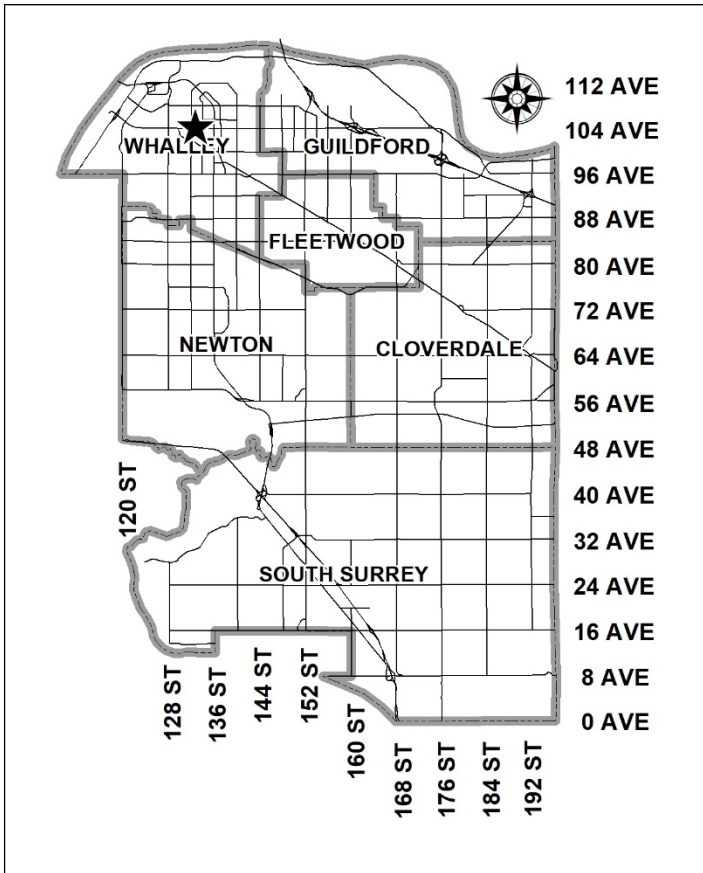


**City of Surrey  
PLANNING & DEVELOPMENT REPORT**

**Application No.: 7923-0232-00**

Planning Report Date: June 24, 2024



**PROPOSAL:**

- **OCP Amendment** from Multiple Residential to Downtown and to Figure 16: Downtown Densities to permit a density of 5.5 FAR
- **CCP Amendment** from Low to Mid Rise Residential to High Rise Residential – Type I
- **Rezoning** from RM-45 to CD (based on RM-135)
- **Development Permit**
- **Housing Agreement**

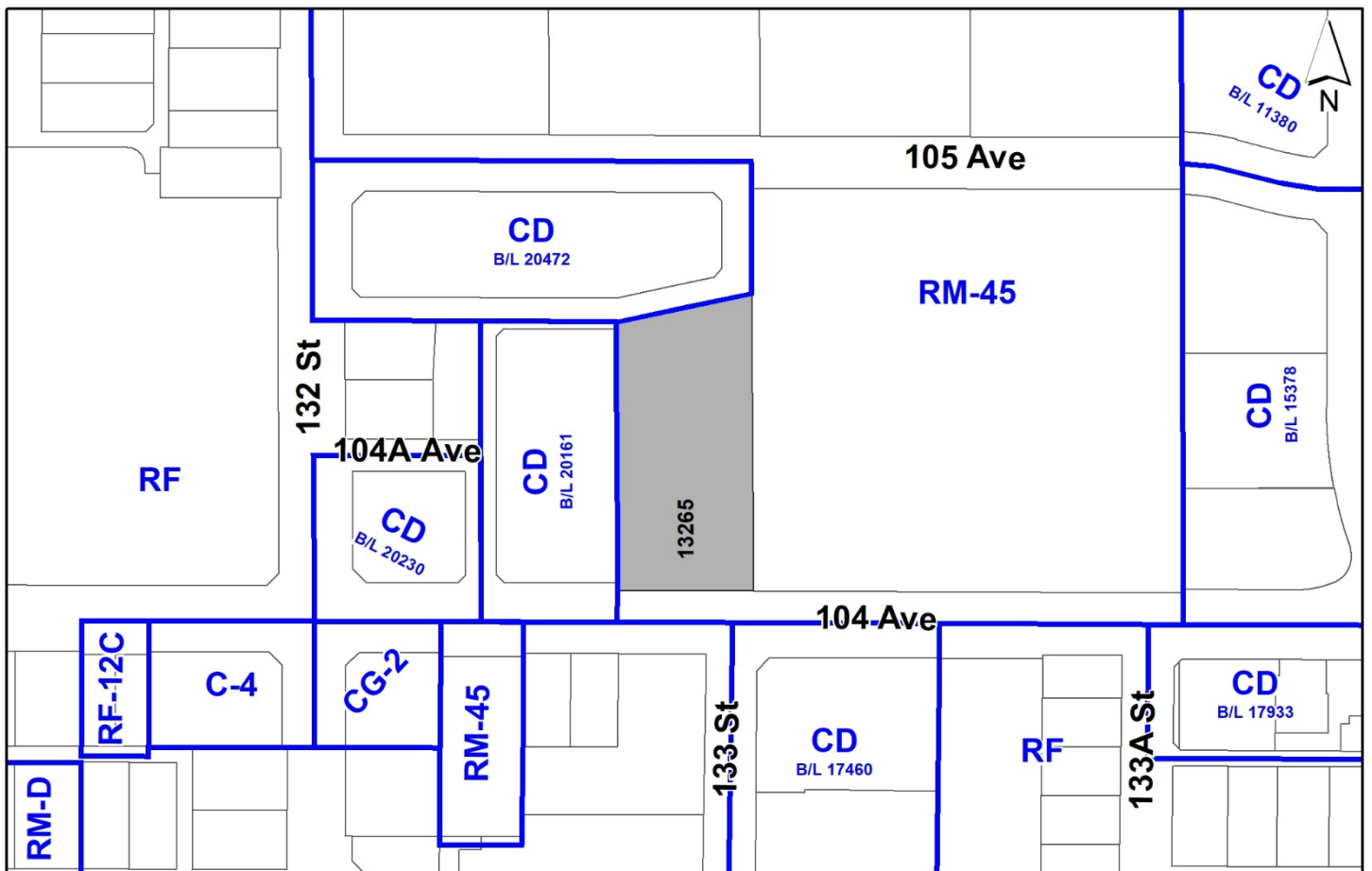
to permit the development of two high-rise residential towers of 25 and 35 storeys respectively, with 6-storey podiums, comprising 561 dwelling units, including 57 affordable rental units, in City Centre.

**LOCATION:** 13265 – 104 Avenue

**ZONING:** RM-45

**OCP DESIGNATION:** Multiple Residential

**CCP DESIGNATION:** Low to Mid Rise Residential



## RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
  - OCP Amendment; and
  - Rezoning.
- Approval to draft Development Permit for Form and Character.
- By-law Introduction, First, Second and Third Reading for a Housing Agreement.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) from Multiple Residential to Downtown and to add the site to Figure 16 Downtown Densities at a density of 5.5 FAR.
- Proposing an amendment to the City Centre Plan from Low to Mid Rise Residential to High Rise Residential – Type I.

## RATIONALE OF RECOMMENDATION

- The proposal complies with the Urban Centres (Surrey Metro Centre) Land Use designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Surrey Downtown.
- The proposed development is within a Transit Oriented Area (TOA) and conforms to the goal of achieving higher density development near a transit corridor.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the City Centre Plan and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.
- The proposed development will provide an appropriate transition from the high-density core to the east and the future medium-density residential development to the west.
- The applicant has provided a Tenant Assistance and Relocation Program, as required under City Policy No. O-61, outlining the relocation strategy for the existing rental tenants on the subject site. The applicant's assistance and proposed relocation efforts for the existing residents meets the requirements of Surrey's City Policy No. O-61, as outlined in this report.

- The applicant is allocating 57 units within the podium of proposed Building B (southernmost building) as below-market units, and with a right of first refusal to residents of the existing apartment building, as defined under City Policy O-61.
- The applicant proposes to enter into a Housing Agreement to allocate the 57 dwelling units as below market rental for a period of 60 years.
- The proposed development includes high-quality building materials including brick, metal panels and spandrel glass, and the buildings incorporate strong design elements that will contribute positively to the City Centre skyline and add more visual interest to the public realm.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. An OCP Amendment By-law be introduced to amend the OCP Figure 3: General Land Use Designations for the subject site from Multiple Residential to Downtown and to amend OCP Figure 16: Downtown Densities to include the subject site at a density 5.5 FAR, and a date be set for Public Hearing.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A By-law be introduced to rezone the subject site from "Multiple Residential 45 Zone (RM-45)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. A By-law be introduced to enter into a Housing Agreement and be given First, Second and Third Reading.
5. Council authorize staff to draft Development Permit No. 7923-0232-00 generally in accordance with the attached drawings (Appendix I).
6. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
  - (g) the applicant enter into a Housing Agreement with the City to provide 57 rental units at 10% below market rates;
  - (h) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;

- (i) demolition (or bond) of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (j) registration of a volumetric statutory right-of-way for public rights-of-passage over the publicly accessible plazas within the site;
  - (k) registration of an easement or statutory right-of-way to allow shared access to all indoor and outdoor amenity spaces between Buildings A and B;
  - (l) submission of an acoustical report for the units adjacent to 104 Avenue and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures.
  - (m) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department;
  - (n) registration of a Section 219 Restrictive Covenant requiring the applicant to pay all applicable contributions for Public Art, Affordable Housing and/or Capital Projects Community Amenity Contributions should the project be converted from rental housing to market units at any point in the future, after expiry of the housing agreement, for the portion of the site proposed as rental units; and
  - (o) registration of a right-of-way for public rights-of-passage for the area between the building face and the street edges.
7. Council pass a resolution to amend the City Centre Plan to redesignate the subject site from " Low to Mid Rise Residential" to "High-Rise Residential – Type I" as shown in Appendix VI, when the project is considered for final adoption.

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	CCP Designation	Existing Zone
Subject Site	Existing 3-storey rental apartment building, Elizabeth Manor, previously granted Third Reading for two high-rise apartment buildings under Development Application No. 7918-0393-00	Low to Mid Rise Residential	RM-45
North (Across lane):	6-storey apartment approved under Development Application No. 7921-0290-00 under construction	Low to Mid Rise Residential	CD (Bylaw No. 20472)

Direction	Existing Use	CCP Designation	Existing Zone
East:	Existing 4-storey rental apartment buildings, under Development Application No. 7920-0204-00, for 5 high-rise apartment buildings (Pre-Council).	Mid to High Rise Residential	RM-45
South (Across 104 Avenue):	36-storey apartment approved under Development Application No. 7920-0024-00 under construction.	High Rise Residential – Type II	CD (Bylaw No. 20706)
West:	Existing 4-storey apartment building to be temporarily retained, on a site approved under Development Application No. 7918-0443-00, for a 12-storey residential building on the north portion of the site (Phase 1) and future 16-storey building on the south portion.	Mid to High Rise Residential	CD (Bylaw No. 20161)

### Context & Background

- The subject site is approximately 5,720 square metres in size and zoned "Multiple Residential 45 Zone (RM-45)".
- The site is designated "Multiple Residential" in the Official Community Plan (OCP) and " Low to Mid Rise Residential " in the City Centre Plan. A portion of new 20-metre north/south road (133 Street) is shown along the east property line, as per the City Centre Plan.
- Currently, a 3-storey rental apartment building with surface parking is situated on the subject site (Elizabeth Manor).
- The site was previously granted Third Reading by Council for two high-rise residential buildings (21 and 26 storeys) under Development Application No. 7918-0393-00. A new owner has subsequently submitted a new application proposing two modified residential towers with additional height and density. Previous Application No. 7918-0393-00 has been closed and filed.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant proposes the following, in order permit the development a 25-storey market residential building (Building A on the northern portion of the site) and a 35-storey market residential building (Building B on the southern portion), with a 6-storey below-market rental podium component:
  - OCP Amendment to redesignate the subject site from "Multiple Residential" to "Downtown" and include the site within Figure 16: Downtown Densities with a permitted density of "5.5 FAR";
  - City Centre Plan Amendment to increase the allowable density from "Low to Mid Rise Residential " to "High-Rise Residential – Type I" and to shift a portion of the new north/south road along the east property line further east;
  - Rezoning from RM-45 to a CD Zone based on the RM-135 Zone for the entire site;
  - Development Permit (Form and Character DP); and
  - Subdivision to subdivide the property into two lots.
- The proposed gross density for the site is 7.03 FAR. The proposed development will consist of the following unit counts:
  - 207 market residential units in Building A (proposed Lot A);
  - 57 below-market rental units in Building B (proposed Lot B); and
  - 297 market residential units in Building B (proposed Lot B).
- In accordance with the rental replacement requirements of Surrey's City Policy No. O-61, the applicant is proposing to replace all 57 existing rental units by providing 57 new below-market rental units in the podium of proposed Building B, with the same unit mix:
  - 5 studios,
  - 40, 1-bedroom units, and
  - 12, 2-bedroom units.
- All other (total 504) units proposed are market units.
- The applicant has agreed to offer the below-market rental units within the proposed new rental building (Building B) at below market rental rates as defined under City Policy O-61. This has been offered for all tenants, for the duration of the 60-year Housing Agreement.
- Current average rental rates for Surrey are provided in CMHC's Rental Market Report: Vancouver CMA, which is released annually in the fall.
- West Fraser Developments will manage these units directly through their rental management program. In West Fraser's rental portfolio they currently own and operate over 400 rental units, with over 500 additional units to be provided in the future. These units consist of affordable and market units. In order to ensure these units are properly managed and rented to the correct individuals West Fraser will be using BC Housing's Eligibility Criteria as follows:
  - Rent should not be more than 30% of the family gross income;
  - People who are looking for or are in need of below market rental;
  - Income criteria. \$40,000 for single occupant, \$65,000 for family; and

- The individual has less than \$100,000 in assets.
- This fully complies with the City Policy O-61 as it relates to the City's Affordable Housing Strategy. For low to moderate income households, the policy defines affordable rental units to be rented at a rate that is 10% below current Canadian Market and Housing Corporations (CMHC) average rents, in order to reflect local rental conditions.
- The applicant has agreed to offer the units within the proposed new rental building at these below-market rental rates to existing tenants if they opt for the right of first refusal, or to any new tenants, for the duration of the 60-year Housing Agreement.
- The 57 rental units located in the 6-storey podium portion of Building B will be secured through a Housing Agreement for 60 years.
- Details with respect to Tenant Relocation and Assistance are outlined later in this report.
- Development details are provided in the following table:

<b>Proposed</b>	
<b>Lot Area</b>	
Gross Site Area:	5,270 square metres
Road Dedication:	1,172 square metres
Net Site Area:	3,928 square metres
<b>Number of Lots:</b>	2
<b>Building Height:</b>	77 metres (Building A) / 106 metres (Building B)
<b>Unit Density:</b>	1,205 units / hectare (Building A) 1,600 units / hectare (Building B)
<b>Floor Area Ratio (FAR):</b>	7.03 gross overall 8.45 net Building A (north) 10.5 net Building B (south)
<b>Floor Area</b>	
Building A:	14,477.27 square metres
Building B:	25,729.89 square metres
Total:	40,207.16 square metres
<b>Residential Units:</b>	
	Building A (market)      Building B (market)      Building B (rental)
Studio:	5                                      30                                      9
1-Bedroom:	117                                      147                                      43
2-Bedroom:	85                                      120                                      5
Total:	207                                      297                                      57
<b>TOTAL:</b>	<b>561 units</b>



## Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 47 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

28 Elementary students at K. B. Woodward Elementary School  
11 Secondary students at Kwantlen Park Secondary School

(Appendix III)

**Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.**

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Fall 2028.

Parks, Recreation & Culture: West Village Park is the closest active park with amenities including a playground, and is 350 metres walking distance from the development. Royal Kwantlen Park is the closest park with natural area and is 450 metres walking distance from the development. Royal Kwantlen Park also has outdoor sport fields, outdoor sport courts, an outdoor pool, and playground amenities

Surrey Fire Department: No concerns.

Advisory Design Panel: The applicant's previous proposal, Development Application No. 7918-0393-00, was supported by ADP on April 30, 2020. The subject proposal has different building heights, but the overall form and character is the same, and the City Architect has determined a new presentation to ADP was not required. The subject development proposal is generally supported by City staff and the applicant has agreed to resolve any outstanding items, to the satisfaction of the Planning and Development Department, prior to consideration of Final Adoption of the Rezoning By-law.

## Transportation Considerations

### Road Network & Infrastructure

- The applicant will provide the following road dedication, as part of the subject rezoning application:

- Dedication and construction of the north side of 104 Avenue;
- Dedication and construction of the south side of the Green Lane; and
- Dedication and construction of a new road (133 Street) along the east property line, which tapers from 11.5 metres at the north end to provide for the half-road standard, and 17.5 metres at the south end to align with the existing 133 Street to the south. Ultimately, 133 Street is planned to be 20 metres, which will be fully achieved as part of future development.

### Traffic Impacts

- The applicant has provided a preliminary Transportation Impact Assessment ("TIA") to assess the site-generated traffic impacts and proposed parking rates. Based on the findings of the TIA, the applicant will be required to construct a signalized intersection at 104 Avenue and 133 Street.
- According to industry standard rates, the proposal is anticipated to generate approximately 2 vehicle trips every minute in the peak hour.

### Transit

- The subject site is within 800m of an existing Skytrain Station.
- The subject site is located adjacent to a bus stop on 104 Avenue.

### Access

- Access to Building A is proposed via a Green Lane, which is along the north property line of the subject site.
- Access to Building B is proposed via 133 Street, which will be dedicated and constructed along the east property line of the subject site.

### **Sustainability Considerations**

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

## **POLICY & BY-LAW CONSIDERATIONS**

### **Regional Growth Strategy**

- The proposed development is compliant with the Urban Centres (Surrey Metro Centre) Land Use Designation of Metro Vancouver's Regional Growth Strategy (RGS).

### **Official Community Plan**

#### Land Use Designation

- The subject site is designated Multiple Residential in the OCP.

- The proposed development does not comply with the OCP. Therefore, the applicant has proposed an OCP Amendment to redesignate the subject site from "Multiple Residential" to "Downtown" and to amend Figure 16 – Downtown Densities to include the subject site at a density of 5.5 FAR.

#### Amendment Rationale

- The subject site is located just outside of the "Downtown" designation of Surrey's City Centre, as shown in Figure 16 of the OCP. The minimum permitted density in the "Downtown" designation is 3.5 FAR, and ranges up to 7.5 FAR. The proposed 5.5 FAR designation aligns with the proposed gross density of 7.03 FAR on the subject site when density bonusing, and the provision of rental housing are considered.
- The site is also located near public transit options, including bus service along 104 Avenue, 132 Street and University Drive, as well as SkyTrain to the southeast. The Surrey Central SkyTrain Station is located within a 10 minute walk from the subject site.
- Although the proposed density on the subject site is higher than that prescribed in the OCP and City Centre Plan, the proposed mix of market residential housing (proposed Building A) and both below-market rental and residential market housing (proposed Building B) aligns with the goals and objectives for the West Village District of the City Centre Plan. These housing options will also support and complement the Central Downtown District, which includes the growing Kwantlen Polytechnic University and Simon Fraser University campuses.
- Based on the above rationale, there is merit to consider a higher-density, multiple residential development on the subject site. The provision of 57 below-market rental residential units within the development is also supporting rationale for the increased density.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation, as described in the Community Amenity Contribution section of this report. Affordable housing units secured through a Housing Agreement are not subject to Capital Project CACs.

### Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
  - Growth Management
    - Accommodating Higher Density: Direct residential development into Surrey's City Centre at densities sufficient to encourage commercial development and transit services expansion.
  - Centres, Corridors and Neighbourhoods:
    - Dynamic City Centre: Concentrate the highest density of residential and mixed-use development within Surrey's City Centre in areas near existing and planned rapid transit stations.
    - Dynamic City Centre: Create an interconnected, short-block, finer-grained network of public streets and green lanes in Surrey's City Centre to support direct, pleasing, and safe pedestrian and cycle movements and to distribute traffic efficiently.
    - Healthy Neighbourhood: Plan and design urban neighbourhoods with sufficient densities to support a higher-quality transit system that is accessible to most residents.
    - Urban Design: Ensure a new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.
    - Housing types: Support a balanced demographic community in City Centre by maintaining a diversity of housing types and unit sizes.
  - Ecosystems
    - Energy, Emissions and Climate Resiliency: Design a community that is energy-efficient, reduces carbon emissions and adapts to a changing environment through a design that meets typical sustainable development criteria.

### **Secondary Plans**

#### Land Use Designation

- The subject site is designated "Low to Mid Rise Residential" in the City Centre Plan. The applicant is proposing to redesignate the site to " High-Rise Residential – Type I" and to shift a portion of the new north/south road along the east property line further east.

#### Amendment Rationale

- Although the proposed density on the subject site is higher than that prescribed in the City Centre Plan, the proposed residential buildings will be a beneficial addition to the West Village area of City Centre, while supporting and complementing the Central Downtown District. The proposed development will provide an appropriate transition from the high-density core to the east and the future medium-density residential development to the west.
- The site is within walking distance of 650 metres from the Surrey Central SkyTrain station. The proposed development conforms to the goal of achieving higher density development near public transit, particularly SkyTrain Stations.

- As noted above, the applicant is proposing to provide 57 below-market rental units, secured through a Housing Agreement for 60 years.

#### Themes/Objectives

- The proposed development is consistent with the following guiding principles:
  - Build Density and Mixed-Use, by providing a mix of commercial, office and residential space;
  - Encourage Housing Diversity, with a variety of unit types and sizes; and
  - Create Vibrant Urban Space, with high quality architectural aesthetics and amenities such as plazas and street furniture to encourage people to interact with the public realm.

#### **CD By-law**

- The applicant proposes to rezone the subject site from "Multiple Residential 45 Zone (RM-45)" to "Comprehensive Development Zone (CD)".
- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate the two proposed residential towers on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 135 Zone (RM-135)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-135 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-135 Zone (Part 25)	Proposed CD Zone
<b>Floor Area Ratio:</b>	2.5 FAR	8.5 FAR Building A (Block A) 10.5 FAR Building B (Block B)
<b>Lot Coverage:</b>	33%	51%
<b>Yards and Setbacks</b>	7.5 m or 50% of building height	Building A (Block A) North and East: 4.3 m South: 4.8 m West: 5.3 m Building B (Block B) South and East: 4.3 m North: 5.4 m West: 5.5 m
<b>Principal Building Height:</b>	n/a	Building A (Block A): 80 metres Building B (Block B): 110 metres
<b>Permitted Uses:</b>	Multiple unit residential buildings, ground-oriented multiple unit residential buildings, and child care centre.	
Indoor Amenity:	As per Zoning By-law Building A: 579 sq. m. Building B: 816 sq. m.	The proposed 1,896 m <sup>2</sup> meets the Zoning By-law requirement.
Outdoor Amenity:	As per Zoning By-law Building A: 621 sq. m. Building B: 1,092 sq. m.	The proposed 1,713 m <sup>2</sup> meets the Zoning By-law requirement.
<b>Parking (Part 5)</b>		<b>Proposed</b>
Minimum residential parking no longer required as per Corporate Report R049 from May 27, 2024.		498 parking stalls, including 46 visitor parking, and 11 accessible parking spaces

- The differences between RM-135 and the proposed CD Zone are as follows:
  - FAR: increased from 2.5 to 8.5 for Lot A and 11.7 for Lot B;
  - Lot coverage: increased from 33% to 51 %;
  - Building Height: established at 80 metres for Building A and 110 metres for Building B; and
  - Setbacks: reduced from 7.5 metres to between 4.3 metres and 5.5 metres.
- Given the site's location in City Centre and proximity to public transit options, the proposed density is appropriate, and the proposed lot coverage is consistent with other similar high rise developments in City Centre.
- The applicant is proposing reductions for all setbacks in the CD By-law. The reduction in building setbacks is supportable as they allow for more active engagement of the streets, which is desirable for the City Centre area and consistent with the City Centre Plan design guidelines.

### **Capital Projects Community Amenity Contributions (CACs)**

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2024, under Corporate Report No. R046; 2024.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit Issuance.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP and Secondary Plan designation.
- The applicant will be required to provide the per square-metre flat rate for residential floor area above the currently approved City Centre Plan in order to satisfy the proposed Secondary Plan/OCP Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption.
- The applicant is proposing affordable rental units, and those units are not subject to the Tier 2 CACs. A Restrictive Covenant will be registered making CACs payable if there is a future change in tenure after the expiry of the housing agreement.

### **Affordable Housing Strategy**

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,113.92 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.
- The below-market rental portion of the subject proposal is exempt from the provision of this policy. The applicant will be required to register a Section 219 Restrictive Covenant, making the fees payable if there is a future change in tenure, to address the City's needs with respect to the City's Affordable Housing Strategy.

### **Public Art Policy**

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

- The Public Art contribution will not be required for the below-market rental portion of the site and will be applicable to the residential portion only if there is a future change in tenure from the below-market rental residential units.

## **PUBLIC ENGAGEMENT**

- Pre-notification letters were sent on March 11, 2024, and the Development Proposal Signs were installed on October 16, 2023. Staff received no responses from neighbours.

## **Tenant Assistance and Relocation Plan**

- The applicant has provided a Tenant Assistance and Relocation Program (see Appendix V), as required under City Policy No. O-61, outlining the relocation strategy for the existing rental tenants on the subject site. The applicant's assistance and proposed relocation efforts for the existing residents meets the requirements of Surrey's City Policy No. O-61.
- There have been concerns raised by some of the existing tenants of the subject site regarding their relocation. In May 2024, the applicant inadvertently sent evictions notices to the residents, anticipating demolition prior to Final Approval, contrary to the requirements of the Residential Tenancy Act (RTA).
- It has since been clarified to the applicant that the City can accept a bond for the demolition, as the Province only allows for eviction notices after a permit has already been issued, with a minimum of four months notice. The eviction notice has since been retracted by the applicant, and the applicant has committed to complying with the requirements of the RTA.
- The current tenancy details of the existing 57 units are as follows:
  - 40 units are currently tenanted
  - The current tenants have elected to do the following:
    - 13 of these units have been tenanted since 2020, and tenants had been notified of the development application prior to signing a rental agreement
    - 2 units have moved prior to June 01, 2024, and have received 3 months compensation of rent and \$500 relocation assistance each
    - 3 units are currently receiving relocation assistance
    - 2 units are on waitlists for government funded housing
    - All other units have opted to wait, and have declined relocation assistance at this time. They will still be eligible for the funding proposed in the Tenant Relocation Plan
  - 16 units were vacant when the developer purchased the site.
- The applicant continues to work with the remaining households on a relocation plan. Many residents have indicated they prefer to wait for the permit to be issued before making relocation plans. The applicant has identified a Property Support Manager, as per the requirements of Policy No. O-61, to act as a primary contact for all residents affected by the proposed redevelopment of the property
- City staff has worked with the applicant to ensure that the Property Support Manager is actively contacting the remaining tenants to offer the appropriate assistance.



- The relocation plan proposes financial compensation, proportional to how long the tenant has been in the building, consistent with Policy No. O-61:
  - 1-10 years: 3 month's rent
  - 10-15 years: 4 month's rent
  - 15-20 years: 5 month's rent
  - 20-25 years: 6 month's rent
- In addition, there is also compensation for moving expenses, for those who have lived in the building for a minimum of 3 years: \$500 for one-bedroom units and \$750 for two-bedroom units.
- The Property Support Manager will offer relocation assistance in finding alternative accommodation upon request. Specifically, the Property Support Manager will offer the following:
  - Assistance in finding a minimum of 3 options of comparable units in the City of Surrey, with at least one option in the same neighbourhood where possible, unless otherwise agreed to by the tenant; and
  - The 3 options will be no more than 10% above the CMHC average rents. In cases where the current rent is above the 10% CMHC average rent, options should be provided at current rent maximum that each tenant is paying.
- The applicant will also offer the right of first offer for the new units on the subject site, the adjacent proposed new rental building at 13245 – 104 Ave, and the temporarily retained rental building at 13245 – 104 Ave. This was not in the initial communication provided to the residents, but has since been rectified.

## **DEVELOPMENT PERMITS**

### **Form and Character Development Permit Requirement**

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Surrey City Centre Plan.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Surrey City Centre Plan.
- The proposed development includes two high-rise residential towers:
  - A 25-storey building to the north on proposed Lot A; and
  - a 35-storey building with a 6-storey rental podium to the south on proposed Lot B.
- The applicant has worked with staff to develop a design that incorporates City Centre urban design guidelines and principles, namely, the tower and podium placements and height, and street and lane interfaces have been well-developed.

- Furthermore, staff have worked closely with the applicant to ensure the appropriate tower separation within site, and to the neighbouring sites in the area.
- The proposal includes two-storey, street-oriented townhouse units along 104 Avenue. The townhouse units have individual entries and low-level planting, which actively engage with the street and provide a strong urban edge and active street wall.
- The previous proposal, Development Application No. 7918-0393-00 received 'support' from the Advisory Design Panel (ADP) at the April 30, 2020 ADP meeting, and the applicant has done well in addressing the Advisory Design Panel (ADP) comments. As the form & character of the building has not significantly changed, the City Architect has determined that the new proposal will not need to go back to ADP.
- The two high-rise towers are located on opposite corners, framing the site, and with coordination with the westerly development site (File No. 7918-0443-00), created a full block development with a large central open space and courtyard.
- At the base of each building, indoor amenity spaces are oriented internal to the site and open to the outdoor amenity space (courtyard).
- Brick, metal panels and spandrel glass (mainly yellow and red) are proposed as exterior materials for both proposed buildings to add more visual interest to the public realm.
- The proposed development will incorporate publicly accessible corner plazas at the northeast and southeast corners of the site with landscaping and benches, providing a point of interest and respite for pedestrians.

### Landscaping

- The landscape design is centered around the interaction between public and private space embracing the idea that permeable landscape encourages activity and living in an informal and organic manner that is safe and well used.
- Along the street interfaces and at the corner plaza, landscaping treatments consist of hardscaping with bench seating and planters.
- The ground floor residential interface along 104 Avenue consists of landscaped front yards separated from the public realm by planter boxes, providing a sense of privacy while still maintaining "eyes on the street".
- The landscaping includes a variety of plants and shrubs, including Fraser Fir, Grand Fir, Vine Maple, Paperbark Maple, Red-Leaf Japanese Maple, Frans Fontaine Hornbeam, Betty Magnolia, Persian Ironwood, Bruns Serbian Spruce, Columnar European Aspen, Accolade Flowering Cherry, Tall Stewartia, Japanese Stewartia and Japanese Snowbell.

### Indoor Amenity

- The proposal meets the required indoor amenity space, and proposes the indoor amenity spaces to be shared between the two proposed buildings. The total required indoor amenity space is 1,395 square metres, and the proposal includes 1,896 square metres between the two buildings.
- The indoor amenity spaces are provided on the ground floor and roof top, and offer a variety of spaces: social lounge, gym, social room with kitchen, roof top lounge, reading room, active lounge games, and meeting room.

#### Outdoor Amenity

- The proposal exceeds the required outdoor amenity space. The total required outdoor amenity space is 1,713 square metres, and the proposal includes 2,056 square metres between the two buildings, plus the shared plaza with the western site.
- The outdoor amenity spaces will be provided on the western portion of the site, and have been designed to be shared between the subject site and the two sites to the west, through a statutory right-of-way.

#### Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

### TREES

- Corey Plester, ISA Certified Arborist of Mike Fadum & Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

**Table 1: Summary of Proposed Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Deciduous Trees</b> (excluding Alder and Cottonwood Trees)			
Oak	1	1	0
<b>Coniferous Trees</b>			
Austrian Pine	20	20	0
Western Hemlock	2	2	0
Norway Spruce	2	2	0
Western Red Cedar	3	3	0
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>28</b>	<b>28</b>	<b>0</b>

<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>	<b>56</b>
<b>Total Retained and Replacement Trees Proposed</b>	<b>56</b>
<b>Estimated Contribution to the Green City Program</b>	<b>n/a</b>

- The Arborist Assessment states that there are a total of 28 mature trees on the site, and no Alder and Cottonwood trees. The applicant proposes to remove all 28 trees as part of this development proposal. The proposed tree removal and replacement was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a proposed total of 56 replacement trees on the site. The applicant is proposing 56 replacement trees, meeting City requirements.
- The new trees on the site will consist of a variety of trees including Fraser Fir, Grand Fir, Vine Maple, Paperbark Maple, Red-Leaf Japanese Maple, Frans Fontaine Hornbeam, Betty Magnolia, Persian Ironwood, Bruns Serbian Spruce, Columnar European Aspen, Accolade Flowering Cherry, Tall Stewartia, Japanese Stewartia and Japanese Snowbell, and a variety of shrubs and grasses.
- In summary, a total of 56 trees are proposed to be replaced on the site, with no contribution required to the Green City Program.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

## **CITY ENERGY**

- The subject site is located within Service Area A, as defined in the "City Centre District Energy System By-law" (see Appendix IX for location). The District Energy System consists of three primary components:
  - community energy centres, City-operated facilities that generate thermal energy for distribution through a piped hot water network;
  - distribution piping that links the community energy centres with buildings connected to the system; and
  - City-owned energy transfer stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system, and is used to meter the amount of energy used.

- All new developments within Service Area A with a build-out density equal to or greater than a floor area ratio (FAR) of 1.0 will be required to provide hydronic thermal energy systems in support of the City's District Energy (DE) system including domestic hot water, make-up air units and in-suite hydronic space heating. The City is committed to having the DE system operational within the timeframe of this project. Therefore, the subject application will be required to connect to the City's DE system prior to occupancy.
- In order to avoid conflicts between the District Energy System and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for the following purposes:
  - City access to, and maintenance and operation of, the ETS within the building and any infrastructure between the building and the property line; and
  - to prevent conflicts with other utilities.
- Prior to the issuance of a building permit, the Engineering Department will confirm that the applicant has met the requirements of the "City Centre District Energy System By-law".

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix V.	Tenant Assistance and Relocation Program
Appendix VI.	CCP Plan
Appendix VII.	OCP Redesignation Maps: Figure 3 and Figure 16
Appendix VIII.	Proposed Housing Agreement By-law and Housing Agreement
Appendix IX	District Energy Map

*approved by Ron Gill*

Don Luymes  
General Manager  
Planning and Development

LFM/ar



**PROJECT INFO**

CIVIC ADDRESS	13265 104 Avenue
LEGAL DESCRIPTION	STRATA LOT PLAN NW2111 SECTION 22 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT
CURRENT ZONING	RM45 - MULTIPLE RESIDENTIAL 45 ZONE
PROPOSED ZONING	CD- COMPREHENSIVE DEVELOPMENT ZONE
EXISTING USE	3 STOREY RENTAL
PROPOSED USE	<b>BUILDING A - 25 STOREY MARKET CONDO RESIDENTIAL</b> <b>BUILDING B - 35 STOREY MARKET RESIDENTIAL W/ 57 AFFORDABLE RENTAL UNITS</b>

**SITE INFO PROJECT TOTAL**

PROPERTY AREA (GROSS SITE AREA)	5,720.0 m <sup>2</sup> *
NET SITE AREA (AFTER ROAD DEDICATIONS)	<b>BUILDING A</b> 1,717.72 m <sup>2</sup> <b>BUILDING B</b> 2,202.72 m <sup>2</sup> <b>TOTAL</b> 3,920.44 m <sup>2</sup>

	BUILDING A		BUILDING B	
	REQUIRED METERS	PROPOSED METERS	REQUIRED METERS	PROPOSED METERS
NORTH (LANE) LOT LINE	4.3 m	4.37 m	4.3 m	5.47 m
EAST (133A STREET) LOT LINE	4.3 m	4.39 m	4.3 m	4.35 m
SOUTH (104 AVENUE) LOT LINE	4.8 m	4.85 m	4.3 m	4.35 m
WEST LOT LINE	5.3 m	5.40 m	5.5 m	5.52 m

**BUILDING HEIGHT**

BUILDING A	REQUIRED	PROPOSED
AVERAGE GRADE - NORTH	85.28 m	85.28 m
AVERAGE GRADE - EAST	85.53 m	85.53 m
AVERAGE GRADE - WEST	85.48 m	85.48 m
AVERAGE GRADE - SOUTH	85.58 m	85.58 m
AVERAGE GRADE	85.57 m	85.57 m
PROPOSED ROOF ELEVATION	162.1 m	162.1 m
PROPOSED HEIGHT	76.53 m	76.53 m
ALLOWABLE HEIGHT	78.3 [26 storeys @ 3.05m]	

BUILDING B	REQUIRED	PROPOSED
AVERAGE GRADE - NORTH	86.91 m	86.91 m
AVERAGE GRADE - EAST	87.42 m	87.42 m
AVERAGE GRADE - WEST	88.13 m	88.13 m
AVERAGE GRADE - SOUTH	88.63 m	88.63 m
AVERAGE GRADE	87.77 m	87.77 m
PROPOSED ROOF ELEVATION	194. m	194. m
PROPOSED HEIGHT	106.23 m	106.23 m
ALLOWABLE HEIGHT	106.75 [35 storeys @ 3.05m]	

NO. OF STORES	<b>BUILDING A</b> 25 STOREYS <b>BUILDING B</b> 35 STOREYS
---------------	--

\* NOTE: ORIGINAL SITE AREA USED FOR FAR CALCULATIONS

**AREA SUMMARY PROJECT TOTAL**

	a	b	c	d	e	f=a+b+c+d	g=a+b	h	h/g
	RESIDENTIAL	COMMON	SERVICE	AMENITY INDOOR	AMENITY OD	GROSS AREA (BUILDABLE)	TOTAL F.A.R. AREA	SITE AREA (GROSS)	FAR RATIO
BUILDING A	11,868.25 m <sup>2</sup>	2,809.02 m <sup>2</sup>	26.53 m <sup>2</sup>	465.89 m <sup>2</sup>	759.41 m <sup>2</sup>	14,969.89 m <sup>2</sup>	14,477.27 m <sup>2</sup>		
BUILDING B	19,862.28 m <sup>2</sup>	6,867.81 m <sup>2</sup>	386.82 m <sup>2</sup>	1,430.47 m <sup>2</sup>	1,297.48 m <sup>2</sup>	27,547.18 m <sup>2</sup>	25,729.89 m <sup>2</sup>		
<b>TOTAL [m<sup>2</sup>]</b>	<b>30,730.53 m<sup>2</sup></b>	<b>9,476.83 m<sup>2</sup></b>	<b>413.35 m<sup>2</sup></b>	<b>1,896.36 m<sup>2</sup></b>	<b>2,056.89 m<sup>2</sup></b>	<b>42,516.87 m<sup>2</sup></b>	<b>40,207.16 m<sup>2</sup></b>	<b>5,720.00 m<sup>2</sup></b>	<b>7.03</b>

\*EXCLUDES P1 AMENITY AREA

**DENSITY PROJECT TOTAL**

F.A.R.	OCF ALLOWABLE	ALLOWED*	PROPOSED
BUILDING A (BASED ON NET SITE AREA)	-	-	8.43
BUILDING B (BASED ON NET SITE AREA)	-	-	11.68
<b>SITE TOTAL (BASED ON GROSS SITE AREA)</b>	<b>2.0 +20%**</b>	<b>3.0+20%**</b>	<b>7.03</b>

AREA IN F.A.R.	BUILDING A	BUILDING B	SITE TOTAL
BUILDING A	14,477.27 m <sup>2</sup>		14,477.27 m <sup>2</sup>
BUILDING B		25,729.89 m <sup>2</sup>	25,729.89 m <sup>2</sup>
<b>SITE TOTAL</b>	<b>14,477.27 m<sup>2</sup></b>	<b>25,729.89 m<sup>2</sup></b>	<b>40,207.16 m<sup>2</sup></b>

# UNITS/ha	BUILDING A	BUILDING B	SITE TOTAL
GROSS SITE AREA	207,027.2ha =	361.89 ha	568.92 ha
BUILDING A	354,027.2ha =	618.88 ha	618.88 ha
BUILDING B	561,527.2ha =	980.77 ha	980.77 ha
<b>SITE TOTAL</b>	<b>561,527.2ha =</b>	<b>1,430.96 ha</b>	<b>1,430.96 ha</b>

NET SITE AREA	BUILDING A	BUILDING B	SITE TOTAL
BUILDING A	207,027.2ha =	1205.09 ha	1205.09 ha
BUILDING B	354,022.0ha =	1600.71 ha	1600.71 ha
<b>SITE TOTAL</b>	<b>561,029.2ha =</b>	<b>1430.96 ha</b>	<b>1430.96 ha</b>

**AMENITY AREAS PROJECT TOTAL**

INDOOR AMENITY AREA	BUILDING A	BUILDING B	SITE TOTAL
MICRO UNITS	4 m <sup>2</sup> x 0 =	4 m <sup>2</sup> x 30 =	120.0 m <sup>2</sup>
NON-MICRO UNITS	3 m <sup>2</sup> x 186 =	3 m <sup>2</sup> x 186 =	558.0 m <sup>2</sup>
	1 m <sup>2</sup> x 21 =	1 m <sup>2</sup> x 138 =	21.0 m <sup>2</sup>
<b>SUB TOTAL</b>	<b>207</b>	<b>816.0 m<sup>2</sup></b>	<b>465.89 m<sup>2</sup></b>
<b>%</b>			<b>80%</b>

OUTDOOR AMENITY AREA	BUILDING A	BUILDING B	SITE TOTAL
MICRO UNITS	4 m <sup>2</sup> x 0 =	4 m <sup>2</sup> x 30 =	120.0 m <sup>2</sup>
NON-MICRO UNITS	3 m <sup>2</sup> x 207 =	3 m <sup>2</sup> x 324 =	972.0 m <sup>2</sup>
	1 m <sup>2</sup> x 207 =	1 m <sup>2</sup> x 354 =	1,062.0 m <sup>2</sup>
<b>SUB TOTAL</b>	<b>207</b>	<b>621.0 m<sup>2</sup></b>	<b>759.41 m<sup>2</sup></b>
<b>%</b>			<b>122%</b>

INDOOR AMENITY AREA	BUILDING A	BUILDING B	SITE TOTAL
MICRO UNITS	4 m <sup>2</sup> x 0 =	4 m <sup>2</sup> x 30 =	120.0 m <sup>2</sup>
NON-MICRO UNITS	3 m <sup>2</sup> x 207 =	3 m <sup>2</sup> x 324 =	972.0 m <sup>2</sup>
	1 m <sup>2</sup> x 207 =	1 m <sup>2</sup> x 354 =	1,297.48 m <sup>2</sup>
<b>SUB TOTAL</b>	<b>354</b>	<b>1,062.0 m<sup>2</sup></b>	<b>1,297.48 m<sup>2</sup></b>
<b>%</b>			<b>119%</b>

INDOOR AMENITY AREA	BUILDING A	BUILDING B	SITE TOTAL
MICRO UNITS	4 m <sup>2</sup> x 0 =	4 m <sup>2</sup> x 30 =	120.0 m <sup>2</sup>
NON-MICRO UNITS	3 m <sup>2</sup> x 207 =	3 m <sup>2</sup> x 324 =	972.0 m <sup>2</sup>
	1 m <sup>2</sup> x 207 =	1 m <sup>2</sup> x 354 =	2,056.89 m <sup>2</sup>
<b>SUB TOTAL</b>	<b>3 m<sup>2</sup> x 561</b>	<b>1,713.0 m<sup>2</sup></b>	<b>2,056.89 m<sup>2</sup></b>
<b>%</b>			<b>120%</b>

NOTE: MICRO UNIT = 3020F - 0735F (4.29,73m x 4.84m)

**BICYCLE SPACES PROJECT TOTAL**

BICYCLE SPACES AT GRADE	# OF UNITS	RATIO	REQUIRED	PROPOSED
BUILDING A	-	-	6	6
BUILDING B	-	-	6	12
<b>TOTAL</b>	<b>-</b>	<b>-</b>	<b>12</b>	<b>18</b>

SECURE BICYCLE SPACES	BUILDING A	BUILDING B	TOTAL
BUILDING A	207	1.3	274
BUILDING B	354	1.2	425
<b>TOTAL</b>	<b>561</b>	<b>1.2</b>	<b>699</b>

**PARKING REQUIRED PROJECT TOTAL**

BUILDING A	# OF UNITS	REQUIRED	PROPOSED	%	STALLS
STUCKOS	5	5	2		
1 BEDROOM UNITS	117	105	90		
2 OR MORE BEDROOM DWELLING UNIT	85	77	77		
<b>SUBTOTAL</b>	<b>207</b>	<b>186</b>	<b>169</b>	<b>11.6%</b>	<b>21</b>
<b>BUILDING A TOTAL</b>					
EVERY DWELLING UNIT	207	0.1	21		21
<b>BUILDING A TOTAL</b>					<b>207</b>

BUILDING B	# OF UNITS	REQUIRED	PROPOSED	%	STALLS
STUCKOS	39	33	30		
1 BEDROOM UNITS	199	180	152		
2 OR MORE BEDROOM DWELLING UNIT	125	111	111		
<b>SUBTOTAL</b>	<b>354</b>	<b>304</b>	<b>273</b>	<b>10.2%</b>	<b>31</b>
<b>BUILDING B TOTAL</b>					
EVERY DWELLING UNIT	354	0.1	35		35
<b>BUILDING B TOTAL</b>					<b>343</b>

PROJECT TOTAL	TOTAL	TOTAL**
TOTAL	547	468

ACCESSIBLE PARKING	UNITS	TOTAL	TOTAL**	TOTAL
VAN-ACCESSIBLE	1 of ACC. STALLS	6	6	6
TYPICAL ACCESSIBLE		5	5	5
<b>SUBTOTAL</b>	<b>0.5% OF REQ. STALLS</b>	<b>11</b>	<b>11</b>	<b>11</b>

**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

13265 104 AVENUE  
WEST FRASER DEVELOPMENT  
CITY OF SURREY, BRITISH COLUMBIA

2024

**PROJECT INFORMATION OVERALL**

13265 104 AVENUE  
WEST FRASER DEVELOPMENT  
CITY OF SURREY, BRITISH COLUMBIA

2024

**A1.01**

**BUILDING A - AREA SUMMARY**

FLOOR LEVEL	# OF STOREYS	RESIDENTIAL	COMMON	SERVICE	AMENITY ID	AMENITY OD	STORAGE	GROSS AREA (BUIL.DABLE)	TOTAL F.A.R. AREA
LEVEL 1	1	310.94 m2	236.37 m2	.0 m2	144.91 m2	230.35 m2	.0 m2	692.22 m2	547.31 m2
LEVEL 2	1	632.44 m2	141.44 m2	.0 m2	.0 m2	.0 m2	.0 m2	773.88 m2	773.88 m2
LEVEL 3	1	643.21 m2	141.57 m2	.0 m2	.0 m2	.0 m2	.0 m2	784.79 m2	784.79 m2
LEVEL 4	1	691.0 m2	140.98 m2	.0 m2	.0 m2	.0 m2	.0 m2	831.99 m2	831.99 m2
LEVEL 5	1	690.98 m2	140.98 m2	.0 m2	.0 m2	.0 m2	.0 m2	831.94 m2	831.94 m2
LEVEL 6	1	690.97 m2	140.95 m2	.0 m2	.0 m2	.0 m2	.0 m2	831.92 m2	831.92 m2
LEVEL 7	1	313.25 m2	99.97 m2	.0 m2	69.76 m2	292.32 m2	.0 m2	482.97 m2	413.22 m2
LEVEL b-24	TYP FLOOR	464.44 m2	92.17 m2	.0 m2	.0 m2	.0 m2	.0 m2	556.61 m2	556.61 m2
LEVEL b-24	17	7,895.46 m2	1,566.89 m2	.0 m2	.0 m2	.0 m2	.0 m2	9,462.32 m2	9,462.32 m2
L25 AMENITY	1	.0 m2	.0 m2	26.53 m2	251.23 m2	236.73 m2	.0 m2	277.75 m2	.0 m2
ROOF LEVEL	0	.0 m2	.0 m2	.0 m2	.0 m2	.0 m2	.0 m2	.0 m2	.0 m2
TOTAL		11,869.25 m2	2,609.02 m2	26.53 m2	465.89 m2	759.41 m2	.0 m2	14,969.69 m2	14,477.27 m2
% OF GROSS AREA		7.4%	1.6%	0.0%	0.3%	0.5%	0.0%	6.3%	9.0%
% OF F.A.R. AREA		7.6%	1.7%	0.0%	0.3%	0.2%	0.0%	5.6%	9.3%
EFFICIENCY									79.3%

**DENSITY - BUILDING A**

	OCF ALLOWABLE	ALLOWED*	PROPOSED
F.A.R.		3,50+ 20%**	
OVERALL SITE			2.53
BUILDING A SITE ONLY (NET SITE AREA)			8.43
AREA IN F.A.R.			14,477.27 m2
# UNITS /ha	GROSS OVERALL SITE	207/0.572ha =	361.89 /ha
NET SITE AREA			# UNITS PER HA
NET OVERALL SITE	207/0.393ha =		527.03 /ha
NET BUILDING A SITE	207/0.1717ha =		1205.09 /ha

**BIKE SUMMARY - BUILDING A - MARKET CONDO**

	REQUIRED	PROPOSED	
BICYCLE SPACES AT GRADE	TOTAL		
TOTAL	6	6	
SECURE BICYCLE SPACES	# OF UNITS	RATIO	TOTAL
TOTAL	207	1.2	248

**PARKING SUMMARY - BUILDING A - MARKET CONDO**

	REQUIRED	PROPOSED	TDM MEASURE REDUCTIONS
RESIDENTIAL PARKING	# OF UNITS	RATIOS	TOTAL
STUDIOS	5	0.9	5
1 BEDROOM UNITS	117	0.9	105
2 OR MORE BEDROOM DWELLI	85	0.9	77
SUBTOTAL	207		188
VISITOR PARKING			169
EVERY DWELLING UNIT	207	0.1	21
GRAND TOTAL			207
ACCESSIBLE PARKING	RATIOS	TOTAL	TOTAL
VAN-ACCESSIBLE	.5 OF ACC. STALLS	2	4
TYPICAL ACCESSIBLE		2	
SUBTOTAL	0.02 OF REQ. STALLS	4	4
SMALL CAR PARKING	MAX ALLOWABLE	TOTAL	TOTAL
TOTAL	35% OF STALLS	67	53

**SUITE SUMMARY - BUILDING A**

FLOOR LEVEL	# OF STOREYS	FLOOR TO FLOOR STUDIO											TOTAL		
		5	10	15	20	25	30	35	40	45	50				
LEVEL 1	1	3.5 m	0	0	0	0	0	0	0	0	0	0	0	5	6
LEVEL 2	1	2.95 m	1	0	1	3	1	0	1	0	0	0	0	0	7
LEVEL 3	1	2.95 m	1	0	1	9	1	0	1	0	0	0	0	0	13
LEVEL 4	1	2.95 m	1	0	1	9	1	0	1	0	0	0	0	0	13
LEVEL 5	1	2.95 m	1	0	1	9	1	0	1	0	0	0	0	0	13
LEVEL 6	1	2.95 m	1	0	1	9	1	0	1	0	0	0	0	0	13
LEVEL 7	1	2.95 m	0	0	0	5	0	0	0	1	0	0	0	0	6
TYP FLOOR		2.95 m	0	0	0	4	0	0	4	0	0	0	0	0	8
LEVEL b-24	17	50.15 m	0	0	0	68	0	0	68	0	0	0	0	0	136
LEVEL 26	1	4.0 m	0	0	0	0	0	0	0	0	0	0	0	0	0
ROOF LEVEL	0	0.0 m	0	0	0	0	0	0	0	0	0	0	0	0	0
TOTAL	25		5	0	5	112	5	0	79	0	0	0	0	5	207
%			2%	0%	2%	54%	2%	0%	36%					2%	100%

\* LEVEL 24 TO HAVE 11.02R FLOOR TO FLOOR HEIGHT

**BUILDING A - AREA SUMMARY**

FLOOR LEVEL	# OF STOREYS	RESIDENTIAL	COMMON	SERVICE	AMENITY ID	AMENITY OD	STORAGE	GROSS AREA (BUIL.DABLE)	TOTAL F.A.R. AREA
LEVEL 1	1	3,346.9 sq ft	2,544.3 sq ft	.0 sq ft	1,559.8 sq ft	2,479.5 sq ft	.0 sq ft	7,451.0 sq ft	5,891.2 sq ft
LEVEL 2	1	6,807.5 sq ft	1,522.5 sq ft	.0 sq ft	.0 sq ft	.0 sq ft	.0 sq ft	8,330.0 sq ft	8,330.0 sq ft
LEVEL 3	1	6,823.5 sq ft	1,523.9 sq ft	.0 sq ft	.0 sq ft	.0 sq ft	.0 sq ft	8,447.4 sq ft	8,447.4 sq ft
LEVEL 4	1	7,437.9 sq ft	1,516.5 sq ft	.0 sq ft	.0 sq ft	.0 sq ft	.0 sq ft	8,954.4 sq ft	8,954.4 sq ft
LEVEL 5	1	7,437.9 sq ft	1,517.3 sq ft	.0 sq ft	.0 sq ft	.0 sq ft	.0 sq ft	8,954.2 sq ft	8,954.2 sq ft
LEVEL 6	1	7,437.9 sq ft	1,517.2 sq ft	.0 sq ft	.0 sq ft	.0 sq ft	.0 sq ft	8,954.7 sq ft	8,954.7 sq ft
LEVEL 7	1	3,371.9 sq ft	1,076.0 sq ft	.0 sq ft	750.9 sq ft	3,146.5 sq ft	.0 sq ft	5,199.7 sq ft	4,447.8 sq ft
LEVEL b-24	TYP FLOOR	4,899.2 sq ft	992.1 sq ft	.0 sq ft	.0 sq ft	.0 sq ft	.0 sq ft	5,891.3 sq ft	5,891.3 sq ft
LEVEL b-24	17	84,986.1 sq ft	18,865.5 sq ft	.0 sq ft	.0 sq ft	.0 sq ft	.0 sq ft	101,851.6 sq ft	101,851.6 sq ft
L25 AMENITY	1	.0 sq ft	.0 sq ft	285.5 sq ft	2,704.2 sq ft	2,648.2 sq ft	.0 sq ft	2,989.7 sq ft	.0 sq ft
ROOF LEVEL	0	.0 sq ft	.0 sq ft	.0 sq ft	.0 sq ft	.0 sq ft	.0 sq ft	.0 sq ft	.0 sq ft
TOTAL		127,748.8 sq ft	28,083.3 sq ft	285.5 sq ft	5,014.8 sq ft	8,174.2 sq ft	.0 sq ft	161,132.4 sq ft	155,832.1 sq ft
% OF GROSS AREA		78.3%	17.4%	0.2%	3.1%	5.1%	0.0%	100.0%	96.7%
% OF F.A.R. AREA		83.0%	18.0%	0.2%	3.2%	5.2%	0.0%	103.4%	100.0%
EFFICIENCY									79.3%

**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

1	Residential	207
2	Residential	207
3	Residential	207
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50	Residential	207

**Bingham Hill Architects**  
207-104 Avenue West  
Surrey, BC V4A 4C1  
Tel: (604) 273-1122  
Fax: (604) 273-1122  
www.binghamhill.ca



**PROJECT INFORMATION BUILDING A**  
SUBMITTAL NO. 0000000001  
REV: 1  
DATE: 2023  
DRAWN BY: A1.02



**SUITE SUMMARY- BUILDING B- MARKET CONDO**

FLOOR LEVEL	# OF STOREYS	FLOOR TO FLOOR HT.	STUDIO	1 BED UNITS	1 BED + DEN UNITS	2 BED JUNIOR UNITS	2 BEDROOM UNITS	2 BED + DEN UNITS	3 BEDROOM UNITS	3 BED TOWNHOUSE	TOTAL
			S	1B	1B0	2B1	2B	2B0	3B	TH	
LEVEL 1	1	3m								2	2
LEVEL 2	1	3m	1	2							3
LEVEL 3	1	3m	1	4		2					7
LEVEL 4	1	3m	1	4			2				7
LEVEL 5	1	3m	1	4			2				7
LEVEL 6	1	3,3 m	1	4			2				7
LEVEL 7	1	3m		3			2				5
LEVEL 8	1	3m	1	4			3		1		9
LEVEL 9-32	TOWER TYP	3m	1	5		1	3				10
			24	120		24	72				240
LEVEL 33	1	3m		1			1		3		5
LEVEL 34	1	3m		1			1		3		5
LEVEL 35 (AMENITY ROOF)	1	4m									0
ROOF LEVEL	0	-									0
<b>TOTAL</b>	<b>35</b>		<b>30</b>	<b>147</b>	<b>0</b>	<b>26</b>	<b>85</b>	<b>0</b>	<b>7</b>	<b>2</b>	<b>297</b>
<b>%</b>			<b>10%</b>	<b>49%</b>	<b>0%</b>	<b>9%</b>	<b>29%</b>	<b>0%</b>	<b>2%</b>	<b>1%</b>	<b>100%</b>

**SUITE SUMMARY- BUILDING B- AFFORDABLE RENTAL**

FLOOR LEVEL	# OF STOREYS	FLOOR TO FLOOR HT.	STUDIO	1 BED UNITS	1 BED + DEN UNITS	2 BED JUNIOR UNITS	2 BEDROOM UNITS	2 BED + DEN UNITS	3 BEDROOM UNITS	3 BED TOWNHOUSE	TOTAL
			S	1B	1B0	2B1	2B	2B0	3B	TH	
LEVEL 1	1	4.02m		3							3
LEVEL 2	1	3m	2	5	3	1					11
LEVEL 3	1	3m	2	5	3	1					11
LEVEL 4	1	3m	2	5	3	1					11
LEVEL 5	1	3m	2	5	3	1					11
LEVEL 6	1	3,3 m	1	5	3				1		10
<b>TOTAL</b>	<b>6</b>		<b>9</b>	<b>28</b>	<b>15</b>	<b>4</b>	<b>0</b>	<b>0</b>	<b>1</b>	<b>0</b>	<b>57</b>
<b>%</b>			<b>16%</b>	<b>49%</b>	<b>26%</b>	<b>7%</b>	<b>0%</b>	<b>0%</b>	<b>2%</b>	<b>0%</b>	<b>100%</b>

**SUITE SUMMARY- BUILDING B- TOTAL**

FLOOR LEVEL	# OF STOREYS	FLOOR TO FLOOR HT.	STUDIO	1 BED UNITS	1 BED + DEN UNITS	2 BED JUNIOR UNITS	2 BEDROOM UNITS	2 BED + DEN UNITS	3 BEDROOM UNITS	3 BED TOWNHOUSE	TOTAL
			S	1B	1B0	2B1	2B	2B0	3B	TH	
LEVEL 1	1	3m									2
LEVEL 2	1	3m	3	7	3	1	0	0	0	2	14
LEVEL 3	1	3m	3	9	3	3	0	0	0	0	18
LEVEL 4	1	3m	3	9	3	1	2	0	0	0	18
LEVEL 5	1	3m	3	9	3	1	2	0	0	0	18
LEVEL 6	1	3,3 m	2	9	3	0	2	0	1	0	17
LEVEL 7	1	3m	0	3	0	0	2	0	0	0	5
LEVEL 8	1	3m	1	4	0	0	3	0	1	0	9
LEVEL 9-32	TOWER TYP	3m	1	5	0	1	3	0	0	0	10
			24	120	0	24	72	0	0	0	240
LEVEL 33	1	3m	0	1	0	0	1	0	3	0	5
LEVEL 34	1	3m	0	1	0	0	1	0	3	0	5
LEVEL 35 (AMENITY ROOF)	1	4m									0
ROOF LEVEL	0	-									0
<b>TOTAL</b>	<b>35</b>		<b>39</b>	<b>175</b>	<b>15</b>	<b>30</b>	<b>85</b>	<b>0</b>	<b>8</b>	<b>2</b>	<b>354</b>
<b>%</b>			<b>13%</b>	<b>59%</b>	<b>5%</b>	<b>10%</b>	<b>29%</b>	<b>0%</b>	<b>3%</b>	<b>1%</b>	<b>119%</b>

**PARKING SUMMARY- BUILDING B- MARKET CONDO**

	# OF UNITS	RATIOS	TOTAL	REQUIRED	PROPOSED
<b>RESIDENTIAL PARKING</b>					
STUDIOS	30	0.8	27		25
1 BEDROOM UNITS	147	0.8	132		110
2 OR MORE BEDROOM DWELLING UNITS	120	0.8	108		108
<b>SUBTOTAL</b>	<b>297</b>		<b>267</b>		<b>243</b>
<b>VISITOR PARKING</b>					
EVERY DWELLING UNIT	297	0.1	30		30
<b>GRAND TOTAL</b>			<b>297</b>		<b>273</b>
<b>ACCESSIBLE PARKING</b>					
VAN-ACCESSIBLE		.5 OF ACC. STALLS	3		3
TYPICAL ACCESSIBLE			3		3
<b>SUBTOTAL</b>		<b>0.02 OF REQ. STALLS</b>	<b>6</b>		<b>6</b>
<b>SMALL CAR PARKING</b>					
TOTAL		35% OF STALLS	96		37

**PARKING SUMMARY- BUILDING B- AFFORDABLE RENTAL**

	# OF UNITS	RATIOS	TOTAL	REQUIRED	PROPOSED
<b>RESIDENTIAL PARKING</b>					
STUDIOS	9	0.65	6		5
1 BEDROOM UNITS	43	0.65	28		22
2 OR MORE BEDROOM DWELLING UNIT	5	0.65	3		3
<b>SUBTOTAL</b>	<b>57</b>		<b>37</b>		<b>30</b>
<b>VISITOR PARKING</b>					
EVERY DWELLING UNIT	57	0.1	5		5
<b>GRAND TOTAL</b>			<b>42</b>		<b>35</b>
<b>ACCESSIBLE PARKING</b>					
VAN-ACCESSIBLE		.5 OF ACC. STALLS	1		1
TYPICAL ACCESSIBLE			0		0
<b>SUBTOTAL</b>		<b>0.02 OF REQ. STALLS</b>	<b>1</b>		<b>1</b>
<b>SMALL CAR PARKING</b>					
TOTAL		35% OF STALLS	12		5

