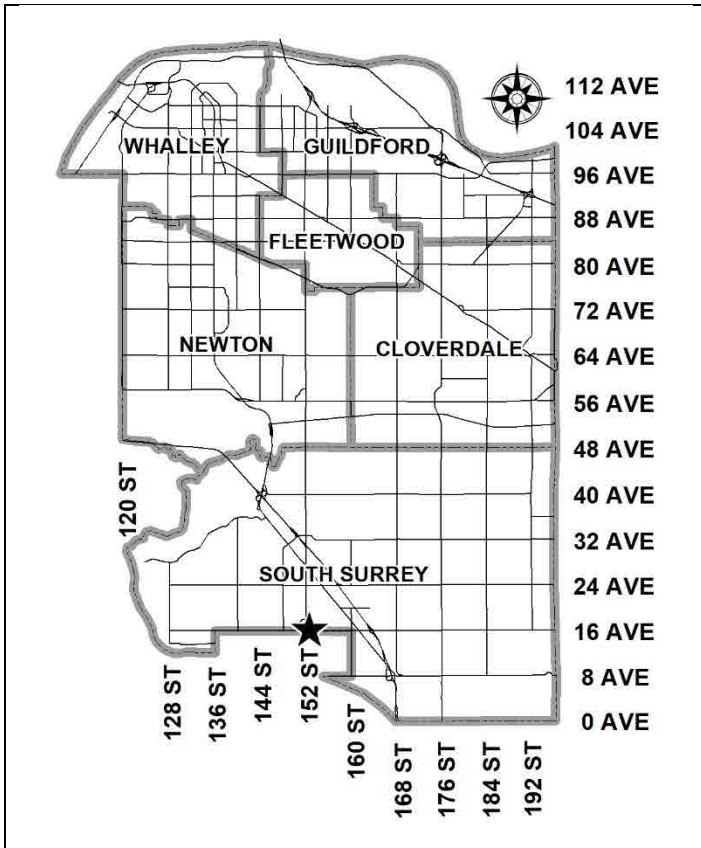


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0239-00

Planning Report Date: June 10, 2024



PROPOSAL:

- **TCP Amendment** to allow a higher height in the Semiahmoo Town Centre Plan
- **Rezoning** from RF to CD
- **Development Permit**

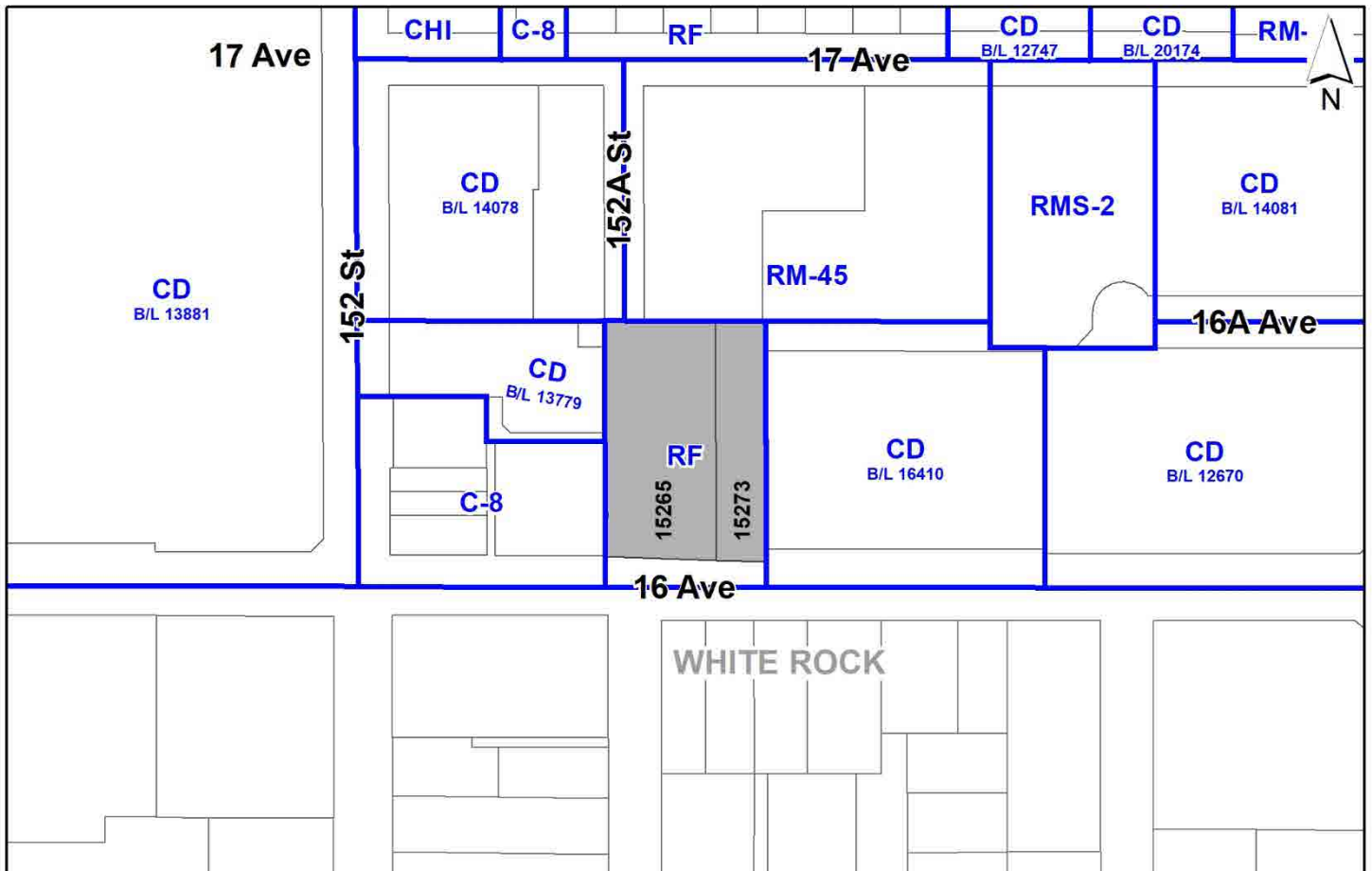
to permit the development of one 20-storey mixed-use building consisting of 181 dwelling units with ground-floor commercial space in Semiahmoo Town Centre.

LOCATION: 15273 - 16 Avenue
 15265 - 16 Avenue

ZONING: RF

OCF DESIGNATION: Town Centre

TCP DESIGNATION: Mid-Rise Mixed-Use



RECOMMENDATION SUMMARY

- Rezoning By-law to proceed to Public Notification. If supported the By-law will be brought forward for First, Second and Third Reading.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Semiahmoo Town Centre Plan (TCP) to increase the building height from 16 storeys to 20 storeys and to allow a 6-storey podium higher than 18 metres.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Town Centre designation in the Official Community Plan (OCP).
- In accordance with changes to the Local Government Act, Section 464, under Bill 44 (2023) a Public Hearing is not required for the subject rezoning application as the proposed rezoning is consistent with the Official Community Plan (OCP). As such, Council is requested to endorse the Public Notification to proceed for the proposed Rezoning By-law. The Rezoning By-law will be presented to Council for consideration of First, Second, and Third Reading, after the required Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the By-law readings.
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal generally complies with the Mid-Rise Mixed-Use designation in the Semiahmoo Town Centre Plan (TCP). The applicant is seeking an amendment to the Semiahmoo TCP Building Height Strategy to increase the building height from 16 storeys to 20 storeys, and to allow a 6-storey podium higher than 18 metres. The applicant was originally proposing to retain the small heritage house on the site, and staff were supportive of an increase in building height in recognition of the heritage retention. However, the Surrey Heritage Advisory Commission deemed the small heritage building not appropriate for retention so there is no proposed heritage retention, but it was deemed appropriate to allow the applicant to continue with the proposed building height amendments as the built form is suitable for the context. In lieu of the heritage house preservation, the applicant is proposing to make a cash contribution toward the City's Heritage Services, to support the indigenization of existing storyboards in South Surrey.
- The proposed mixed-use building is well-designed and utilizes high-quality contemporary materials. The tower is located at the southern end of the site near 16 Avenue and the podium has been designed to taper from 6-storeys down to 5-storeys along the north edge of the site to provide a height transition to existing low-rise buildings to the north. The setbacks proposed will help to achieve a more urban, pedestrian streetscape in compliance with the Form and Character Development Permit (DP) guidelines in the OCP.

- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs) in support of the requested increased density on the site, as per the density bonusing provisions in the Semiahmoo Town Centre Plan.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a By-law to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)".
2. Council authorize staff to draft Development Permit No. 7923-0239-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (h) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-135 Zone, at the rate in effect at the time of Final Adoption;
 - (i) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (j) the applicant provide a voluntary monetary contribution to Surrey Heritage Services as outlined in this report;
 - (k) submission of an acoustical report for the units adjacent to 16 Avenue and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures; and
 - (l) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy

and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department.

4. Council pass a resolution to amend the Semiahmoo Town Centre Plan (TCP) Building Height Strategy to increase the building height from 16 storeys to 20 storeys, and to allow a 6-storey podium higher than 18 metres when the project is considered for final adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	TCP Designation	Existing Zone
Subject Site	Single family dwelling, on Heritage Inventory	Mid-Rise Mixed Use	RF
North:	Apartment building	Low-Rise Residential	RM-45
East:	Seniors care facility	Mid-Rise Mixed Use	CD (Bylaw No. 16410)
South (Across 16 Avenue, in White Rock):	Commercial businesses	OCP is Town Centre Transition	n/a
West:	Commercial businesses	Mid-Rise Mixed Use and High-Rise Mixed Use	C-8

Context & Background

- The subject site includes two parcels located at 15265 – 16 Avenue and 15273 – 16 Avenue, with a total site area of 5,670 square metres. The site contains a small house which is on the City's Heritage Inventory, several trees and an open sod area.
- The parcels are currently zoned "Single Family Residential Zone" (RF) and are designated Town Centre the Official Community Plan (OCP) and Mid-Rise Mixed Use in the Semiahmoo Town Centre Plan (TCP).
- The subject site is bordered to the north by a 3 storey apartment building, to the east by an 8-storey senior's care facility apartment building and to the west by single-storey commercial businesses. Across 16 Avenue to the south, in White Rock, is a single-storey commercial site.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing:
 - A Town Centre Plan (TCP) Amendment to amend the Semiahmoo Town Centre Plan (TCP) Building Height Strategy to increase the building height from 16 storeys to 20 storeys, and to allow a 6-storey podium higher than 18 metres;

- A rezoning from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)"; and
 - A Form and Character Development Permit to allow for a 20-storey mixed use apartment building.
- In addition, the applicant is proposing to consolidate the two parcels, and to provide road dedication.

	Proposed
Lot Area	
Gross Site Area:	5,670 sq.m.
Road Dedication:	2,364 sq.m.
Net Site Area:	3,316 sq.m.
Number of Lots:	1
Building Height:	20 storeys (69 metres)
Floor Area Ratio (FAR):	3.32 (Gross); 5.70 (Net)
Floor Area	
Residential:	18,875 sq.m.
Commercial:	379 sq.m.
Total (Gross):	19,254 sq.m.
Residential Units:	
Studio:	6
1-Bedroom:	15
2-Bedroom:	143
3-Bedroom:	17
Total:	181 units

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District:	The School District has advised that there will be approximately 28 school-age children generated by this development, of which the School District has provided the following expected student enrollment. 16 Elementary students at Jessie Lee Elementary School 7 Secondary students at Earl Marriott Secondary School (Appendix III) Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts. The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Winter 2027.
Parks, Recreation & Culture:	Bakerview Park is the closest active park with amenities including, outdoor sport fields, a playground, and is 575 metres walking distance from the development. Southmere Village Park is the closest park with a natural area and it is 750 metres walking distance from this development. Parks will further review proposed tree removal of any City trees through the detailed design review process.
Surrey Fire Department:	No concerns.
Heritage Advisory Commission (HAC):	Staff brought the proposal to retain the Wright House to the February 14, 2024 HAC meeting. The Wright House was on the City's Heritage Inventory. The Commission deemed the small heritage building as not appropriate for retention, and the house will be removed. In lieu of the heritage preservation, the applicant is proposing to make a cash contribution toward the City's Heritage Services, to support the indigenization of existing storyboards in South Surrey.
Advisory Design Panel:	The proposal was considered at the ADP meeting on January 25, 2024 and was supported. The applicant has resolved all of the outstanding items from the ADP review as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council's consideration of Final Adoption of the rezoning by-law, to the satisfaction of the Planning and Development Department.

City of White Rock: No concerns with the proposed land use. The details of the intersection at 16 Avenue and the new 152A Street will be coordinated with White Rock through the Servicing Agreement process.

Transportation Considerations

Road Network and Infrastructure

- As part of the subject development, the applicant will be required to provide the following improvements:
 - Dedication of 18 metres and construction for 152A Street (west of site) and dedication of 11.5 metres and construction for 16A Avenue (north of site) to the City's local road standard; and
 - Dedication of approximately 5 metres in width along the frontage for the widening of 16 Avenue.

Traffic Impacts

- As part of the Semiahmoo Town Centre Plan, an area-wide transportation impact assessment ("TIA") was conducted to assess cumulative traffic impacts of redevelopment of the TCP area and to inform the required transportation infrastructure improvements. Redevelopment of the subject site and the related site-generated traffic impacts were taken into account as part of the area-wide TIA. As a result, a site-specific TIA was not required as part of the subject application.
- According to industry standard rates, the proposal is anticipated to generate approximately 1 vehicle trip every minute in the peak hour. A site-specific transportation impact analysis was not required as the proposal is below the City's minimum threshold.

Transit

- The subject property is located in close proximity to several bus stops on 16 Avenue and 152 Street, with several routes mostly within South Surrey and extending to North Surrey, Langley and Richmond.

Access

- Access to the subject site is proposed via 16A Avenue, which will be dedicated and constructed along the north property line of the subject site.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject property is designated General Urban in the Regional Growth Strategy (RGS). The proposed development complies with the General Urban RGS designation.

Official Community Plan

Land Use Designation

- The proposal complies with the subject site's Town Centre designation within the Official Community Plan (OCP).

Themes/Policies

- The proposed development complies with the following themes and policies in the OCP (staff comments are in italics):
 - A1.1 – Support compact and efficient land development that is consistent with the Metro Vancouver *Regional Growth Strategy (RGS) (2011)*.
(The proposed development complies with the RGS designation.)
 - A4.2 – Encourage the full and efficient build-out of existing planned urban areas in order to:
 - provide housing options.
(The proposed development will provide apartment living options in the Semiahmoo Town Centre Plan area.)
 - B2.14 – Encourage underground parking and provide landscaped open spaces and pedestrian environments in place of surface parking.
(The required residential parking is proposed to be underground.)
 - C1.2 – Encourage the development of more compact and efficient land uses and servicing systems, emphasizing infill and intensification in order to use existing infrastructure systems efficiently and to minimize the costs of new utility infrastructure.
(The proposed development is of a sufficient density to utilize transit and existing infrastructure efficiently and is located on an infill site.)

Secondary Plans

Land Use Designation

- The proposal generally complies with the Mid-Rise Mixed-Use designation in the Semiahmoo Town Centre Plan (TCP). However, the applicant is seeking an amendment to the Semiahmoo TCP Building Height Strategy to increase the building height from 16 storeys to 20 storeys, and to allow a 6-storey podium higher than 18 metres.

Amendment Rationale

- The applicant was originally proposing to retain the small heritage house on the site, and staff were supportive of an increase in building height in recognition of the heritage retention. However, the Surrey Heritage Advisory Commission deemed the small heritage building as not appropriate for retention so there is no proposed heritage retention, but it was deemed appropriate to allow the applicant to continue with the proposed building height amendments. The built form is suitable for the context. The 20 storey tower is located at the southern end of the site near 16 Avenue and the lower 5-6 storey podium is placed on the north side providing a height transition to lower adjacent buildings. In lieu of the heritage preservation the applicant is proposing to make a \$50,000 cash contribution toward the City's Heritage Services, to support the indigenization of existing storyboards in South Surrey.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.

CD By-law

- The applicant proposes to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" (based upon the "Neighbourhood Commercial Zone [C-5]" and "Multiple Residential 135 Zone [RM-135]" in order to allow for the proposed mid-rise mixed-use development.
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-135 Zone, C-5 Zone and proposed CD Bylaw are illustrated in the following table:

Zoning	C-5 Zone (Part 35)	RMC-135 Zone (Part 25)	Proposed CD Zone
Permitted Uses:	<ul style="list-style-type: none"> • Retail uses • Personal service uses • General service uses • Eating establishments (excluding drive-through restaurants) • Neighbourhood pub • Office uses • Indoor recreational facilities • Community services • Child care centres One caretaker unit	<ul style="list-style-type: none"> • Multiple unit residential buildings and ground-oriented multiple unit residential buildings • Child care centres 	<ul style="list-style-type: none"> • Multiple unit residential buildings and ground-oriented multiple unit residential buildings • Retail stores, excluding adult entertainment stores, auction houses, and second-hand stores and pawnshops; • Personal service uses excluding body rub parlours • General service uses excluding funeral parlours, drive through banks and vehicle rentals • Eating establishments (limited to 150 sq. m.) and excluding drive-through restaurants • Liquor store • Office uses excluding social escort services, methadone clinics and marijuana dispensaries • Indoor recreational facilities excluding a gymnasium • Community services • Child care centres • Cultural uses
Floor Area Ratio:	0.50	2.50	3.32 (Gross) 5.70 (Net)
Lot Coverage:	50%	33%	53%
Yards and Setbacks			
North:	7.5 metres	7.5 metres or 50% of the building height	4.4 metres
East:	7.5 metres		3.5 metres
South:	7.5 metres		4.0 metres
West:	7.5 metres		4.0 metres
Principal Building Height:	9 metres	N/A	69 metres
Amenity Space			
Indoor Amenity:	N/A	543 sq. m.	The proposed 375 sq. m. and CIL meets the Zoning Bylaw requirement.
Outdoor Amenity:	N/A	543 sq. m.	The proposed 612 sq. m. exceeds the Zoning Bylaw requirement.

Parking (Part 5)	Required	Proposed
Number of Stalls		
Commercial:	12	12
Residential:	268	268
Residential Visitor:	37	37
Total:	317	317
Bicycle Spaces		
Residential Secure Parking:	217	218
Residential Visitor:	6	6

- The accessory commercial uses proposed in the CD Zone largely reflect the uses of the C-5 Zone with the main difference being that the neighbourhood pub use is not proposed in the CD Zone, and personal services are not limited as they are in the C-5 Zone. Liquor store use is added, and eating establishments are limited to a maximum floor area of 150 square metres.
- The CD Zone proposes a higher net floor area ratio (FAR) at 5.70 as compared to the 2.50 FAR permitted under the RM-135 Zone. As this is a Town Centre location, FAR is permitted to be measured on a gross basis for density bonus purposes, and the gross FAR is 3.32. The proposed FAR is in keeping with the site's "Mid-Rise Mixed-Use" designation in the Semiahmoo TCP, which allows bonus density.
- The maximum lot coverage has been increased from 33% in the RM-135 Zone to a maximum of 53% in the CD Bylaw to accommodate the proposed built form. The proposed lot coverage is typical for mid-rise developments on a site of this size.
- The setbacks generally comply with the Semiahmoo Town Centre Plan. A 4-metre setback is proposed along the commercial retail units (CRUs) on 16 Avenue (south setback) which allows for circulation and gathering space in front of the CRUs. A 4-metre setback is proposed on 152A Street which reflects the large 18-metre road dedication provided by the applicant and the articulation of the western façade provides an approximate average setback of 4.5 metres. The site plan will be updated to reflect this western 4.0 metre setback prior to final adoption.
- The RM-135 Zone requires the building setbacks to be 7.5 metres or a minimum of fifty percent (50%) of the building height, whichever is greater. The applicant is proposing reduced setbacks in the CD Bylaw which is supportable given that it allows for more active engagement with the street.

On-site Parking and Bicycle Storage

- The proposed development includes a total of 317 parking spaces consisting of 268 resident parking spaces, 37 parking spaces for visitors and 12 parking spaces for commercial uses. In addition, the applicant will provide 12 accessible parking spaces.
- All parking spaces on-site will be provided within an enclosed underground parkade that is accessed from 16A Avenue at the north side of the building.
- Of the 317 parking stalls provided, 30 small car stalls are proposed or 9% of the total number of parking spaces. The Surrey Zoning Bylaw allows for a maximum of 35% of the total parking spaces on-site to be provided for small cars.

- The Zoning Bylaw requires that no parking facilities be constructed within 2.0 metres of the front lot line or a lot line along a flanking street. The proposed underground parkade will be located within 0.5 metre of the north, south and west lot lines. As a result, the proposed CD Bylaw will permit the underground parkade facility to extend within 0.5 metre of these lot lines.
- The development will provide a total of 218 secure bicycle parking spaces in the underground parkade. This will meet the minimum bicycle parking stalls required under the Zoning Bylaw. In addition, the applicant will provide 6 bicycle parking spaces, at grade for visitors, which complies with the Zoning Bylaw requirement.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No. R037;2023.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. The current rate is \$2,227.85 per new unit.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation. The proposed development will be required to pay the rates that are applicable at the time of Final Adoption.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects. A fee update was approved in April 2024, under Corporate Report No. R046; 2024, and the contribution is currently \$1,113.92 per unit.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on December 5, 2023, and the Development Proposal Signs were installed on December 15, 2023. Staff received responses from 10 area residents and the Little Campbell Watershed Society (LCWS). Some of the residents had no concerns but were just seeking general information about the project. Concerns raised included increased traffic, building height and shadowing, exterior lighting, construction impact and drainage impacts. *(staff comments provided further below in italics).*

Public Information Meeting

- The applicant held a Public Information Meeting on February 13, 2024 at the Semiahmoo Library. According to the Summary Report submitted from the applicant to the City, approximately 30 people attended the PIM and 4 comment cards were received. Two (2) comments cards indicated some support, one (1) comment card was neutral and one (1) comment card indicated opposition. Concerns included increased traffic, building height, landscaping and exterior lighting.

(The applicant will be providing road dedication for 16A Avenue, 152A Street, and 16 Avenue. Building height was predicated on heritage retention which was not supported by the Surrey Heritage Advisory Commission, however the built form is suitable for the site context. The landscaping proposed is typical and reasonable for this form of development. Lighting will be provided according to the BC Building Code requirements, but there will not be any exterior building lighting beyond that. Should the project be approved, the applicant will follow all the applicable construction bylaws. The applicant will follow all the drainage requirements outlined in the Semiahmoo Town Centre Plan and the Integrated Stormwater Management Plan for this area. All runoff to the municipal storm water system is required to be captured by a water quality treatment facility.)

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Semiahmoo Town Centre Plan (TCP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Semiahmoo Town Centre Plan (TCP).

Building Design

- The proposed development includes a 20-storey mixed-use tower and a 5- to 6-storey podium that consists of 181 market dwelling units with 379 square metres of ground-floor commercial space.
- The proposed building façade reflects a contemporary and dynamic built form with particular attention given to tower and podium placement, building height, and street interface.
- The podium is designed to wrap around the street frontage to provide a continuous street wall. The podium drops down from 6-storeys to 5-storeys along the north edge of the site to provide a height transition to existing low-rise buildings to the north.

- The ground-floor commercial/retail units (CRUs) will actively engage with the street on 16 Avenue and provide a strong urban edge and active street wall. The ground floor steps back from the street at the southeast corner to provide a small plaza area. Painted steel canopies with glazing help define the ground floor commercial units and provide weather protection. The residential lobby anchors the building on the 152A Street elevation with seating amenities.
- The proposed building materials include prefinished metal panels (grey and white), painted concrete (grey, white and clear), brick masonry (gray), wood finish panels, and metal and glass guardrails. The proposed building form adopts a modern architectural vocabulary, that, while distinctive, is compatible with the current high-rise typology in Surrey's town centres.
- The applicant is proposing to provide four levels of underground parking, which will provide all of the required parking for the development. The parkade is accessed via 16A Avenue on the north side of the building. No at-grade surface parking is proposed. The resident parking spaces will be secured by an overhead gate.

Signage

- Signage for the commercial units is proposed under the weather canopy. The applicant is proposing to have a fascia sign identifying the building name near the main residential lobby entrance.

Indoor Amenity Space

- The total required indoor amenity space is 543 square metres (3 square metres/unit) and the applicant is providing a total of 374 square metres in physical space, for a deficit of 169 square metres. To address this deficit, the applicant will provide cash-in-lieu of indoor amenity space at the rate in effect at the time of Final Adoption of the Rezoning By-law.
- The indoor amenity space is located on the ground floor, adjacent to the outdoor amenity space in the courtyard area. The indoor amenity space is divided into several areas and includes a large lounge area with kitchenette and a gym space. A washroom is also provided on the seventh floor, for use of residents who may be using the outdoor amenity space on the seventh floor.

