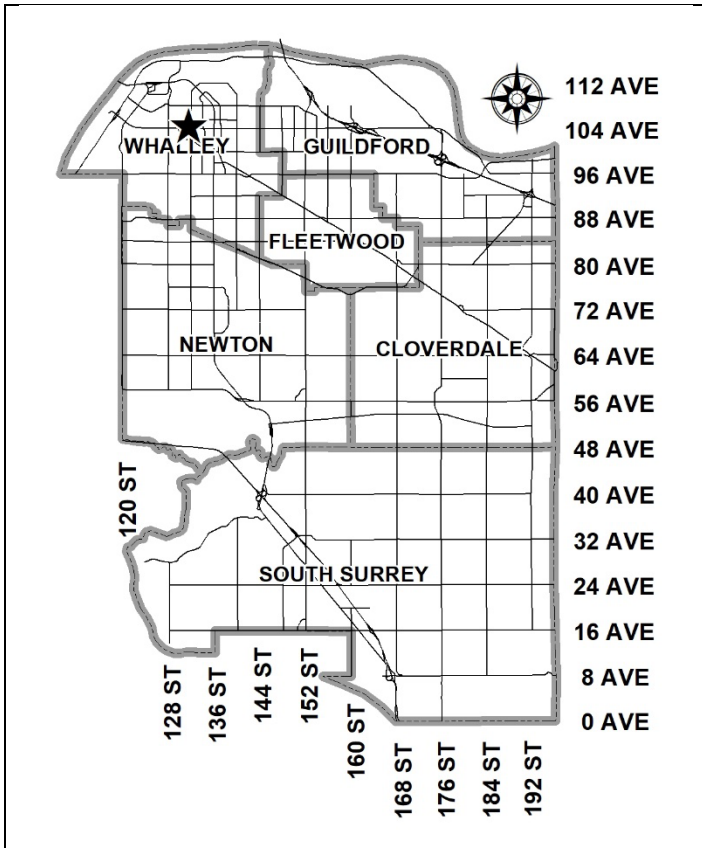


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

Application No.: 7923-0344-00

Planning Report Date: May 27, 2024



**PROPOSAL:**

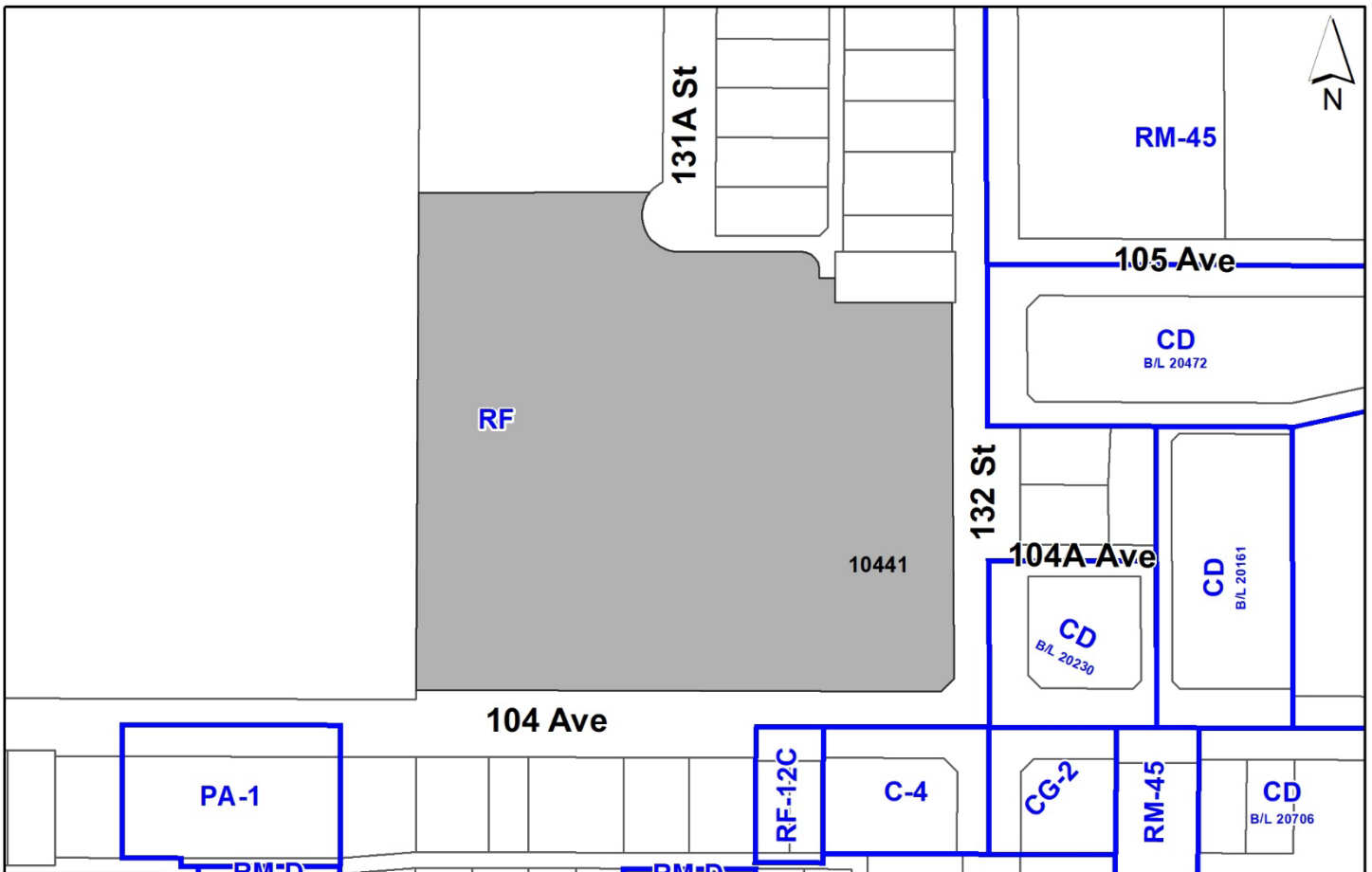
- Rezoning from RF to CD
- Development Variance Permit

To permit the development of an addition to the existing Kwantlen Park Secondary School and to reduce the required number of off-street parking spaces.

**LOCATION:** 10441 - 132 Street

**ZONING:** RF

**OCP DESIGNATION:** Urban



**RECOMMENDATION SUMMARY**

- By-law Introduction and set date for Public Hearing for Rezoning; and
- Approval for Development Variance Permit to proceed to Public Notification.

**DEVIATION FROM PLANS, POLICIES OR REGULATIONS**

- Proposing to reduce the total number of required off-street parking spaces in the Zoning Bylaw from 288 to 232 (a reduction of 56 spaces), for Kwantlen Park Secondary School.

**RATIONALE OF RECOMMENDATION**

- The proposal complies with the Urban designation in the Official Community Plan (OCP).
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- As per General Provisions Part 4 (B.1) of the Zoning Bylaw, Public Schools are permitted to be located within any Zone, with a maximum density of 0.40. The proposed addition increases the density of the existing public school building to 0.49 requiring a rezoning application.
- The proposed addition of 3,840 sq. m will feature 20 new classrooms, increasing capacity of the existing school by 500 students. Relaxation of the off-street requirements will facilitate the construction of the new addition.
- The proposed reduction in parking complies with the findings of the *Kwantlen Park Secondary School, Surrey – Parking Space Demand Study* completed by Creative Transportation Solutions Ltd. (CTS) on November 27, 2023, and accepted by Transportation Engineering staff.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council approve Development Variance Permit No. 7923-0344-00 (Appendix IV) to reduce the total number of required off-street parking spaces for secondary public schools from 288 to 232 (a reduction of 56 spaces), for Kwantlen Park Secondary School, to proceed to Public Notification.
3. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
  - (c) demolition of existing buildings and structures (4 portables) to the satisfaction of the Planning and Development Department.

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Kwantlen Park Secondary School	OCP: Urban	RF
North:	K.B Woodward Elementary School, single family dwellings and lot under Application No. 7918-0047-00 (pre-Council) to develop two single family lots.	OCP: Urban	RF
East (Across 132 Street):	Single family dwellings and future 6-storey apartment buildings under construction	OCP: Urban City Centre: Low to Mid Rise Residential	RF CD (BL20472) CD (BL20230)
South (Across 104 Avenue):	Single family dwellings and local commercial building	OCP: Urban	RF, RF-12C & C-4
West:	Royal Kwantlen Park	OCP: Urban	RF

### Context & Background

- Kwantlen Park Secondary School is located at 10441 - 132 Street, just west of City Centre. The lot is approximately 3.57 hectares in size.

- The site is designated “Urban” in the Official Community Plan (OCP) and is zoned “Single-Family Residential (RF)” in the Zoning Bylaw.
- Currently, Kwantlen Park Secondary School has 48 classrooms, with 6 portables and a capacity of 1200 students.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant is proposing to rezone the subject site to “Comprehensive Development Zone (CD)” to accommodate a proposed 20-classroom addition for the existing Kwantlen Park Secondary School building. As per General Provisions Part 4 (B.1) of the Zoning Bylaw, Public Schools are permitted to be located within any Zone, with a maximum density of 0.40 floor area ratio (FAR). The proposed addition increases the density of the existing building to 0.49 FAR requiring a rezoning application.
- The proposed addition to the existing Kwantlen Park Secondary School of 3,840 square metres will feature 20 new classrooms, increasing capacity of the existing school by 500 students. The main objective of this addition is to serve the growing population in the City Centre area and to eliminate the portables on site. The addition is slated to open in 2027.
- The 4 portables that are currently located in the area of the proposed addition will be relocated to the parking lot during construction. Post-construction these portables will be removed and replaced by the addition.
- The addition will also provide a childcare centre in the form of before and after school care and infant toddler care. This use will require 6 dedicated parking stalls.
- As per Part 5, Section D. of the Zoning Bylaw, Secondary Public Schools require 3.8 parking spaces per classroom and 9 parking spaces for drop-off.
- The applicant is proposing to reduce the total number of required off-street parking from 288 to 232 (a reduction of 56 spaces) to permit the addition of 20 new classrooms.

	Required	Provided	Deficit
Off-street parking spaces	288	232	56

- The proposed reduction in parking complies with the findings of the *Kwantlen Park Secondary School, Surrey – Parking Space Demand Study* completed by Creative Transportation Solutions Ltd. (CTS) on November 27, 2023, and accepted by Transportation Engineering staff.
- There are 232 off-street parking spaces existing currently. An additional 20 classrooms, increases the parking space requirement to 288 parking spaces, creating a parking space deficit of 56 parking spaces. However, the parking study indicates that there are currently 96 unused parking spaces in the AM peak period and 66 unused parking spaces in the PM peak period. The anticipated parking demand can therefore be met with the provision of 232 existing parking spaces.

## Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

## Transportation Considerations

- As part of the subject development application the applicant will be required to provide approximately 537 square metres of road dedication.
  - 1.5 metres of dedication is required for 132 Street & 104 Avenue for an ultimate road dedication of 30 metres.
  - A 5x5 metre corner cut at the intersection of 104 Avenue and 132 Street is also required to be dedicated.
- Access to the site will remain from 132 Street.
- The subject site is adjacent to bus service along 104 Avenue. These routes include bus route 323 and 393 to Surrey Central Station / Newton Exchange and bus route 373 to Surrey Central Station / Guildford Exchange.
- The subject site is also about 95 metres away to bus service along 132 Street. This route includes bus route 324 to Surrey Central Station / Newton Exchange.

## Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

## POLICY & BY-LAW CONSIDERATIONS

### Regional Growth Strategy

- The subject site is designated as "General Urban" in the Metro Vancouver Regional Growth Strategy (RGS). The "General Urban" designation is intended for residential neighbourhoods and centres. The proposed public school addition complies with this designation.

### Official Community Plan

#### Land Use Designation

- The development site is designated Urban in the OCP, which is intended to support low and medium residential uses, complementary institutional, and small-scale commercial uses, and public facilities in keeping with an urban neighbourhood character. The proposed development complies with the OCP.

## CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed addition for 20 classrooms on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Assembly Hall 1 Zone (PA-1)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the PA-1 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	PA-1 Zone (Part 31)	Proposed CD Zone
<b>Floor Area Ratio:</b>	0.35	0.49
<b>Lot Coverage:</b>	35%	35%
<b>Yards and Setbacks</b>	all setbacks shall be greater than or equal to the height of the highest building	Front: 13.5 m (east) Rear: 15 m (west) Side: 6 m (north) Street Side: 13.5 m (south)
<b>Principal Building Height:</b>	9 metres	15 metres
<b>Permitted Uses:</b>	Assembly halls Private schools Child care centres Community services	Assembly halls Child care centres Community services Public schools
<b>Parking (Part 5)</b>	<b>Required</b>	<b>Proposed</b>
<b>Number of Stalls</b>		
Total:	288	232

## Parking Variances

- The applicant is requesting the following variance:
  - to reduce the total number of required off-street parking spaces for secondary public schools from 288 to 232 (a reduction of 56 spaces), for the existing Kwantlen Park Secondary School.
- Relaxation of the off-street parking requirements will facilitate the construction of the new school addition.
- The proposed reduction in parking complies with the findings of the *Kwantlen Park Secondary School, Surrey – Parking Space Demand Study* completed by Creative Transportation Solutions Ltd. (CTS) on November 27, 2023, and accepted by Transportation Engineering staff.
- Staff support the requested variance to proceed for consideration.

## PUBLIC ENGAGEMENT

- Pre-notification letters were sent on March 26, 2024, and the Development Proposal Signs were installed on April 11, 2024. Staff received no responses from neighbouring residents.

## DEVELOPMENT PERMITS

### Form and Character Development Permit Requirement

- The proposed development is not subject to a Development Permit for Form and Character given the site's institutional use.
- The applicant has worked with staff to address high level design challenges to ensure the proposed addition is cohesive with the existing building.
- The applicant has proposed landscaping along the west and north side of the proposed addition for better street interface and buffering adjacent to Royal Kwantlen Park.

## TREES

- Mike Fadum, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

**Table 1: Summary of Proposed Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Deciduous Trees</b>			
Green Ash	10	0	10
Sycamore Maple	22	7	15
Katsura	13	0	13
Cherry	1	0	1
English Oak	13	0	13
Pin Oak	1	0	1
Red Oak	1	0	1
European Beech	6	0	6
Purple leaf Plum	1	0	1
Ironwood	10	0	10
Norway Maple	16	0	16
Cockspur Hawthorn	1	0	1
<b>Coniferous Trees</b>			
Austrian Pine	28	0	28
White Spruce	2	0	2
Norway Spruce	1	0	1
Douglas Fir	5	0	5
Western Red Cedar	8	0	8
<b>Total</b>	<b>139</b>	<b>7</b>	<b>132</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>14</b>	
<b>Total Retained and Replacement Trees Proposed</b>		<b>146</b>	

- The Arborist Assessment states that there are a total of 139 mature trees on the site. There are no Alder and Cottonwood trees on the site. The applicant proposes to retain 132 trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio for all trees. This will require a proposed total of 14 replacement trees on the site. The applicant is proposing 14 replacement trees, meeting City requirements.
- The new trees on the site will consist of a variety of trees including Saskatoon serviceberry, Maidenhair tree, Columnar sweetgum and Arnold Sentinel Austrian black pine.
- In summary, a total of 146 trees are proposed to be retained or replaced on the site.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix IV.	Development Variance Permit No. 7923-0344-00

*approved by Ron Gill*

Don Luymes  
General Manager  
Planning and Development

SJ/ar



# KWANTLEN PARK SECONDARY SCHOOL ADDITION

10441 132 STREET, SURREY, B.C. V3T 3V3

2023-11-16  
ISSUED FOR REZONING APPLICATION

LOT 1 SECTION 21 RANGE 2 PLAN LMP49629 NWD KWANTLEN PARK SECONDARY

CONTEXT PLAN

NTS



RENDERING

NTS



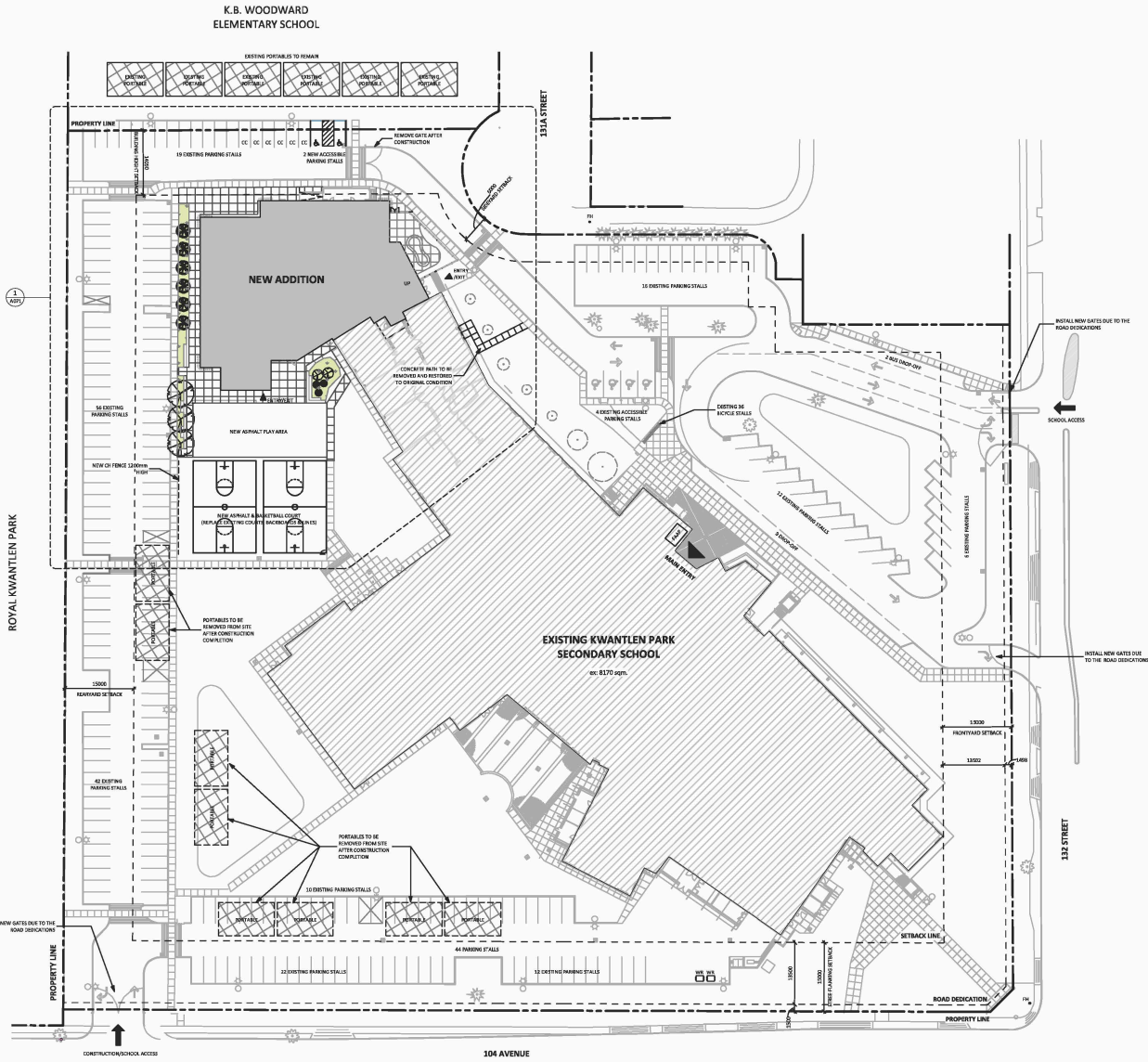
CONSULTANT AND DRAWING LIST

<b>ARCHITECT</b> THINKSPACE ARCHITECTURE PLANNING INTERIOR DESIGN 300-10190 132A STREET SURREY B.C. V3R 1J7 PHONE: (604) 581-8128 EMAIL: info@thinkspace.ca	<b>STRUCTURAL</b> ROCKY FORT ENGINEERING 1300-1001 W. 49TH AVENUE, SURREY B.C. V4W 2G6 PHONE: (604) 588-9841 EMAIL: cfo@rockyfort.com
<b>A000 COVER SHEET</b>	<b>MECHANICAL</b> ROCKY FORT ENGINEERING 1300-1001 W. 49TH AVENUE, SURREY B.C. V4W 2G6 PHONE: (604) 588-9841 EMAIL: cfo@rockyfort.com
<b>A001 BRACKET FOR NAME CATALOG SURVEY PLAN (FOR INFORMATION ONLY)</b>	<b>ELECTRICAL</b> JAMES ENGINEERING CONSULTANTS 2088 PORTER AVENUE UNIT 100, ABOTSFORD B.C. V3J 2A8 PHONE: (604) 885-7779 EMAIL: james@jameseng.com
<b>A002 BRACKET FOR NAME CATALOG PROVISION SURVEY (FOR INFORMATION ONLY)</b>	<b>CODE REVIEW</b> ENGINEERING ENGINEERING LTD. 470 HATT BIRTH AVENUE, VANCOUVER B.C. V6T 2A2 PHONE: (604) 278-2222 EMAIL: info@ee-engineering.ca
<b>A003 BRACKET FOR NAME CATALOG SURVEY (FOR INFORMATION ONLY)</b>	<b>FIRE SUPPRESSION</b> ROCKY FORT ENGINEERING 1300-1001 W. 49TH AVENUE, SURREY B.C. V4W 2G6 PHONE: (604) 588-9841 EMAIL: cfo@rockyfort.com
<b>A004 BRACKET FOR NAME CATALOG SURVEY (FOR INFORMATION ONLY)</b>	<b>LANDSCAPE</b> TTLA LANDSCAPE ARCHITECTURE 1300 WEST 2ND AVENUE, VANCOUVER B.C. V6J 3H4 PHONE: (604) 681-6200 EMAIL: info@tlla.com
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PROJECT: KWANTLEN PARK SECONDARY SCHOOL ADDITION  
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thinkspace  
 architecture planning interior design ltd.  
 300 - 10190 132A ST. | Surrey, BC | V3R 1J7  
 604.581.8128 | www.thinkspace.ca