**PARKING SUMMARY- BUILDING B- TOTAL**

	# OF UNITS	RATIOS	TOTAL	REQUIRED	PROPOSED	TDM MEASURE REDUCTIONS
<b>RESIDENTIAL PARKING</b>						16% NO. OF STALLS
STUDIOS	39		33		30	
1 BEDROOM UNITS	190		162		132	
2 OR MORE BEDROOM DWELLING UNIT	125		111		111	
<b>SUBTOTAL</b>	<b>354</b>		<b>304</b>		<b>273</b>	15.2%
<b>VISITOR PARKING</b>						
EVERY DWELLING UNIT	354	0.1	35		35	
<b>GRAND TOTAL</b>			<b>340</b>		<b>308</b>	
<b>ACCESSIBLE PARKING</b>						
VAN-ACCESSIBLE		.5 OF ACC. STALLS	4		4	
TYPICAL ACCESSIBLE			3		3	
<b>SUBTOTAL</b>		<b>0.02 OF REQ. STALLS</b>	<b>7</b>		<b>7</b>	
<b>SMALL CAR PARKING</b>						
TOTAL		35% OF STALLS	108		51	17%

**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

13265 104 AVENUE  
SURREY, BC V3R 4G6  
TEL: 604-273-1111  
WWW.BINGHAMHILLARCHITECTS.COM



**PROJECT INFORMATION BUILDING B**  
SURREY MUNICIPAL DISTRICT  
REV: 2021  
DATE: 2021-08-24  
DRAWN: [Signature]  
CHECKED: [Signature]  
SCALE: A1.03

**AREA SUMMARY- BUILDING B**

FLOOR LEVEL	# OF STOREYS						GROSS AREA (BUILDABLE)	TOTAL F.A.R. AREA
		a	b	c	d	e		
P1	1	.0 m2	.0 m2	.0 m2	31.39 m2	.0 m2	31.39 m2	.0 m2
LEVEL 1	1	256.44 m2	322.30 m2	33.40 m2	359.48 m2	436.57 m2	971.62 m2	578.74 m2
LEVEL 2	1	789.37 m2	171.94 m2	5.79 m2	36.82 m2	.0 m2	1,003.92 m2	961.31 m2
LEVEL 3	1	905.36 m2	171.34 m2	5.79 m2	.0 m2	.0 m2	1,082.49 m2	1,076.70 m2
LEVEL 4	1	930.41 m2	171.43 m2	5.79 m2	.0 m2	.0 m2	1,107.63 m2	1,101.84 m2
LEVEL 5	1	930.41 m2	171.43 m2	5.79 m2	.0 m2	.0 m2	1,107.63 m2	1,101.84 m2
LEVEL 6	1	930.43 m2	342.45 m2	11.48 m2	.0 m2	.0 m2	1,284.36 m2	1,272.88 m2
LEVEL 7	1	270.40 m2	225.81 m2	11.34 m2	416.34 m2	504.89 m2	923.89 m2	496.21 m2
LEVEL 8	1	514.07 m2	211.55 m2	11.34 m2	.0 m2	.0 m2	736.96 m2	725.62 m2
LEVEL 9-32	TYPICAL	521.88 m2	195.97 m2	11.38 m2	.0 m2	.0 m2	729.23 m2	717.85 m2
	24	12,525.12 m2	4,703.28 m2	273.12 m2	.0 m2	.0 m2	17,501.52 m2	17,228.40 m2
LEVEL 33		405.14 m2	.0 m2	11.49 m2	.0 m2	.0 m2	416.63 m2	405.14 m2
LEVEL 34	1	357.27 m2	.0 m2	5.80 m2	.0 m2	.0 m2	363.07 m2	357.27 m2
LEVEL 35	1	.0 m2	41.71 m2	5.69 m2	586.44 m2	141.74 m2	633.84 m2	41.71 m2
ROOF LEVEL	0	.0 m2	59.18 m2	.0 m2	.0 m2	.0 m2	59.18 m2	59.18 m2
<b>TOTAL</b>		<b>18,814.42 m2</b>	<b>6,592.42 m2</b>	<b>386.82 m2</b>	<b>1,430.47 m2</b>	<b>1,083.20 m2</b>	<b>27,224.13 m2</b>	<b>25,406.84 m2</b>
% OF GROSS AREA		69.1%	24.2%	1.4%	5.3%	4.0%	100.0%	93.3%
% OF F.A.R. AREA EFFICIENCY		<b>74.1%</b>	25.9%	1.5%	5.6%	4.3%	107.2%	100.0%
								<b>69.1%</b>

**BIKE SUMMARY- BUILDING B- MARKET CONDO**

	REQUIRED	PROPOSED
<b>BICYCLE SPACES AT GRADE</b>	TOTAL	
TOTAL	6	6
<b>SECURE BICYCLE SPACES</b>	# OF UNITS	RATIO
TOTAL	297	1.2
		TOTAL
		356
		<b>359</b>

**BIKE SUMMARY- BUILDING B- AFFORDABLE RENTAL**

	REQUIRED	PROPOSED
<b>BICYCLE SPACES AT GRADE</b>	TOTAL	
TOTAL	6	6
<b>SECURE BICYCLE SPACES</b>	# OF UNITS	RATIO
TOTAL	57	1.2
		TOTAL
		68
		<b>68</b>

**BIKE SUMMARY- BUILDING B- TOTAL**

	REQUIRED	PROPOSED
<b>BICYCLE SPACES AT GRADE</b>	TOTAL	
TOTAL	6	12
<b>SECURE BICYCLE SPACES</b>	# OF UNITS	RATIO
TOTAL	354	1.2
		TOTAL
		425
		<b>427</b>

**AMENITY SUMMARY- BUILDING B- MARKET CONDO**

INDOOR AMENITY AREA	UNITS	REQUIRED		PROPOSED	% OF REQUIRED
		sm	sm		
MICRO UNITS	4 m <sup>2</sup> x 25	100.0	m2		
NON-MICRO UNITS	3 m <sup>2</sup> x 186	558.0	m2		
	1 m <sup>2</sup> x 85	85.0	m2		
<b>TOTAL</b>	<b>297</b>	<b>744.00</b>	<b>m2</b>	<b>1,309.18</b>	<b>m2</b>
					176.0%

OUTDOOR AMENITY AREA					
MICRO UNITS	4 m <sup>2</sup> x 25	100.0	m2		
NON-MICRO UNITS	3 m <sup>2</sup> x 272	816.0	m2		
<b>TOTAL</b>	<b>297</b>	<b>916.00</b>	<b>m2</b>	<b>812.73</b>	<b>m2</b>
					88.7%

**AMENITY SUMMARY- BUILDING B- AFFORDABLE RENTAL**

INDOOR AMENITY AREA	UNITS	REQUIRED		PROPOSED	% OF REQUIRED
		sm	sm		
MICRO UNITS	4 m <sup>2</sup> x 5	20.0	m2		
NON-MICRO UNITS	3 m <sup>2</sup> x 52	156.0	m2		
<b>TOTAL</b>	<b>57</b>	<b>176.00</b>	<b>m2</b>	<b>121.29</b>	<b>m2</b>
					68.9%

OUTDOOR AMENITY AREA					
MICRO UNITS	4 m <sup>2</sup> x 5	20.0	m2		
NON-MICRO UNITS	3 m <sup>2</sup> x 52	156.0	m2		
<b>TOTAL</b>	<b>57</b>	<b>176.00</b>	<b>m2</b>	<b>276.47</b>	<b>m2</b>
					153.7%

**AMENITY SUMMARY- BUILDING B- TOTAL**

INDOOR AMENITY AREA	UNITS	REQUIRED		PROPOSED	% OF REQUIRED
		sm	sm		
MARKET CONDO		744.0	m2	1,309.18	m2
AFFORDABLE RENTAL		176.0	m2	121.29	m2
<b>TOTAL</b>		<b>920.00</b>	<b>m2</b>	<b>1,430.47</b>	<b>m2</b>
					155.5%

OUTDOOR AMENITY AREA					
MICRO UNITS	4 m <sup>2</sup> x 0	0	m2	916.0	m2
NON-MICRO UNITS	3 m <sup>2</sup> x 0	0	m2	176.0	m2
<b>TOTAL</b>	<b>0</b>	<b>0</b>	<b>m2</b>	<b>1,092.00</b>	<b>m2</b>
					99.2%

**NOTE:**

MICRO UNIT: >320SF <3759F (>29.73m<34.84m)

**DENSITY - BUILDING B**

	OCF ALLOWABLE	ALLOWED*	PROPOSED
--	---------------	----------	----------

<b>F.A.R.</b>	3,50+ 20%**		
OVERALL SITE			4.44
BUILDING B SITE ONLY (NET SITE AREA)			<b>11.53</b>

<b>AREA IN F.A.R.</b>			25,406.84 m2
-----------------------	--	--	--------------

<b># UNITS/ha GROSS OVERALL SITE</b>	354/0.572ha=		618.88 /ha
--------------------------------------	--------------	--	------------

NET SITE AREA		# UNITS PER HA	
NET OVERALL SITE	354/0.293ha=		901.29 /ha
NET BUILDING B SITE	354/0.220ha=		1600.71 /ha

**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

13265 104 AVENUE

1	Site Plan	2021
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100	Site Plan	2021



**DEVELOPMENT DATA SHEET**

Proposed/Existing Zoning \_\_\_\_\_

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA* (in square metres)</b>		
Gross Total	5720.0m2	
Road Widening area		1799.56m2
Undevelopable area		
Net Total		3920.44 m2
<b>LOT COVERAGE (in % of net lot area)</b>		
Buildings & Structures		49.89%
Paved & Hard Surfaced Areas		11.49%
Total Site Coverage		61.38%
<b>SETBACKS (in metres)</b>		
Front		
Rear		
Side #1 (N,S,E, or W)		
Side #2 (N,S,E, or W)		
Side #3 (N, S, E or W)		
<b>BUILDING HEIGHT (in metres/storeys)</b>		
Principal	SEE MULTIPLE BUILDING DATA SHEET	
Accessory		
<b>NUMBER OF RESIDENTIAL UNITS/ SIZE RANGE</b>		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
<b>FLOOR AREA: Residential</b>		
<b>FLOOR AREA: Commercial</b>		
Retail		
Office		
Total		
<b>FLOOR AREA: Industrial</b>		
<b>FLOOR AREA: Institutional</b>		
<b>TOTAL BUILDING FLOOR AREA</b>	<b>A:15,011.28 m2 sq</b>	<b>B:24,082.05 sq m</b>

\* If the development site consists of more than one lot, lot dimensions pertain to the entire site.

**Development Data Sheet cont'd**

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>DENSITY</b>		
# of units/ha /# units/acre (gross)		980.77/ ha ; 431.54/acre
# of units/ha /# units/acre (net)		1430.96/ha ; 579.15/acre
FAR (gross)	4.20	6.55
FAR (net)		9.55
<b>AMENITY SPACE (area in square metres)</b>		
Indoor	A: 579 sqm B: 816sqm	A: 376.07 sqm B: 934.1 sqm
Outdoor	A: 621 sqm B: 1092sqm	A: 667.32 sqm B: 861.28 sqm
<b>PARKING (number of stalls)</b>		
Commercial	N/A	
Industrial	N/A	
Residential Bachelor + 1 Bedroom	A: 110 B: 193	A: 93 B: 162
2-Bed	A: 72 B: 103	A: 72 B: 103
3-Bed	A: 5 B: 8	A: 5 B: 8
Residential Visitors	A: 21 B: 35	A: 21 B: 36
Institutional	N/A	
Total Number of Parking Spaces	A:207 B: 346	A: 191 B: 309
Number of disabled stalls	A: 4 B: 7	A: 4 B: 7
Number of small cars Max 35%	A: 67 B: 106	A: 53 B: 51
Tandem Parking Spaces: Number / % of Total Number of Units	N/A	
Size of Tandem Parking Spaces width/length	N/A	

Heritage Site	YES/NO	Tree Survey/Assessment Provided	YES/NO
---------------	--------	---------------------------------	--------

I hereby certify that all the above information is true and correct. I acknowledge that any error or omissions are the sole responsibility of the applicant and not the Planning & Development Department.


Owner/Agent  **Doug Nelson, Architect AIBC**  
Signature Name: (Please Print)

**MULTIPLE BUILDINGS DATA SHEET**

Proposed/Existing Zoning \_\_\_\_\_

Required Development Data	Building #1 Building A	Building #2 Building B	Building #3
<b>SETBACK (in metres)</b>			
Front	(E) 4.3 m / 4.39m	(S) 4.3 m / 4.35m	
Rear			
Side #1 (N,S,E, or W)	(N) 4.3 m / 4.37m	(E) 4.3 m / 4.35m	
Side #2 (N,S,E, or W)	(W) 5.3 m / 5.40m	(W) 5.5 m / 5.52m	
Side #3 (N,S,E, or W)	(S) 4.8/ 4.85m	(N)4.3 m / 5.47m	
<b>Building Height (in metres/storeys)</b>			
	75.6m/25 storeys	105.6m/35 storeys	
<b>NUMBER OF RESIDENTIAL UNITS/ SIZE RANGE</b>			
Bachelor	5	39	
	37.89 m2	34.60m2-41.02m2	
One Bedroom	117	190	
	40.16m2-67.22m2	30.38m2-44.44m2	
Two Bedroom	80	115	
	65.70m2-71.90m2	54.42m2-73.41m2	
Three Bedroom +	5	10	
	91.17m2-102.5m2	82.28m2-102.58m2	
<b>TOTAL FLOOR AREA FAR AREA:</b>	14,526.74 m2	22,930.15 m2	

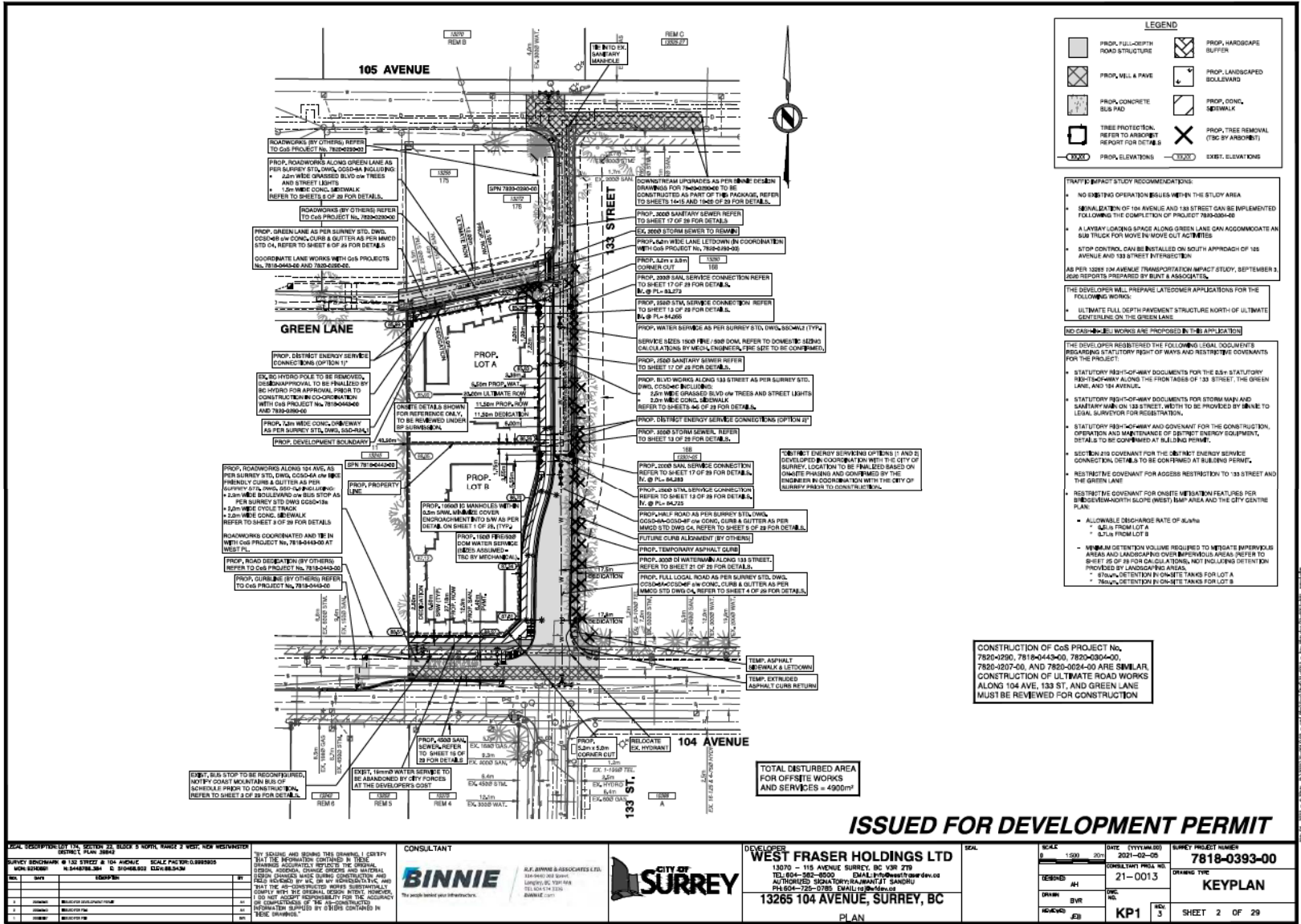
I hereby certify that all the above information is true and correct. I acknowledge that any error or omissions are the sole responsibility of the applicant and not the Planning & Development Department.

Owner/Agent  **Doug Nelson, Architect AIBC**  
Signature Name: (Please Print)

1	Development Data Sheet	1/27
2	Site Plan	1/27
3	Site Plan	1/27
4	Site Plan	1/27
5	Site Plan	1/27
6	Site Plan	1/27
7	Site Plan	1/27
8	Site Plan	1/27
9	Site Plan	1/27
10	Site Plan	1/27

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CONSTRUCTION OF CoS PROJECT No. 7820-0280, 7818-0454-00, 7820-0280-00, 7820-0207-00, AND 7820-0284-00 ARE SIMILAR CONSTRUCTION OF ULTIMATE ROAD WORKS ALONG 104 AVE, 133 ST, AND GREEN LANE MUST BE REVIEWED FOR CONSTRUCTION

**ISSUED FOR DEVELOPMENT PERMIT**

<p>LOCAL DEVELOPMENT PLAN, SECTION 21, BLOCK 5 NORTH, RANGE 2 WEST, NEW WESTMINSTER DISTRICT PLAN 38843</p> <p>SURVEY BOUNDARY OF 133 STREET &amp; 104 AVENUE SCALE: PLAN 1:500 (SEE 3889253)</p> <p>NBN NUMBER: N-34428-384 &amp; N-30448-333 CDV-84.3-3</p>		<p>BY SELLING AND SIGNING THIS DRAWING, I CERTIFY THAT THE INFORMATION CONTAINED IN THESE DRAWINGS ACCURATELY REPRESENTS THE ORIGINAL DESIGN, DESIGN CONCEPTS, MATERIALS, DIMENSIONS, AND CONDITIONS AND THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION CONTAINED IN THESE DRAWINGS.</p>		<p>CONSULTANT</p> <p><b>BINNIE</b></p> <p>200-1000 WEST 104TH AVENUE, SUITE 100, VANCOUVER, BC V6P 6E1</p>		<p>DEVELOPER</p> <p><b>CITY OF SURREY</b></p> <p>13265 104 AVENUE, SURREY, BC</p>		<p>SCALE</p> <p>1:500 (SEE 3889253)</p> <p>DATE (YYYY-MM-DD)</p> <p>2021-02-05</p> <p>CONTRACT NUMBER</p> <p>21-0013</p> <p>DRAWING TITLE</p> <p>KEYPLAN</p>		<p>SURVEY PROJECT NUMBER</p> <p>7818-0393-00</p> <p>DATE</p> <p>2021-02-05</p> <p>CONTRACT NUMBER</p> <p>21-0013</p> <p>DRAWING TITLE</p> <p>KEYPLAN</p> <p>SHEET 2 OF 29</p>	
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**SITE SERVICING**  
N.T.S.

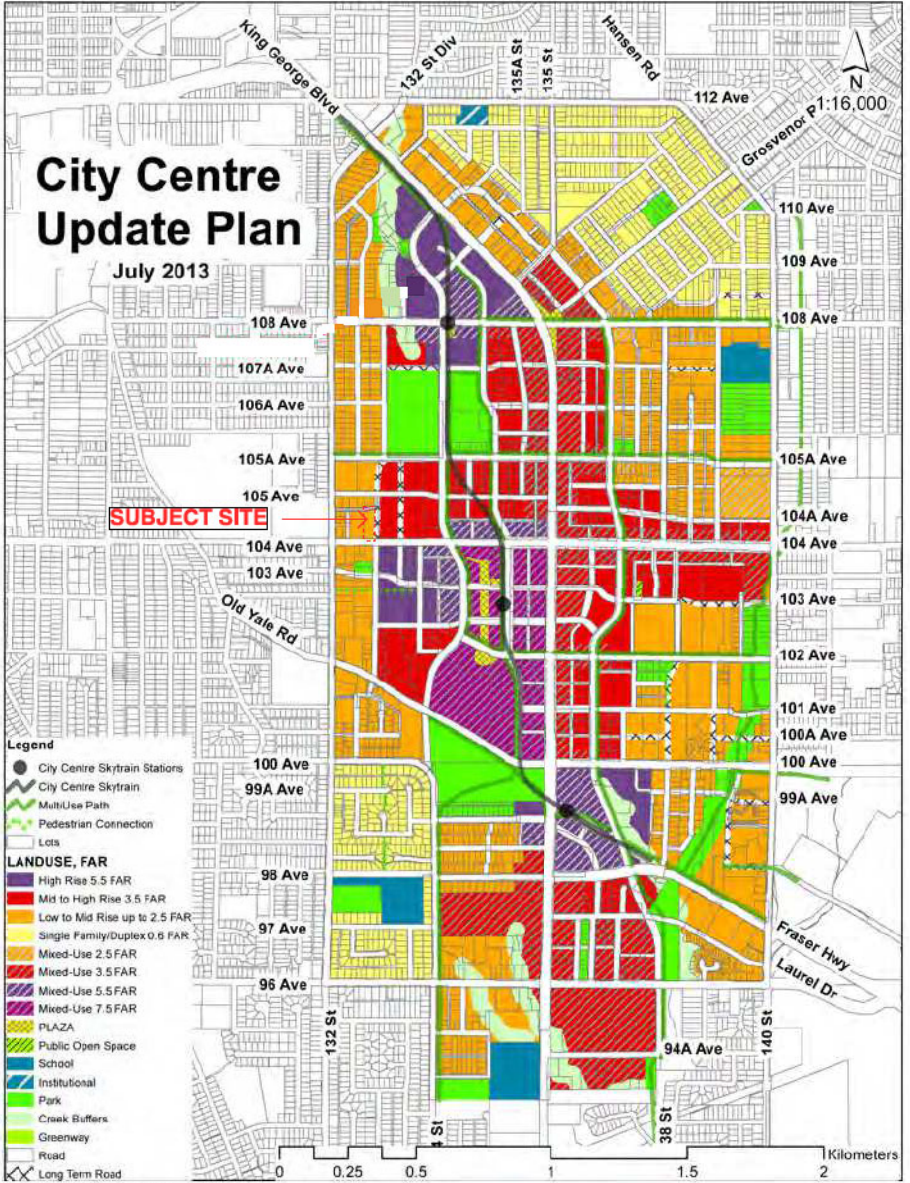
**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

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**SWANSON**

**SITE SERVICING**

A1.06



**CITY CENTRE PLAN**  
N.T.S.

**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

NO.	DESCRIPTION	DATE
1	Issue for Review	2013
2	Issue for Review	2013
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100	Issue for Review	2013

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100	Issue for Review	2013

**A1.07**



1 EXISTING CONTEXT LOOKING NORTH  
N.T.S.

(IMAGE FROM CITY OF SURREY COSMOS MAPPING SYSTEM)



2 EXISTING CONTEXT LOOKING EAST  
N.T.S.

(IMAGE FROM CITY OF SURREY COSMOS MAPPING SYSTEM)

**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2024
2	ISSUED FOR PERMIT	2024
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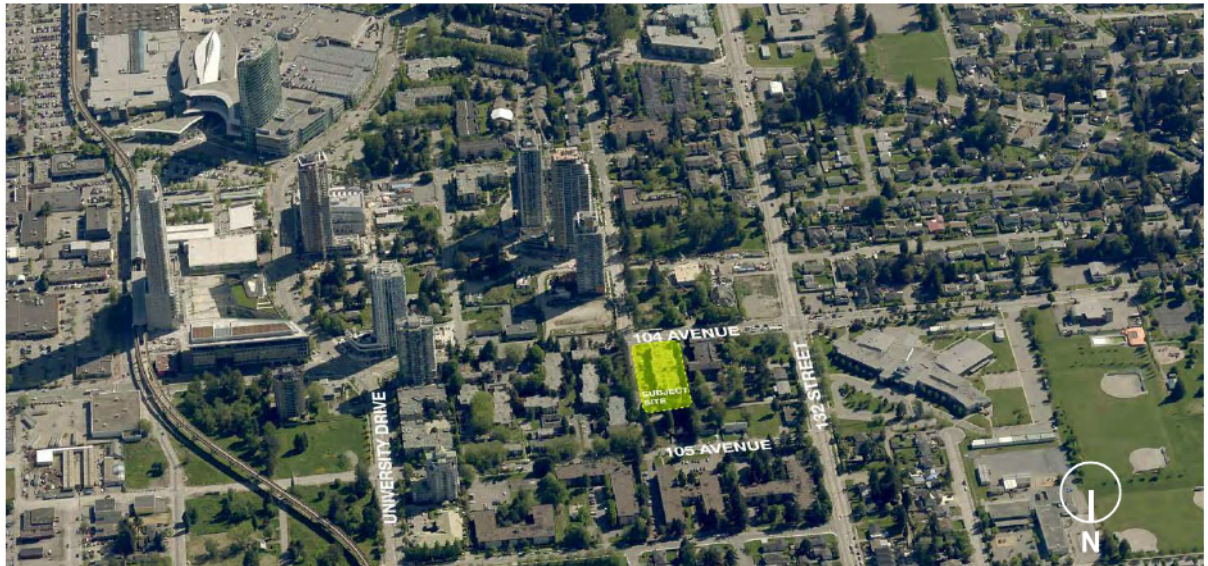
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EXISTING CONTEXT AERIAL PHOTOS

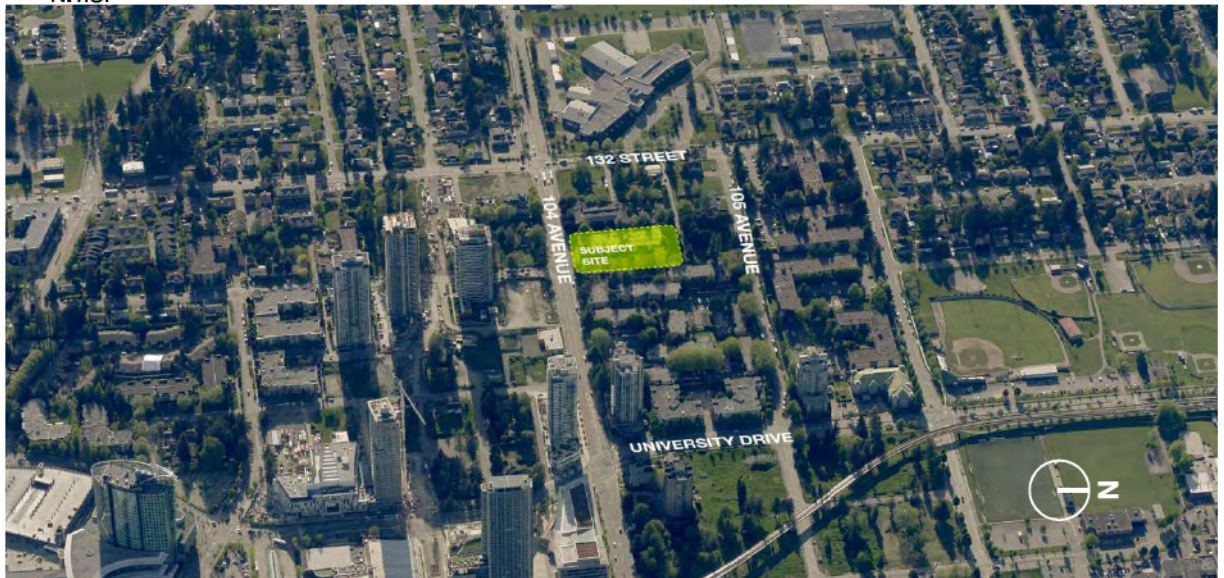
NO.	DATE	REVISION
1	2024	ISSUED FOR PERMIT

**A1.09**



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(IMAGE FROM CITY OF SURREY COSMOS MAPPING SYSTEM)



2 EXISTING CONTEXT LOOKING WEST  
N.T.S.

(IMAGE FROM CITY OF SURREY COSMOS MAPPING SYSTEM)

**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

1/10/2024 10:47:45 AM

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10	ISSUED FOR PERMIT	2024

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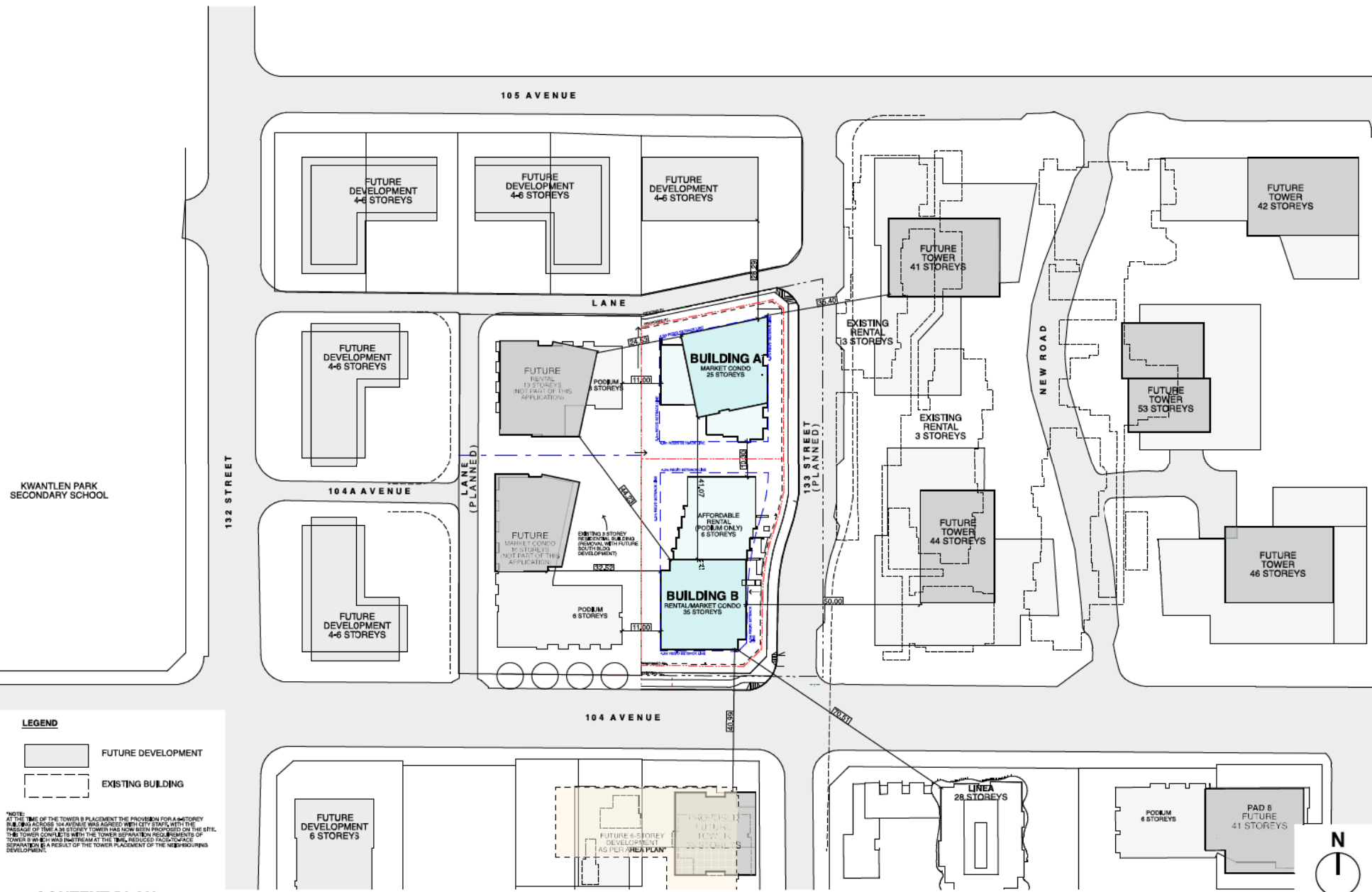


EXISTING CONTEXT  
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SCALE: AS SHOWN  
DATE: 2024  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
PROJECT NO.: [Number]  
SHEET NO.: **A1.10**







**LEGEND**

FUTURE DEVELOPMENT  
 EXISTING BUILDING

**NOTE:**  
 AT THE TIME OF THE TOWER B PLACEMENT THE PROVISION FOR A 6-STOREY BUILDING ALONG 104 AVENUE WAS AGREED WITH CITY STAFF, WITH THE PROVISION OF TOWER A 25-STOREY TOWER HAS NOW BEEN PROPOSED ON THE SITE. THIS TOWER COMES TO WITHIN THE TOWER SEPARATION REQUIREMENTS OF TOWER B AND WAS THEREFORE AT THE 6-STOREY REDUCED FOOTPRINT SEPARATION AS A RESULT OF THE TOWER PLACEMENT OF THE NEIGHBOURING DEVELOPMENT.

**CONTEXT PLAN**

**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

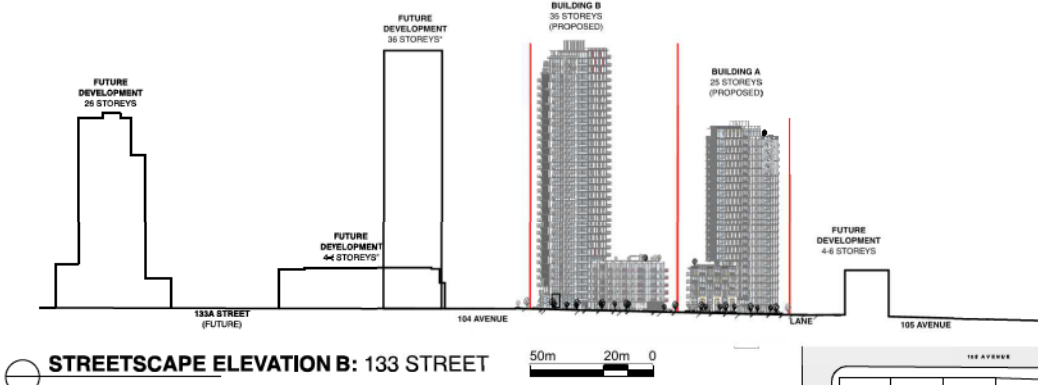
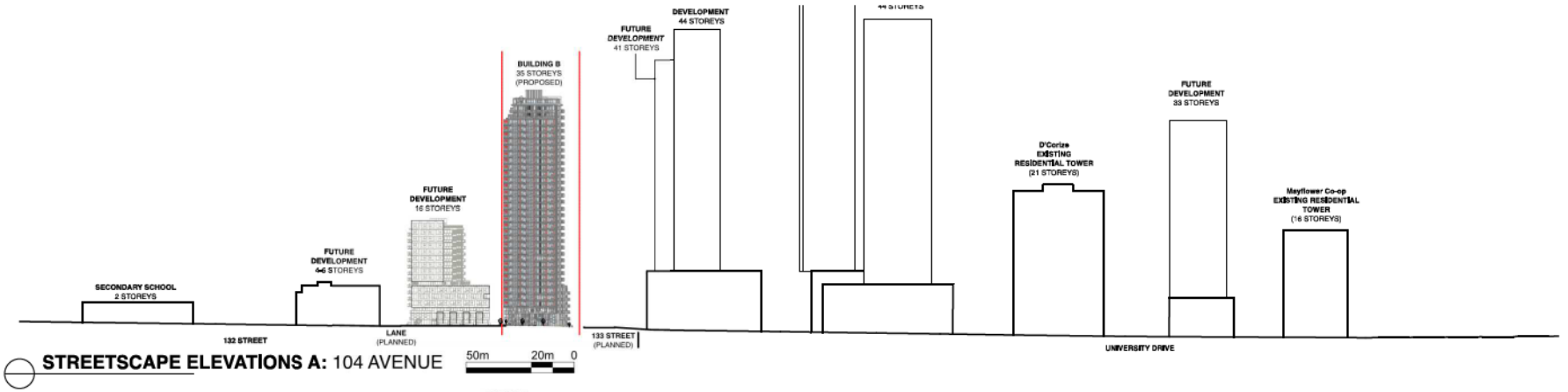
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 DATE: 2024-07-26

NO.	DESCRIPTION	DATE
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100	Issue for Review	2024-07-26

**bingham hill architects**  
 100-1140 Avenue Road, Suite 100  
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 FAX: 604.271.1112  
 WWW.BINGHAMHILLARCHITECTS.COM

**CONTEXT PLAN PROPOSED DEVELOPMENT**

SCALE: 1:1,000  
 A1.12



- LEGEND**
-  STREETSCAPE ELEVATIONS
  -  PROPOSED BUILDINGS
  -  FUTURE BUILDINGS



**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

PROJECT: 13265 104 AVENUE

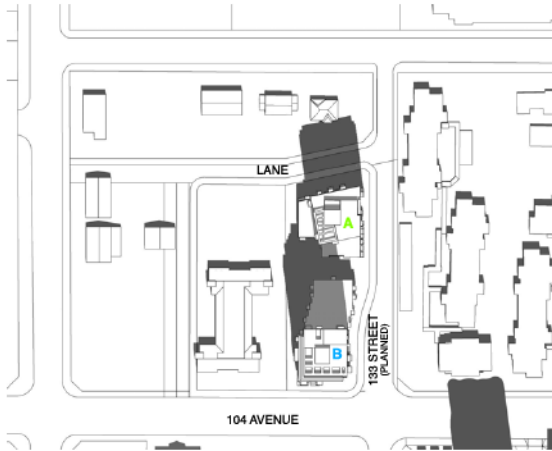
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SUMMER SOLSTICE



JUNE 21 10am

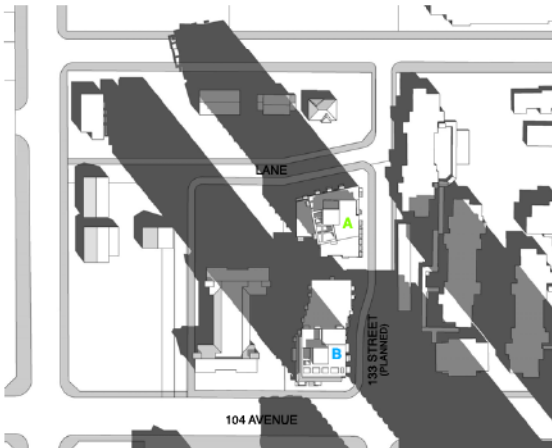


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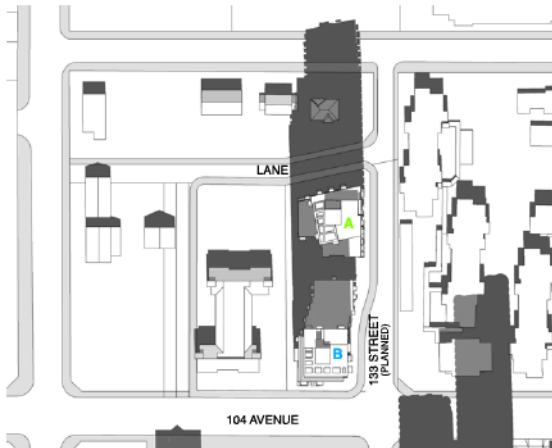


JUNE 21 2pm

VERNAL EQUINOX



MARCH/SEPTEMBER 21 10am



MARCH/SEPTEMBER 21 12pm



MARCH/SEPTEMBER 21 2pm

SHADOW STUDIES



13265 104 AVENUE  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

NO.	DESCRIPTION	DATE
1	Issue/Revision	2021
2	Issue/Revision	2021
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10	Issue/Revision	2021

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2021-09-21 10:00 AM



2021

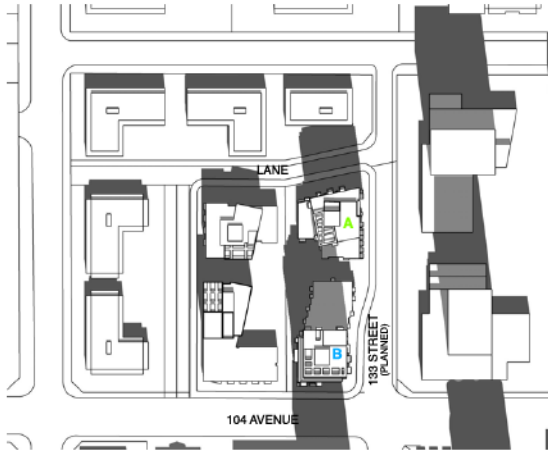
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EXISTING CONTEXT

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SCALE: A1.14

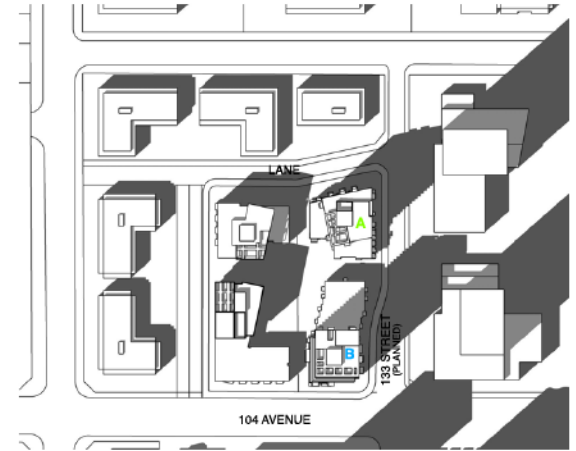
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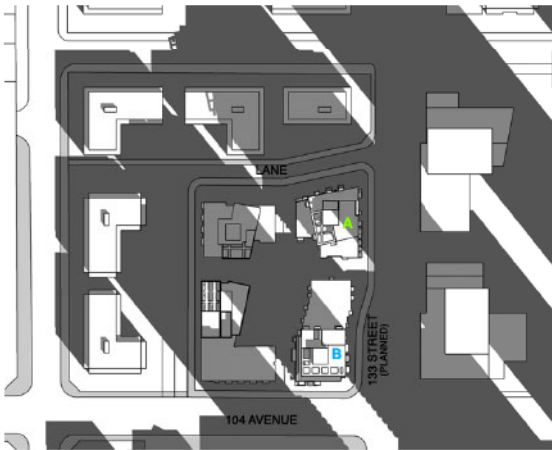


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JUNE 21 2pm

VERNAL EQUINOX



MARCH/SEPTEMBER 21 10am



MARCH/SEPTEMBER 21 12pm



MARCH/SEPTEMBER 21 2pm

**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

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99	Issue for Review	10/27/17
100	Issue for Review	10/27/17

binghamhill architects

237-1444, 1444 Street  
Surrey, BC V4A 1Y4  
Canada  
Tel: (604) 244-1111  
Fax: (604) 244-1112  
www.binghamhill.com

SHADOW STUDY  
FUTURE CONTEXT



2017

SHADOW STUDY  
FUTURE CONTEXT

13265 104 AVENUE

PHASE 1  
DATE: 10/27/17  
SCALE: A1.15







○ PERSPECTIVE - LOOKING NORTH WEST FROM 104 AVENUE + 133 STREET

**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

REVISIONS

NO.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

**bingham hill**  
 architects

237-2440 136th Street  
 Surrey, BC V4A 4N5  
 Tel: (604) 884-1122  
 Fax: (604) 884-1122

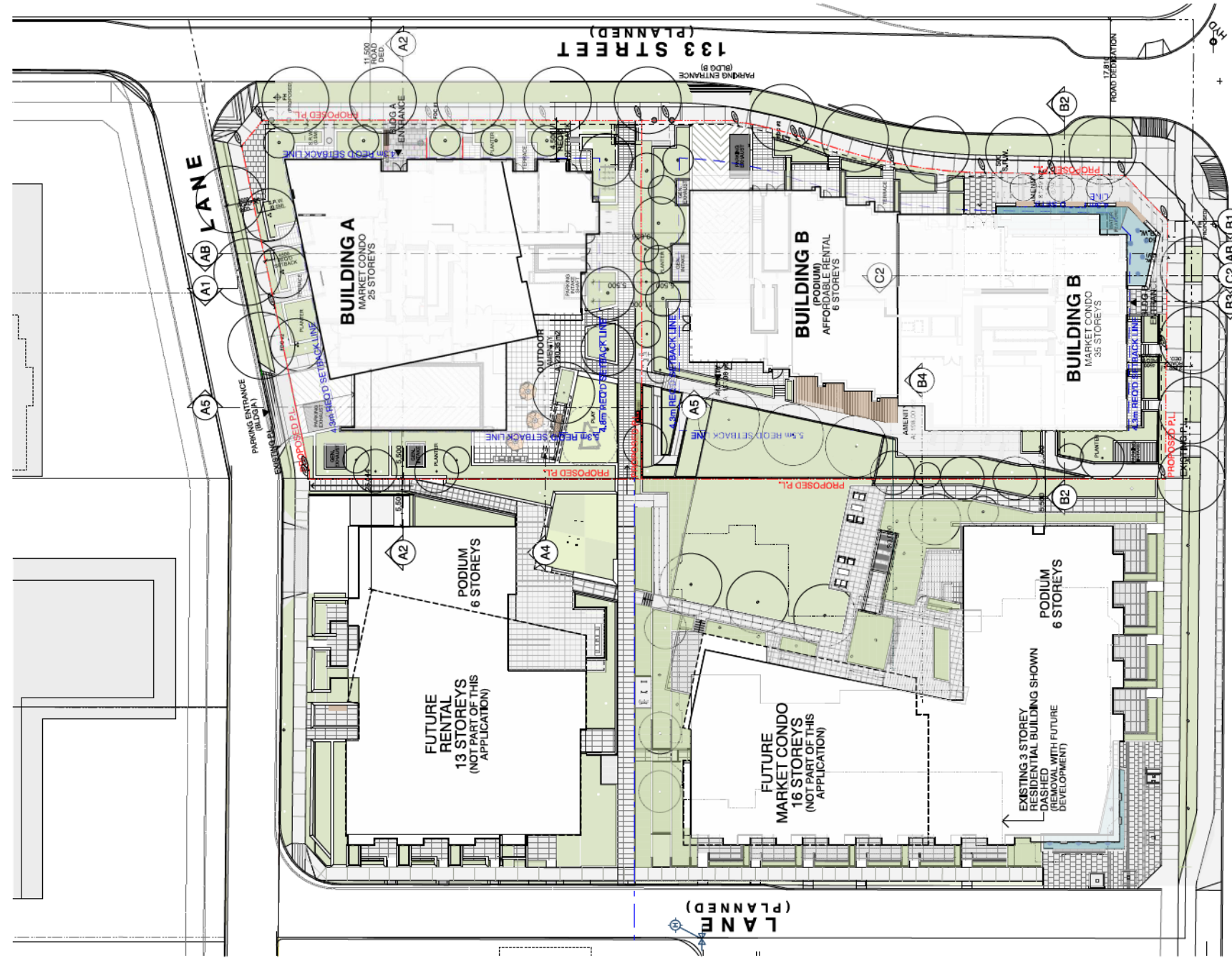


**3D PERSPECTIVE**

DATE: 2021

PROJECT: 13265 104 AVENUE

**A2.01**



**SITE PLAN**



- LEGEND**
- PROPOSED CIVIL GRADE
  - PROPOSED GRADE (INTERPOLATED)
  - EXISTING GRADE



**SITE PLAN**

ALL DIMENSIONS SHOWN IN METERS UNLESS NOTED OTHERWISE

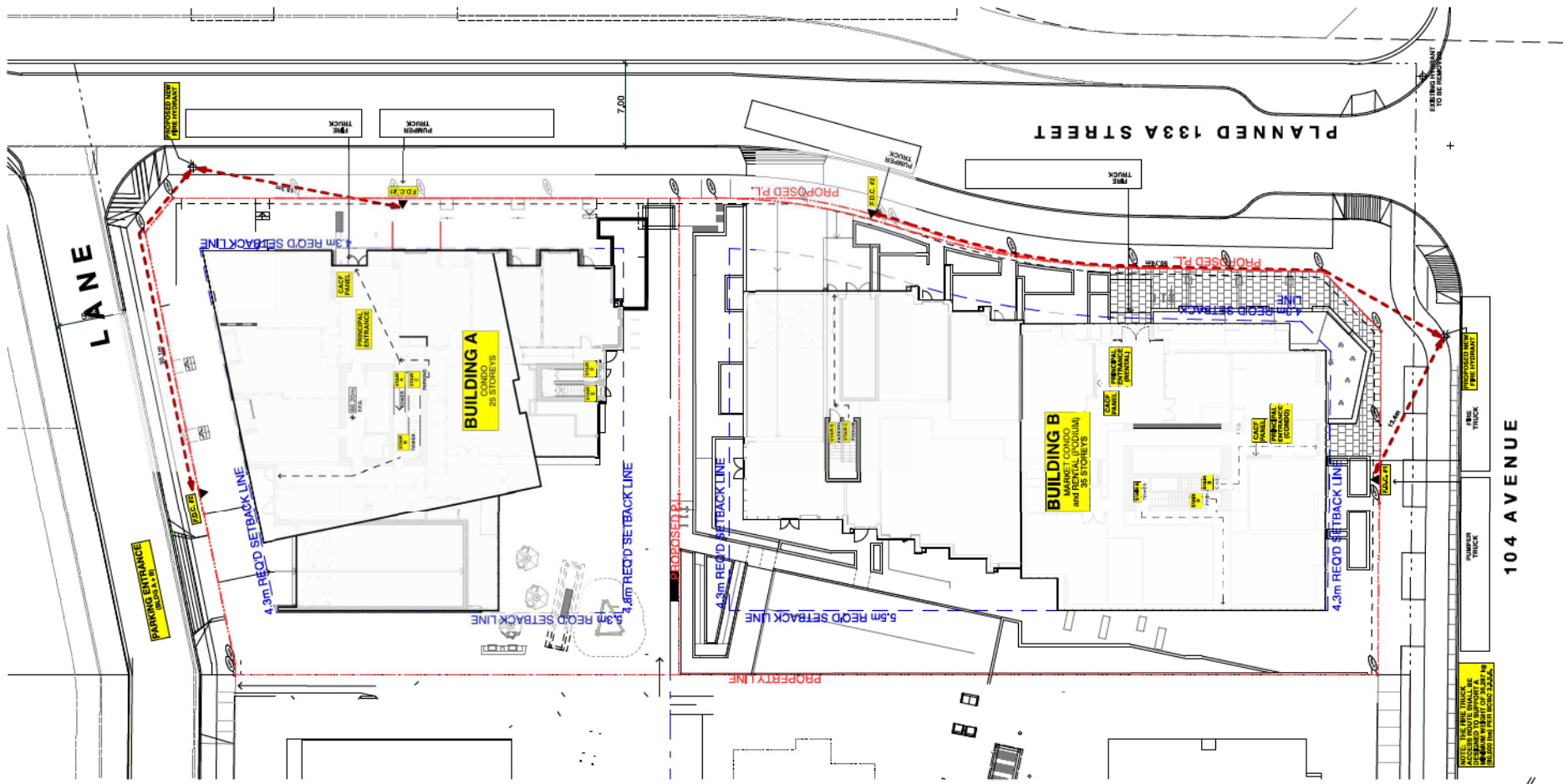
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DESIGNER	bingham hill architecture
PROJECT LOCATION	13265 104 AVENUE, WEST FRASER DEVELOPMENT, CITY OF SURREY, BRITISH COLUMBIA
PROJECT PHASE	CONCEPT DESIGN
PROJECT NO.	24-001
DATE	1-2024
SCALE	1:400
PROJECT NO.	24-001
CLIENT	WEST FRASER DEVELOPMENT
DESIGNER	bingham hill architecture
PROJECT LOCATION	13265 104 AVENUE, WEST FRASER DEVELOPMENT, CITY OF SURREY, BRITISH COLUMBIA
PROJECT PHASE	CONCEPT DESIGN

**A3.01**

**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA







**LEGEND**  
 — PROPOSED PL GRADE (CIVIL)  
 + FINISHED FLOOR ELEVATION

**FIRE DEPARTMENT  
 SITE PLAN**



DATE	1/2024	PROJECT	13265 104 AVENUE
SCALE	1:350	CLIENT	WEST FRASER DEVELOPMENT
DESIGNER	bingham hill architects	LOCATION	CITY OF SURREY, BRITISH COLUMBIA
DRAWN BY: [Signature]		CHECKED BY: [Signature]	
DATE: 1/2024		PROJECT NO: 13265 104 AVENUE	

**bingham hill**  
 ARCHITECTS

227-1242 7 AVENUE, SUITE 200  
 VANCOUVER, BC V6L 1A1  
 TEL: 604-681-1242  
 FAX: 604-681-1243  
 WWW.BINGHAMHILL.COM

*[Signature]*

FIRE DEPARTMENT  
 SITE PLAN

Thursday, February 29, 2024

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	1/2024
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8	ISSUED FOR PERMIT	1/2024
9	ISSUED FOR PERMIT	1/2024
10	ISSUED FOR PERMIT	1/2024

**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

104 AVENUE

PLANNED 133A STREET

LANE

**BUILDING A**  
 CONDO  
 25 STOREYS

**BUILDING B**  
 MARKEL CONDO  
 35 STOREYS

PARKING ENTRANCE  
 104-105

4.3m REQ'D SETBACK LINE

4.6m REQ'D SETBACK LINE

4.3m REQ'D SETBACK LINE

4.3m REQ'D SETBACK LINE

4.6m REQ'D SETBACK LINE

4.3m REQ'D SETBACK LINE

4.6m REQ'D SETBACK LINE

4.3m REQ'D SETBACK LINE

4.6m REQ'D SETBACK LINE

5.5m REQ'D SETBACK LINE

4.3m REQ'D SETBACK LINE

4.6m REQ'D SETBACK LINE

4.3m REQ'D SETBACK LINE

4.6m REQ'D SETBACK LINE

4.3m REQ'D SETBACK LINE

4.6m REQ'D SETBACK LINE

4.3m REQ'D SETBACK LINE

4.6m REQ'D SETBACK LINE

4.3m REQ'D SETBACK LINE

4.6m REQ'D SETBACK LINE

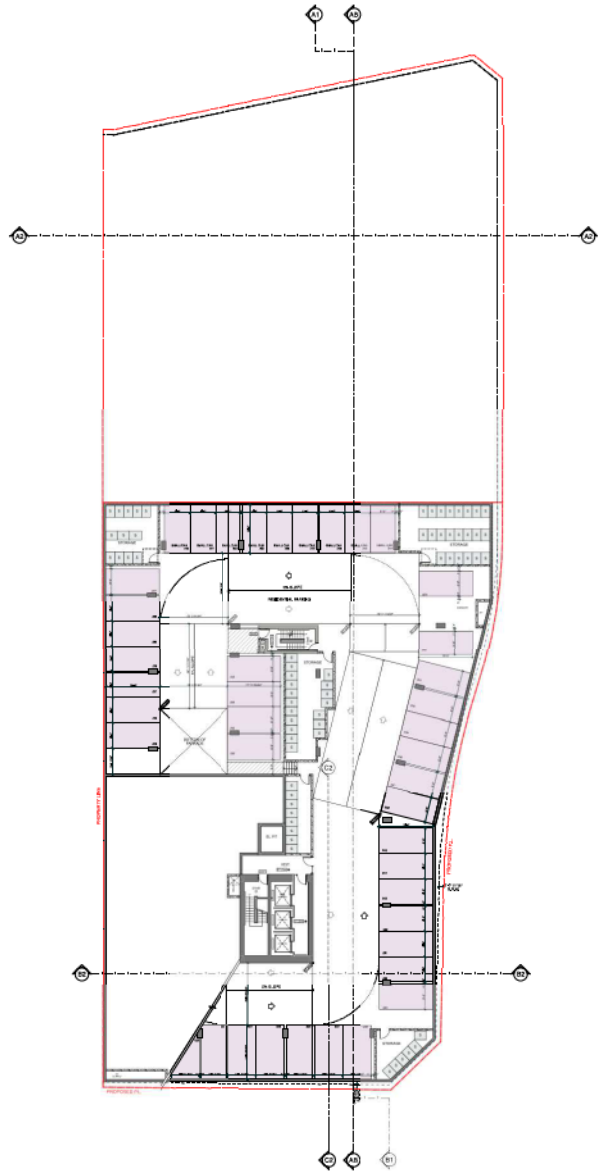
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4.3m REQ'D SETBACK LINE

4.6m REQ'D SETBACK LINE

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LEVEL P7  
 15m 5m 0

**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

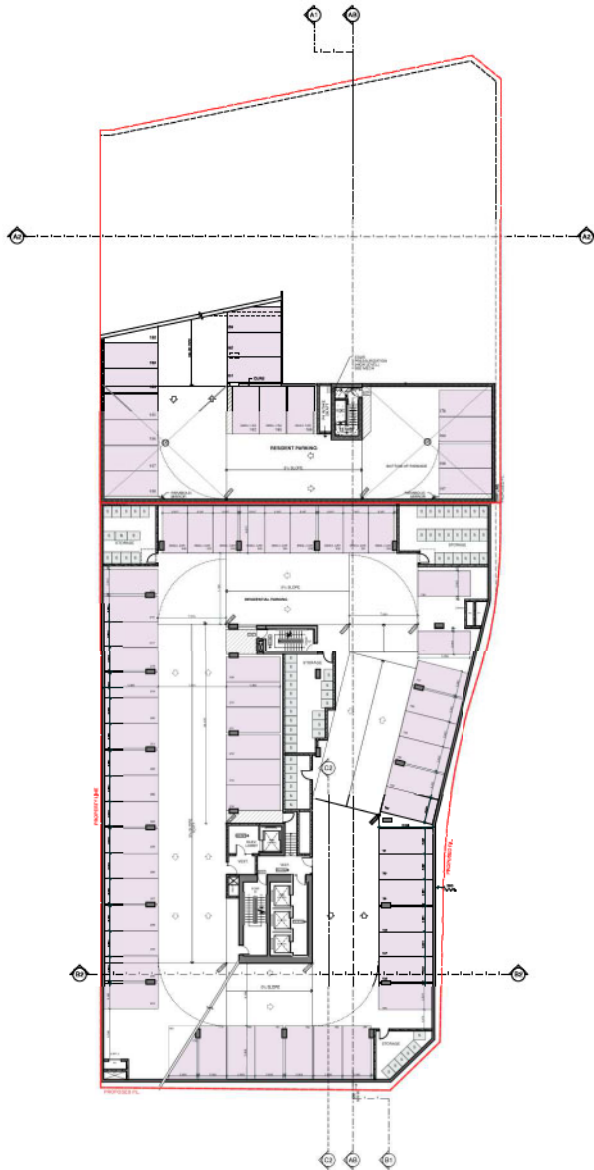
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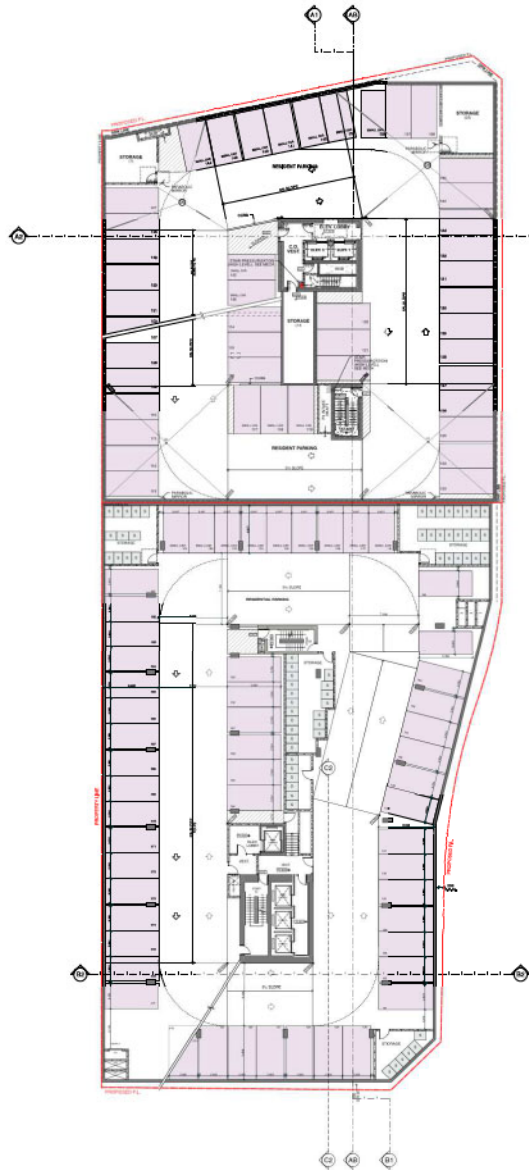
**bingham hill**  
 architects

101-103 West Fraser Road, Suite 100  
 West Fraser Development  
 13265 104 Avenue  
 Surrey, BC V3W 2R7  
 Tel: (604) 273-1111  
 Fax: (604) 273-1112  
 Email: info@binghamhill.com