Outdoor Amenity Space and Proposed Landscaping

- The total required outdoor amenity space is 543 square metres (3 square metres/unit) and the applicant is providing 612 square metres, thereby exceeding the requirements of the Zoning Bylaw).
- The outdoor amenity space is located in two areas: on the ground floor and also on the seventh floor on the roof above the podium. The ground floor amenity space is located within the courtyard area and is adjacent to the indoor amenity space. The ground floor amenity space contains landscaping, outdoor seating, a fire pit, and a turf play area. The seventh floor outdoor amenity space contains landscaping, outdoor seating, community garden planters and a potting table, a fire pit and a lawn area.

- Each individual ground-oriented unit will have a small private patio enclosed by a privacy hedge, raised planter and/or privacy fence with layered planting that includes by-law size trees, small shrubs and low-lying groundcover.
- A north-south pathway along the eastern portion of the site will allow for pedestrian movement through the site. Bike racks and benches are proposed along the 16 Avenue interface, and a small corner plaza with seating is proposed at the corner of 152A Street and 16A Avenue.

TREES

- Dave Andermatt, ISA Certified Arborist of Pacific Sun Tree Services prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Cottonwood	3	3	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Black Locust	10	10	0
Sweetgum	1	0	1
Norway Maple	1	0	1
Basswood	1	0	1
Prunus spp.	1	1	0
Coniferous Trees			
Douglas-fir	14	13	1
Total (excluding Alder and Cottonwood Trees)	28	24	4
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		31	
Total Retained and Replacement Trees Proposed		35	
Estimated Contribution to the Green City Program		\$11,000	

- The Arborist Assessment states that there are a total of 28 mature trees on the site, excluding Alder and Cottonwood trees. Three (3) existing trees, approximately 10 % of the total trees on the site, are Alder and Cottonwood trees. The applicant proposes to retain 4 trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees and a 2 to 1 replacement ratio for all other

trees. This will require a proposed total of 51 replacement trees on the site. The applicant is proposing 31 replacement trees, resulting in a deficit of 20 replacement trees will require an estimated cash-in-lieu payment of \$11,000, representing \$550 per tree to the Green City Program, in accordance with the City's Tree Protection By-law.

- The new trees on the site will consist of a variety including pines and maple.
- In summary, a total of 35 trees are proposed to be retained and/or replaced on the site with an estimated contribution of \$11,000 to the Green City Program.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix V.	Heritage Advisory Commission Minutes
Appendix VI.	TCP Plan Amendments
Appendix VII.	ADP Comments and Response

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

KB/ar

Design Rationale

Introduction

Polygon Calais Homes Ltd. is proposing to provide a mixed-use residential complex consisting of 181 units of market condominium housing and 395 sq m of tenanted at-grade commercial space at the consolidated property 15268 & 15273 16 Avenue, Surrey, BC.

The subject site, located in Surrey near the intersection of 152 Street and 16 Avenue, adjacent to the White Rock district border, is currently zoned as RF. This application proposes to pursue rezoning to CD based on RM-135 and C-5 in order to develop a 20-storey mixed-use market residential tower with a single-storey commercial frontage on 16 Avenue and a 5 to 8-storey stepped mid-rise residential podium fronting the length of the 152A Street extension over a 4-level underground parkade.

Site Context

This proposed corner site has south and west facing frontages on the future 152A Street and 16 Avenue, respectively. It is located within the Semiahmoo Town Center Plan (STCP) one block east of the Semiahmoo Shopping Centre and four blocks south of Beauview Park. Also nearby is Peace Arch Hospital and Semiahmoo Town Centre Mixed-use Development in White Rock.

Immediately to the east and north are existing mixed-use residential, commercial and assisted living developments ranging from 4 to 8 storeys. To the south and southwest are mixed use multi-family complexes with varied heights from 12 to 25 stories. The site to the immediate west resulting from the 152A Street extension and occupied by an aging single-storey commercial mall with at-grade parking is a lower-density land use and inconsistent with ongoing densification in the area.

This development seeks to integrate itself within the existing seniors-focused community fabric and provide for an aging population of "empty-nest" families downsizing their residential needs as well as young families and re-start families.

The property itself consists of 2 consolidated lots with an area of 5,670 sq m and is subject to dedications on the north, west and south for the extensions of 16A Avenue and 152A Street as well as the 16 Avenue frontage respectively. The resulting developable portion has an area of 3,315.40 sqm and measures approximately 42.89m in width by 73.99m in depth.

The site slopes downward by 1.0m from north to south along its east perimeter, is generally level from north to south along the west property line and drops typically from east to west. The high point of the site is at the northeast corner with a difference of over 2.2m to its low point at the northwest corner.

The site is currently occupied by the Wright House, a single-storey single-family home on 16 Avenue which will be meticulously documented, retained and relocated to form a unique part of the ground-floor Commercial frontage.

Building Height and Setbacks

The building is set back from all property lines with dedications allowing for the extension of 152A Street and 16A Avenue as well as a transition buffer between adjoining properties. As a result of required roadway and site perimeter dedications as well as the incorporation of the existing home into the usable frontage, minor setback relaxations are sought along the property lines (ref. A-001). These relaxations balance the building presence, commercial expression and exterior character to acknowledge the intent of the Official Community Plan, Development Permit Guidelines (OCP). The public and semi-public realms along the street are within the setbacks and punctuated by landscape interventions to appropriately address both the pedestrian streetscape and neighbouring sites. Landscaping, paving and planters along the residential entries at the north and west perimeter within the STCP setback provide for private patio spaces, an open publicly usable seating area on the site northwest corner and ample trees on private property. 1.8m sidewalk widths respect neighbouring uses and mobility needs specific to age demographics in the area.

The low-rise main form is elevated above the street level where possible with individual unit patios within the setback accessed via gated stairs to maintain a clear separation of private outdoor space adjacent to the public realm. The principle residential entry is provided at-grade and set back beyond the minimum requirement. In addition to a 5.0m dedication for public ROW, the commercial facades along 16 Avenue are set back 3.0m allowing for a 1.8m weather protected merchant zone for display of goods, café seating, clear public interface and bicycle parking per the STCP.

The north uppermost podium steps back 8.40m to address the sensitive interface between the established low-rise structures across 152A Street. The proposal takes into consideration the intent of the STCP and requests a relaxation to its building height prescription to provide increased density in line with adjacent development in the vicinity and proximity to sites allowing for greater building heights including those in the neighbouring City of White Rock Official Community Plan on North Bluff Road.

Form and Expression

The building assumes an L-shaped podium lower form situated to address the corner of 152A Street and 160 Avenue. A 6-storey residential podium element fronts the length of the site on 160A Avenue and 152A Street. Individual unit entries and a streetscape-oriented material expression reduce the bulk of the podium and emphasize the experience of a rhythmic "townhome" dynamic along the sidewalk.

Below grade access is via a ramp at 160A Avenue. The ramp is located within the property and spaced off the property line at the northeast of the site to allow for a semi-public walkway, landscaped buffer and interior private courtyard spaces along the eastern perimeter.

The primary residential entrance is off 152A Street near the 160 Avenue corner separating residential and commercial frontage along its western span. Commercial entrances are located along the south elevation with commercial elevator access from the parkade to grade. The relocated existing Home is situated at the southwest of the site fronting 160 Avenue. A Level 07 outdoor rooftop amenity area is proposed to take advantage of the podium, providing residents a direct connection to a discreet common outdoor space.

The expression of the building has been carefully considered. Envisioned as a contemporary glass and composite metal panel-clad tower with West Coast highlights and details, it presents a distinctive entryway and podium wifely engaged with its context. The well-proportioned modernist form with ample balconies, overhangs and minimal embellishment will allow the building to age timelessly.

Material plane processes, eyebrows and material changes are designed to punctuate and visually reduce the impact of the vertical street wall. Materials at the street level have been selected to exploit a variety of textures within a reserved colour palette and integrate the residential portion with the commercial frontage. Details featuring prefinished wood grain finishes on durable metal extrusions are used to accentuate the main residential entry, unit entries at the street-level and will form part of the visual language throughout the project.

Landscape

Interventions within setbacks at the east property line seek to reduce the impact of the building on neighbouring multi-family buildings. Planter beds situated at the building perimeter provide a natural transition between building forms along the pedestrian interface. The use of available space for planters at grade is maximized in order to lessen the impact of the building perimeter and vehicular traffic making use of the north frontage. Green screening with trees on private property at the outdoor perimeter provides a layer of privacy softening the visual presence of the building from its neighbours' vantage point.

The Level 07 rooftop amenity provides a modest, screened covered outdoor space for larger resident gatherings spilling into generous garden plots, planted fields, landscaped surfaces and planters situated to create room for outdoor recreation, contemplative spaces for individual seating and the accommodation of smaller groups.

Sustainability

Per the requirements of the City of Surrey, the building will be designed to meet the requirements of the OCP and Sustainability Charter, together with the City's climate targets and provincial Step Code requirements. Sustainable design principals have been incorporated into the schematic design of this proposal. These include:

- Reduction of the overall exterior perimeter to maximize volume to area ratios to optimize energy performance.
- Cantilevered balconies as opposed to inset balconies to limit thermal bridging and,
- Careful placement and sizing of openings to balance occupant comfort and energy loss.

Preliminary energy modelling will be performed to further inform the development as the design progresses.



Date	Issue / Revision
2023-02-14	Issued for CP Inquiry
2023-09-04	Issued for CP Application
2023-11-24	Issued for Existing House Relocation
2023-12-20	Re-issued for CP
2024-04-18	Issued for CP & ADP Response
2024-05-09	Issued for CP Response

Seal



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Project
 Calais Residential Development

15265 & 15273 16th Ave.
 Surrey, BC

Sheet Title
 Perspectives

Project Number

Scale
 1:100

Sheet Number
 A-002

Date	Issue / Revision
2023-02-14	Issued for CP Inquiry
2023-09-04	Issued for CP Application
2023-12-20	Re-issued for CP
2024-04-18	Issued for CP & ADP Response
2024-05-09	Issued for CP Response



View looking SE at 152 A Street



View looking SW at 16A Avenue

Seal



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Project
Calais Residential Development
15265 & 15273 16th Ave.
Surrey, BC

Sheet Title
Perspectives

Project Number

Scale
AS NOTED

Sheet Number

A-003



Residential Entries along 152A Street



Commercial Streetscape at corner of 152A Street and 16 Avenue



Commercial / Heritage House along 16 Avenue



16th Avenue Elevation



152A Street Elevation

Date	Issue / Revision
2023-02-14	Issued for CP Inquiry
2023-09-04	Issued for CP Application
2023-12-20	Re-Issued for CP
2024-04-18	Issued for CP & ADP Responses
2024-05-20	Issued for CP Response



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Project
Semiahmoo Residential Development
15265 & 15273 16th Ave
Surrey BC

Sheet Title
Streetscope

Project Number

Scale
n/a

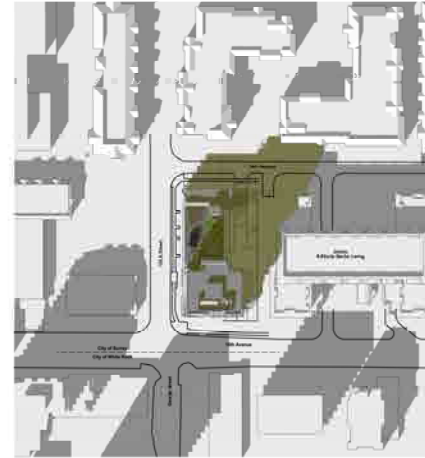
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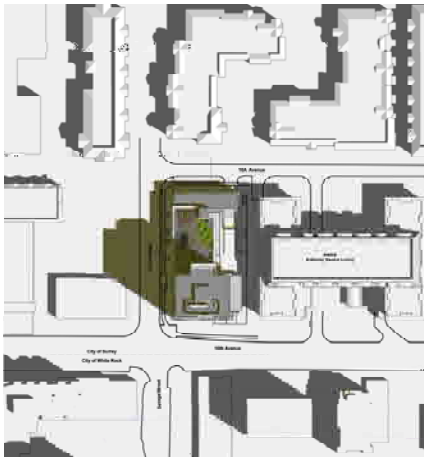
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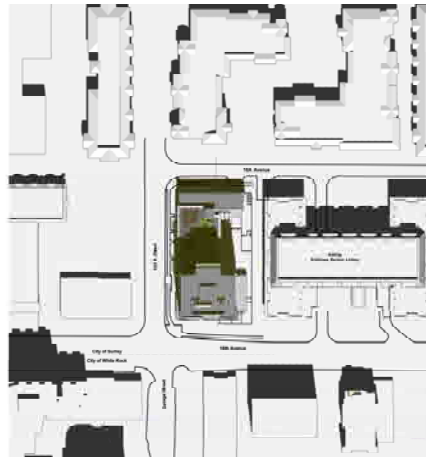
March / Sept 21 12pm



March / Sept 21 2pm



June 21 10am



June 21 12pm



June 21 2pm

Date	Issue / Revision
2023-02-14	Issued for DP Inquiry
2023-08-01	Issued for DP Application
2023-12-20	Re-Issued for DP
2024-04-18	Issued for DP & ADP Response
2024-05-20	Issued for DP Response

Seal



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Project
Semiahmoo Residential
Development
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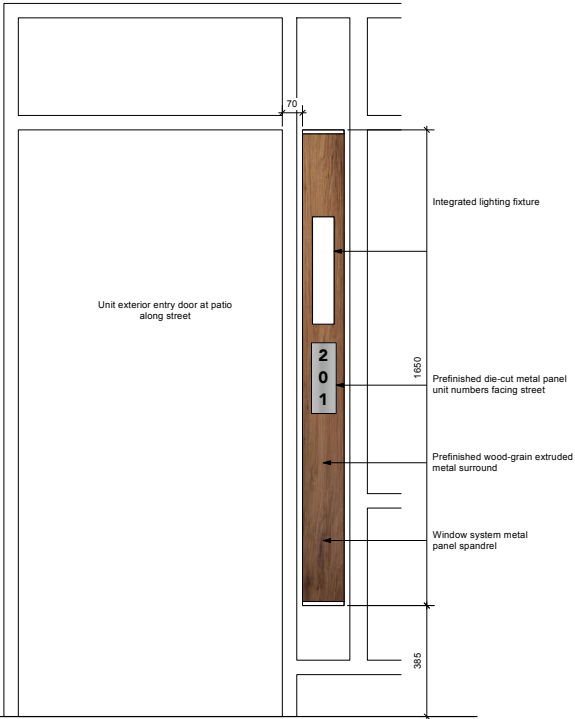
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Project Number

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Sheet Number

A-005

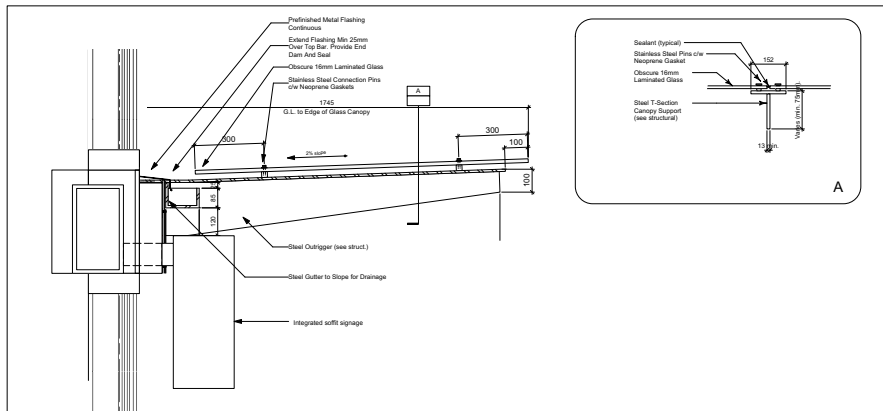


Typical Building Signage Concept

LED backlit die-cut metal signage on building exterior at Residential Entry and building name

Typical Street-facing Residential Unit Signage Concept

Custom extruded prefinished metal surround c/w integrated exterior decklight and unit number on prefinished die-cut metal plate



Typical Commercial Canopy Soffit Signage Concept

Under canopy structurally supported cased band signage



Seal



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Sheet File: Signage Concept

Project Number

Scale: 1:128

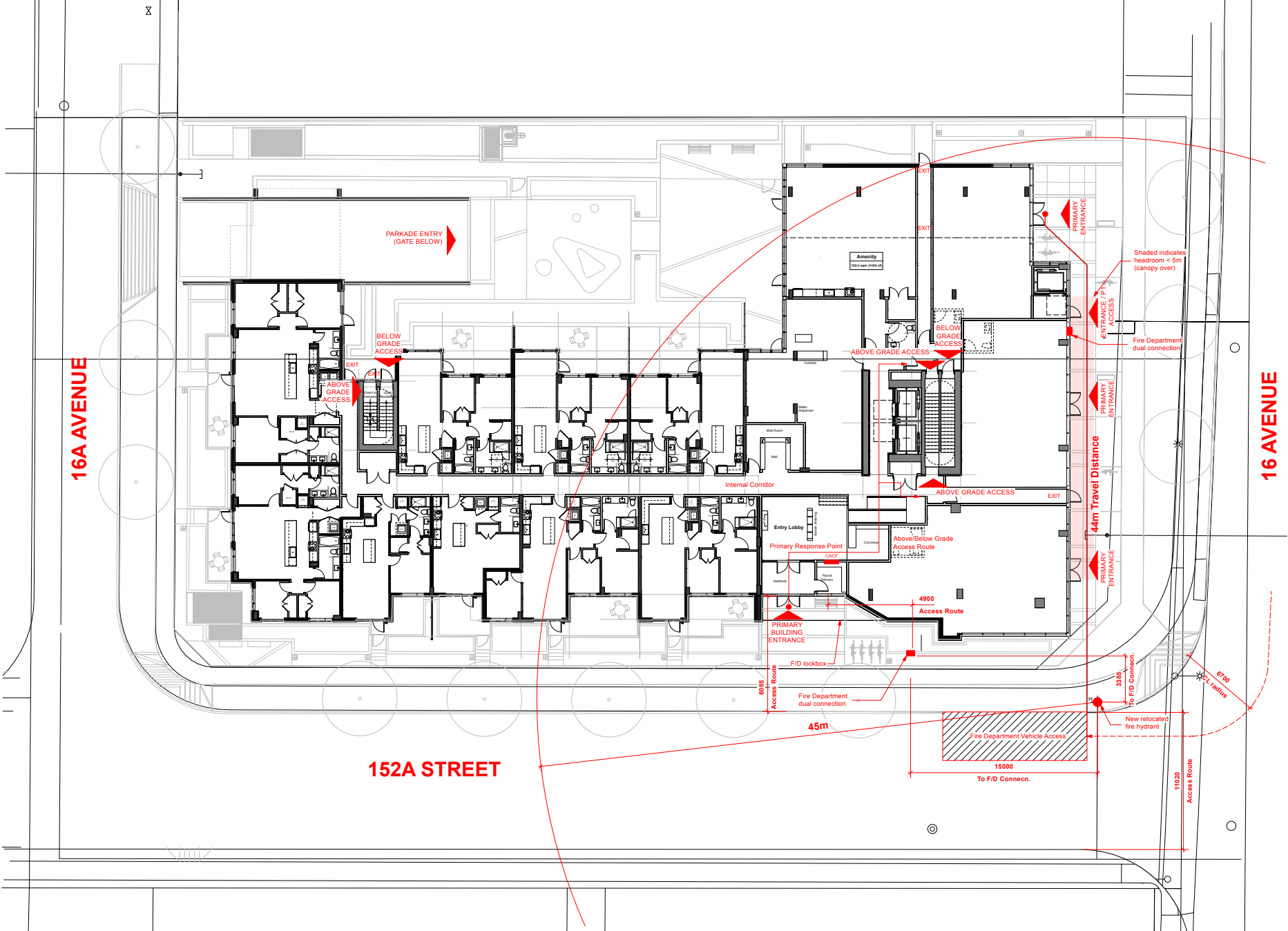
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A-009

16A AVENUE

16 AVENUE

152A STREET



Seal



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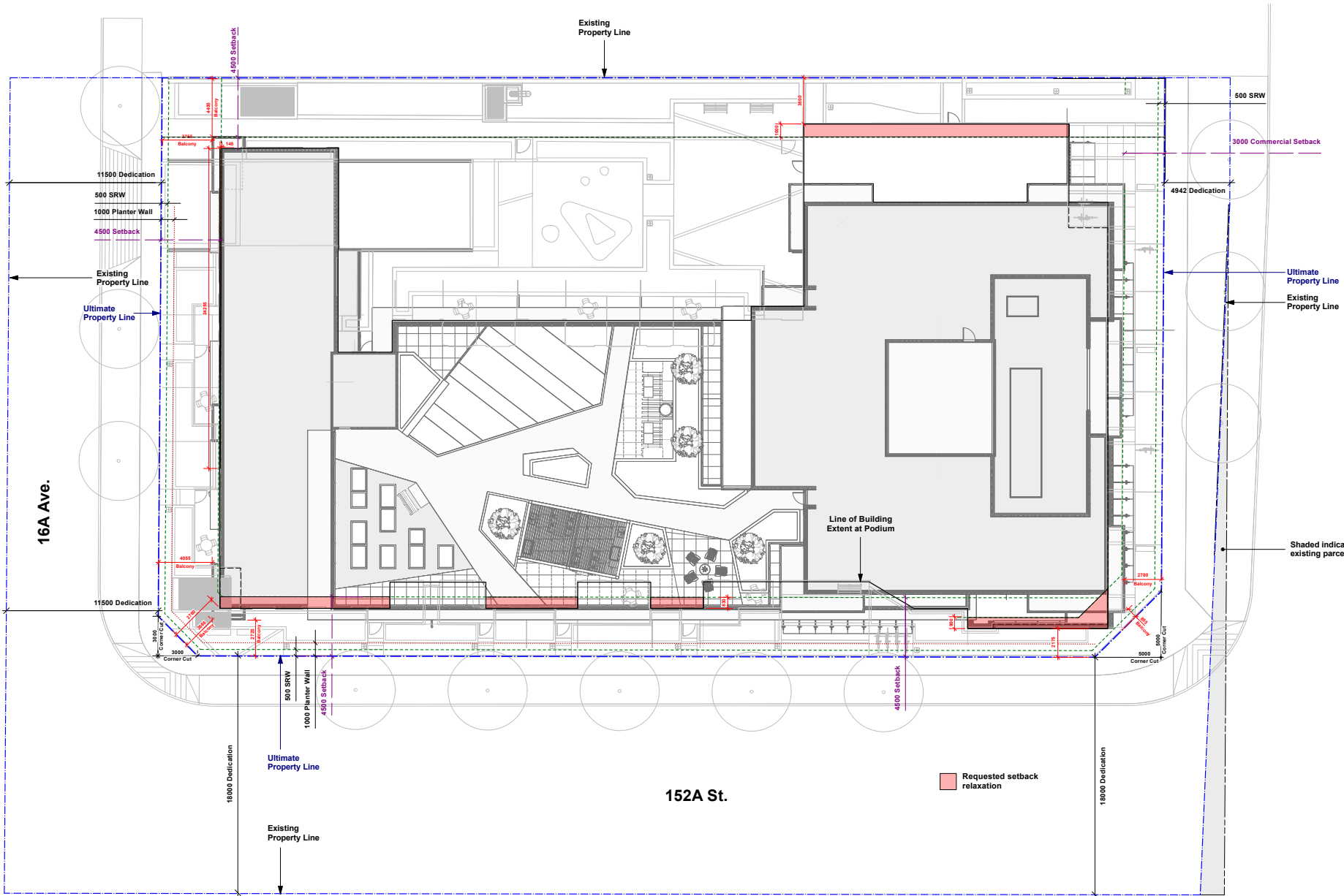
Project
Calais Residential Development
15265 & 15273 16th Ave.
Surrey, BC

Sheet Title
Fire Dept. Site Plan

Project Number

Scale
1:128

Sheet Number
A-008



16 Ave.
N

Scale



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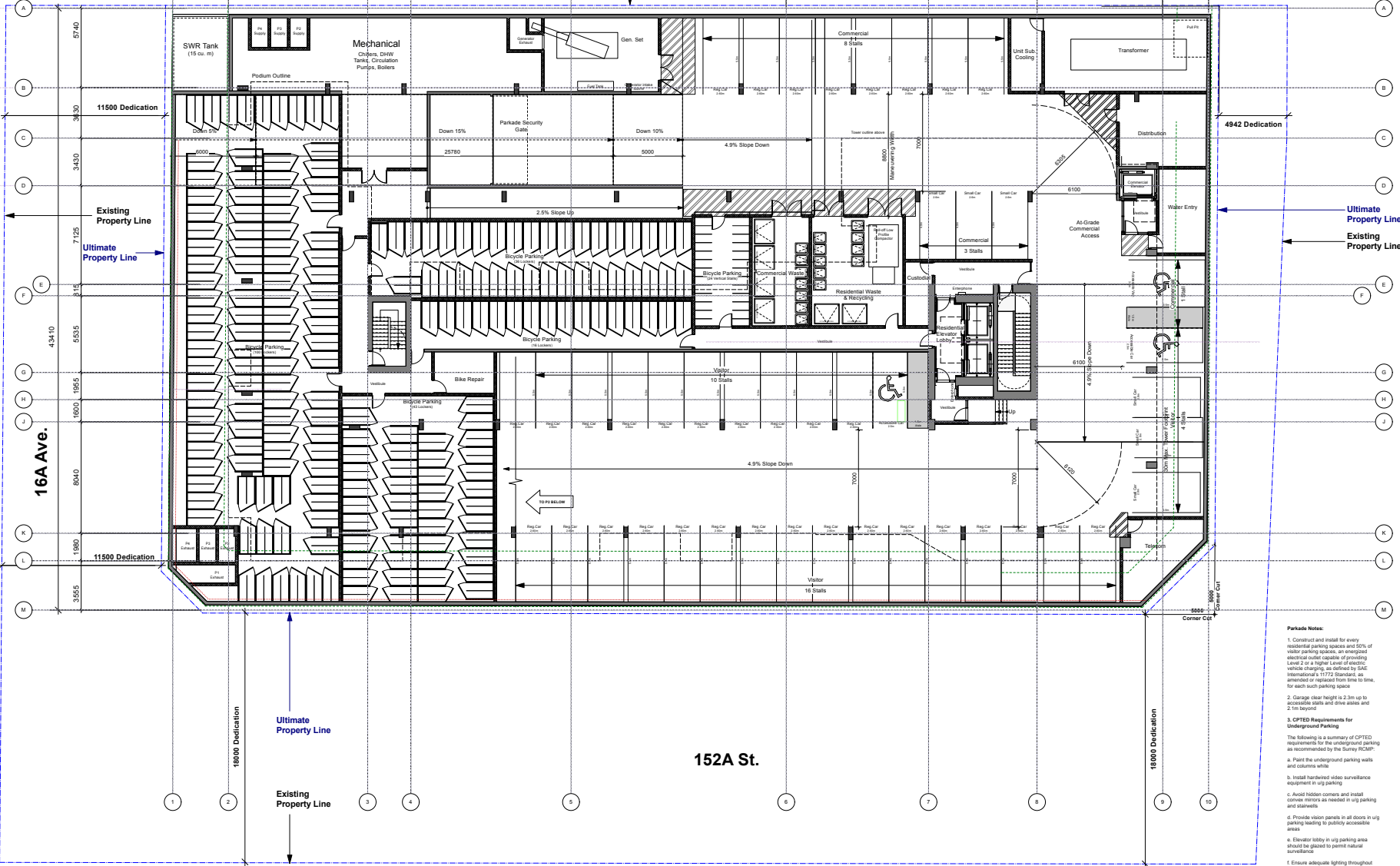
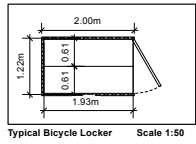
Sheet Title
Building Setbacks

Project Number
Scale
1:128
Sheet Number
A-010

Requested setback relaxation

152A St.

