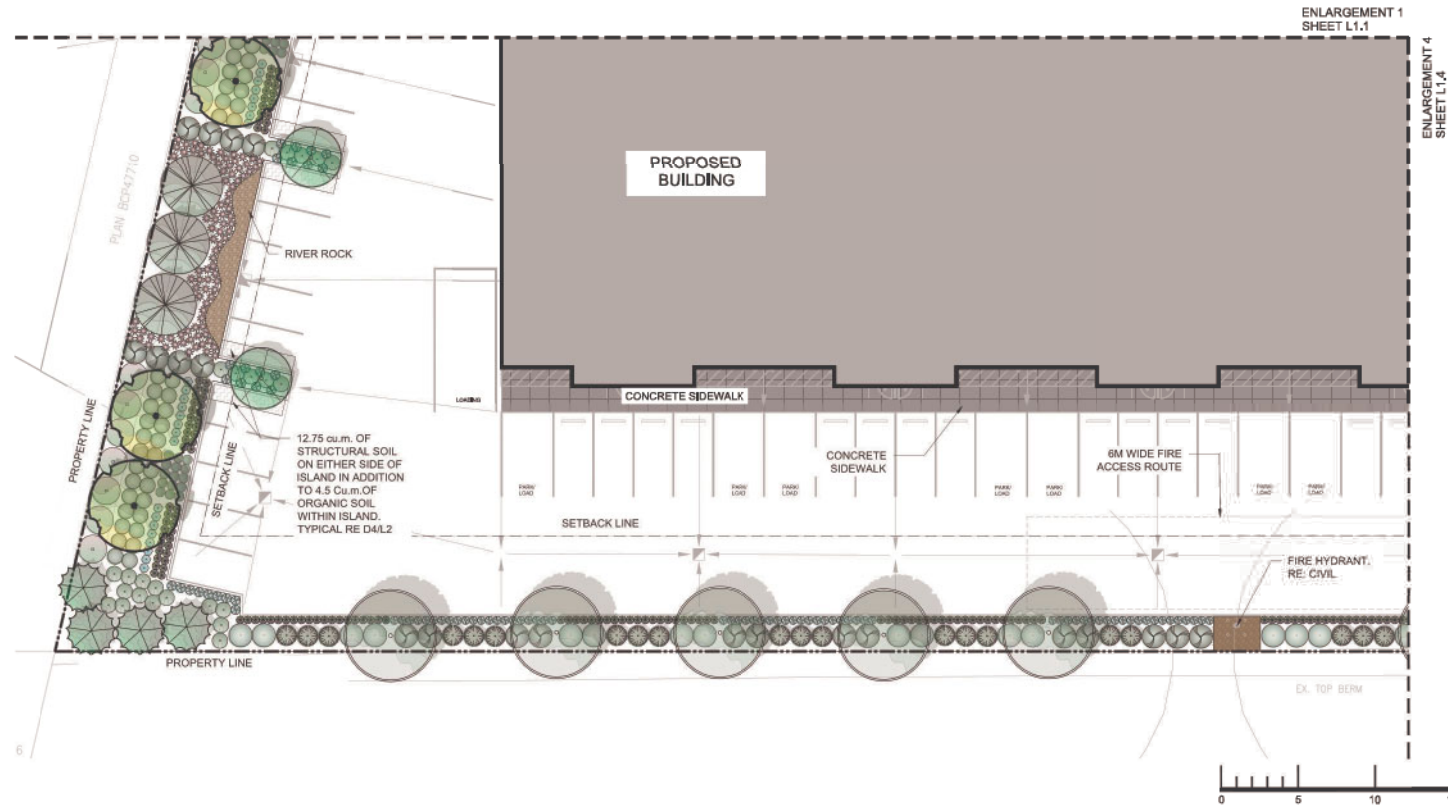
L1.2



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- LEGEND**
- PROPERTY LINE
 - SETBACK LINE
 - SOIL
 - CONCRETE PAVING
 - RIVER ROCK
 - BENCH
 - BMC BACK
 - STRUCTURAL SOIL
 - SAW CUT CONCRETE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
4	1	Acer japonicum 'Sun Valley'	Sun Valley Red Maple	8cm Cal.	As Shown	W/L
20	1	Fraxinus excelsior 'Raywood'	Raywood Ash	8cm Cal.	As Shown	W/L
11	1	Zelkova serrata	Japanese Zelkova	8cm Cal.	As Shown	W/L
LAND SHADE TREES						
16	1	Pinus murrayana	Scots Pine	3m H.	As Shown	W/L, 10cm height from only, no weeping top
10	1	Pinus strobus	White Pine	3m H.	As Shown	W/L
SHRUBS						
27	1	Wisteria tubulosa	Wisteria	80cm H.	1.2m	#2 pot
41	1	Philadelphus occidentalis	Ginger White Nivea	80cm H.	1.2m	#2 pot
66	1	Pinus mugo var. mugo	Dwarf Mugo Pine	40cm H.	1.2m	#2 Pot
13	1	Quercus sericea 'Staryk'	Dwarf Kelsey Dogwood	80cm H.	0.8m	#2 Pot
60	1	Viburnum pendula	Swedish Viburnum	30cm H.	0.8m	#2 pot
113	1	Waxillia americana	Shrubby Chokeberry	30cm H.	1m	#2 pot