1 SITE PLAN  
17420

**CITY OF SURREY BY-LAW DATA**

Project Address: 10441 132 Street, Surrey, B.C.  
 Legal Description: LOT 1 SECTION 21 BLOCK 5 NORTH RANGE 2 NEW WESTMINSTER DISTRICT PLAN LMP 45629  
 Zoning: R-F-1  
 Lot Use: Public School

**PUBLIC SCHOOL MINIMUM SETBACK (SEE SITE PLAN)**

Front Yard:	=	15.0 m
Rear Yard:	=	15.0 m
Side Yard (Based on bldg height):	=	14.05 m
Side Yard (Street Frontage):	=	15.0 m

**FLOOR AREA**

	Existing	Proposed
Main Floor:	8,337.00	1,391.00 m <sup>2</sup>
Second Floor:	4,966.00	1,416.00 m <sup>2</sup>
Third Floor:	0.00	1,033.00 m <sup>2</sup>
<b>Total Area:</b>	<b>13,303.00</b>	<b>3,840.00 m<sup>2</sup></b>

Grand Total Area: 17,143.00 m<sup>2</sup>  
 Site Area (After Road Dedication): 35,225.00 m<sup>2</sup>

**FLOOR AREA RATIO (AFTER ROAD DEDICATION)**

Maximum Allowed:	0.40	14,502.00 m <sup>2</sup>
Proposed:	0.49	17,143.00 m <sup>2</sup>

**LOT COVERAGE AFTER ROAD DEDICATION**

Maximum Allowed:	25%	8,813.75 m <sup>2</sup>
Proposed:	38%	9,728.00 m <sup>2</sup>

**PARKING (CALCULATION BASED ON COMPLETED CONSTRUCTION)**

Category	Required	Provided
74 Classrooms (48 Existing, 30 New & 6 Portables) * 3.8 Stalls/Classroom:	282	
NLC Childcare Program:	6	6
Drop-off Stalls:	9	9
Bus Drop-off Stalls:	2	2

**West On-Site Parking Area**

South On-Site Parking Area:	107	
North East On-Site Parking Area:	34	
North West On-Site Parking Area:	13	
Accessible:	(6)	6
<b>Total Stalls:</b>	<b>288</b>	<b>232</b>

\*Includes childcare stalls, not drop-off or bus stalls\*\*

**Available During Construction:**

Occupied During Construction:	14
Available During Construction:	131

\*\*PARKING VARIANCE IS REQUIRED FOR 56 PARKING STALLS\*\*  
 \*\*BICYCLE VARIANCE IS REQUIRED FOR 556 BICYCLE STALLS\*\*

**CODE DATA**

BASED ON 2018 B.C.C. & AMENDMENT THERETO:

**USE AND OCCUPANCY**

Building Area of New Addition:	1,391.00 m <sup>2</sup>
Building Area of Existing Building:	8,337.00 m <sup>2</sup>
<b>Total Area:</b>	<b>9,728.00 m<sup>2</sup></b>

**MAJOR OCCUPANCY**

Occupancy Class:	Article 3.2.2.24, Group A, Div. 2, Up to 6 Storeys, Any Area, Sprinklered
No. of Streets:	2
No. of Stories:	3
Sprinklers:	Yes
Group:	A (Assembly)
Division:	2 (School)
Building Construction:	Non-Combust
Standpipes:	No

**REQUIRED FIRE SEPARATION OF AREAS (SUBSECTION 3.1.8, SECTIONS 3.3.4.3.6)**  
 Closures: Rated per Table 3.1.8.4 (45 min. for 1 hr. rated fire separations to service rooms and non-at ducts or 0 hr. rated fire separations to Janitor Rooms)  
 Corridors: Waived per 3.3.2.6.13) and (8) (Buildings are sprinklered with less than 45 m travel distance throughout)  
 Service Rooms containing fuel-fired appliances: 1 hr.  
 Janitor Rooms: 0 hr. fire separations required due to sprinklers per 3.3.1.21.13)  
 Elevator Hoistways: 1 hr. rated fire separation (Table 3.3.1.1)  
 Vertical Service Spaces: 45 min. (Table 3.6.3.1)  
 Construction Safety: as per Fire Code 5.6.1.1.2.1, 1 hr. rated hoarding walls

**ACCESSIBILITY REQUIREMENTS (SECTION 3.8)**

Street Access:	Yes	Parking:	Yes
Entrances:	Yes	Automatic Doors:	Yes
Toilet Room:	Yes	Walkways:	Yes
Drinking Fountain:	Yes	Facilities:	Yes

**FLAME SPREAD RATING TO CAN/ULC-S102.2**

WALL FINISHES	
Gypsum Board - Painted	25
Birch Panels	150
Ceramic Tile	< 25
Concrete - Unpainted	25
M.D.F. Paneling - Painted	25
Texture Panels - Painted	< 150
Fabric Acoustic Panels	< 25
CEILING FINISHES	
Acoustic Tiles	25
Gypsum Board - Painted	25
Concrete - Unpainted	< 25

**PLUMBING FACILITIES (ARTICLES 3.7.2.2 & 3.8.2.17)**

	# of Occupants	Female/Male
Group Childcare:	27	14F/13M
Childcare Staff:	4	
Students (0-8-12):	500	250F/250M
Staff:	50	25F/25M
<b>Total</b>	<b>581</b>	

Group Childcare:	Required	Provided
Childcare Staff:	4	4
Students (0-8-12):	1	1
Students (0-8-12):	99F/5M	15
Staff:	19M/1F	2
Universal:	1	2
<b>Total</b>	<b>22</b>	<b>24</b>

**SITE PLAN GENERAL NOTES**

- ALL MEASUREMENTS IN THIS DRAWING THAT ARE NOT SPECIFIED OTHERWISE ARE TO BE IN METERS.
- ALL UTILITY LINES TO BE SHOWN AND IDENTIFIED.
- GENERAL CONTRACTOR TO MAINTAIN EXISTING FENCE AND MAINTAIN THE SETBACKS INDICATED TO THE REMAINING REGULATIONS.
- REMOVE EXISTING PARKING LINES AFTER CONSTRUCTION ON ADJACENT NORTH & WEST LOTS.
- GENERAL CONTRACTOR TO RESPOND TO ALL COMMENTS TO THE CONCRETE POURING SCHEDULES AND TO THE CONSTRUCTION AND LAYOUT AREA.

**SITE PLAN LEGEND**

- PROPERTY LINE
- SETBACK LINE
- NEW UNDERGROUND UTILITY
- EXISTING UNDERGROUND ELECTRICAL
- EXISTING SEPTIC AND MECHANICAL LINES
- CONSTRUCTION FENCE LINE
- EXISTING BUILDINGS
- NEW ADDITION
- NEW CONCRETE PAD SIDEWALK
- EXISTING CONCRETE PAD SIDEWALK TO REMAIN
- ASPHALT
- FIRE ACCESS ROUTE
- NEW GRASS AREA
- NEW TREE
- EXISTING WASTE AND RECYCLING LOCATION (WR)
- NEW CATCH BASIN (CB)
- NEW WHEEL STOP (WS)
- EXISTING FIRE HYDRANT (FH)
- PROPOSED ELEVATION (m)
- POWER POLE
- EXISTING POLE AND LIGHT
- FIRE ALARM ANNUNCIATOR PANEL

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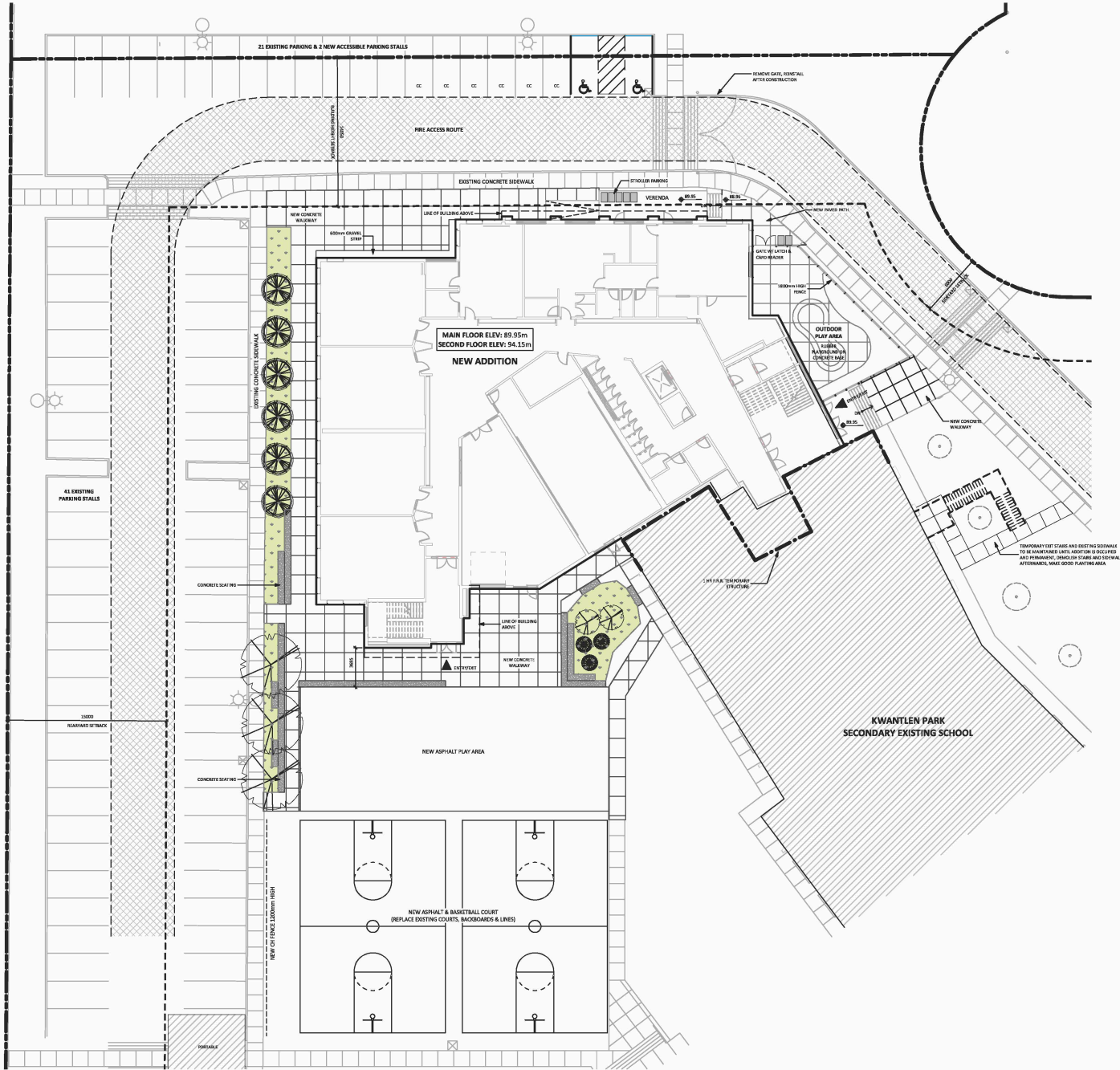
**1/27/2024 DRAWING APPLICATION**

NO.	DATE	DESCRIPTION
1	2024-01-17	ISSUED FOR PERMITTING
2	2024-01-17	ISSUED FOR PERMITTING
3	2024-01-17	ISSUED FOR PERMITTING
4	2024-01-17	ISSUED FOR PERMITTING
5	2024-01-17	ISSUED FOR PERMITTING
6	2024-01-17	ISSUED FOR PERMITTING
7	2024-01-17	ISSUED FOR PERMITTING
8	2024-01-17	ISSUED FOR PERMITTING
9	2024-01-17	ISSUED FOR PERMITTING
10	2024-01-17	ISSUED FOR PERMITTING

Project Name: Kwantlen Park Secondary School Addition  
 Project No: 230971  
 Date: 2024-01-17

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**KWANTLEN PARK SECONDARY SCHOOL ADDITION**  
 230971  
 DATE: 2024-01-17  
**A070**  
 SITE PLAN



**SITE PLAN GENERAL NOTES**

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE BC BUILDING ACT AND ALL APPLICABLE BYLAWS.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE BC FIRE CODE AND ALL APPLICABLE BYLAWS.
- GENERAL CONTRACTOR TO MAINTAIN EXISTING FENCE AND MARKING THE SECTIONS REMOVED TO THE REMAINING FENCED AREA.
- REARWARD PARKING LINES AFTER CONSTRUCTION TO ACCORD WITH THE NORTH & WEST LINES.
- GENERAL CONTRACTOR IS RESPONSIBLE TO PROTECT THE EXISTING CONCRETE SIDEWALKS AND ASPHALT WITHIN THE CONSTRUCTION AND LANDSCAPE AREA.