16A Ave.



Seal



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Parkade Notes:

- Construct and install for every residential parking spaces and 50% of visitor parking spaces, an emergency electrical outlet capable of providing Level C or a higher level of electric vehicle charging, as defined by Code International & 1172 Standard, as essential or required from time to time, for each such parking space.
- Garage clear height is 2.3m up to accessible stalls and drive aisles and 2.1m beyond.
- CPTED Requirements for Underground Parking**
 The following is a summary of CPTED requirements for the underground parking as recommended by the Surrey RCMP:
 - Paint the underground parking walls and columns white.
 - Install hand-held video surveillance equipment in u/g parking.
 - Avoid hidden corners and install convex mirrors at needed in u/g parking and stairwells.
 - Provide vision panels in all doors in u/g parking leading to outdoor accessible areas.
 - Elevator lobby in u/g parking area should be glazed to permit natural surveillance.
 - Ensure adequate lighting throughout the u/g parking.
 - Provide rough surface finish on ramps to clear stairboomers.

Project
Calais Residential Development

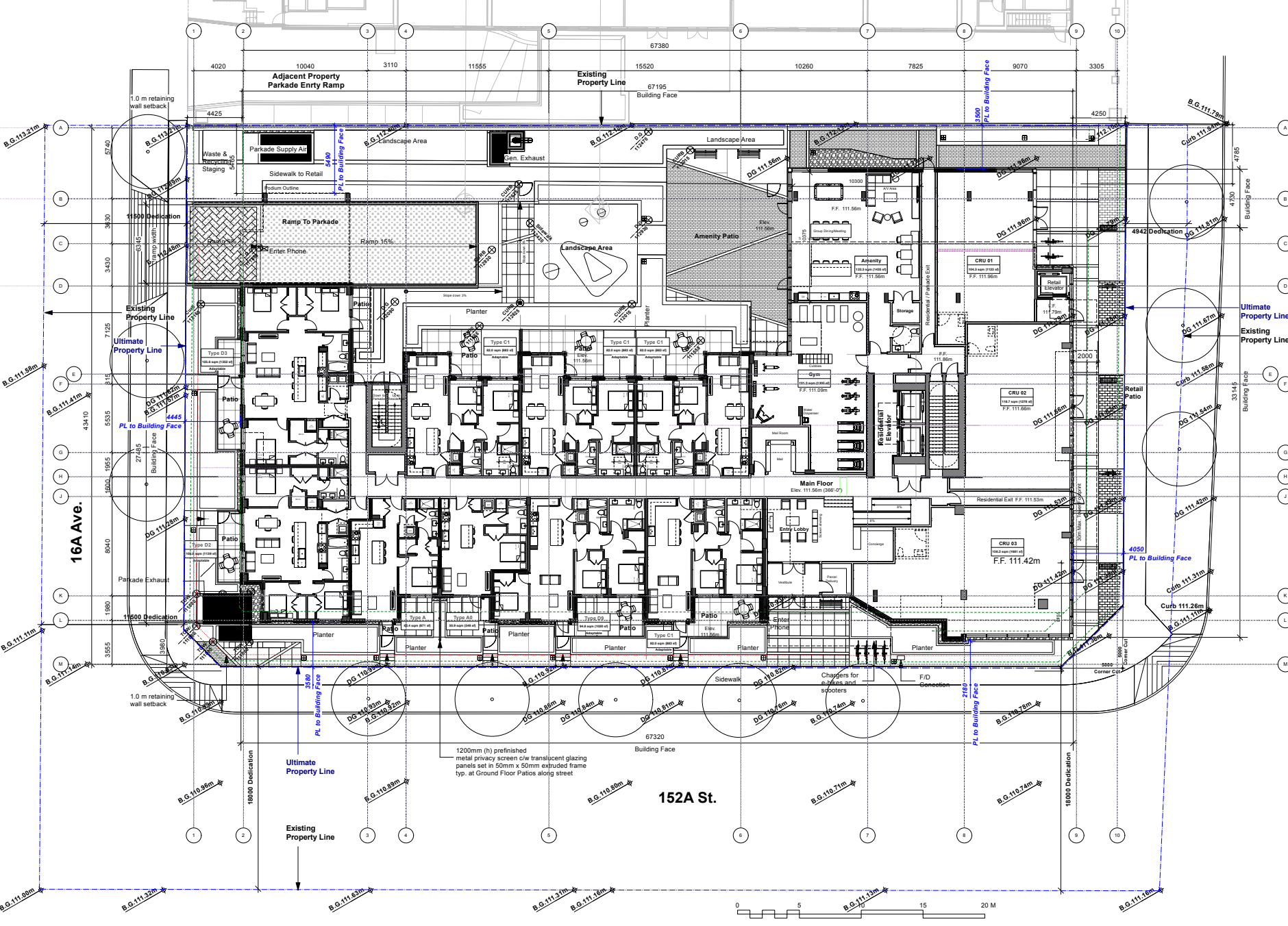
15265 & 15273 16th Ave.
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Sheet Title
P1 Parking

Project Number

Scale
1:128

Sheet Number
A-104



Ultimate Property Line
 Existing Property Line



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 Development

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Sheet File:
 01 Level Site Plan

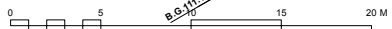
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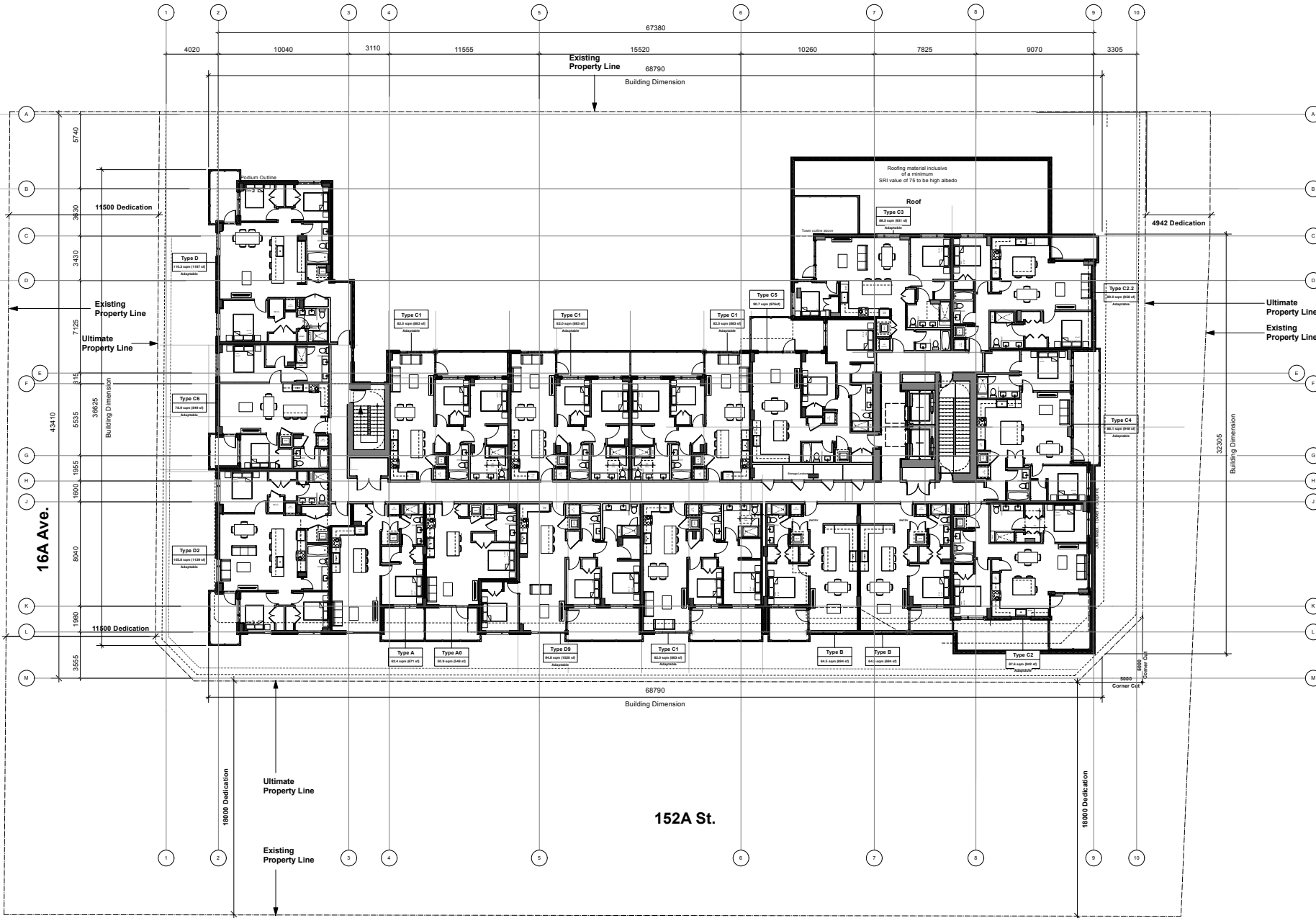
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Sheet Number:

A-105

1200mm (h) prefinished
 metal privacy screen c/w translucent glazing
 panels set in 50mm x 50mm extruded frame
 typ. at Ground Floor Patios along street





Scale



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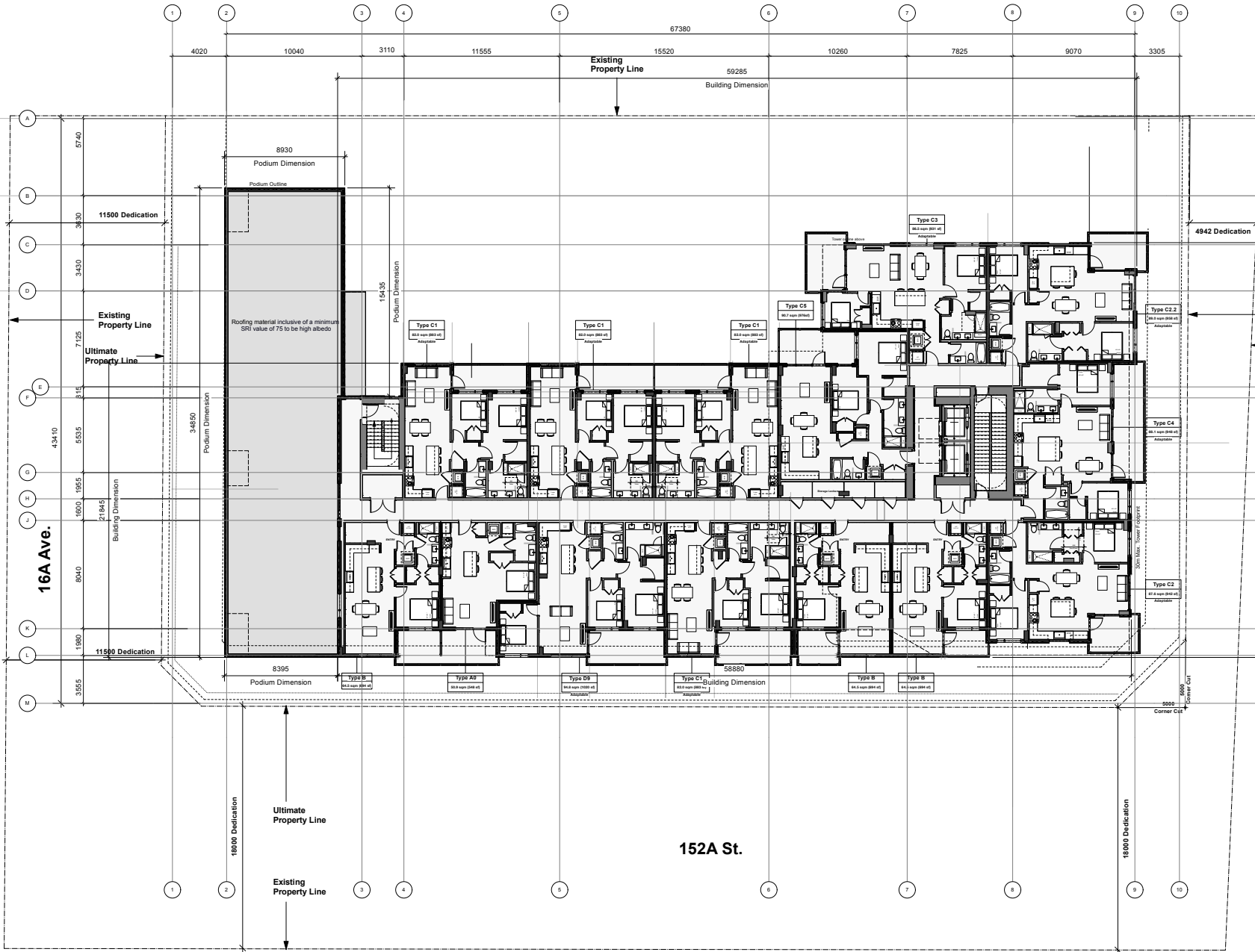
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Calais Residential Development
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Sheet Title:
03 Level

Project Number:
 1:128

Scale:
 1:128

Sheet Number:
A-107



A
B
C
D
E
F
G
H
J
K
L
M

Ultimate Property Line
 Existing Property Line

30785
 Building Dimension



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Sheet Title:
 06 Level

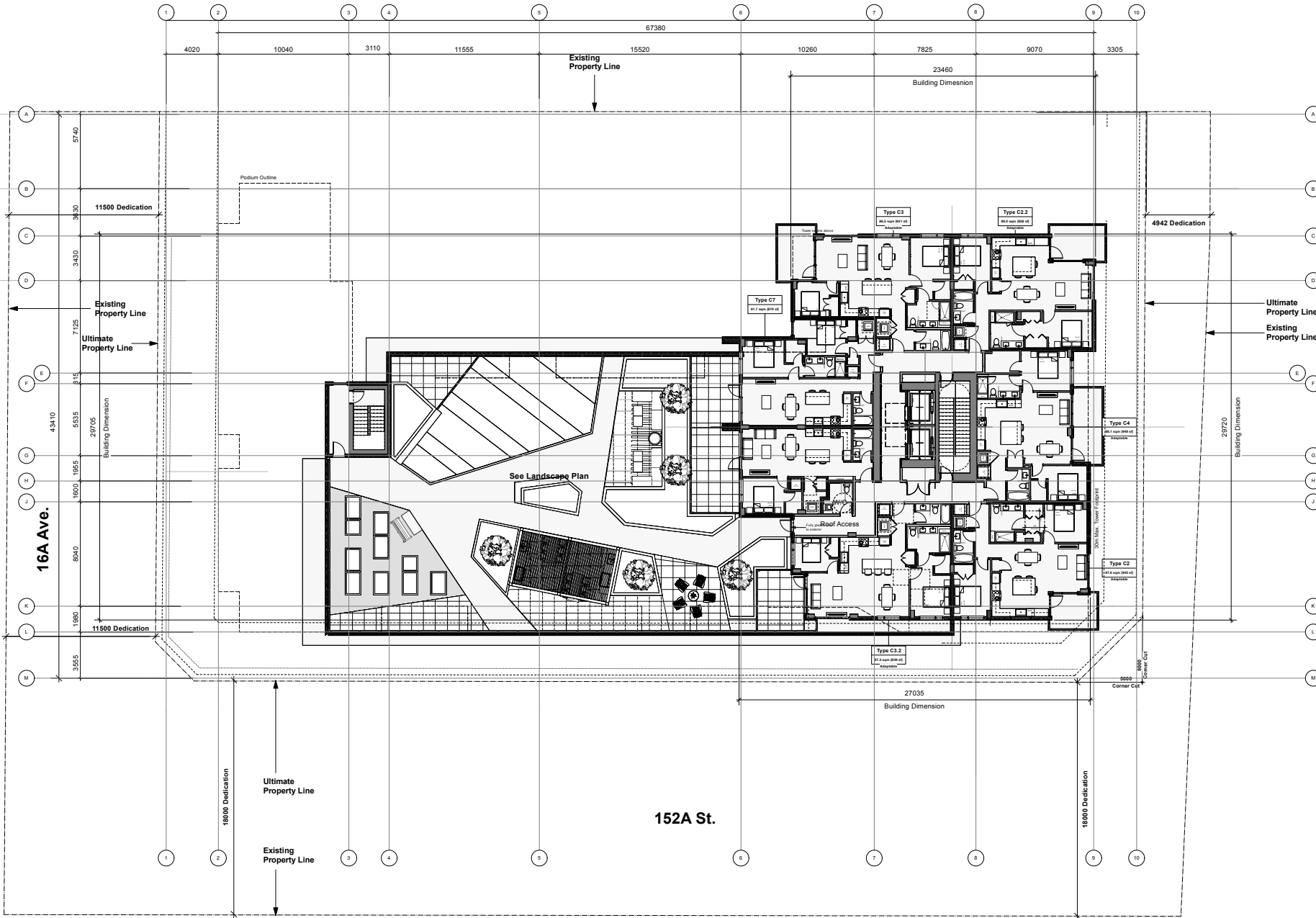
Project Number:
 1:128

Scale:
 Sheet Number

A-108

152A St.

16A Ave.



Ultimate Property Line
 Existing Property Line



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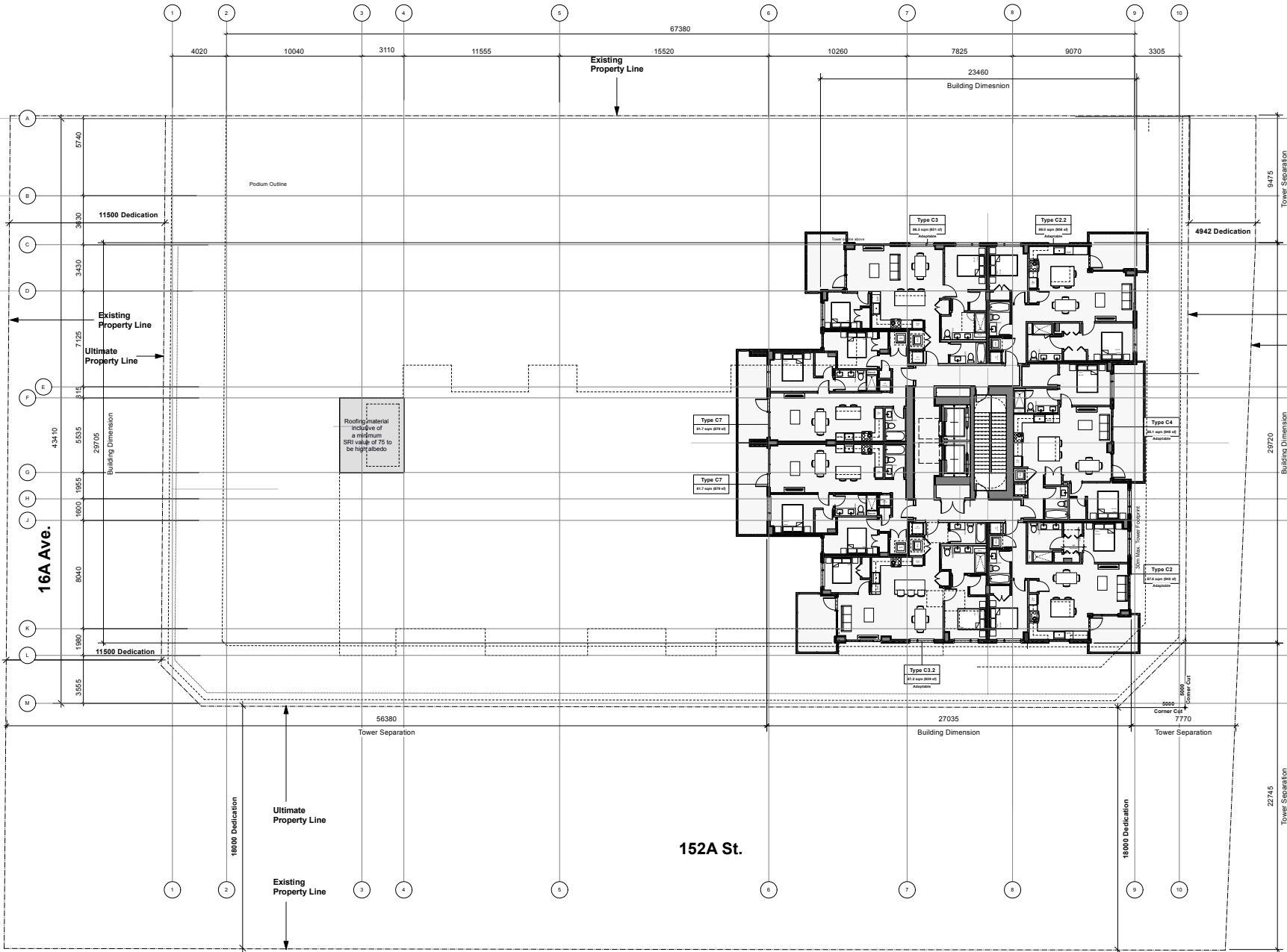
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Project:
Calais Residential Development
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Sheet Title:
07 Level

Project Number:
 1:128

Sheet Number:
A-109



Grid Lines: A, B, C, D, E, F, G, H, J, K, L, M

Dimensions:
 Tower Separation: 9475, 22745
 Building Dimension: 23460, 27035, 28720
 Dedication: 11500, 4942, 18000