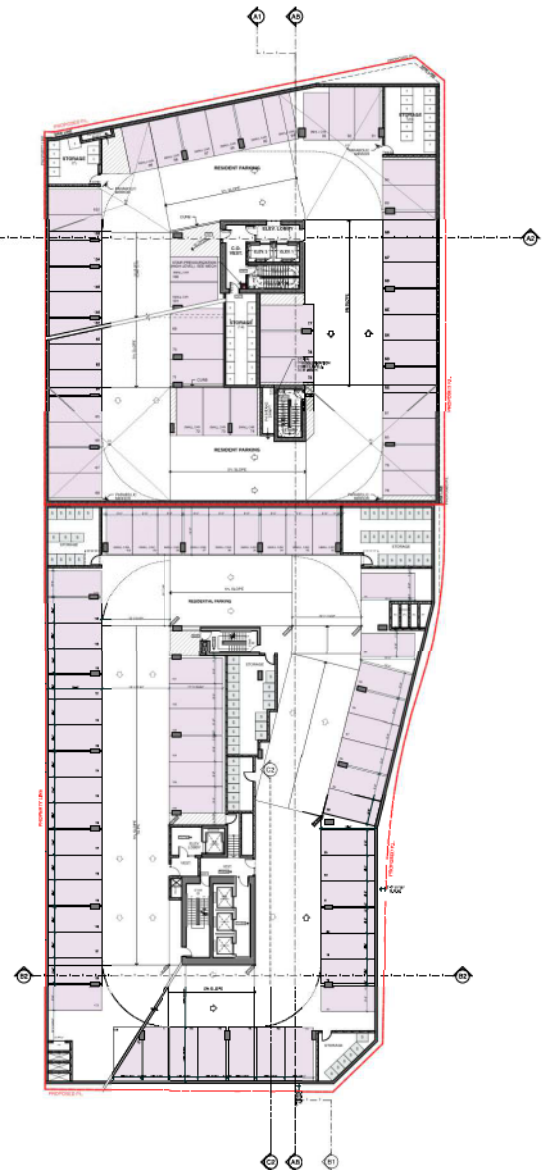




LEVEL P6  
 15m 5m 0



LEVEL P5  
 15m 5m 0



LEVEL P4  
 15m 5m 0

**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

NO.	DESCRIPTION	DATE
1	Issue for Review	2024-08-20
2	Issue for Review	2024-08-20
3	Issue for Review	2024-08-20
4	Issue for Review	2024-08-20
5	Issue for Review	2024-08-20
6	Issue for Review	2024-08-20
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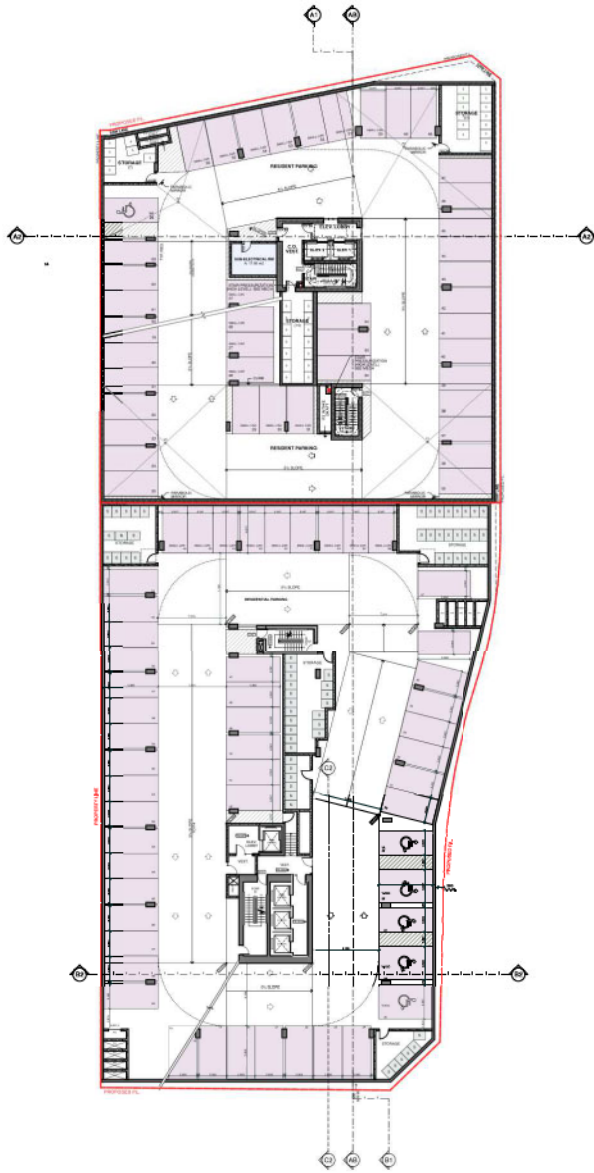
**bingham hill**  
 ARCHITECTS



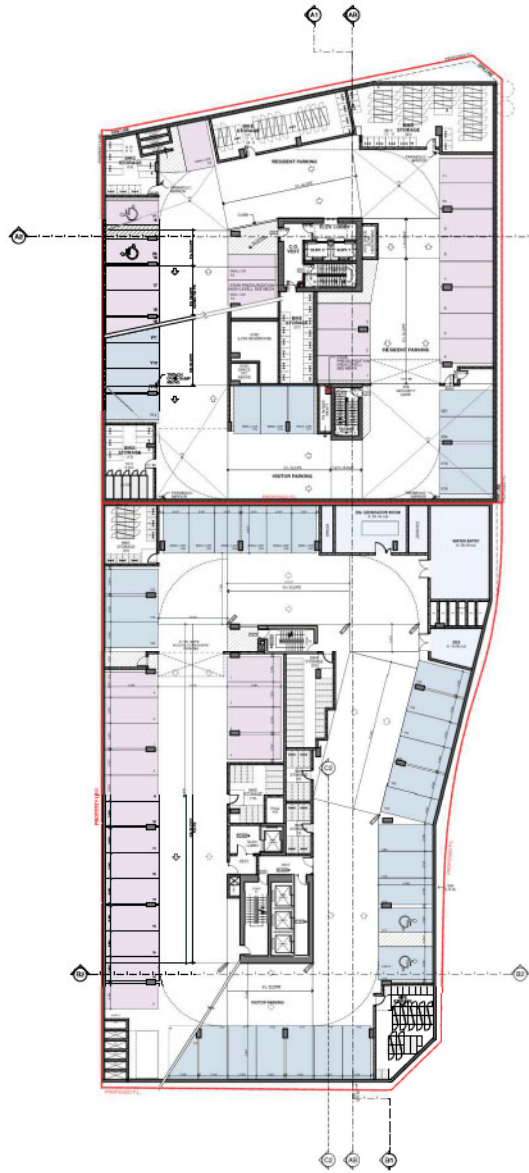
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 SHEET: A3.05

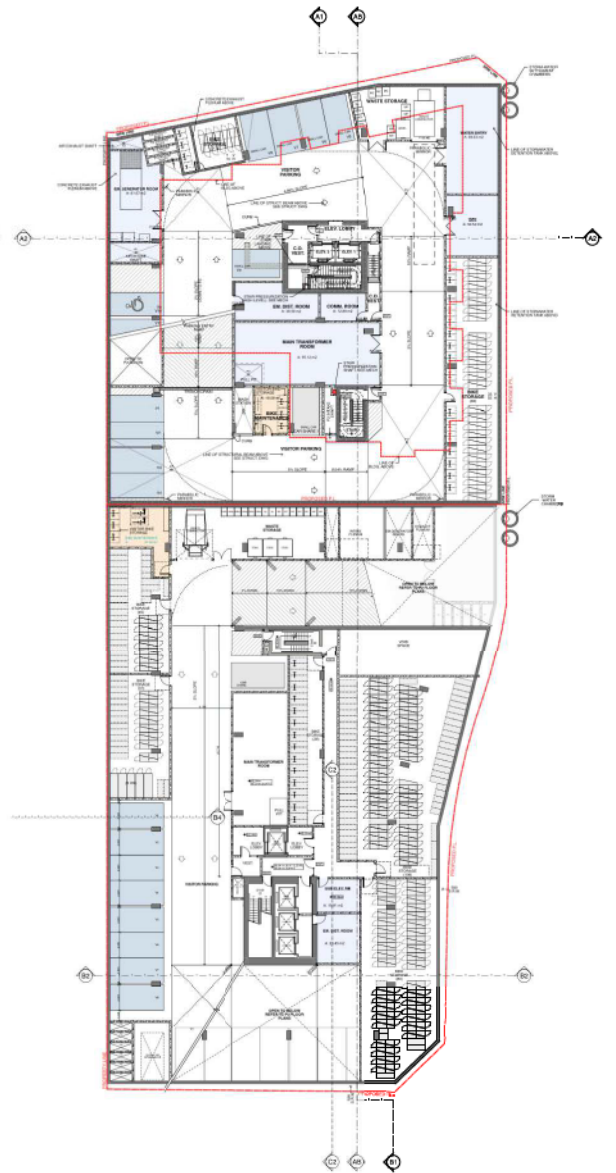




LEVEL P3  
 15m 5m 0



LEVEL P2  
 15m 5m 0



LEVEL P1  
 15m 5m 0

**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

REVISIONS

NO.	DATE	DESCRIPTION	BY	CHKD
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**bingham hill**  
 architects

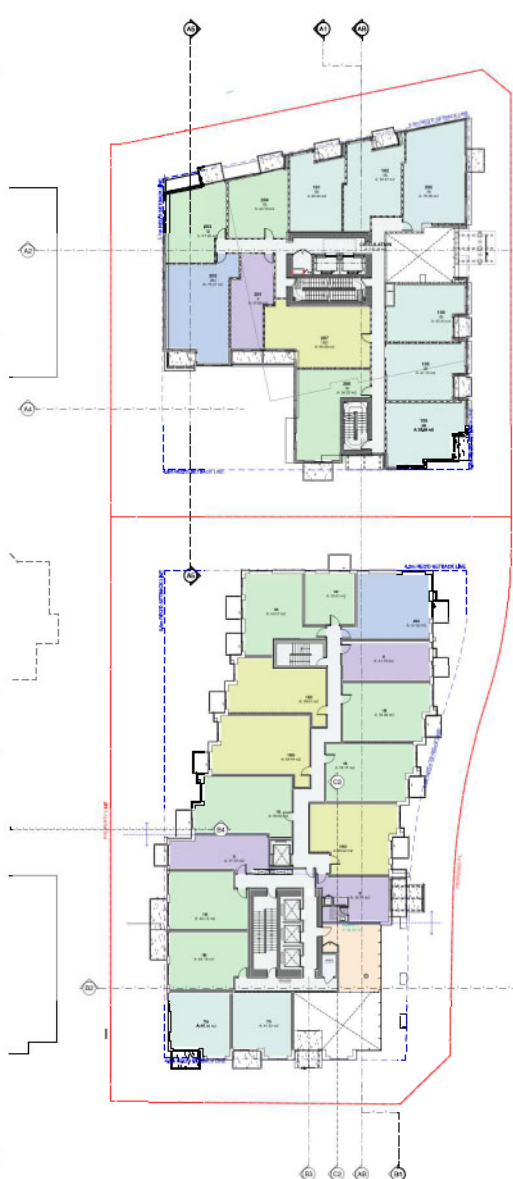


OVERALL PLANS P3  
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A3.06



LEVEL 1



LEVEL 2



LEVEL 3



**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

NO.	DESCRIPTION	DATE
1	Issue for Approval	2024-07-10
2	Issue for Approval	2024-07-10
3	Issue for Approval	2024-07-10
4	Issue for Approval	2024-07-10
5	Issue for Approval	2024-07-10
6	Issue for Approval	2024-07-10
7	Issue for Approval	2024-07-10
8	Issue for Approval	2024-07-10
9	Issue for Approval	2024-07-10
10	Issue for Approval	2024-07-10

**bingham hill**  
 architects



OVERALL LEVEL 1 to 3 OVERALL

1:500 A3.07



**LEVEL 4**  
 15m 5m 0



**LEVEL 5**  
 15m 5m 0



**LEVEL 6**  
 15m 5m 0

**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

NO.	DESCRIPTION	DATE
1	Issue for Approval	2024-08-20
2	Issue for Approval	2024-08-20
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4	Issue for Approval	2024-08-20
5	Issue for Approval	2024-08-20
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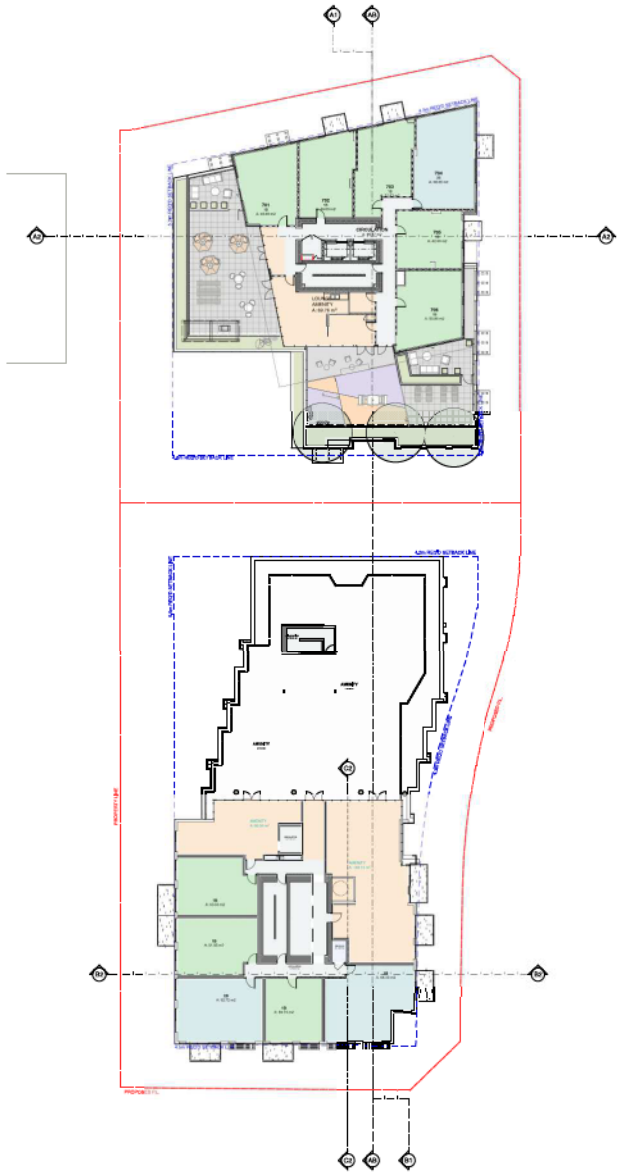
**bingham hill**  
 architects



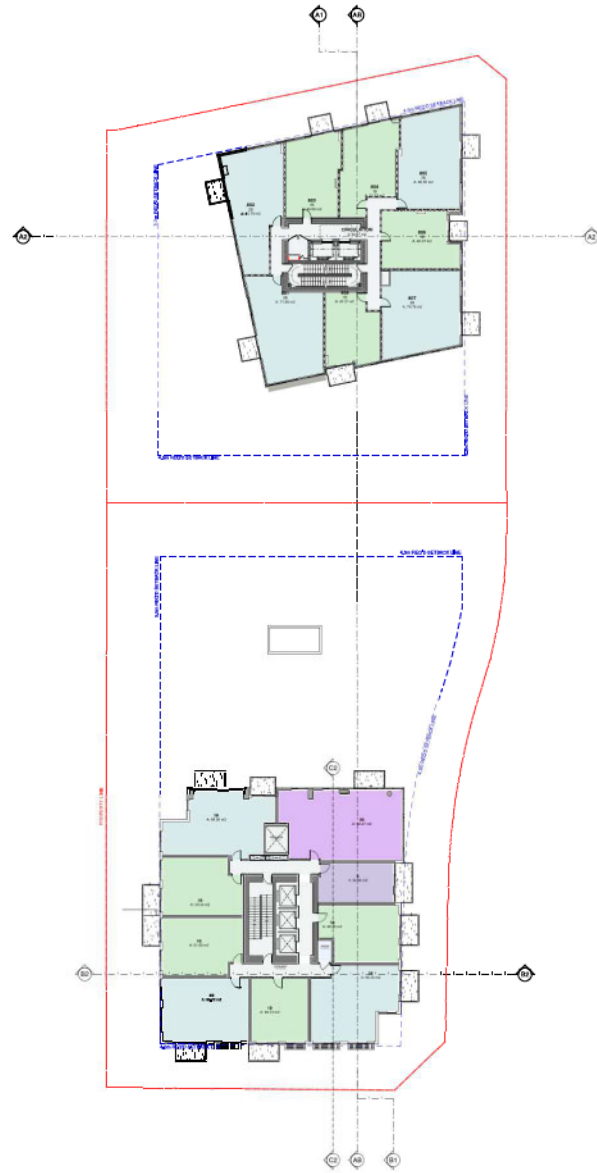
OVERALL LEVELS 4 TO 6

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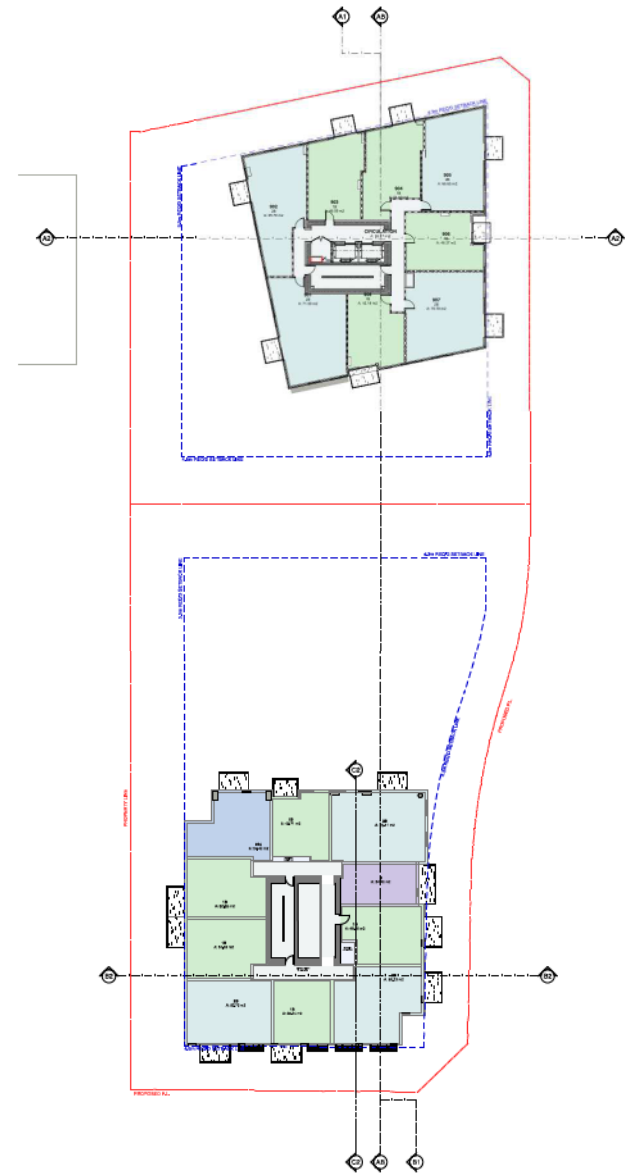




**LEVEL 7**  
 15m 5m 0



**LEVEL 8**  
 15m 5m 0



**LEVEL 9-24**  
 15m 5m 0

**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

NO.	DESCRIPTION	DATE
1	Issue for Review	2024-08-20
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**bingham hill**  
 architects

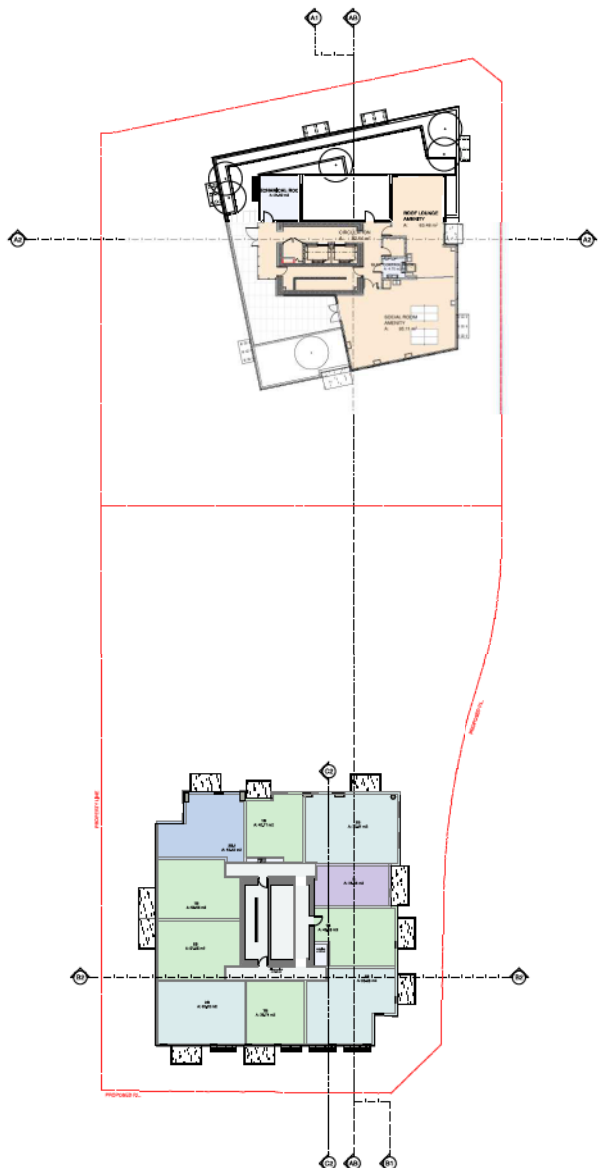


**OVERALL LEVELS 7 to 24**

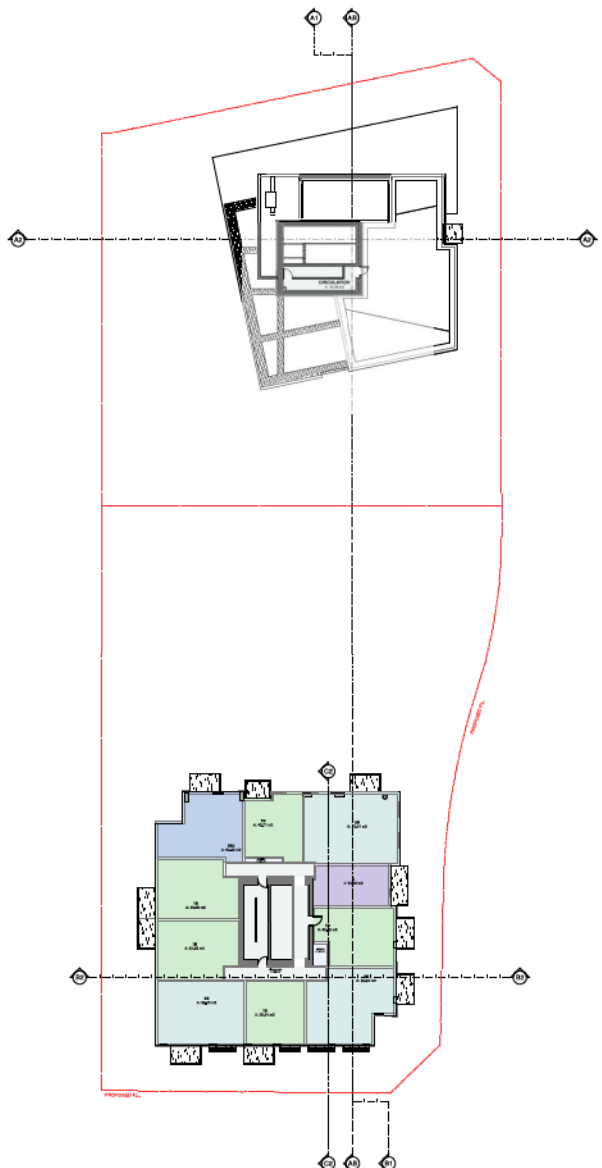
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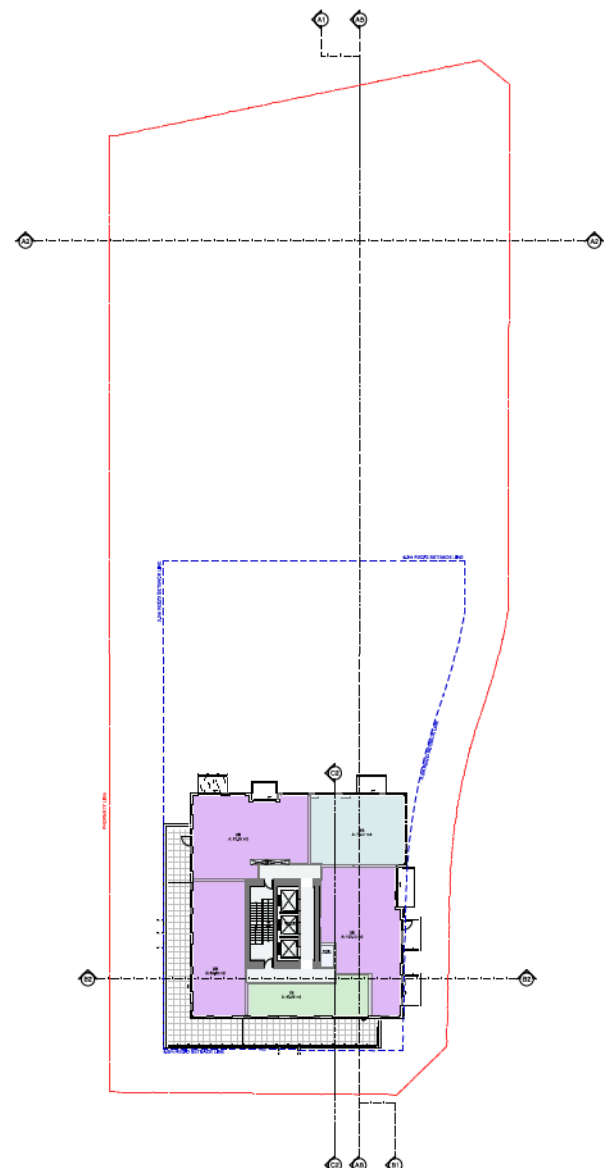




LEVEL 25  
15m 5m 0



LEVEL 26-32  
15m 5m 0



LEVEL 33  
15m 5m 0

**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

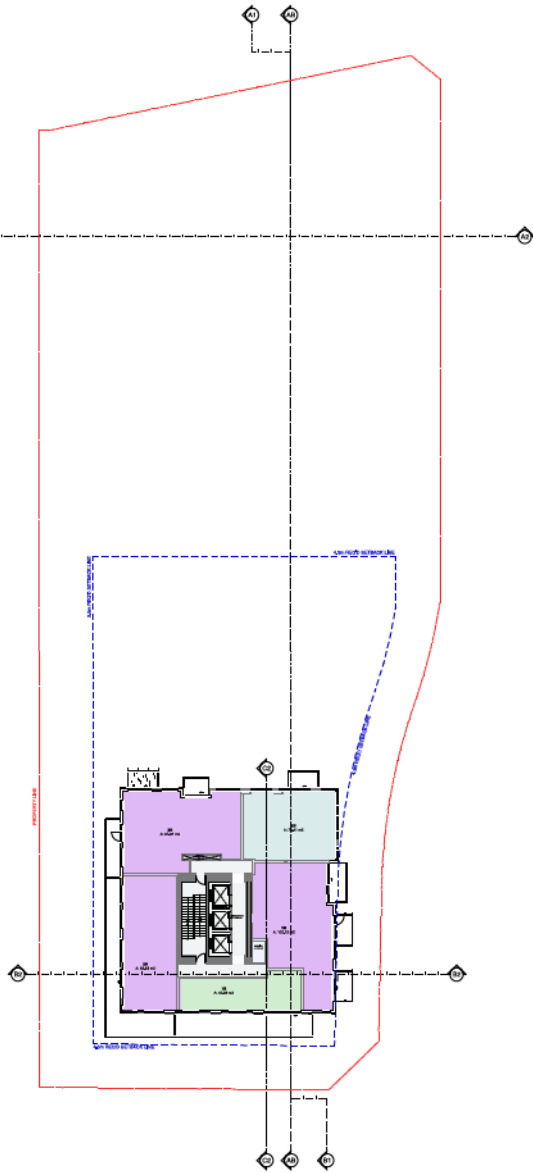
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9	ISSUE FOR PERMIT	2024
10	ISSUE FOR PERMIT	2024

**bingham hill**  
architects  
107-1080 FINESTRA ROAD  
VANCOUVER, BC V6H 2G6  
TEL: 604.273.1111  
WWW.BINGHAMHILLARCHITECTS.COM



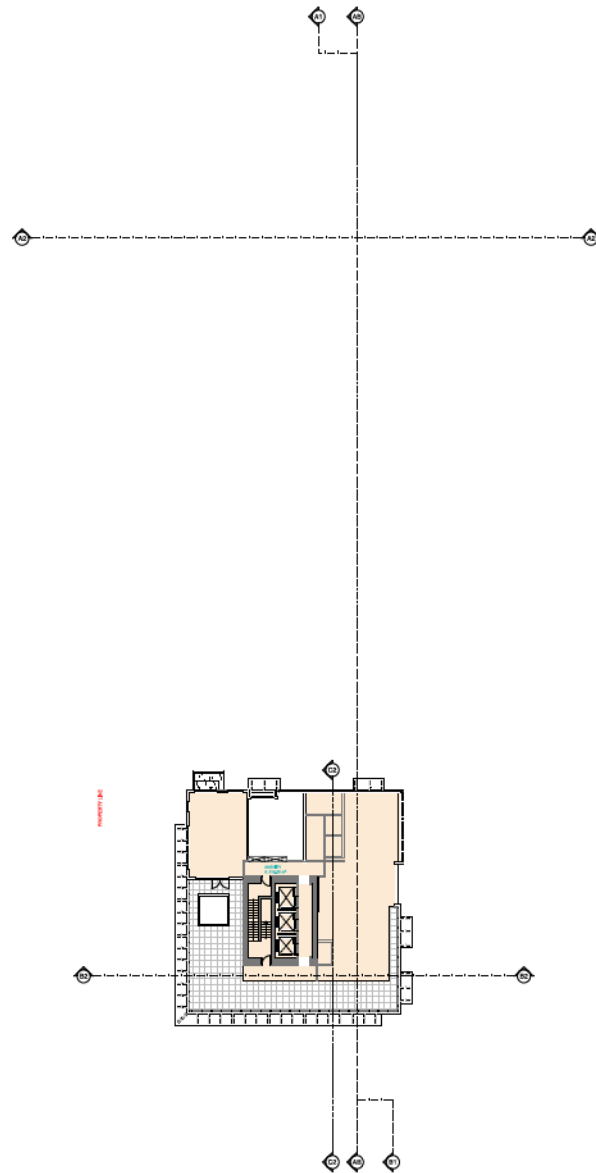
OVERALL LEVEL 25 TO 33

A3.10



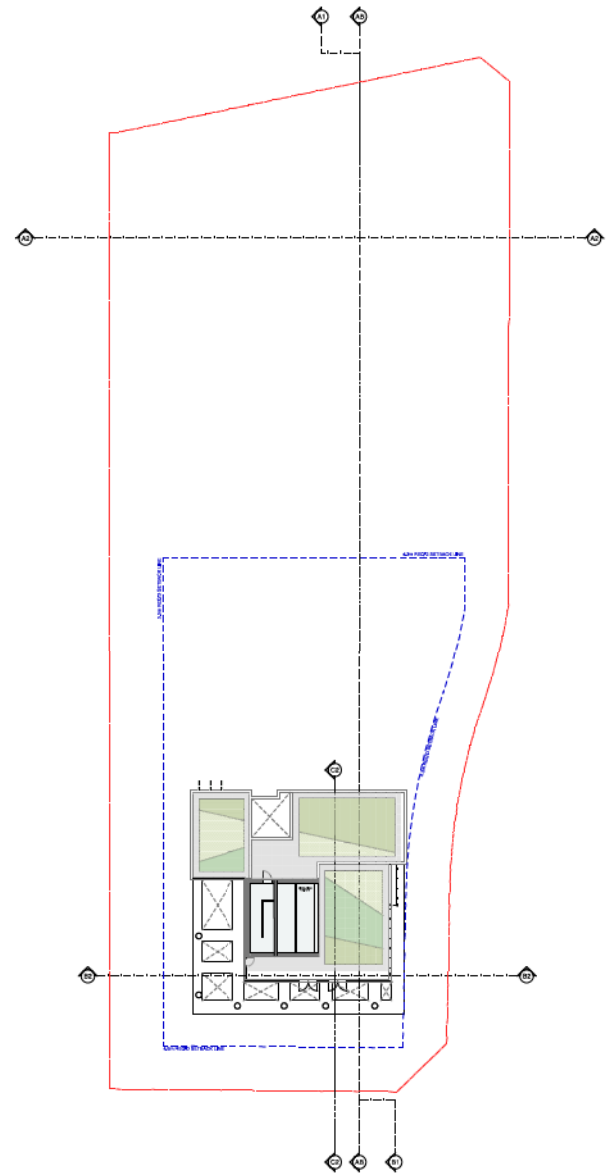
LEVEL 34

15m 5m 0



LEVEL 35

15m 5m 0



ROOF LEVEL (BUILDING B)

15m 5m 0

13265 104 AVENUE  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

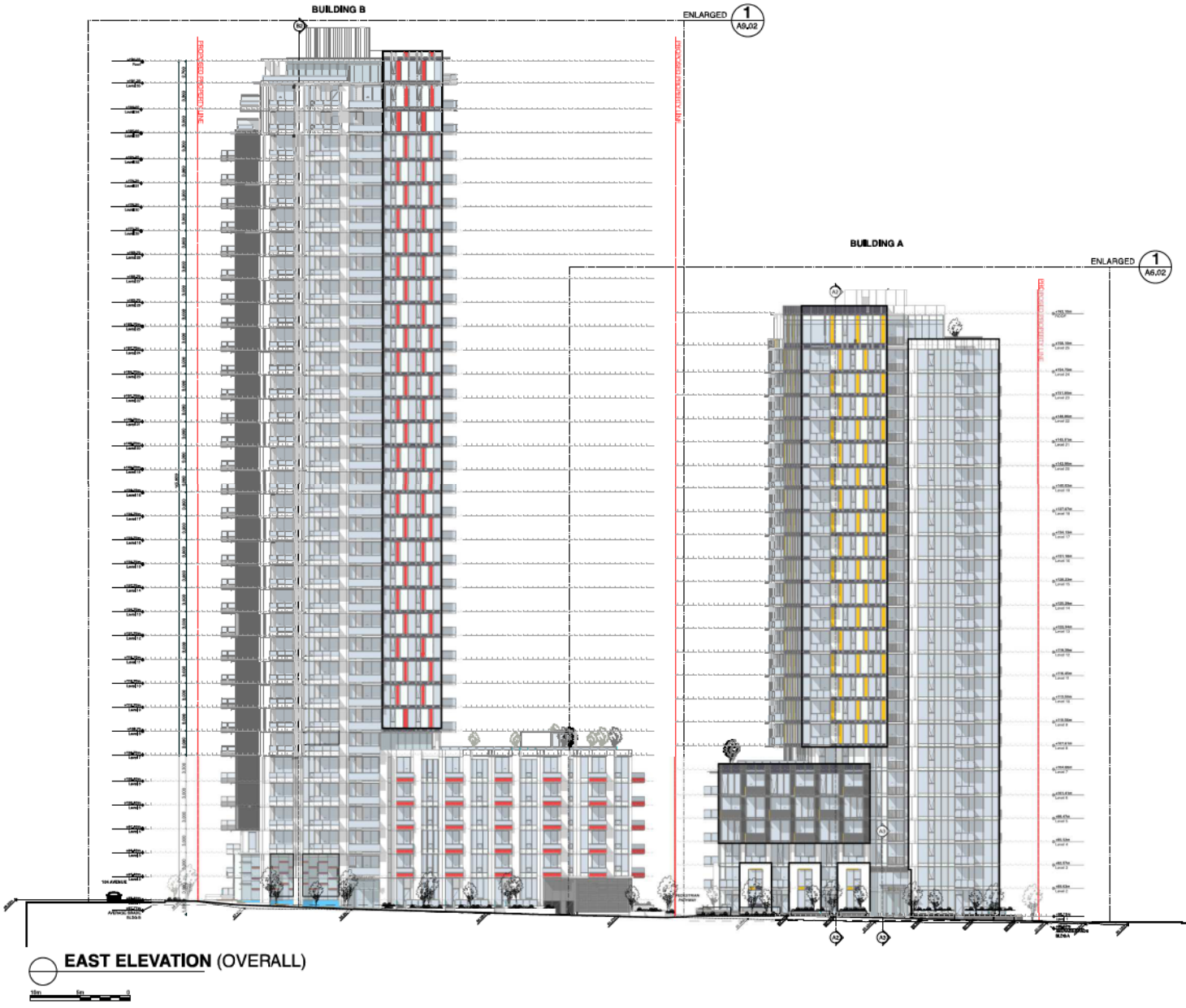
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bingham hill  
architects  
107-1100 BROADWAY  
VANCOUVER, BC V6Z 1Y1  
TEL: 604-271-1111  
WWW.BINGHAMHILL.COM



OVERALL LEVEL 34  
TO ROOF

A3.11



**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

13265 104 AVENUE - PART 1 OF 2 - 2024

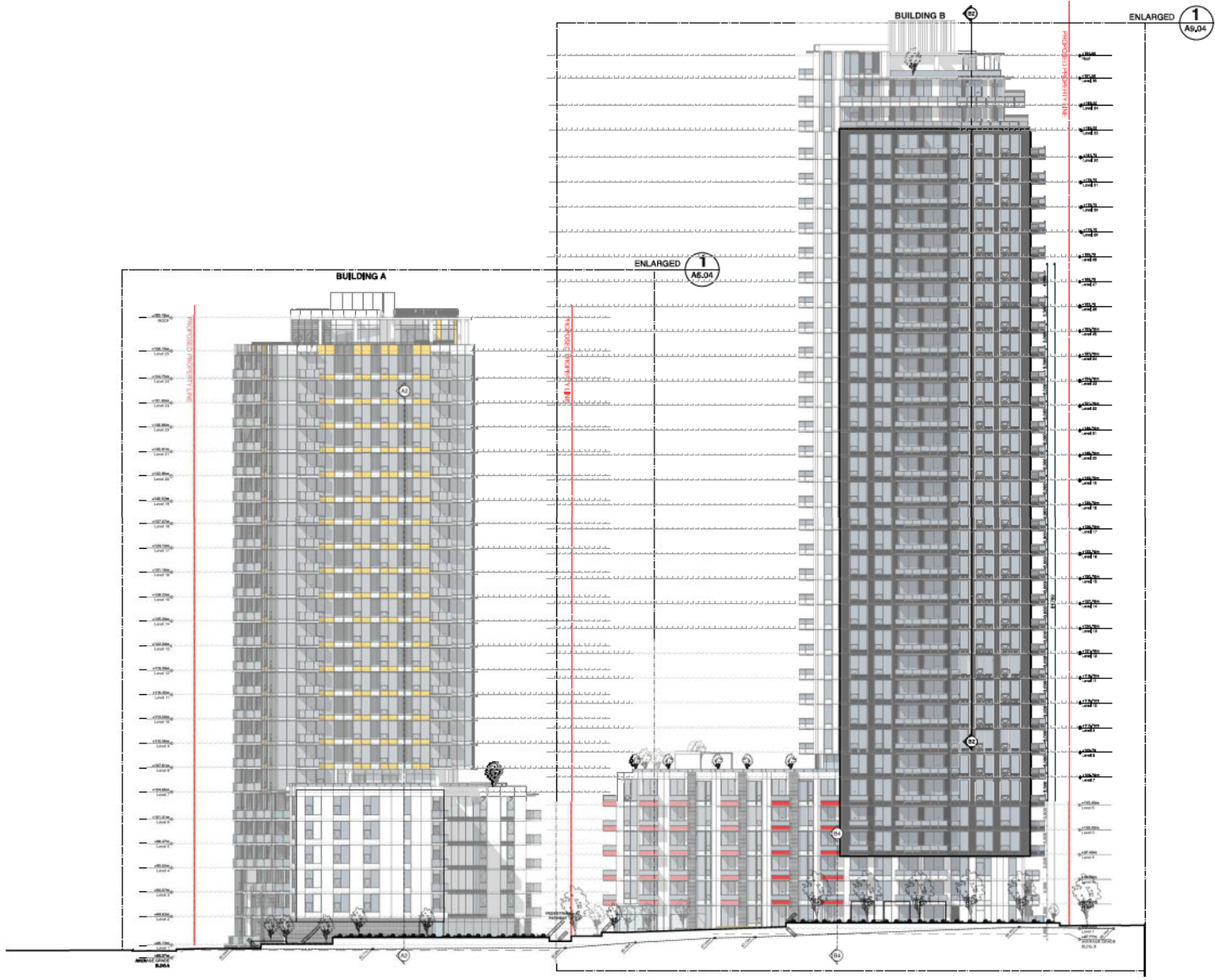
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6	REVISION	2024
7	ISSUED FOR PERMIT	2024
8	REVISION	2024
9	ISSUED FOR PERMIT	2024
10	REVISION	2024

**bingham hill architects**  
207-1488 BRIDGEWAY SUITE 100  
SURREY, BC V4A 1E1  
TEL: 604-273-1111  
WWW.BINGHAMHILLARCHITECTS.COM



**OVERALL EAST ELEVATION**

SCALE: 1:300  
**A4.01**




**WEST ELEVATION (OVERALL)**  


**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

PROJECT: 13265 104 AVENUE

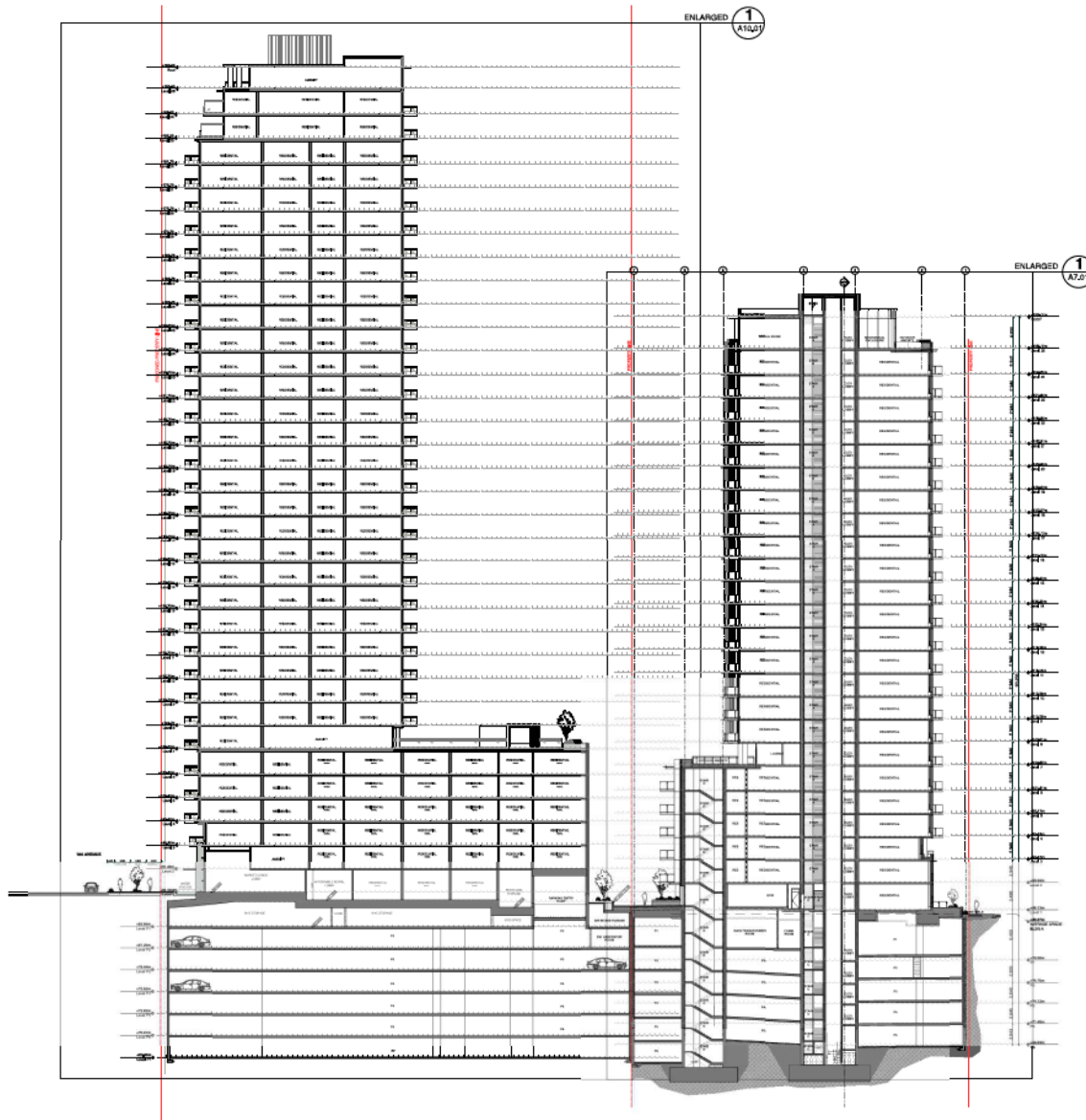
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97	CONCEPT DESIGN	2021
98	PRELIMINARY DESIGN	2021
99	SCHEMATIC DESIGN	2021
100	DESIGN DEVELOPMENT	2021

**bingham hill**  
 architects  
 107-1088 Avenue Road  
 Vancouver, BC V6P 6E1  
 Tel: 604.271.1111  
 Fax: 604.271.1112  
 www.binghamhill.com



OVERALL WEST ELEVATION

SCALE: 1:300  
 SHEET: A4.02



**LEGEND**

- PROPOSED GRADE
- EXISTING GRADE

**SECTION AB**



**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

DATE: 2014-07-23 10:30 AM

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2014-07-23
2	ISSUED FOR PERMIT	2014-07-23
3	ISSUED FOR PERMIT	2014-07-23
4	ISSUED FOR PERMIT	2014-07-23
5	ISSUED FOR PERMIT	2014-07-23
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bingham hill architects

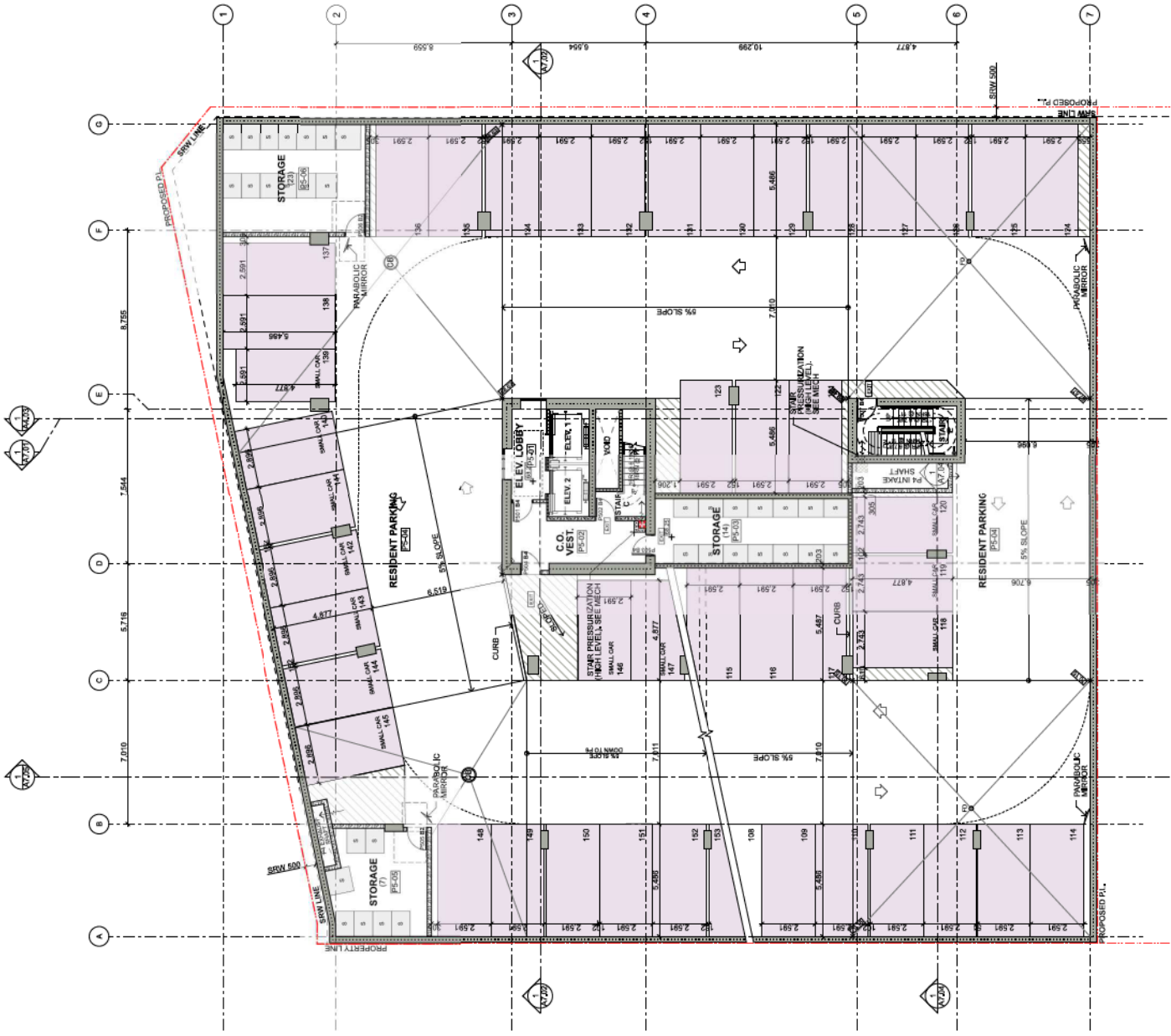
207-1040 Avenue West  
 Suite 1000  
 West Fraser Development  
 13265 104 Avenue  
 Surrey, BC V3W 2R9  
 Tel: 604-273-1111  
 Fax: 604-273-1112  
 www.binghamhill.com



**SECTION AB**

ALL DIMENSIONS UNLESS OTHERWISE NOTED  
 SCALE: 1:800  
**A4.03**





**LEGEND**

- SECTION LINE
- SETBACK LINE
- SRW LINE
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE

**BUILDING A - LEVEL P5**



**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

Phase February 28, 2024

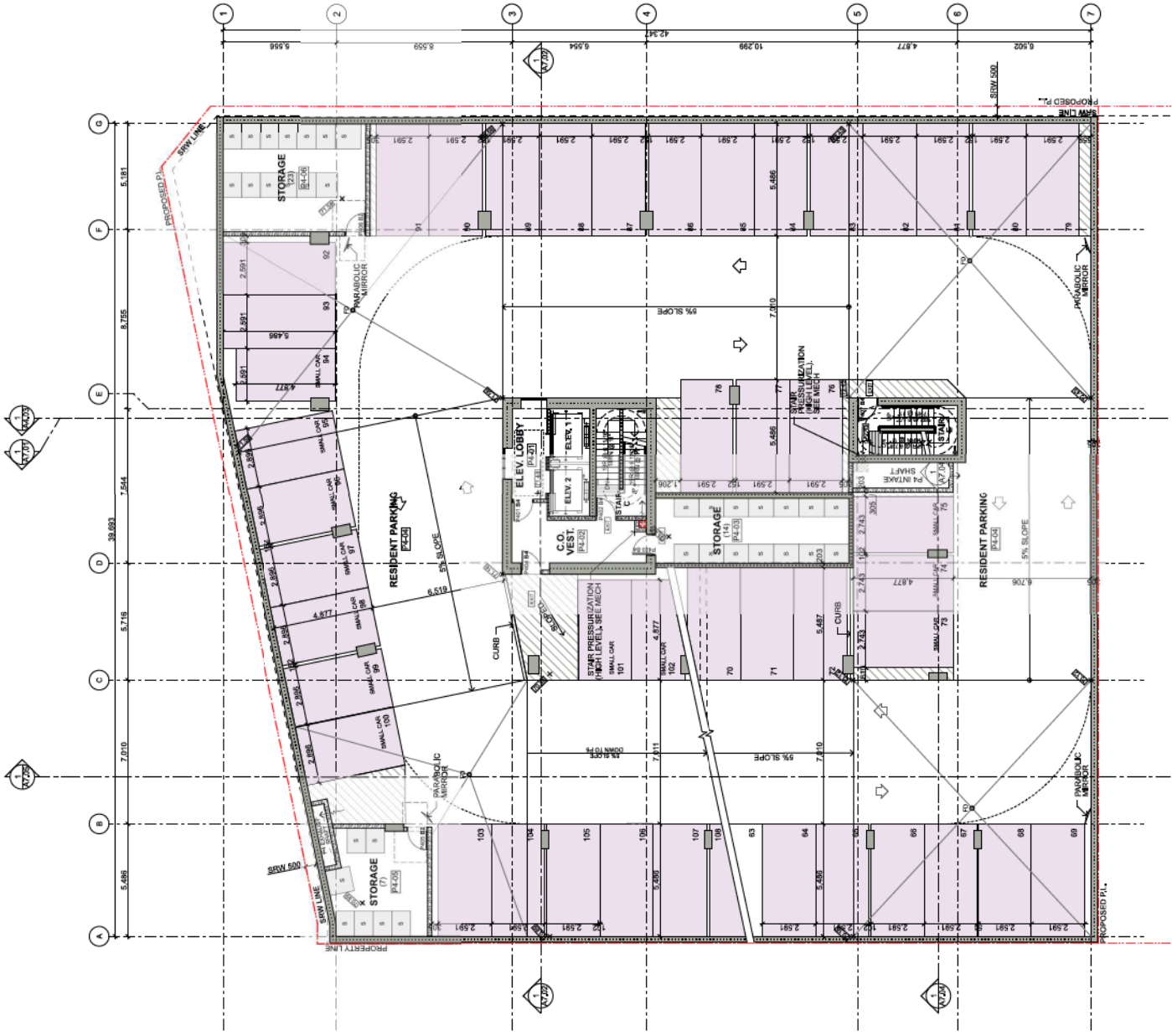
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**BUILDING A  
 LEVEL P5**

Scale: 1/200

Sheet: A5.02



**LEGEND**

- SECTION LINE
- SETBACK LINE
- SRW LINE
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE

**BUILDING A - LEVEL P4**



**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

Phase February 22, 2024

NO.	DESCRIPTION	DATE	BY	CHECKED
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**bingham hill**  
ARCHITECTS

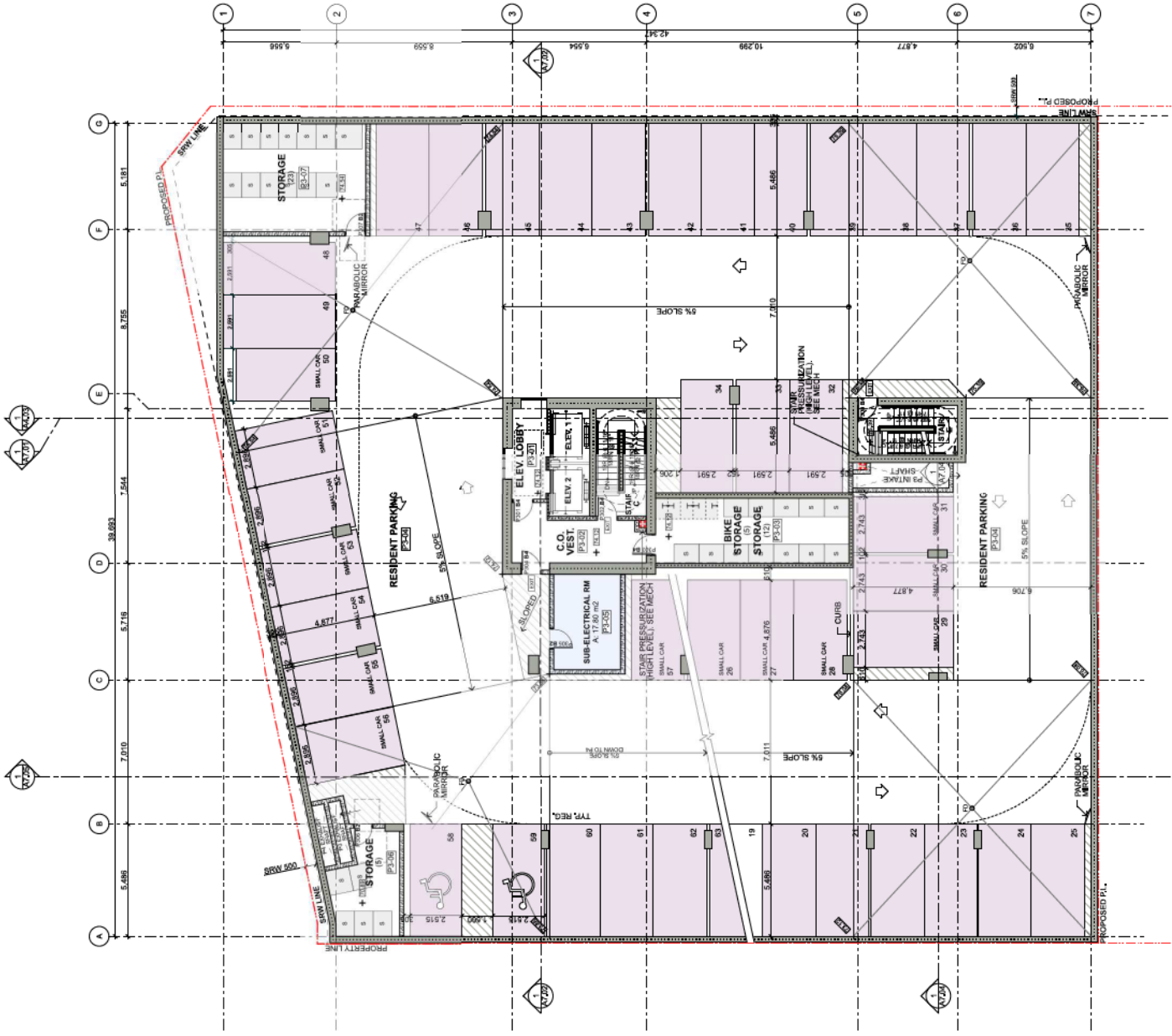
13265 104 AVENUE  
SURREY, BC V3W 2R7  
TEL: 604.592.1111  
WWW.BINGHAMHILLARCHITECTS.COM

**BUILDING A**  
LEVEL P4

1/200

A5.03





**LEGEND**

- SECTION LINE
- SETBACK LINE
- SRW LINE
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE

**BUILDING A - LEVEL P3**

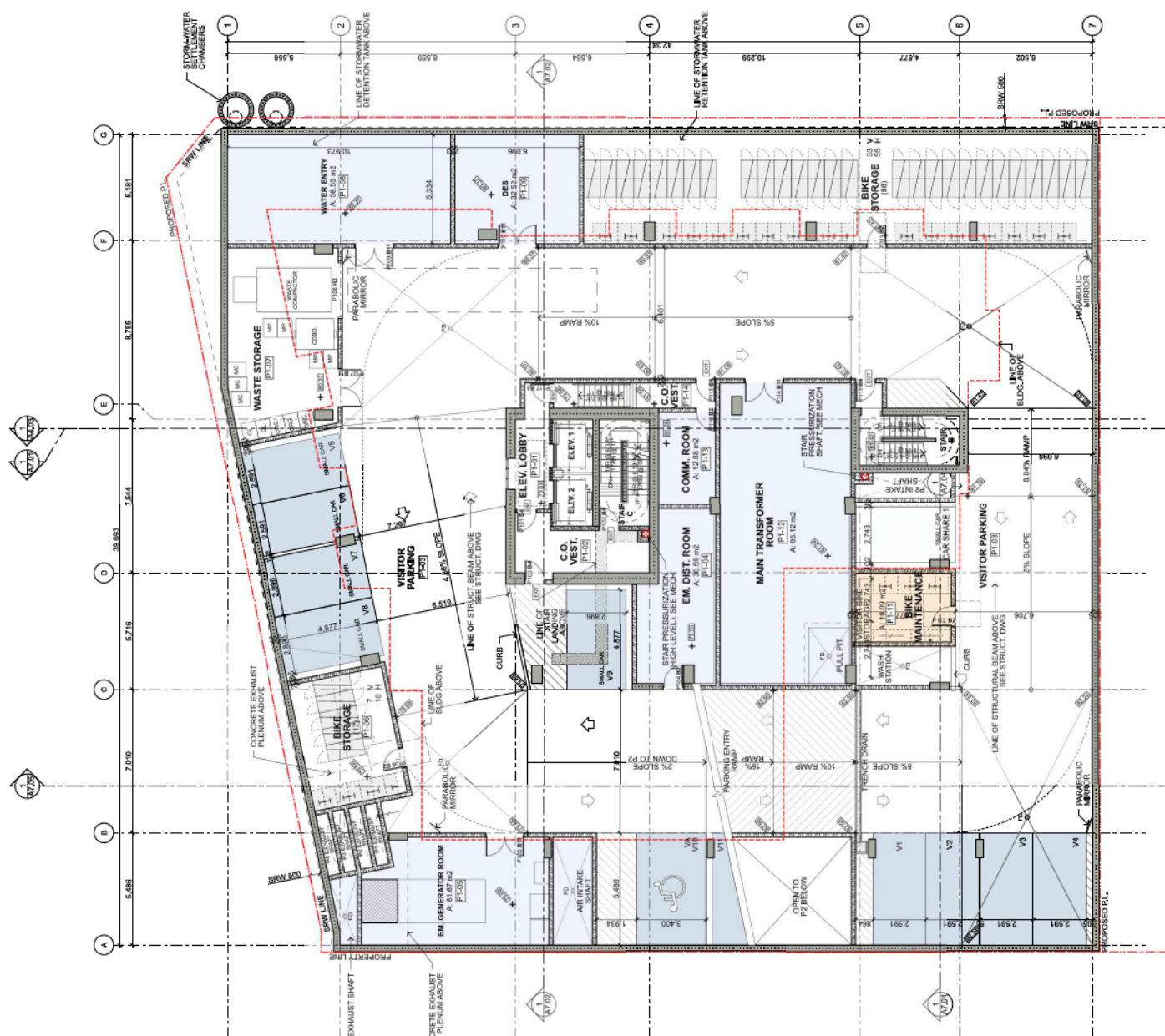


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**bingham hill**
  
 architects

**BUILDING A**
  
**LEVEL P3**





**LEGEND**

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SETBACK LINE	- - -
SRW LINE	---
PROPOSED PROPERTY LINE	- - -
EXISTING PROPERTY LINE	---