**SITE PLAN LEGEND**

- PROPERTY LINE
- SETBACK LINE
- NEW UNDERGROUND UTILITY
- EXISTING UNDERGROUND ELECTRICAL
- EXISTING SEPTIC AND MECHANICAL LINES
- CONSTRUCTION FENCE LINE
- EXISTING BUILDINGS
- NEW ADDITION
- NEW CONCRETE PAD SIDEWALK
- EXISTING CONCRETE PAD SIDEWALK TO REMAIN
- ASPHALT
- FIRE ACCESS ROUTE
- NEW GRASS AREA
- NEW TREE
- EXISTING WASTE AND RECYCLING LOCATION (WR)
- NEW CATCH BASIN (CB)
- NEW WHEEL STOP (WS)
- EXISTING FIRE HYDRANT (FH)
- PROPOSED ELEVATION (p)
- POWER POLE
- EXISTING POLE AND LIGHT
- FIRE ALARM ANNUNCIATOR PANEL

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**1 ENLARGED SITE PLAN**  
 1/2500



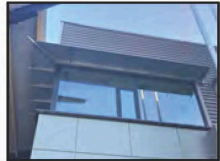
**KWANTLEN PARK SECONDARY SCHOOL**  
 ADDITION  
 230971  
 ENLARGED SITE PLAN  
 A071



REFERENCE - SIMILAR TO EXISTING SLANTED ROOF



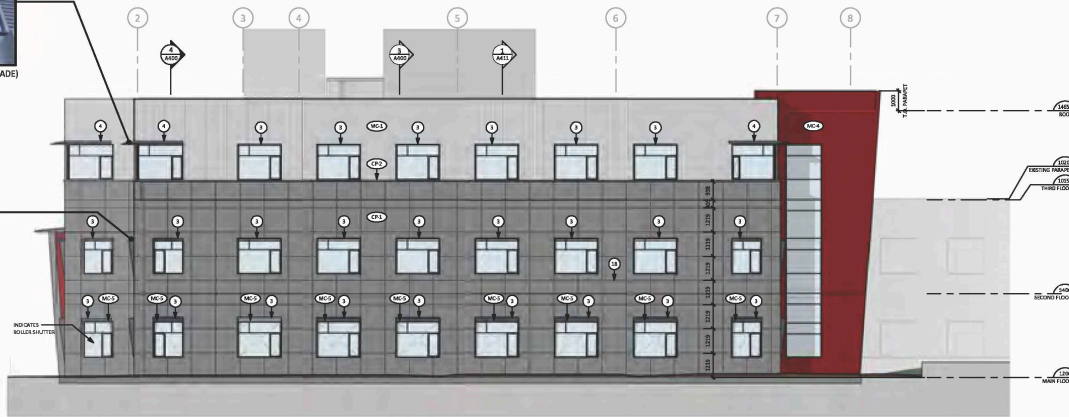
1 NORTH ELEVATION  
1:100



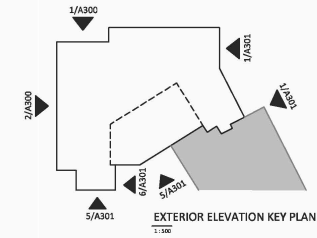
TO MATCH THE EXISTING (TYPICAL CORNER SUNSHADE)



TO MATCH THE EXISTING (TYPICAL SUNSHADE)



2 WEST ELEVATION  
1:100



EXTERIOR ELEVATION KEY PLAN  
1:100



ELEVATION KEY - NORTH EAST

ELEVATION GENERAL NOTES

- 1. AS NOTED
- 2. AS NOTED

ELEVATION LEGEND

- (MCS) VERTICAL CORRUGATED METAL CLADDING
- (MCS) HORIZONTAL CORRUGATED METAL CLADDING
- (MCS) STANDING SEAM METAL CLADDING
- (MCS) TRANSFERAL METAL CLADDING
- (CST) FIBRE CEMENT PANEL
- (MCS) HORIZONTAL METAL LOUVER GRILL
- (CST) FIBRE CEMENT SILL (SIMILAR TO EXISTING)
- (MCS) REINFORCED METAL PANEL
- (MCS) ROLLER SHUTTER
- (X) INDICATES ROLLER SHUTTER LOCATING

EXTERIOR ELEVATION KEYNOTES

- (O) DAYCARE PLAY AREA
- (O) OPERABLE WINDOW
- (O) STEEL SKYBRIDGE
- (O) CONCRETE STEEL SUNSHADE
- (O) PREFER. METAL SLABINGS
- (O) FIBRE CEMENT SILL
- (O) PREFER. ALUMINIUM CURTAINWALL
- (O) PREFER. ALUMINIUM STOREFRONT
- (O) GLAZED ALUMINIUM DOOR
- (O) PRESSED STEEL DOOR AND FRAME (AS NOTED)
- (O) PREFER. SECURITY SHUTTER BOX
- (O) ROOF ACCESS STAIR
- (O) METAL SECURITY FENCE
- (O) STAINLESS STEEL
- (O) METAL WELDS
- (O) CONCRETE WALL
- (O) METAL SECURITY GATE
- (O) REVEAL

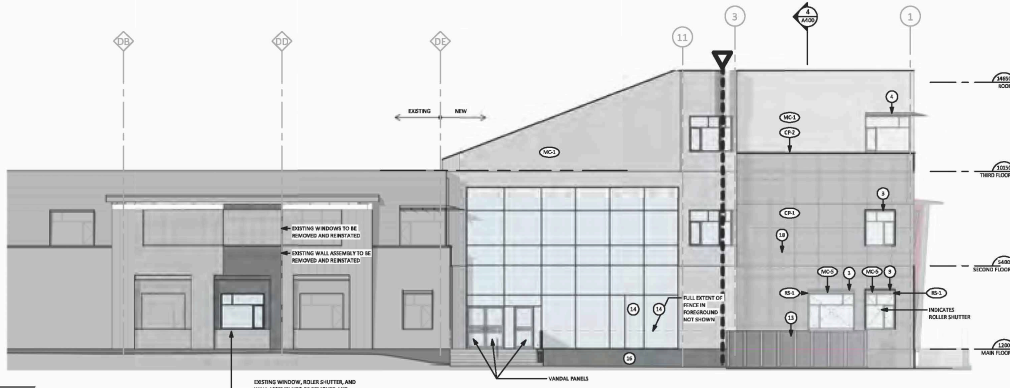
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2	2023-11-15	ISSUE FOR PERMITTING
3	2023-11-15	ISSUE FOR PERMITTING
4	2023-11-15	ISSUE FOR PERMITTING
5	2023-11-15	ISSUE FOR PERMITTING
6	2023-11-15	ISSUE FOR PERMITTING
7	2023-11-15	ISSUE FOR PERMITTING
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12	2023-11-15	ISSUE FOR PERMITTING
13	2023-11-15	ISSUE FOR PERMITTING
14	2023-11-15	ISSUE FOR PERMITTING
15	2023-11-15	ISSUE FOR PERMITTING
16	2023-11-15	ISSUE FOR PERMITTING
17	2023-11-15	ISSUE FOR PERMITTING
18	2023-11-15	ISSUE FOR PERMITTING
19	2023-11-15	ISSUE FOR PERMITTING
20	2023-11-15	ISSUE FOR PERMITTING

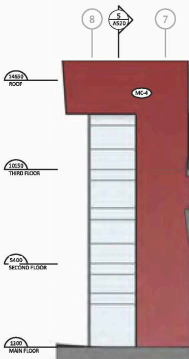
Project: KWANLEN PARK SECONDARY SCHOOL ADDITION  
 Drawing No: 230971-EXTERIOR ELEVATIONS  
 Date: 2023-11-15

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1 EAST ELEVATION  
1:100



6 SOUTHEAST ELEVATION  
1:100



2 OUTDOOR INDIGENOUS LEARNING - SOUTHWEST ELEVATION  
1:100



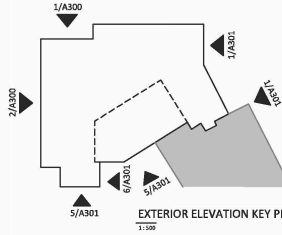
3 OUTDOOR INDIGENOUS LEARNING - SOUTH ELEVATION  
1:100



4 OUTDOOR INDIGENOUS LEARNING - SOUTHEAST ELEVATION  
1:100



5 SOUTH ELEVATION  
1:100



ELEVATION GENERAL NOTES

- 1. 4460 NOTED
- 2. 4630 NOTED

ELEVATION LEGEND

	VERTICAL CORRUGATED METAL CLADDING
	HORIZONTAL CORRUGATED METAL CLADDING
	STANDING SEAM METAL CLADDING
	TRANSLUCENT METAL CLADDING
	FIBRE CEMENT PANEL
	HORIZONTAL METAL LOUVER GRILL
	FIBRE CEMENT SILL (SIMILAR TO MARKET EXISTING)
	REINFORCED METAL PANEL
	ROLLER SHUTTER
	INDICATES ROLLER SHUTTER LOCATING

EXTERIOR ELEVATION KEYNOTES

- 
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NO. DATE BY REVISIONS
1 2023-11-08 JLS INITIAL DESIGN
2 2023-11-08 JLS REVISIONS
3 2023-11-08 JLS REVISIONS
4 2023-11-08 JLS REVISIONS
5 2023-11-08 JLS REVISIONS
6 2023-11-08 JLS REVISIONS
7 2023-11-08 JLS REVISIONS
8 2023-11-08 JLS REVISIONS
9 2023-11-08 JLS REVISIONS
10 2023-11-08 JLS REVISIONS
11 2023-11-08 JLS REVISIONS
12 2023-11-08 JLS REVISIONS