Labels:
 Existing Property Line
 Ultimate Property Line
 Existing Property Line
 Ultimate Property Line

Other: Pedium Outline, Roofing material, Corner Cut



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Sheet Title:
 08 to 19 Level

Project Number

Scale:
 1:128

Sheet Number:
A-110

Date	Issue / Revisions
2023-02-14	Issued for CP Inquiry
2023-03-04	Issued for CP Application
2023-12-20	Re-issued for CP
2024-04-18	Issued for CP & ADP Response
2024-05-09	Issued for CP Response

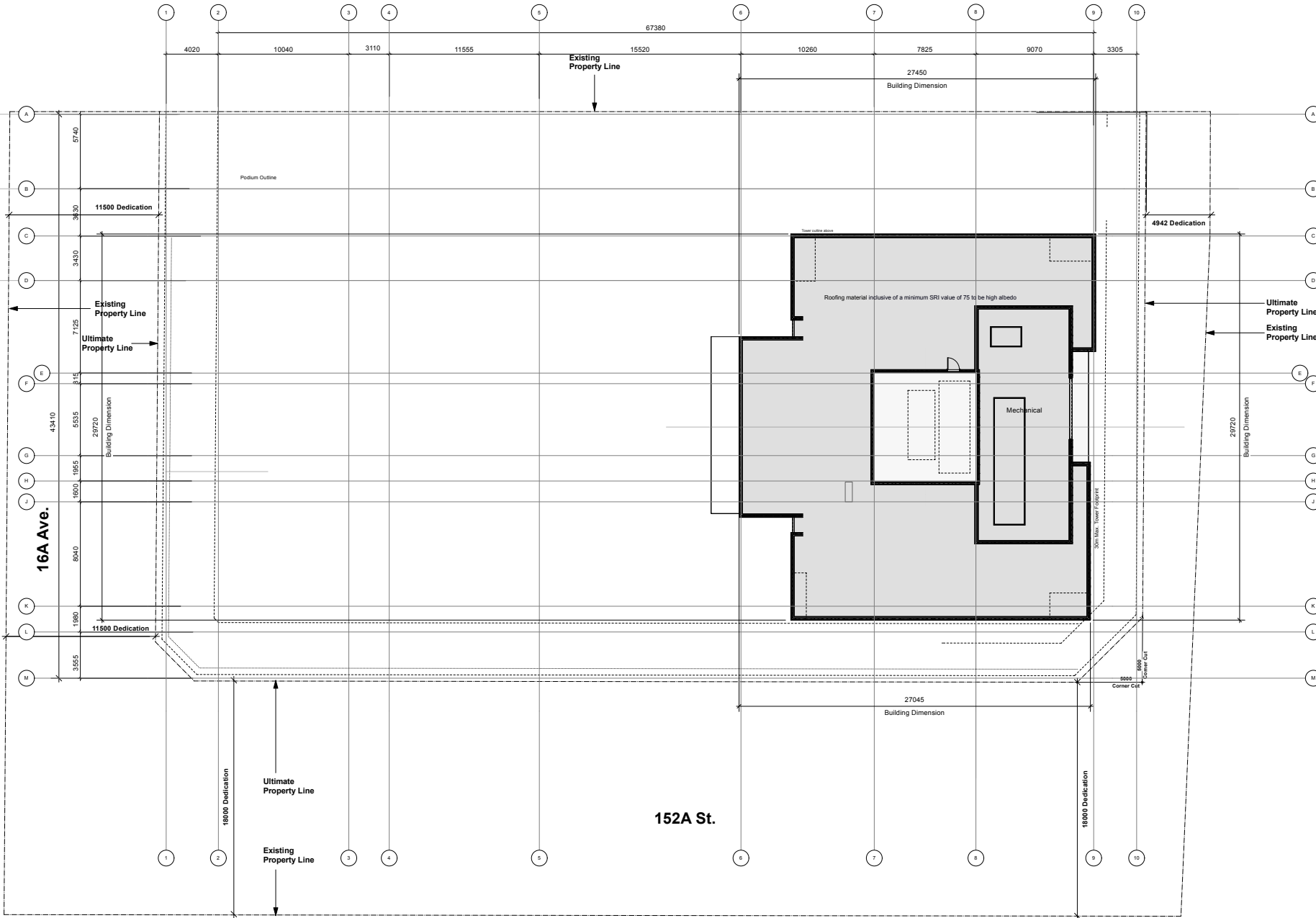


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Sheet Title
20 Penthouse Level

Project Number
 Scale
1:128
 Sheet Number
A-111



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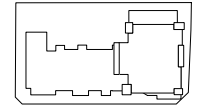
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Sheet Title
Roof Plan

Project Number
 Scale
1:128
 Sheet Number
A-112



KEY PLAN
N.T.S.

Materials Legend	
Painted Concrete	
(L)	Dark Grey
(V)	White
(C)	Clear Sealed
Masonry	
(M)	Clay brick
Prefinished Metal Panel	
(D)	Dark Grey
(E)	White
Painted Metal	
Fences, canopies, louvers, exterior doors and frames, guardrails, privacy screen frames, window system frames, metal panels, louvers, screens and, grilles	
(G)	Dark Grey
(S)	White
(I)	Silver
(O)	Opaque glazed Window System spandrel panels
(P)	Painted #2 face
(T)	Mid Grey
(B)	Clear Glazing at guardrails, canopies
(C)	Clear Tempered
(E)	Clear Glazed Window System lites
(L)	Translucent Glazing at privacy screens
(M)	Prefinished Aluminum Extrusions
(W)	Sliding/Soffs Wood Grain Finish



Seal



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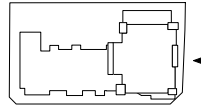
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 West Elevation

Project Number

Scale:
 5/64"=1'-0"

Sheet Number:
 A-201

Consultant Coordination Only 20240522



KEY PLAN
N.T.S.

Materials Legend	
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	Dark Grey
	White
	Clear Sealed
	Masonry
	Clay brick
	Prefinished Metal Panel
	Dark Grey
	White
	Painted Metal
	Fence, canopies, louvers, exterior doors and frames, guardrails, privacy screen frames, window system frames, metal panels, louvers, screens and grilles
	Opaque glazed Window System spandrel panels
	Painted #2 face
	Mid Grey
	Clear Glazing at guardrails, canopies
	Clear Tempered
	Clear Glazed Window System lites
	Translucent Glazing at privacy screens
	Prefinished Aluminum Extrusions
	Siding/Soffit Wood Grain Finish

Seal



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Calais Residential Development
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Sheet Title
South Elevation

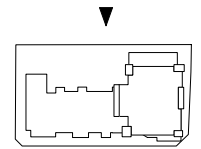
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Scale
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Sheet Number
A-202

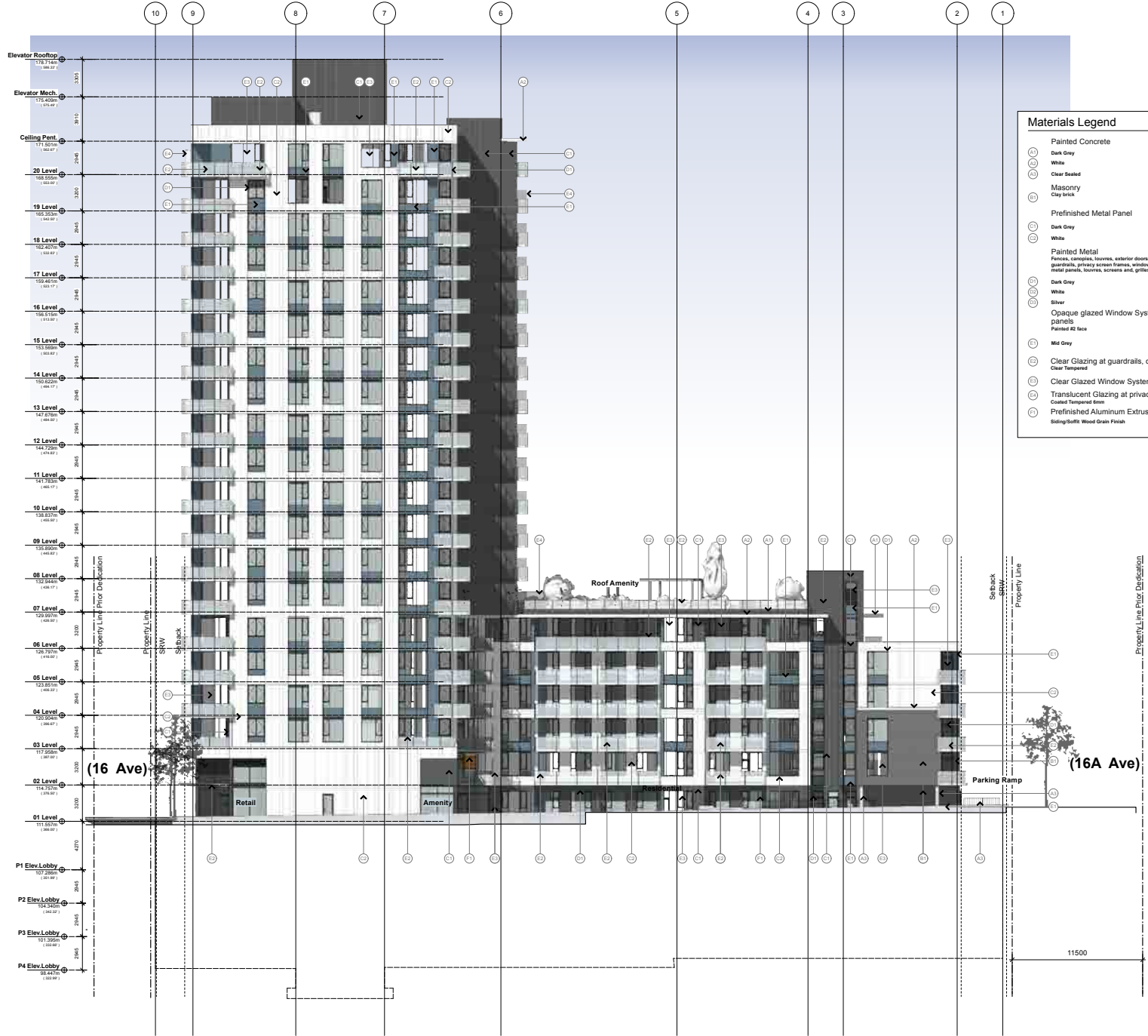
Consultant Coordination Only 20240522





KEY PLAN
 N.T.S.

Materials Legend	
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(B)	White
(C)	Clear Sealed
Masonry	
(D)	Clay Brick
Prefinished Metal Panel	
(E)	Dark Grey
(F)	White
Painted Metal	
Fences, canopies, louvers, exterior doors and frames, guardrails, privacy screen frames, window system frames, metal panels, louvers, screens and, grilles	
(G)	Dark Grey
(H)	White
(I)	Silver
(J)	Opaque glazed Window System spandrel panels
(K)	Painted #2 face
(L)	Mid Grey
(M)	Clear Glazing at guardrails, canopies
(N)	Clear Tempered
(O)	Clear Glazed Window System lites
(P)	Translucent Glazing at privacy screens
(Q)	Coated Tempered 8mm
(R)	Prefinished Aluminum Extrusions
(S)	Siding/Split: Wood Grain Finish



Seal



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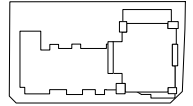
Sheet Title
East Elevation

Project Number

Scale
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Sheet Number
A-203

Consultant Coordination Only 20240522



KEY PLAN
 N.T.S.

Materials Legend

Painted Concrete
(A) Dark Grey
(B) White
(C) Clear Sealed
Masonry
(D) Clay brick
Prefinished Metal Panel
(E) Dark Grey
(F) White
Painted Metal
(G) Fences, canopies, loovers, exterior doors and frames, guardrails, privacy screen frames, window system frames, metal panels, loovers, screens and, grilles
(H) Dark Grey
(I) White
(J) Silver
(K) Opaque glazed Window System spandrel panels
(L) Painted #2 face
(M) Mid Grey
(N) Clear Glazing at guardrails, canopies
(O) Clear Tempered
(P) Clear Glazed Window System lites
(Q) Translucent Glazing at privacy screens
(R) Coated Tempered 6mm
(S) Prefinished Aluminum Extrusions
(T) Sliding/Exit Wood Grain Finish

Seal



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 Canada V6B 2K4
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Project
Calais Residential Development
 15265 & 15273 16th Ave
 Surrey BC

Sheet Title
North Elevation

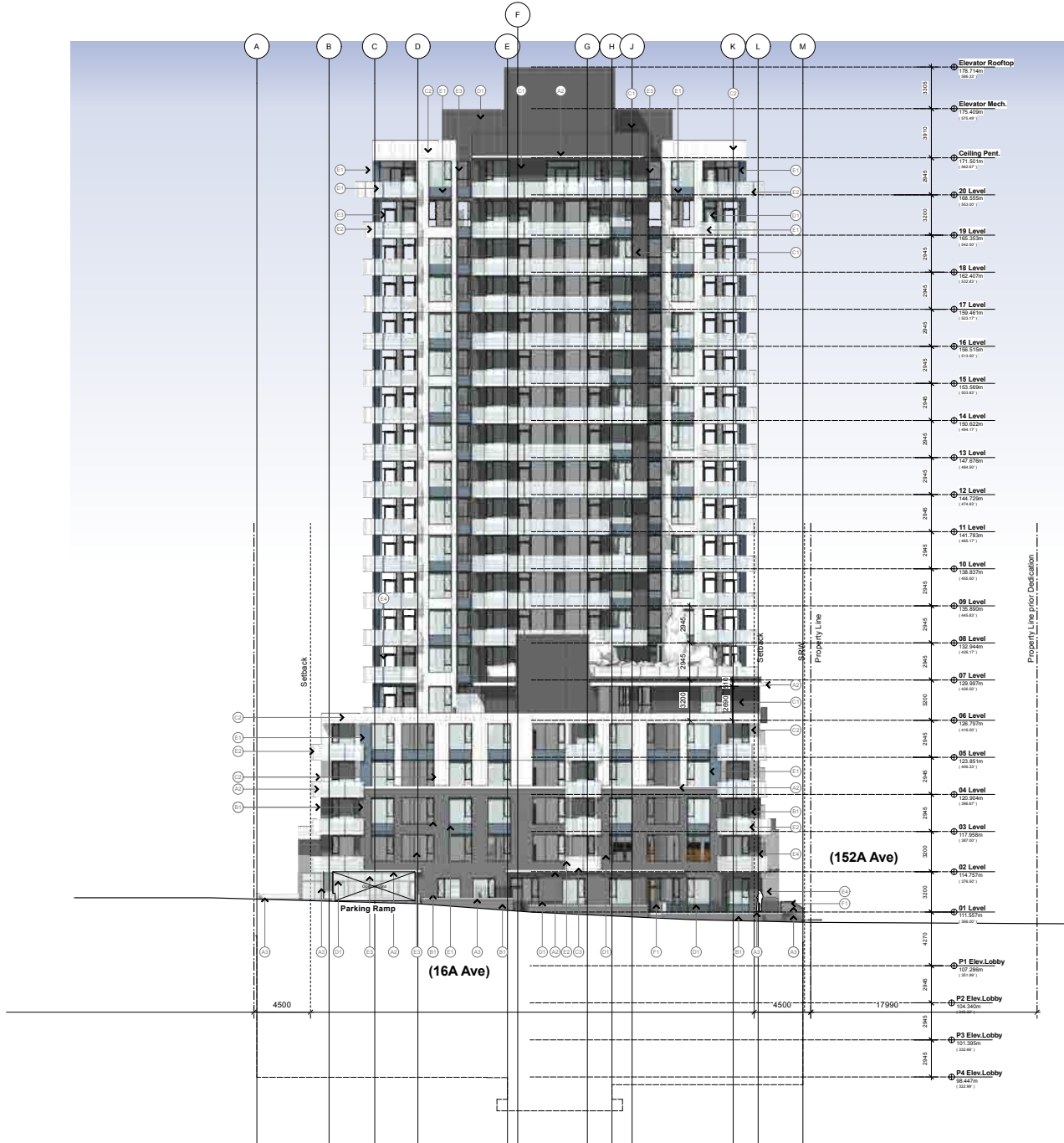
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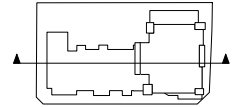
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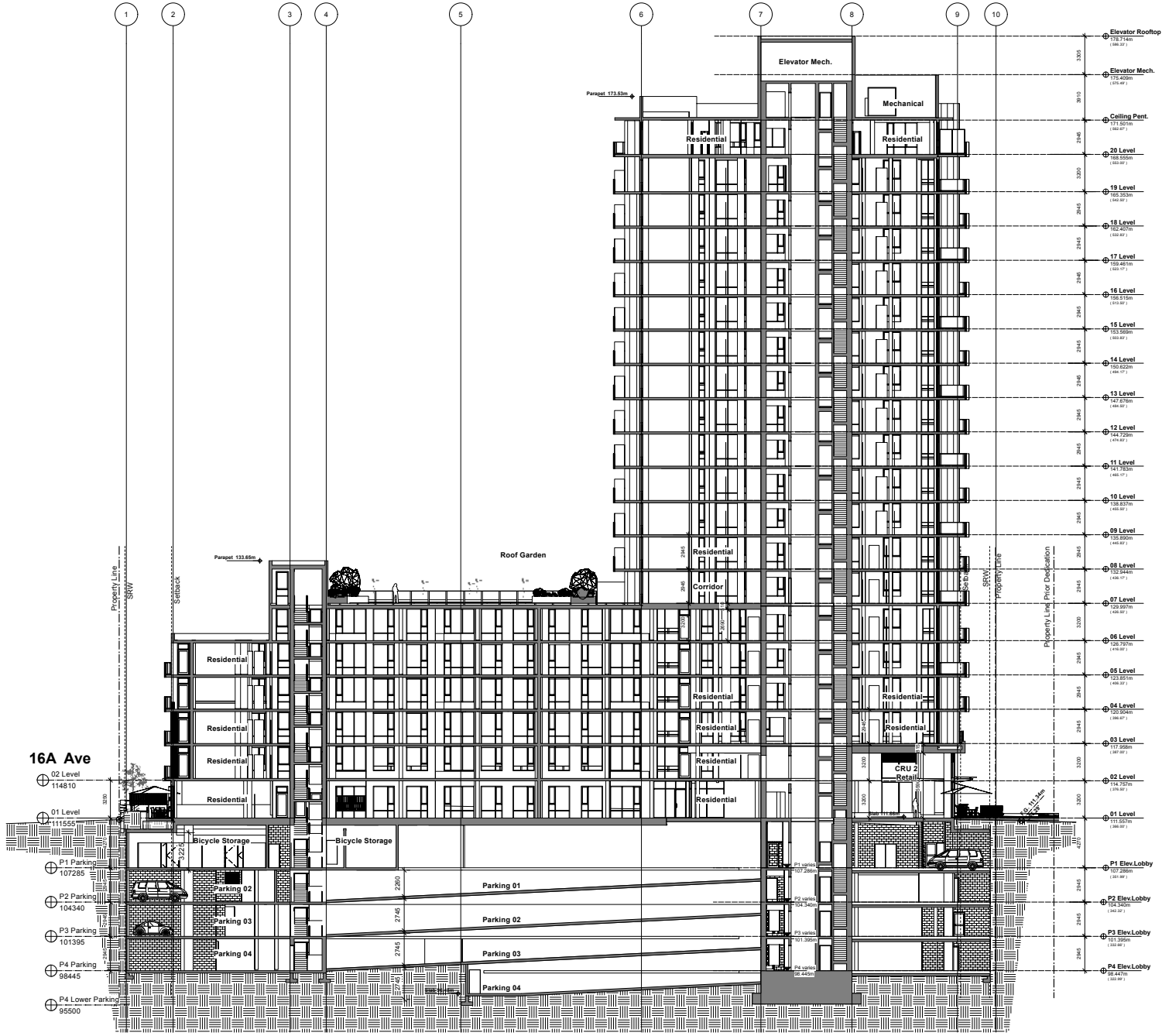
A-204



Consultant Coordination Only 20240522



KEY PLAN
 N.T.S.



Property Line Prior Dedication

16A Ave

- ⊕ 02 Level
114810
- ⊕ 01 Level
111555
- ⊕ P1 Parking
107285
- ⊕ P2 Parking
104340
- ⊕ P3 Parking
101395
- ⊕ P4 Parking
98445
- ⊕ P4 Lower Parking
95500

Property Line Prior Dedication

Seal



NSDA
 ARCHITECTS

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Project
 Calais
 Residential Development
 15265 & 15273 16th Ave
 Surrey BC

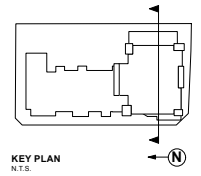
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 Section A

Project Number

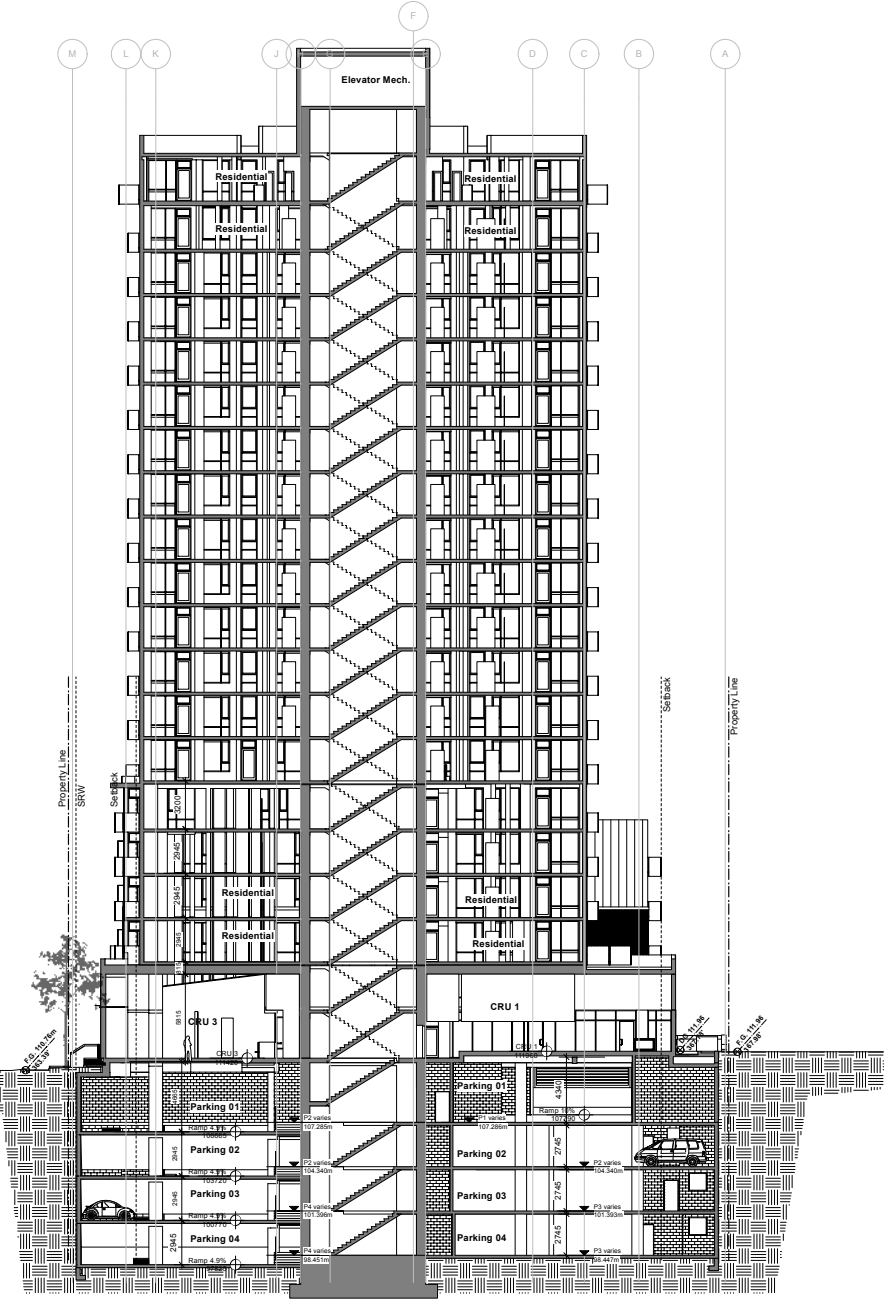
Scale
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Sheet Number
 A-301