20	1	Calluna vulgaris	Calluna Blue	67cm H.	As Shown	#2 Pot
44	1	Quercus virginica 'Spring Tangle'	Heather	30cm H.	0.75m	#2 Pot
43	1	Hydrangea anomala 'Red'	Compact Mophead Hydrangea	40cm H.	1m	#2 Pot
53	1	Betula nana 'Sibirica' 'Sibirica'	Dwarf Pumkinet Japanese Betula	40cm H.	1m	#2 Pot
22	1	Thuja occidentalis 'Smaragd'	Dwarf Green Cedar	100cm H.	1m	S & B
PERENNIALS, GROUND COVERS, AND GRASSES						
163	1	Hydrangea	Black Eyed Susan	1 Galun	As Shown	Perpet
249	1	Limonium	English Lavender	1 Galun	As Shown	Perpet
112	1	Hydrangea	Pink Lily	1 Galun	As Shown	Perpet
337	1	Salix	Purple Coneflower	1 Galun	As Shown	Perpet
49	1	Peperomia	Blue Tacca	1 Galun	As Shown	Perpet
116	1	Limonium	Drum Daisy	1 Galun	As Shown	Perpet



ENLARGEMENT 1
SHEET L1.1

ENLARGEMENT 4
SHEET L1.4

J	2024/01/11	RELEASED FOR CP
K	2024/01/18	REVISED FOR DEVELOPMENT PERMIT
L	2024/01/17	REVISED FOR REVIEW
NO.	DATE	DESCRIPTION
REVISED AND REVISIONS		
SCALE		



PROJECT NAME
LITCO INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
105 - 175A STREET, SURREY, BC