PROJECT: KWANTLEN PARK SECONDARY SCHOOL ADDITION  
 DRAWING NO.: 230971  
 SHEET NUMBER: EXTERIOR ELEVATIONS  
 A301  
 DATE: 2023-11-08 09:08 AM  
 FILE PATH: C:\Users\jls\AppData\Local\Microsoft\OneDrive\OneDrive\Documents\23-0971-01-KWANTLEN PARK SEC EXTERIOR ELEVATIONS.dwg



- Outdoor Play Area**
  - child friendly planting
  - encourage interaction with landscape
  - CIP concrete surface
  - sawcut coloured "track"
- Planted Buffer**
  - sloped to existing grades
  - planted per School District guidelines
  - columnar trees for west side shading
- Level 3 Outdoor Deck**
  - flexible open space
  - option for garden planters
- Native/low maintenance planted area**
  - species per School District guidelines
- Tiered Seat walls**
- New half sport courts on asphalt paving**
- Tiered planter seat walls**
  - 2sq.m tree pit
  - sport court viewing
  - south side shading
  - planted buffer from street

Revision No.	Date	Revision Notes
--------------	------	----------------

Issue No.	Date	Issue Notes
A	2020-10-31	Issued for 100% CD Drawing
B	2024-04-17	Issued for 30% CD
C	2024-04-26	Issued for City Response

Professional Seal

**eta** landscape architecture

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**Project**  
**Kwantlen Park**  
**Secondary School Addition**

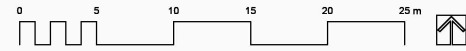
10441 132 Street  
 Surrey, BC

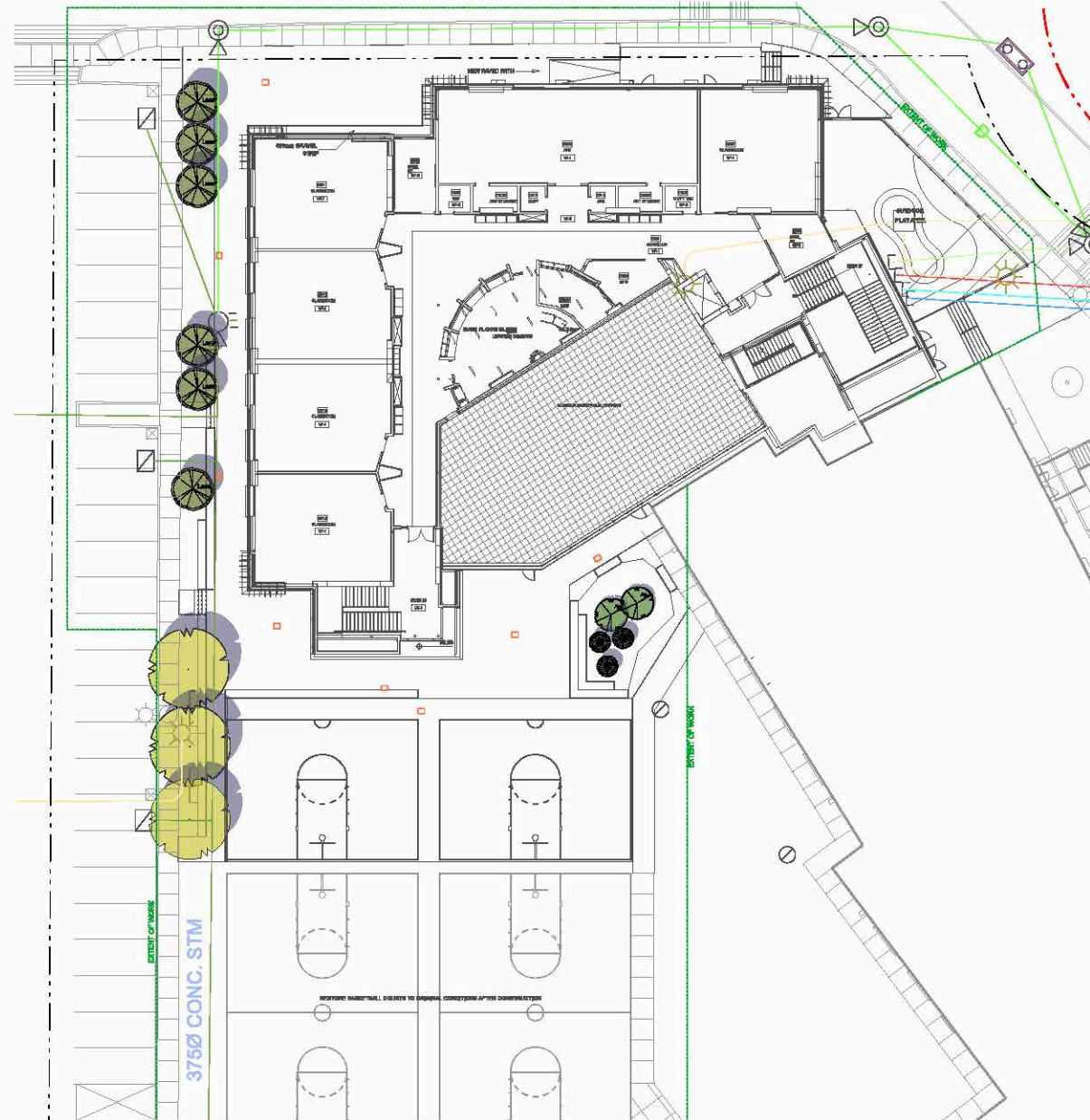
Drawing Title  
**Landscape**  
**Illustrative Plan**

Legend

Project Manager	Project ID
KD	223282
Drawn By	Date
KD	1:150
Reviewed By	Checked By
DT	
<b>L0.2</b>	
13	

1 Scale: 1:150





**PLANT LIST**

ID	QTY	LATIN NAME	COMMON NAME
<b>TREES</b>			
Aa	2	<i>Amelanchier alnifolia</i>	Saskatoon serviceberry
CB	3	<i>Osagea biflora</i>	rainier tree
Loop	6	<i>Liquidambar styraciflua 'Slender Silhouette'</i>	codinner sweetgum
Pas	3	<i>Pinus nigra 'Arnoldi Gertneri'</i>	Arnold Gertneri Austrian black pine

1 Scale: 1:160

Revision	Date	Revised By
A	2025-10-01	Issued for 100% DCI Drawing
B	2024-04-17	Issued for 60% DCI
C	2024-04-01	Issued for City Response

Sheet	Date	Sheet Name
A	2025-10-01	Issued for 100% DCI Drawing
B	2024-04-17	Issued for 60% DCI
C	2024-04-01	Issued for City Response

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Project:  
**Kwantlen Park  
 Secondary School Addition**  
 10441 182 Street  
 Surrey, BC

Drawing Title:  
**Tree Plan**

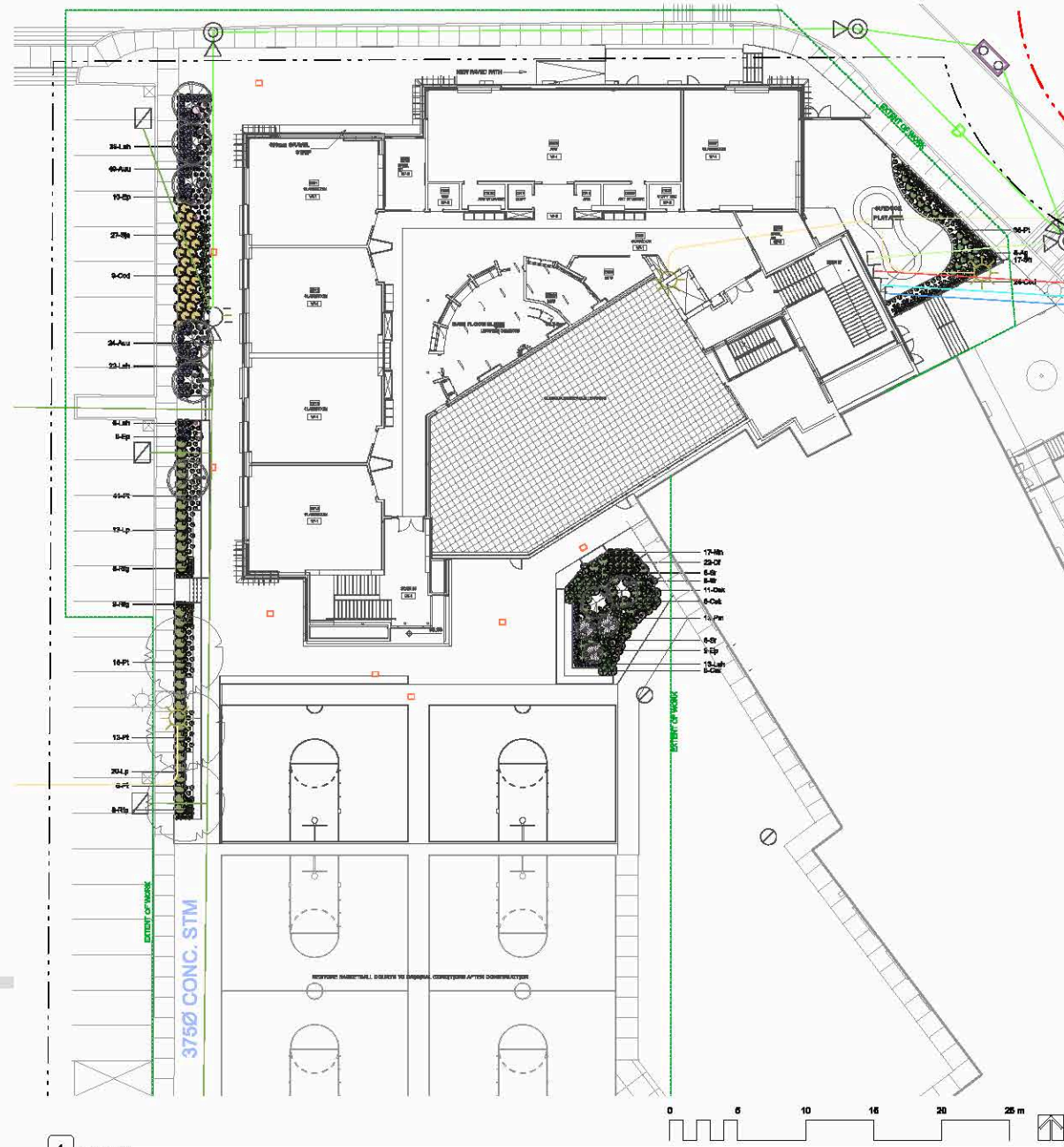
Legend

Project Name	Page ID
KC	10/2025
Drawn By	Scale
KC	1:160
Reviewed By	Checked By
DT	

L4.1

7

10



Revision No.	Date	Revised By
A	2024-10-01	Issued for 1026 DC Drawing
B	2024-04-17	Issued for 6076 DC
C	2024-04-01	Issued for City Response

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Project:  
**Kwantlen Park  
 Secondary School Addition**  
 10441 182 Street  
 Surrey, BC