Consultant Coordination Only 20240522



Elevator Rooftop	172.2140m (564.91')
Elevator Mech.	172.0000m (564.48')
Ceiling Pent.	171.2500m (561.87')
20 Level	168.5500m (552.92')
19 Level	165.3500m (542.32')
18 Level	162.4070m (532.81')
17 Level	159.4070m (522.81')
16 Level	156.2500m (512.47')
15 Level	153.5000m (503.64')
14 Level	150.5000m (493.78')
13 Level	147.2500m (483.58')
12 Level	144.2500m (473.43')
11 Level	141.2500m (463.25')
10 Level	138.2500m (453.08')
09 Level	135.5000m (443.72')
08 Level	132.5000m (433.74')
07 Level	129.5000m (423.74')
06 Level	126.5000m (413.71')
05 Level	123.5000m (403.68')
04 Level	120.5000m (393.68')
03 Level	117.2500m (383.58')
02 Level	114.2500m (373.58')
01 Level	111.2500m (363.58')
P1 Elev Lobby	107.2500m (352.17')
P2 Elev Lobby	104.2500m (342.27')
P3 Elev Lobby	101.2500m (332.37')
P4 Elev Lobby	98.4070m (322.78')



152A St

Seal



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Project
 Calais
 Residential Development
 15265 & 15273 16th Ave
 Surrey BC

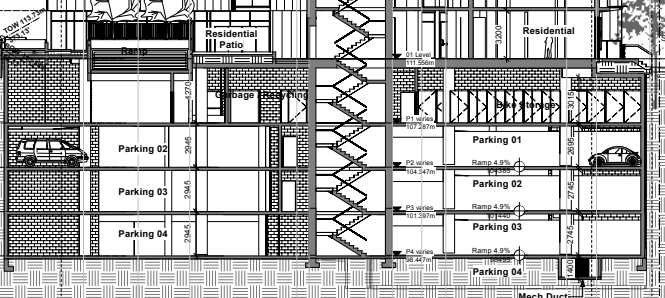
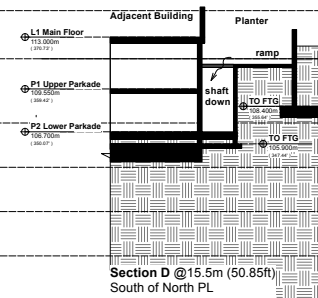
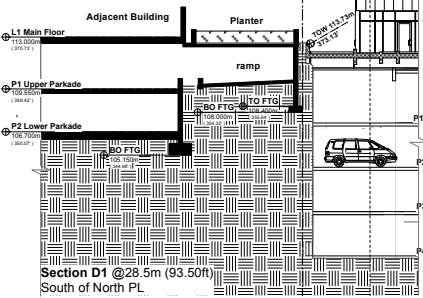
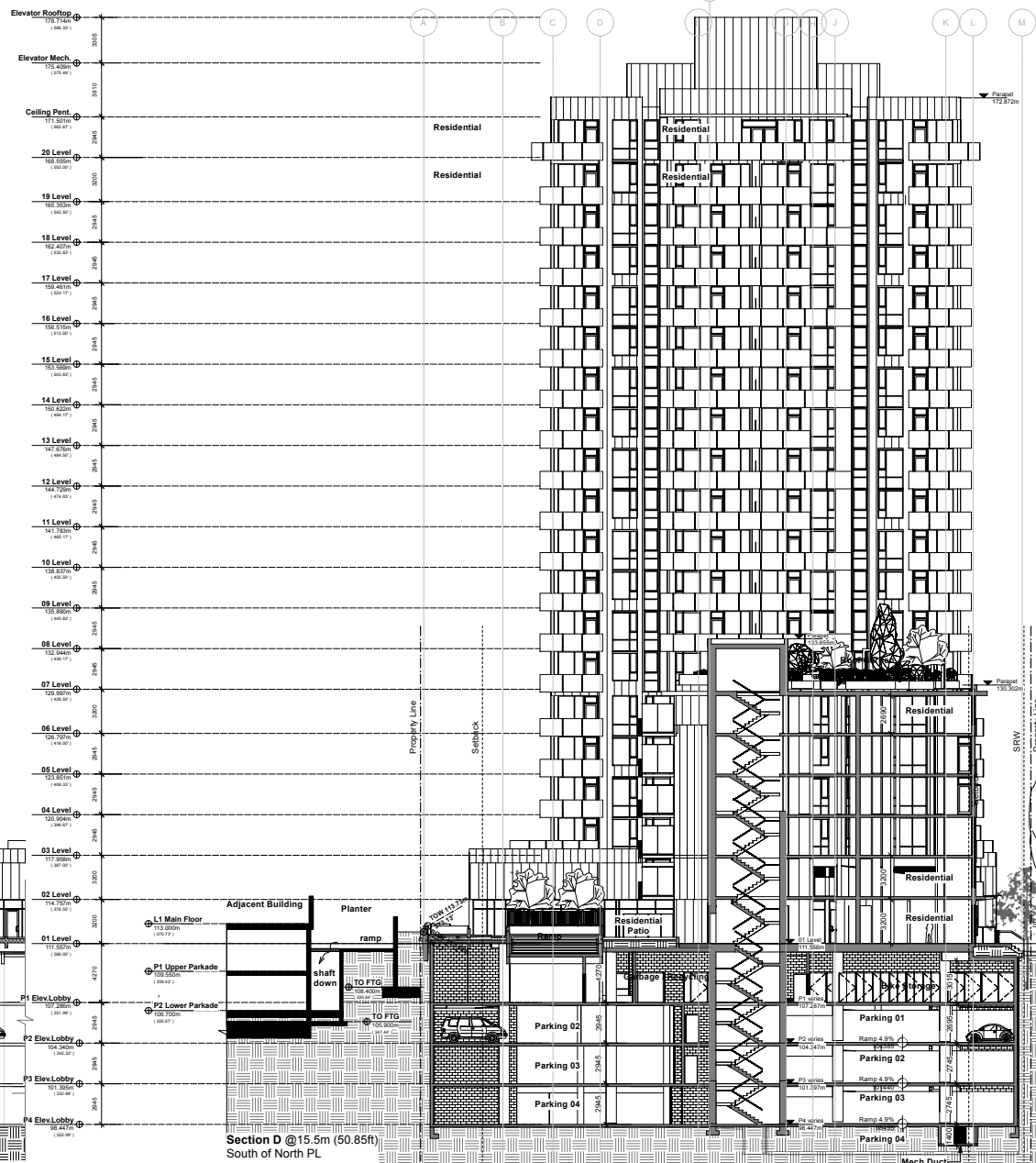
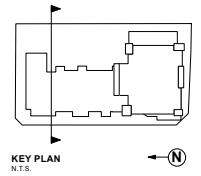
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 Section C

Project Number

Scale
 5/64"=1'-0"

Sheet Number
 A-303

Consultant Coordination Only 20240522



152A St

Seal



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Project
 Calais Residential Development
 15265 & 15273 16th Ave
 Surrey BC

Sheet Title
 Section D

Project Number

Scale
 5/64"=1'-0"

Sheet Number
 A-304

Consultant Coordination Only 20240522

Calais Residential Development

Issued for DP



Location Map (NTS)

Sheet List Table

Sheet Number	Sheet Title
L-01	COVER SHEETS
L-02	SITE PLAN
L-03	GRADING AND FENCING PLAN
L-04	LIGHTING PLAN
L-05	ROOFTOP AMENITY LANDSCAPE PLAN
L-06	PLANTING PALETTE
LS-01	SECTIONS
LS-02	SECTIONS
LS-03	SECTIONS
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS
LD-05	DETAILS

Contact Information

VDZ+A

Project Landscape Architecture

Fort Langley Studio
 102 - 9181 Church Street
 Fort Langley British Columbia, V1M 2R6

Mount Pleasant Studio
 102-355 Kingsway
 Vancouver, British Columbia, V5T 3J7

Primary project contact:
 Phoenix Chan
 phoenix@vdz.ca
 Tel: (604) 546-0927

Alternate contact information away:
 Mark van der Zant
 Principal Landscape Architect
 mark@vdz.ca
 Tel: (604) 546-0920

Key Project Contacts

POLYGON HOMES LTD.
 Project Owner

900-1333 West Broadway St.
 Vancouver BC, V6H 4C2

Tel: (604) 671-4181

NSDA

Project Building Architecture

201-134 Abbot St.
 Vancouver BC, V6B 2K4

Tel: (604) 688-1926

No.	By	Description	Date
1	PC	Issued For DP	2024-09-06
2	PC	Issued For DP & ADP Resources	2024-04-18
3	PC	Issued For DP	2023-10-19
4	PC	Issued For DP	2023-09-03
5	PC	Issued For DP	2023-05-29
6	PC	Issued For Review	2023-01-27

REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date

REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project:
 Calais Residential Development

Location:
 15265 & 15273 19th Ave
 Surrey BC

Drawn:
 LD
 NH

Checked:
 PC

Approved:
 MVDZ

Scale:
 AS SHOWN

Original Sheet Size:
 24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK REPRESENTED ON THIS DRAWING TO THE CONTRACTOR AND VERIFY THAT ALL DIMENSIONS ARE CORRECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS SHOWN ON THIS DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS SHOWN ON THIS DRAWING.

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Drawing Title: **COVER SHEETS**
 Drawing #: **DP2022-25**
 Sheet #: **L-01**



LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	5,6,7 LD-01	CONCRETE SIDEWALK
	6 LD-02	DRIP STRIP
	4 LD-02	HYDRAPRESSED SLAB Type 4 Fibre 410mm x 4 Stone Pattern: Black Frost Colour: Natural Chrome Manufacturer: Belgard Inc.
	1,2 LD-02	CONCRETE UNIT PAVING Type: Classic, California Size: 300mm x 300mm x 30mm Colour: Tan, Charcoal Manufacturer: Belgard Inc.
	5 LD-01	CONCRETE PAVING
	3 LD-05	PLANTING PIT
	6 LD-04	BENCH Model #: 878 Burned Stone Size: 1800mm x 450mm x 45mm Colour: Powder Coated Steel 14 Finish: Wood Manufacturer: Magis
	5 LD-04	FEATURE SEATING Model #: Energya Padula - F160, K40 Colour: White, Orange Manufacturer: ESI Product
	3,4 LD-01	SHRUB PLANTING
		GROUND COVER PLANTING
	5 LD-02	SEAT WALL
	2 LD-04	TABLE AND CHAIRS Model: 830 Queen Seating Material: galvanized steel 14 with 18 Finish: Magis
	1, 8 LD-04, LD-05	LOUNGE SEATING Manufacturer: Vercor Model: Nevada M7703 M7704 M7703/02
	1 LD-03	ARTIFICIAL TURF

FENCING AND WALL LEGEND

KEY	REF.	DESCRIPTION
		BLACK METAL PICKET FENCE GUARDRAIL Refer to Architecture
		PRIVACY SCREEN Refer to Architecture
		GATE
		EXISTING CHAIN LINK FENCE

LIGHTING LEGEND

KEY	REF.	DESCRIPTION
	7 LD-05	PATH LIGHT
	5 LD-05	WALL LIGHT
		CATTAIN LIGHT

Note:
Lighting Fixture selection to be coordinated with
Electrical.

TREE SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	COUNT	SIZE	QTY
	Black locust (Robinia pseudo-acacia) / Silver Japanese Birch	188	10m	4
	Black locust (Robinia pseudo-acacia) / Silver Japanese Birch	188	10m	4
	Black locust (Robinia pseudo-acacia) / Silver Japanese Birch	188	10m	4
	Black locust (Robinia pseudo-acacia) / Silver Japanese Birch	188	10m	4
	Black locust (Robinia pseudo-acacia) / Silver Japanese Birch	188	10m	4
	Black locust (Robinia pseudo-acacia) / Silver Japanese Birch	188	10m	4
	Black locust (Robinia pseudo-acacia) / Silver Japanese Birch	188	10m	4
	Black locust (Robinia pseudo-acacia) / Silver Japanese Birch	188	10m	4
	Black locust (Robinia pseudo-acacia) / Silver Japanese Birch	188	10m	4
	Black locust (Robinia pseudo-acacia) / Silver Japanese Birch	188	10m	4
	Black locust (Robinia pseudo-acacia) / Silver Japanese Birch	188	10m	4



VDZ+A
 VERTICAL DESIGN ZONE ARCHITECTURE
 FORT LANGLEY STUDIO / MOUNT ALLEGANT STUDIO
 150-8833 Clark St | 153 5th Avenue
 Fort Langley, BC | Vancouver, BC
 V4R 1W5 | V1T 1J7
 www.vdz.ca | www.vdz.co.uk

REVISIONS TABLE FOR SHEET

No.	By	Description	Date
1	PC	Issued for GP	2024-09-06
2	PC	Issued for GP & ADP Review	2024-09-18
3	PC	Issued for GP	2024-10-18
4	PC	Issued for GP	2024-09-29
5	PC	Issued for Review	2024-11-27

Project:
Catalis Residential Development

Location:
15265 & 15273 18th Ave
Surrey, BC

Drawn: LD / NH
 Checked: PC
 Approved: MYD2
 Scale: 1:200

Stamp: [Signature]

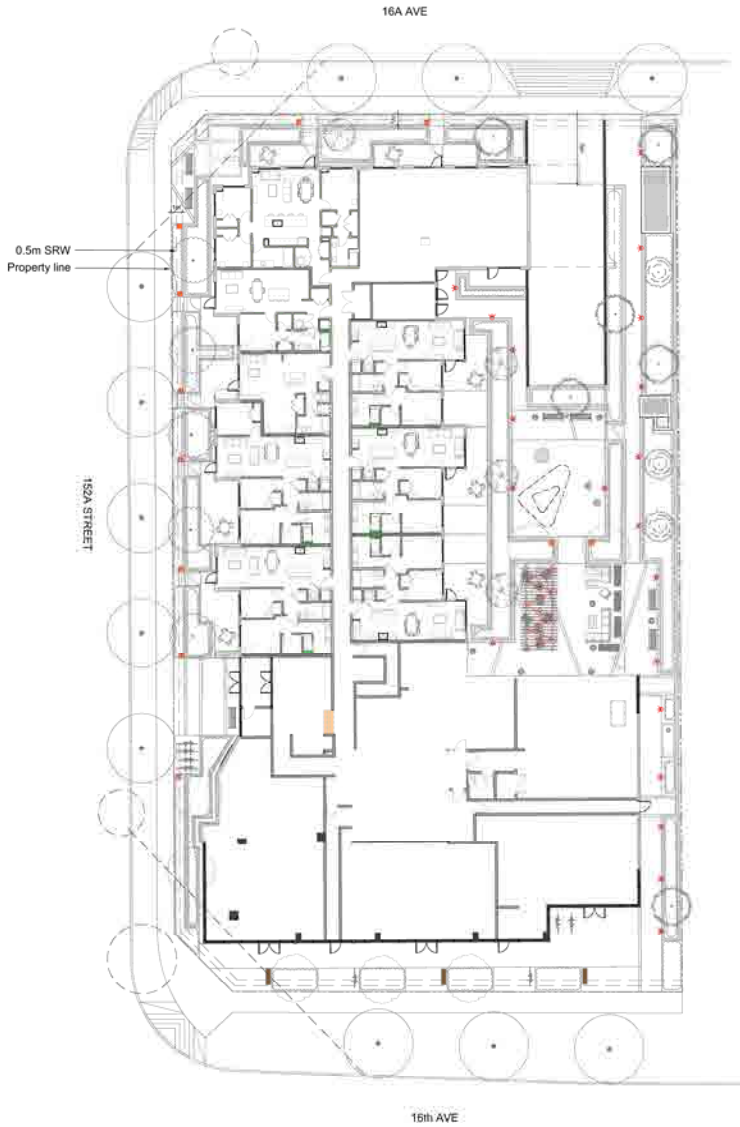
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Drawing Title: **SITE PLAN**
 Drawing #: **DP2022-25**
 Drawing #: **L-02**

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LIGHTING LEGEND

KEY	REF.	DESCRIPTION
	7 LD-05	PATH LIGHT
	5 LD-05	WALL LIGHT
		CATENARY LIGHT

Note:
Lighting Fixture selection to be coordinated with Electrical.



Ghost Wall Light
Product: GHOST horizontal, 10w 280mm
Manufacturer: Sylemakux

Supplier: CDM2
Contact (info):
330 - 826 POWELL STREET
VANCOUVER, BC, CANADA V6A 1H7
P 604.215.7721 | F 604.215.7723
E INFO@CDMLIGHTWORKS.COM



Bollard Light
Model: 15602BZ-LED (Atlantis Square Large LED Bollard)
Finish: Bronze
Mount: as per Manufacturer's specifications
Manufacturer: Hinkley
Supplier: TerraDek Outdoor Lighting
Sales Representative: Gery De La Vega
gery@terradek.com



Catenary Lights
Product: Bailey 100' Outdoor
100 - Built Globe String Light
Colour: Black



Rev	By	Description	Date
8	PC	Issued for DP	2024-08-05
5	PC	Issued by SP & ADP Resources	2024-04-18
4	PC	Issued for DP	2023-12-19
3	PC	Issued for DP	2023-08-03
2	PC	Issued for DP	2023-05-29
1	PC	Issued for Review	2023-01-27

REVISIONS TABLE FOR DRAWINGS

* Company Standard. Use drawing title page to the number of sheets. All sheets may require adjustment of order for other sheets to match drawings.

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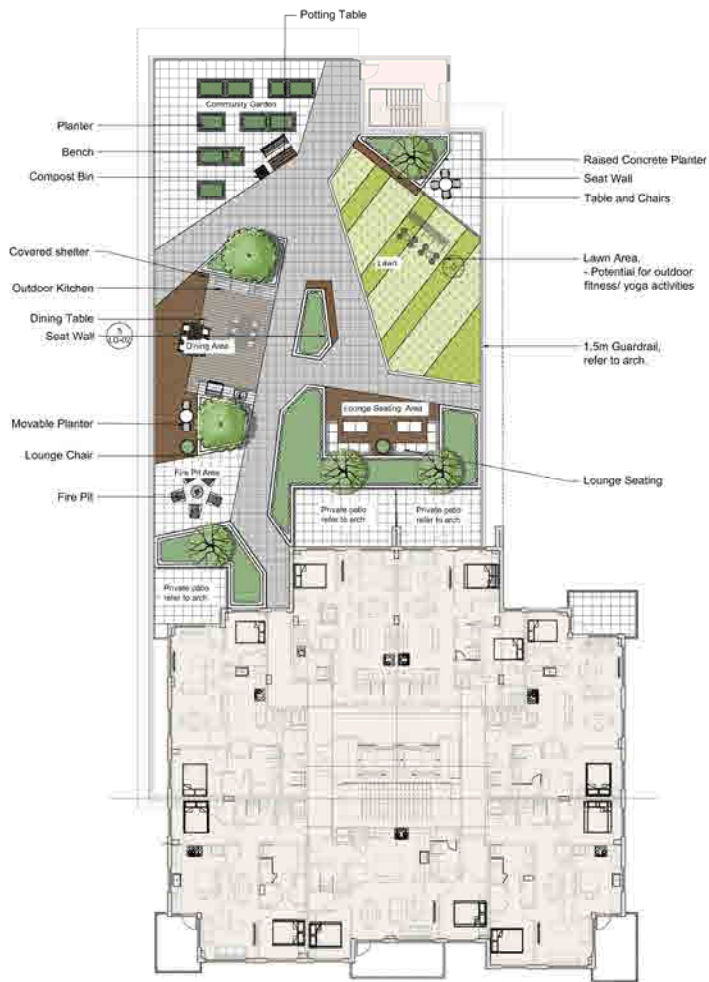
REVISIONS TABLE FOR SHEET

Project:
Catalis Residential Development

Location:
15265 & 15273 16th Ave
Surrey, BC.

Drawn: SZ Y.D.	Stamp:
Checked: PC	
Approved: MVB2	
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PLANT SCHEDULE L7

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	TREES				
	Cornus s. 'Eddie's White Wonder' / Eddie's White Wonder Dogwood	8.5B	8cm cal		4
	Quercus s. 'Stinky_Maine' / Coulter Oak	8.5B	6cm cal		2



LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	4	HYDRAPRESSED SLAB
	LD-02	Base: 40mm x 40mm x 8mm Pattern: Stack Bond Color: Natural Charcoal Manufacturer: Budget paver
	3	DECKING
	LD-02	
	7	ARTIFICIAL TURF
	LD-03	
	3	MOVEABLE PLANTER
	LD-05	
	4	COMMUNITY PLANTER
	LD-05	

LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	6	BENCH
	LD-04	Model: # 319 Backed Bench Side Area Color: Powder Coated Steel 14 with Lip Wood Manufacturer: Magi
	2	TABLE AND CHAIRS
	LD-04	Model: 400 Cluster Seating Material: aluminum coated white 14 with Lip Superior Magi
	1	SEAT WALL
	LD-05	
	5	SEAT WALL
	LD-02	

CONCEPT MATERIALS & PRECEDENTS



REV.	NO.	DESCRIPTION	DATE
1	PC	Issued for QP	2024-08-05
2	PC	Issued by QP & ADP Resources	2024-04-18
3	PC	Issued by QP	2023-10-18
4	PC	Issued by QP	2023-08-03
5	PC	Issued by QP	2023-05-29
6	PC	Issued for Review	2023-01-27

REVISIONS TABLE FOR DRAWINGS

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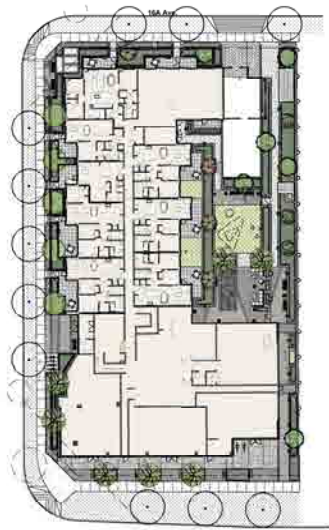
REVISIONS TABLE FOR SHEET

REV.	NO.	DESCRIPTION	DATE

Project:
 Cetus Residential Development

Location:
 15265 & 15273 16th Ave
 Surrey, BC

Drawn: SZ LD	Stamp
Checked: PC	
Approved: MYD2	Original Sheet Size: 24"x36"
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1 LANDSCAPE SITE PLAN
Scale 1:400

TREE SCHEDULE

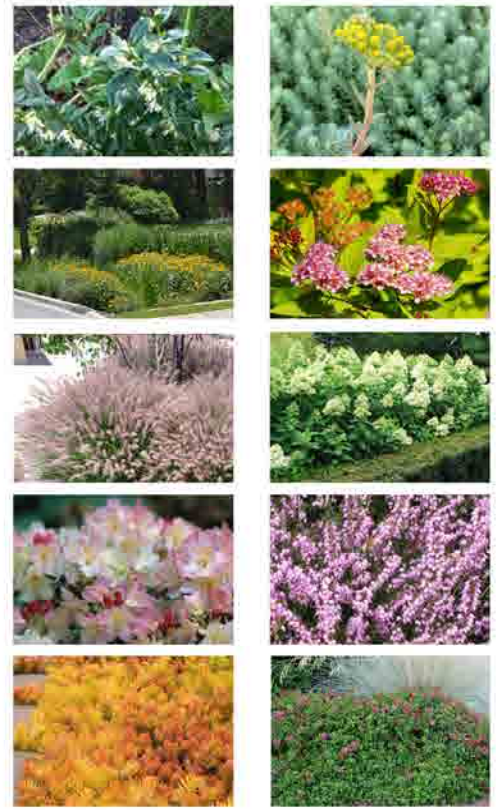
SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
TREES					
	Acacia gormosa 'Saiyū' / Saiyū Japanese Maple	858	8cm		4
	Pinus contorta / Stone Pine	858		3.0m H.	6
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	858		3.0m H.	3
	Stewartia pseudocornuta / Japanese Sawara	858	6cm		7
	Syrinx japonicus 'Pink Chimes' / Japanese Pink Showbell Deer	858	8cm cal		5

PLANT SCHEDULE

SHRUBS	BOTANICAL / COMMON NAME	CONT
Ah	Achocha x grandifolia / Glossy Abelia	42
Bu	Buxus microcarpa 'Winter Gem' / Globe Winter Gem Boxwood	42
Et	Eurotyum fortunei 'Emerald Gaiety' TM / Emerald Gaiety Eurotyum	42
Im	Impatiens cynnioca 'Rusica' / Japanese Blood Grass	41
Lv	Lavandula angustifolia 'Hidcoty' / Hidcoty Lavender	41
L	Liriodie muscari 'Big Blue' / Big Blue Lilyturf	41
N	Nandina domestica 'Fire Power' / Firepower Nandina	42
X	Pernetium orientale 'Kariya Rose' / Kariya Rose Fountain Grass	41
P	Prunus mugo pumila / Dwarf Mugo Pine	40
Ra	Rosmarinus officinalis / Rosemary	45
J	Saxifraga japonica 'Wubara' / Saxifraga	42
S	Syrinx japonica 'Maga Carpet' / Maga Carpet Spirea	42
Ts	Tsuga x mollis 'HYAKU' / Hoka Yew	1,2m H.