**BUILDING A - LEVEL P1**

10m 5m 0

13265 104 AVENUE  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

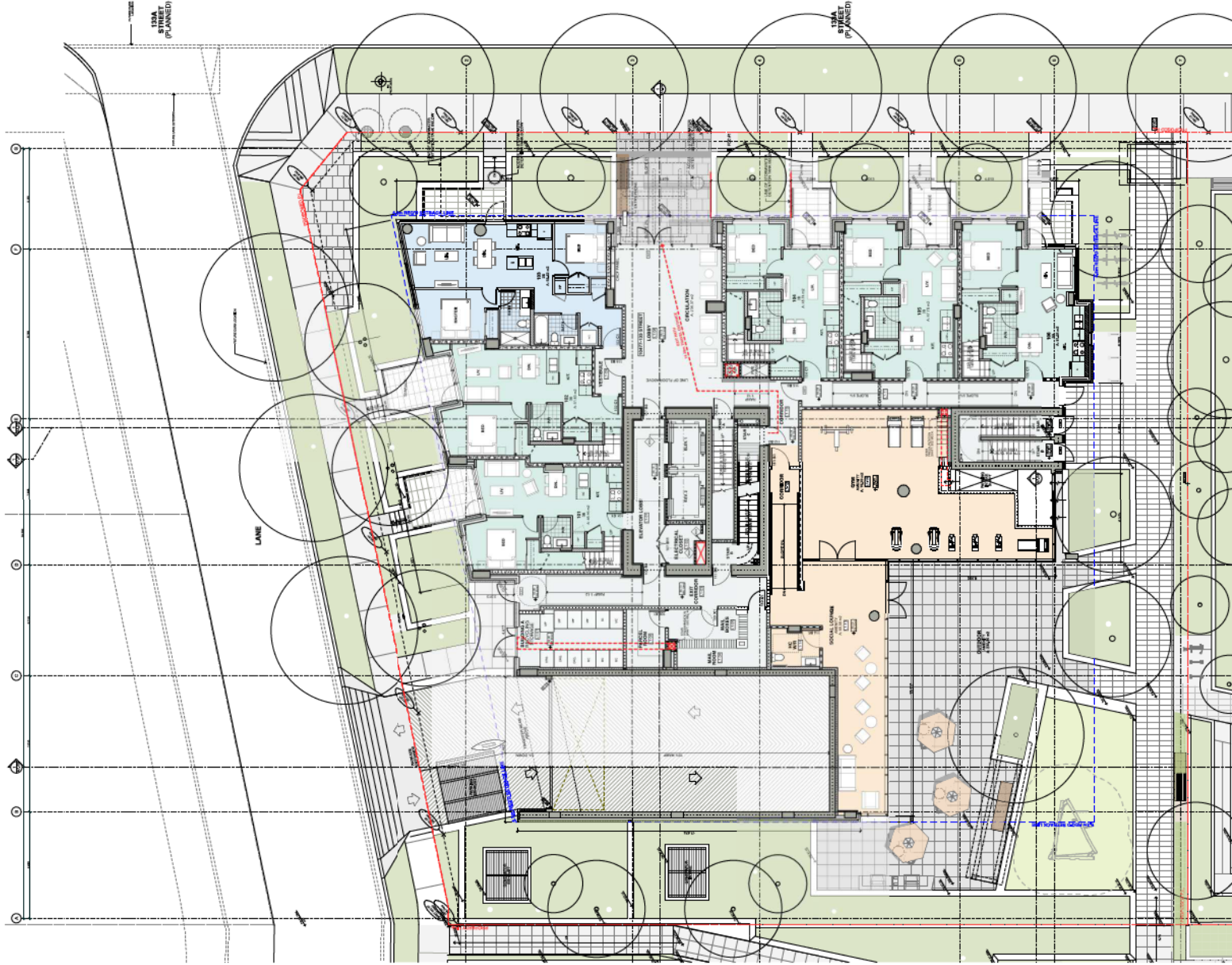
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**Building A**  
LEVEL P1

Scale: 1:200

Sheet: A5.06

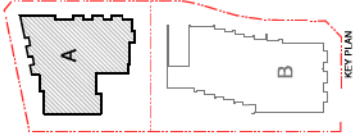


**LEGEND**

- SECTION LINE
- SETBACK LINE
- SRW LINE
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE

**BUILDING A - LEVEL 1**

10m 5m 0

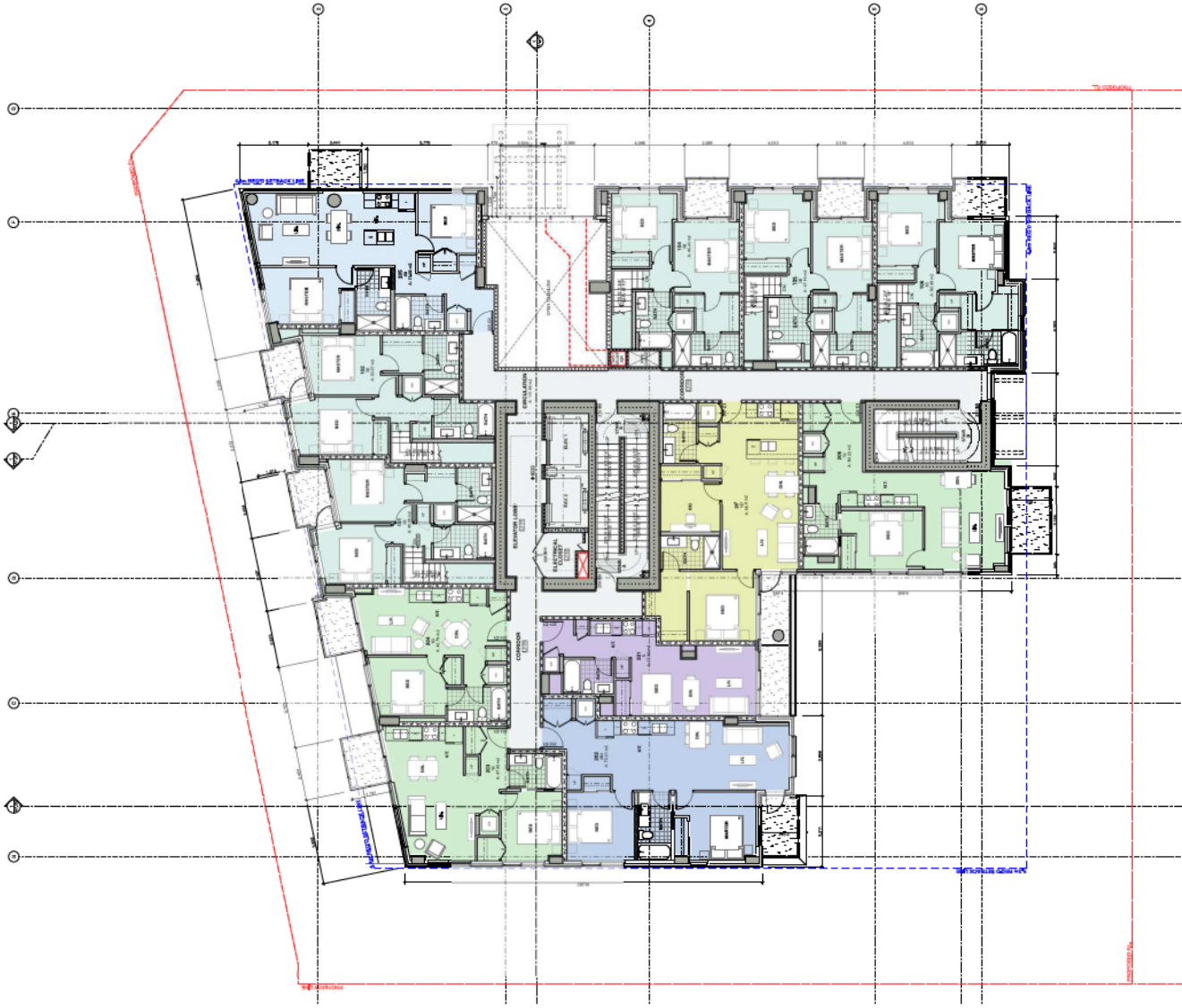


**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

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ARCHITECTS

BUILDING A  
LEVEL 1

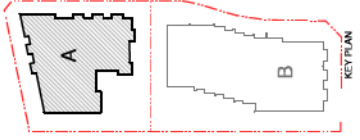
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**LEGEND**

- SECTION LINE
- SETBACK LINE
- SRW LINE
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE

**BUILDING A - LEVEL 2**



**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

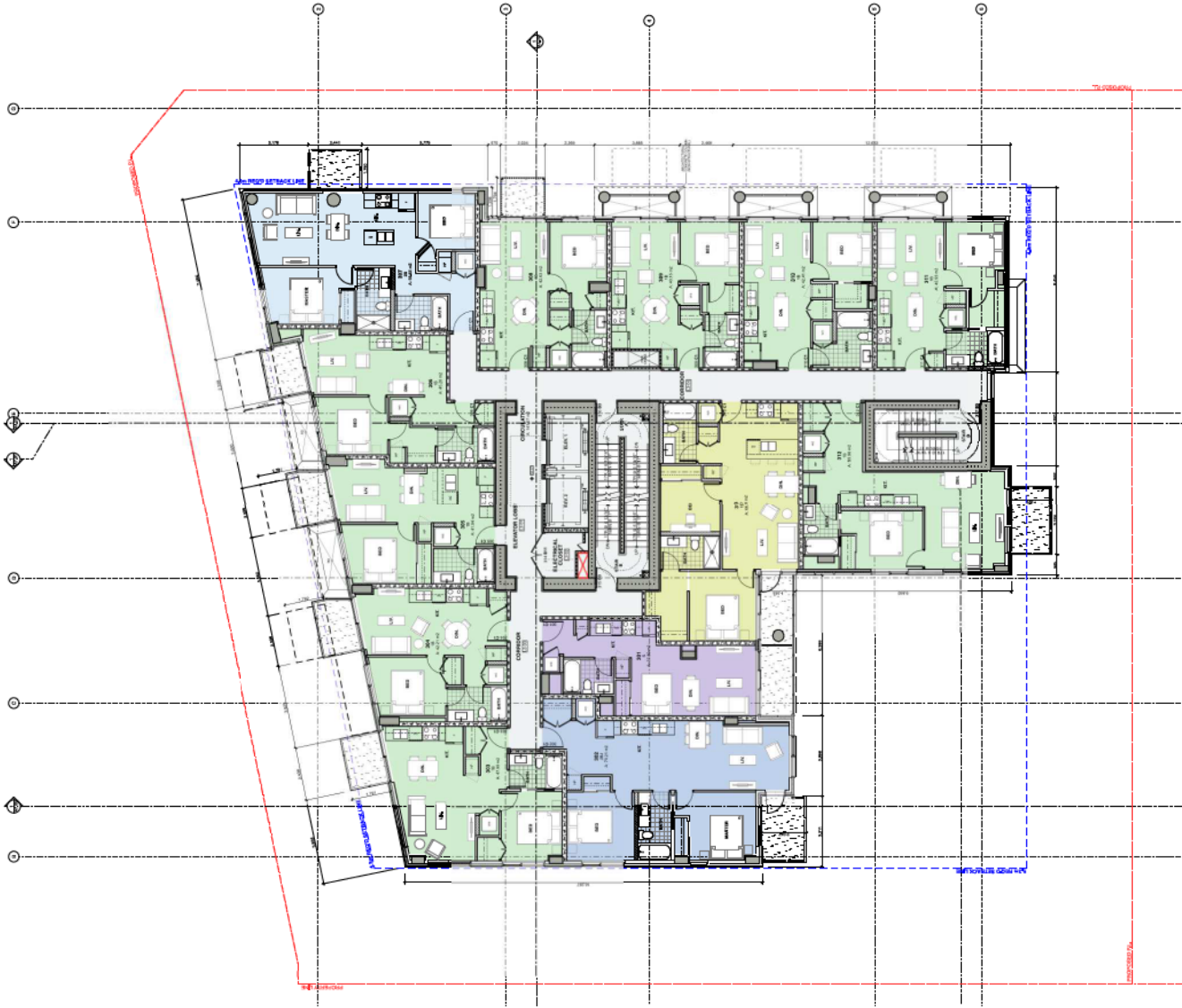
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9	ISSUED FOR PERMIT	2020-02-20
10	ISSUED FOR PERMIT	2020-02-20

**bingham hill architects**  
227-1240 W. 49th Street  
Vancouver, BC V6P 6K6  
Tel: 604-273-1234  
Fax: 604-273-1235  
www.binghamhill.com

**BUILDING A  
LEVEL 2**

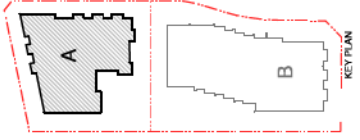
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**LEGEND**

- SECTION LINE
- SETBACK LINE
- SRW LINE
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE

**BUILDING A - LEVEL 3**



**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

Thursday, February 20, 2020

NO.	DESCRIPTION	DATE	BY	CHECKED
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10	ISSUED FOR PERMIT	2020-02-20		

**bingham hill architects**

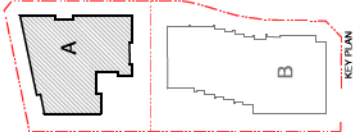
227-1240 W. 49TH AVENUE  
VANCOUVER, BC V6P 4K4  
TEL: 604-273-1240  
WWW.BINGHAMHILLARCHITECTS.COM

**BUILDING A  
LEVEL 3**

ALL DIMENSIONS SHOWN IN METRIC UNITS

DATE	2020-02-20
SCALE	1:200
PROJECT NO.	13265-104-AV
DATE PLOTTED	2020-02-20
PLANNER	
PROJECT	13265-104-AV
DATE	2020-02-20
SCALE	1:200
PROJECT NO.	13265-104-AV
DATE PLOTTED	2020-02-20
PLANNER	

**A5.09**



**LEGEND**

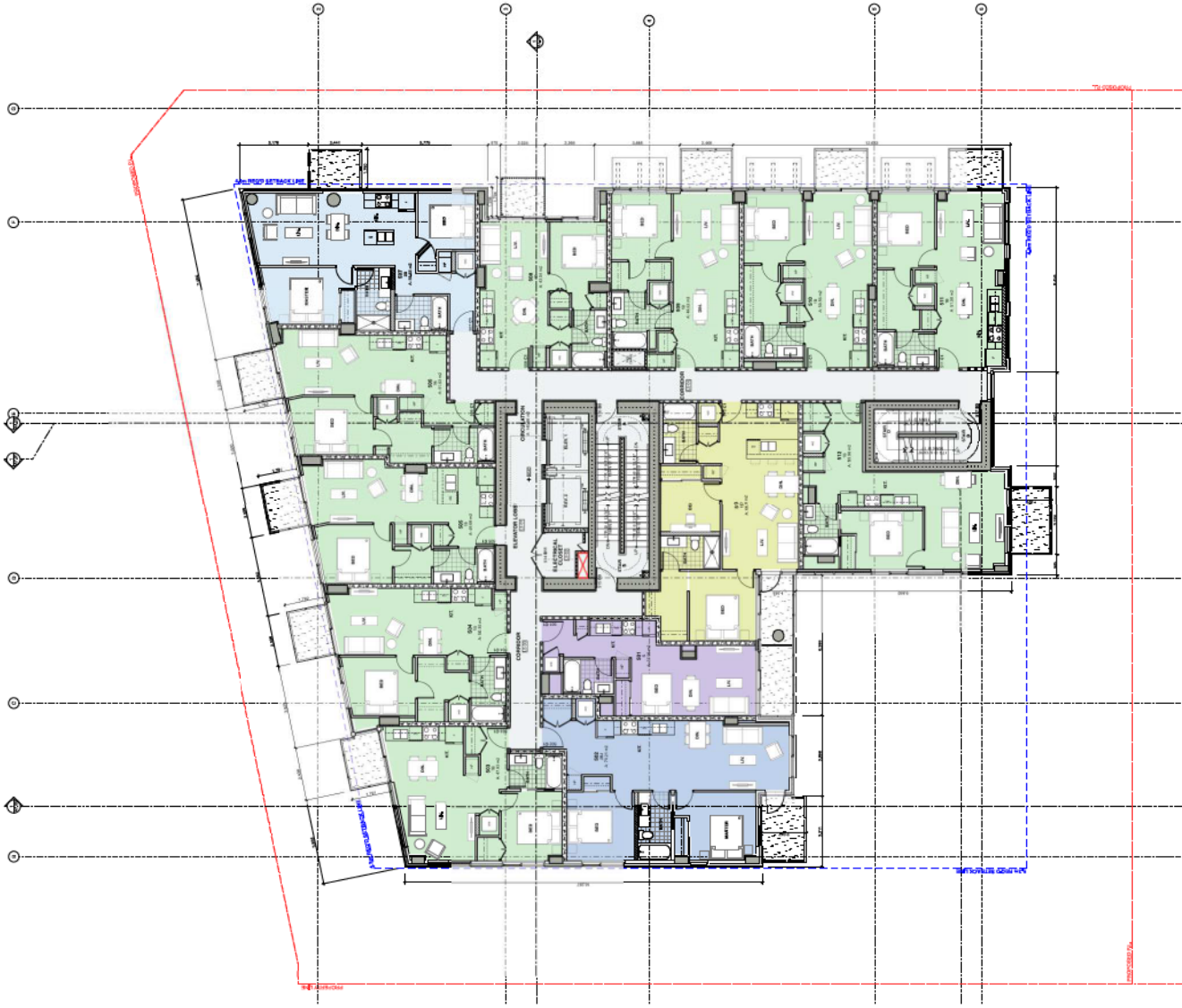
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EXISTING PROPERTY LINE	---



**BUILDING A - LEVEL 4 + 6**



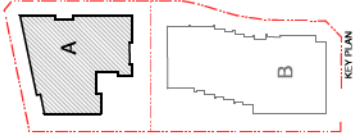
<p><b>13265 104 AVENUE</b> West Fraser Development CITY OF SURREY, BRITISH COLUMBIA</p>																																		
<p>Tuesday, February 20, 2024</p>																																		
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NO.	DESCRIPTION	DATE																																
1	ISSUED FOR PERMIT	2024																																
2	ISSUED FOR PERMIT	2024																																
3	ISSUED FOR PERMIT	2024																																
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9	ISSUED FOR PERMIT	2024																																
10	ISSUED FOR PERMIT	2024																																
	<p><b>BUILDING A</b> LEVEL 4 + 6</p>																																	
<p>Scale: 1/200</p>	<p>Sheet: A5.10</p>																																	



**LEGEND**

- SECTION LINE
- SETBACK LINE
- SRW LINE
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE

**BUILDING A - LEVEL 6**



**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

Tuesday, February 20, 2024

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2024.02.20
2	ISSUED FOR PERMIT	2024.02.20
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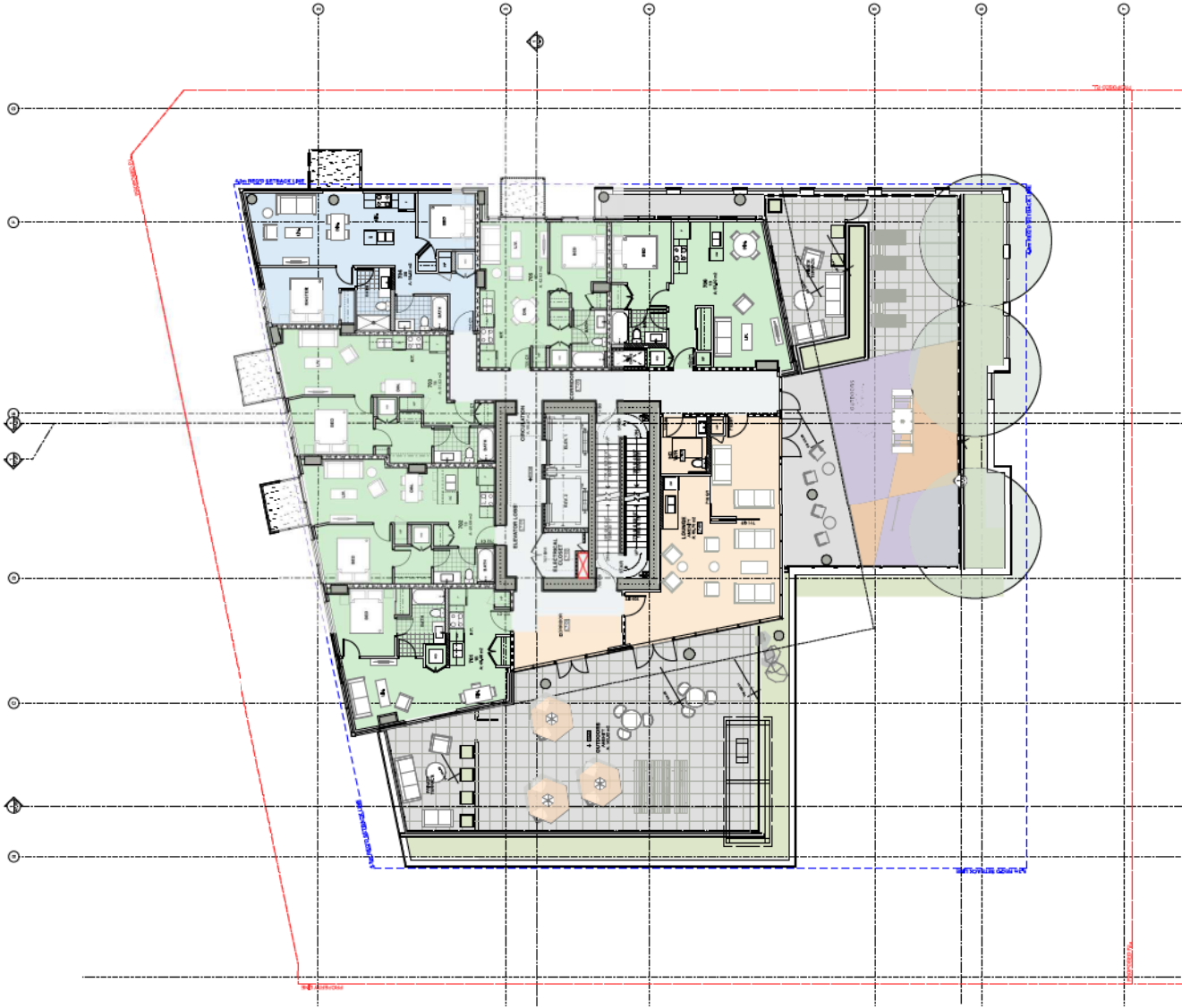
**bingham hill architects**  
 227-1240 4th Street, Surrey, BC V4A 4L2  
 Tel: 604.593.1234  
 Fax: 604.593.1235  
 www.binghamhill.ca

**BUILDING A  
 LEVEL 5**

ALL DIMENSIONS UNLESS OTHERWISE NOTED

DATE	2024
SCALE	1:200
SHEET NO.	A5.11

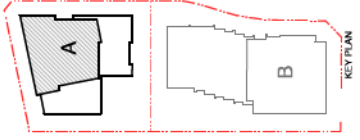




**LEGEND**

- SECTION LINE
- SETBACK LINE
- SRW LINE
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE

**BUILDING A - LEVEL 7**



**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

Drawing: February 20, 2024

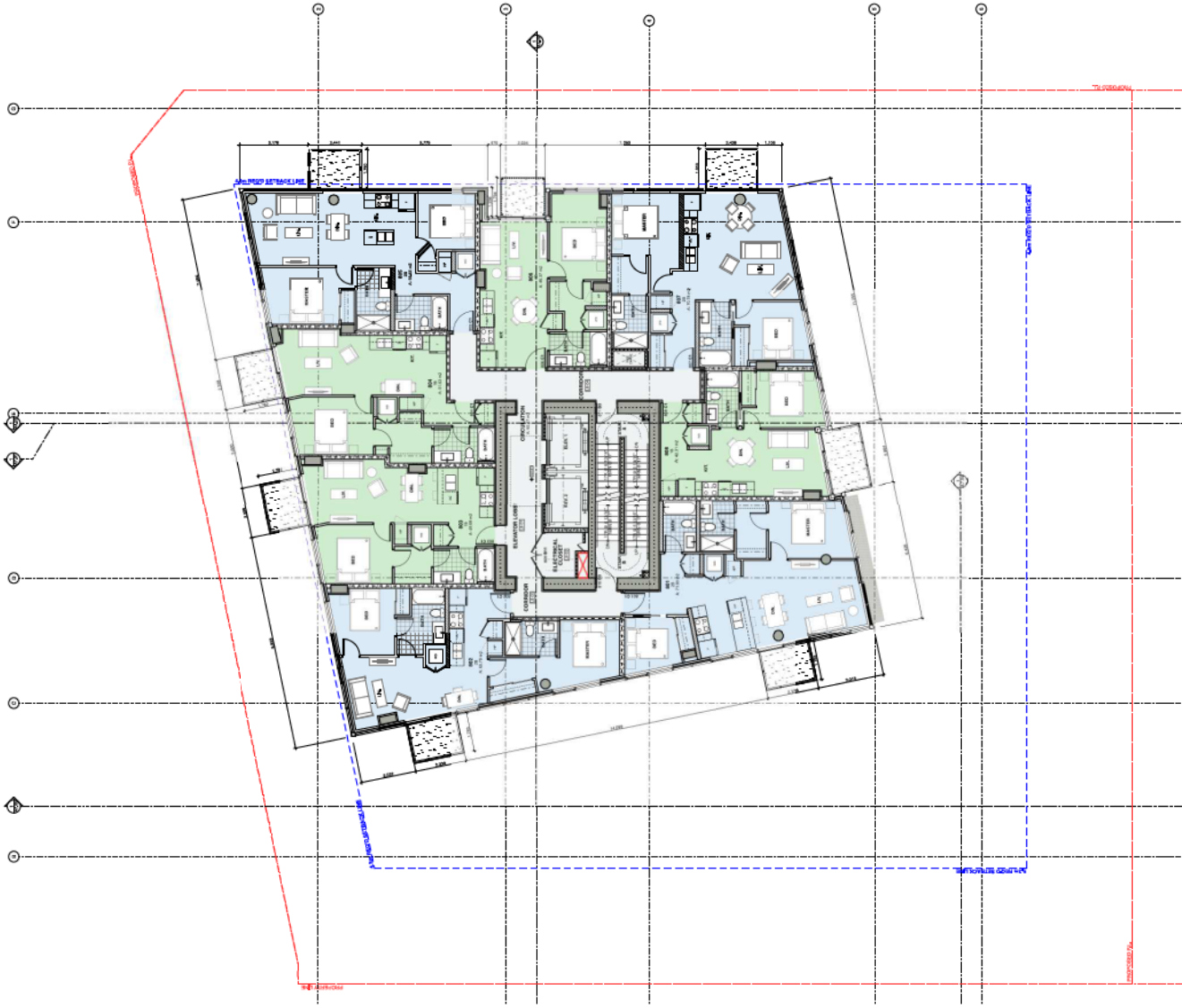
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8	ISSUED FOR PERMIT	2024-02-20	AS	AS
9	ISSUED FOR PERMIT	2024-02-20	AS	AS
10	ISSUED FOR PERMIT	2024-02-20	AS	AS

**bingham hill architects**

227-1240 4th Street, Surrey, BC V4A 4L2  
Tel: 604-591-1234  
Fax: 604-591-1234  
www.binghamhill.com

**BUILDING A  
LEVEL 7**

Scale	1:200
Sheet No.	A5.12



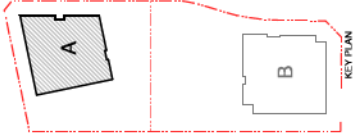
**LEGEND**

- SECTION LINE
- SETBACK LINE
- SRW LINE
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE

**BUILDING A - LEVEL 8 TO 24**

10m 5m 0

**N**



**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

Thursday, February 20, 2020

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2020-02-20
2	ISSUED FOR PERMIT	2020-02-20
3	ISSUED FOR PERMIT	2020-02-20
4	ISSUED FOR PERMIT	2020-02-20
5	ISSUED FOR PERMIT	2020-02-20
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7	ISSUED FOR PERMIT	2020-02-20
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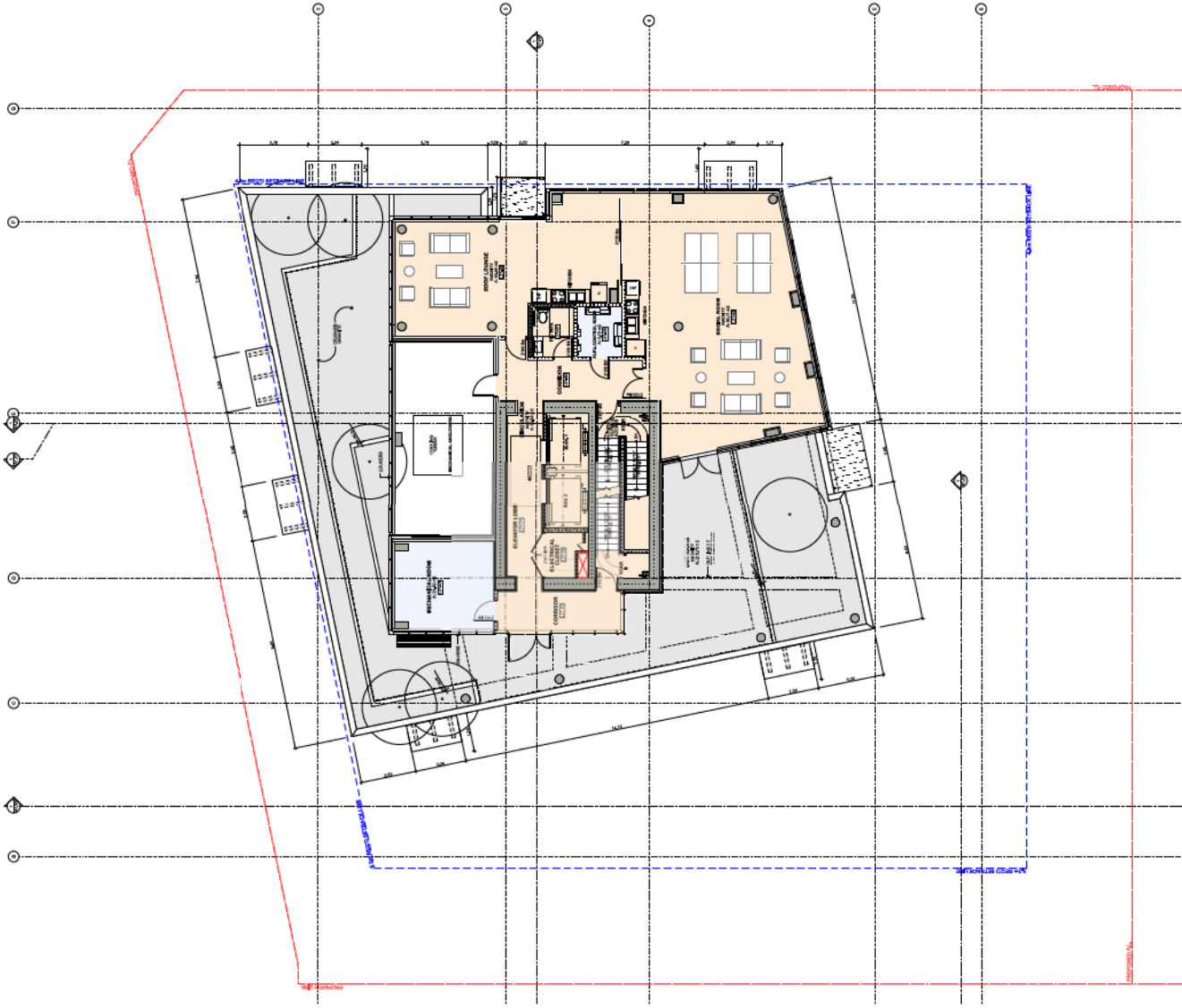
bingham hill architects

*Andrew Hill*

**BUILDING A  
LEVEL 8 TO 24**

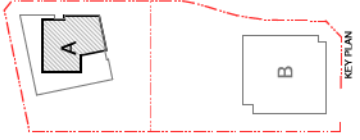
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**LEGEND**

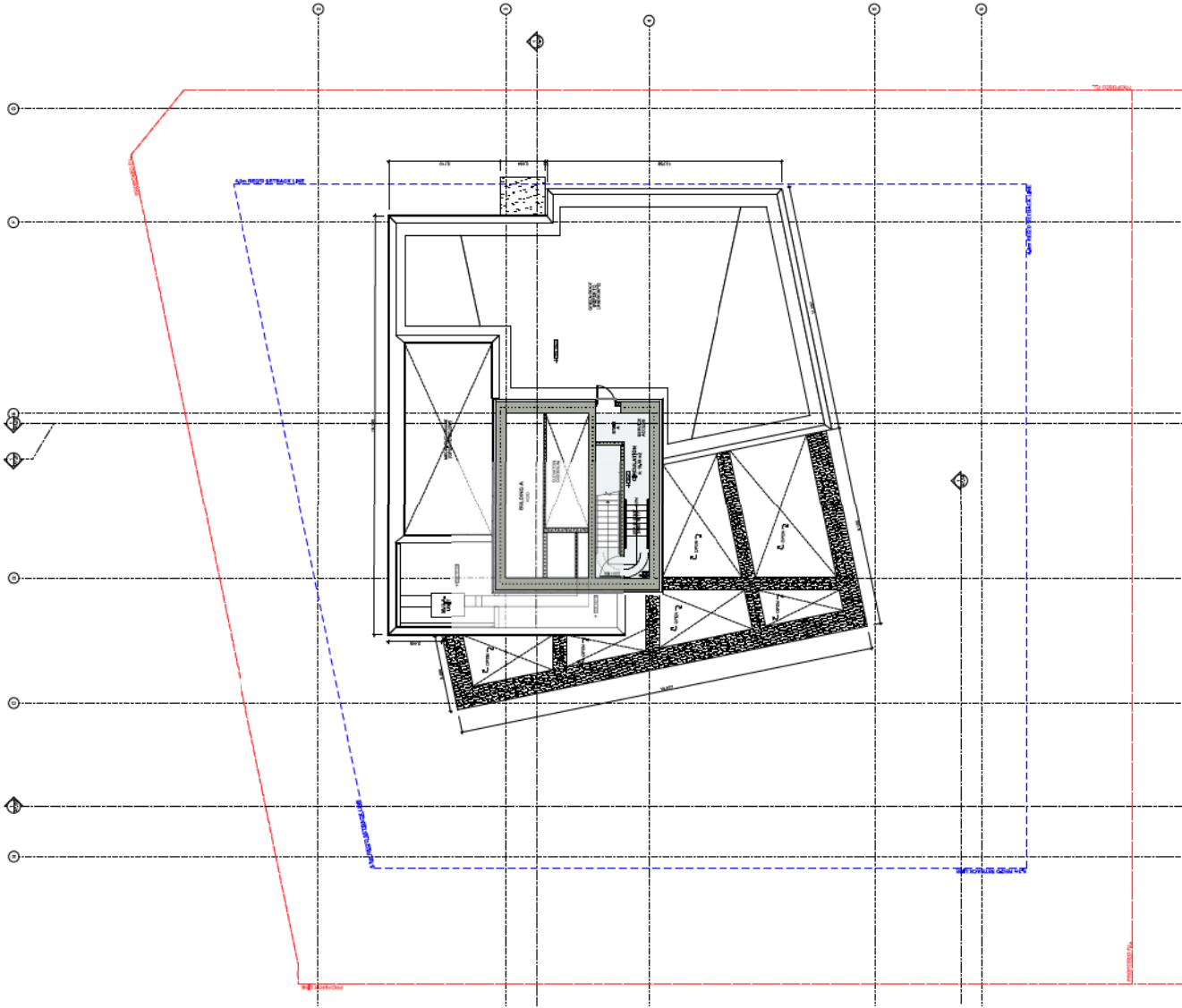
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PROPOSED PROPERTY LINE	---
EXISTING PROPERTY LINE	---



**BUILDING A - LEVEL 25 ROOF AMENITY**



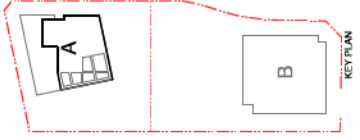
<b>13265 104 AVENUE</b>																																		
West Fraser Development CITY OF SURREY, BRITISH COLUMBIA																																		
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NO.	DATE	DESCRIPTION																																
1	2024-01-15	ISSUED FOR PERMIT																																
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10	2024-01-15	ISSUED FOR PERMIT																																



**LEGEND**

- SECTION LINE
- SETBACK LINE
- SRW LINE
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE

**ROOF LEVEL**



**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

bingham hill architects

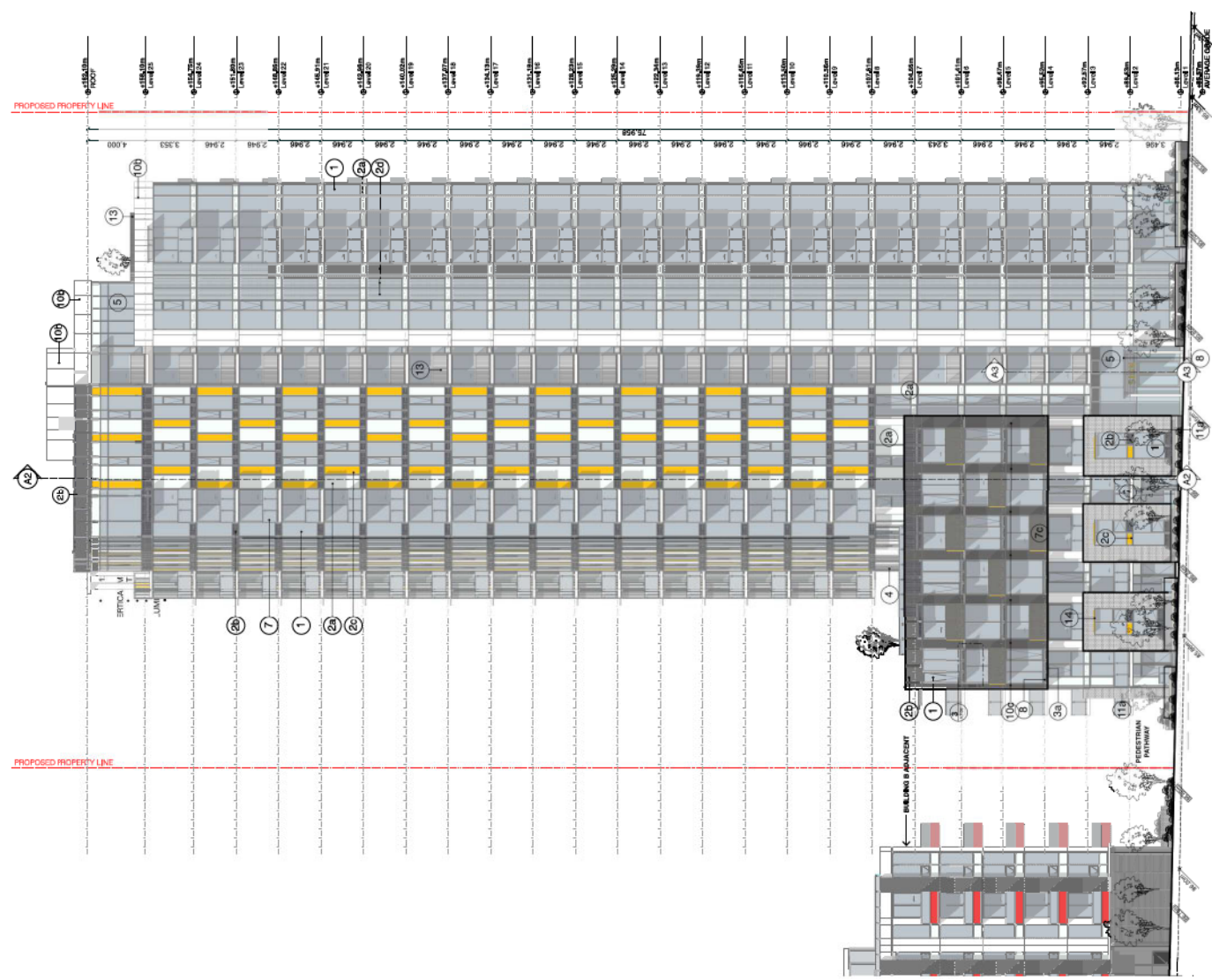
**BUILDING A**  
ROOF

A5.15



**EXTERIOR FINISH SCHEDULE**

- GLAZING IN ALUMINUM WINDOW WALL
  - GLASS - MATCH GUARDIAN AG 43
  - FRAME - SILVER - CLEAR FINISHED
  - METAL LOUVERES, SOLAR SCREENS & MISCELLANEOUS METALS
    - MATCH ASSOCIATED WALL SYSTEM COLOUR
- SPANDREL GLASS IN ALUMINUM FRAME
  - 2a - WHITE - MATCH OPERACOAT 46-1818 Snow Angel
  - 2b - YELLOW - MATCH GENERAL PAINT CL. 1755A Shire
  - 2c - LIGHT BLUE - MATCH GENERAL PAINT CL. 2541W Low Voltage
  - 2d - DEEP RED - MATCH GENERAL PAINT CL. 1827N Mink Spot
  - 2e - MID RED - MATCH GENERAL PAINT CL. 1436A Chateau
  - 2f - LIGHT RED - MATCH GENERAL PAINT CL. 1436A Chateau
- SPANEL PANELS IN ALUMINUM FRAME
  - 3a - TRANSLUCENT GLASS ACCENT - MATCH GENERAL PAINT CL. 1437N Hot Spot
  - 3b - SILVER - MATCH STRONG GRAY MATTE
- PAINTED CONCRETE
  - 4a - EYESBROWS & BALCONY SLABS - GREY - MATCH GENERAL PAINT CL. 0162W Innuance
  - 4b - LIGHT GRAY - MATCH GENERAL PAINT CL. 5162W Innuance
  - 4c - SOFFITS - WHITE - MATCH GENERAL PAINT CL. 3211W Wash Basin
- ALUMINUM CURTAINWALL
  - GLASS - MATCH GUARDIAN AG 43
  - FRAME - SILVER - CLEAR FINISHED
  - METAL LOUVERES, SOLAR SCREENS & MISCELLANEOUS METALS
    - MATCH ASSOCIATED WALL SYSTEM COLOUR
- ALUMINUM GUARDING B - CLEAR
  - FRAME - SILVER - MATCH WINDOW FRAME
  - 7a - TRANSLUCENT GLASS ACCENT - MATCH GENERAL PAINT CL. 1755A Shire
  - 7b - METAL PANEL ACCENT - "Y"
  - 7c - METAL PANEL ACCENT - "B"
  - 7d - METAL PANEL ACCENT - "R"
  - 7e - METAL PANEL ACCENT - "T"
  - 7f - METAL PANEL ACCENT - "S"
- GLAZED CANOPIES
  - 8a - TRANSLUCENT GLASS ACCENT - MATCH GENERAL PAINT CL. 1437N Hot Spot
  - 8b - COLOURED GLASS - CLEAR WITH RED LAMINATED INTERLAYER (REFER TO PLAN FOR LOCATION)
  - 8c - MATCH GENERAL PAINT CL. 1437N Hot Spot
  - 8d - MATCH GENERAL PAINT CL. 1436A Chateau
  - 8e - PAINTED STEEL - SILVER - MATCH WINDOW FRAME
- FRACACY SCREEN - TRANSLUCENT GLASS - CLEAR WITH WHITE TRANSLUCENT LAMINATED INTERLAYER
  - MATCH LAM - CLEAR PURE WHITE
  - FRAME - MATCH GENERAL PAINT CL. 1755A Shire
  - 9a - TRANSLUCENT GLASS ACCENT - CLEAR WITH RED TRANSLUCENT LAMINATED INTERLAYER
  - 9b - MATCH "G"
- METAL PANELS
  - 10a - WHITE GLOSS - ALUMINOUM WHITE GOLD (OR SIMILAR)
  - 10b - WHITE MATTE - ALUMINOUM ARSIC FINE (OR SIMILAR)
  - 10c - BLACK - ALUMINOUM DUSKY CHOCOLAT (OR SIMILAR)
  - 10d - WHITE - MATCH STRONG GRAY MATTE (OR SIMILAR)
  - 10e - BRICK - MATCH GLAZED GLASS STONE STY. MODULAR (OR SIMILAR)
- METAL SOFFIT
  - 11a - SILVER - MATCH WINDOW FRAME
  - 11b - BLACK - MATCH ALUMINOUM DUSKY CHOCOLAT
  - 11c - WHITE - MATCH PANTONUM WHITE GLASS
- VERTICAL METAL PICKETS
  - 12a - SILVER - MATCH WINDOW FRAME
  - 12b - BLACK - MATCH ALUMINOUM DUSKY CHOCOLAT
  - 12c - WHITE - MATCH PANTONUM WHITE GLASS
- VERTICAL PERFORATED MESH SCREEN RE-BAND
  - 13a - INCLUDES PERFORATED MESH SCREEN RE-BAND
  - 13b - MATCH GENERAL PAINT CL. 1755A Shire



**EAST ELEVATION (BUILDING A)**

LEGEND

PROPOSED GRADE

EXISTING GRADE



NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR PERMIT			
2	ISSUED FOR CONSTRUCTION			
3	ISSUED FOR CONSTRUCTION			
4	ISSUED FOR CONSTRUCTION			
5	ISSUED FOR CONSTRUCTION			
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19	ISSUED FOR CONSTRUCTION			
20	ISSUED FOR CONSTRUCTION			
21	ISSUED FOR CONSTRUCTION			
22	ISSUED FOR CONSTRUCTION			
23	ISSUED FOR CONSTRUCTION			
24	ISSUED FOR CONSTRUCTION			

Project: 13265 104 Avenue  
 Date: 2024-08-28  
 Scale: 1:300  
 Drawing No: A6.02

**bingham hill architects**

227-1242 42nd Street, Suite 200  
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 Tel: 604.271.1242  
 Fax: 604.271.1243  
 Email: info@binghamhill.com

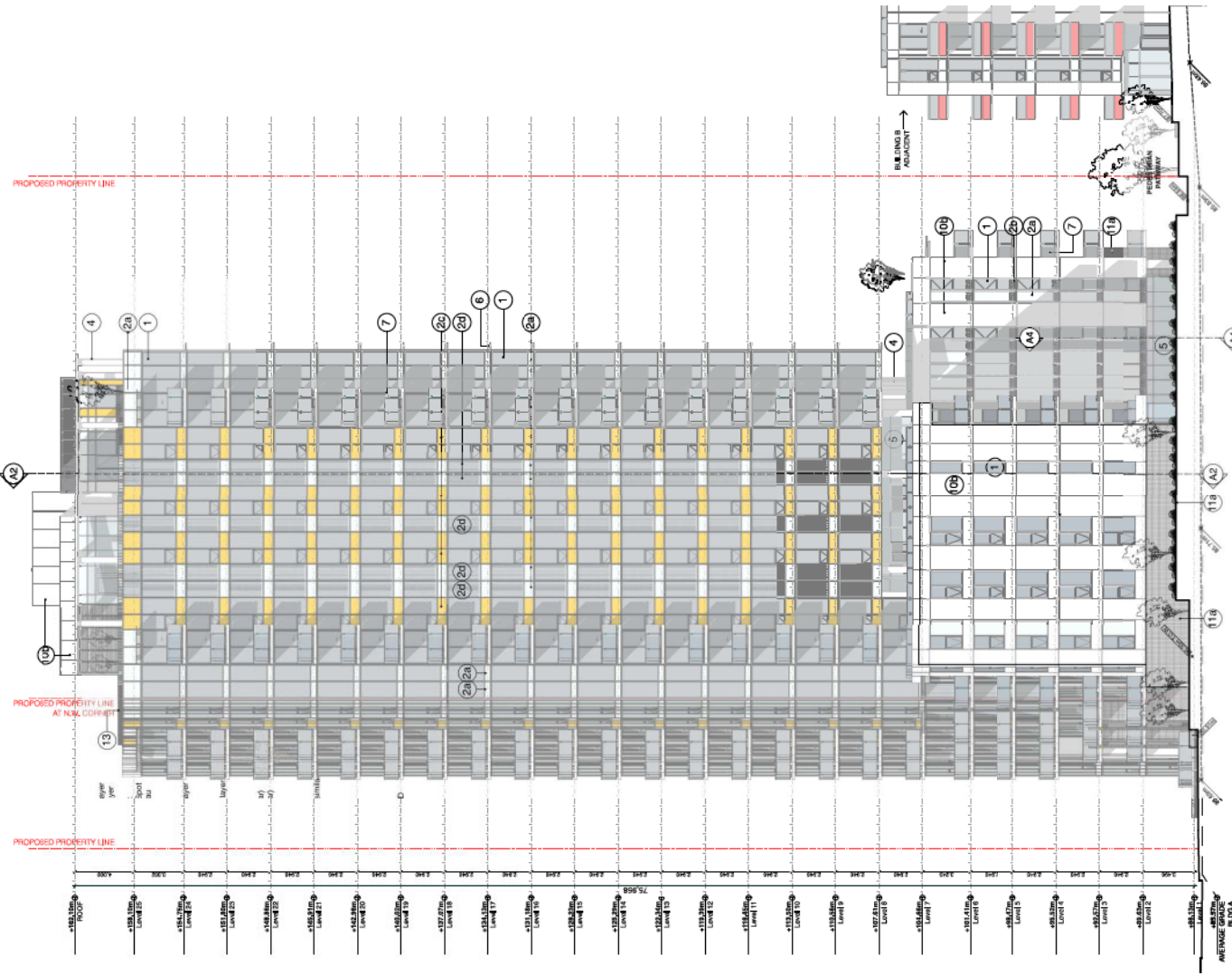
**Shadrach**

Architectural Services Ltd.  
 100-1111 West Broadway  
 Vancouver, BC V6H 1T1  
 Tel: 604.681.1111  
 Fax: 604.681.1112  
 Email: info@shadrach.ca



EXTERIOR FINISH SCHEDULE

- GLAZING IN ALUMINUM WINDOW WALL
  - FRAME - SILVER: Match Strata Grey Metal - AAMA 2605
  - ACCENT GLASS - MATCH GENERAL PAINT CL. 1527N Mink Spot
  - ACCENT GLASS - MATCH GENERAL PAINT CL. 1527N Mink Spot
  - ACCENT GLASS - MATCH GENERAL PAINT CL. 1527N Mink Spot
  - ACCENT GLASS - MATCH GENERAL PAINT CL. 1527N Mink Spot
- SPRANGLED GLASS IN ALUMINUM FRAME
  - 2a - WHITE: Match OpacCoat 40-1618 Snow Angel
  - 2b - YELLOW: Match General Paint CL. 1735A Shiva
  - 2c - LIGHT BLUE: Match General Paint CL. 2541W Low Voltage
  - 2d - DEEP RED: Match General Paint CL. 1527N Mink Spot
  - 2e - MID RED: Match General Paint CL. 1527N Mink Spot
  - 2f - LIGHT RED: Match General Paint CL. 1436A Chateau
- SPANGLED GLASS IN ALUMINUM FRAME
  - 3a - SILVER: Match Strata Grey Metal
  - 3b - SILVER: MATCH Strata Grey Metal
- PAINTED CONCRETE
  - 4a - EYEBROWS & BALCONY SLABS - GREY: Match General Paint CL. 0162W Inmanoe
  - 4b - LIPSTICK: Match General Paint CL. S162V Inmanoe
  - 4c - WHITE: Match General Paint CL. 1527N Mink Spot
  - 4d - COFFEE: MATCH Strata Grey Metal
- ALUMINUM CURTAINWALL
  - GLASS: Match Guardian AG 43
  - FRAME - SILVER: Clear Anodized
- METAL LOUVER, SOLAR SCREENS & MISCELLANEOUS METALS
  - MATCH ASSOCIATED WALL SYSTEM COLOUR
- ALUMINUM GUARDING - CLEAR
  - FRAME - SILVER: MATCH WINDOW FRAME
  - 7a - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 7b - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 7c - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7d - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7e - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7f - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7g - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7h - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7i - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7j - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7k - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
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  - 7m - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7n - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7o - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7p - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7q - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7r - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7s - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7t - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7u - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7v - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7w - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7x - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7y - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
  - 7z - METAL PANEL ACCENT - Y: MATCH WINDOW FRAME
- GLAZED CANOPIES
  - GLASS: Clear with White Translucent Laminated Interlayer
  - FRAME: Clear with RED Laminated Interlayer
  - COLOURED GLASS: Clear with RED Laminated Interlayer (refer to plan for location)
  - 1a - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 1b - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 1c - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 1d - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 1e - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 1f - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 1g - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 1h - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 1i - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 1j - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
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  - 1p - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 1q - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 1r - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 1s - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 1t - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 1u - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 1v - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 1w - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 1x - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 1y - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 1z - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
- ALUMINUM CURTAINWALL
  - GLASS: Clear with White Translucent Laminated Interlayer
  - FRAME: Clear with White Translucent Laminated Interlayer
  - 9a - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 9b - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 9c - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
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  - 9i - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
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  - 9k - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
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  - 9r - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
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  - 9t - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 9u - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 9v - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 9w - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 9x - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 9y - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 9z - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
- METAL PANELS
  - 10a - WHITE: Match Strata Grey Metal
  - 10b - WHITE: Match Strata Grey Metal
  - 10c - BLACK: Match Strata Grey Metal
  - 10d - BLACK: Match Strata Grey Metal
  - 10e - BLACK: Match Strata Grey Metal
  - 10f - BLACK: Match Strata Grey Metal
  - 10g - BLACK: Match Strata Grey Metal
  - 10h - BLACK: Match Strata Grey Metal
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  - 10j - BLACK: Match Strata Grey Metal
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  - 10p - BLACK: Match Strata Grey Metal
  - 10q - BLACK: Match Strata Grey Metal
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  - 10s - BLACK: Match Strata Grey Metal
  - 10t - BLACK: Match Strata Grey Metal
  - 10u - BLACK: Match Strata Grey Metal
  - 10v - BLACK: Match Strata Grey Metal
  - 10w - BLACK: Match Strata Grey Metal
  - 10x - BLACK: Match Strata Grey Metal
  - 10y - BLACK: Match Strata Grey Metal
  - 10z - BLACK: Match Strata Grey Metal
- METAL SOFFIT
  - 11a - SILVER: Match Window Frame
  - 11b - BLACK: Match Aluminium Daily Charcoal
  - 11c - WHITE: Match Indiummax white glass
- VERTICAL METAL PICKETS
  - 12a - SILVER: MATCH WINDOW FRAME
  - 12b - BLACK: MATCH ALUMINIUM DAILY CHARCOAL
  - 12c - WHITE: MATCH INDIUMMAX WHITE GLASS
- ALUMINUM CANOPY
  - 13a - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13b - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13c - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13d - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13e - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13f - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13g - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13h - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13i - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13j - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13k - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13l - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13m - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
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  - 13q - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13r - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13s - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13t - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13u - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13v - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13w - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13x - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13y - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME
  - 13z - TRANSLUCENT GLASS ACCENT - Y: MATCH WINDOW FRAME



- LEGEND
- PROPOSED GRADE
  - EXISTING GRADE

WEST ELEVATION (BUILDING A)



**Building A West Elevation**

Scale: 1:300

A6.04

**Starchitect**

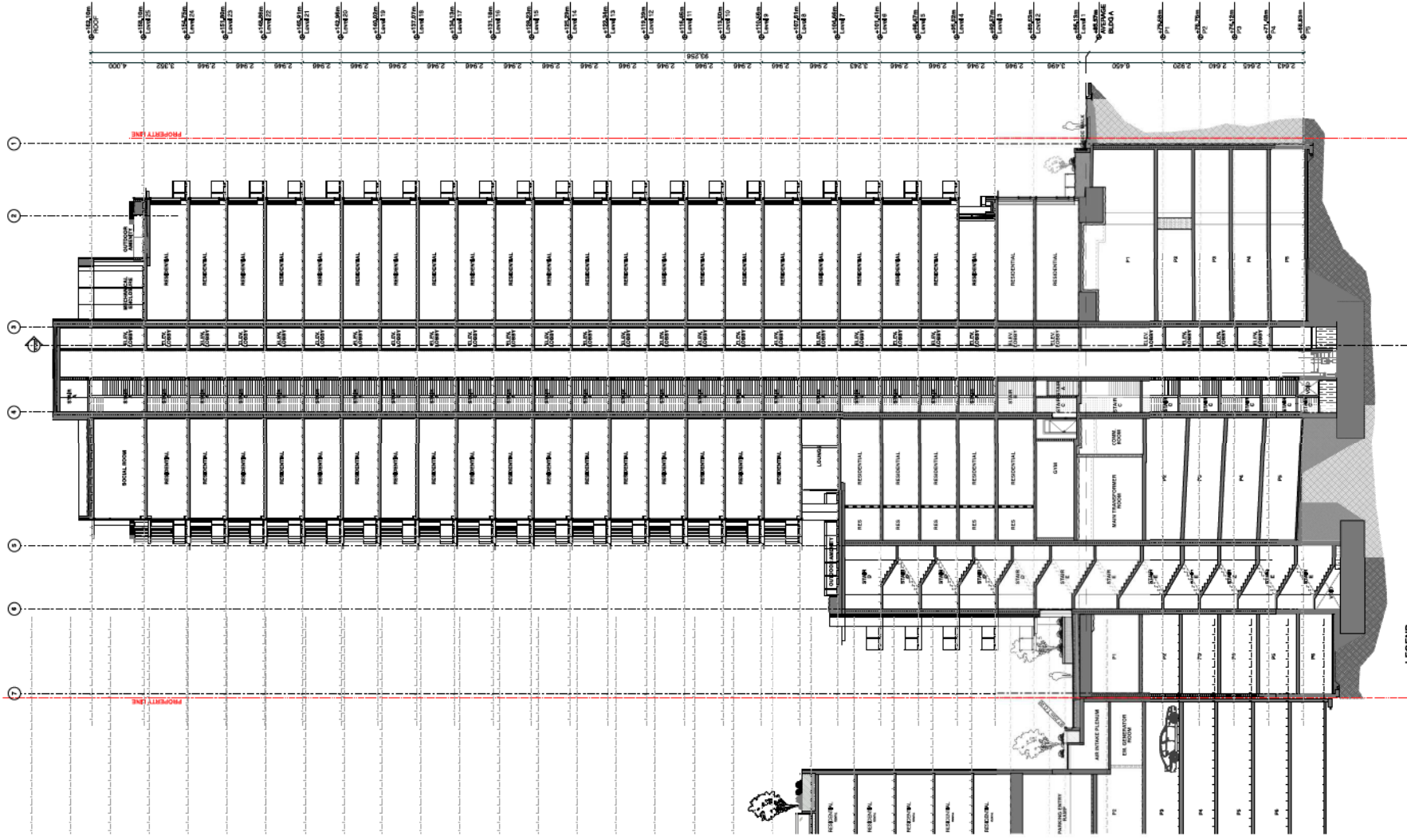
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**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

Project: 24-0000000-0000  
 Drawing: A6.04  
 Date: 2024-08-22





**SECTION A1**

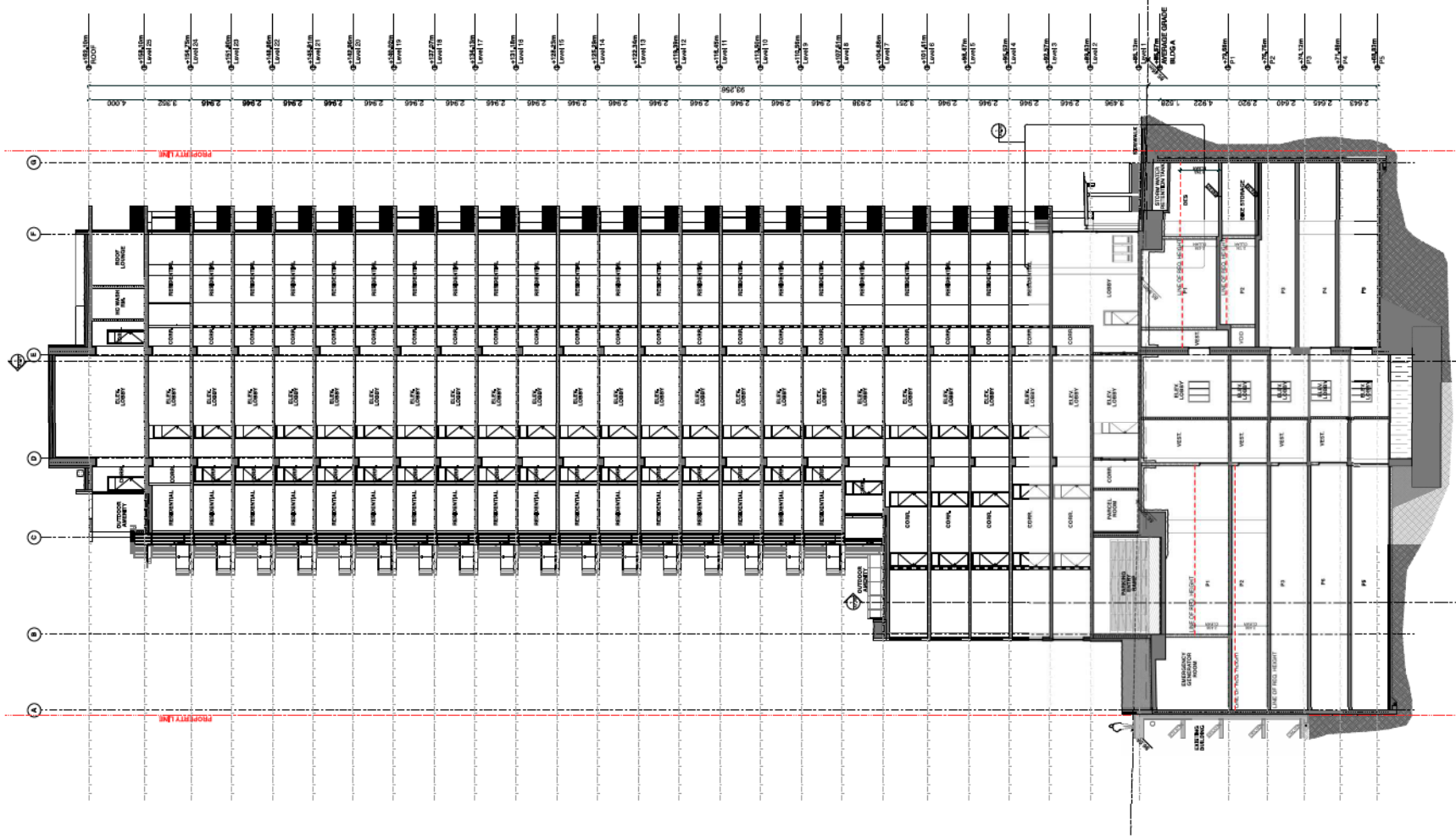
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 PROPOSED GRADE  
 EXISTING GRADE