Drawing Title:  
**Planting Plan**

Legend

Project Name	Kwantlen Park Secondary School Addition
Client	BC Education
Scale	1:100
Drawn By	DT
Checked By	
Project No.	L4.2
Sheet No.	10

SHRUBS / GROUNDCOVERS / PERENNIALS			
Ag	8	Allium giganteum	ornamental onion
Ash	75	Arctostaphylos uva-ursi	kinikinnick
Cod	58	Cotoneaster dammeri	bearberry cotoneaster
Cak	25	Cornus sericea 'Halimé'	cherry red osier dogwood
Df	22	Dicentra formosa	western bleeding heart
Ep	25	Echinacea purpurea	purple coneflower
Lsh	75	Lewandula angustifolia 'Munstead'	Munstead lavender
Lp	33	Lonicera pileata	box leaf honeysuckle
Mn	17	Melicope nervosa	kinglet Oregon grape
Pm	18	Polydichum maritimum	sword fern
Pr	108	Pachysandra terminalis	Japanese spurge
Rg	23	Rudbeckia fulgida 'Goldstrum'	black-eyed Susan
Sh	17	Succococa lauckeraiana var. humilis	cherry sweet box
Sja	27	Spiraea japonica 'Goldflame'	Japanese spirea
Sr	30	Succococa ruschiana	sweet box
			0.3 #1 cont.
			0.45 #1 cont.
			0.75 #2 cont.
			0.61 #5 cont.
			0.51 #2 cont.
			0.51 #2 cont.
			0.70 #2 cont.
			0.49 #2 cont.
			0.75 #5 cont.
			0.49 #1 cont.
			0.3 #2 cont.
			0.49 #2 cont.
			0.75 #2 cont.
			0.75 #5 cont.

1 Scale: 1:100



# INTER-OFFICE MEMO

---

TO: **Director, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Development Process Manager, Engineering Department**

DATE: **May 17, 2024** PROJECT FILE: **7823-0344-00**

---

RE: **Engineering Requirements (Commercial/Industrial)  
Location: 10441 132 St**

## REZONE

### *Property and Right-of-Way Requirements*

- Dedicate 1.5 m towards 104 Avenue.
- Dedicate 1.498 – 1.584 m towards 132 Street.
- Dedicate 5.0 m x 5.0 m corner cut at 104 Avenue and 132 Street.
- Register 0.5 m statutory right-of-way along 132 Street.

### *Works and Services*

- Construct the west side of 132 Street.
- Construct water, storm and sanitary service connections to service the site. Abandon redundant connections.
- Complete sanitary capacity analysis and address downstream constraints.
- Provide on-site water quality control features.
- Register legal documents on title as determined through detailed design.

A Servicing Agreement is required prior to Rezone.

## DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Variance Permit.



Daniel Sohn, P.Eng.  
Development Process Manager

MIKE FADUM AND ASSOCIATES LTD.  
VEGETATION CONSULTANTS

---

## Tree Preservation Summary

**Surrey Project No: TBD**

**Address: Kwantlen Park Secondary School – 10441 132 Street**

**Registered Arborist: Elvis Truong PN-9567A**

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	139
<b>Protected Trees to be Removed</b>	7
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	132
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 7 X two (2) = 14</li> </ul>	14
<b>Replacement Trees Proposed</b>	TBD
<b>Replacement Trees in Deficit</b>	TBD
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	NA

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	0
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0</li> </ul>	0
<b>Replacement Trees Proposed</b>	NA
<b>Replacement Trees in Deficit</b>	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist:

Date: October 24, 2023



Mike Fadum and Associates Ltd.  
#105, 8277-129 Street, Surrey, BC, V3W 0A6  
Phone 778-593-0300 Fax 778-593-0302



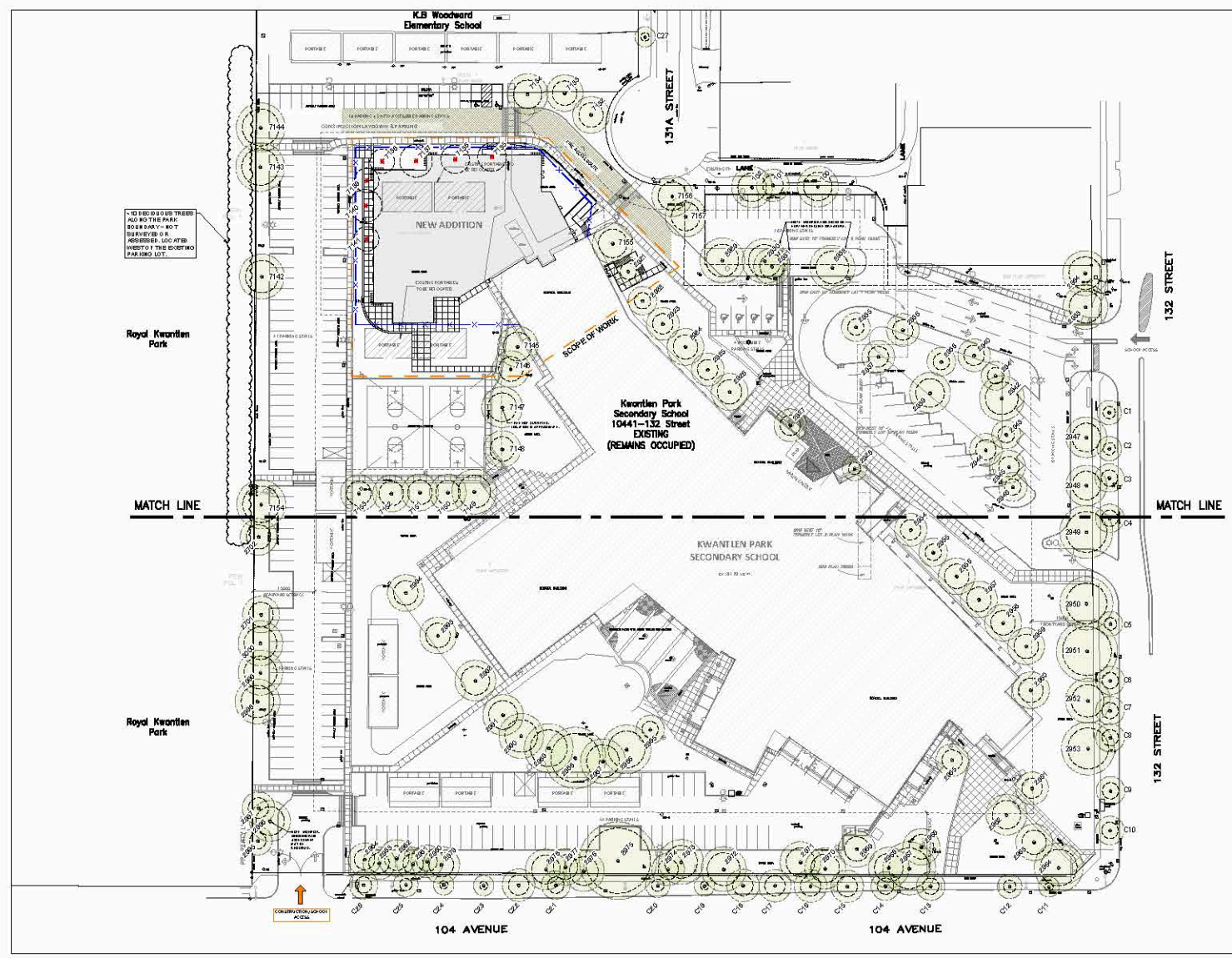


**NOTE:**

- ALL CONTRACTORS ARE REMINDED THAT THE TREE BYLAW APPLIES TO ALL PROTECTED TREES AND THAT PENALTIES WILL APPLY TO INFRACTIONS. ANY CONSTRUCTION WITHIN THE ROOT ZONE MUST OCCUR UNDER THE DIRECTION OF THE PROJECT ARBORIST TO AVOID ANY DAMAGES(S).

**GENERAL NOTES:**

- REASSESS ALL RETAINED TREES WITH SERVICING AND GRADING PLANS.
- PARKS TO MAKE FINAL RECOMMENDATION ON TREES LOCATED ON PARK PROPERTY.
- EXCAVATION FOR SERVICES TO AVOID RETAINED TREES TPZ.
- TREE BARRIERS ARE NOT SHOWN ON THESE PLANS, ONLY CONTRACTOR STAGING FENCE IS SHOWN.
- CONSTRUCTION HOARDINGS PROPOSED INSTEAD OF TREE PROTECTION FENCING ON ACTIVE SCHOOL SITES FOR SAFETY REASONS.
- REPLACEMENT TREES SHALL CONFORM TO CNLA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE. REPLACEMENT TREES TO BE MIN. 3m FROM FOUNDATIONS AND MIN. 1m FROM PROPERTY LINES.



↳ TO BE REMOVED TREES ALSO NOT THE PARKS BOARD - NOT SURVEYED OR ACCESSIBLE LOCATED WEST OF THE EXISTING PARKING LOT.

Royal Kwantlen Park

MATCH LINE

Kwantlen Park Secondary School  
10441-132 Street  
EXISTING  
(REMAINS OCCUPIED)

132 STREET

MATCH LINE

Royal Kwantlen Park

KWANTLEN PARK  
SECONDARY SCHOOL

132 STREET

104 AVENUE

104 AVENUE



LEGEND			
	TREE TO BE RETAINED		MINIMUM NO DISTURBANCE ZONE
	TREE TO BE REMOVED		1.5m NO-BUILD ZONE
	TREE NOT INCLUDED IN REPORT		CONTRACTOR STAGING AREA FENCING

NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	AUG2023	MK	SITE PLAN				

**MIKE FADUM AND ASSOCIATES LTD.**  
VEGETATION CONSULTANTS

#105, 8277 129 St.  
Surrey, British Columbia  
V3W 0A6  
Ph: (778) 593-0300  
Fax: (778) 593-0302  
Email: [mfadum@fadum.ca](mailto:mfadum@fadum.ca)

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PROJECT TITLE  
**KWANTLEN PARK  
SECONDARY SCHOOL  
PROPOSED ADDITION**  
10441 - 132 STREET  
SURREY, B.C.

SHEET TITLE  
**T1 - TREE REMOVAL AND  
PRESERVATION PLAN**

CLIENT \_\_\_\_\_

DATE  
MAY 29, 2023

DRAWN  
MK

SCALE  
AS SHOWN

DATE  
MAY 29, 2023

**T-1**  
SHEET 1 OF 2

K.B. WOOWARD  
ELEMENTARY SCHOOL

K.B Woodward  
Elementary School



-10 DECIDUOUS TREES  
ALONG THE PARK  
BOUNDARY - NOT  
SURVEYED OR  
ASSESSED. LOCATED  
WEST OF THE EXISTING  
PARKING LOT.