COLOUR PALETTE

Chartreuse | Pinks | Yellows



Precedent Images for overhanging Planting



Bird Friendly Tree Species Low Maintenance Seasonal color

PRECEDENT IMAGES



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 VERTICAL DESIGN ZONE ARCHITECTURE
 FORT LANGLEY STUDIO / MOUNT PLEASANT STUDIO
 103-8833 Church St | 103-8511 Kingway
 Fort Langley, BC | Vancouver, BC
 V4H 3M6 | V6T 1K7
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No.	By	Description	Date
1	PC	Issued For QP	2024-09-05
2	PC	Issued For QP & ADP Resources	2024-04-18
3	PC	Issued For QP	2023-10-18
4	PC	Issued For QP	2023-09-03
5	PC	Issued For QP	2023-05-29
6	PC	Issued For Review	2023-01-27
7	PC	Pre-schematic	2022-11-27

No.	By	Description	Date

Project:
Catalis Residential Development

Location:
15265 & 15273 16th Ave
Surrey, BC

Drawn: AH Stamp: [Signature]

Checked: PC

Approved: MYDZ Original Sheet Size: 24"x36"

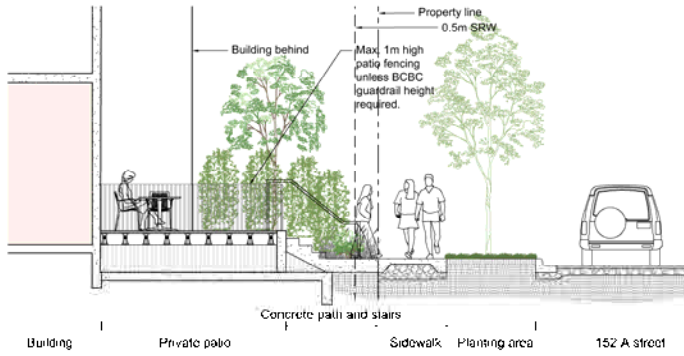
Scale: AS SHOWN

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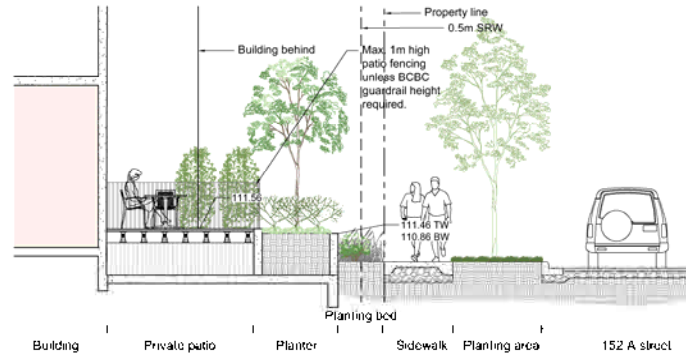
Drawing Title
PLANTING PALETTE

VDZ Project #
DP2022-25

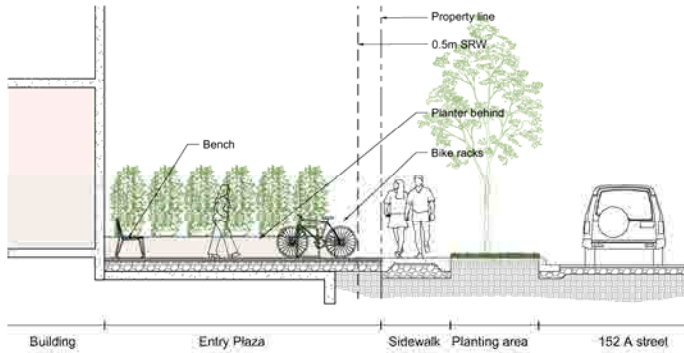
Drawing #:
L-08



1 SECTION - FRONT YARD W STAIRS ON 152A ST



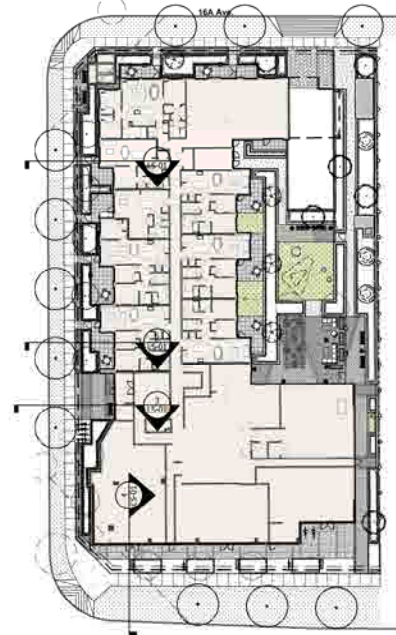
2 SECTION - FRONT YARD ON 152A ST



3 SECTION - BUILDING ENTRANCE ON 152A ST



4 SECTION - COMMERCIAL FRONTAGE ON 16TH AVE



KEY MAP
NTE

#	PC	Issued by	Date
8	PC	Issued by DP	2024-09-06
5	PC	Issued by DP & ADP Review	2024-04-18
4	PC	Issued by DP	2023-12-19
3	PC	Issued by DP	2023-08-03
2	PC	Issued by DP	2023-05-29
1	PC	Issued for Review	2023-01-27
Rev	By	Description	Date

REVISIONS TABLE FOR DRAWINGS

* Changes to drawings are shown in the sheets of this set and may not be applicable to other drawings in this set.

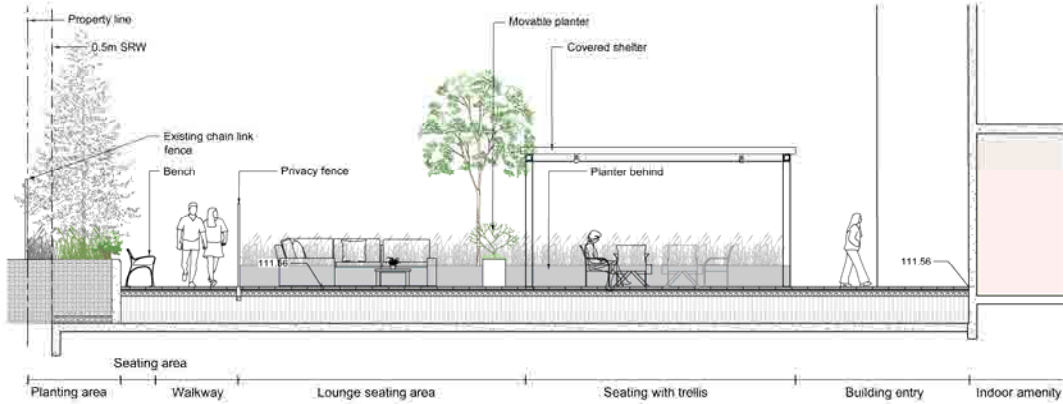
No.	Description	Date
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Catalis Residential Development

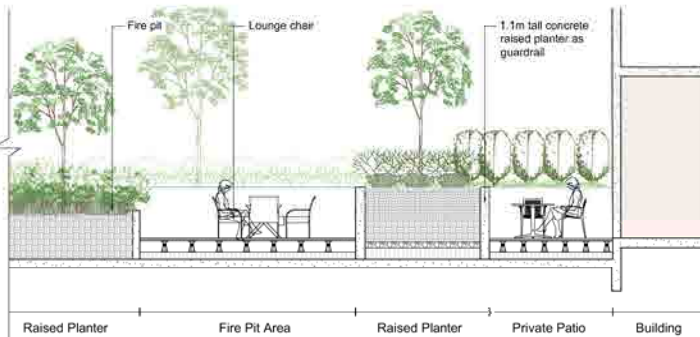
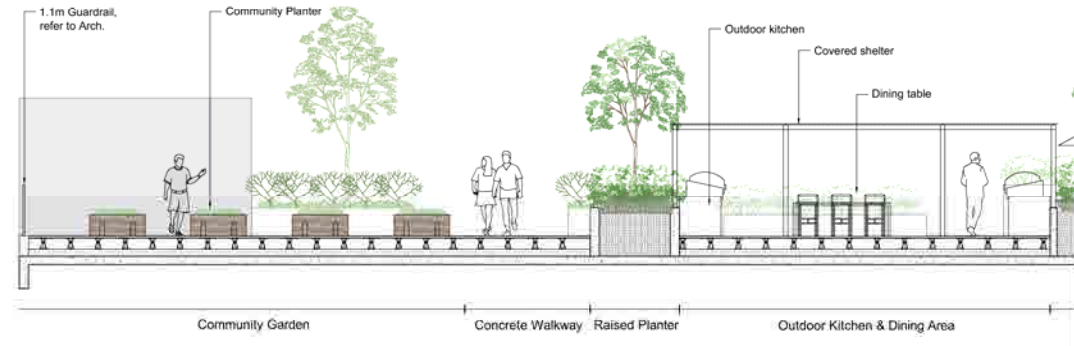
Location:
15265 & 15273 16th Ave
Surrey, BC

Drawn: LD	Stamp
Checked: PC	
Approved: MVD2	
Scale: AS SHOWN	ORIGINAL SHEET SIZE: 24" x 36" CHECK FOR SMALL DETAILS INDICATED ON THE SCALE REPRESENTED AND INDICATED BY THE DIMENSION LINES. THE DIMENSIONS ARE THE PERMITTED TOLERANCES OF THE CONTRACTOR AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. (AS SHOWN, SEE DRAWING FOR TOLERANCE NOTES)

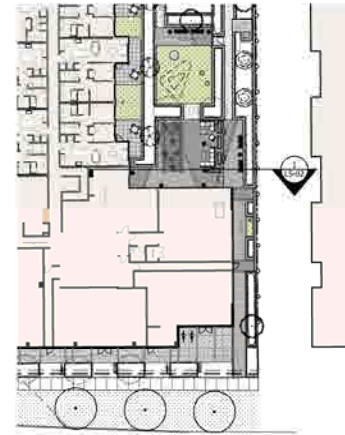
7. PROJECT TITLE: CATALIS RESIDENTIAL DEVELOPMENT 25. DRAWING NO: DP2022-25. DRAWING TITLE: SECTIONS. DRAWING NO: LS-01. DATE: 2024-09-06.



1 SECTION - OUTDOOR AMENITY AREA



2 SECTION - ROOFTOP AMENITY AREA



KEY MAP



KEY MAP

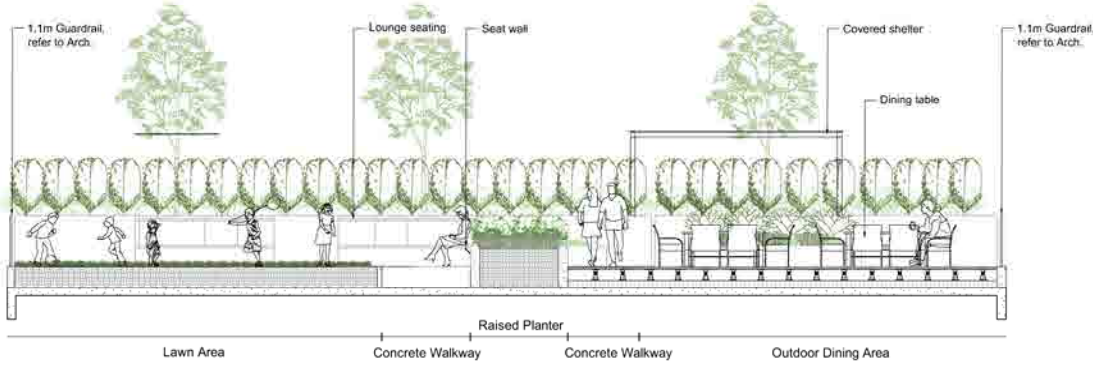
No.	By	Description	Date
6	PC	Issued for DP	2024-05-09
5	PC	Issued for DP & ADP Response	2024-04-18
4	PC	Issued for DP	2023-10-19
3	PC	Issued for DP	2023-09-03
2	PC	Issued for DP	2023-05-29
1	PC	Issued for Review	2023-01-27

No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project: **Catalis Residential Development**

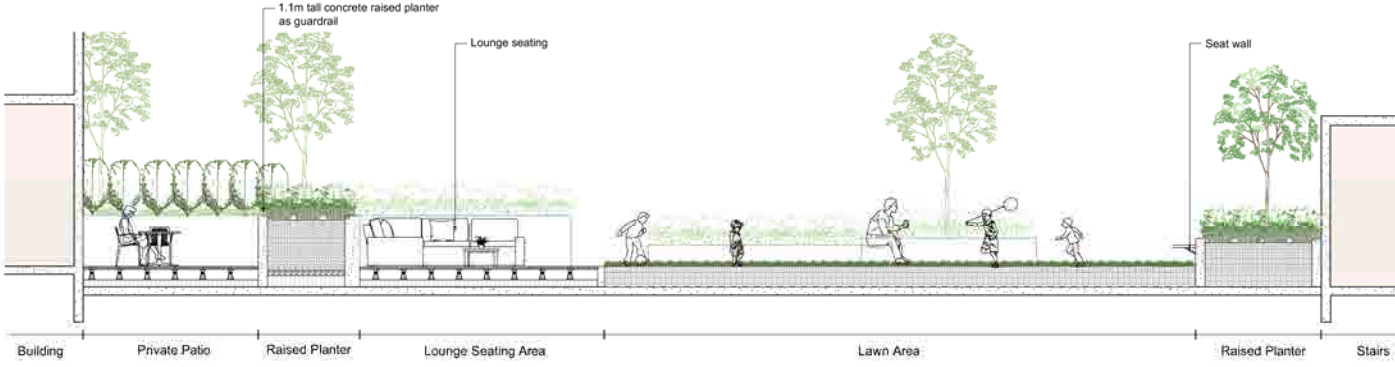
Location:
 15265 & 15273 16th Ave
 Surrey, BC

Drawn: LD AH	Stamp:
Checked: PC	
Approved: MVDZ	
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND MATERIALS SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE DRAWINGS OR SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. DATE: 2024-05-09 DRAWN BY: LD CHECKED BY: PC APPROVED BY: MVDZ



1 SECTION - ROOFTOP AMENITY AREA
 Scale 1:50

KEY MAP



2 SECTION - ROOFTOP AMENITY AREA
 Scale 1:50

No.	By	Description	Date
6	PC	Issued for DP	2024-05-09
5	PC	Issued for DP & ADP Response	2024-04-18
4	PC	Issued for DP	2023-12-19
3	PC	Issued for DP	2023-08-03
2	PC	Issued for DP	2023-05-29
1	PC	Issued for Review	2023-01-27

REVISIONS TABLE FOR DRAWINGS
 * Copying, reprinting, or otherwise using any part of this drawing without the written permission of V&A is prohibited.

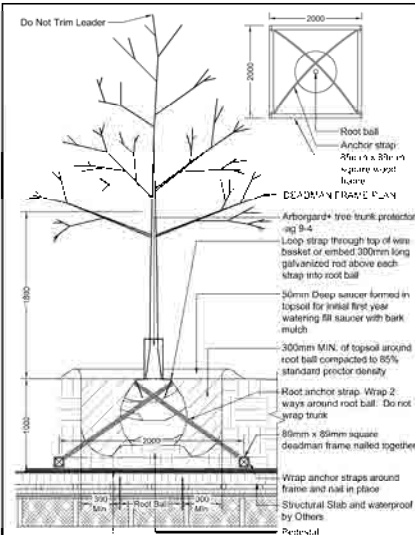
No.	Description	Date

REVISIONS TABLE FOR SHEET

Project: Calais Residential Development
 Location: 15265 & 15273 16th Ave
 Surrey, BC

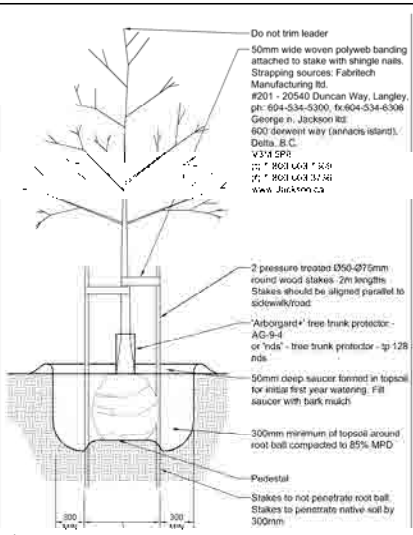
Drawn: LD NH	Stamp:
Checked: PC	
Approved: MVRD2	
Scale: AS SHOWN	ORIGINAL SHEET SIZE: 24" X 36"

7: PROJECT TITLE: CALAIS RESIDENTIAL DEVELOPMENT; DRAWING NO: DP2022-25; SHEET NO: LS-03; DATE: 2024-05-09



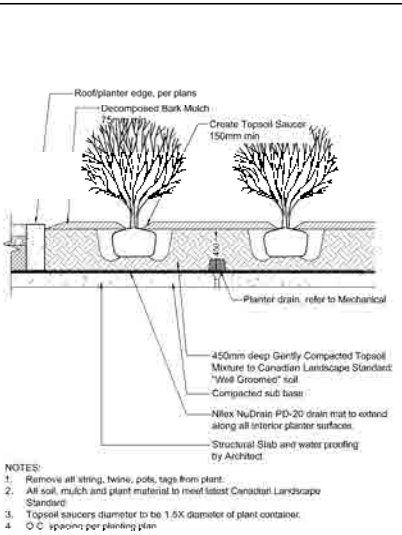
- NOTES:
1. Stake right side to be removed and dropped to the bottom of the planting hole. All string, etc. to be removed.
 2. All wire baskets shall have the top 1/3 of the wire removed prior to planting.
 3. All trees shall be single stem, unless specified otherwise.

1 TREE PLANTING ON UPPER LEVEL
Scale: 1:10



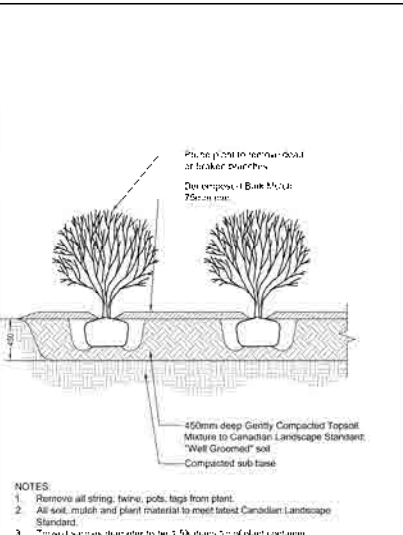
- NOTES:
1. Sacking/burlap to be soaked and dropped to the bottom of the planting hole. All string, etc. to be removed.
 2. All wire baskets shall have the top 1/3 of the wire removed prior to planting.
 3. All trees shall be single stem.

2 TREE PLANTING AT GRADE
Scale: 1:10



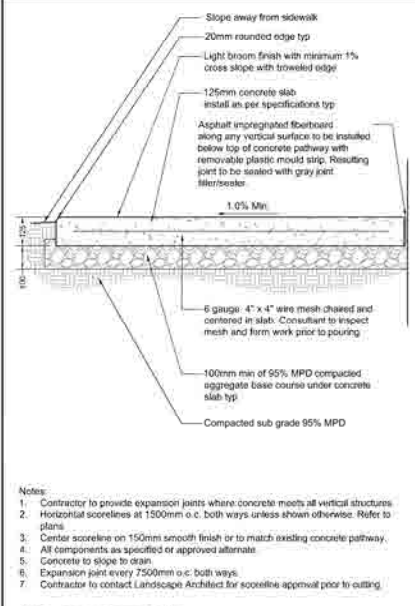
- NOTES:
1. Remove all string, twine, pots, tags from plant.
 2. All soil, mulch and plant material to meet latest Canadian Landscape Standard.
 3. Topsoil saucers diameter to be 1.5X diameter of plant container.
 4. O.C. spacing per planting plan.

3 SHRUB PLANTING ON SLAB
Scale: 1:10

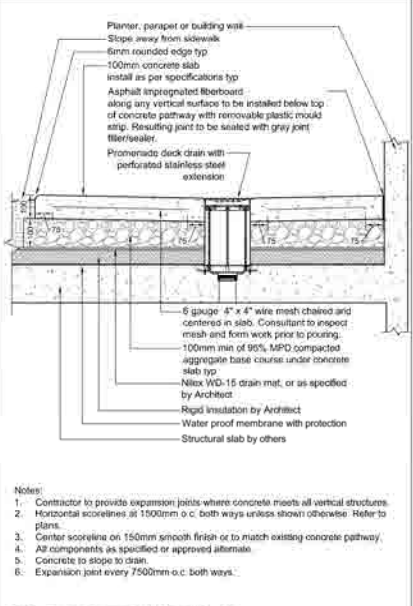


- NOTES:
1. Remove all string, twine, pots, tags from plant.
 2. All soil, mulch and plant material to meet latest Canadian Landscape Standard.
 3. Topsoil saucers diameter to be 1.5X diameter of plant container.
 4. O.C. spacing per planting plan.

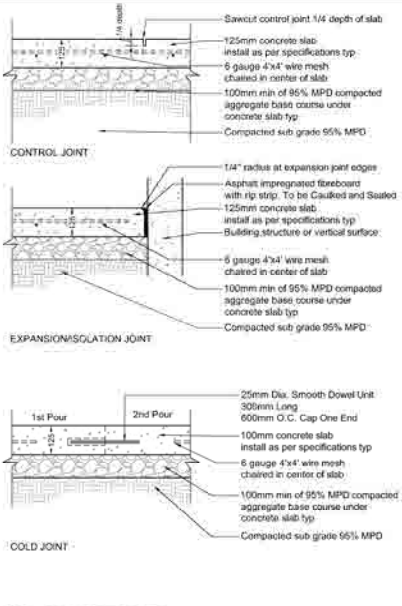
4 SHRUB PLANTING
Scale: 1:10



5 CONCRETE PAVING
Scale: 1:10



6 CONCRETE PAVING ON SLAB
Scale: 1:10



7 CONCRETE JOINTS
Scale: 1:10



8 WALL-MOUNTED BENCH
Scale: NTS

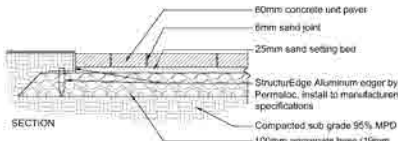
No.	By	Description	Date
1	GP	Issued for CP	2024-05-08
2	PC	Issued for CP & ACP	2024-05-18
3	PC	Issued for CP	2024-05-19
4	PC	Issued for CP	2024-05-29
5	PC	Issued for CP	2024-05-29
6	PC	Issued for Review	2024-01-27

No.	Description	Date
1	Revisions Table for Drawings	

Project: **Catalis Residential Development**
 Location: **15265 & 15273 16th Ave Surrey, BC**

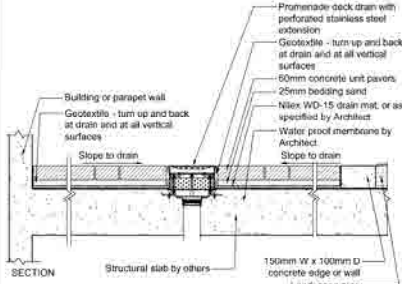
Drawn: AH	Stamp:
Checked: PC	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK. ANY DISCREPANCIES OR OMISSIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

Unit Paver Details (pedestrian path):
 Type: DIMENSIONS™
 Size: 1305mm X W152mm X 60mm
 Colors: scandinavia grey
 Pattern: as shown on plan
 Manufacturer: Belgard
 https://www.belgard.com/products/pavers/dimensions/
 1-800-663-4591



- NOTES:
- All bedding sand to meet ASTM C33 or CSA A23.1 FA1.
 - All joint sand to meet ASTM C144 or CSA A179.
 - All components as specified or approved alternate.
 - Contractor to provide cut sheets of all components for Landscape Architect approval.
 - Contractor to ensure no visible pooling occurs on paver surface.
 - All joints to be tight fit.
 - All paver cuts to be minimum 1/2 Paver.