**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

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**bingham hill architects**  
 227-11400 104 Avenue, Suite 100  
 Surrey, BC V3W 2G2  
 Tel: 604.591.1140  
 Fax: 604.591.1141  
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 www.binghamhill.ca



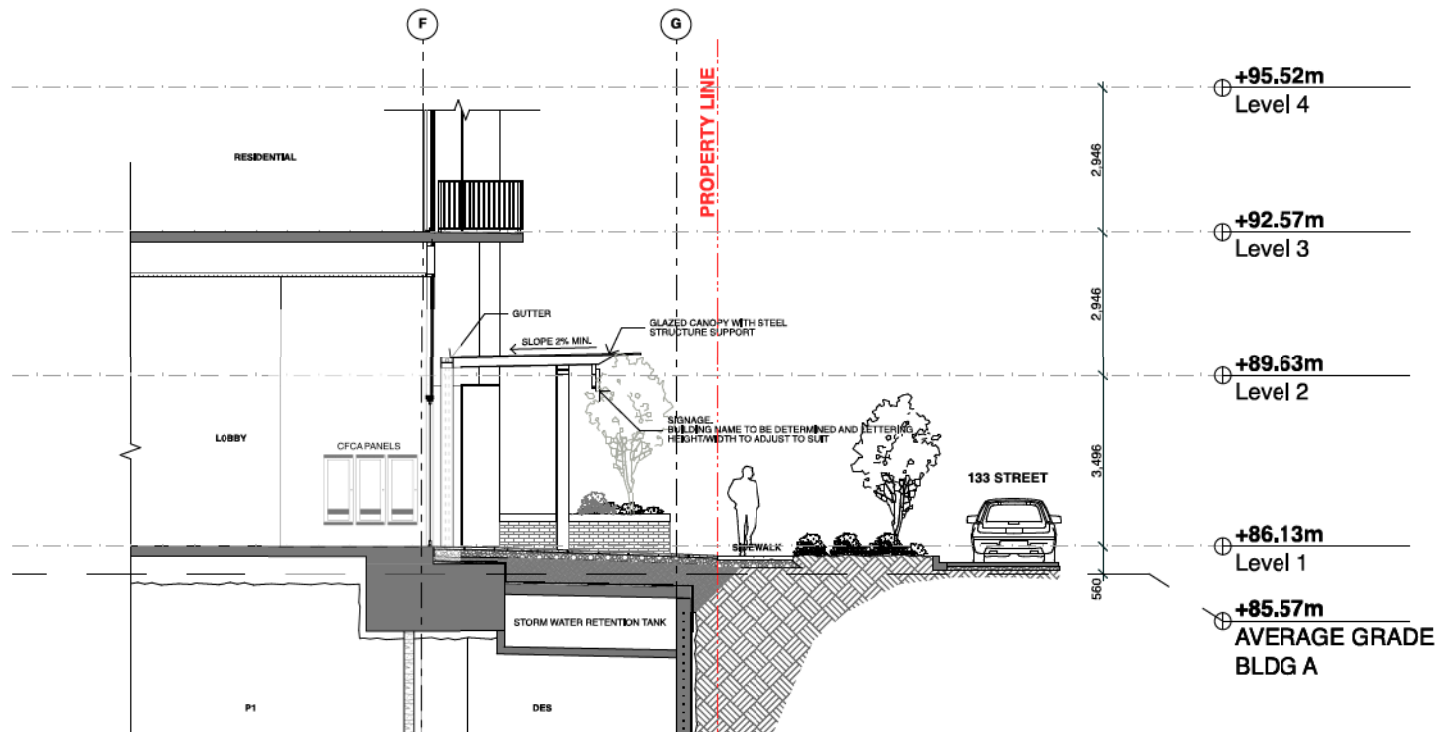
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 ——— PROPOSED GRADE  
 - - - - - EXISTING GRADE



**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA





1 SECTION A3 (BUILDING A ENTRANCE)



**LEGEND**  
 ——— PROPOSED GRADE  
 - - - EXISTING GRADE

**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

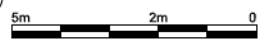
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10	ISSUE FOR PERMIT	2023



SECTION A3  
 ALL DIMENSIONS UNLESS OTHERWISE NOTED  
 Scale: 1:100  
 A7.03



1 SECTION A4 (BUILDING A WEST AMENITY)



**LEGEND**  
 ——— PROPOSED GRADE  
 - - - EXISTING GRADE

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2024
2	REVISION	2024
3	REVISION	2024
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8	REVISION	2024
9	REVISION	2024
10	REVISION	2024

**bingham hill**  
 architects

13265 104 Avenue, Surrey, BC V3R 4S1  
 Tel: (604) 273-1122  
 Fax: (604) 273-1123  
 Email: info@binghamhill.ca

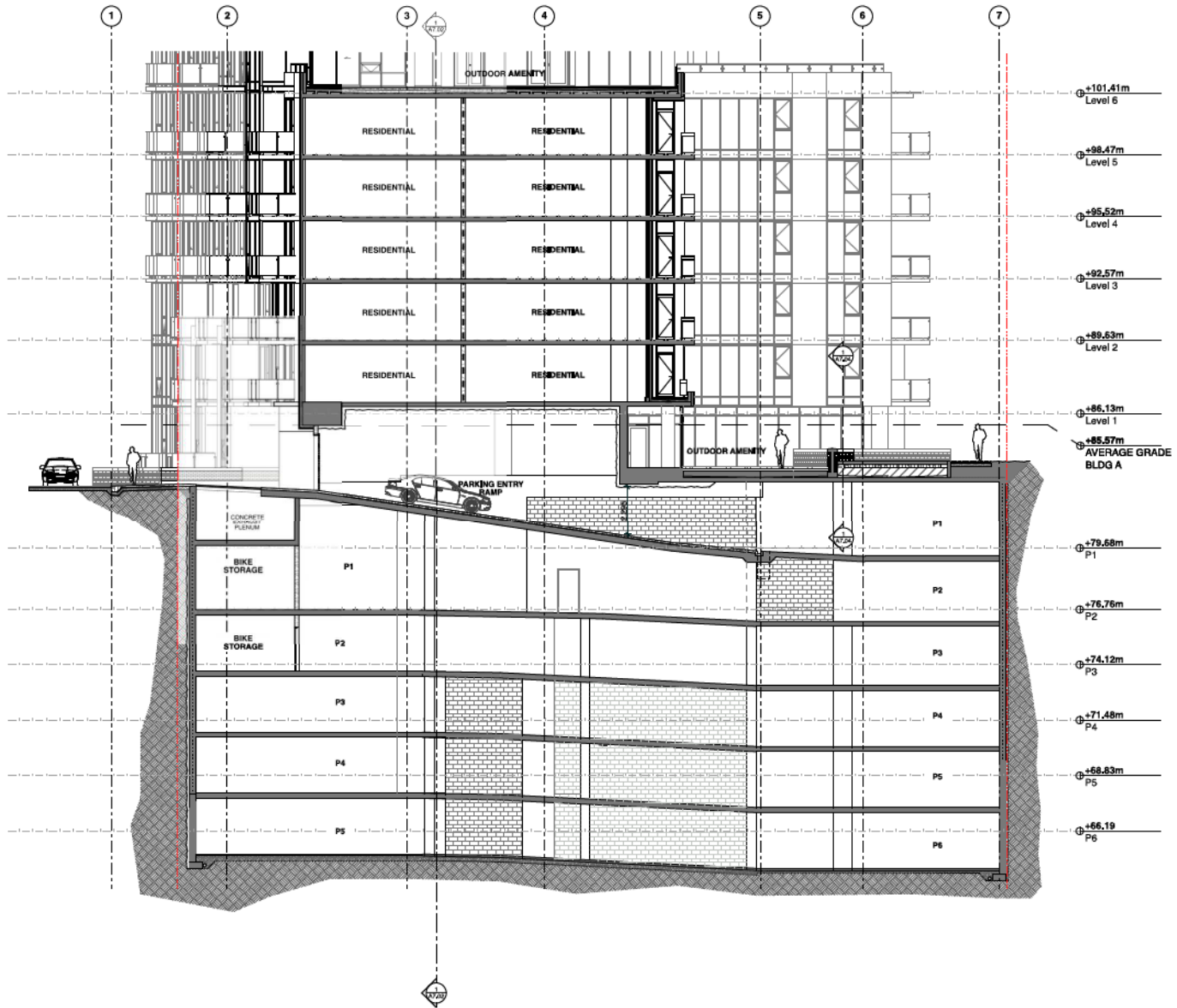
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SECTION A4

ALL DIMENSIONS UNLESS OTHERWISE NOTED

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 DRAWN: [Name]  
 CHECKED: [Name]  
 APPROVED: [Name]

**A7.04**



1 SECTION A5 (BUILDING A PODIUM AND PARKING ENTRY RAMP)  
1:200

**LEGEND**  
 PROPOSED GRADE  
 EXISTING GRADE

**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

13265 104 AVENUE - PART 1 OF 2 - 2024

NO.	REVISION	DATE
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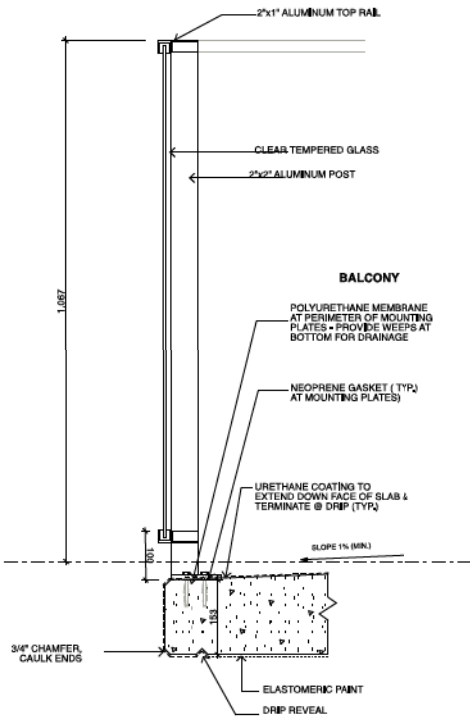
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 architects

13265 104 AVENUE, SURREY, BC V3W 2G2  
 TEL: (604) 273-1111  
 WWW.BINGHAMHILLARCHITECTS.COM

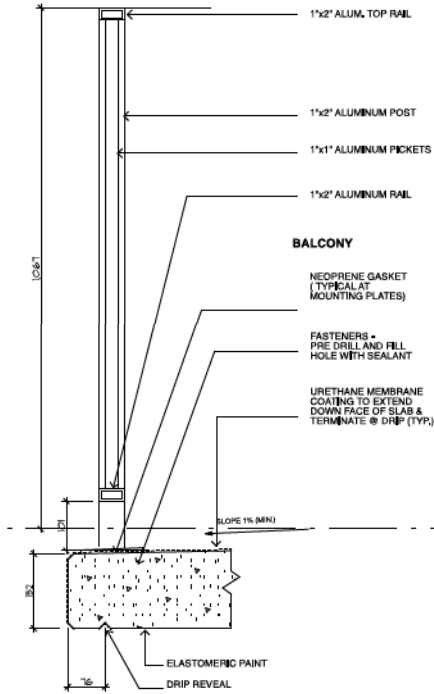


SECTION A5

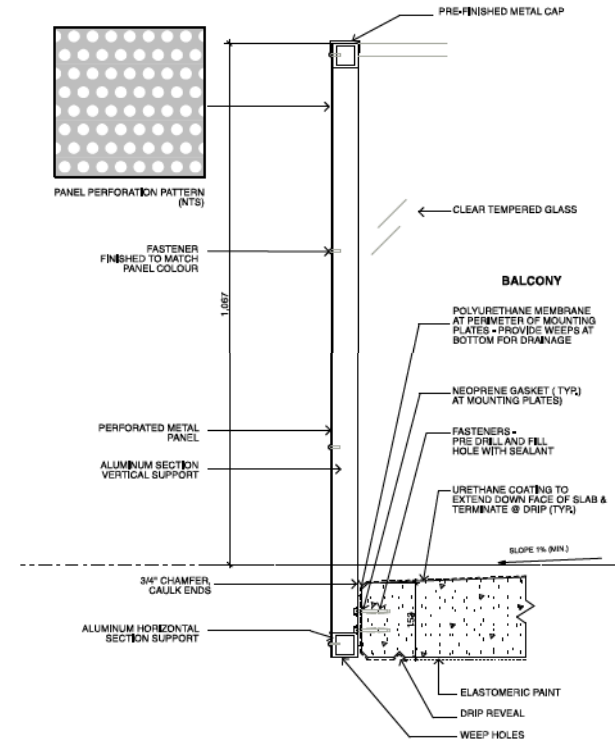
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1 **DETAIL BALCONY GUARD TYPE A1**  
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2 **DETAIL BALCONY GUARD TYPE A2**  
1:10



3 **DETAIL BALCONY GUARD TYPE A3**  
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NO.	DESCRIPTION	DATE
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48	Issue for Review	2021-08-10
49	Issue for Review	2021-08-10
50	Issue for Review	2021-08-10

**bingham hill**  
architects

237-1144 PAVILION SUITE  
1000-1000 BROADWAY  
V6C 2T8  
TEL: 604-271-1144  
FAX: 604-271-1144  
WWW.BINGHAMHILLARCHITECTS.COM





86.11m

FDC #1

85.85m

- LETTERING COLOUR/FINISH TO MATCH 7c METAL PANEL ACCENT
- FINAL BUILDING NAME TO BE DETERMINED AND LETTERING HEIGHT/WIDTH TO ADJUST TO SUIT
- LETTERING MOUNTED ABOVE ENTRY CANOPY ON ALUMINUM STRUCTURE BEHIND

1 SIGNAGE (BUILDING A)  
1:50

13265 104 AVENUE  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

NO.	DESCRIPTION	DATE
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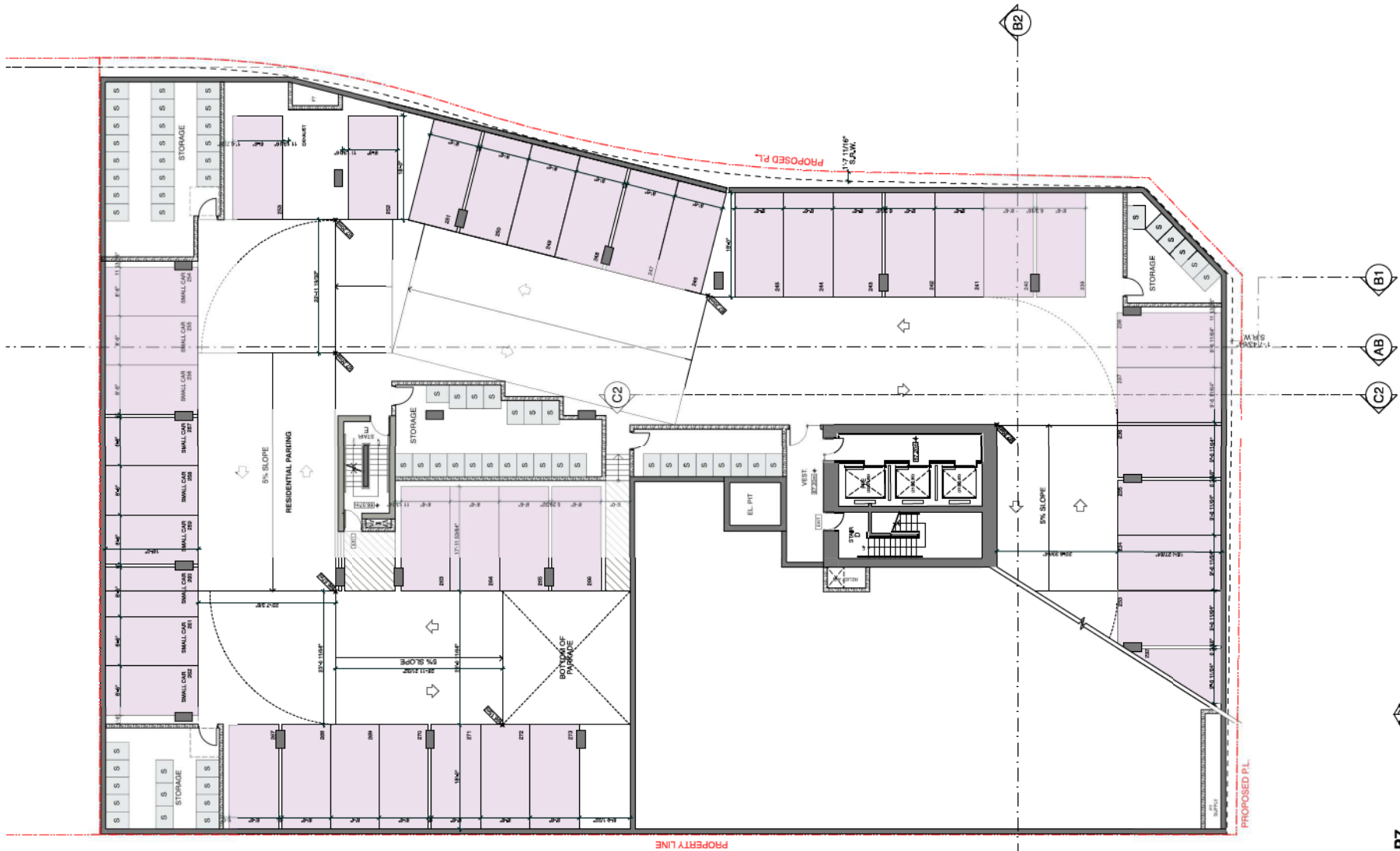
bingham hill architects

207-1040 Avenue Road  
Surrey, BC V3R 1Y1  
Tel: 604.592.1511  
Fax: 604.592.1512  
www.binghamhill.ca



BUILDING A SIGNAGE PLAN

DATE	2023	PROJECT NUMBER	A7.07
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LEVEL P7



BUILDING B PARKING P7

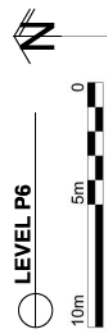
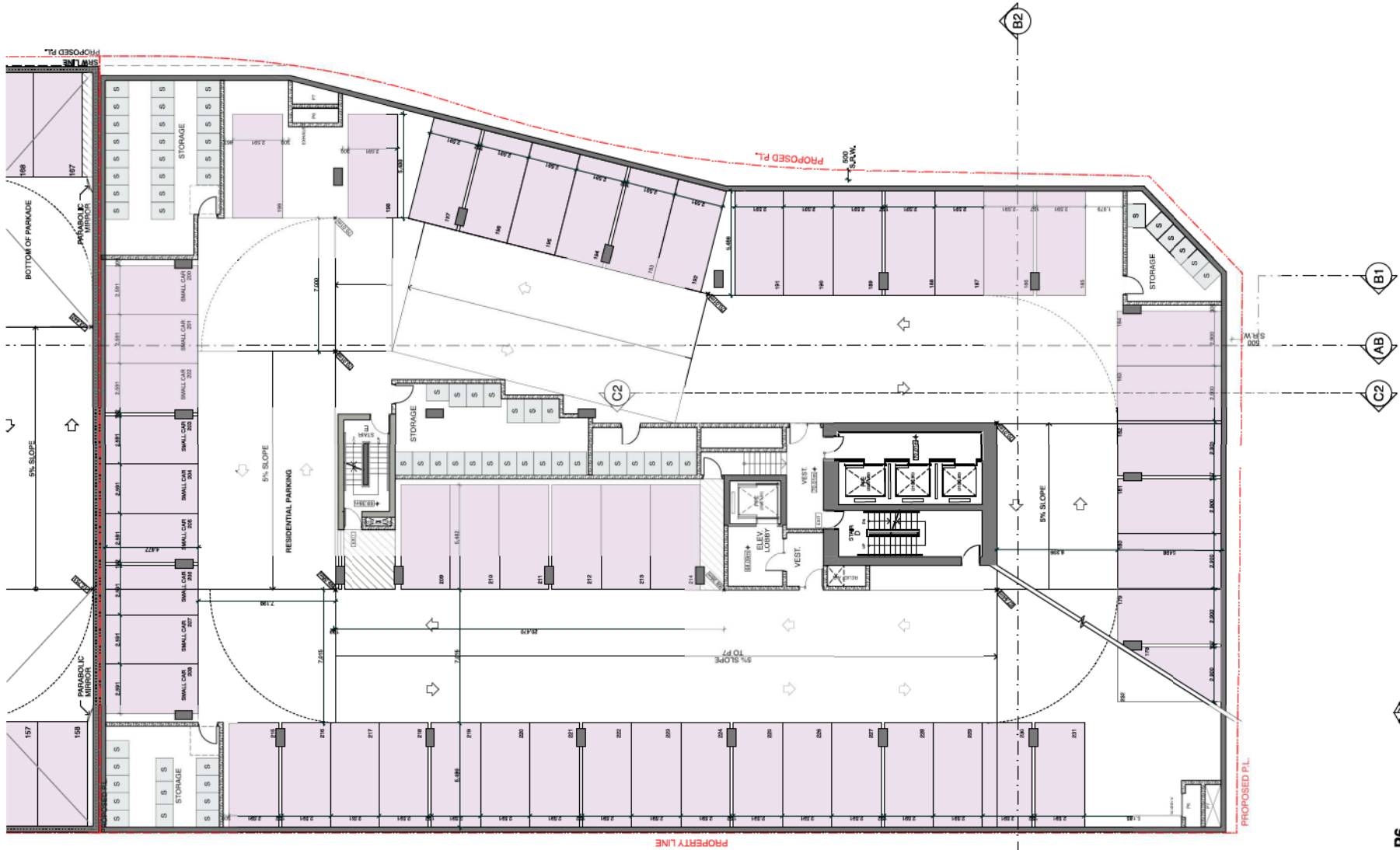
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**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

Revision Table

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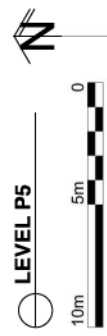
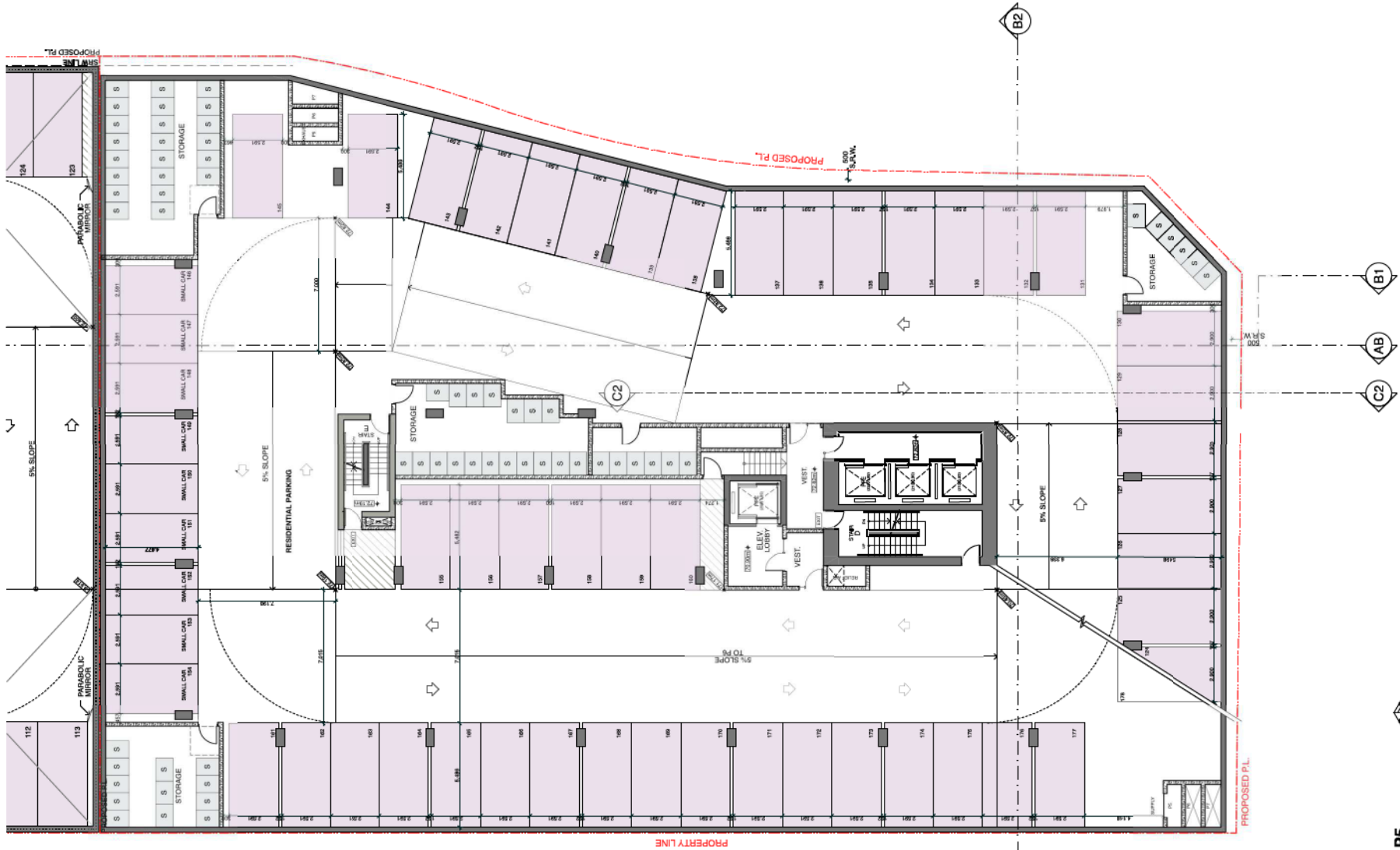
LEVEL P6

**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

Revised: February 20, 2024

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10	ISSUED FOR PERMIT	02/20/24

**bingham hill architects**  
 2277 LAMAR AVENUE, SUITE 100  
 VANCOUVER, BC V6K 2M5  
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 FAX: 604.273.1112  
 WWW.BINGHAMHILLARCHITECTS.COM



LEVEL P5

**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

NO.	REVISION	DATE	BY	CHECKED
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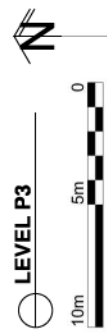
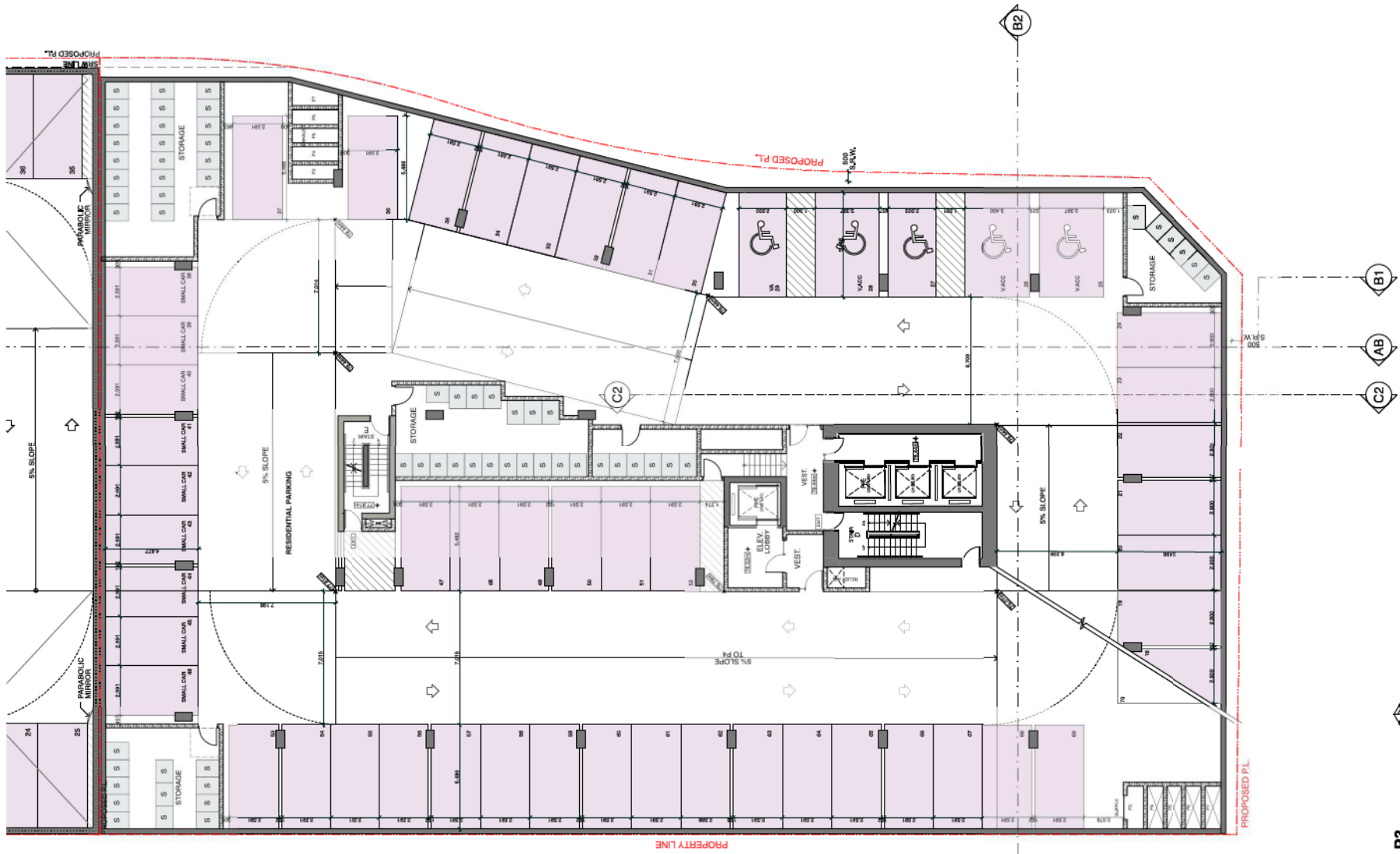
1000 WEST BROADWAY, SUITE 200  
 VANCOUVER, BC V6Z 2G4  
 TEL: 604.681.1111  
 FAX: 604.681.1112  
 WWW.BINGHAMHILLARCHITECTS.COM

BUILDING B PARKING  
 P5

1:200

A8.03





LEVEL P3

**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

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15	2024-01-01	REVISED FOR COMMENTS

**bingham hill architects**  
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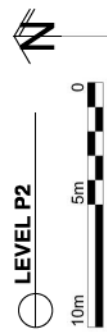
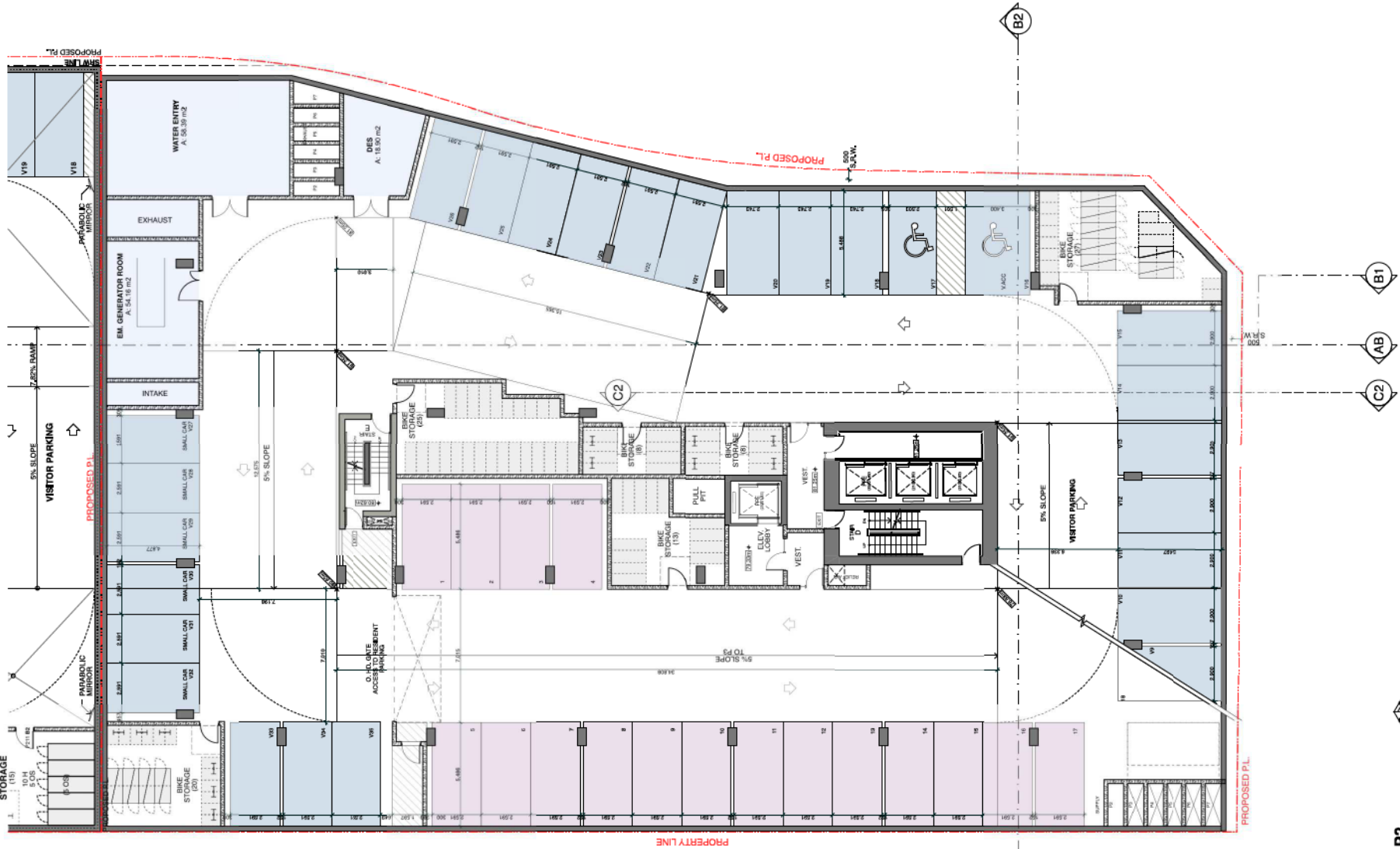
*Andrew Hill*

**BUILDING B PARKING P3**

ALL DIMENSIONS SHOWN UNLESS OTHERWISE NOTED

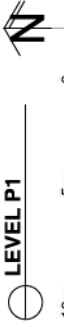
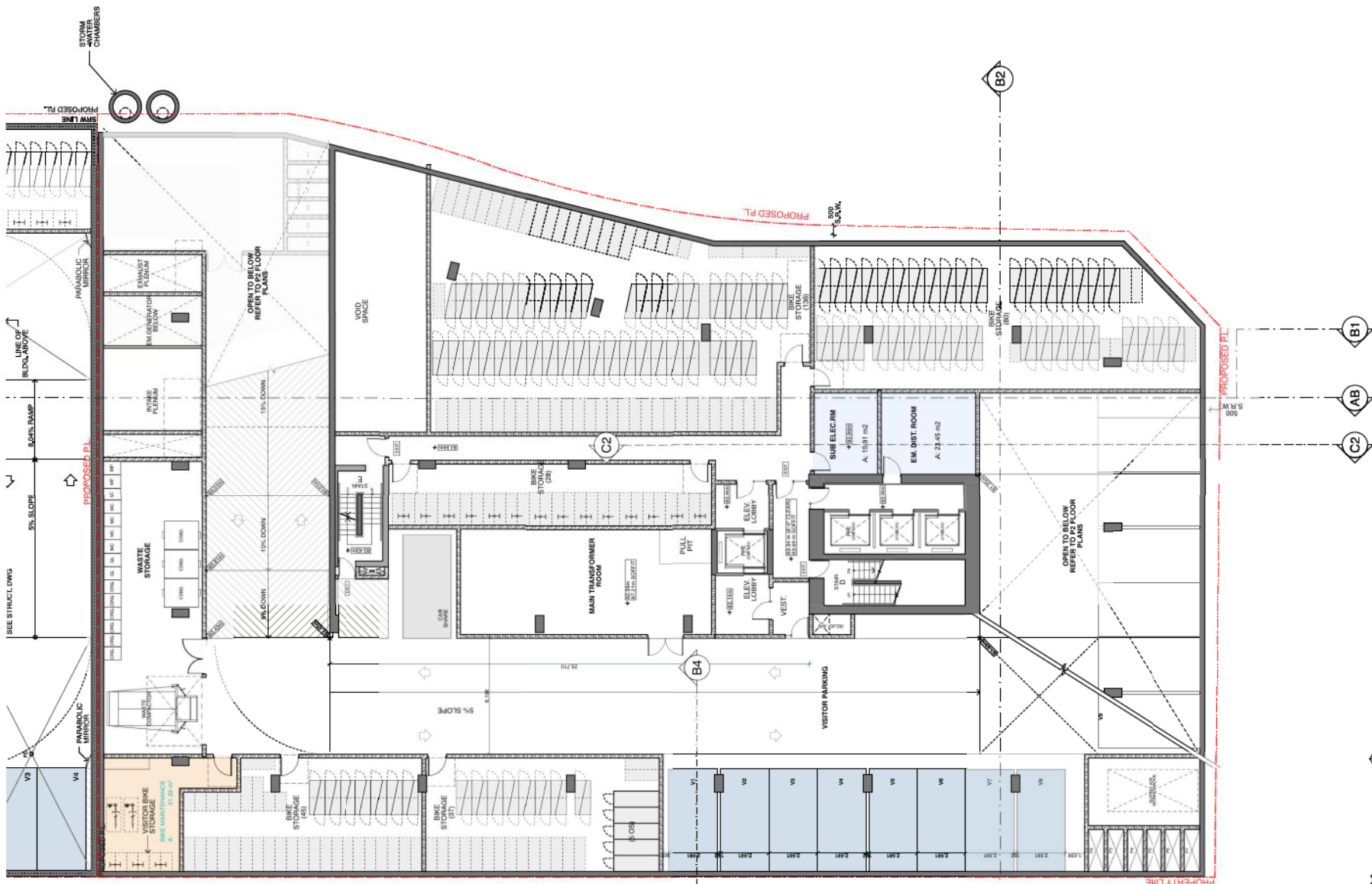
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A8.05



LEVEL P2

13265 104 AVENUE West Fraser Development CITY OF SURREY, BRITISH COLUMBIA																																																							
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	<p>227-1242 4th Street, Surrey, BC V4A 2E1 Tel: (604) 581-1242 Fax: (604) 581-1242 www.binghamhill.com</p>																																																						
	<p><b>Building B Parking P2</b></p>																																																						
<p>Scale: 1:200</p>	<p>A8.06</p>																																																						



LEVEL P1

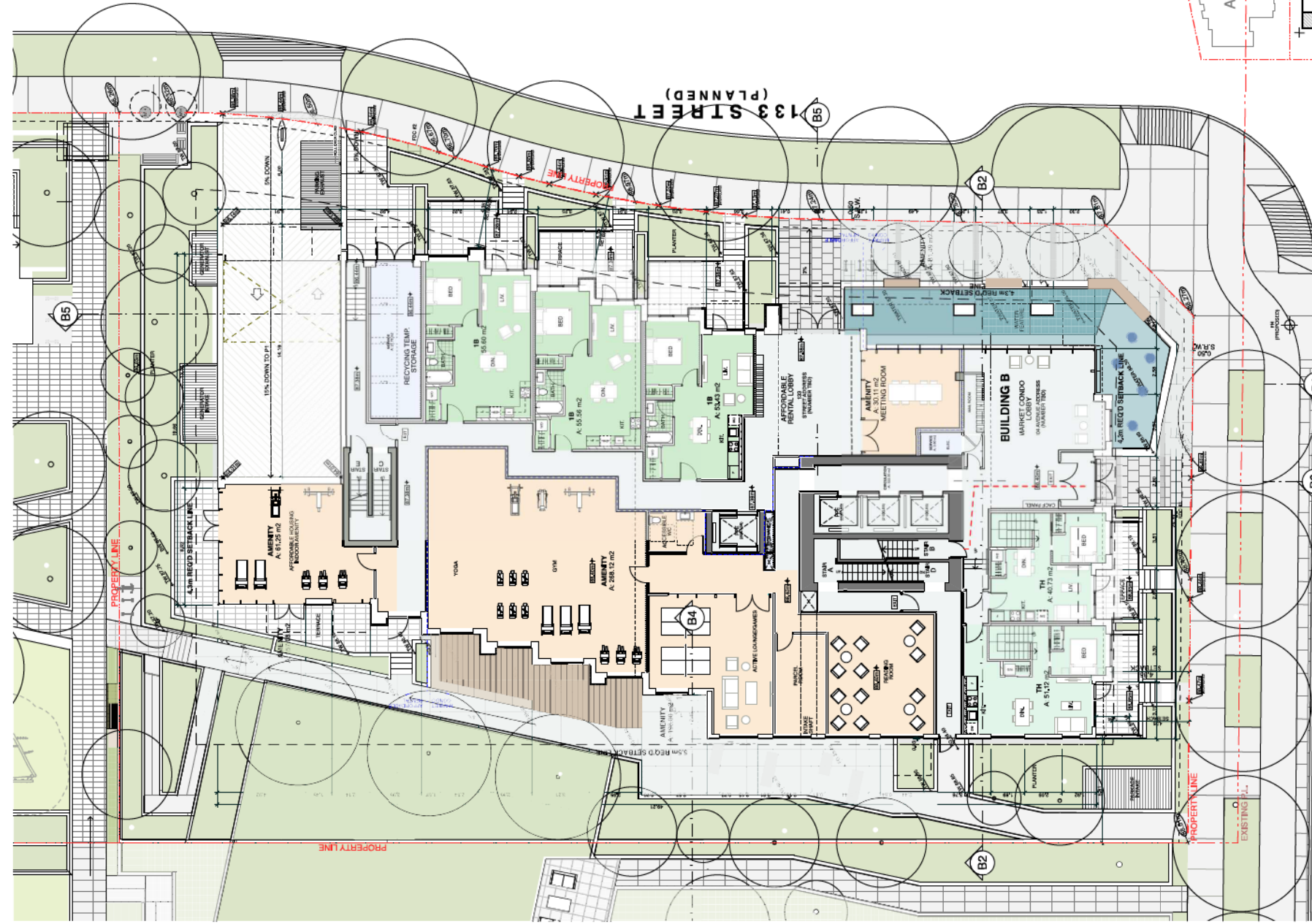
**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

Revision Table

NO.	DESCRIPTION	DATE
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4	ISSUED FOR PERMIT	2024-08-01
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7	ISSUED FOR PERMIT	2024-08-01
8	ISSUED FOR PERMIT	2024-08-01
9	ISSUED FOR PERMIT	2024-08-01
10	ISSUED FOR PERMIT	2024-08-01

**bingham hill architects**  
 2277 LAKESHORE AVENUE, SUITE 200  
 VANCOUVER, BC V6K 2R7  
 TEL: 604.271.1111  
 WWW.BINGHAMHILLARCHITECTS.COM

**BUILDING B PARKING P1**  
 ALL DIMENSIONS SHOWN UNLESS OTHERWISE NOTED  
 SCALE: 1:200  
 A8.07



**LEGEND**

SECTION LINE ——— PROPOSED PROPERTY LINE - - - - -  
 SETBACK LINE - - - - - EXISTING PROPERTY LINE - - - - -  
 SRW LINE - - - - -

104 AVENUE

BUILDING B - LEVEL 1



**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

104 AVENUE

**BUILDING B LEVEL 1**

1:200

A8.08

bingham hill architects

104 AVENUE

133 STREET (PLANNED)

KEY PLAN



**BUILDING B - LEVEL 2**



LEGEND	
SECTION LINE	PROPOSED PROPERTY LINE
SETBACK LINE	EXISTING PROPERTY LINE
SRW LINE	

**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

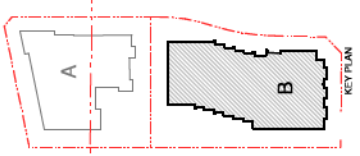
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8	2024-07-15	REVISION TO PERMIT
9	2024-07-15	REVISION TO PERMIT
10	2024-07-15	REVISION TO PERMIT

**bingham hill**  
ARCHITECTS

**Andrew**

BUILDING B LEVEL 2	
SCALE	1:200
DATE	A8.09





**LEGEND**

SECTION LINE  PROPOSED PROPERTY LINE

SETBACK LINE  EXISTING PROPERTY LINE

SRW LINE





**BUILDING B - LEVEL 3**



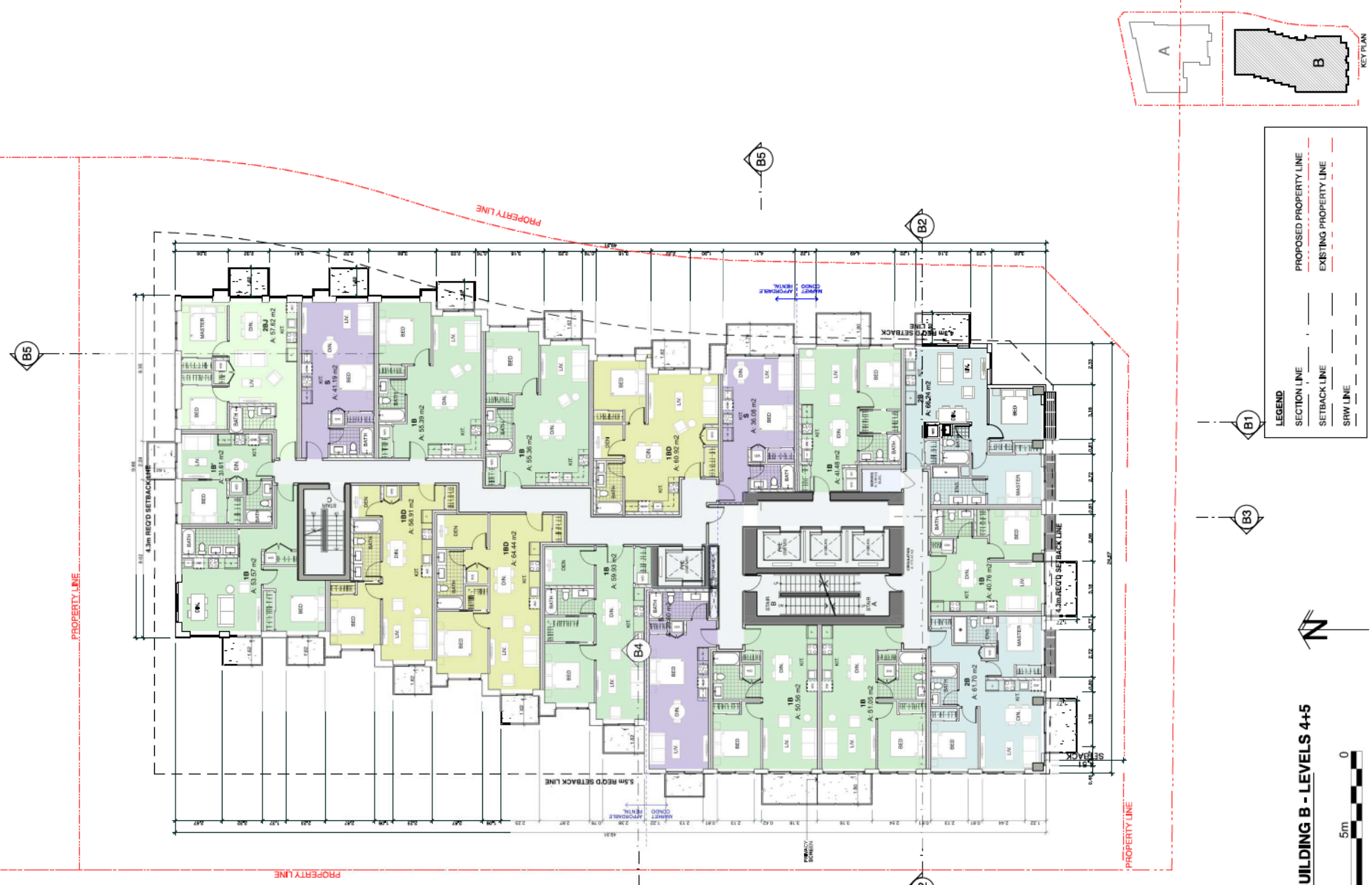
**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR PERMIT	2024-08-20	J. SMITH	M. JONES
2	REVISION TO PERMIT	2024-08-20	J. SMITH	M. JONES
3	REVISION TO PERMIT	2024-08-20	J. SMITH	M. JONES
4	REVISION TO PERMIT	2024-08-20	J. SMITH	M. JONES
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8	REVISION TO PERMIT	2024-08-20	J. SMITH	M. JONES
9	REVISION TO PERMIT	2024-08-20	J. SMITH	M. JONES
10	REVISION TO PERMIT	2024-08-20	J. SMITH	M. JONES

  
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 WWW.BINGHAMHILLARCHITECTS.COM

  
 ANDREW J. SMITH  
 PROFESSIONAL ENGINEER  
 REG. NO. 40212  
 CIVIL ENGINEERING

**BUILDING B LEVEL 3**  
 ALL DIMENSIONS SHOWN ARE IN METERS UNLESS NOTED OTHERWISE  
 DATE: 2024  
 SCALE: 1:200  
**A8.10**

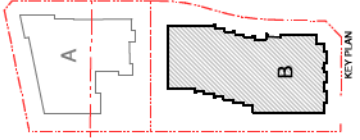


**BUILDING B - LEVELS 4+5**



**LEGEND**

SECTION LINE ——— PROPOSED PROPERTY LINE - - - - -  
 SETBACK LINE - - - - - EXISTING PROPERTY LINE - - - - -  
 SRW LINE - - - - -



**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

10/20/2018

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**BUILDING B LEVEL 4 + 5**

10/20/2018

**A8.11**



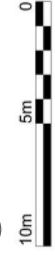
PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

**BUILDING B - LEVEL 6**

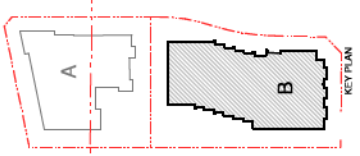


**LEGEND**

SECTION LINE PROPOSED PROPERTY LINE

SETBACK LINE EXISTING PROPERTY LINE

SRW LINE



**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

Drawing: February 20, 2024

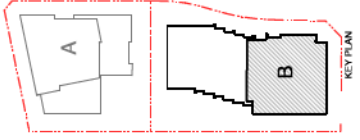
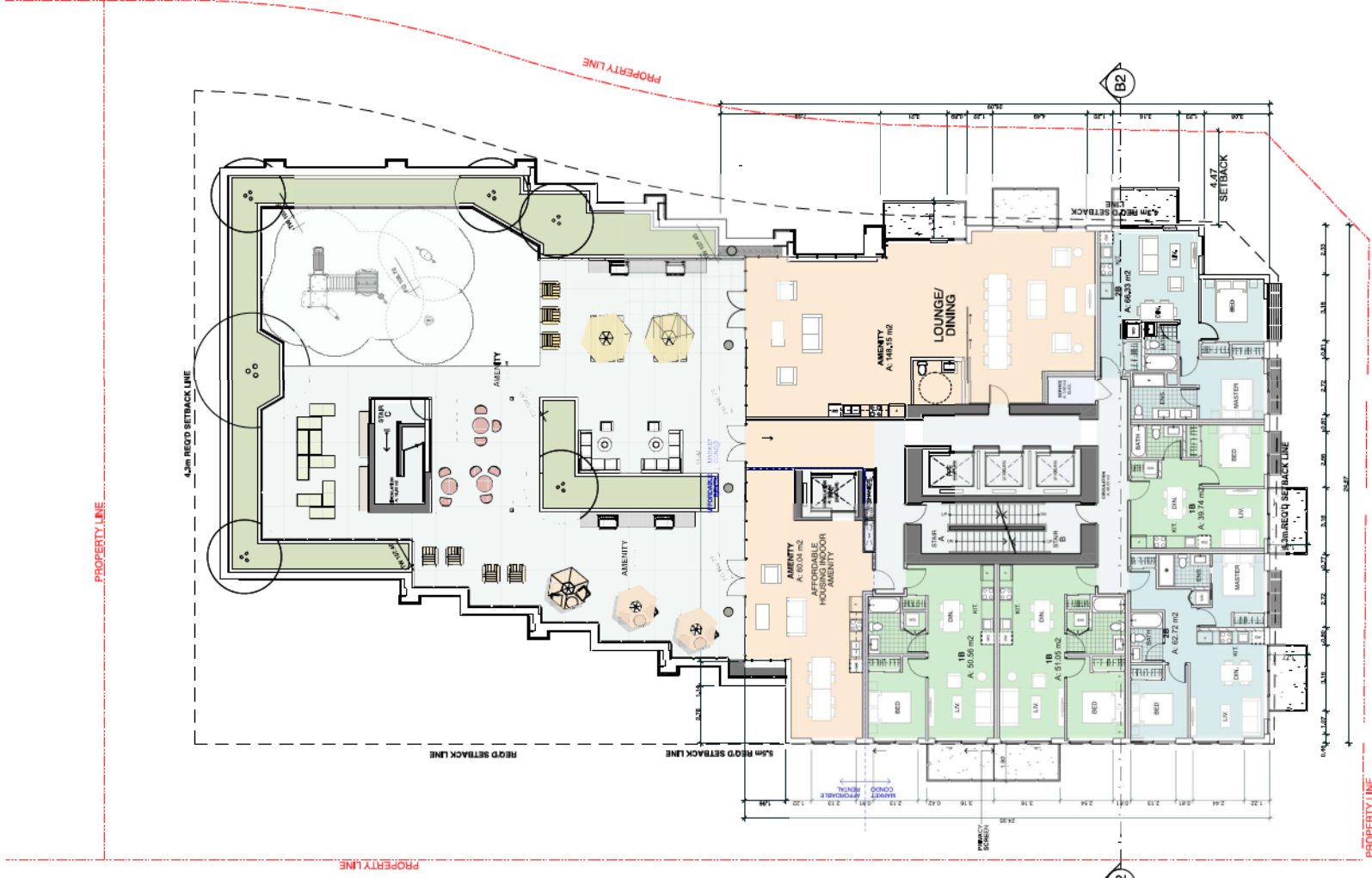
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10	ISSUED FOR PERMIT	2024.02.20

**bingham hill architects**  
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TEL: 604-271-1111 FAX: 604-271-1112  
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**BUILDING B LEVEL 6**

DATE	2024
SCALE	1:200
DRAWN	
CHECKED	
DATE	

**A8.12**

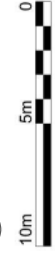


**LEGEND**

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**BUILDING B - LEVEL 7**

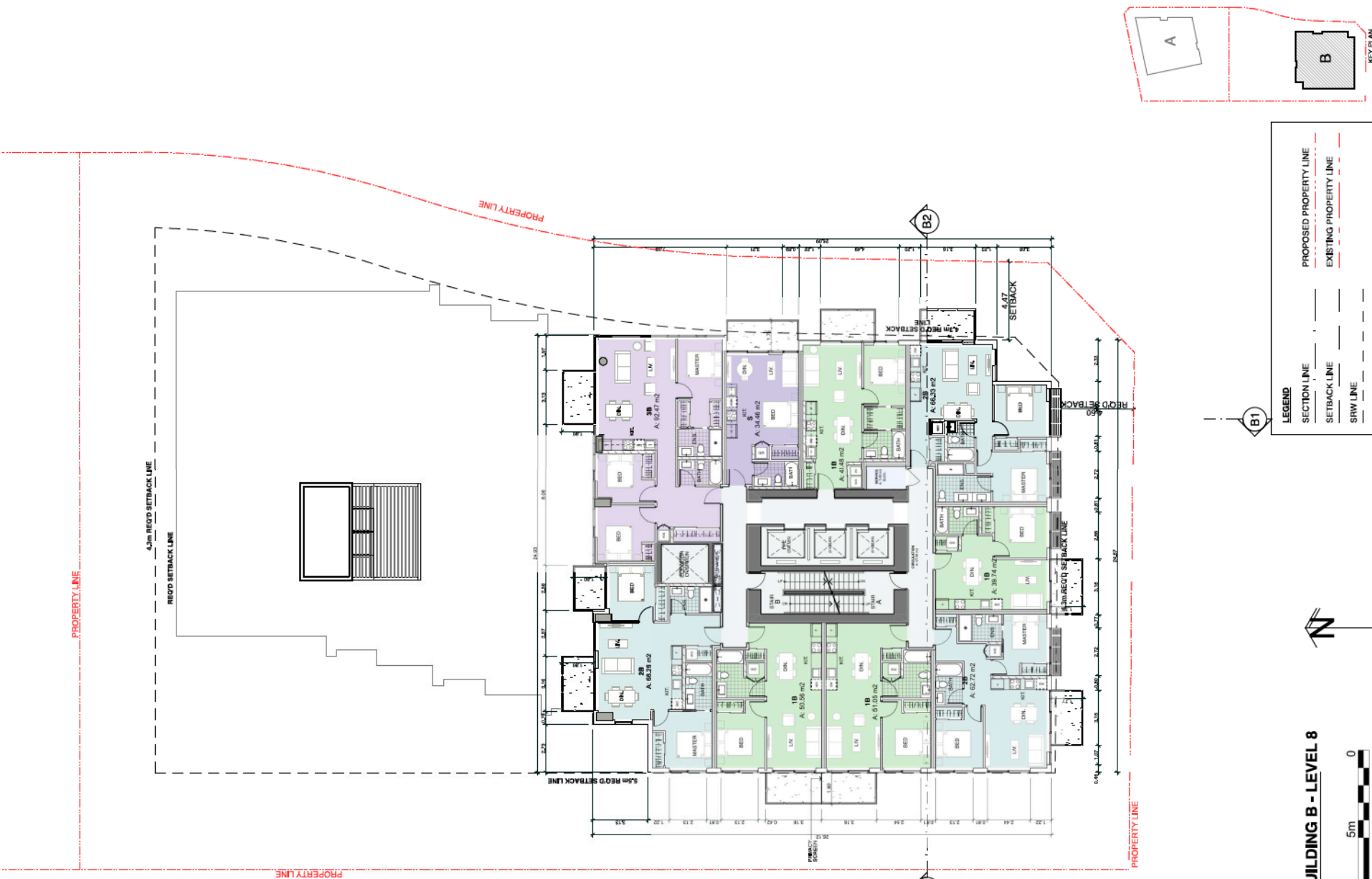


**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

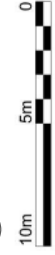
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 Date: 2024-08-15  
 Scale: 1:200  
 Drawing: A8.13

**bingham hill architects**  
 227-1244 Street, Suite 100  
 Vancouver, BC V6L 2K1  
 Tel: 604.271.1111  
 Fax: 604.271.1112  
 Email: info@binghamhill.com

*Andra*

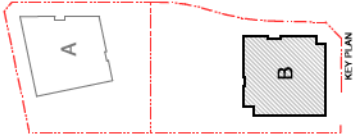


**BUILDING B - LEVEL 8**



**LEGEND**

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 SRW LINE - - - - -



**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

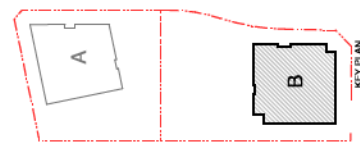
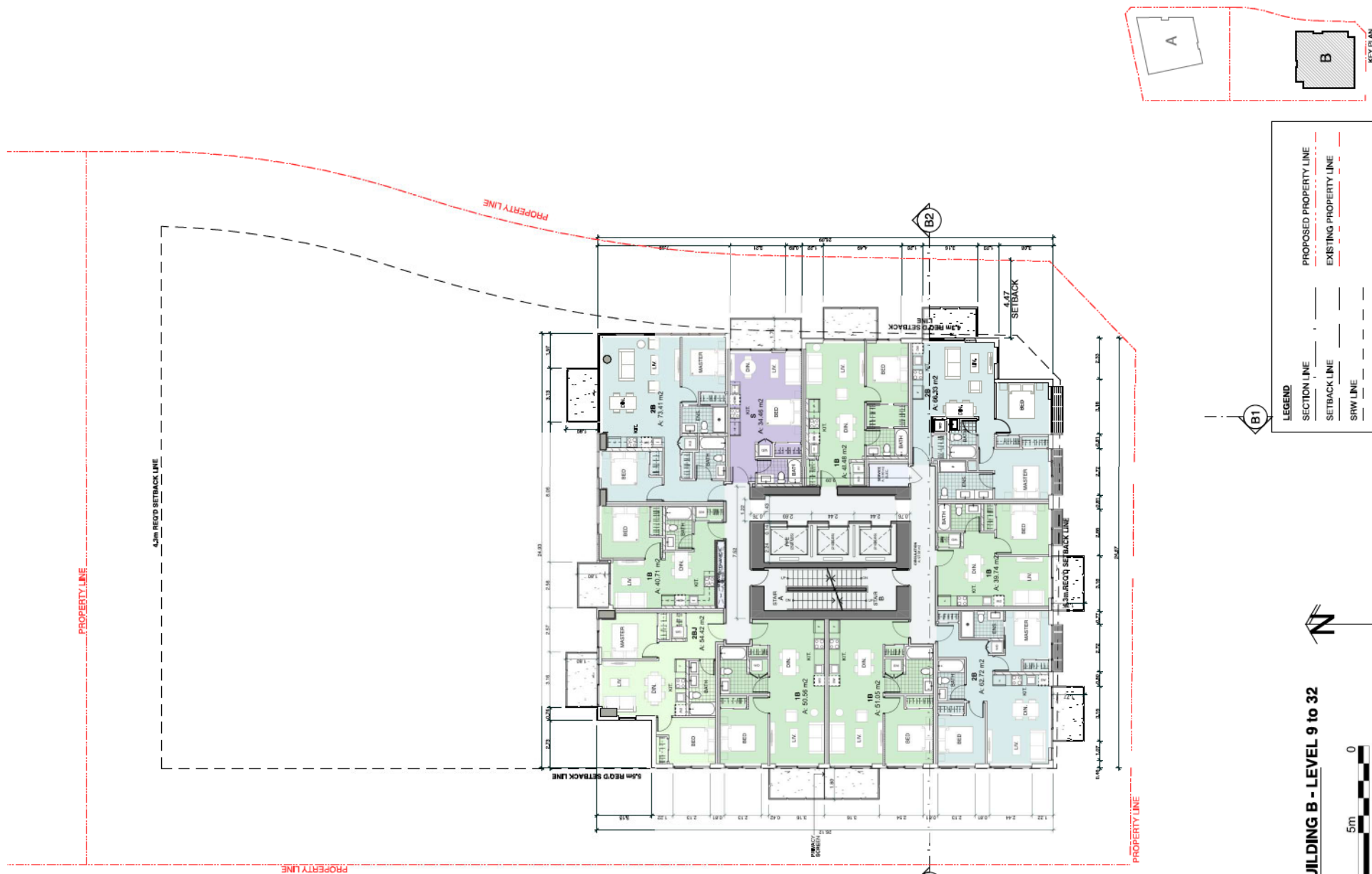
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100	2024-08-14	ISSUED FOR PERMIT

bingham hill ARCHITECTS  
 227-1222 104 AVENUE, WEST FRASER DEVELOPMENT  
 WEST FRASER, BC V3V 2K4  
 TEL: 604-271-1111  
 WWW.BINGHAMHILLARCHITECTS.COM