DRAWING TITLE
ENLARGEMENT 3

SCALE:	1:50
DRAWN:	AM
CHECKED:	JT
PROJECT NO.:	24018-L
DRAWING NO.:	L1.3



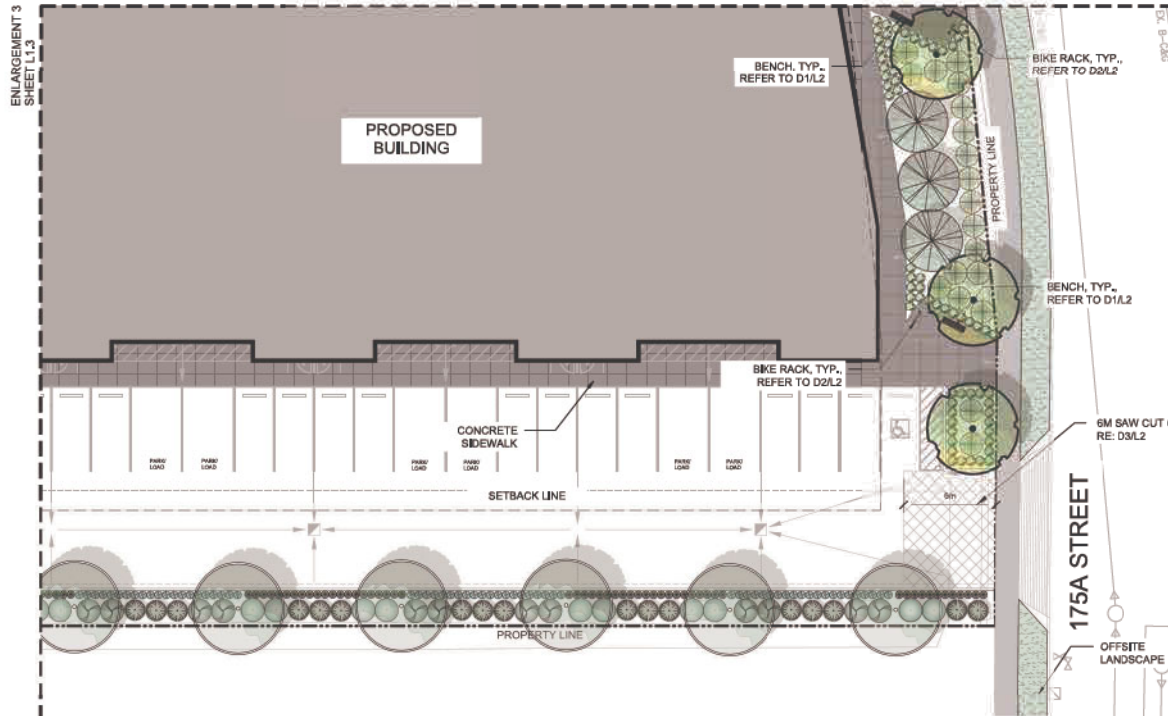
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KEY	SPY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
4		<i>Araucariox ilva</i> Var. <i>colymbi</i>	Red Valley Red Maple	60cm C.D.	As Shown	W.D.
20		<i>Fraxinus excelsior</i> 'Raywood'	Raywood Ash	60cm C.D.	As Shown	W.D.
21		<i>Quercus laevis</i>	Japanese Zelkova	60cm C.D.	As Shown	W.D.
CONIFEROUS TREES						
16		<i>Thuja occidentalis</i>	Eastern Spruce	3m H.	As Shown	W.D. (Slender upright form with no weeping top)
18		<i>Thuja occidentalis</i>	White Spruce	3m H.	As Shown	W.D.
SHRUBS						
27		<i>Desmodium illinoense</i>	Desmodium	50cm H.	1.5m	#3 pot
41		<i>Physocarpus opulifolius</i>	Orange Birch Leaf	30cm H.	1.2m	#3 pot
32		<i>Prunella vulgaris</i> var. <i>spicata</i>	Dark Hedge Pine	40cm H.	1.5m	#3 Pot
13		<i>Coronilla varia</i> 'Stacy'	Dark Redway Dogwood	90cm H.	0.2m	#3 Pot
89		<i>Yucca filamentosa</i>	Dark Yucca	30cm H.	0.2m	#2 pot
133		<i>Passiflora foetida</i>	Strawberry Chalice	30cm H.	1m	#3 pot
20		<i>Carolinian Pigeon Plant</i>	California Lily	50 cm H.	As Shown	#3 Pot
44		<i>Salix caprea</i> 'Upright Twist'	Hammer	30cm H.	0.2m	#2 Pot
42		<i>Hydrangea macrophylla</i> 'Polar'	Compact Mophead Hydrangea	40cm H.	1m	#3 Pot
78		<i>Berberis thunbergii</i> 'Lutescens' 'Vagabond'	Dark Folioloid Japanese Barberry	40cm H.	1m	#3 Pot
27		<i>Thuja occidentalis</i> 'Sprenger'	Emerald Green Cedar	180cm H.	1m	B & B
PERENNIALS, BIENNIALS, CROPPERS AND GRASSES						
	100	<i>Hydrangea</i>	Black Eye Susan	1.0m H.	As Shown	Plant
	101	<i>Salvia</i>	English Lavender	1.0m H.	As Shown	Plant
	112	<i>Hydrangea</i>	Day Lily	1.0m H.	As Shown	Plant
	102	<i>Hydrangea</i>	Purple Columbine	1.0m H.	As Shown	Plant
	43	<i>Phlox</i>	Phlox	1.0m H.	As Shown	Plant
	103	<i>Lythrum</i>	Shade Daisy	1.0m H.	As Shown	Plant