1 UNIT PAVES AT GRADE



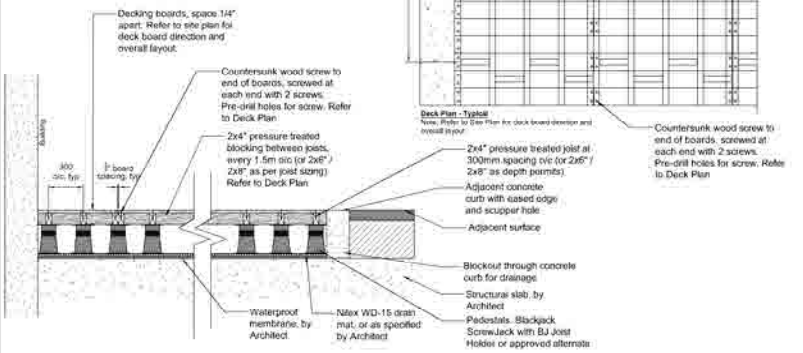
- NOTES:
- All bedding sand to meet ASTM C33 or CSA A23.1 FA1.
 - All joint sand to meet ASTM C144 or CSA A179.
 - All components as specified or approved alternate.
 - Contractor to provide cut sheets of all components for Landscape Architect approval.
 - Contractor to ensure no visible pooling occurs on paver surface.
 - All joints to be tight fit.
 - All paver cuts to be minimum 1/2 Paver.

2 UNIT PAVES ON SLAB

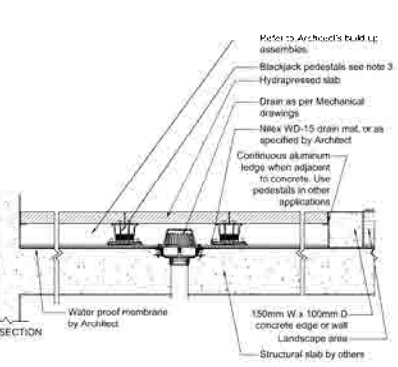


Photos: TimberTech
 1. Layer: Ledger Collection
 Colour: Firer
 Supplier: www.timbertech.com

- Notes:
- Install as per manufacturer's specifications.
 - Contractor to provide shop drawings for contractor Architect review and approval.
 - Refer to Site Plan for deck board direction and overall layout.
 - All blocking to be fire stop galvanized.

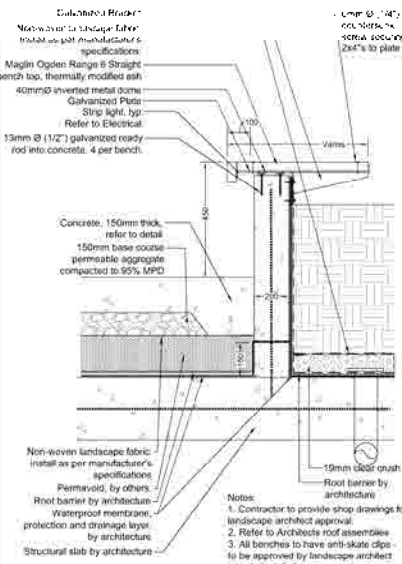


3 DECKING ON SLABS



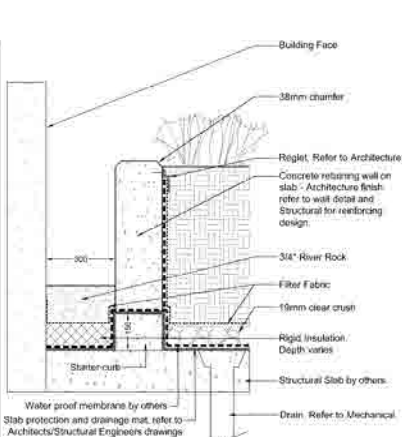
- NOTES:
- All components as specified or approved alternate.
 - Contractor to provide cut sheets of all components for Landscape Architect approval.
 - Blackjack Screwjack or OneStep system depending on depth to slab.
 - Aluminum ledge to be secured to wall/curb with concrete screws.
 - Architect's assembly's differ between floor type and roof type. The above 'structural slab' is indicative only. Refer to Architecture for relevant assemblies.

4 HYDRAPRESSED SLAB ON SLAB



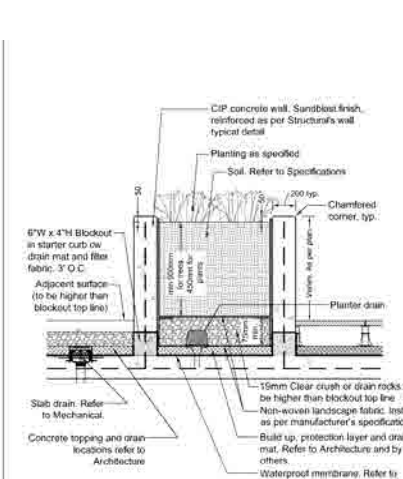
- Notes:
- Contractor to provide shop drawings for landscape architect approval.
 - Refer to Architect's roof assemblies.
 - All benches to have anti-skate clips to be approved by landscape architect prior to installation.
 - All exposed decking and fascia to be sanded smooth.

5 PLANTER WALL WITH SEATING



- Notes:
- Vertical Control Joints every 3000mm on center.
 - Provide block out every 1m for water to flow under walk to designated drain.
 - Sanicolat finish walls.

6 DRIP STRIP



- Note:
- Refer to Architect's drawings for floor assemblies.
 - Extend rebar 300mm min. from up-start to facilitate concrete curb/planter construction and tie points for reinforcement. Waterproofing membrane and protection to cover upstart. Seal any gaps with approved sealer after walk has cured.

7 CONCRETE PLANTER

Rev.	Description	Date
8	Issue for QP	2024-05-08
7	Issue by QP & AQP	2024-04-18
6	Issue for QP	2023-10-19
5	Issue for QP	2023-09-09
4	Issue for QP	2023-09-29
3	Issue for Review	2023-01-27
2	Design/Rev	2022-11-27
1	Issue for Review	2022-11-27

REVISIONS TABLE FOR DRAWINGS

* Drawing created, the drawing is complete at 100% and may only require approval of the contractor without permission.

Rev.	Description	Date

REVISIONS TABLE FOR SHEET

Rev.	Description	Date

Project: Catala's Residential Development

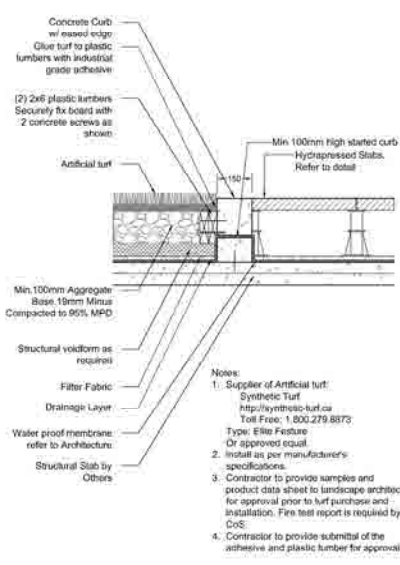
Location: 15265 & 15273 16th Ave
 Surrey, BC

Drawn: AH Stamp

Checked: PC

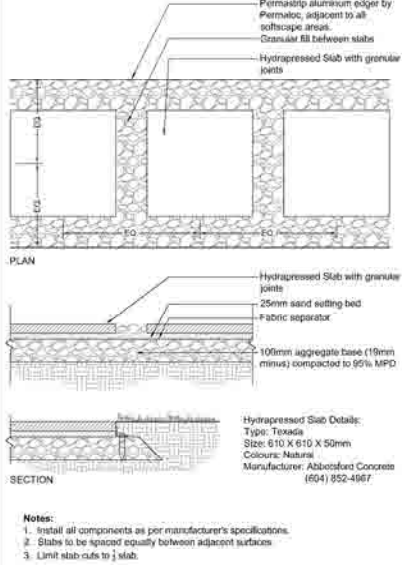
Approved: MVDZ Original Sheet Size: 24"x36"

Scale: AS SHOWN
 CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK BEFORE ANY PROCEEDING TO THE NEXT STEP. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.



- Notes:**
1. Supplier of Artificial turf: Synthetic Turf <http://synthetic.turf.ca> Toll Free: 1.800.279.8872. Type: Elite Feature Or approved equal.
 2. Install as per manufacturer's specifications.
 3. Contractor to provide samples and product data sheet to landscape architect for approval prior to turf purchase and installation. Fire test report is required by CoS.
 4. Contractor to provide submittal of the adhesive and plastic lumber for approval.

1) ARTIFICIAL TURF ON SLAB



- Notes:**
1. Install all components as per manufacturer's specifications.
 2. Slabs to be spaced equally between adjacent surfaces.
 3. Limit slab cuts to 1/2 slab.

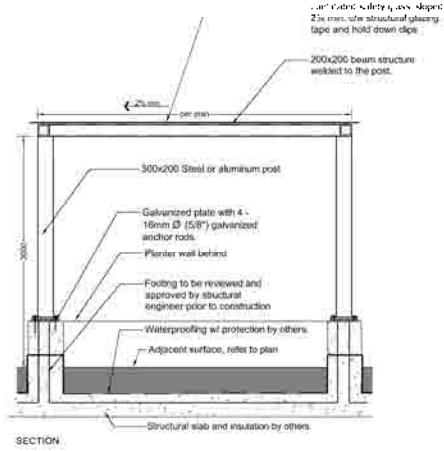
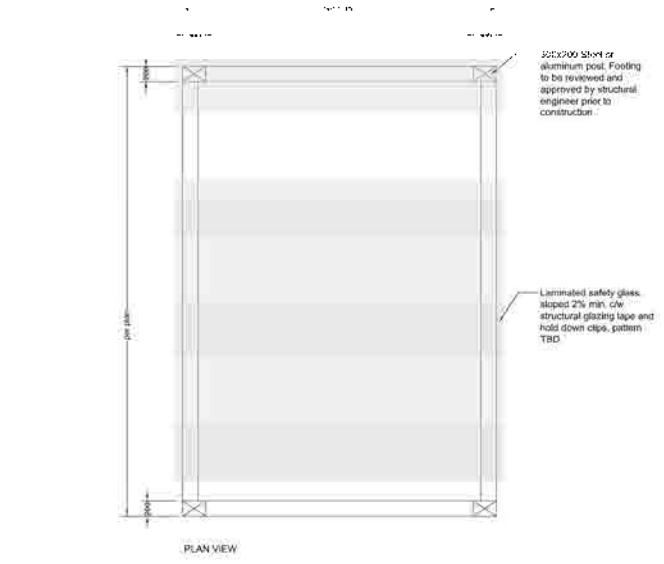
2) LOUNGE CHAIRS



3) PICKET FENCE



4) 1.8M FENCE



- Note:**
1. Contractor to provide engineered shop drawings.
 2. Provide colour samples for approval.
 3. All details/assemblies to be reviewed and confirmed by a professional engineer.

5) COVERED SHELTER

No.	By	Description	Date
1	PC	Issued for GP	2022-10-19
2	PC	Issued for GP	2022-09-09
3	PC	Issued for GP	2022-09-29
4	PC	Issued for Review	2022-11-27

REVISIONS TABLE FOR DRAWINGS

* Drawing issued, the drawing is the property of VDZ+A and may not be reproduced or used for other projects without permission.

No.	By	Description	Date

Project:
Catalis Residential Development

Location:
15265 & 15273 16th Ave
Surrey, BC.

Drawn: AH	Stamp:
Checked: PC	
Approved: MVB2	
Scale: AS SHOWN	Original Sheet Size: 24"X36"



LOUNGE CHAIR

Model # Amerock
Size: 37.5" x 31.5" x 39.25"

Manufacturer: Landscape Forms
http://www.landscapeforms.com/en-US/Pages/default.aspx
1-800-531-3544

Or approved equal

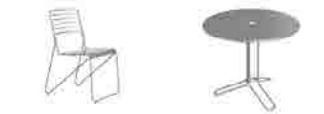


TABLE AND CHAIRS

Model #: Kenda Table and Chairs (MCH-2000-00001)

Colour: Silver 14
Manufacturer: Magin
www.magin.com

Or approved equal



OUTDOOR KITCHEN SINK AND GRILL CABINET SET

Model: NewAge Products ESST
Material: Stainless Steel
Size: Sink Cabinet: 33" W x 22" D x 34.75" H
Bar Cabinet: 33" W x 22" D x 34.75" H
Island Grill Cabinet: 33" W x 22" D x 34.75" H
Contact: 1888-776-6900 (ext. 101)
877-308-8950

Or approved equal



BUILT-IN GRILL

Model: NewAge Products
Material: Stainless Steel
Size: 33" W x 22" D x 34.75" H
Contact: 1888-776-6900 (ext. 101)
877-308-8950



TABLE AND CHAIRS

Model #: MFT110-60 Cluster Seating
Mount: Surface Mount
Colour: Silver 14

Manufacturer: Magin
Contact: Jennifer Farcy
jennifer.farcy@magin.com
1-800-716-6900 ext. 4001

Or approved equal

1 LOUNGE CHAIR
Scale: NTS

2 TABLE AND CHAIRS
Scale: NTS

3 OUTDOOR KITCHEN
Scale: NTS

4 DINING TABLE
Scale: NTS



FEATURE SEATING
Model: Fiberglass Pebble - F30, F40
Colour: White, Granite
Manufacturer: EIS Product
http://eisproduct.com/
1-310-392-8867

Or approved equal



TRASH CONTAINER

Model #: 200 Series - 250 Trash Container
Colour: Silver 14
Manufacturer: Magin
www.magin.com

Or approved equal



BIKE RACK

Model #: 2300 Series Iconic Bike Rack
Colour: Silver 14
Manufacturer: Magin
www.magin.com

Or approved equal



BENCH

Model #: 2300 Series Iconic Bench
Size: 38.2" x 70" x 28.5"
Colour: Powder coated white
Thermally modified ash wood
Mount: As per manufacturer's specification
Supplier: Magin
Jennifer Farcy
jennifer.farcy@magin.com
1-800-716-6900 ext. 4000

Or approved equal

8 BENCH
Scale: NTS

No.	By	Description	Date
1	PC	Issued For QP	2024-05-08
2	PC	Issued For QP & QP Revisions	2024-05-18
3	PC	Issued For QP	2024-10-18
4	PC	Issued For QP	2024-09-03
5	PC	Issued For QP	2024-05-29
6	PC	Issued For Review	2024-11-27

REVISIONS TABLE FOR DRAWINGS

* Changes to drawings are shown in blue in the original drawing. All changes are subject to approval of the client and the architect.

REVISIONS TABLE FOR SHEET

Project: Calais Residential Development

Location: 15265 & 15273 16th Ave Surrey, BC

Drawn: LD	Stamp:
Checked: PC	
Approved: MVBZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK REPRESENTED AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY UPON DISCOVERY. ALL DIMENSIONS SHALL BE TAKEN TO THE CENTER UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.



LOUNGE SEATING

Model #: Nexus Collection
 Model: Nexus Full Seat (M77022)
 Model: Nexus Corner Seat (M77023)
 Model: Nexus Chair (M77024)
 Model: Nexus Ottoman (M77026)
 Color: Cocoa (Natural Color)

TROUGH

Material: 304 Stainless Steel

Finish: Matte

Dimensions (mm):

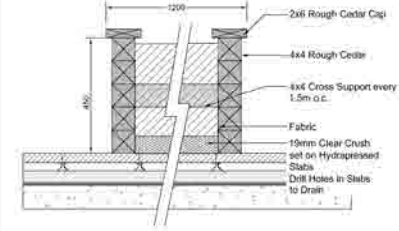
Code	Length	Width	Height
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T2	1200	200	100
T3	1200	250	100
T4	1200	300	100
T5	1200	350	100
T6	1200	400	100
T7	1200	450	100
T8	1200	500	100
T9	1200	550	100
T10	1200	600	100
T11	1200	650	100
T12	1200	700	100
T13	1200	750	100
T14	1200	800	100
T15	1200	850	100
T16	1200	900	100
T17	1200	950	100
T18	1200	1000	100
T19	1200	1050	100
T20	1200	1100	100

Notes: All dimensions are in millimeters unless otherwise specified.

TROUGHS Movable Planters
 Size: as per plan



CAMPANIA BRADFORD PLANTER
 Color: Ivory Lite
 Size: 26.75"W x 31.5"H
 Finish: Standard



- NOTES:**
1. Cap to be sanded smooth
 2. Cap and exterior of planter to be treated with Sikkers Carex WB SRD. Colour: #077 (Cedar)
 3. All fasteners to be hot dipped galvanized.

1 LOUNGE SEATING
 Scale: NTS

2 C3 PLANTER
 Scale: NTS

3 PLANTING POT
 Scale: NTS

4 COMMUNITY PLANTER
 Scale: NTS

Luminaire characteristics:

Power Input: 100 or 200W
 Luminaire: 100 or 200W (AC/DC)
 Luminaire Efficiency: 75 to 80/90%

Mounting:
 100W: 100W (100W) (100W) (100W)
 200W: 200W (200W) (200W) (200W)

Luminaire dimensions:
 70% of frame torque at 10:00 hours & 7:00 (10:00 hours)

Options:
 100W/200W (100W/200W)

Material:
 Body: Aluminum
 Optic: Toughened glass
 Mounting Bracket: 304 Stainless Steel

Mounting:
 Wall mounted only to concrete. Supplied with 4mm polyethylene fasteners (no anchor screws). Fully adjustable. Luminaire and fasteners designed to ensure perfect alignment when installed. Constructions to be done in accordance with local code.

Electrical:
 See common board supply options on page 8

Finish:
 Copper

Weight:
 1.8kg (4.0 lbs) (1.8 kg) (4.0 lbs)

Warranty:
 3 year limited warranty

Rating:
 IP65 (600)

Certification:
 UL Listed for Wet Location



Manufacturer: DeKko or approved equal
 Model: Belmont
 Colour: Natural



Bollard Light
 Model: 156028Z-LED (Atlantis Square Large LED Bollard)
 Finish: Bronze
 Mount: as per Manufacturer's specifications
 Manufacturer: Herkley
 Supplier: TerraDek Outdoor Lighting
 Sales Representative: Gerry De La Vega
 gerryd@terradek.com

Or Approved Equal



WALL LIGHT
 Product: GHOST Horizontal, 10W/20W
 Manufacturer: iguzzini
 https://www.iguzzini.com
 1 (904) 215-1535
 Supplier: COME LIGHTWORKS
 Contact: Meghan Boyd
 Tel: 604 215 7721
 meghs@come2lightworks.com

Note: lighting fixture selection to be coordinated with electrical

5 WALL LIGHT
 Scale: NTS

6 FIRE PIT
 Scale: NTS

7 BOLLARD
 Scale: NTS

Rev	By	Description	Date
1	PC	Issued For QP	2024-05-08
2	PC	Issued For QP & ADP Review	2024-05-15
3	PC	Issued For QP	2024-10-18
4	PC	Issued For QP	2024-09-29
5	PC	Issued For Review	2024-11-27

REVISIONS TABLE FOR DRAWINGS

* Changes listed in this table are subject to the approval of VDD+A and may require adjustment of other related drawings without notice.

Rev	No.	Description	Date

REVISIONS TABLE FOR SHEET

Project: Calais Residential Development

Location: 15265 & 15273 16th Ave Surrey, BC.

Drawn: LD	Stamp:
Checked: PC	
Approved: MVDZ	
Scale: AS SHOWN	Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK BEFORE ANY COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS SHOWN ON THE DRAWINGS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS SHOWN ON THE DRAWINGS.

7. PRODUCT PHOTOGRAPHY PROVIDED BY SUPPLIER. ALL DIMENSIONS AND FINISHES ARE APPROXIMATE. VDD+A ARCHITECTURE AND DESIGN IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS SHOWN ON THE DRAWINGS.

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Manager, Development Services, Engineering Department**

DATE: **June 03, 2024**

PROJECT FILE: **7823-0239-00**

RE: **Engineering Requirements (Commercial/Industrial)**
Location: 15265 16 Avenue

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate Bylaw Roads on 16 Avenue.
- Dedicate varying width on 16 Avenue from 4.942 m to 3.111 m.
- Dedicate 18.0 m for 152A Street.
- Dedicate 11.5 m for 16A Avenue.
- Dedicate required corner cuts at all intersections.
- Register 0.5 m SRW along all frontage roads.
- Register new SRWs for downstream drainage servicing, if required.

Works and Services

- Construct sidewalk along 16 Avenue.
- Modify traffic signal at 16 Avenue and 152A Street as required.
- Construct south side of 16A Avenue.
- Construct 152A Street.
- Construct storm system to service the proposed development, including 152A Street.
- Provide downstream catchment analyses for drainage and sanitary to confirm downstream capacity, and upgrade any deficiencies in the systems as required.
- Provide onsite sustainable drainage and water quality treatment for impervious areas.
- Construct 250 mm water main along 16A Avenue and 152A Street.
- Construct 250 mm sanitary sewer on 152A Street.
- Construct adequately-sized metered water service connection with backflow preventer; and construct sanitary and storm service connections to service the proposed development.

A Servicing Agreement is required prior to Rezone/Subdivision.

NCP AMENDMENT/DEVELOPMENT PERMIT

There are no additional Engineering requirements associated with the proposed NCP Amendment and Development Permit.

Jeff Pang, P.Eng.
Manager, Development Services

IK

NOTE: Detailed Land Development Engineering Review available on file

Department: **Planning and Demographics**
Date: **April 29, 2024**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **23 0239 00 (updated April 2024)**

The proposed development of **181** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	28
---	----

Projected Number of Students From This Development In:	
Elementary School =	16
Secondary School =	7
Total Students =	23

Current Enrolment and Capacities:	
Jessie Lee Elementary	
Enrolment	401
Operating Capacity	411
# of Portables	1
Earl Marriott Secondary	
Enrolment	1398
Operating Capacity	1500
# of Portables	4

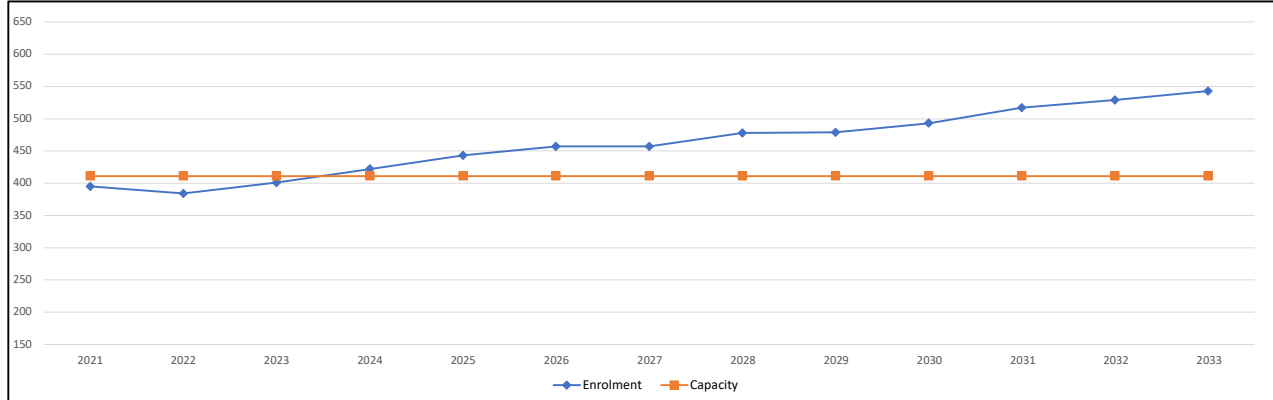
Summary of Impact and Commentary

The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

Actual enrollment at Jessie Lee Elementary has grown modestly the past five years which also has one portable. The 10-year projections support continuing growth at a similar modest pace. Currently there are no capital expansion requests for Jessie Lee Elementary.

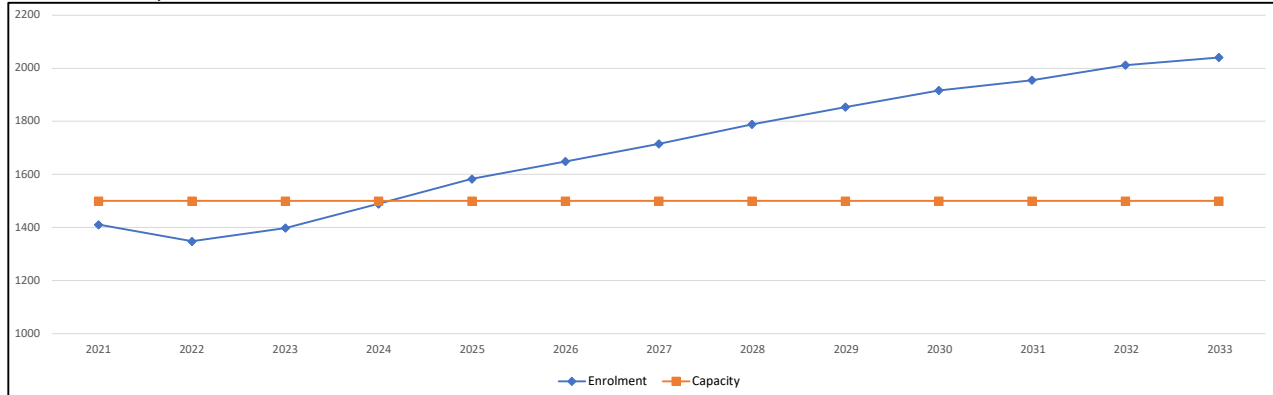
Earl Marriott Secondary experience some relief with the opening of Grandview Secondary in 2021. However, enrolment growth at Earl Marriott Secondary is expected to continue. As part of the District's 2024/2025 Five Year Capital Plan, the district has requested a 500 capacity addition at Earl Marriott. The Ministry of Education and Child Care has not approved funding for this project.