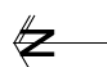
*Andra*

BUILDING B LEVEL 8  
 ALL DIMENSIONS GIVEN IN METERS UNLESS NOTED OTHERWISE  
 DATE: 2024  
 SCALE: 1:200  
 SHEET: A8.14



**LEGEND**

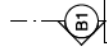
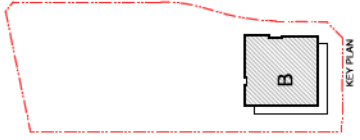
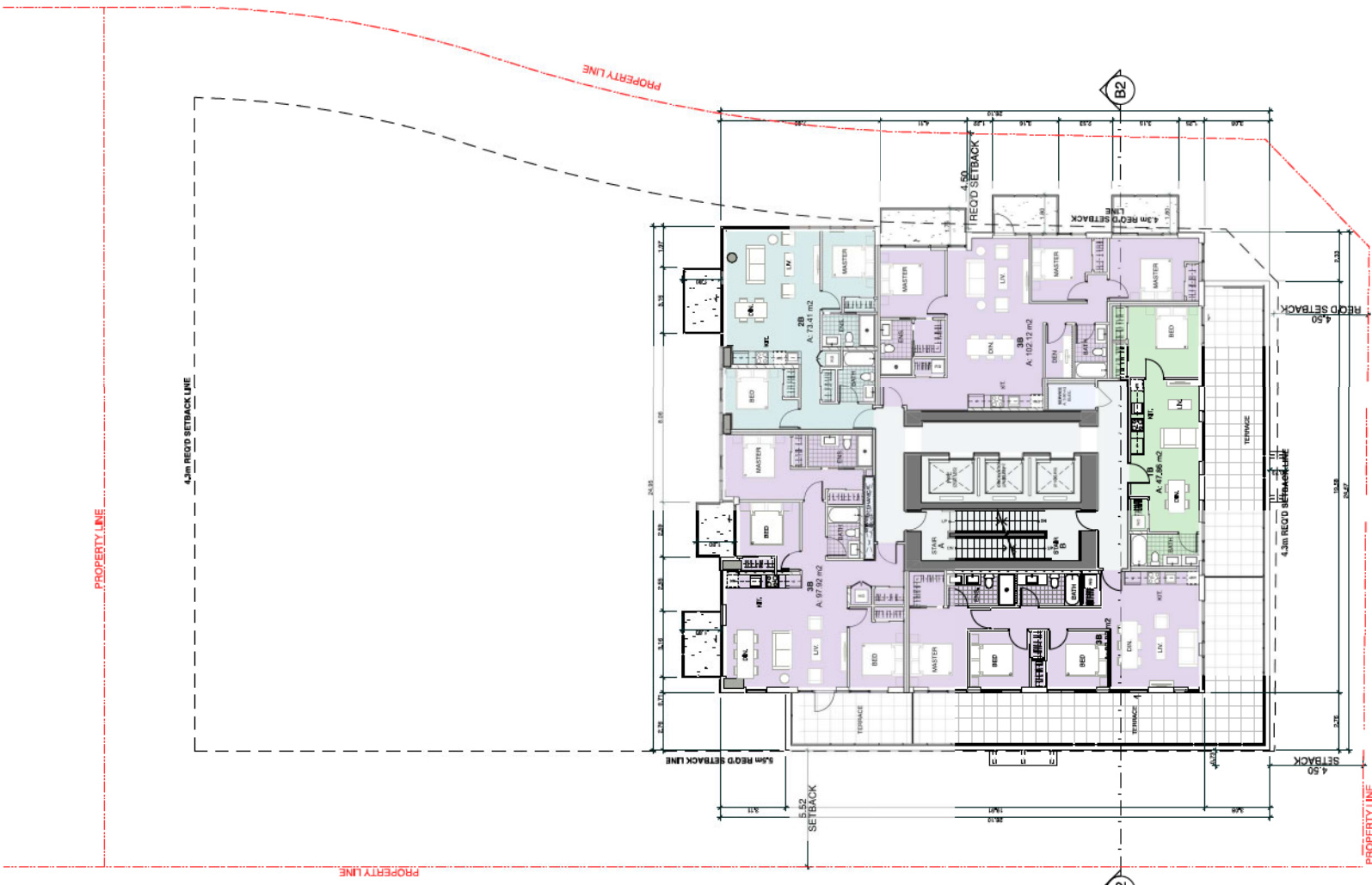
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**BUILDING B - LEVEL 9 TO 32**



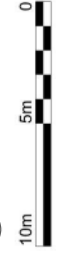
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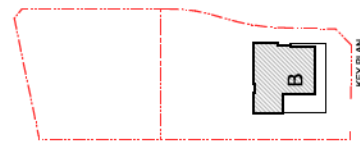
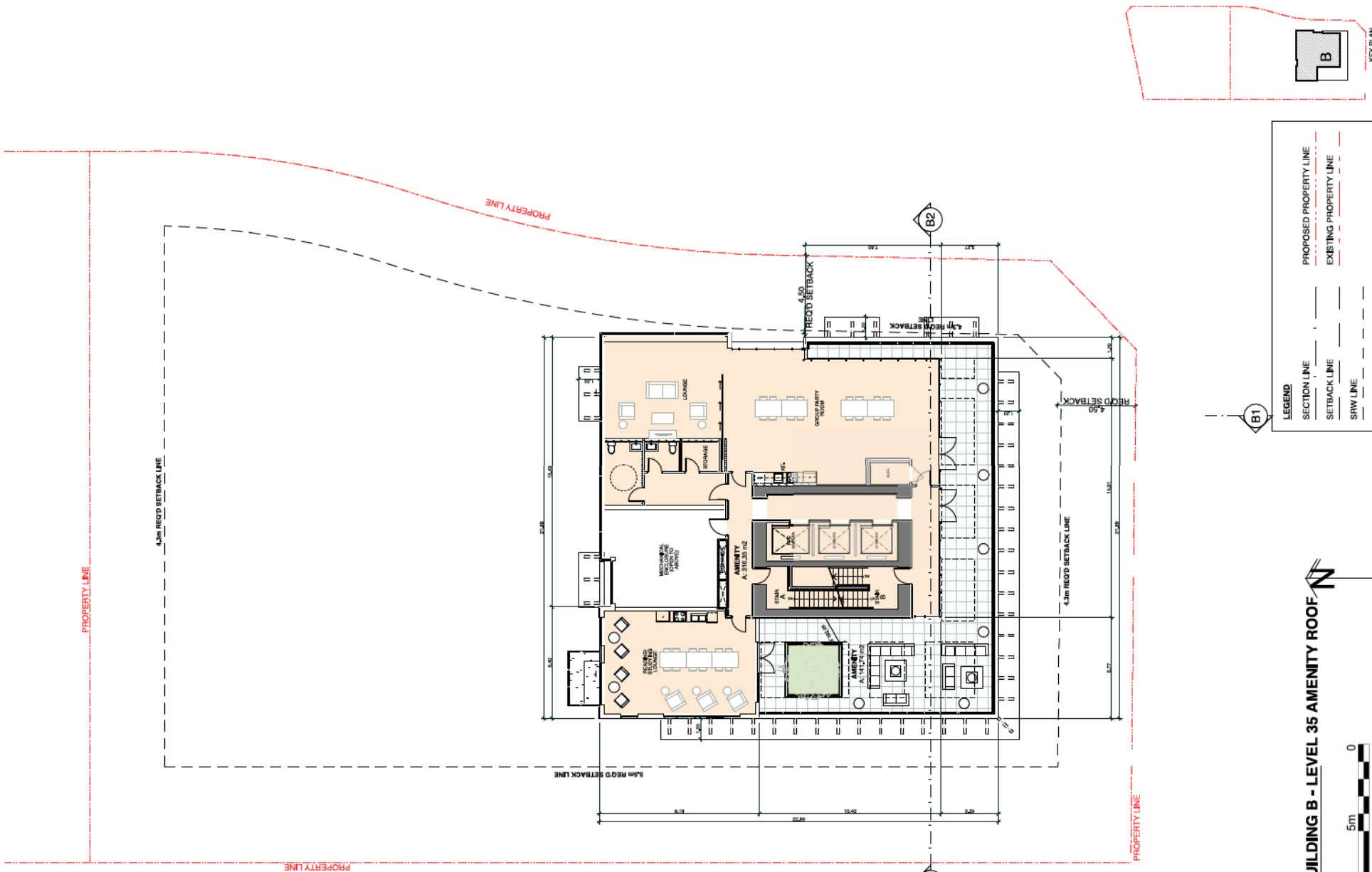
**BUILDING B - LEVEL 33**



<p><b>13265 104 AVENUE</b> West Fraser Development CITY OF SURREY, BRITISH COLUMBIA</p>																																		
<p>Revision: February 20, 2021</p>																																		
<table border="1"> <tr><th>NO.</th><th>DESCRIPTION</th><th>DATE</th></tr> <tr><td>1</td><td>ISSUED FOR PERMIT</td><td>2021-02-20</td></tr> <tr><td>2</td><td>ISSUED FOR PERMIT</td><td>2021-02-20</td></tr> <tr><td>3</td><td>ISSUED FOR PERMIT</td><td>2021-02-20</td></tr> <tr><td>4</td><td>ISSUED FOR PERMIT</td><td>2021-02-20</td></tr> <tr><td>5</td><td>ISSUED FOR PERMIT</td><td>2021-02-20</td></tr> <tr><td>6</td><td>ISSUED FOR PERMIT</td><td>2021-02-20</td></tr> <tr><td>7</td><td>ISSUED FOR PERMIT</td><td>2021-02-20</td></tr> <tr><td>8</td><td>ISSUED FOR PERMIT</td><td>2021-02-20</td></tr> <tr><td>9</td><td>ISSUED FOR PERMIT</td><td>2021-02-20</td></tr> <tr><td>10</td><td>ISSUED FOR PERMIT</td><td>2021-02-20</td></tr> </table>	NO.	DESCRIPTION	DATE	1	ISSUED FOR PERMIT	2021-02-20	2	ISSUED FOR PERMIT	2021-02-20	3	ISSUED FOR PERMIT	2021-02-20	4	ISSUED FOR PERMIT	2021-02-20	5	ISSUED FOR PERMIT	2021-02-20	6	ISSUED FOR PERMIT	2021-02-20	7	ISSUED FOR PERMIT	2021-02-20	8	ISSUED FOR PERMIT	2021-02-20	9	ISSUED FOR PERMIT	2021-02-20	10	ISSUED FOR PERMIT	2021-02-20	<p><b>bingham hill</b> ARCHITECTS</p> <p>2271 LAKE ABRAHAM ROAD SURREY, BC V3T 0P2 TEL: 604.595.1111 WWW.BINGHAMHILLARCHITECTS.COM</p> <p><b>BUILDING B LEVEL 33</b></p> <p>ALL DIMENSIONS SHOWN IN METRIC UNITS</p> <p>Scale: 1:200</p> <p><b>A8.16</b></p>
NO.	DESCRIPTION	DATE																																
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**LEGEND**

SECTION LINE ——— PROPOSED PROPERTY LINE  
 SETBACK LINE - - - - - EXISTING PROPERTY LINE  
 SRW LINE ————



**BUILDING B - LEVEL 35 AMENITY ROOF**



<p><b>13265 104 AVENUE</b>          West Fraser Development          CITY OF SURREY, BRITISH COLUMBIA</p>	
<p>DATE: 15-05-2024</p>	<p>PROJECT: 13265 104 AVENUE</p>
<p>NO. 1</p>	<p>REVISION</p>
<p>NO. 2</p>	<p>REVISION</p>
<p>NO. 3</p>	<p>REVISION</p>
<p>NO. 4</p>	<p>REVISION</p>
<p>NO. 5</p>	<p>REVISION</p>
<p>NO. 6</p>	<p>REVISION</p>
<p>NO. 7</p>	<p>REVISION</p>
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<p>NO. 99</p>	<p>REVISION</p>
<p>NO. 100</p>	<p>REVISION</p>

**binghamhill ARCHITECTS**

227-1285 W. BRIDGE STREET  
 VANCOUVER, BC V6L 2M1  
 TEL: 604-275-1111  
 FAX: 604-275-1112  
 WWW.BINGHAMHILL.COM

*Andrew*

**BUILDING B LEVEL 35 AMENITY ROOF**

ALL DIMENSIONS UNLESS OTHERWISE NOTED

SCALE: 1:200

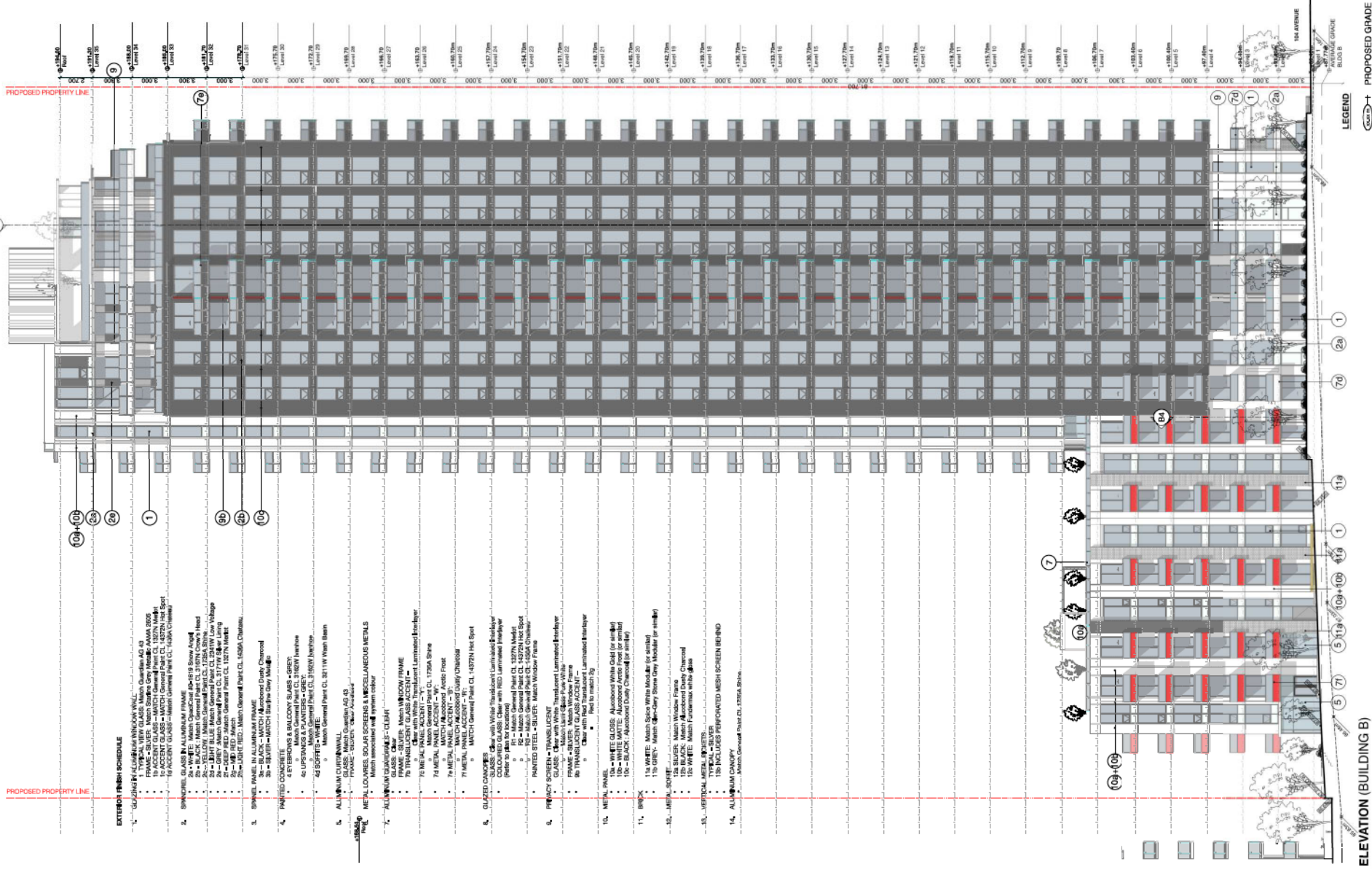
**A8.18**











**EXTERIOR FINISH SCHEDULE**

1. GLAZING BY ALUMINUM WINDOW WALL:
  - 10 - WHITE: Match General Panel CL 1327N Metal
  - 11 - ACCENT GLASS - MATCH General Panel CL 1327N Metal
  - 12 - TRANSLUCENT GLASS - MATCH General Panel CL 1327N Metal
  - 13 - ACCENT GLASS - MATCH General Panel CL 1327N Metal
2. SPANCRETE GLASS IN ALUMINUM FRAME
  - 20 - WHITE: Match General Panel CL 1327N Metal
  - 21 - YELLOW: Match General Panel CL 1327N Metal
  - 22 - DEEP RED: Match General Panel CL 1327N Metal
  - 23 - LIGHT RED: Match General Panel CL 1327N Metal
  - 24 - METAL: Match General Panel CL 1327N Metal
  - 25 - BLACK: MATCH General Panel CL 1327N Metal
  - 26 - SILVER: MATCH General Panel CL 1327N Metal
3. SPANCRETE PANEL IN ALUMINUM FRAME
  - 30 - BLACK: MATCH General Panel CL 1327N Metal
  - 31 - SILVER: MATCH General Panel CL 1327N Metal
4. PAINTED COLOURS
  - 40 - WHITE: MATCH General Panel CL 1327N Metal
  - 41 - GREY: MATCH General Panel CL 1327N Metal
  - 42 - RED: MATCH General Panel CL 1327N Metal
  - 43 - METAL: MATCH General Panel CL 1327N Metal
5. ALUMINUM CLADDING PANELS
  - 50 - WHITE: MATCH General Panel CL 1327N Metal
  - 51 - YELLOW: MATCH General Panel CL 1327N Metal
  - 52 - DEEP RED: MATCH General Panel CL 1327N Metal
  - 53 - LIGHT RED: MATCH General Panel CL 1327N Metal
  - 54 - METAL: MATCH General Panel CL 1327N Metal
  - 55 - BLACK: MATCH General Panel CL 1327N Metal
  - 56 - SILVER: MATCH General Panel CL 1327N Metal
6. METAL LOBBIES, SOLAR SCREENS & MISCELLANEOUS METALS
  - 60 - WHITE: MATCH General Panel CL 1327N Metal
  - 61 - YELLOW: MATCH General Panel CL 1327N Metal
  - 62 - DEEP RED: MATCH General Panel CL 1327N Metal
  - 63 - LIGHT RED: MATCH General Panel CL 1327N Metal
  - 64 - METAL: MATCH General Panel CL 1327N Metal
  - 65 - BLACK: MATCH General Panel CL 1327N Metal
  - 66 - SILVER: MATCH General Panel CL 1327N Metal
7. ALUMINUM GLASS:
  - 70 - WHITE: MATCH General Panel CL 1327N Metal
  - 71 - YELLOW: MATCH General Panel CL 1327N Metal
  - 72 - DEEP RED: MATCH General Panel CL 1327N Metal
  - 73 - LIGHT RED: MATCH General Panel CL 1327N Metal
  - 74 - METAL: MATCH General Panel CL 1327N Metal
  - 75 - BLACK: MATCH General Panel CL 1327N Metal
  - 76 - SILVER: MATCH General Panel CL 1327N Metal
8. GLAZED CANOPIES
  - 80 - WHITE: MATCH General Panel CL 1327N Metal
  - 81 - YELLOW: MATCH General Panel CL 1327N Metal
  - 82 - DEEP RED: MATCH General Panel CL 1327N Metal
  - 83 - LIGHT RED: MATCH General Panel CL 1327N Metal
  - 84 - METAL: MATCH General Panel CL 1327N Metal
  - 85 - BLACK: MATCH General Panel CL 1327N Metal
  - 86 - SILVER: MATCH General Panel CL 1327N Metal
9. FRENCH SCREENS - TINTLESS GLASS
  - 90 - TRANSLUCENT GLASS - MATCH General Panel CL 1327N Metal
  - 91 - WHITE: MATCH General Panel CL 1327N Metal
  - 92 - YELLOW: MATCH General Panel CL 1327N Metal
  - 93 - DEEP RED: MATCH General Panel CL 1327N Metal
  - 94 - LIGHT RED: MATCH General Panel CL 1327N Metal
  - 95 - METAL: MATCH General Panel CL 1327N Metal
  - 96 - BLACK: MATCH General Panel CL 1327N Metal
  - 97 - SILVER: MATCH General Panel CL 1327N Metal
10. METAL PANELS
  - 100 - WHITE: MATCH General Panel CL 1327N Metal
  - 101 - YELLOW: MATCH General Panel CL 1327N Metal
  - 102 - DEEP RED: MATCH General Panel CL 1327N Metal
  - 103 - LIGHT RED: MATCH General Panel CL 1327N Metal
  - 104 - METAL: MATCH General Panel CL 1327N Metal
  - 105 - BLACK: MATCH General Panel CL 1327N Metal
  - 106 - SILVER: MATCH General Panel CL 1327N Metal
11. BRICK
  - 110 - WHITE: MATCH General Panel CL 1327N Metal
  - 111 - GREY: MATCH General Panel CL 1327N Metal
12. METAL SCREENS
  - 120 - WHITE: MATCH General Panel CL 1327N Metal
  - 121 - YELLOW: MATCH General Panel CL 1327N Metal
  - 122 - DEEP RED: MATCH General Panel CL 1327N Metal
  - 123 - LIGHT RED: MATCH General Panel CL 1327N Metal
  - 124 - METAL: MATCH General Panel CL 1327N Metal
  - 125 - BLACK: MATCH General Panel CL 1327N Metal
  - 126 - SILVER: MATCH General Panel CL 1327N Metal
13. ALUMINUM CANOPY
  - 130 - WHITE: MATCH General Panel CL 1327N Metal
  - 131 - YELLOW: MATCH General Panel CL 1327N Metal
  - 132 - DEEP RED: MATCH General Panel CL 1327N Metal
  - 133 - LIGHT RED: MATCH General Panel CL 1327N Metal
  - 134 - METAL: MATCH General Panel CL 1327N Metal
  - 135 - BLACK: MATCH General Panel CL 1327N Metal
  - 136 - SILVER: MATCH General Panel CL 1327N Metal

**WEST ELEVATION (BUILDING B)**

LEGEND  
 PROPOSED GRADE  
 EXISTING GRADE

**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

13265 104 AVENUE  
 WEST FRASER DEVELOPMENT  
 CITY OF SURREY, BRITISH COLUMBIA

13265 104 AVENUE  
 WEST FRASER DEVELOPMENT  
 CITY OF SURREY, BRITISH COLUMBIA

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 WEST FRASER DEVELOPMENT  
 CITY OF SURREY, BRITISH COLUMBIA

13265 104 AVENUE  
 WEST FRASER DEVELOPMENT  
 CITY OF SURREY, BRITISH COLUMBIA

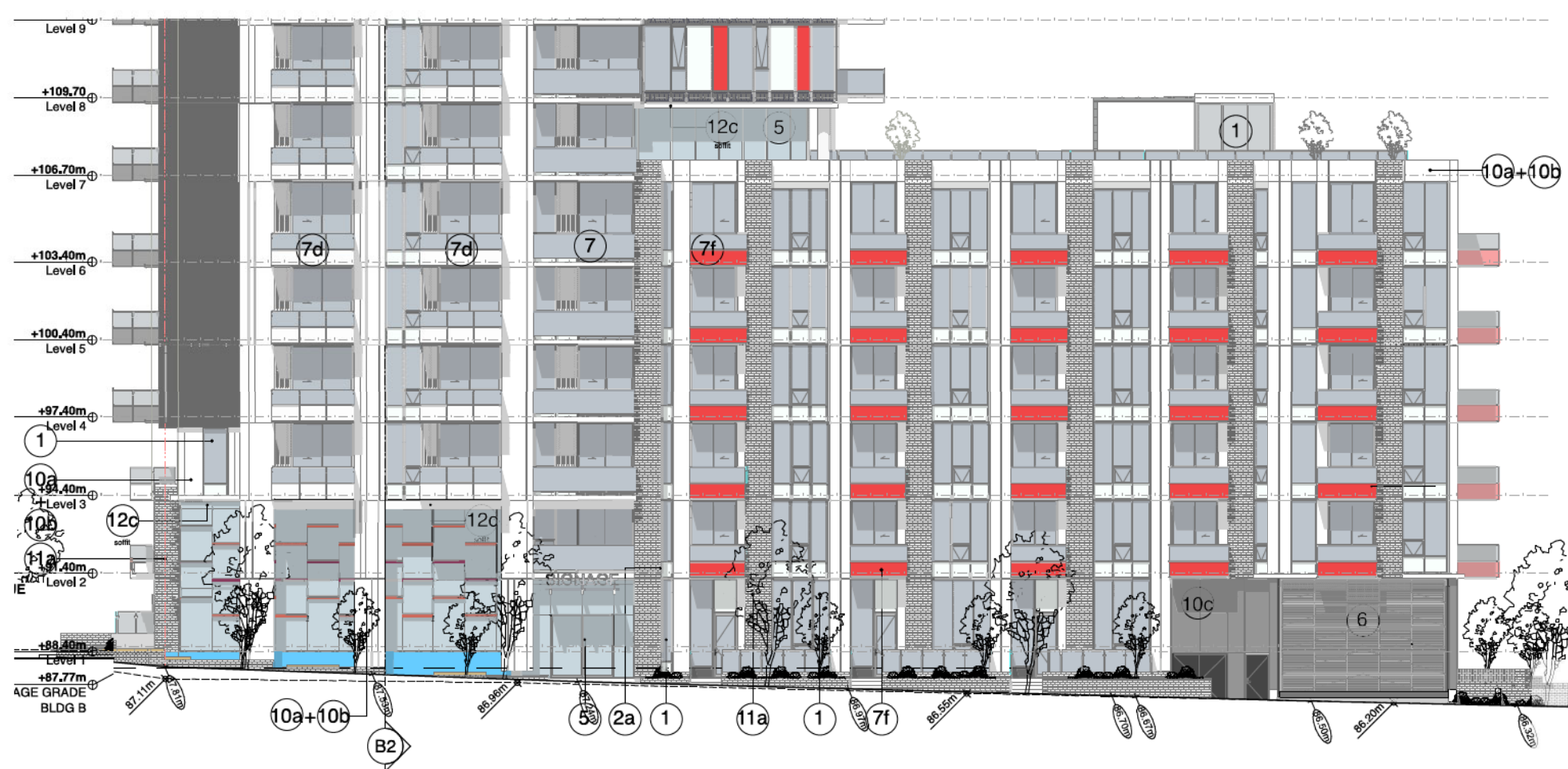
13265 104 AVENUE  
 WEST FRASER DEVELOPMENT  
 CITY OF SURREY, BRITISH COLUMBIA

NO.	DESCRIPTION	DATE
1	Issue for Review	2024-08-20
2	Issue for Review	2024-08-20
3	Issue for Review	2024-08-20
4	Issue for Review	2024-08-20
5	Issue for Review	2024-08-20
6	Issue for Review	2024-08-20
7	Issue for Review	2024-08-20
8	Issue for Review	2024-08-20
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13	Issue for Review	2024-08-20
14	Issue for Review	2024-08-20
15	Issue for Review	2024-08-20
16	Issue for Review	2024-08-20
17	Issue for Review	2024-08-20
18	Issue for Review	2024-08-20
19	Issue for Review	2024-08-20
20	Issue for Review	2024-08-20

**Bingham Hill Architects**  
 ARCHITECTS



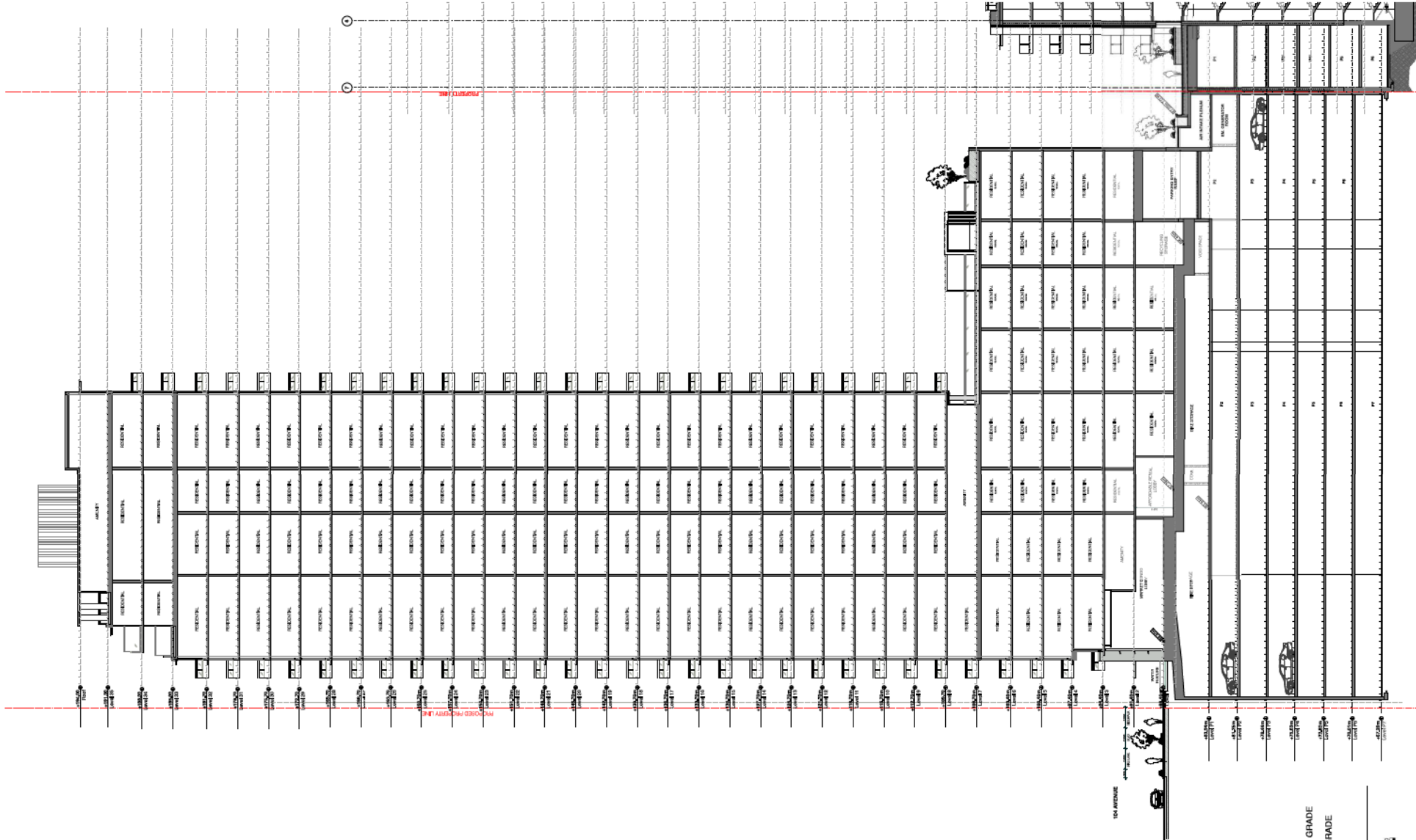
**BUILDING B PODIUM ELEVATION**  
 SCALE: 1:150  
 A9.05



**EAST ELEVATION (BUILDING B)**



**LEGEND**  
 PROPOSED GRADE  
 EXISTING GRADE

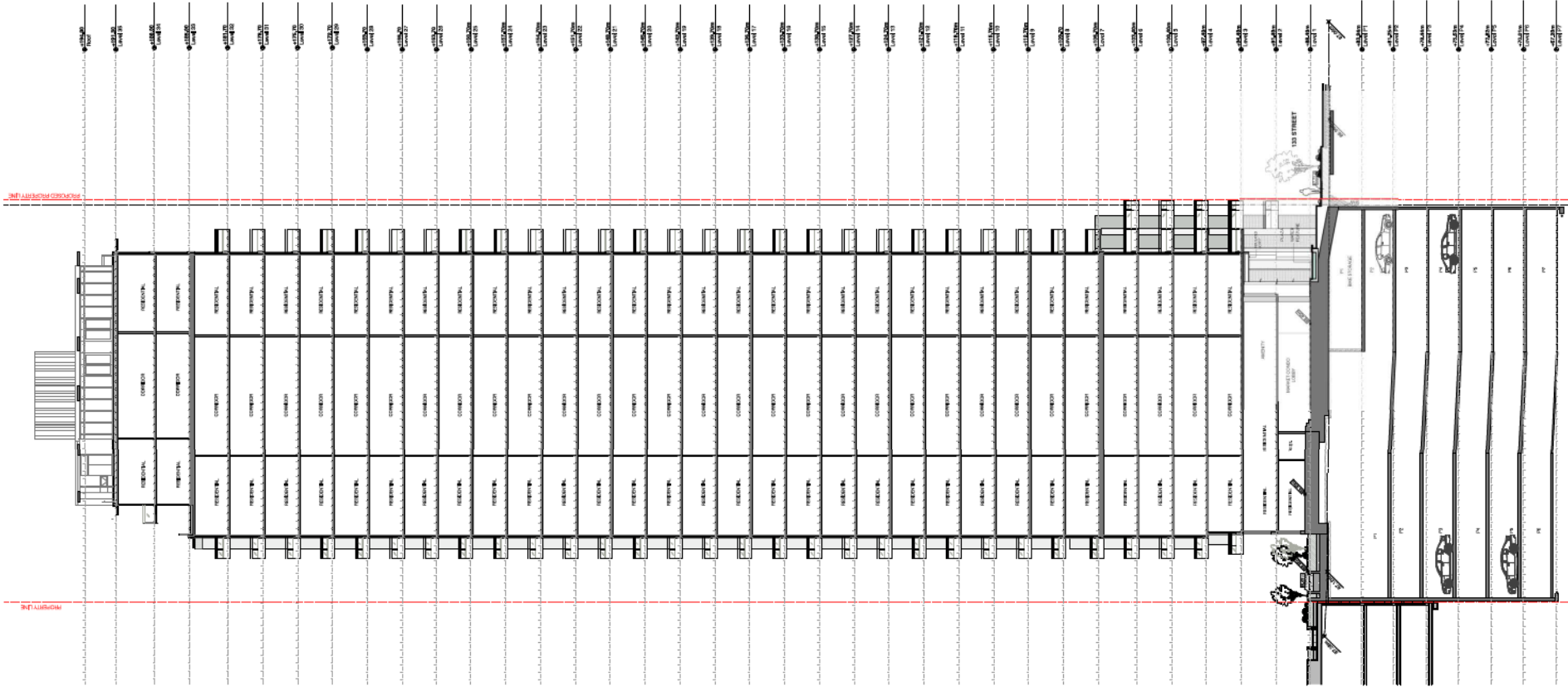


**LEGEND**  
 [Symbol] PROPOSED GRADE  
 [Symbol] EXISTING GRADE

**SECTION B1**

<p>13265 104 AVENUE          West Fraser Development          CITY OF SURREY, BRITISH COLUMBIA</p>	
<p>Project: 13265 104 Avenue          Date: 2023-10-27          Scale: 1:350          Drawing No: A10.01</p>	
<p>Architect: bingham hill architects          227-1244 West Fraser Drive, West Fraser Development          West Fraser Development, 13265 104 Avenue          West Fraser Development, 13265 104 Avenue          West Fraser Development, 13265 104 Avenue          West Fraser Development, 13265 104 Avenue</p>	
<p>SECTION B1</p>	
<p>ALL DIMENSIONS SHOWN IN METERS UNLESS NOTED OTHERWISE</p>	





**LEGEND**  
 [Symbol] PROPOSED GRADE  
 [Symbol] EXISTING GRADE

**SECTION B2**



**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

Thursday, February 20, 2020

NO.	DESCRIPTION	DATE
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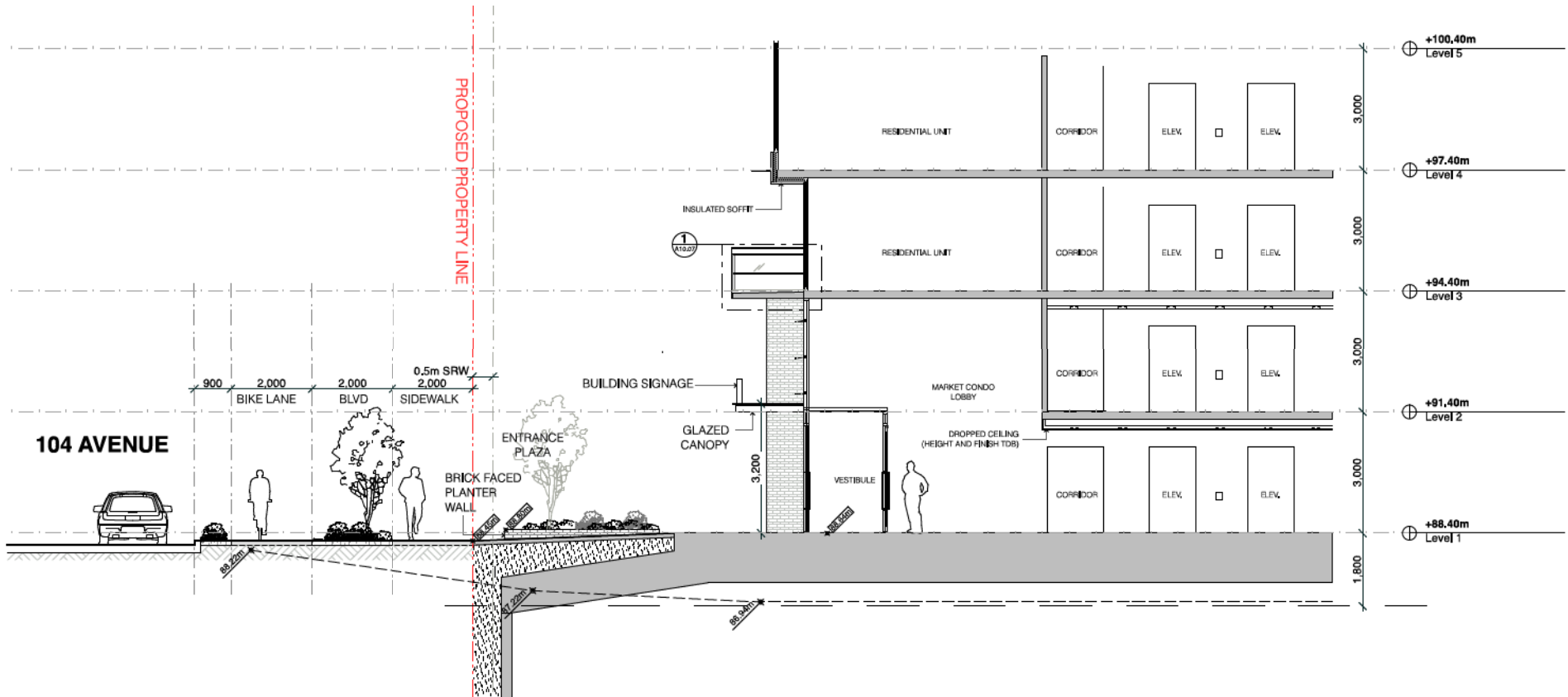
**bingham hill architects**

227-1244 4 Street, Surrey  
 British Columbia V3R 1Y1  
 Tel: 604-591-1111  
 Fax: 604-591-1112  
 Email: info@binghamhill.com



SECTION B2

Scale: 1:350  
 Date: A10.02



1 SECTION B3 (BUILDING B MARKET CONDO ENTRANCE)  
1:100

**LEGEND**  
 PROPOSED GRADE  
 EXISTING GRADE

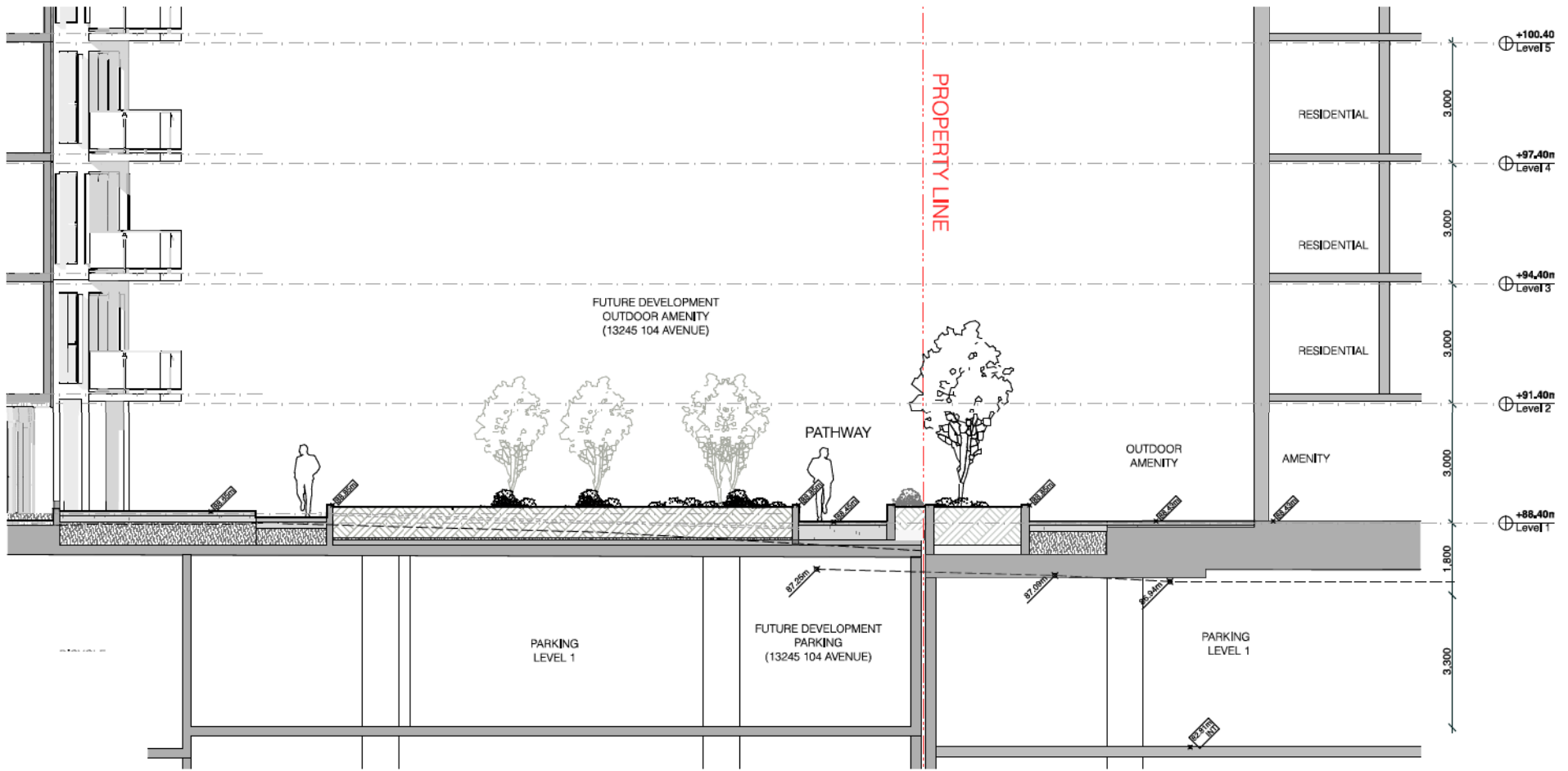
**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

NO.	REVISION	DATE
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3	REVISED PER PERMIT COMMENTS	2024
4	REVISED PER PERMIT COMMENTS	2024
5	REVISED PER PERMIT COMMENTS	2024
6	REVISED PER PERMIT COMMENTS	2024
7	REVISED PER PERMIT COMMENTS	2024
8	REVISED PER PERMIT COMMENTS	2024
9	REVISED PER PERMIT COMMENTS	2024
10	REVISED PER PERMIT COMMENTS	2024

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100-1000 Avenue Road, Suite 100  
 Vancouver, BC V6A 2E6  
 Tel: 604.276.1111  
 Fax: 604.276.1112  
 www.binghamhill.com

SECTION B3  
 ALL DIMENSIONS UNLESS OTHERWISE NOTED  
 SCALE: 1:100  
 A10.03



1 SECTION B4 (BUILDING B WEST AMENITY)  
1:100

**LEGEND**  
 ——— PROPOSED GRADE  
 - - - - - EXISTING GRADE

**13265 104 AVENUE**  
 West Fraser Development  
 CITY OF SURREY, BRITISH COLUMBIA

NO.	DATE	DESCRIPTION	BY	CHKD
1	2024.08.28	ISSUED FOR PERMIT	MM	MM
2	2024.08.28	ISSUED FOR PERMIT	MM	MM
3	2024.08.28	ISSUED FOR PERMIT	MM	MM
4	2024.08.28	ISSUED FOR PERMIT	MM	MM
5	2024.08.28	ISSUED FOR PERMIT	MM	MM
6	2024.08.28	ISSUED FOR PERMIT	MM	MM
7	2024.08.28	ISSUED FOR PERMIT	MM	MM
8	2024.08.28	ISSUED FOR PERMIT	MM	MM
9	2024.08.28	ISSUED FOR PERMIT	MM	MM
10	2024.08.28	ISSUED FOR PERMIT	MM	MM

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SECTION B4

A10.04

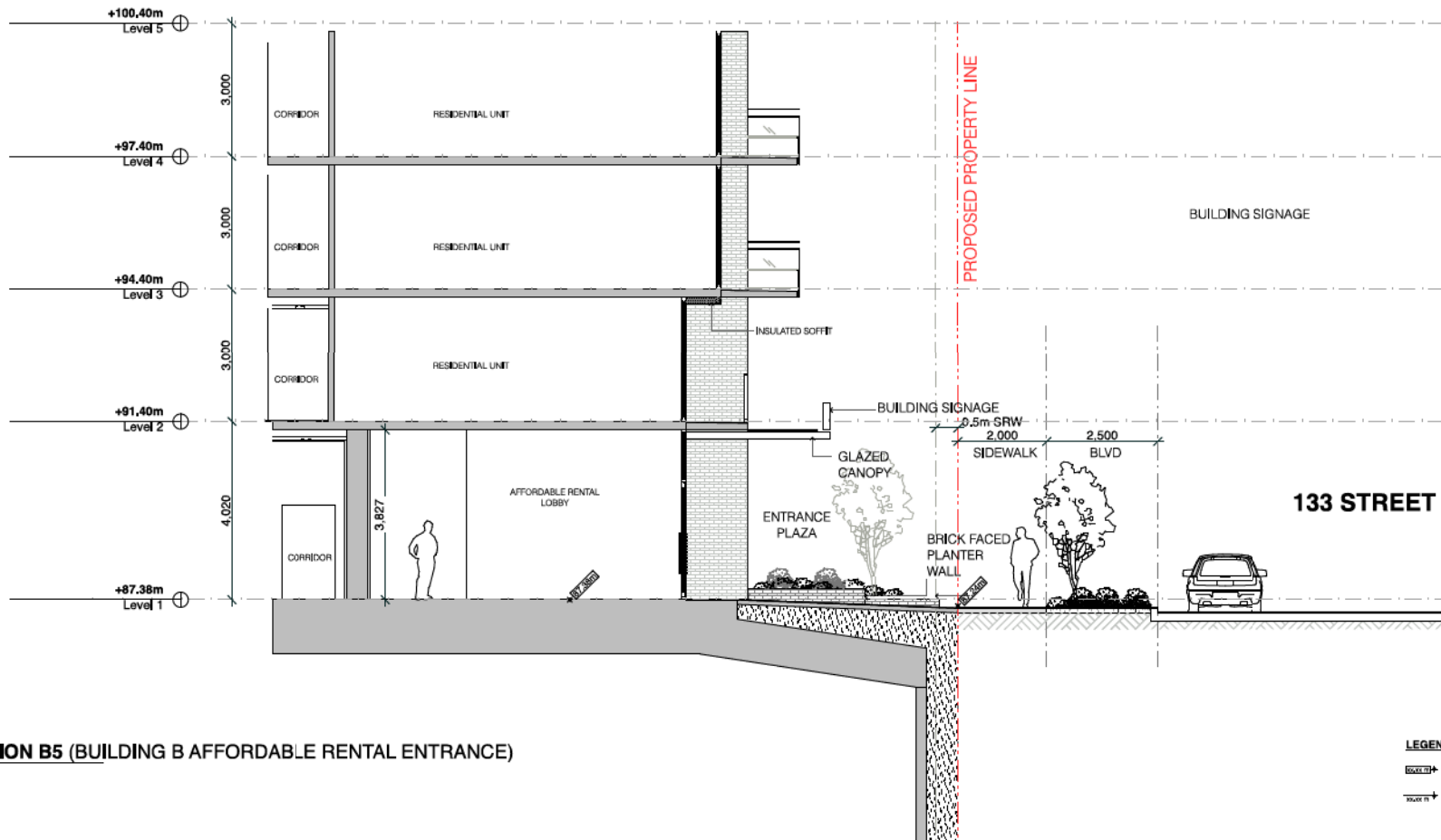
NO.	DATE	DESCRIPTION	BY	CHKD.
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4	2023-08-23	ISSUED FOR PERMIT	AM	AM
5	2023-08-23	ISSUED FOR PERMIT	AM	AM
6	2023-08-23	ISSUED FOR PERMIT	AM	AM
7	2023-08-23	ISSUED FOR PERMIT	AM	AM
8	2023-08-23	ISSUED FOR PERMIT	AM	AM
9	2023-08-23	ISSUED FOR PERMIT	AM	AM
10	2023-08-23	ISSUED FOR PERMIT	AM	AM

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**BUILDING B SECTION B5**

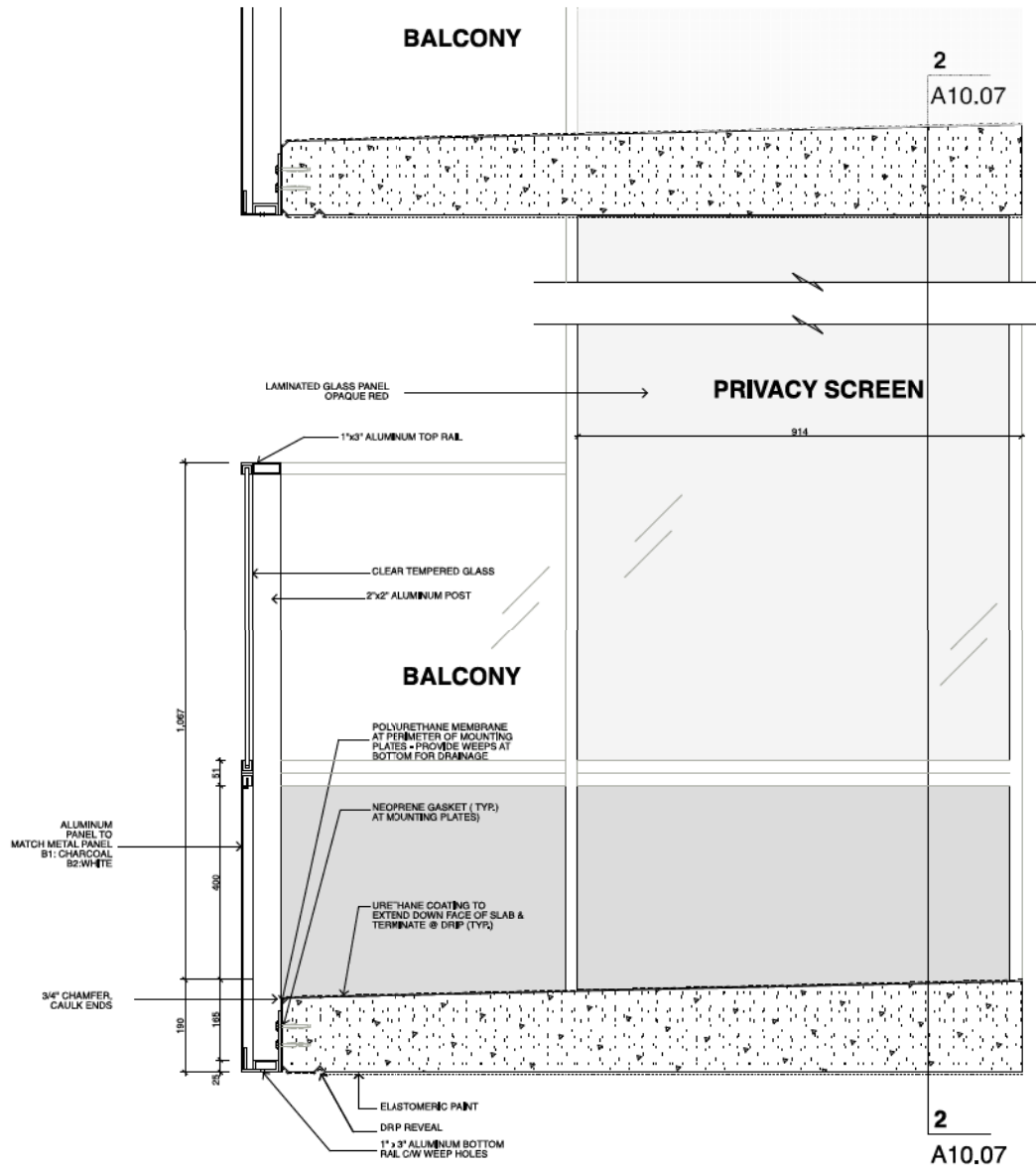
ALL DIMENSIONS UNLESS OTHERWISE NOTED  
 SCALE: 1:100  
**A10.05**



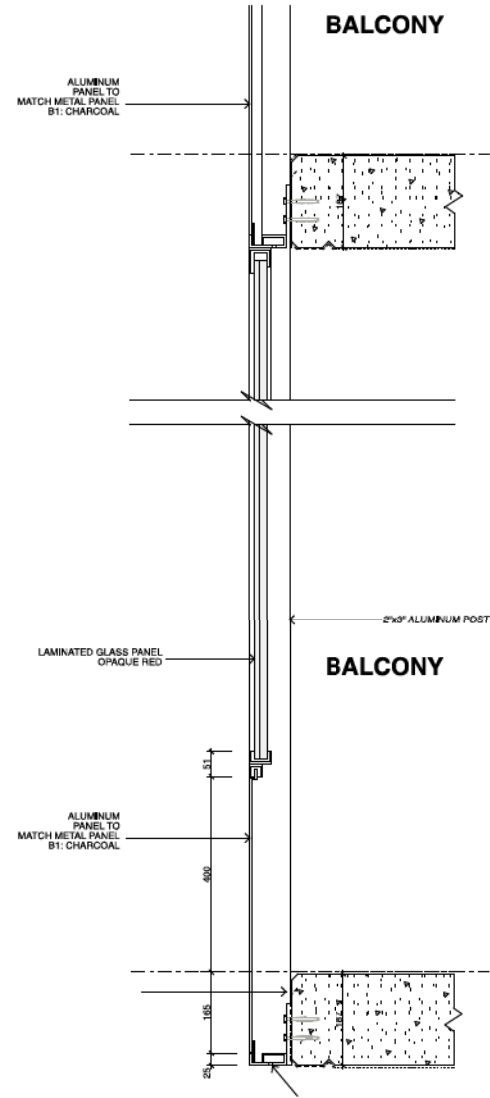
**SECTION B5 (BUILDING B AFFORDABLE RENTAL ENTRANCE)**  
 1:100

**LEGEND**  
 - - - - - PROPOSED GRADE  
 ———— EXISTING GRADE





1 **DETAIL PRIVACY SCREEN**  
1:10



2 **SECTION DETAIL PRIVACY SCREEN**  
1:10

**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

13265 104 AVENUE

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	2024
2	ISSUED FOR PERMIT	2024
3	ISSUED FOR PERMIT	2024
4	ISSUED FOR PERMIT	2024
5	ISSUED FOR PERMIT	2024
6	ISSUED FOR PERMIT	2024
7	ISSUED FOR PERMIT	2024
8	ISSUED FOR PERMIT	2024
9	ISSUED FOR PERMIT	2024
10	ISSUED FOR PERMIT	2024

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TEL: 604-271-1111  
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**BUILDING B PRIVACY SCREEN**

ALL DIMENSIONS UNLESS OTHERWISE NOTED  
DATE: 2024  
DRAWN: [Name]  
CHECKED: [Name]  
PROJECT: [Name]

A10.07



FDC #1

- TOWNHOUSE ADDRESS TO BE CUT FROM ALUMINUM AND LED BACKLIT
- ALUMINUM COLOUR TO MATCH METAL PANEL 10c

- CHROME LETTERING COLOUR/FINISH

- FINAL BUILDING NAME TO BE DETERMINED AND LETTERING HEIGHT/WIDTH TO ADJUST TO SUIT
- LETTERING MOUNTED ON ALUMINUM STRUCTURE BEHIND

1 SIGNAGE (BUILDING B-MARKET CONDO)  
1:50

**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

DATE: 2024.07.25 10:30 AM

NO.	REVISION	DATE
1	ISSUE FOR PERMIT	2024.07.25
2	ISSUE FOR PERMIT	2024.07.25
3	ISSUE FOR PERMIT	2024.07.25
4	ISSUE FOR PERMIT	2024.07.25
5	ISSUE FOR PERMIT	2024.07.25
6	ISSUE FOR PERMIT	2024.07.25
7	ISSUE FOR PERMIT	2024.07.25
8	ISSUE FOR PERMIT	2024.07.25
9	ISSUE FOR PERMIT	2024.07.25
10	ISSUE FOR PERMIT	2024.07.25

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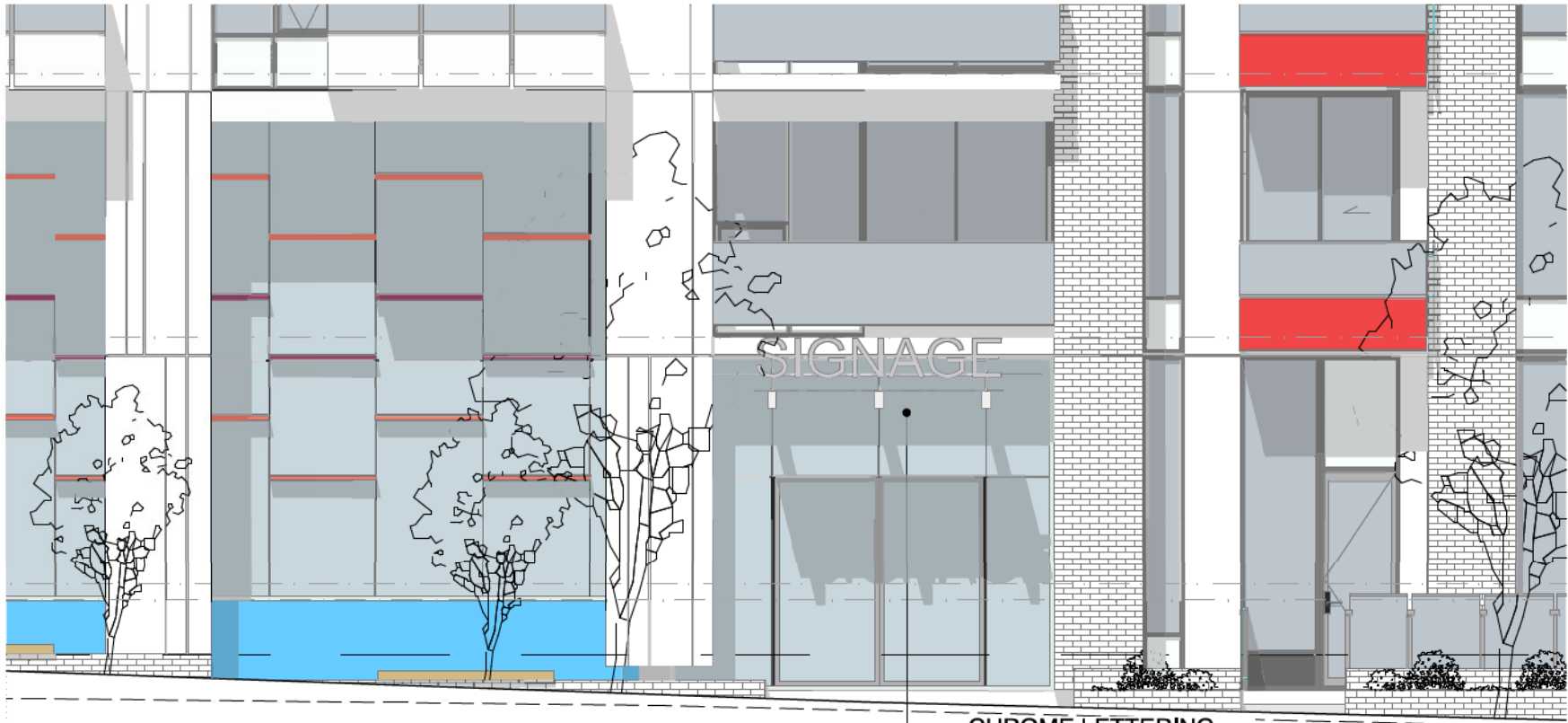
107-1148 Avenue Road  
Surrey, BC V3R 4Y4  
Tel: 604.596.1111  
www.binghamhill.ca



BUILDING B SIGNAGE  
PLAN (MARKET  
CONDO)

ALL DIMENSIONS SHALL BE SHOWN ON THIS

DATE: 2024.07.25 10:30 AM  
SCALE: 1:50  
PROJECT: 13265 104 AVENUE  
SHEET: A10.08



- CHROME LETTERING COLOUR/FINISH
- FINAL BUILDING NAME TO BE DETERMINED AND LETTERING HEIGHT/WIDTH TO ADJUST TO SUIT
- LETTERING SUSPENDED FROM ALUMINUM STRUCTURE BEHIND

1 SIGNAGE (BUILDING B- AFFORDABLE RENTAL)  
1:50

**13265 104 AVENUE**  
West Fraser Development  
CITY OF SURREY, BRITISH COLUMBIA

DATE: 2024-07-26 10:30 AM

1	2024-07-26	10:30 AM
2	2024-07-26	10:30 AM
3	2024-07-26	10:30 AM
4	2024-07-26	10:30 AM
5	2024-07-26	10:30 AM
6	2024-07-26	10:30 AM
7	2024-07-26	10:30 AM
8	2024-07-26	10:30 AM
9	2024-07-26	10:30 AM
10	2024-07-26	10:30 AM

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**BUILDING B SIGNAGE  
PLAN (AFFORDABLE  
RENTAL)**

ALL DIMENSIONS UNLESS OTHERWISE NOTED  
DATE: 2024-07-26 10:30 AM  
DRAWN: [Name]  
CHECKED: [Name]  
SCALE: **A10.09**






Revision No.	Date
7	2024/02/16
6	2023/06/14
5	2023/06/26
4	2023/02/20
3	2019/06/30
2	2018/06/14
1	2018/12/03

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**Client:**  
**West Fraser Developments Ltd.**

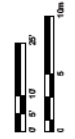
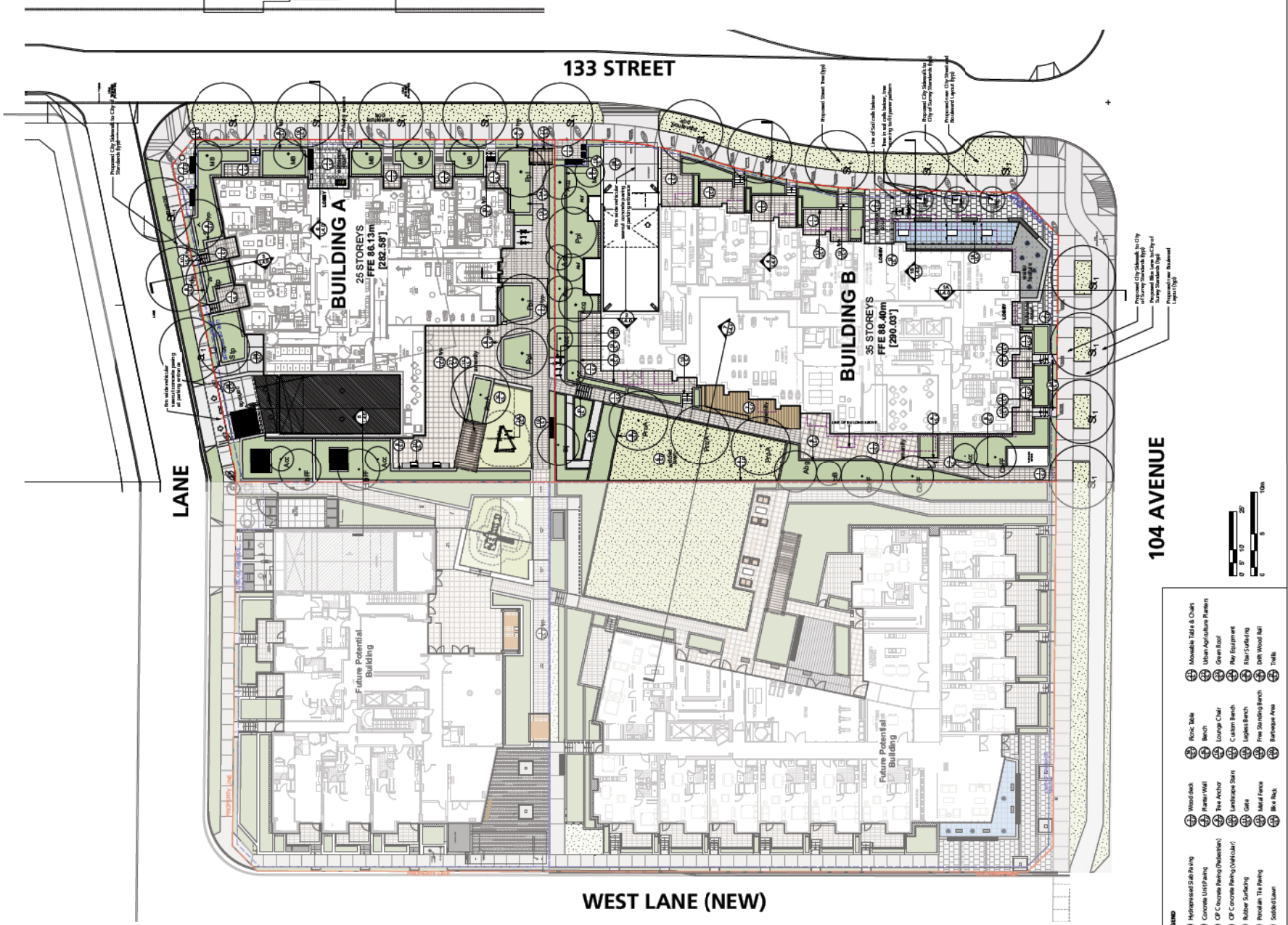
**Project Title:**  
**13265 104 Avenue**

**Drawing Title:**  
**Context Plan**

<b>Project North:</b>	<b>Drawn By:</b> JPTT
	<b>Checked By:</b> MP
<b>Scale:</b> 1:200	<b>Job No.:</b> 18-012
<b>Sheet No.:</b>	



**L0.0**



- LEGEND**
- ⊕ Hardscape Slab Paving
  - ⊕ Concrete LVP Paving
  - ⊕ OP Concrete Paving (Question)
  - ⊕ OP Concrete Paving (Material)
  - ⊕ Rubber Surfacing
  - ⊕ Perforated Tin Paving
  - ⊕ Saddle Lawn
  - ⊕ Wood Deck
  - ⊕ Planter Wall
  - ⊕ Tree Anchor
  - ⊕ Landscape Screen
  - ⊕ Gate
  - ⊕ Metal Fence
  - ⊕ Bar Back
  - ⊕ Rock Table
  - ⊕ Bench
  - ⊕ Lounge Chair
  - ⊕ Custom Bench
  - ⊕ Loggia Bench
  - ⊕ Fine Screening Bench
  - ⊕ Baroque Ave
  - ⊕ Movable Table & Chair
  - ⊕ Urban Agriculture Pattern
  - ⊕ Green Roof
  - ⊕ Pine Equipment
  - ⊕ Rain Scaffolding
  - ⊕ Dark Wood Bal
  - ⊕ Trench

Revision No.	Date
8	2024/02/16
7	2023/06/14
6	2020/06/26
5	2020/02/20
4	2019/09/30
3	2019/06/14
2	2019/12/03
1	2019/10/05

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**Client:**  
 West Fraser Developments Ltd.