LEGEND

- PROPERTY LINE
- SETBACK LINE
- SOIL
- CONCRETE PAVING
- RIVER ROCK
- BENCH
- BIKE RACK
- STRUCTURAL SOIL
- RAW CUT CONCRETE

ENLARGEMENT 2
 SHEET L1.2



J	2024/01/11	RELEASED FOR CP
J	2024/01/11	REVISED FOR DEVELOPMENT PERMIT
J	2024/01/11	REVISED FOR REVIEW
NO.	DATE (YYYY)	DESCRIPTION
REVISED FOR REVIEW		
SCALE:		

NORTH ARROW

NORTH

PROJECT NAME
LITCO INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
105 - 175A STREET, SURREY, BC

DRAWING TITLE
ENLARGEMENT 4

SCALE: 1:50

DRAWN: AN

CHECKED: JT

PROJECT NO: 24014-L

DRAWING NO: **L1.4**

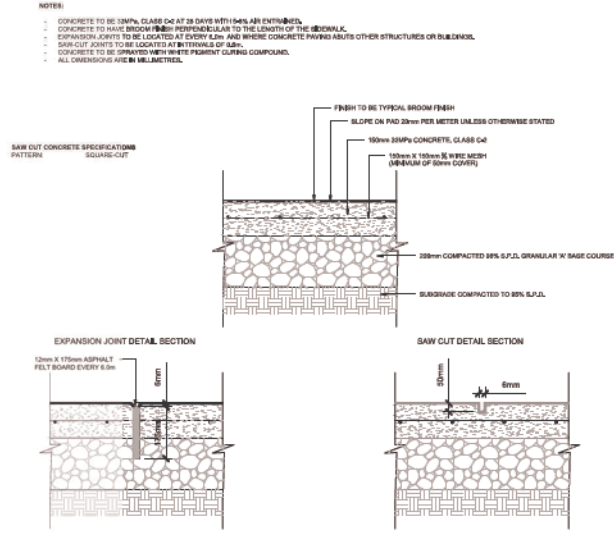
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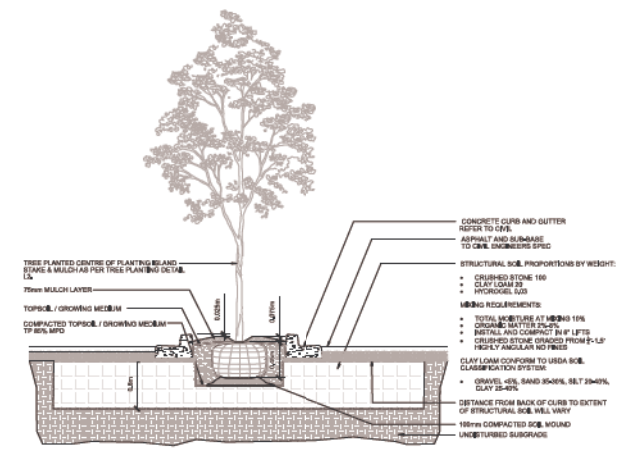
D1 BENCH N.T.S.
 MANUFACTURER: MAGLIN
 MODEL: 2300 SERIES (CONCRETE BACKED)
 COLOUR: WHITE FRAME AND PINE WOOD
 QUANTITY: 1
 OR APPROVED EQUAL