Royal Kwantien  
Park

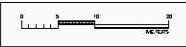
Kwantien Park  
Secondary School  
10441-132 Street  
EXISTING  
(REMAINS OCCUPIED)

**NOTE:**  
• ALL CONTRACTORS ARE REMINDED THAT THE TREE BYLAW APPLIES TO ALL 'PROTECTED' TREES AND THAT PENALTIES WILL APPLY TO INFRACTIONS. ANY CONSTRUCTION WITHIN THE ROOT ZONE MUST OCCUR UNDER THE DIRECTION OF THE PROJECT ARBORIST TO AVOID ANY DAMAGES(S)

- GENERAL NOTES:**
- REASSES ALL RETAINED TREES WITH SERVICING AND GRADING PLANS.
  - PARKS TO MAKE FINAL RECOMMENDATION ON TREES LOCATED ON PARK PROPERTY.
  - EXCAVATION FOR SERVICES TO AVOID RETAINED TREES TPZ.
  - TREE BARRIERS ARE NOT SHOWN ON THESE PLANS, ONLY CONTRACTOR STAGING FENCE IS SHOWN.
  - CONSTRUCTION HOARDINGS PROPOSED INSTEAD OF TREE PROTECTION FENCING ON ACTIVE SCHOOL SITES FOR SAFETY REASONS.
  - REPLACEMENT TREES SHALL CONFORM TO CNLA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE. REPLACEMENT TREES TO BE MIN. 3m FROM FOUNDATIONS AND MIN. 1m FROM PROPERTY LINES.

**LEGEND**

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- TREE NOT INCLUDED IN REPORT
- MINIMUM NO DISTURBANCE ZONE
- 1.5m NO-BUILD ZONE
- CONTRACTOR STAGING AREA FENCING



NO.	DATE	BY	REVISION

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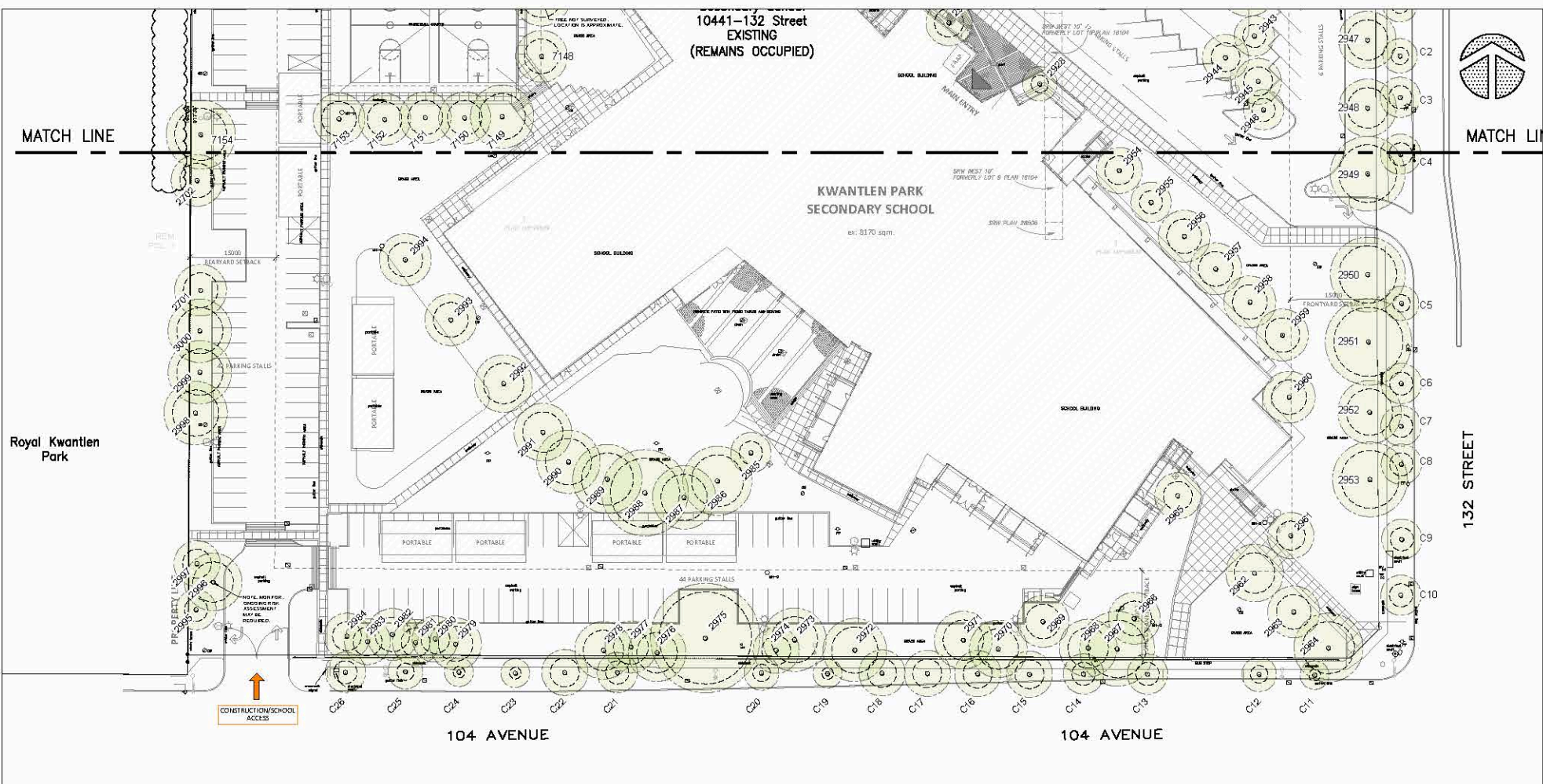
PROJECT TITLE  
**KWANTLEN PARK  
SECONDARY SCHOOL  
PROPOSED ADDITION  
10441 - 132 STREET  
SURREY, B.C.**

SHEET TITLE  
**T1A - TREE REMOVAL AND  
PRESERVATION PLAN-NORTH**

CLIENT  
\_\_\_\_\_

DRAWN MK  
SCALE AS SHOWN  
DATE MAY 29, 2023

**T-1A**  
SHEET 2 OF 3



MATCH LINE

MATCH LINE

Royal Kwantlen Park

132 STREET

104 AVENUE

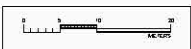
104 AVENUE

**NOTE:**  
 ALL CONTRACTORS ARE REMINDED THAT THE TREE BYLAW APPLIES TO ALL 'PROTECTED' TREES AND THAT PENALTIES WILL APPLY TO INFRACTIONS. ANY CONSTRUCTION WITHIN THE ROOT ZONE MUST OCCUR UNDER THE DIRECTION OF THE PROJECT ARBORIST TO AVOID ANY DAMAGES(S).

- GENERAL NOTES:**
- REASSESS ALL RETAINED TREES WITH SERVICING AND GRADING PLANS.
  - PARKS TO MAKE FINAL RECOMMENDATION ON TREES LOCATED ON PARK PROPERTY.
  - EXCAVATION FOR SERVICES TO AVOID RETAINED TREES TPZ.
  - TREE BARRIERS ARE NOT SHOWN ON THESE PLANS, ONLY CONTRACTOR STAGING FENCE IS SHOWN.
  - CONSTRUCTION HOARDINGS PROPOSED INSTEAD OF TREE PROTECTION FENCING ON ACTIVE SCHOOL SITES FOR SAFETY REASONS.
  - REPLACEMENT TREES SHALL CONFORM TO CNLA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE. REPLACEMENT TREES TO BE MIN. 3m FROM FOUNDATIONS AND MIN. 1m FROM PROPERTY LINES.

**LEGEND**

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- TREE NOT INCLUDED IN REPORT
- MINIMUM NO DISTURBANCE ZONE
- 1.5m NO-BUILD ZONE
- CONTRACTOR STAGING AREA FENCING



NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION

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**PROJECT TITLE**  
 KWANTLEN PARK  
 SECONDARY SCHOOL  
 PROPOSED ADDITION  
 10441 - 132 STREET  
 SURREY, B.C.

**SHEET TITLE**  
 T1B - TREE REMOVAL AND  
 PRESERVATION PLAN-SOUTH

**CLIENT**  
 \_\_\_\_\_

**DRAWN** MK  
**SCALE** AS SHOWN  
**DATE** MAY 29, 2023

**T-1B**  
 SHEET 3 OF 3

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7923-0344-00

Issued To: The Board of Education of School District No. 36 (Surrey)  
("the Owner")

Address of Owner: 14033 - 92 Avenue  
Surrey, BC V3V 0B7

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 025-012-045  
Lot 1 Section 21 Block 5 North Range 2 West New Westminster District Plan LMP49629  
10441 - 132 Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) In Section D, Table D.1 of Part 5 *Off-Street Parking and Loading/Unloading*, the required number of off-street parking spaces for secondary public schools is reduced from 288 to 232.
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
  
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE  
DAY OF           , 20 .

ISSUED THIS    DAY OF           , 20 .

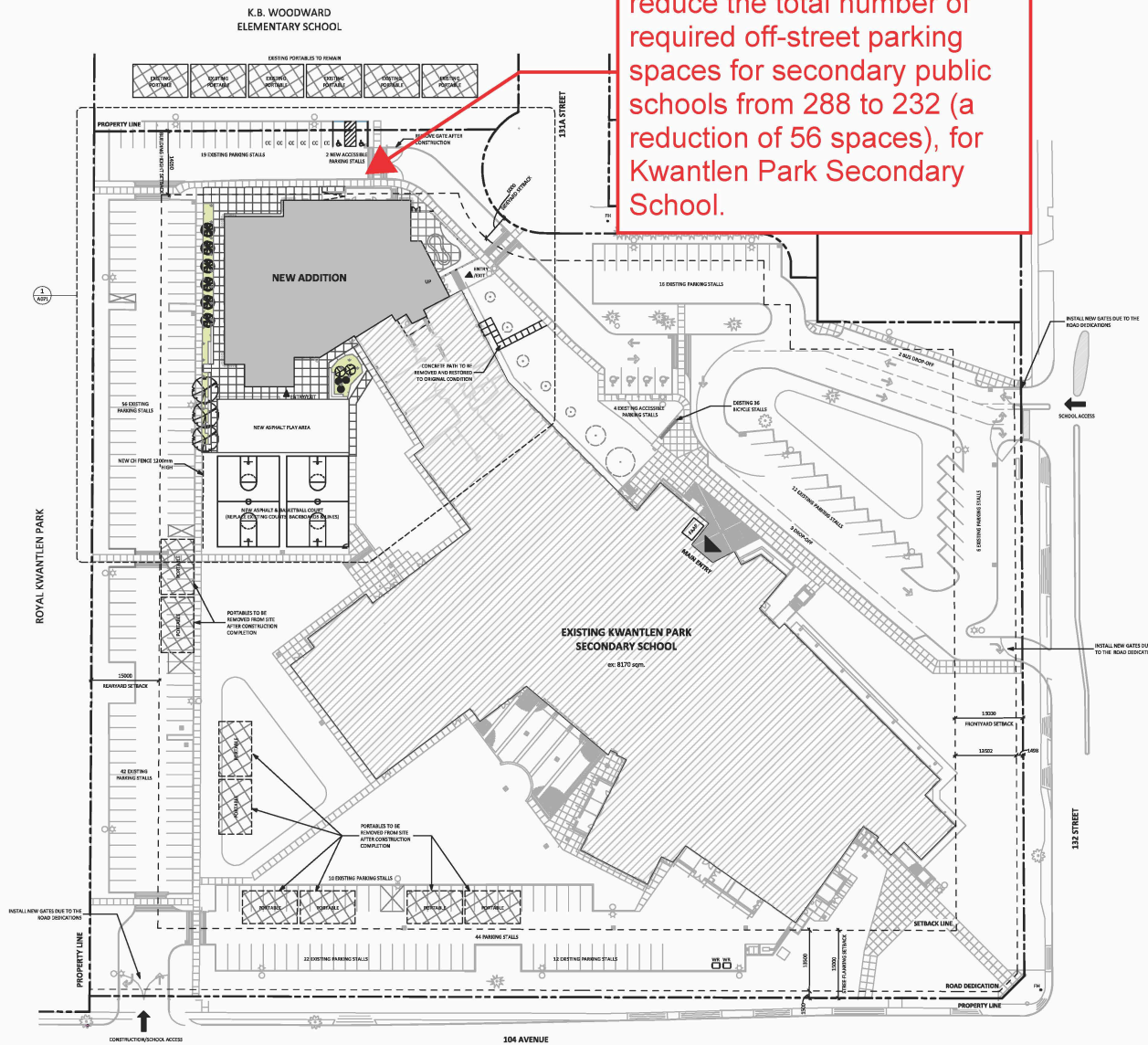
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Mayor – Brenda Locke

---

City Clerk and Director of Legislative  
Services - Jennifer Ficocelli

**Development Variance Permit No. 7923-0344-00:** to reduce the total number of required off-street parking spaces for secondary public schools from 288 to 232 (a reduction of 56 spaces), for Kwantlen Park Secondary School.