**Project Title:**  
 13265 104 Avenue

**Drawing Title:**  
 Landscape Plan - Ground Level

**Project North:** **Drawn By:** JP/TT  
**Check ed By:** MP

**Scale:** 1:200 **Job No.:** 18-012

**Sheet No.:** L1.0A



Revision No.	Date
8	2024/02/16
7	2023/06/14
6	2020/06/26
5	2020/02/20
4	2019/09/30
3	2018/06/14
2	2018/12/03
1	2018/10/05

**CLIENT**  
 West Fraser  
 Developments Ltd.

**Project Title**  
 13265 104 Avenue

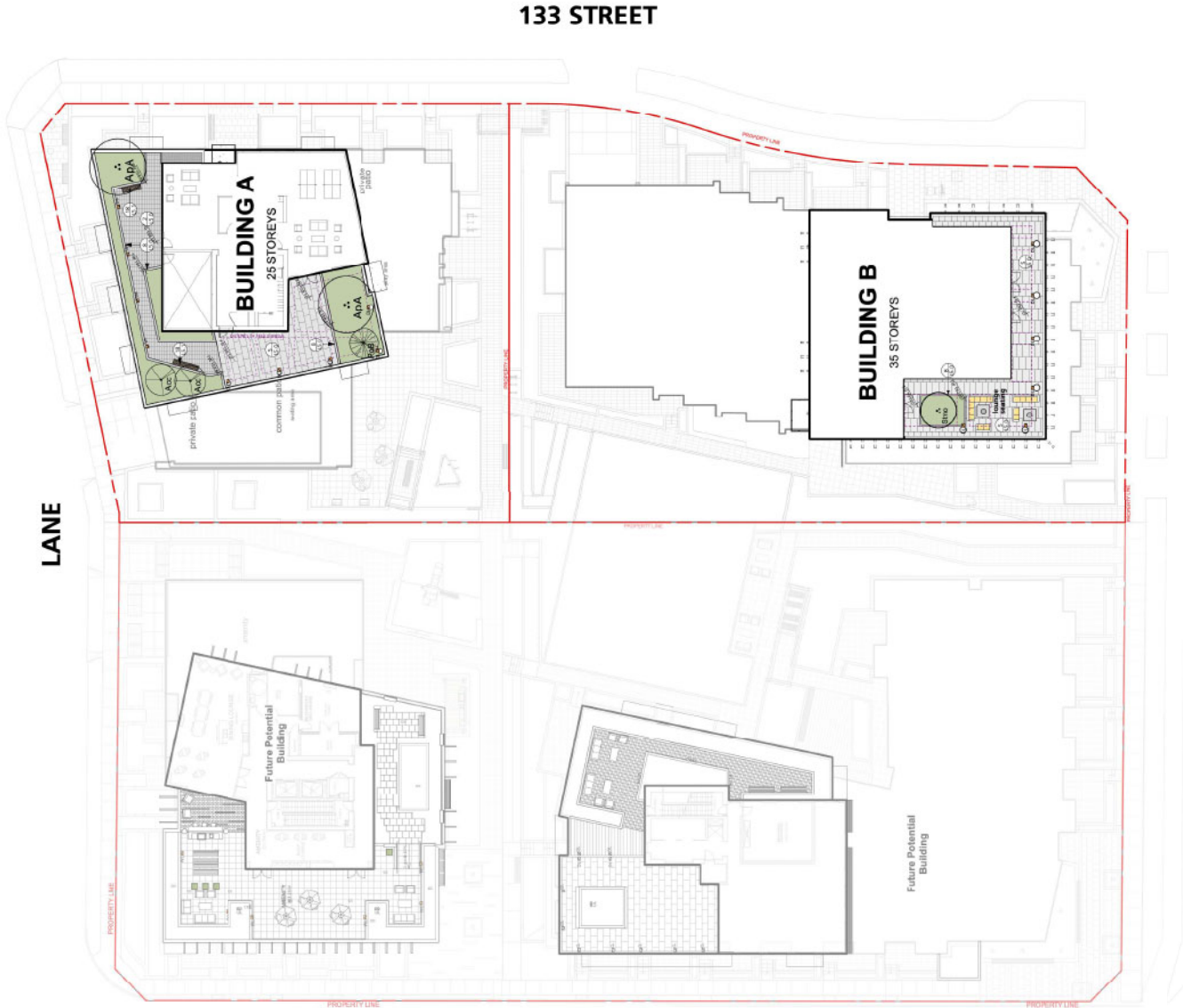
**Drawing Title**  
 Landscape Plan  
 - Ground Level  
 Interim Condition

**Project North:** **Drawn By:** JPTT  
**Checked By:** MP

**Date:** 1/200 **Job No.:** 18-012

**Sheet No.:** L1.0B





133 STREET

LANE

104 AVENUE

WEST LANE (NEW)

**LIGHTING LEGEND**

- Outdoor Up Lighting  
 - Point to Object, With 2.0m Rise  
 - Rate 20 lumens/Metric Sq. Ft.  
 - Rate 20 lumens/Metric Sq. Ft.  
 - Rate 20 lumens/Metric Sq. Ft.  
 - Rate 20 lumens/Metric Sq. Ft.  
 - Rate 20 lumens/Metric Sq. Ft.
- FL Flood Light  
 BL Ballast Light  
 WL Wall / Spro Light  
 DL Down Light - fixtures to be integrated in  
 - Fixtures to be selected by P+L  
 - Fixtures to be selected by P+L  
 - Fixtures to be selected by P+L
- In-grade Light



- LEGEND**
- Hatched Slab Fining
  - Concrete Tilt Paving
  - CP Concrete Paving (Reinforced)
  - CP Concrete Paving (Non-reinforced)
  - Rubber Surfacing
  - Perforated Tilt Paving
  - Sidewalk Lanes
  - Wood Deck
  - Paver Kiosk
  - Tree Anchor
  - Landscape Stairs
  - Gate
  - Metal Fence
  - Blue Rock
  - Brick Stalk
  - Bench
  - Lounge Chair
  - Custom Bench
  - Legless Bench
  - Free Standing Bench
  - Bike Rack
  - Movable Table & Chairs
  - Urban Agricultural Planter
  - Green Roof
  - Ped Equipment
  - Fair Surfacing
  - Dirt Wood Ball
  - Walk

Revision No.	Date
8	Re-issued for DP 2024/02/16
7	Re-issued for DP 2023/06/14
6	Re-issued for RZ / DP 2020/06/26
5	Re-issued for DP 2020/02/20
4	Re-issued for DP 2019/09/30
3	Re-issued for DP 2019/08/14
2	Re-issued for RZ / DP 2018/12/03
1	Issued for RZ / DP 2018/10/05

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**West Fraser Developments Ltd.**

Project Title  
**13265 104 Avenue**

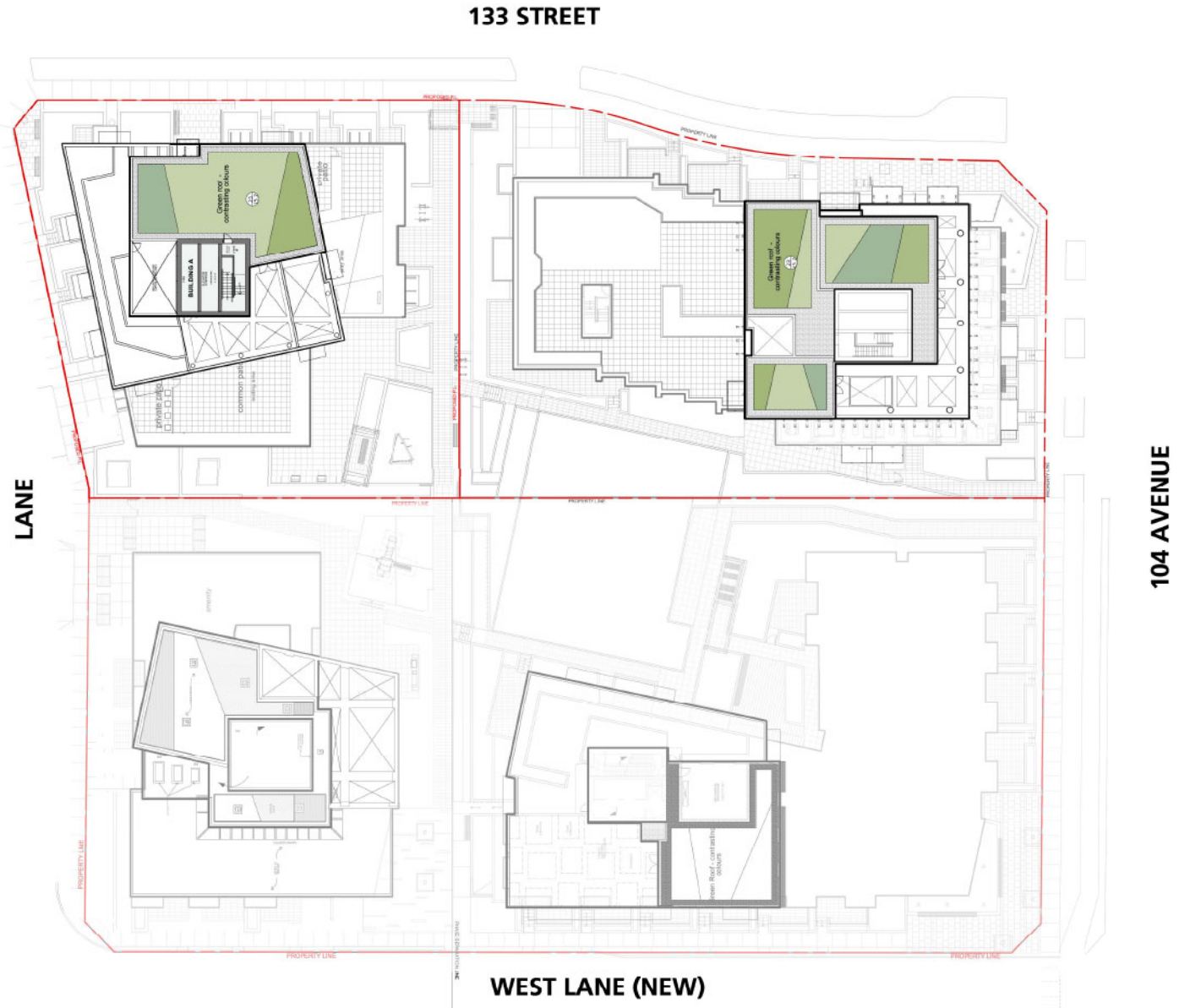
Drawing Title:  
**Landscape Plan Amenity Area Bldg A - L21/Bldg B - L26**

Project North: Drawn By: JPTT  
 Checked By: MP

Date: 1/200 Job No.: 18-012

Sheet No.: **L1.2**

**P+A**  
 Landscape Architecture  
 Site Planning  
 R. Kim Perry & Associates Inc.  
 112 East Broadway  
 Whitehorse, BC Y1S 1Y5  
 P: 867.533.4141  
 F: 604.758.4116  
 www.perryandassociates.ca



Revision No.	Date
8	2024/02/16
7	2023/06/14
6	2020/06/26
5	2020/02/20
4	2019/09/30
3	2018/08/14
2	2018/12/03
1	2018/10/05

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Client: **West Fraser Developments Ltd.**

Project Title: **13265 104 Avenue**

Drawing Title: **Landscape Plan Roof Top**

Project North:  Drawn By: JPTT  
 Checked By: MP

Date: 1/200 Job No.: 18-012  
 Sheet No.:

**L1.3**



**LIGHTING LEGEND**

Fluorescent Light Fix  
 - Panel 1500x600x2, With 1200x600 LED Panel  
 Light Fixture, Area wall mounted, 60w  
 - Bolted To Concrete Pad.

**FL** Light fixture

**BL** Bollard light

**WL** Wall wash light

**DL** Street light  
 - Street light fixture to be integrated in  
 - Street wall  
 - Fixture to be selected by P+A.

• In-grade light



Revision No.	Date
8	2024/02/16
7	2023/06/14
6	2020/06/26
5	2020/02/20
4	2019/09/30
3	2019/08/14
2	2018/12/03
1	2018/10/05

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Client:  
**West Fraser Developments Ltd.**

Project Title:  
**13265 104 Avenue**

Drawing Title:  
**Lighting Plan - Ground Floor**

Project North: Drawn By: JPTT  
 Checked By: MP

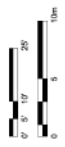
Date: 1/200 Job No.: 18-012

Sheet No.:

**L1.4**



**104 AVENUE**



**Legend**

Existing Finish Grade	5000.00
Curb Finish Grade	5000.00
Architectural Grade	5000.00
Finish Grade	5000.00
Top of Wall Grade	5000.00
Bottom of Wall Grade	5000.00
Finish Floor Elevation	5000.00

7	Re-issued for DP	2024/02/16
6	Re-issued for DP	2023/06/14
5	Re-issued for RZ / DP	2020/06/26
4	Re-issued for DP	2020/02/20
3	Re-issued for DP	2019/09/30
2	Re-issued for DP	2019/06/14
1	Re-issued for RZ / DP	2018/12/03
	Revision No.	Date

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Client: **West Fraser Developments Ltd.**

Project Title: **13265 104 Avenue**

Drawing Title: **Grading Plan**

Project North: Drawn By: JP/TT  
 Checked By: MP

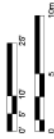
Scale: 1:200 Job No.: 18-012  
 Sheet No.: 18-012

**L2.0A**





104 AVENUE



**Legend**

- Existing Finish Grade
- Call Finish Grade
- Architectural Grade
- Final Grade
- Top of Wall Grade
- Bottom of Wall Grade
- Final Floor Elevation

7	Re-issued for DP	2024/02/16
6	Re-issued for DP	2023/06/14
5	Re-issued for RZ / DP	2020/06/26
4	Re-issued for DP	2020/02/20
3	Re-issued for DP	2019/09/30
2	Re-issued for DP	2019/06/14
1	Re-issued for RZ / DP	2018/12/03
	Revision No.	Date

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Client: **West Fraser Developments Ltd.**

Project Title: **13265 104 Avenue**

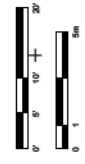
Drawing Title: **Grading Plan - Interim Condition**

Project No.: \_\_\_\_\_ Drawn By: JPTT  
 Checked By: MP  
 Scale: 1:200 Job No.: 18-012  
 Sheet No.: \_\_\_\_\_

**L2.0B**



# 133 STREET



Refer to L3.0.0 for Plant List and Planting Notes

**P+A**  
 Landscape Architecture  
 Site Planning  
 R. Kim Perry & Associates Inc.  
 112 East Broadway  
 Vancouver, BC V6T 1V9  
 T 604 738 4118  
 F 604 738 4110  
 www.perryandassociates.ca


7	Re-issued for DP	2024/02/16
6	Re-issued for DP	2023/06/14
5	Re-issued for RZ /DP	2020/06/26
4	Re-issued for DP	2020/02/20
3	Re-issued for DP	2019/06/30
2	Re-issued for DP	2019/06/14
1	Re-issued for RZ /DP	2018/12/03
	Revision No.	Date

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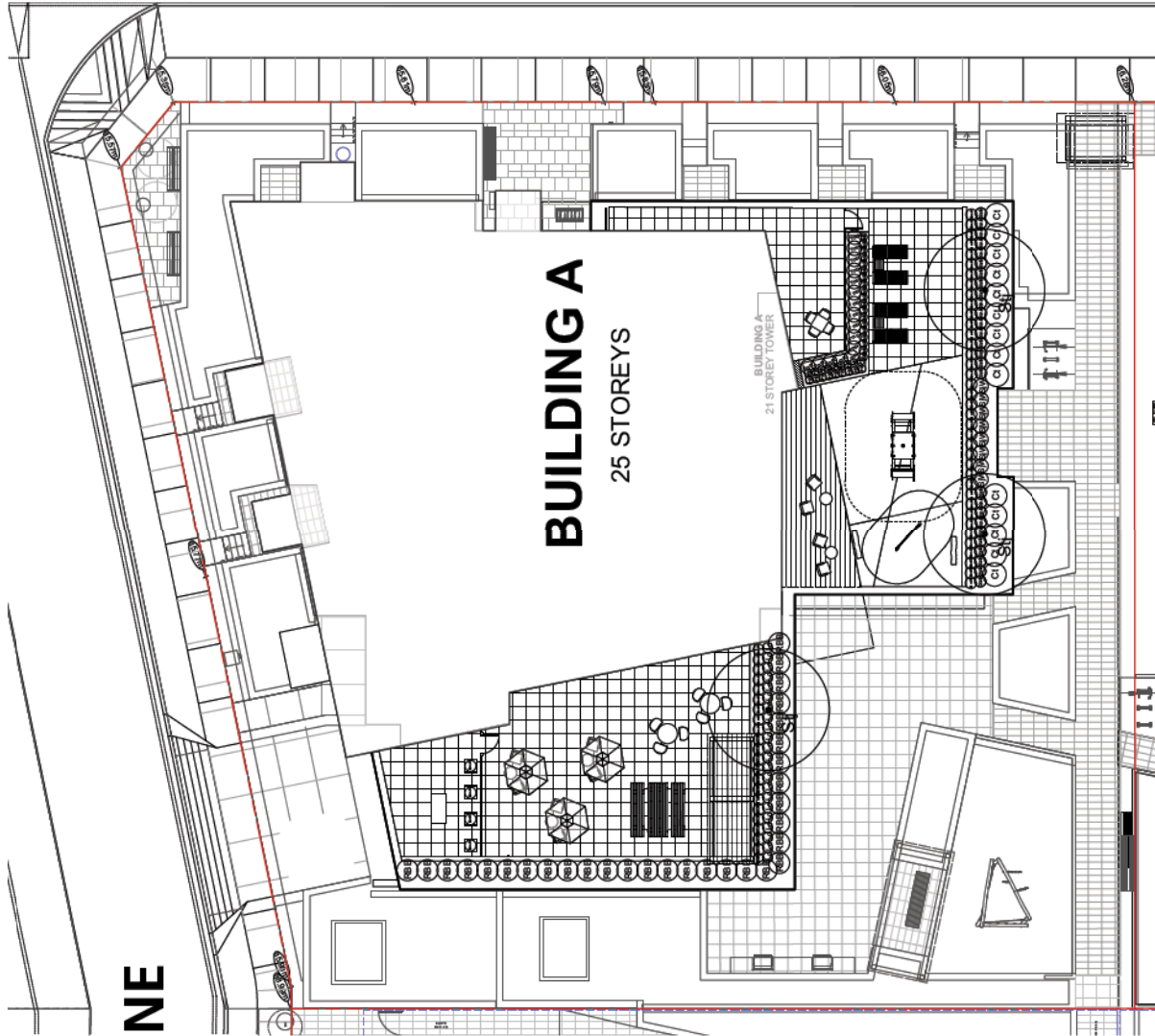
Client: **West Fraser Developments Ltd.**

Project Title: **13265 104 Avenue**

Drawing Title: **Planting Plan Building B**

Project North:  Drawn By: JP/TT  
 Checked By: MP  
 Date: 1:100 Job No.: 19-012  
 Sheet No.:

**L3.0.1**



Revision No.	Date
7	2024/02/16
6	2023/06/14
5	2023/06/28
4	2023/02/20
3	2019/06/30
2	2019/06/14
1	2019/12/03

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Client:  
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Project Title:  
**13265 104 Avenue**

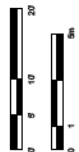
Drawing Title:  
**Planting Plan - Bldg A L7 Amenity Area**

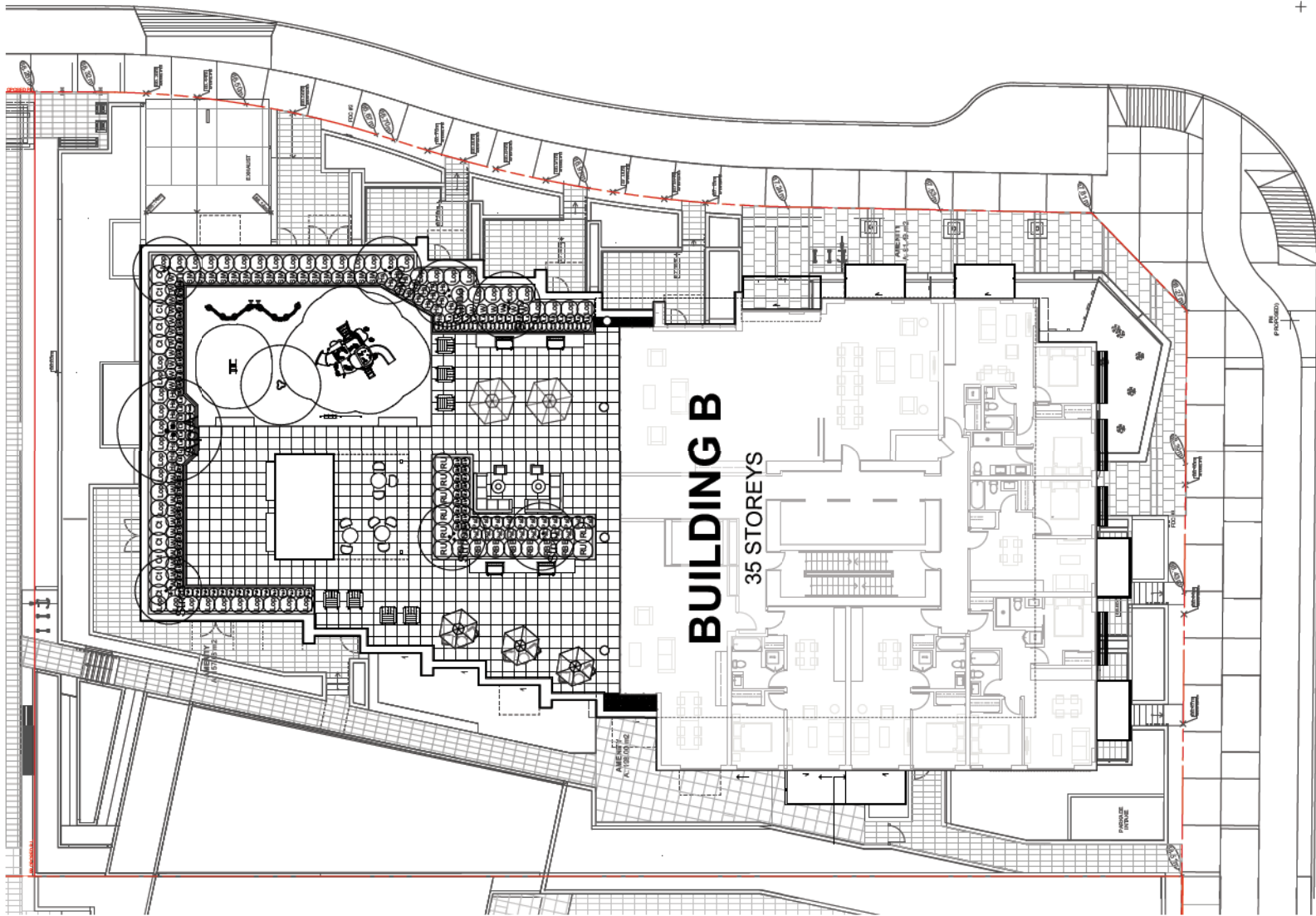
Project Month: \_\_\_\_\_ Drawn By: **JPTT**  
 Checked By: **MP**

Scale: 1:100 Job No.: 18-012

Sheet No.:

**L3.1.0**





Revision No.	Date
7	2024/02/16
6	2023/06/14
5	2023/06/28
4	2023/02/20
3	2019/06/30
2	2019/06/14
1	2019/12/03

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**Client:**  
**West Fraser Developments Ltd.**

**Project Title:**  
**13265 104 Avenue**

**Drawing Title:**  
**Planting Plan - Bldg B L7 Amenity Area**

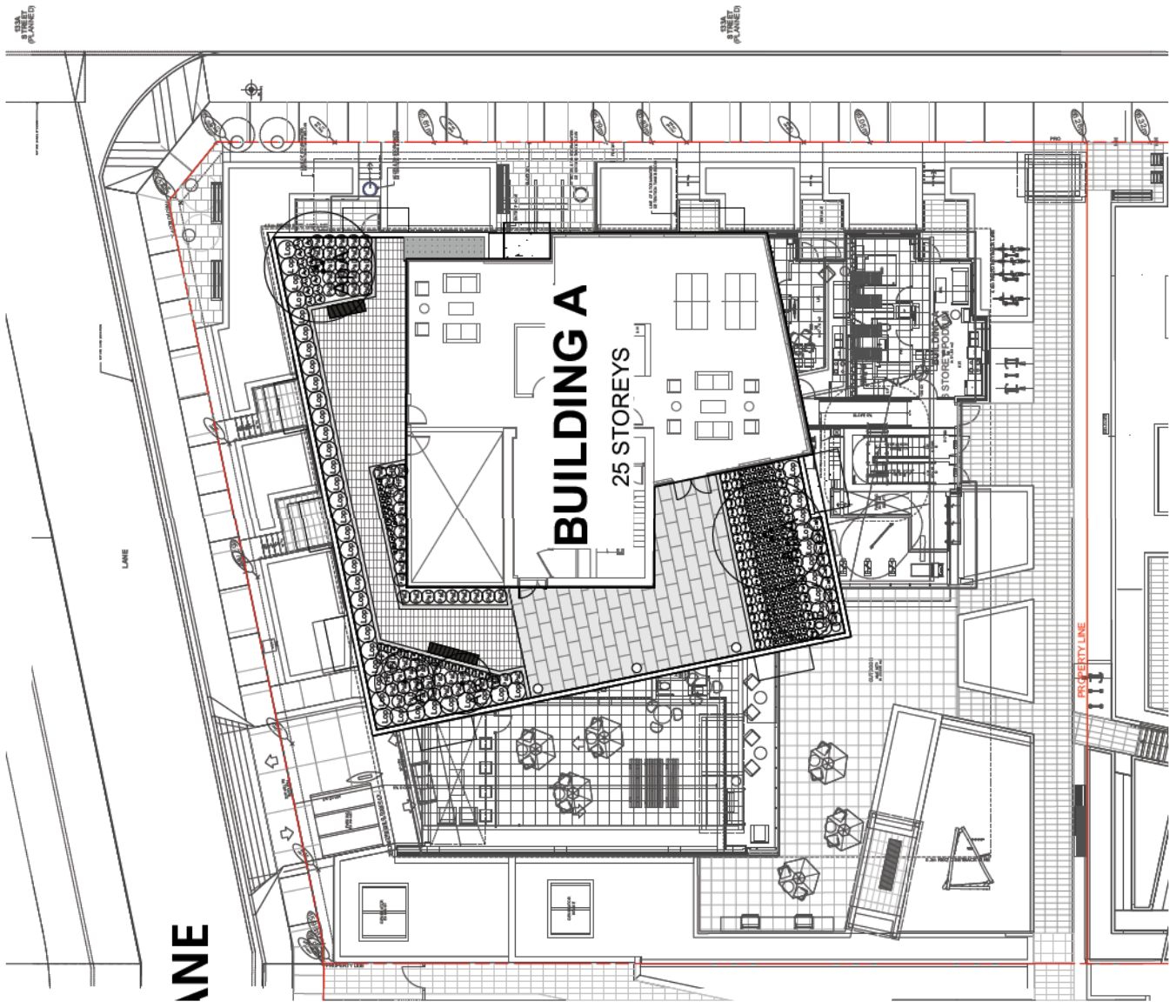
**Project Month:** \_\_\_\_\_ **Drawn By:** JP/TT  
**Checked By:** MP

**Scale:** 1:100 **Job No.:** 18-012

**Sheet No.:** \_\_\_\_\_



**L3.1.1**




Revision No.	Date	Description
8	2024/02/16	Re-issued for DP
7	2023/06/14	Re-issued for DP
6	2023/06/26	Re-issued for RZ / DP
5	2023/02/20	Re-issued for DP
4	2019/09/30	Re-issued for DP
3	2019/06/14	Re-issued for DP
2	2019/12/03	Re-issued for RZ / DP
1	2019/10/05	Issued for RZ / DP

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**Client:**  
**West Fraser Developments Ltd.**

**Project Title:**  
**13265 104 Avenue**

**Drawing Title:**  
**Planting Plan - Bldg A L 21 Amenity Area**

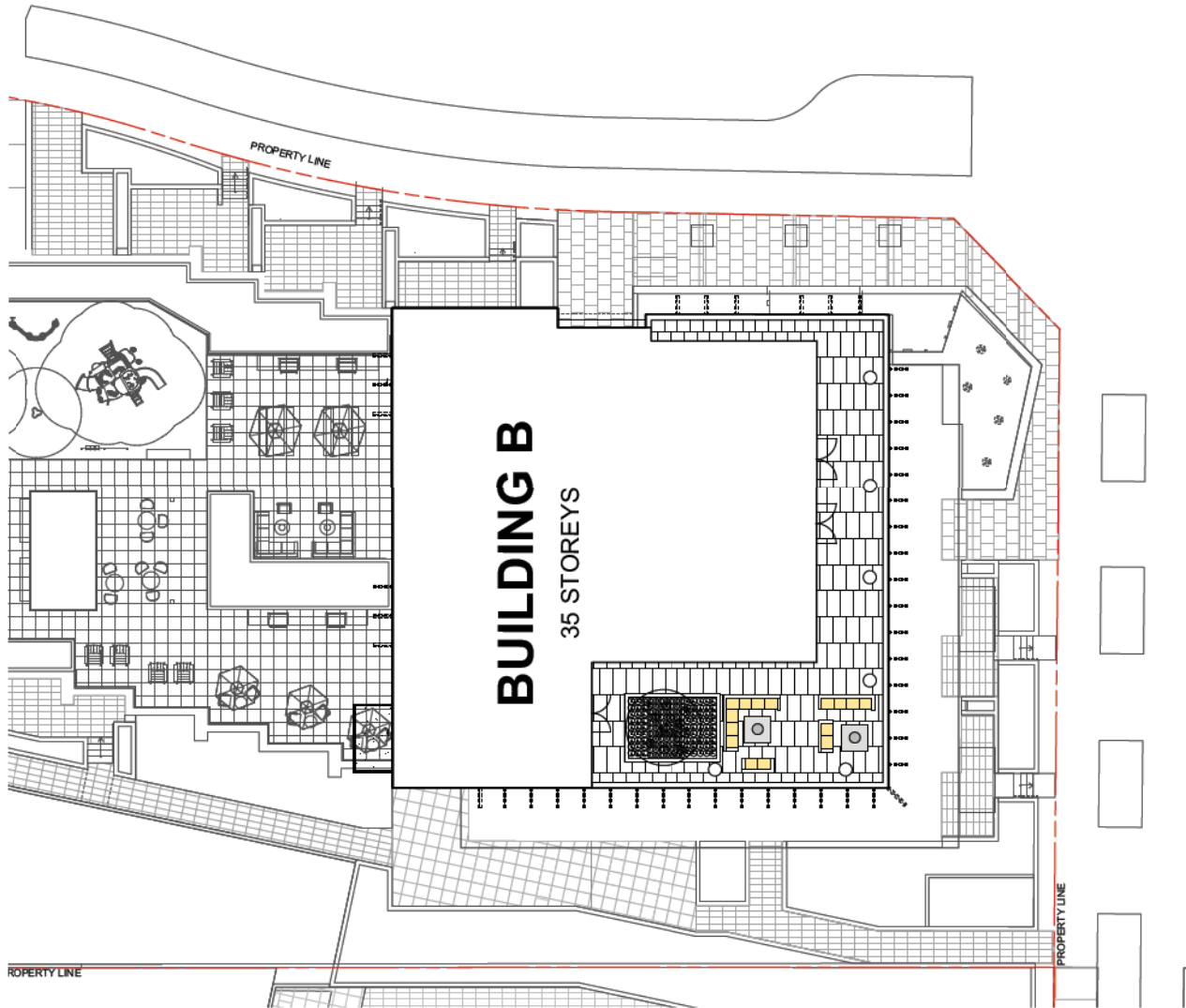
**Project North:**  **Drawn By:** JP/TT  
**Checked By:** MP

**Scale:** 1:100 **Job No.:** 18-012

**Sheet No.:**

**L3.2.0**






Revision No.	Date
8	2024/02/16
7	2023/06/14
6	2020/06/26
5	2020/02/20
4	2019/09/30
3	2019/06/14
2	2019/12/03
1	2019/10/05

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Client:  
**West Fraser Developments Ltd.**

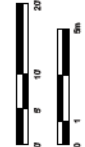
Project Title:  
**13265 104 Avenue**

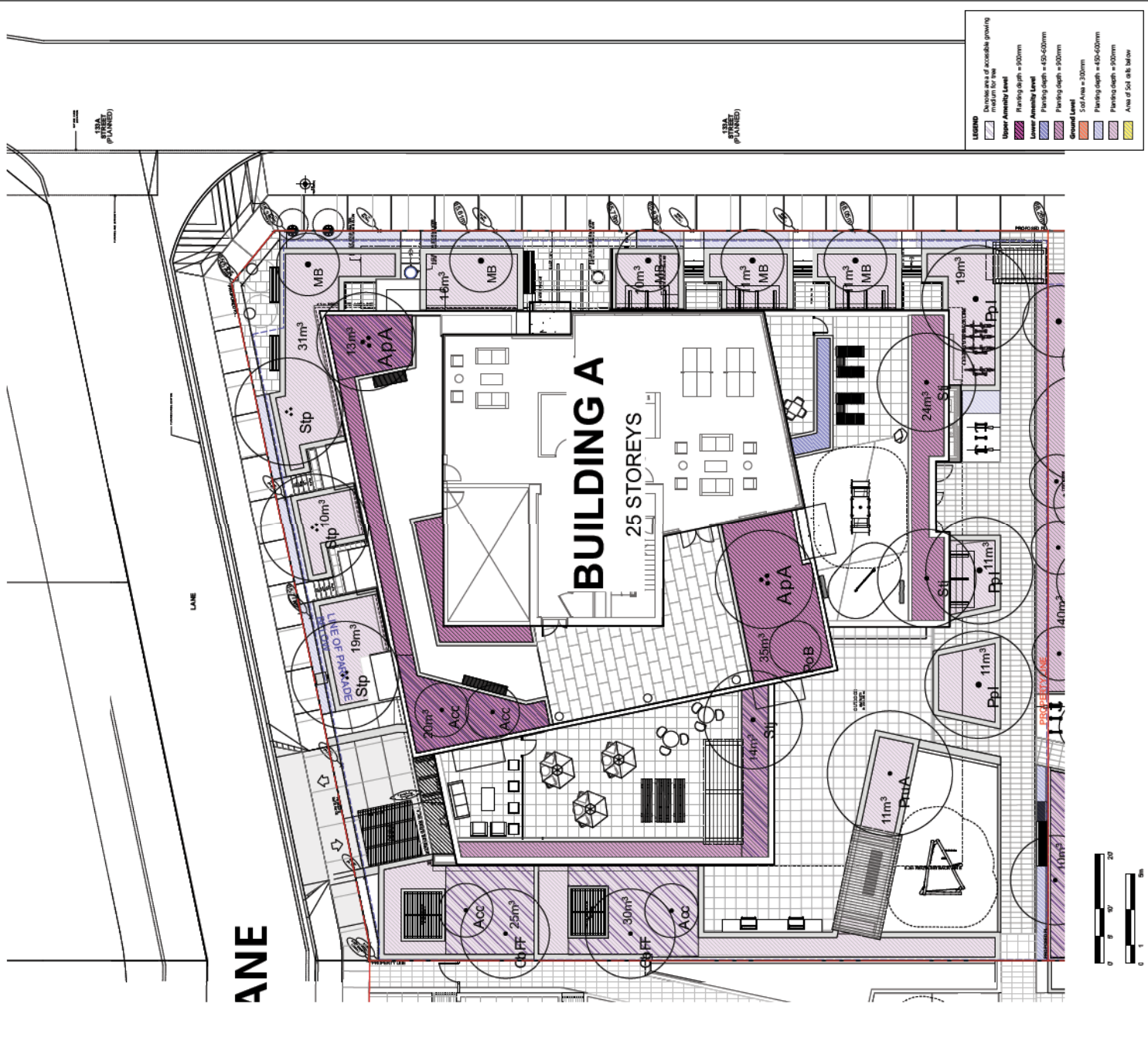
Drawing Title:  
**Planting Plan - Bldg B L 21 Amenity Area**

Project North:  Down By: JPTT  
 Checked By: MP

Scale: 1:100 Job No.: 18-012

Sheet No.: **L3.2.1**





**LEGEND**

- Division area of accessible growing
- Lower Assembly Level
- Lower Assembly Level
- Lower Assembly Level
- General Level
- Soil Area = 20mm
- Planting depth = 450-600mm
- Planting depth = 300mm
- Area of Soil 200k below

**P+A**  
 Landscape Architecture  
 Site Planning

R. Kim Perry & Associates Inc.  
 112 East Woodbine  
 Vancouver, BC V5T 1V9  
 T 604.738.4110  
 F 604.738.4110  
 www.perryandassociates.ca

Revision No.	Date
7	2024/02/16
6	2023/06/14
5	2020/06/26
4	2020/02/20
3	2019/06/30
2	2019/06/14
1	2018/12/03

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Client: **West Fraser Developments Ltd.**

Project Title: **13265 104 Avenue**

Drawing Title: **Soil Depth Plan - Bldg A**

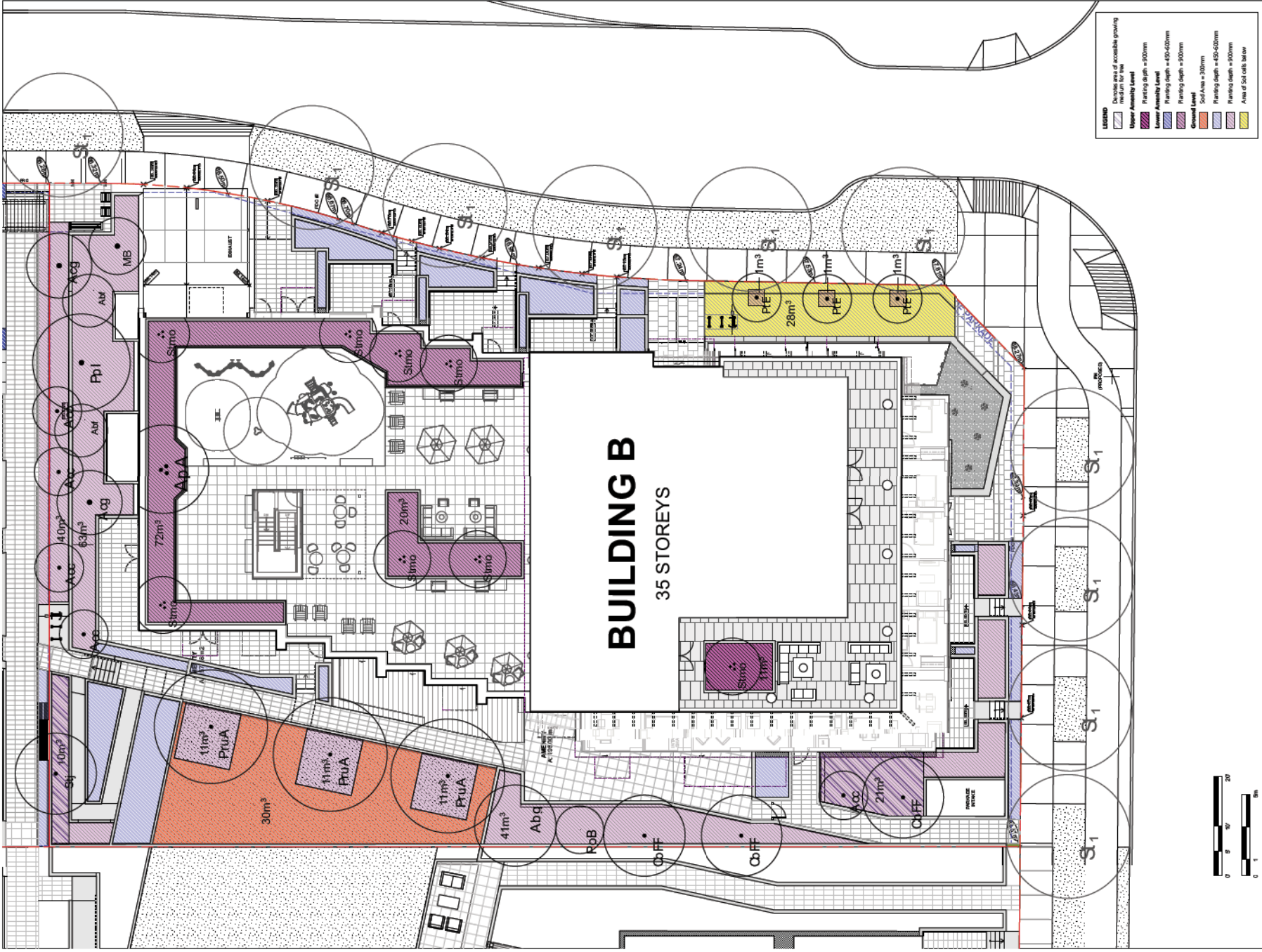
Project North:

Drawn By: SCJ/JW  
 Checked By: MP

Date: 1:100 19-012

Sheet No.: **L3.3.0**





**LEGEND**

- Division of accessible growing
- Upper Assembly Level
- Lower Assembly Level
- General Level
- Area of Soil Cells Below
- Planting depth = 200mm
- Planting depth = 450-600mm
- Planting depth = 900mm
- Soil Area = 200mm
- Planting depth = 450-600mm
- Planting depth = 900mm
- Area of Soil Cells Below

**P+A**  
 Landscape Architecture  
 Site Planning

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 112 East Broadway  
 Vancouver, BC V6T 1V9  
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 F 604 738 4110  
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7	Re-issued for DP	2024/02/16
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4	Re-issued for DP	2020/02/20
3	Re-issued for DP	2019/06/30
2	Re-issued for DP	2019/06/14
1	Re-issued for RZ /DP	2018/12/03
	Revision No.	Date

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Client: **West Fraser Developments Ltd.**

Project Title: **13265 104 Avenue**

Drawing Title: **Soil Depth Plan - Bldg B**

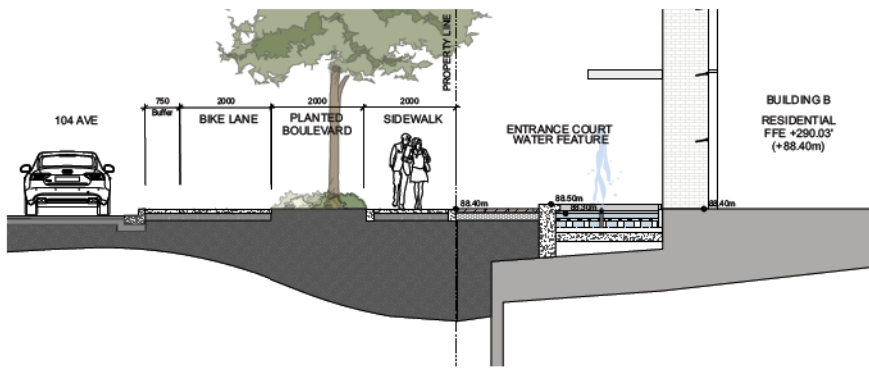
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Drawn By: SCJ/JW  
 Checked By: MP

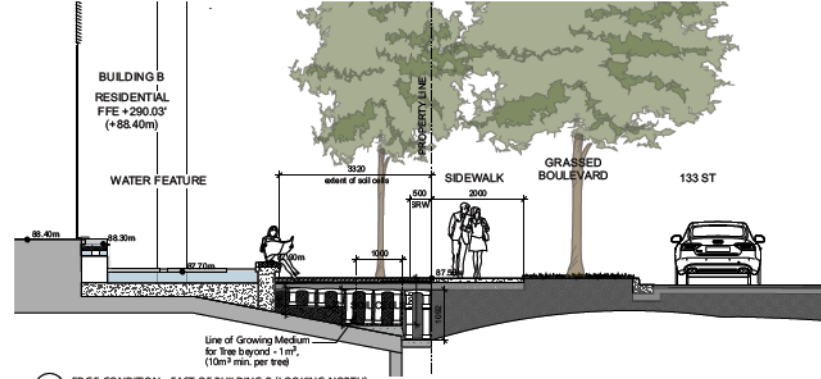
Date: 1:100 19-012

Sheet No.:

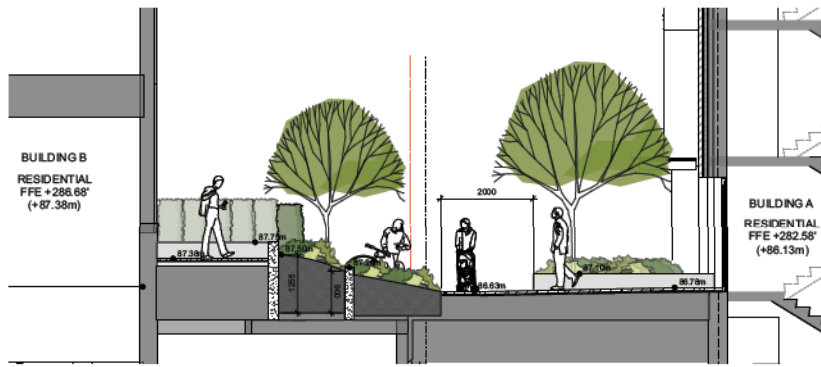
**L3.3.1**



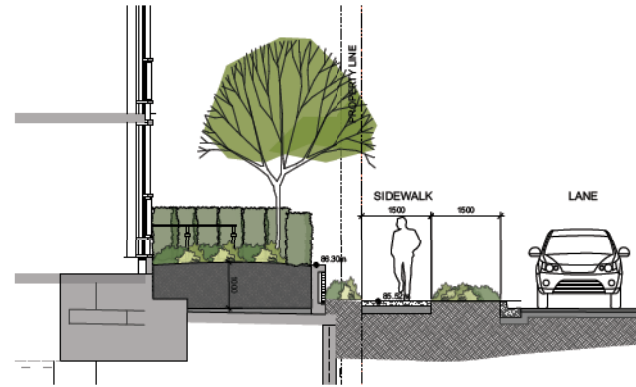
1A EDGE CONDITION - SOUTH OF BUILDING B (LOOKING WEST)  
1:50



1B EDGE CONDITION - EAST OF BUILDING B (LOOKING NORTH)  
1:50



2 SECTION THROUGH WALKWAY BETWEEN BUILDING A AND B  
1:50



3 EDGE CONDITION - NORTH OF BUILDING A (LOOKING WEST)  
1:50



4 EDGE CONDITION - EAST OF BUILDING B (LOOKING NORTH)  
1:50



5 SECTION THROUGH PLANTER WEST OF BUILDING A AND ADJACENT SITE (LOOKING NORTH)  
1:50

7	Re-issued for DP	2024/02/16
6	Re-issued for DP	2023/06/14
5	Re-issued for DP	2020/02/20
4	Re-issued for DP	2019/06/30
3	Re-issued for DP	2019/06/14
2	Re-issued for RZ / DP	2018/12/03
1	Issue for RZ / DP	2018/10/05
	Revision No.	Date

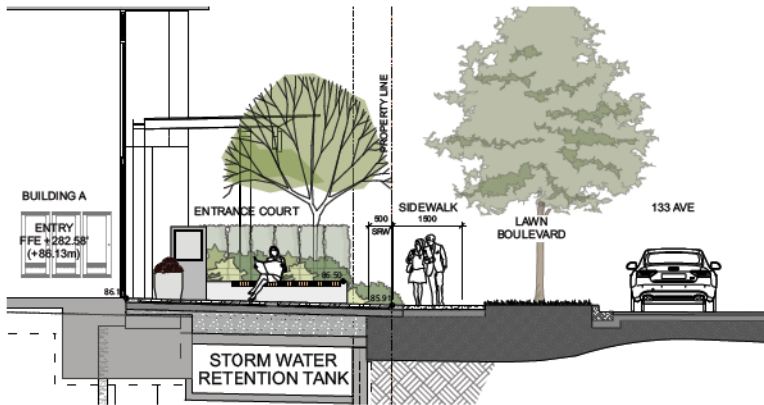
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Client: **West Fraser Developments Ltd.**

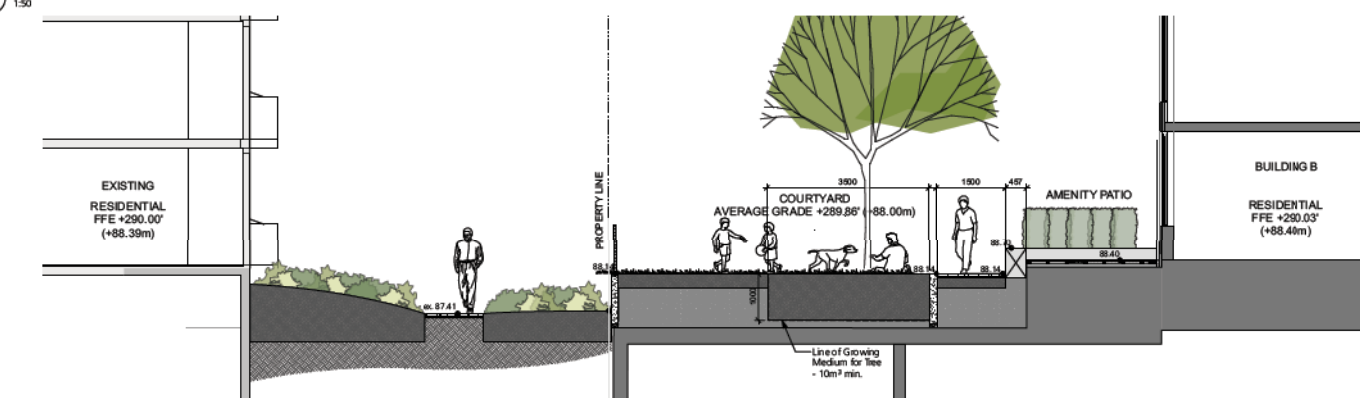
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Drawing Title: **Landscape Sections**

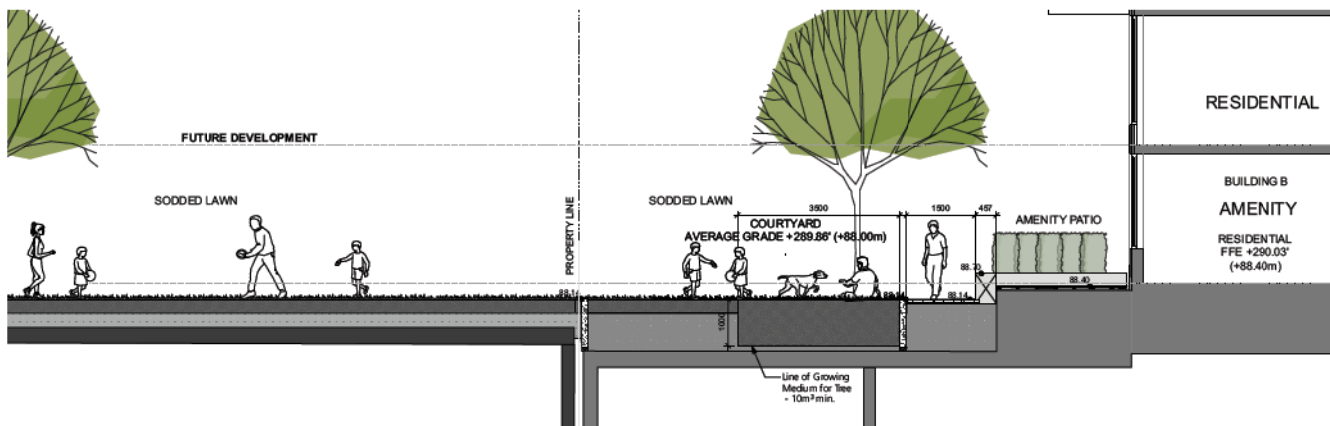
Project North:	Drawn By:	JS
	Checked By:	MP
Scale:	Job No.:	18-012
Sheet No.:		



6 EDGE CONDITION - EAST OF BUILDING A (LOOKING NORTH)



7a SECTION THROUGH COURTYARD WEST OF BUILDING B AND EXISTING BUILDING (LOOKING NORTH - INTERIM CONDITION)



7b SECTION THROUGH COURTYARD WEST OF BUILDING B AND ADJACENT SITE (LOOKING NORTH - FUTURE CONDITION)

7	Re-issued for DP	2024/02/16
6	Re-issued for DP	2023/06/14
5	Re-issued for DP	2020/02/20
4	Re-issued for DP	2019/06/30
3	Re-issued for DP	2019/06/14
2	Re-issued for RZ / DP	2018/12/03
1	Issue for RZ / DP	2018/10/05
	Revision No.	Date

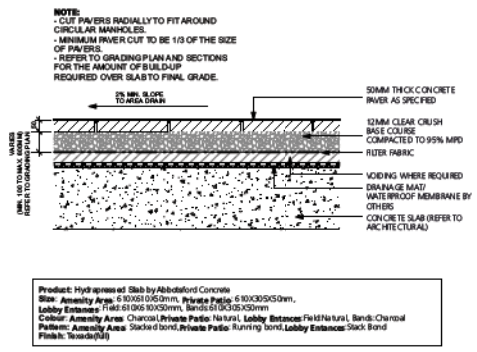
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Client:  
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Developments Ltd.**

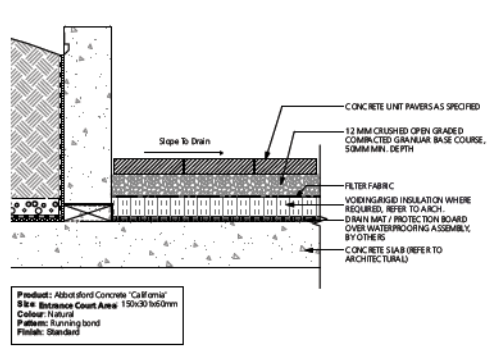
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**13265 104 Avenue**

Drawing Title:  
**Landscape Sections**

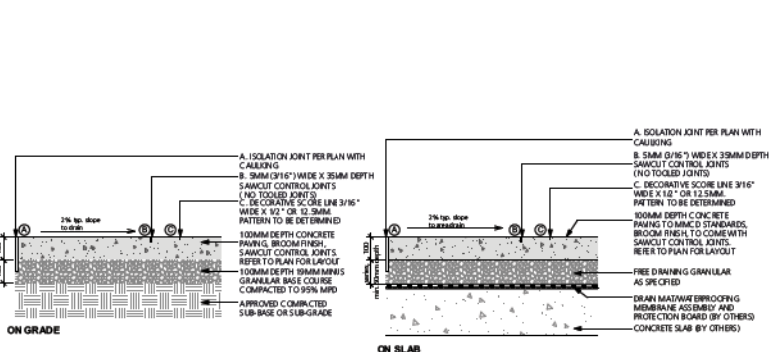
Project No.:	Drawn By:	JS
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Scale:	Job No.:	18-012
Sheet No.:		



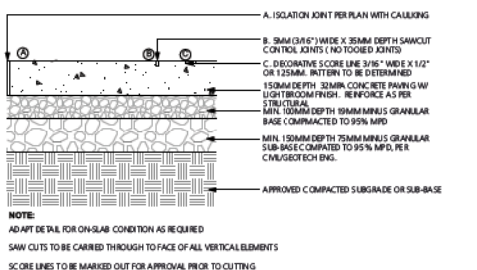
**1** Hydrapressed Slab Paving  
1:10



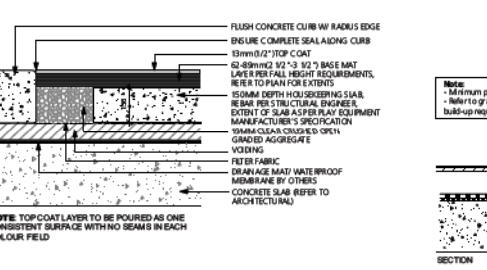
**2** Concrete Unit Paving  
1:10



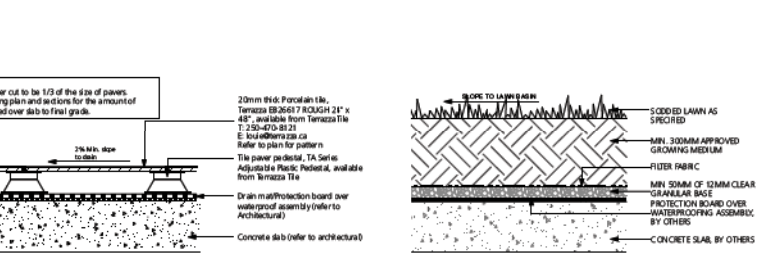
**3A** CIP Concrete Paving (Pedestrian)  
1:10



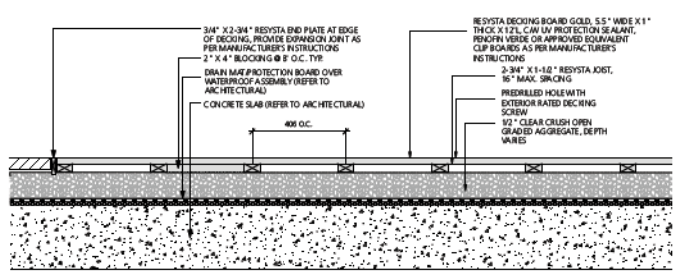
**3B** CIP Concrete Paving (Vehicular)  
1:10



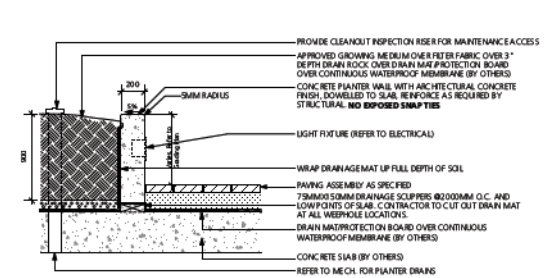
**4** Rubber Surfacing  
1:10



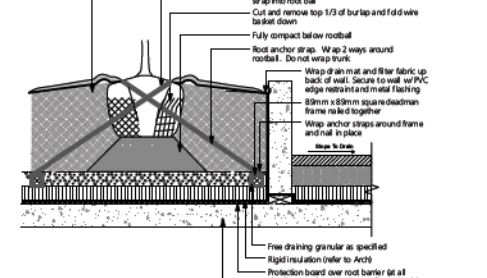
**5** Porcelain Tile Paving  
1:10



**7** Wood Deck  
1:10



**8** Planter Wall  
1:20



**9** Tree Anchor  
1:20

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6	Re-issued for DP	2023/06/14
5	Re-issued for RZ / DP	2020/06/26
4	Re-issued for DP	2020/02/20
3	Re-issued for DP	2019/09/30
2	Re-issued for DP	2019/06/14
1	Re-issued for RZ / DP	2019/12/03
	Revision No.	Date

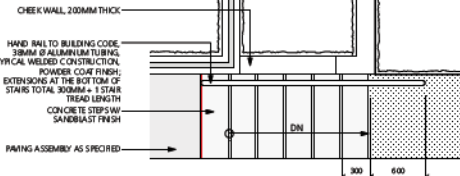
**West Fraser Developments Ltd.**

Project Title:  
**13265 104 Avenue**

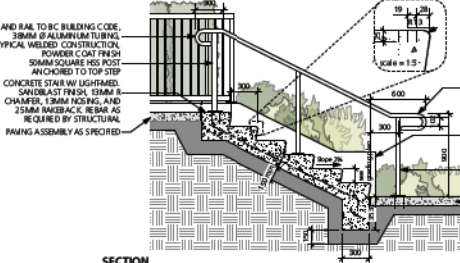
Drawing Title:  
**Landscape Details**

Project No.:	Drawn By:	TT
	Checked By:	JP
Scale:	Job No.:	18-012
SEE BY DRAWING		
Sheet No.:		

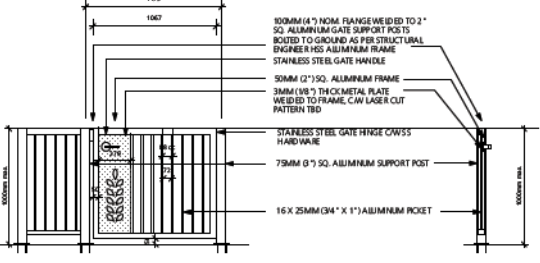
**L5.0**



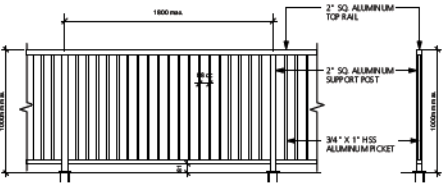
**NOTE**  
 LENGTH OF HAND RAILINGS VARY WITH NUMBER OF STAIR RISERS. REFER TO PLAN FOR NUMBER OF RISERS.  
 ALL WELDS TO BE CONTINUOUS ALONG JOINTS AND GROUNDSMOOTH FROM TO SHOP PRIMING AND POWDER COATING. SHOP DRAWINGS TO BE PROVIDED FOR APPROVAL.  
 ALL RAILINGS AND GUARDRAILS TO MEET CURRENT BUILDING CODE.  
 SHOP DRAWINGS REQUIRED FOR ALL METAL COMPONENTS, INCLUDING BUT NOT LIMITED TO, GATES, HANDRAILS AND FENCES. SHOP DRAWINGS TO SHOW ALL CONNECTION DETAILS.  
 ALL METAL COMPONENTS TO HAVE POWDER COAT FINISH TO MATCH METAL WORK BY ARCHITECTURE.