Jessie Lee Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Earl Marriott Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population : The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

Tree Preservation Summary

On Site Trees	
Protected Trees Identified (on-site and any shared trees; also including trees within existing city boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	31
Protected Trees to be Removed	27
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	4
Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 : 1 Replacement Ratio: <u> 3 </u> x 1 = <u> 3 </u> All Other Trees Requiring 2 : 1 Replacement Ratio: <u> 24 </u> x 2 = <u> 48 </u>	51
Replacement Trees Proposed	31
Replacement Trees in Deficit	20

Off-Site Trees	
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 : 1 Replacement Ratio: <u> 0 </u> x 1 = <u> 0 </u> All Other Trees Requiring 2 : 1 Replacement Ratio: <u> 0 </u> x 2 = <u> 0 </u>	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Ensure Adherence to City Tree Bylaws

Prior to undertaking any works on the site:

- trees recommended for removal in this report must also be given approval and issued permitting for removal by the city;
- all trees proposed for retention must be properly protected; and
- protection measures must be inspected and approved by the City's Tree Protection Staff.





Pacific Sun Tree Services

dave@pacificsuntree.com
www.pacificsuntree.com

Mailbox #460
Unit 130 - 1959 152 Str
Surrey, B.C.
V4A 0C4

604-323-4270

TREE MANAGEMENT PLAN:

Amendment #1 Overview

Date: April 30th, 2024

Client: Polygon Calais Homes Ltd

Project: Multi-family Residential

Project Address: 15265 & 15273 16th Ave. Surrey, B.C.

Tree Recommended for Retention:



Tree Recommended for Removal:



Not Permitted Size Tree:

NP



Crown Dripline for: Retain Tree

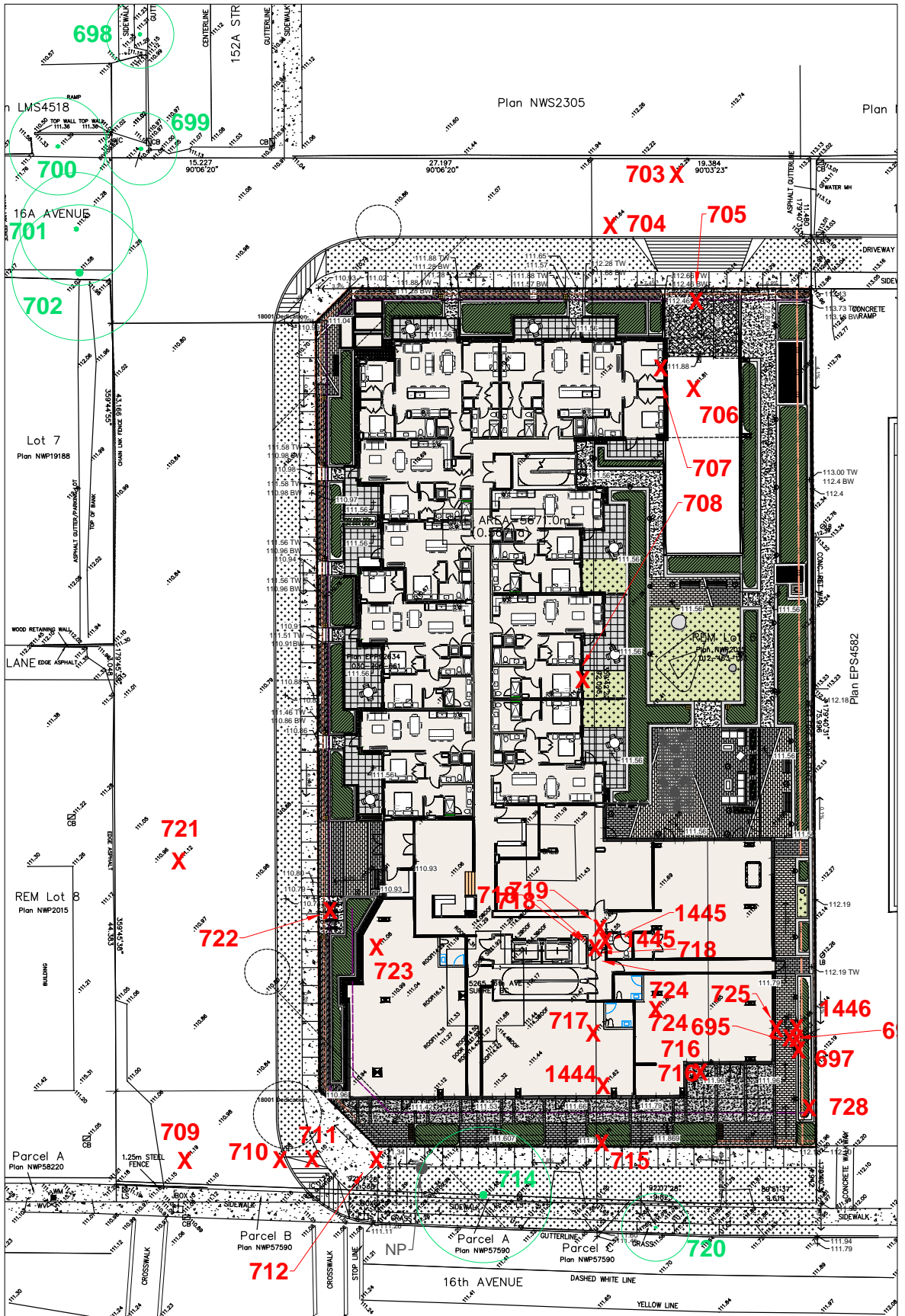


Remove Tree



NOTES:

- Where trees are densely clustered, the crown dripline may not be shown for some trees to provide legibility.
- Trees recommended for retention are illustrated with DBH to scale. Exception for trees with numerous small stems.
- Calculations and measurements for Tree Barriers, CRZ & TPZ are from the outside trunk of the subject tree.



D. NEW BUSINESS**1. PLANNING & DEVELOPMENT****(a) Wright House at 15265 16 Avenue
Proposed Rezoning, Development Permit and Heritage
Revitalization Agreement (HRA)
Addition to the Heritage Register**

The Heritage Planner summarized the report dated December 19, 2023 regarding a proposed rezoning, Development Permit and Heritage Revitalization Agreement Bylaw (HRA) that has been received for the Wright House located at 15265 16 Avenue. The following information was highlighted:

- The Wright House is valued for its orientation towards 16 Avenue, side gabled roof with open soffits, exposed rafter ends, pointed tail barge boards, front and back porch, wooden cove lap siding and corner boards, multi-pane upper sash, double hung and single glaze wood frame windows and internal brick chimney and pot belly stove.
- The development proposal is for a 20-storey apartment building with 181 units and ground floor commercial space. The Wright House is proposed to be retained as a commercial unit and would retain its orientation towards 16 Avenue.
- The Wright House is currently on the Heritage Inventory and was found to have intangible heritage value. The City Architect suggested that the house also possesses heritage value as it helps tell the story of what Semiahmoo Town Centre used to look like and would help to diversify the building types on the Heritage Register.

In response to questions from the Commission, the Heritage Planner provided the following information:

- The specific commercial use of the Wright House has not yet been determined.
- There is currently a tenant living in the house.
- A replica of a heritage property is generally not sought unless the original structure is damaged or demolished.

The Commission noted the following comments:

- There are many examples of this type of architecture throughout the city and this does not appear to be a special example. The home's features do not appear to be features that must be preserved.

- Many of these homes have had tenants living in them for a long period of time. There does not appear to be much information in the history of this house of specific people living there.
- Effort could be better spent on other heritage programs.
- Housing is a critical need in the city and can take precedence over other items such as heritage retention.

It was Moved by Commissioner Lou
Seconded by Commissioner Ring
That the Surrey Heritage Advisory Commission
receive the report dated December 19, 2023 regarding a proposed rezoning,
Development Permit and Heritage Revitalization Agreement Bylaw (HRA) for
the Wright House located at 15265 16 Avenue as information.
Carried

The Chair recognized Kevin Shoemaker, the Architect on behalf of the project, who noted the following information:

- The applicant was requested by the City to retain the house.
- If retained, the house could be an interesting anomaly in an urban centre and provide an interruption to the streetscape.
- The house is currently not on a foundation and is not in good condition. As the house will need to be brought down to the studs, it would be more cost effective to create a replica due to the seismic and building code requirements.

Staff advised that the Wright House would be removed from the Heritage Inventory.

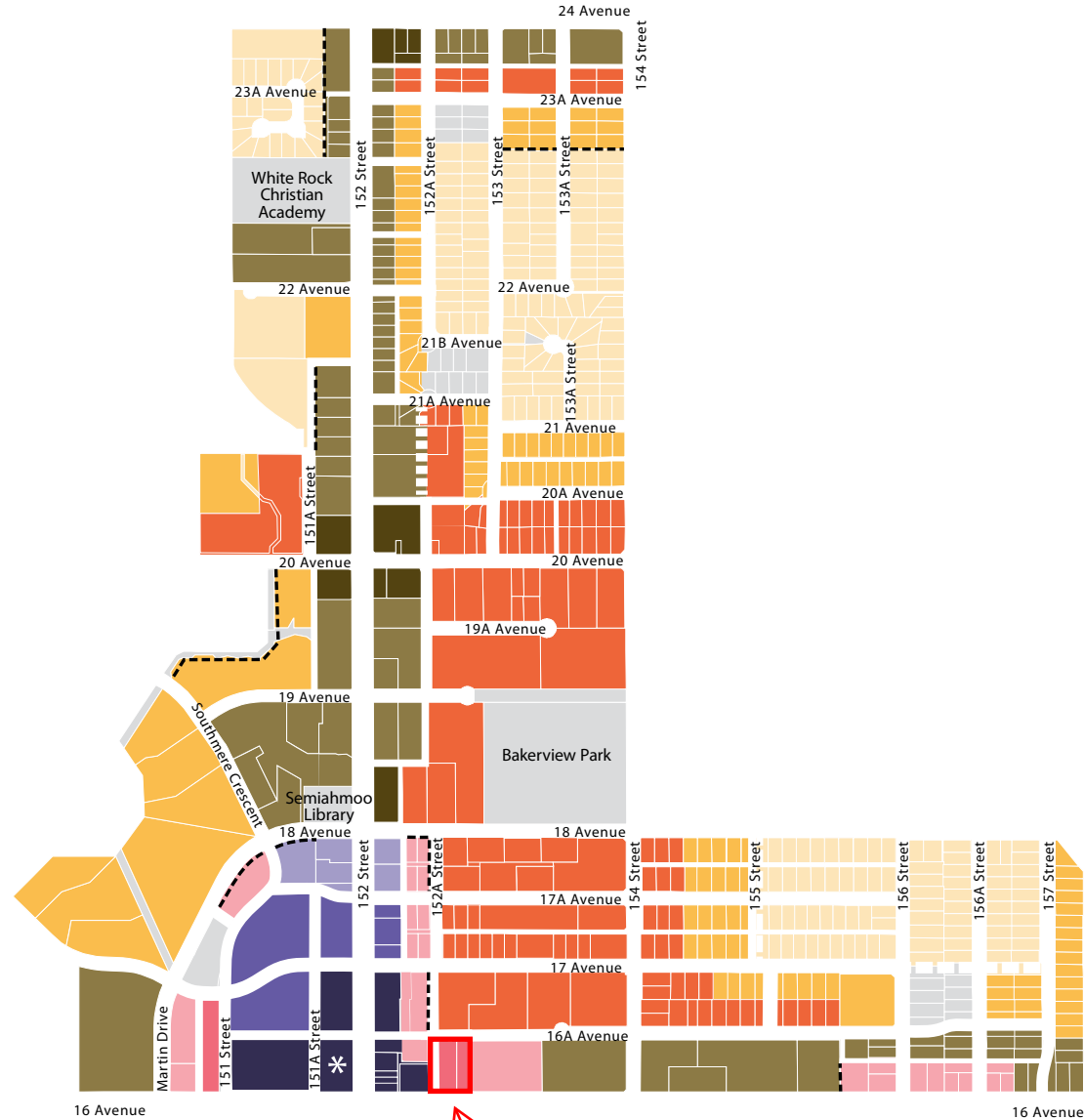
Semiahmoo Town Centre | Plan Summary

BUILDING HEIGHT STRATEGY

The Plan recognizes Semiahmoo Town Centre as an established community with a surrounding height context. To balance growth with this context the tallest buildings are strategically located at the intersection of 16 Avenue and 152 Street. Buildings gradually step down from that point to create a defined skyline and sensitively transition to existing buildings that are not expected to redevelop within the life of this plan.

LEGEND

- Up to 2.5 Storeys
- Up to 3 Storeys
4th storey permitted where underground parking is provided.
- Up to 5 Storeys
6th storey permitted with approx. 5 metre step back.
- Up to 6 Storeys
- Up to 8 Storeys
- Up to 12 Storeys
- Up to 16 Storeys
- Up to 20 Storeys
- Up to 24 Storeys
- Up to 28 Storeys
- * Landmark Building
Additional height may be considered for exceptional architecture and sustainable design
- Not Applicable
Parks and Civic Uses
- Sensitive Interfaces



TCP Amendment to increase the building height from 16 storeys to 20 storeys, and to allow a 6-storey podium higher than 18 metres.



Advisory Design Panel Minutes

Present:

Panel Members:
M. Cheung, Chair
G. Brumpton
C. Cuthbert
D. Dilts
M. Krivolutskaya
B. McGinn
J. Packer
S. Salcido

Guests:

Karan Katyal, KIG Properties Inc
Zubin Billimoria, DF Architecture Inc.
Deepinder Singh, DF Architecture Inc.
Travis Martin, Van Der Zalm + Associates
Zeeshan Wahla, EMEC Design
Kevin Shoemaker, Polygon Homes
Peter Fodor, NSDA Architects

Staff Present:

A. McLean, City Architect
N. Chow, Urban Design Planner
A. Yahav, Clerk 3

B. NEW SUBMISSIONS

2. 5:30 p.m.

File No.:	7923-0239-00
New or Resubmit:	New
Last Submission Date:	N/A
Description:	Proposed Rezoning from RF to CD and Development Permit to permit the development of a 20-storey mixed use apartment building. Proposed Town Centre Plan amendment to increase the building height from 16 storeys to 20 storeys and the podium height from 5 storeys to 6 storeys. Proposed Heritage Revitalization Agreement for the relocation, adaptive re-use, and maintenance of the Wright House.
Address:	15265 & 15273 – 16 Avenue
Developer:	Kevin Shoemaker, Polygon Homes
Architect:	Peter Fodor, NSDA Architects
Landscape Architect:	Travis Martin, Van Der Zalm + Associates
Planner:	Keith Broersma
Urban Design Planner:	Nathan Chow

The Urban Design Planner presented Semiahmoo Town Centre Plan land use, and the proposed departure from Plan. He outlined the required dedications, and proposed public realm interface, as well as providing a brief history of the retained heritage building (Wright House).

The Panel was asked to comment on the architectural expression, public realm interface approach, and heritage building retention strategy.

The Project Architect presented an overview of the site planning, streetscapes, building concept, and 3D Views.

The Landscape Architect presented an overview of the general concept for the Landscape design.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by J. Packer
Seconded by M. Krivolutskaya
That the Advisory Design Panel (ADP) SUPPORT
the project and recommends that the applicant address the following issues to the
satisfaction of the Planning & Development Department.

Carried

Key Points

- Consider measures to improve the overall presence and identity of the heritage Wright House within the project.
The Wright House component is deleted.
- Consider ways to better-relate the heritage Wright House to the overall project.
The Wright House component is deleted.
- Ensure a strong design connection between the new tower and pre-existing heritage Wright House.
The Wright House component is deleted.
- Consider conducting a colour analysis of the heritage Wright House.
The Wright House component is deleted.
- Consider measures to improve the energy performance of the heritage Wright House while maintaining authenticity.
The Wright House component is deleted.
- Recommend more explicitly defining the usage of the heritage Wright House.
The Wright House component is deleted.
- Use future climate files to test for resiliency and future living conditions.
- Consider measures to improve barrier-free access and wheel-chair safety in the parking garage.
Accessible Parking Stalls additional to the minimum requirements have been added at all Parkade levels. Floor markings have been added at locations where Accessible paths cross drive aisles.

Site

- Consider bringing the heritage Wright House six to eight feet closer to the street.
The Wright House component is deleted.
- Consider ways to mitigate the privacy issue arising from the inside corner unit overlooking the unit directly beside it.
A translucent, glazed privacy screen has been added at the balcony edge to screen views into the adjacent unit.

Form and Character

- Further consider the heritage identity to the overall project.
The heritage identity concept is deleted.
- Consider incorporating warmer tones on the south façade of the tower so that it better-relates to the design to the heritage Wright House and coheres the

overall project.

The Wright House component is deleted.

- Reconsider how the tower meets the sky and the street, and additionally, how the podium and tower meet architecturally.
The prefinished metal cladding expression of the feature Residential Entry surround has been added to the South façade as a horizontal field at Lvl. 03 to draw a clear visual relationship and accentuate the material separation between the residential portions of the tower and the Commercial base elevation. The strongly defined horizontal of the Rooftop parapets and mechanical screening will be thoughtfully detailed in the working drawing phase to clearly incorporate them as design elements in the overall massing and formal expression of the capital. Balcony expressions on the west façade at the vertical tower/podium interface have been revised to give a clearer reading of the transition between the podium and tower massing.
- Consider incorporating additional colours to the monochromatic palette.
The prefinished metal cladding expression of the feature Residential Entry surround has been added to the South façade as a horizontal field at Lvl. 03 to draw a clear visual relationship and material separation between the residential portions of the building on the Commercial base elevation.
- Consider incorporating colours, textures, patterns, or dark tone elements to the south elevation so that it does not appear too monochrome.
The prefinished metal cladding expression of the feature Residential Entry surround has been added to the South façade as a horizontal field at Lvl. 03 to draw a clear visual relationship between the residential portions of the building on the Commercial elevation.
- Consider incorporating more areas of wood finish, such as a significant horizontal or vertical band, or specific feature elements.
The prefinished metal cladding expression of the feature Residential Entry surround has been added to the South façade as a horizontal field at Lvl. 03 to draw a clear visual relationship between the residential portions of the building on the Commercial elevation.
- Consider measures to encourage use of the stairs, potentially through daylighting the north staircase or highlighting access to the south staircase.
A window has been added at Lvls. 02-06 of the North exit stairwell.
- Recommend providing more rooftop articulation.
Rooftop parapets and provisions including the mechanical screening will be thoughtfully detailed in the working drawing phase to clearly incorporate them as design elements in the overall massing and formal expression.

Landscape

- Reconsider the building programming depending on a shadow study.
While the exterior, at-grade eastern courtyard is the key element of the building program affected by shading, there is no more suitable location for this program element on the site. The building parameters as designed to maximize street frontage and the pedestrian interface were made at the request of the City leaving the eastern periphery of the site to be best utilized as outdoor amenity additional to the generous and perennially well-exposed exterior amenity provisions on the Lvl. 07 Roof Deck. Outdoor amenity seating had been reduced at the Lvl. 01 patio. Ref. A-005.

- Consider incorporating covered areas on outdoor amenity spaces for year-round usage.
A covered canopy has been located over the outdoor cooking and seating area on the Lvl. 07 Roof Deck.
- Consider incorporating more useable hardscape and plants.
Noted. More usable hardscape and planting incorporated on 16th Ave commercial frontage and residential lobby entry on ground level.
- Consider using alternative materials to turf for the outdoor amenity space.
Noted. Ground level amenity cannot have enough sun for grass to grow healthy. Project team is intent to provide usable yard space with more green, so artificial turf is the best option in these locations. Based on the post occupancy evaluation on some other Surrey projects, turf works well in the similar application.
- Consider including a designated pet relief area.
Pet relief station added to east of amenity path.
- Consider the use of shrubs in addition to grass to soften the landscape approach leading up to the heritage Wright House.
The Wright House component is deleted.
- Consider options to avoid Ipe or other tropical hardwoods in outdoor furniture.
Updated. All outdoor furniture is thermally modified ash.

CPTED

- Recommend reorganizing the seating area beside the private patio.
The seating at the Lvl. 01 private patio has been reduced to dissuade use by passers-by and vandalism.

Sustainability

- Consider means to optimize the potential for cross ventilation: some of the units appear to have opportunities for operability on two sides, but you must consider how big you can make the openings and consider heights to avoid opening restrictors.
All windows contain an operable unit allowing for cross ventilation wherever unit morphology permits.
- Consider the location of energy recovery ventilators in the early stages of the design development, with a goal of keeping duct runs short and simple.
The design currently assumes ERV locations in dropped bathroom ceilings as the most efficient location, to be verified in the working drawings phase.
- Carefully consider how bicyclists interact with pedestrians and drivers both on the ground plane and within buildings.
Resident pedestrian traffic in the parkade separated from vehicular traffic with floor markings added at locations where pedestrian paths cross drive aisles. Bicycle room interior access is placed in proximity to the drive aisle and entry ramp with sufficient room at doors and entryways incorporating sightlines to integrate cyclist movement with vehicular traffic along shared paths. Bicycle circulation within the building is enabled via wide aisles, straight paths and minimizing blind corners.
- Appreciate the visitor bike charging amenity.
- Consider developing high quality bike amenities including good wayfinding for

bicyclists, automatic door operators to ease entry and exit, ample room for cargo bikes and trailers, and electric bike charging.

These items will be incorporated in the working drawings phase.

- Consider how best to encourage waste management with three-stream-systems in-suites, and central recycling rooms that are well lit, include sorting tables, and pictograms to address language barriers.
These items will be incorporated in the working drawings phase.
- Consider including slag or fly ash into the structural concrete to reduce embodied carbon due to cement content.
This will be incorporated in the working drawings phase.
- Consider electrifying the water heating of the project, given that the British Columbia Provincial Government has recently mandated that after 2030, all new space and water heating equipment sold and installed in the province must be one hundred per cent efficient; this means that buildings built today will not be able to replace fossil fuel technologies like for like, unless they already meet this requirement.
This will be explored and assessed in the working drawings phase.
- Consider alternatives to gas fireplaces.
There are no gas fireplaces intended for this project, however gas services will be integrated for the amenity fire pit, BBQ and at the penthouse balconies.
- Consider using future climate files for thermal comfort modelling to test resiliency and to ensure livability in the future.
This will be explored and assessed in the working drawings phase.

Accessibility

- Appreciate the provisions for a barrier-free public realm and ground-oriented units with barrier-free access.
- Consider graduating the entrance ramp at five per cent rather than eight per cent.
A shorter incline was considered but the length required proved incompatible with the surrounding provisions. The ramp will meet the accessibility requirements of BCBC 2024.
- Appreciate the fifty per cent adaptable units.
- Consider increasing the number of accessible stalls given that fifty per cent of the building units are adaptable.
Accessible Parking Stalls additional to the minimum requirements have been added at all Parkade levels.
- Consider relocating the parking stalls such that the wheelchair access is away from the vehicle parking.
Accessible Parking Stalls have been intentionally located in close proximity to building entry points to minimize travel distances within the parkade. Floor markings have been added at locations where Accessible paths cross drive aisles.

Heritage Revitalization

- Reconsider the program of the heritage Wright House.
The Wright House component is deleted.
- Consider giving the heritage Wright House more individual space so that it is not overpowered or crowded by the tower.

- *The Wright House component is deleted.*
Consider alternative strategies for spatial separation or energy utilization to preserve as much of the heritage wall character as possible.
The heritage identity concept is deleted.
- Recommend conducting a study to determine if the heritage Wright House originally had an open front porch, and to restore it to this nature.
The Wright House component is deleted.
- Recommend retaining open rafter tails and open soffits.
The heritage identity concept is deleted.
- Consider restoring the original chimney.
The heritage identity concept is deleted.
- Recommend conducting a colour analysis of the heritage Wright House to better-inform design choice moving forward.
The Wright House component is deleted.
- Consider insulating the attic, floors, and incorporate high-efficiency service systems.
The Wright House component is deleted.
- Consider opportunities to showcase energy conservation measures in the pre-existing heritage Wright House.
The Wright House component is deleted.