**CITY OF SURREY BY-LAW DATA**

Project Address: 10441 132 Street, Surrey, B.C.  
 Legal Description: LOT 1 SECTION 21 BLOCK 5 NORTH RANGE 2 NEW WESTMINSTER DISTRICT PLAN LMP 45629  
 Zoning: R-1  
 Lot Use: Public School

**PUBLIC SCHOOL MINIMUM SETBACK (SEE SITE PLAN)**

Front Yard:	=	15.0 m
Rear Yard:	=	15.0 m
Side Yard (Based on bldg height):	=	14.0 m
Side Yard (Street Flanking):	=	15.0 m

**FLOOR AREA**

	Existing	Proposed
Main Floor:	8,337.00	3,391.00 m <sup>2</sup>
Second Floor:	4,966.00	3,416.00 m <sup>2</sup>
Third Floor:	0.00	3,033.00 m <sup>2</sup>
<b>Total Area:</b>	<b>13,303.00</b>	<b>3,840.00 m<sup>2</sup></b>

Grand Total Area: 17,143.00 m<sup>2</sup>  
 Site Area (After Road Dedication): 35,235.00 m<sup>2</sup>

**FLOOR AREA RATIO (AFTER ROAD DEDICATION)**

Minimum Allowed:	0.40 =	14,502.00 m <sup>2</sup>
Proposed:	0.49 =	17,143.00 m <sup>2</sup>

**LOT COVERAGE AFTER ROAD DEDICATION**

Maximum Allowed:	25% =	8,813.75 m <sup>2</sup>
Proposed:	38% =	9,728.00 m <sup>2</sup>

**PARKING (CALCULATION BASED ON COMPLETED CONSTRUCTION)**

Parking	Required	Provided
74 Classrooms (48 Existing, 26 New & 6 Portables) * 3.8 Stalls/Classroom:	282	
NLC Childcare Program:	6	6
Drop-off Stalls:	9	9
Bus Drop-off Stalls:	2	2
West On-Site Parking Area:		107
South On-Site Parking Area:		66
North East On-Site Parking Area:		34
North West On-Site Parking Area:		13
Accessible:	(6)	6
<b>Total Stalls</b>	<b>288</b>	<b>232</b>

\*Includes childcare stalls, not drop-off or bus stalls\*\*

Bicycle Spaces:	592	96
Occupied During Construction:	14	
Available During Construction:	131	

\*\*PARKING VARIANCE IS REQUIRED FOR 56 PARKING STALLS\*\*  
 \*\*BICYCLE VARIANCE IS REQUIRED FOR 556 BICYCLE STALLS\*\*

**CODE DATA**

BASED ON 2018 B.C.C. & AMENDMENT THERETO:

**USE AND OCCUPANCY**

Building Area of New Addition:	3,391.00 m <sup>2</sup>
Building Area of Existing Building:	8,337.00 m <sup>2</sup>
<b>Total Area:</b>	<b>9,728.00 m<sup>2</sup></b>

**MAJOR OCCUPANCY**

Occupancy Class:	Article 3.2.2.24, Group A, Div. 2, Up to 6 Storeys, Any Area, Sprinklered
No. of Streets:	2
No. of Stories:	3
Sprinklers:	Yes
Group:	A (Assembly)
Division:	2 (School)
Building Construction:	Non-Combust
Standpipes:	No

**REQUIRED FIRE SEPARATION OF AREAS (SUBSECTION 3.1.8, SECTIONS 3.3.4.3.6)**  
 Closure: Rated per Table 3.1.8.4 (45 min. for 1 hr. rated fire separations to service rooms and non-at ducts in 0 hr. rated fire separations to Janitor Rooms)  
 Corridors: Waived per 3.3.2.6.13) and (8) (Buildings are sprinklered with less than 45 m travel distance throughout)  
 Service Rooms containing fuel-fired appliances: 1 hr.  
 Janitor Rooms: 0 hr. fire separations required due to sprinklers per 3.3.1.21.13)  
 Elevator Hoistways: 1 hr. rated fire separation (Table 3.3.1.1)  
 Vertical Service Spaces: 45 min. (Table 3.6.3.1)  
 Construction Safety: as per Fire Code 5.6.1.1.2.1, 1 hr. rated hoarding walls

**ACCESSIBILITY REQUIREMENTS (SECTION 3.8)**

Street Access:	Yes	Parking:	Yes
Entrances:	Yes	Automatic Doors:	Yes
Toilet Room:	Yes	Walkways:	Yes
Drinking Fountain:	Yes	Facilities:	Yes

**FLAME SPREAD RATING TO CAN/ULC-S102.2**

**WALL FINISHES**

Gypsum Board - Painted	25
Birch Panels	150
Ceramic Tile	< 25
Concrete - Unpainted	25
M.D.F. Paneling - Painted	25
Texture Panels - Painted	< 150
Fabric Acoustic Panels	< 25

**CEILING FINISHES**

Acoustic Tiles	25
Gypsum Board - Painted	25
Concrete - Unpainted	< 25

**PLUMBING FACILITIES (ARTICLES 3.7.2.2 & 3.8.2.37)**

	# of Occupants	Female/Male
Group Childcare:	27	14F/13M
Childcare Staff:	4	
Students (60-8-12):	500	250F/250M
Staff:	50	25F/25M
<b>Total</b>	<b>581</b>	

Group Childcare:	Required	Provided
Childcare Staff:	4	4
Students (60-8-12):	1	1
Staff:	9F/5M	15
Staff:	19M/1F	2
Universal:	1	2
<b>Total</b>	<b>22</b>	<b>24</b>

**SITE PLAN GENERAL NOTES**

- ALL MEASUREMENTS IN THIS DRAWING THAT ARE NOT SPECIFIED OTHERWISE ARE TO BE IN METERS.
- ALL SETBACKS TO BE EXACTLY AS SHOWN.
- GENERAL CONTRACTOR TO MAINTAIN EXISTING FENCE AND MAINTAIN THE SETBACKS INDICATED TO THE REMAINING DIMENSIONS.
- REARAY PARKING LINES AFTER CONSTRUCTION ON AROUND THE NORTH & WEST LINES.
- GENERAL CONTRACTOR TO RESPOND TO ALL COMMENTS TO THE CONTRACT DOCUMENTS AND TO MAINTAIN ACCESS TO ALL LADDERWAYS.

**SITE PLAN LEGEND**

- PROPERTY LINE
- SETBACK LINE
- NEW UNDERGROUND UTILITY
- EXISTING UNDERGROUND ELECTRICAL
- EXISTING SEPTIC AND MECHANICAL LINES
- CONSTRUCTION FENCE LINE
- EXISTING BUILDINGS
- NEW ADDITION
- NEW CONCRETE PAD SIDEWALK
- EXISTING CONCRETE PAD SIDEWALK TO REMAIN
- ASPHALT
- FIRE ACCESS ROUTE
- NEW GRASS AREA
- NEW TREE
- EXISTING WASTE AND RECYCLING LOCATION (WR)
- NEW CATCH BASIN (CB)
- NEW WHEEL STOP (WS)
- EXISTING FIRE HYDRANT (FH)
- PROPOSED ELEVATION (m)
- POWER POLE
- EXISTING POLE AND LIGHT
- FIRE ALARM ANNUNCIATOR PANEL

**THINKSPACE APPLICATION**

Project No: 2023-0344-00

Project Name: Kwantlen Park Secondary School Addition

Project Address: 10441 132 Street, Surrey, BC V4N 1V7

Project Status: Approved

Project Date: 2023-03-15

Project Type: Development Variance

Project Category: Education

Project Sub-Category: Secondary School

Project Description: Addition of 74 classrooms and 26 new classrooms to Kwantlen Park Secondary School.

Project Contact: [Name], [Phone], [Email]

Project Website: [Website]

Project Social Media: [Facebook], [Twitter], [Instagram]

Project Logo: [Logo]

Project Images: [Image 1], [Image 2], [Image 3], [Image 4], [Image 5], [Image 6], [Image 7], [Image 8], [Image 9], [Image 10], [Image 11], [Image 12], [Image 13], [Image 14], [Image 15], [Image 16], [Image 17], [Image 18], [Image 19], [Image 20], [Image 21], [Image 22], [Image 23], [Image 24], [Image 25], [Image 26], [Image 27], [Image 28], [Image 29], [Image 30], [Image 31], [Image 32], [Image 33], [Image 34], [Image 35], [Image 36], [Image 37], [Image 38], [Image 39], [Image 40], [Image 41], [Image 42], [Image 43], [Image 44], [Image 45], [Image 46], [Image 47], [Image 48], [Image 49], [Image 50], [Image 51], [Image 52], [Image 53], [Image 54], [Image 55], [Image 56], [Image 57], [Image 58], [Image 59], [Image 60], [Image 61], [Image 62], [Image 63], [Image 64], [Image 65], [Image 66], [Image 67], [Image 68], [Image 69], [Image 70], [Image 71], [Image 72], [Image 73], [Image 74], [Image 75], [Image 76], [Image 77], [Image 78], [Image 79], [Image 80], [Image 81], [Image 82], [Image 83], [Image 84], [Image 85], [Image 86], [Image 87], [Image 88], [Image 89], [Image 90], [Image 91], [Image 92], [Image 93], [Image 94], [Image 95], [Image 96], [Image 97], [Image 98], [Image 99], [Image 100]

**thinkspace**

architecture planning interior design ltd.

300 - 101 90 1524 St. | Surrey, BC | V4R 1J7

TEL: 604.581.8128 | WWW.THINKSPACE.CA

**KWANTLEN PARK SECONDARY SCHOOL ADDITION**

230971

DATE: 2023-03-15

**A070**

SITE PLAN

**1 SITE PLAN**  
1:1000