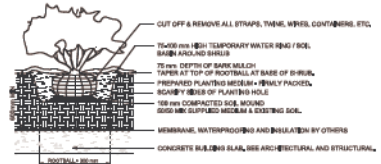
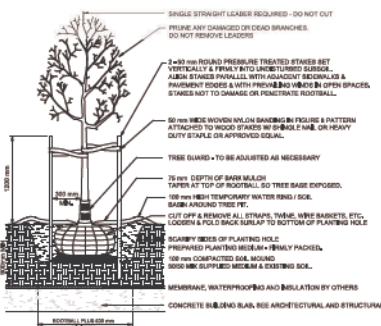
D2 BIKE RACK N.T.S.
 MANUFACTURER: DENO
 MODEL: ROUND
 COLOUR: ORANGE/BLUE
 QUANTITY: 5
 OR APPROVED EQUAL



D3 SAW CUT CONCRETE N.T.S.



D4 STRUCTURAL SOIL 1:30



J	2024/11/11	RELEASED FOR CP
J	2024/11/11	RELEASED FOR DEVELOPMENT PERMIT
J	2024/11/11	RELEASED FOR REVIEW
NO.	DATE (MM/DD)	DESCRIPTION
REVISED & REVISIONS		
SCALE:		

PROJECT NAME:
LITCO INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS:
105 - 175A STREET, SURREY, BC

DRAWING TITLE:
DETAILS

SCALE:
AS NOTED

DRAWN:
AN

CHECKED:
JT

PROJECT NO:
24014-L

DRAWING NO:
L2

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TREE PRESERVATION SUMMARY

Surrey File Number: 24-0003-00
 Address: 109/105 175A Street
 Arborist: Elvis Truong PN-9567A
 Date of Report/Revision: October 16, 2024

Arborist Signature

*All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report

<u>ONSITE TREES</u>				<u># of Trees</u>
Existing Bylaw Trees				<u>0</u>
Proposed Removed Bylaw Trees				<u>0</u>
Proposed Retained Bylaw Trees				<u>0</u>
Total Replacement Trees Required				
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio				
Removed			Subtotal	
0	x	1		0
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio				
Removed			Subtotal	
0	x	2		0
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio				
Removed			Subtotal	
0	x	2		0
Required Replacement Trees				<u>0</u>
Proposed Replacement Trees				<u>63</u>
Deficit of Replacement Trees				<u>0</u>
Total Onsite Retained and Replacement Trees				<u>63</u>
<u>OFFSITE TREES</u>				<u># of Trees</u>
Existing Bylaw Trees				<u>12</u>
Proposed Removed Bylaw Trees				<u>0</u>
Proposed Retained Bylaw Trees				<u>12</u>
Total Replacement Trees Required				
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio				
Removed				
0	x	1		0
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio				
Removed				
0	x	2		0
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio				
Removed				
0	x	2		0
*To be taken as cash-in-lieu				<u>0</u>
Total Offsite Retained Trees				<u>12</u>
<u>CITY TREES</u>		<u>Existing</u>	<u>Removed</u>	<u>Retained</u>
Park/City Lot Trees		0	0	0
Boulevard Trees		1	0	1
Total		1	0	1

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7924-0003-00

Issued To:

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 031-632-289

Lot 2 Section 32 Block 1 north Range 1 East New Westminster District Plan EPP102805

105 – 175A Street

109 – 175A Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

-
- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

-
-
-
- (a) Section F.1 of Part 5, Off-Street Parking and Loading/Unloading – to permit standard parking spaces in front of overhead loading doors and that these be considered towards the calculation of required off-street parking spaces.

5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