**NOTE**  
 ALL WELDS TO BE CONTINUOUS ALONG JOINTS AND GROUNDSMOOTH FROM TO SHOP PRIMING AND POWDER COATING. SHOP DRAWINGS TO BE PROVIDED FOR APPROVAL.  
 ALL RAILINGS AND GUARDRAILS TO MEET CURRENT BUILDING CODES.  
 SHOP DRAWINGS REQUIRED FOR ALL METAL COMPONENTS, INCLUDING BUT NOT LIMITED TO, GATES, HANDRAILS AND FENCES. SHOP DRAWINGS TO SHOW ALL CONNECTION DETAILS.  
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 ALL METAL COMPONENTS TO HAVE POWDER COAT FINISH TO MATCH METAL WORK BY ARCHITECTURE.

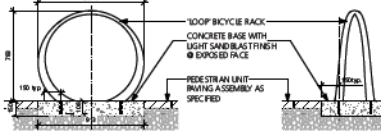


10 Landscape Stairs  
1:25

11 Gate  
1:20

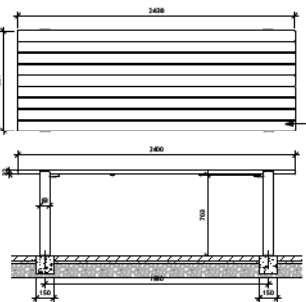
12 Metal Fence  
1:20

**Model:** Loop Bike Rack  
**Manufacturer:** Landscape Forms  
**Colour:** Powdercoat Titanium  
**Contact:** www.landscapeforms.com  
**Installation:** Mount as per manufacturer's specifications  
**Quantity:** 8 Double Sided Racks

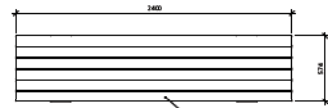


13 Bike Rack  
1:20

**Model:** Multiplicity Site  
**Manufacturer:** Landscape Forms  
**Colour:** SPE-Powdercoat Silver  
**Contact:** www.landscapeforms.com  
**Installation:** Mount as per manufacturer's specifications  
**Quantity:** 1



14 Picnic Table  
1:20



15 Bench  
1:20

**Model:** Multiplicity Bench (straight backed)  
**Manufacturer:** Landscape Forms  
**Colour:** SPE-Powdercoat Silver  
**Contact:** www.landscapeforms.com  
**Installation:** Mount as per manufacturer's specifications  
**Quantity:** 3

7	Re-issued for DP	2024/02/16
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5	Re-issued for RZ / DP	2020/06/26
4	Re-issued for DP	2020/02/20
3	Re-issued for DP	2019/09/30
2	Re-issued for DP	2019/06/14
1	Re-issued for RZ / DP	2019/12/03
	Revision No.	Date

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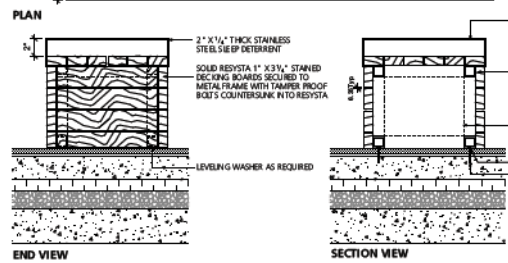
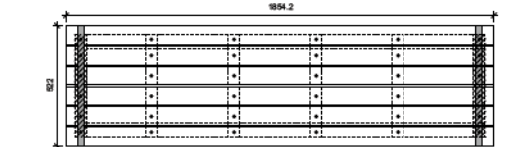
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 13265 104 Avenue

**Drawing Title:**  
 Landscape Details

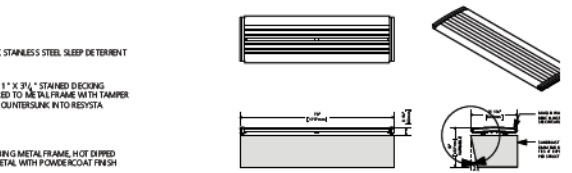
<b>Project No.:</b>	<b>Drawn By:</b>	TT
	<b>Checked By:</b>	JP
<b>Scale:</b>	<b>Job No.:</b>	18-012
<b>SEE BY DRAWING</b>		
<b>Sheet No.:</b>		



**Model:** Harpo Lounge Chair / Harpo Chaise Lounge  
**Manufacturer:** Landscape Forms  
**Colour:** PE = Powdercoat Gunmetal-Gloss  
**Contact:** www.naghi.com  
**Installation:** Mount as per manufacturer's specifications



16 Custom Bench  
1:10



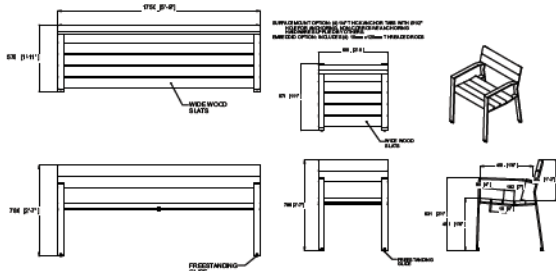
17 Legless Bench  
1:20

**Model:** ML87206  
**Manufacturer:** Mag In  
**Colour:** PE = Powdercoat Gunmetal-Gloss  
**Contact:** www.naghi.com  
**Installation:** Mount as per manufacturer's specifications  
**Quantity:** 2

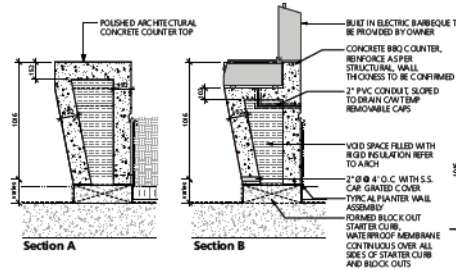
18 Lounge Chair  
1:20



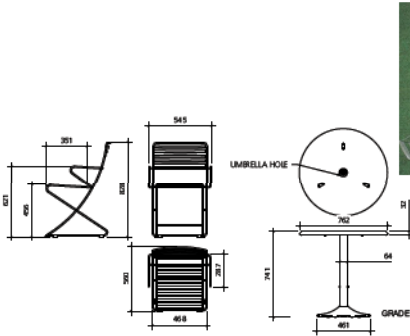
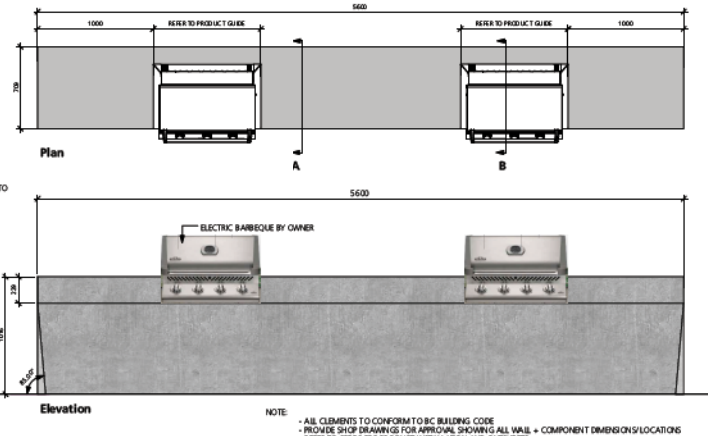
**Model:** Harpo Bench / Harpo Chair  
**Manufacturer:** Landscape Forms  
**Colour:** F1 - Fossilized GummedGloss  
**Contact:** www.mgf.com  
**Installation:** Mount as per manufacturer's specifications



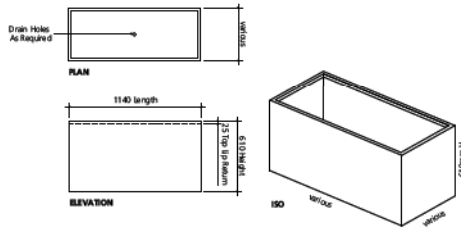
19 Free Standing Bench  
 1:20



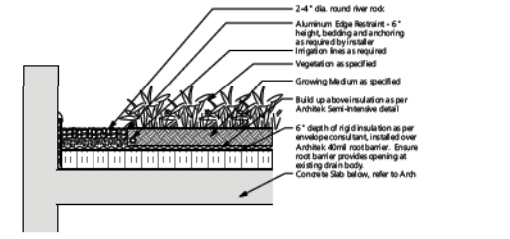
20 Barbecue Area  
 1:20



21 Movable Table & Chairs  
 1:10



22 Urban Agriculture Planters  
 1:20



23 Green Roof  
 1:20

7	Re-issued for DP	2024/02/18
6	Re-issued for DP	2020/06/14
5	Re-issued for RZ / DP	2020/06/26
4	Re-issued for DP	2020/02/20
3	Re-issued for DP	2019/09/30
2	Re-issued for DP	2019/06/14
1	Re-issued for RZ / DP	2019/12/03
	Revision No.	Date

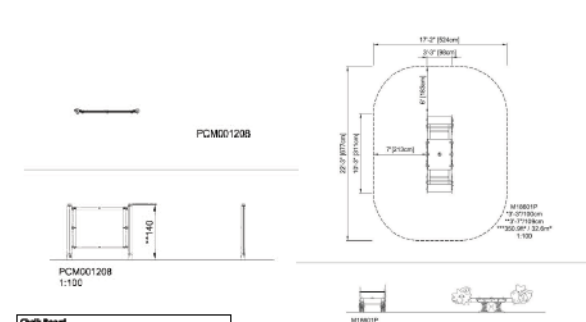
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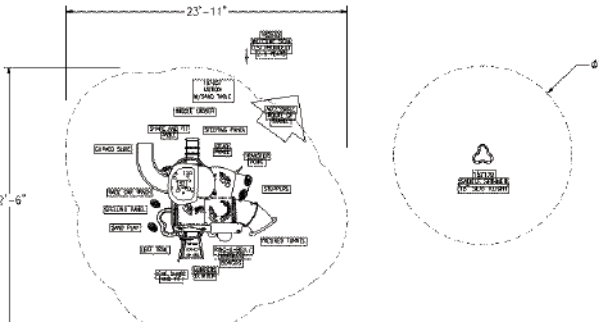
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 Landscape Details

<b>Project No.:</b>	<b>Drawn By:</b>	TT
	<b>Checked By:</b>	JP
<b>Scale:</b>	<b>Job No.:</b>	18-012
<b>SEE BY DRAWING</b>		
<b>Sheet No.:</b>		

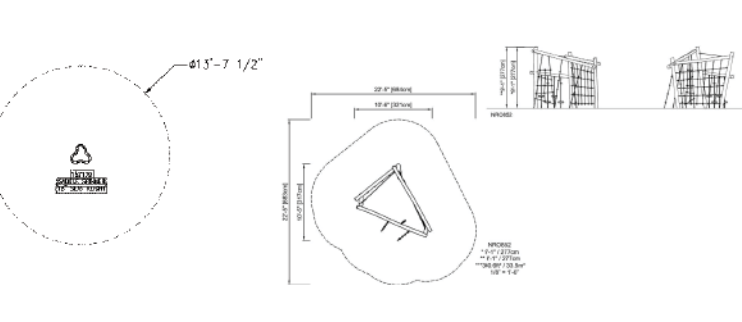


**Chalk Board**  
**Model:** PCM01208-0901  
**Manufacturer:** kompan  
**Colour:** TRD  
**Contact:** www.kompan.us  
**Installation:** Mount as per manufacturer's specifications  
**Quantity:** 2

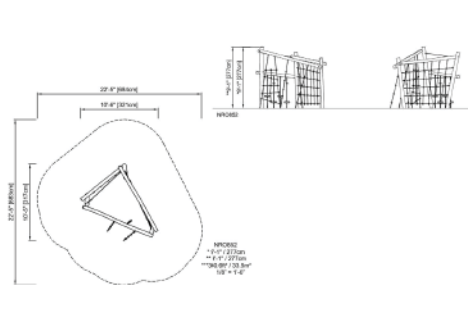
24 Play Equipment  
 NTS



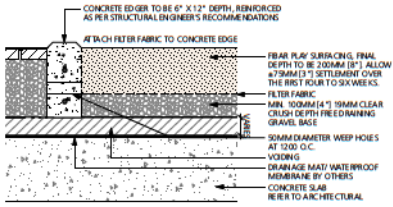
**Motion**  
**Model:** 3923  
**Manufacturer:** landscape structures  
**Colour:** TRD  
**Contact:** www.play4.com  
**Installation:** Mount as per manufacturer's specifications  
**Quantity:** 1



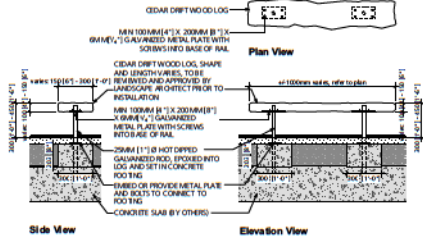
**Saddle Spinner**  
**Model:** 1473  
**Manufacturer:** landscape structures  
**Colour:** TRD  
**Contact:** www.play4.com  
**Installation:** Mount as per manufacturer's specifications  
**Quantity:** 1



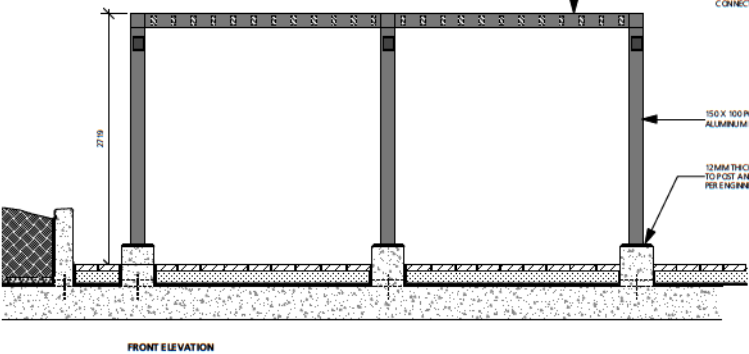
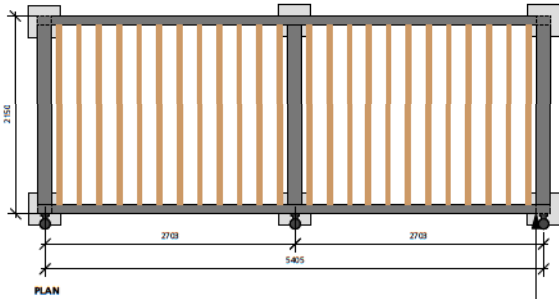
**Perforator**  
**Model:** FRO32  
**Manufacturer:** kompan  
**Colour:** TRD  
**Contact:** www.kompan.us  
**Installation:** Mount as per manufacturer's specifications  
**Quantity:** 1



25 Fiber Surfacing  
1:10

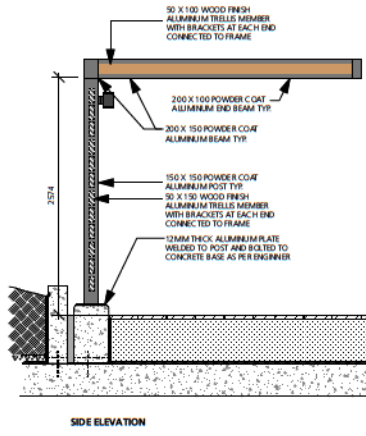


26 Drift Wood Rail  
1:20

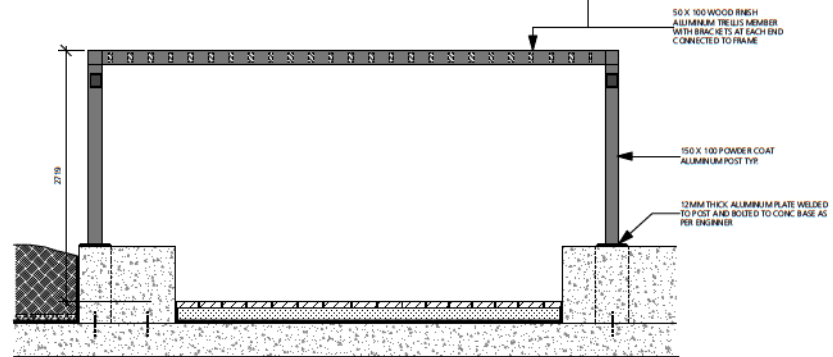
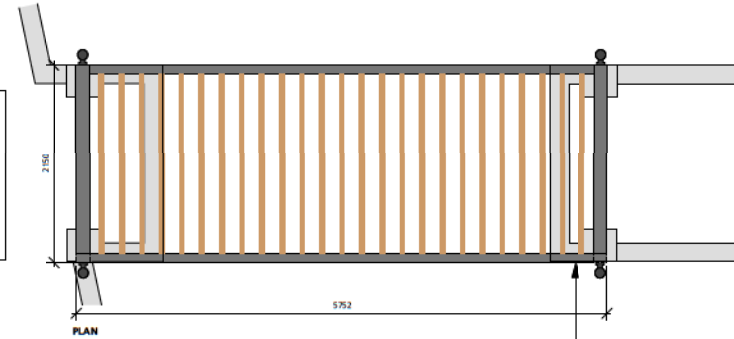
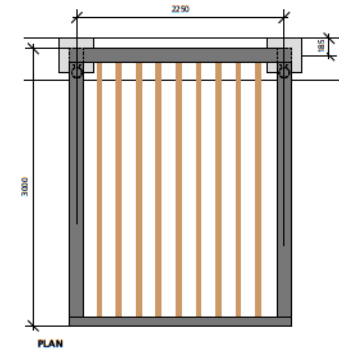
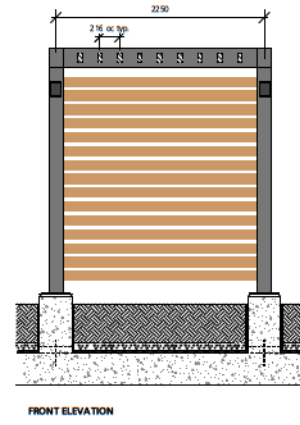


Type B: at Upper Level Amenity Area

27 Trellis at Ground Level Amenity Area  
1:25



Type A: at Entry Area



Type C: at Ground Level Amenity Area

**Notes:**

- All members to be powdercoat aluminum except for members noted to have wood finish and colour. Colour to match architectural.
- Wood finish aluminum trellis members to be connected to aluminum frame with a bracket at each end. Brackets to be powdercoat to match frame colour.
- 150mm x 150mm aluminum frame to be powdercoat dark grey/black to match arch.
- 50mm x 100mm wood finish members to match arch wood stain colour.
- All welds to be ground smooth.
- All measurements to be verified with as built conditions prior to fabrication.
- Contractor to provide engineered shop drawings for all aluminum components with finishes, connectors, and hardware, and submit for approval prior to fabrication.

7	Re-issued for DP	2024/02/16
6	Re-issued for DP	2023/06/14
5	Re-issued for RZ / DP	2020/06/26
4	Re-issued for DP	2020/02/20
3	Re-issued for DP	2019/09/30
2	Re-issued for DP	2019/06/14
1	Re-issued for RZ / DP	2019/12/03
	Revision No.	Date

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**West Fraser Developments Ltd.**

Project Title:  
**13265 104 Avenue**

Drawing Title:  
**Landscape Details**

Project No.:	Drawn By:	TT
	Checked By:	JP
Scale:	Job No.:	
SEE BY DRAWING		18-012
Sheet No.:		

**L5.3**

# SURVEY PLAN TO ACCOMPANY CITY OF SURREY CD BYLAW AND REZONING BYLAW \_\_\_\_\_, OVER LOT 174, SECTION 22, BLOCK 5, RANGE 2 WEST, NEW WESTMINSTER DISTRICT, PLAN 39842

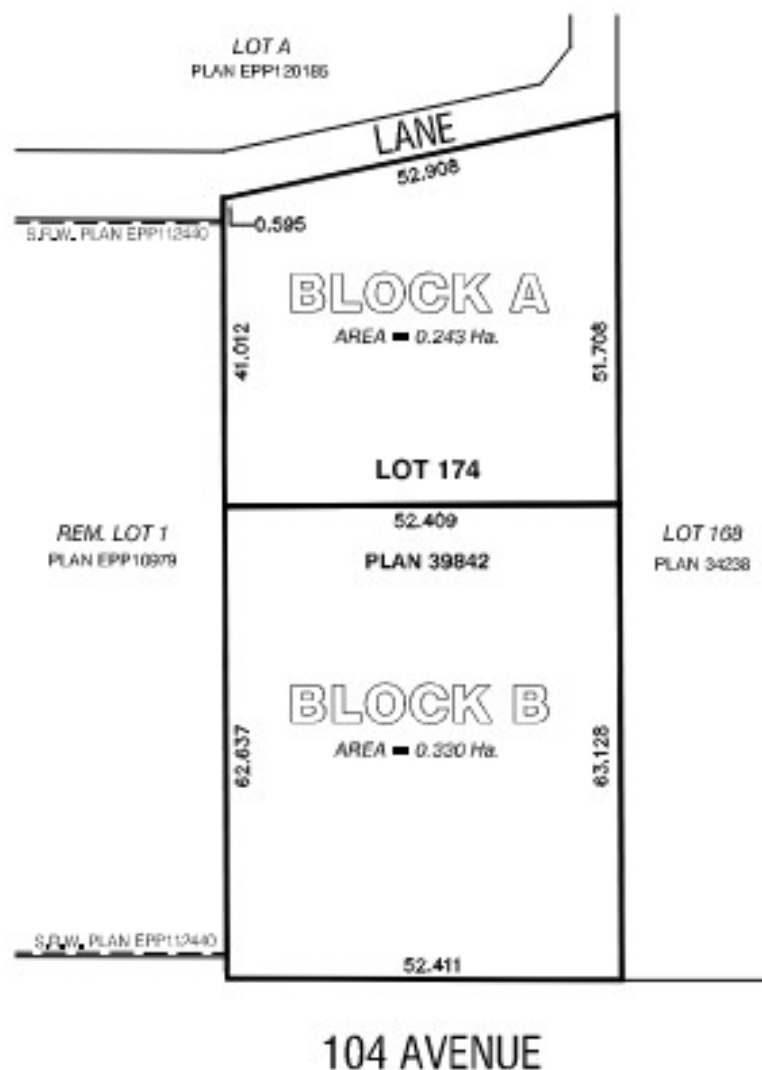
B.C.G.S. 92G.016

SCALE: 1:1000



**NOTES:**

- ALL DISTANCES ARE SHOWN IN METRES.
- INTEGRATED SURVEY AREA No. 1, CITY OF SURREY, NAD83(CSRS) 4.0.0.BC.1.MVRD.
- LOT CONFIGURATIONS AND LOT DIMENSIONS ARE SHOWN ACCORDING TO PLAN EPP118896 (UNREGISTERED)
- THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT - CITY OF SURREY



CERTIFIED CORRECT ACCORDING TO  
LAND TITLES AND SURVEY AUTHORITY RECORDS.

THIS 26th DAY OF APRIL, 2024.

Connor Embleton  
IMKF/W  
Digitally signed by Connor Embleton IMKF/W  
DN: cn=Connor Embleton IMKF/W,  
ou=IMKF/W, email=connor.embledon@imkf.com,  
c=Canada, o=IMKF/W, ou=IMKF/W,  
dn=2024.04.26.11:44:47-0700

CONNOR R. EMBLETON (582) B.C.L.S.

**WATSON & BARNARD**  
B.C. LAND SURVEYORS  
1524 56th STREET  
DELTA, B.C., V4L 2A6  
P: 604 943 9433

**FILE: 25291-2SK1**  
**PLOT: 2024/04/26**  
**MAP: SURREY**

JOBS:25291DRAWINGS:SKETCHES:25291-2SK1.dwg M1000 JOBS:25291DATA:MAPS:25291.dwg



SUBDIVISION PLAN OF  
 LOT 174, SECTION 22, BLOCK 5, NORTH RANGE 2 WEST,  
 NEW WESTMINSTER DISTRICT, PLAN 39842

PLAN EPP118696  
**PRELIMINARY**

B.C.G.S. 92G.016  
 SCALE: 1:500



THE INTENDED PLOT SIZE OF THIS PLAN IS  
 500mm IN HEIGHT BY 804mm IN WIDTH  
 WHEN PLOTTED AT A SCALE OF 1:500 (0 SIZE)

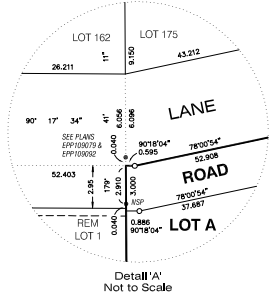
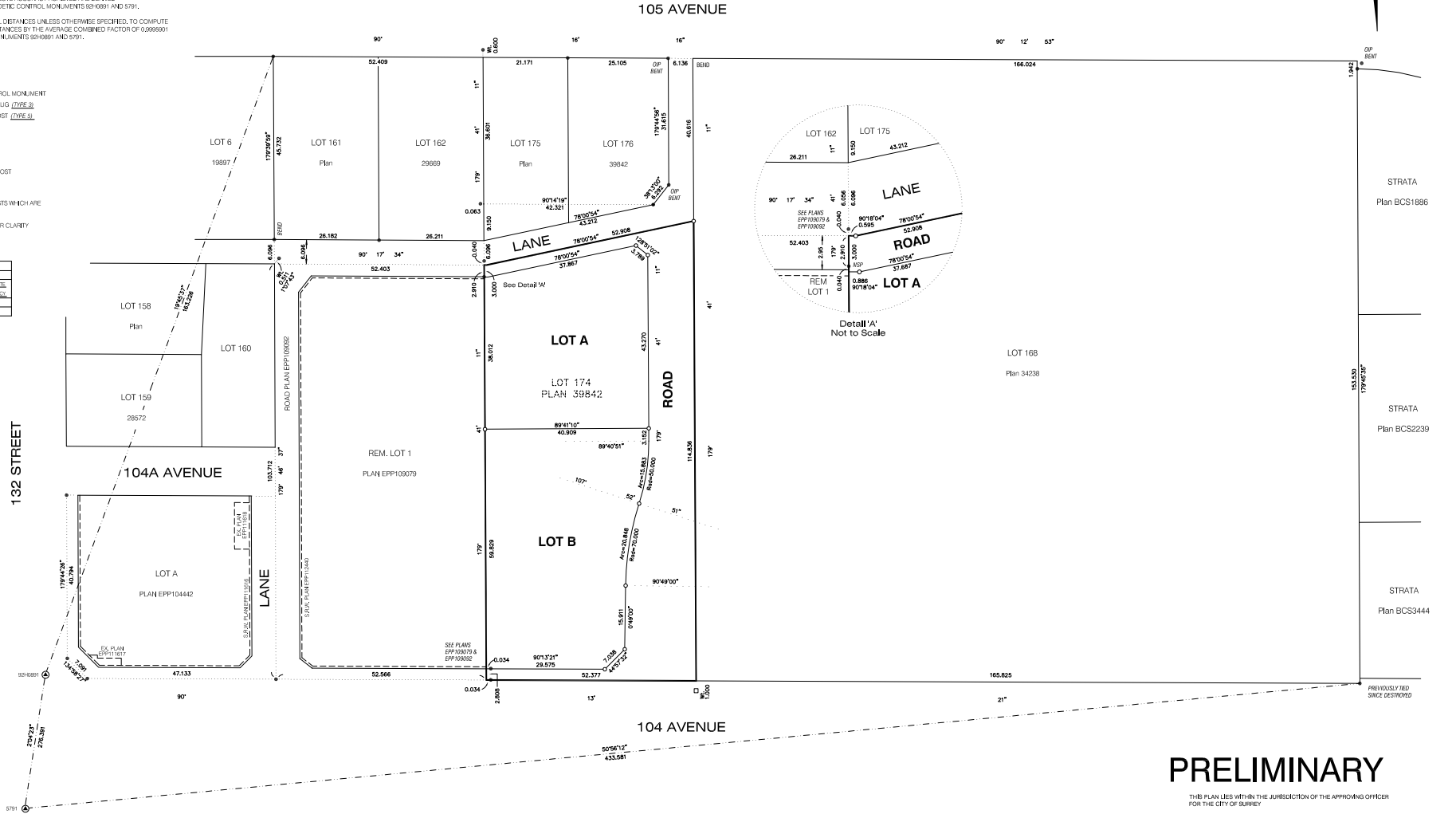
**NOTES:**

- ALL DISTANCES ARE SHOWN IN METRES.
- INTEGRATED SURVEY AREA No.1, CITY OF SURREY, NAD83(CRS) 40A.BC.1.M.RD
- GRID COORDINATES ARE DERIVED FROM OBSERVATIONS BETWEEN CONTROL MONUMENTS 0240891 AND 5791 AND ARE REFERRED TO CENTRAL MERIDIAN OF UTM ZONE 10.
- THE UTM COORDINATES AND ESTIMATED ABSOLUTE ACCURACY ACHIEVED ARE DERIVED FROM CONVENTIONAL OBSERVATIONS TO GEODETIC CONTROL MONUMENTS 0240891 AND 5791.
- THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS OTHERWISE SPECIFIED, TO COMPUTE GRID DISTANCES MULTIPLY GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED FACTOR OF 0.99999991 WHICH HAS BEEN DERIVED FROM CONTROL MONUMENTS 0240891 AND 5791.

- LEGEND:**
- |       |        |                                     |
|-------|--------|-------------------------------------|
| FOUND | PLACED |                                     |
| ⊙     | ⊠      | DENOTES INTEGRATED CONTROL MONUMENT |
| •     | ⊡      | DENOTES STANDARD LEAD PLUG (TYPE 2) |
| •     | ⊙      | DENOTES STANDARD IRON POST (TYPE 5) |
| ha    |        | DENOTES HECTARES                    |
| Ac    |        | DENOTES ARC                         |
| Rad   |        | DENOTES RADIUS                      |
| NF    |        | DENOTES NOT FOUND                   |
| NSP   |        | DENOTES NOT SUITABLE TO POST        |

THIS PLAN SHOWS ONE OR MORE WITNESS POSTS WHICH ARE NOT SET ON THE TRUE CORNERS.  
 SOME GRAPHICS HAVE BEEN EXAGGERATED FOR CLARITY

MAGNET DEVIATION CORRECTIONS			
ON GRID (METS) (CRS) 40A.BC.1.M.RD - UTM ZONE 10			
YEAR/DATE	MAGNETIC	GRID	ABSOLUTE
1980/0891	544876.234	510449.232	0.21
2021	544851.236	510449.230	0.93



**WATSON & BARNARD**  
 SURVEYING SURVEYORS  
 1524 55TH STREET, SUITE 100  
 VAN, B.C. V6V 2G9  
 TEL: 248 70 604 FAX: 248 70 633  
 E: contact@wbsurveyors.ca

THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT  
 CITY OF SURREY

**PRELIMINARY**

THIS PLAN LIES WITHIN THE JURISDICTION OF THE APPROVING OFFICER FOR THE CITY OF SURREY.  
 THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS COMPLETED ON THE 18th DAY OF \_\_\_\_\_ 2021  
 CONNOR R. EMBLETON (REG)

FILE: 25291SD  
 DATE: 2022/03/  
 MAP: SURREY

SURREY/EP/2021/18696/LEGAL/2021/18696\_0201\_DATA/20220301



## INTER-OFFICE MEMO

---

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Manager, Development Services, Engineering Department**

DATE: **June 03, 2024** PROJECT FILE: **7823-0232-00**

---

RE: **Engineering Requirements**  
**Location: 13265 104 Ave**

**REZONE/SUBDIVISION*****Property and Right-of-Way Requirements***

- Dedicate approximately 2.808 m along 104 Avenue;
- Dedicate varying widths along 133 Street;
- Dedicate 3.0 m for Green Lane
- Dedicate 5.0 m x 5.0 m corner cut at 133 Street and 104 Avenue;
- Dedicate 3.0 m x 3.0 m corner cut at 133 Street and Green Lane; and
- Register 0.5 m statutory right-of-way (SRW) along all road frontages.

***Works and Services***

- Construct the north side of 104 Avenue;
- Construct the west side of 133 Street;
- Construct traffic signal at 104 Avenue and 133 Street;
- Construct the south side of Green Lane;
- Provide downstream catchment analyses for drainage and sanitary to determine system capacities, and address any constraints as required;
- Construct adequately-sized service connections (drainage, sanitary and water), complete with inspection chambers/water meters; and
- Construct/upgrade frontage mains to service the site, including road drainage and any downstream constraints.

A Servicing Agreement is required prior to Rezone/Subdivision.

**OCP AND CCP AMENDMENTS/DEVELOPMENT PERMIT**

There are no additional engineering requirements related to the OCP and CCP Amendments, along with the proposed Development Permit.

Jeff Pang, P.Eng.  
 Manager, Development Services

MS

NOTE: Detailed Land Development Engineering Review available on file



Department: **Planning and Demographics**  
 Date: **March 25, 2024**  
 Report For: **City of Surrey**

**Development Impact Analysis on Schools For:**

Application #: **23 0232 00**

The proposed development of **561** High Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

<b>School-aged children population projection</b>	47
---	----

<b>Projected Number of Students From This Development In:</b>	
Elementary School =	28
Secondary School =	11
<b>Total Students =</b>	<b>39</b>

<b>Current Enrolment and Capacities:</b>	
<b>K B Woodward Elementary</b>	
Enrolment	749
Operating Capacity	682
# of Portables	6
<b>Kwantlen Park Secondary</b>	
Enrolment	1594
Operating Capacity	1200
# of Portables	16

**Summary of Impact and Commentary**

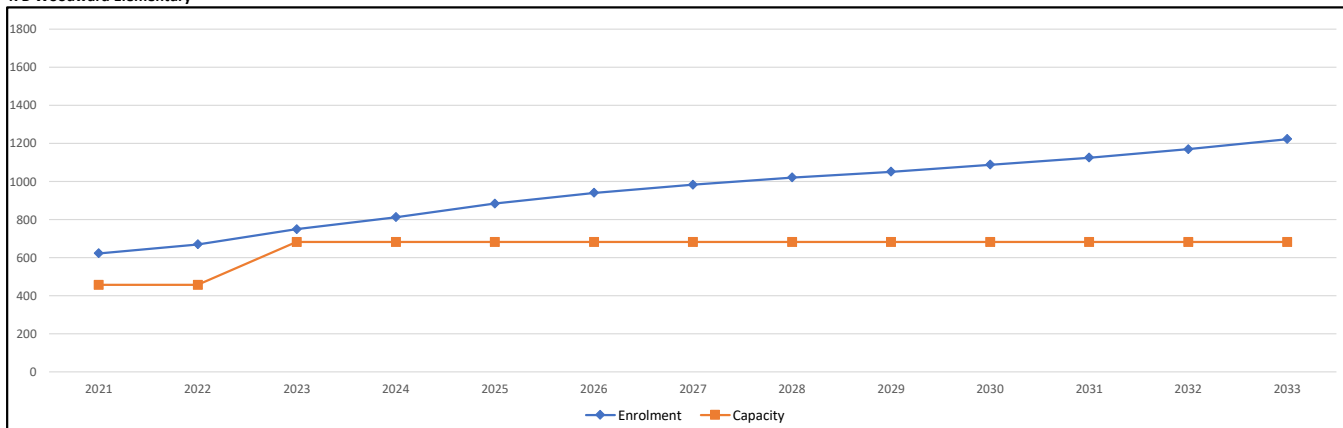
The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

With the opening of the 200-capacity addition, KB Woodward Elementary is operating at 109% capacity. The 10 year enrolment projections indicate that the school will grow as City Centre continues to transform into the new business/commercial/residential center for Surrey.

There is potential for significant redevelopment located along King George Boulevard with the current building form changing into high rise residential development and/or mixed use. The timing of these future high rise developments, with good market conditions, will impact the enrolment growth upwards. Along with this development, growth could be further compounded with the densification of 104th Ave between City Centre and Guildford Mall.

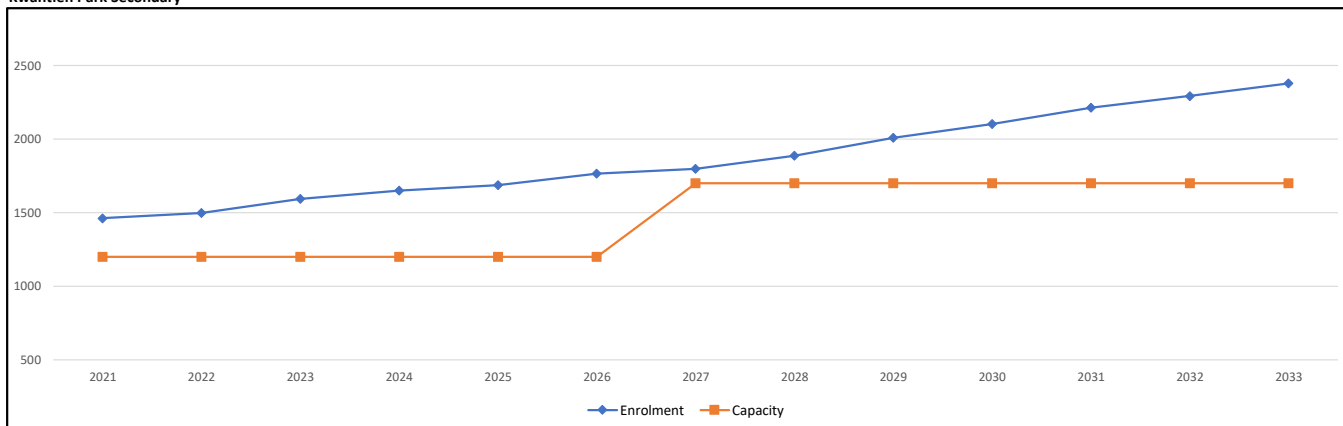
As of September 2023, Kwantlen Park Secondary is currently operating at 133% with 16 portables on site used for enrolling classes and is projected to grow significantly over the next 10 years. This school will also be impacted by timing of future high-rise development in the area. In February 2023, the District has received capital funding approval from the Ministry to build a 500-capacity addition, targeted to open in the fall of 2027. However additional measures will also be required to address the future growth.

**K B Woodward Elementary**



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

**Kwantlen Park Secondary**



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

**Population:** The projected population of children aged 0-17 impacted by the development.

**Enrolment:** The number of students projected to attend the Surrey School District ONLY.

MIKE FADUM AND ASSOCIATES LTD.  
VEGETATION CONSULTANTS

## Tree Preservation Summary

Surrey Project No: 18-0393-00


Address: 13265 – 104 Avenue, Surrey, BC

Registered Arborist: Corey Plester

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	28
<b>Protected Trees to be Removed</b>	28
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	0
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 28 X two (2) = 56</li> </ul>	<b>56</b>
<b>Replacement Trees Proposed</b>	56
<b>Replacement Trees in Deficit</b>	NA
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	NA

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	18
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 18 X two (2) = 36</li> </ul>	<b>36</b>
<b>Replacement Trees Proposed</b>	NA
<b>Replacement Trees in Deficit</b>	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 	Date: February 23, 2024
--	-------------------------



Mike Fadum and Associates Ltd.  
#105, 8277-129 Street, Surrey, BC, V3W 0A6  
Phone 778-593-0300 Fax 778-593-0302



**MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS**

#105, 8277 129 St.  
Surrey, British Columbia  
V3W 0A6  
Ph: (778) 593-0300  
Fax: (778) 593-0302  
Email: mfadum@fadum.ca

CLIENT

FILE NO.

PROJECT TITLE  
**TREE PRESERVATION AND PROTECTION PLAN**

13265 104 AVENUE  
SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	MAY07/18	MK	REVISIONS
2	MAY30/19	MK	SITE PLAN
3	JUN13/19	MK	SITE PLAN
4	JUN13/19	MK	CIVIL PLAN
5	FEB10/20	MK	SITE PLAN
6	MAY26/23	MK	SITE PLAN
7	FEB08/24	MK	SITE & CIVIL PLAN
8	FEB21/24	MK	SITE PLAN

SHEET TITLE

**T1 - TREE PRESERVATION AND REMOVAL PLAN**

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DRAWN

MK

SCALE

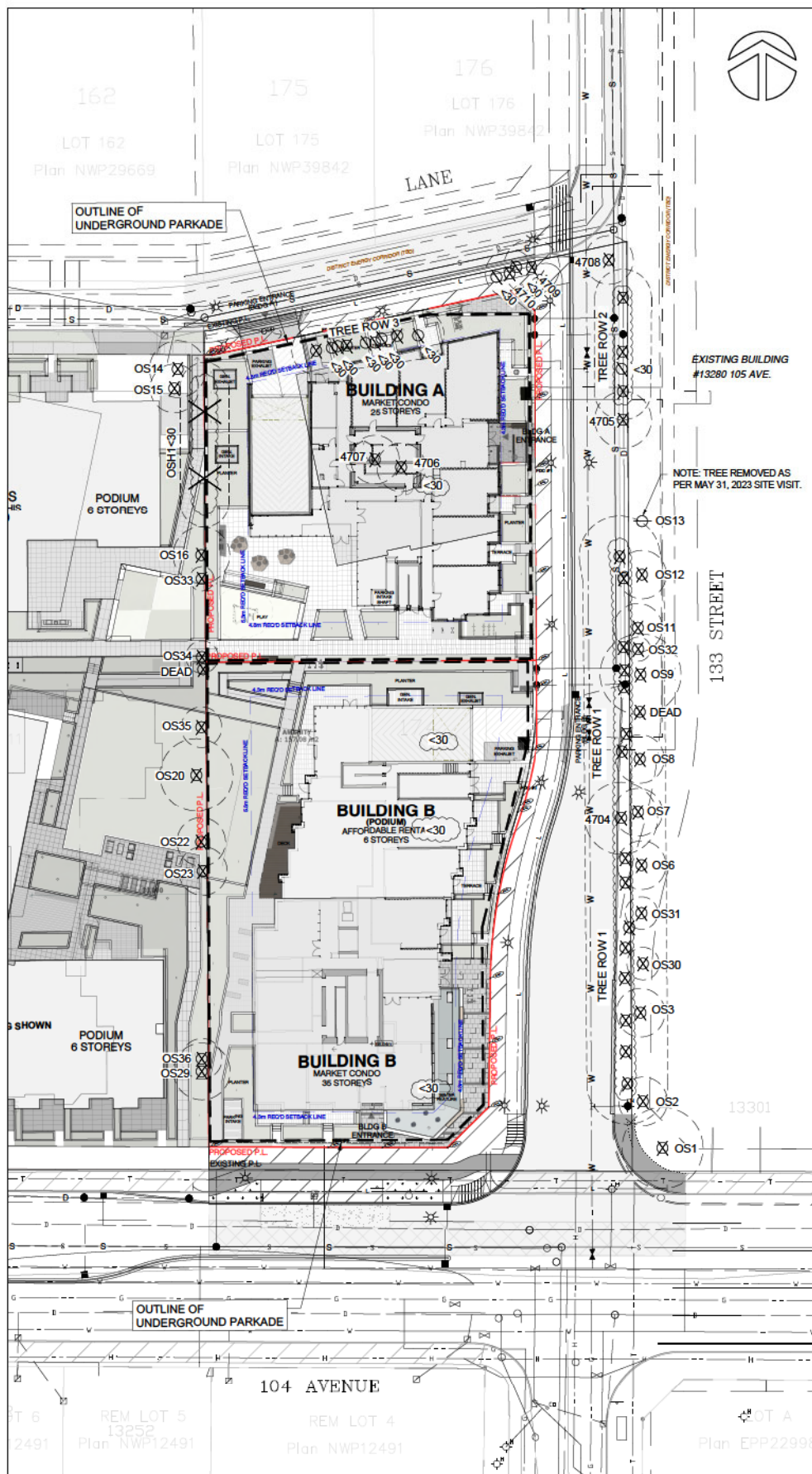
AS SHOWN

DATE

MARCH 6, 2018

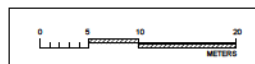
**T - 1**

SHEET 1 OF 2



LEGEND

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- NON BY-LAW TREE
- MINIMUM NO DISTURBANCE ZONE
- 1.5m NO-BUILD ZONE
- TREE REMOVED AS PER MAY 31, 2023 SITE VISIT



**MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS**

#105, 8277 129 St.  
Surrey, British Columbia  
V3W 0A6  
Ph: (778) 593-0300  
Fax: (778) 593-0302  
Email: mfadum@fadum.ca

CLIENT

FILE NO.

PROJECT TITLE  
**TREE PRESERVATION AND PROTECTION PLAN**

13265 104 AVENUE  
SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	MAY07/18	MK	REVISIONS
2	MAY30/19	MK	SITE PLAN
3	JUN13/19	MK	SITE PLAN
4	JUN13/19	MK	CIVIL PLAN
5	FEB10/20	MK	SITE PLAN
6	MAY26/23	MK	SITE PLAN
7	FEB08/24	MK	SITE & CIVIL PLAN
8	FEB21/24	MK	SITE PLAN

GENERAL NOTES:  
 • TREE PROTECTION FENCING TO BE MEASURED FROM EDGE OF TREE TRUNK AND SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS.  
 • REPLACEMENT TREES SHALL CONFORM TO BC SLABCLMA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.

SHEET TITLE

**T2 - TREE PROTECTION PLAN**

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DRAWN

MK

SCALE

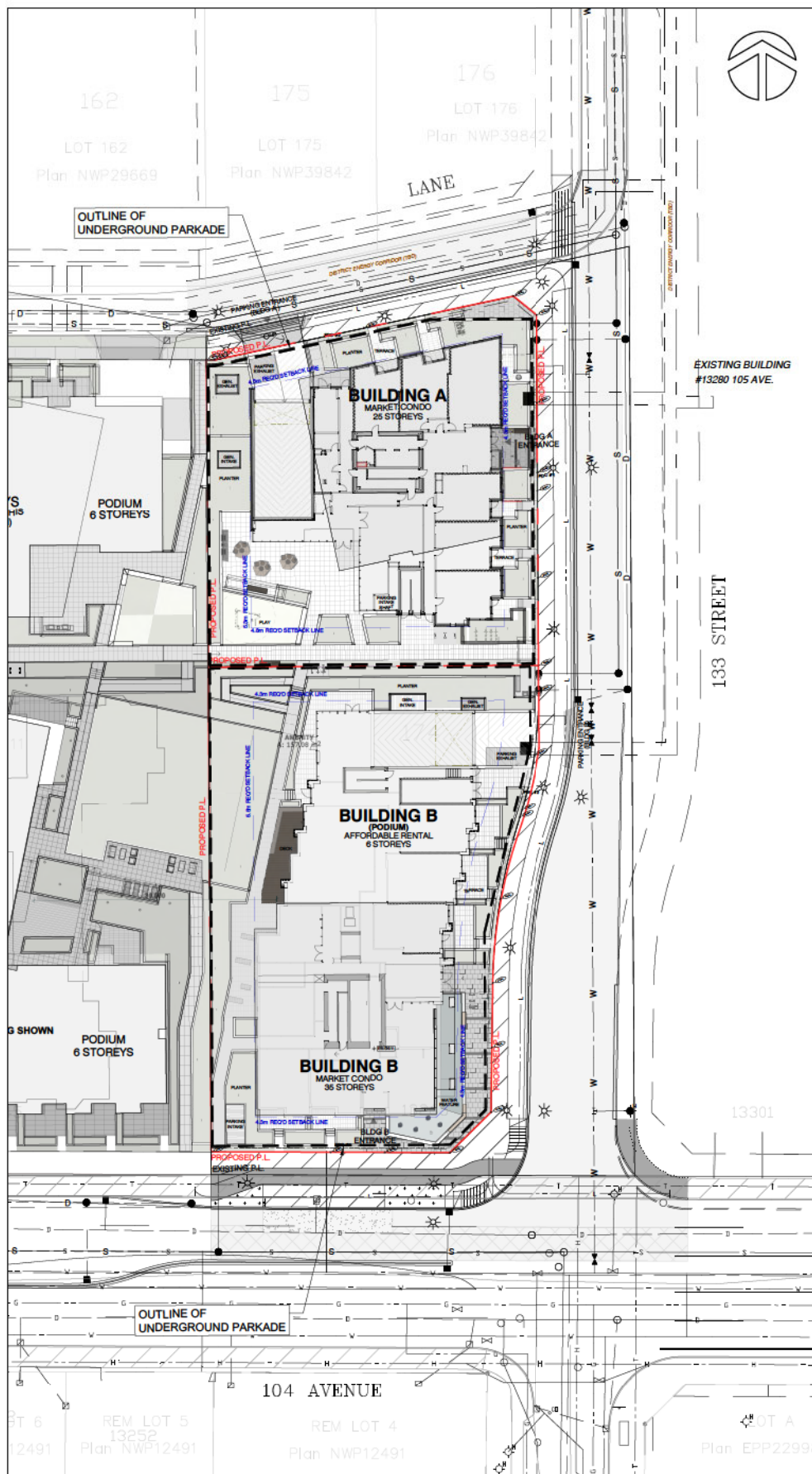
AS SHOWN

DATE

MARCH 6, 2018

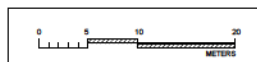
**T-2**

SHEET 2 OF 2



LEGEND

- TREE TO BE RETAINED
- MINIMUM NO DISTURBANCE ZONE
- 1.5m NO-BUILD ZONE



# Tenant Assistance Program

13265 104 Ave, Surrey

West Fraser Holdings Ltd.

## Summary

West Fraser Holdings Ltd. have applied for a multi-phase development that would require the relocation of Elizabeth Manor tenants of the existing Wood-Frame Strata building. West Fraser is aware that if this application, if approved, would cause inconvenience on the existing residents. Our goal is to provide support to the current tenants throughout this process.

All tenants residing in Elizabeth Manor apartments at the time of the development permit are eligible for relocation assistance under the Tenant Assistance Program. Currently there are 40 units of the 57 unit apartment building tenanted. (SCHEDULE A)

## Property Address, and Description

Property Address: 13265 104 Ave, Surrey, BC V3R 2T9

Legal Address: LOT 174, BLOCK 5N, PLAN NWP39842, SECTION 22, RANGE 2W, NEW WESTMINSTER LAND DISTRICT

## Neighboring Property and Development

In the replacement of this building West Fraser is proposing two buildings, including 57 below market rental units. All the units have been designed to maximize space, encourage natural ventilation, maximize exposure to natural light and include outdoor private patios or balconies. The building is well-versed with functional social lounges, outside amenities, and gym access to everyone in the building.

West Fraser is also building a new 115 unit rental building on 13245 104 ave, comprising of a mix of one two and three bedroom units as well as 20 student housing units. There is an existing older 41 unit rental building as well.

## Tenant Assistance Program

### **Property Support Manager**

Name: June Bossons

Company: West Fraser Holdings Ltd

Email: [rent@wfdev.ca](mailto:rent@wfdev.ca)

Our Property Support Manager will be the primary contact for all residents affected due to the redevelopment of the property, and will constantly interact with all residents.

During the development, West Fraser will conform to all British Columbia's Residential Tenancy Act requirements for ending tenancy due to the landlord's use of the property for major redevelopment.

We commit to providing four-month notice period to all eligible tenants, following all approvals required by law.



### *Financial Compensation*

Financial Compensation will be provided to all tenants who reside in the building at the time of application. West Fraser will also provide tenants with project updates to keep them informed.

The tenant compensation is structured as follows:

<b>Tenancy</b>	<b>Compensation (Month's Rent)</b>
0-3*	3*
3-10 Years	3
10-15 Years	4
15-20 Years	5
20-25 Years	6

\*As Per the 0-61 Policy if the tenant has moved into the building after DP Application is submitted, and the tenant has been advised that the building will be demolished with a fixed term contract, compensation is not required

### *Moving Expenses*

In addition to the compensation, West Fraser will provide moving expenses if they have lived in the building for more than three years:

- \$500 for One-bedroom suites
- \$750 for Two-bedroom suites

The Property Support Manager will also be able to assist tenants in finding alternative accommodations upon request. If requested effort will be made to find alternative rental options that meet their requirements throughout the City Centre area.

### *Relocation Assistance*

The Property Support Manager will be available to assist tenants in finding alternative accommodation upon request. The resident support specialist will undertake a complete survey of both Surrey City Centre neighborhood and broader area to identify all available suites with units renting at no more than 10% above CMHC average. We ensure that tenants are aware of these opportunities that require relocation assistance

Every effort will be made to provide tenants with accessibility/mobility issues alternative rental options that meet their requirements. Please see the attached appendix to see current occupancy summary

For eligible tenants, the property support manager will work with non-profit housing providers, health and/or social service agencies to best meet the needs of vulnerable tenants requiring additional assistance and will assist tenants with applications.

- Assistance in finding a minimum of 3 options of comparable units in the City of Surrey, with at least one option in the same neighborhood where possible, unless otherwise agreed to by the tenant
- The 3 options will be no more than 10% above the CMHC average rents. In cases where the current rent is above the 10% CMHC average rent, options should be provided at current rent maximum

## *Right of First Offer*

West Fraser will give right of first offer to the 57 unit below market units at 13265 104 Ave

## Market Rental Housing Agreement

A 60-year Housing Agreement will be signed with the City of Surrey for the Below Market Rental Building.

This agreement will be made between West Fraser Holdings and the City of Surrey, with an covenant on the property.

## Rental Requirements of City Policy O-61

- ❖ Redevelopment of purpose-built rental site requires replacement of the existing rental units within the new development
  - We are replacing the 57-unit rental building with 57 below-market rent units
- ❖ Replacement of purpose-built rental units shall include, at a minimum, the same number of total bedrooms as the original development
  - The current development has 5 Studios, 40 1 Bedrooms, 12 2-Bedrooms. We are planning on replacing these at a 1:1 ratio
- ❖ Replacement units are required to be 'affordable rental' for low to moderate income households, rented at a maximum of 10% below current Canadian Market and Housing Corporation (CMHC) average rents for the applicable unit size in the City of Surrey. Current average rental rates for Surrey are provided in CMHC's Rental Market Report: Vancouver CMA, which is released annually in the fall.
  - Yes these units will be 10% below current CMHC average rents
- ❖ The affordable rental replacement units must be managed by a non-profit organization or a nonprofit / social enterprise property management firm as approved by the City.
  - West Fraser Developments will manage these units directly through their rental management program. In West Frasers rental portfolio they currently have over 400 rental units, with over 500 in the pipeline. These units consist of affordable, market and ADA units. In order to ensure these units are properly managed and rented to the correct individuals West Fraser will be using BC Housing's Eligibility Criteria
    - Rent should not be more than 30% of the family gross income
    - People who are looking for or are in need of below market rental
    - Income criteria. \$40,000 for single occupant, \$65,000 for family
    - The individual has less than \$100,000 in assets
  - On a yearly basis a report will be shared with the city on these units to ensure they are meeting the criteria.
  - Covenant will be registered on the property

❖ Eviction Notices will not be sent until after the Development Permit is issued

### Communication Plan

West Fraser is committed to maintaining clear, open lines of communication with all tenants during the approval process. In addition to dedicated, full time access to the Property Support Manager, notification and updates will be provided at the following stages:

Stage	Notification	Date	Status
Original DP application 7918-0360-00	Letter distributed throughout the tenants -letter posited in clearly visible area within building	December 2018	Completed
Approvals	Give tenants the opportunity for a 1 to 1 meeting to discuss personal situation, and tenant relocation strategy. Any additional information to post throughout building	Summer 2020	Ongoing
Original DP application 7918-0360-00 First and Second Reading		July 27 2020	Projected
Public Hearing Date		Sept 14, 2020	Completed
New Application	Rezoning signage posted onsite	December 2023	Completed
Approvals	Tenant Zoom Open House during after ADP session	May 2020	Completed
Approvals	Compensation Letters detailing the total compensation payable	June 2022	Just purchased property April 2022
New Development application 7923-0232-00 Rezoning Enactment	Notification Letter with updated schedule information to be hand delivered to each residence, and posted within the building	Fall 2024	Projected
First and Second Reading		June 24 2024	
Public Hearing Date		July 8 2024	
Building Permit Issuance Phase 1	Continue to notify as we receive Phase 1 BP	Early 2025	
Construction of Phase 1	Continued updates of Phase 2	2025 to 2028	
Full DP Phase 2	Continued updates of when DP of Phase 2 is submitted	TBD	
Compensation and Relocation Assistance	Handed out information about relocation	April 30 2024	Completed

West Fraser will submit status updates regarding the development to all tenants and implement the Tenant Relocation and Communications Plan. We will insure:

- For each tenant, all information is provided regarding the tenant relocation strategy
- Total compensation is provided to each tenant living in the existing 3-storey building
- All other communications will be done on a timely matter with proper notices given
- West Fraser will submit regular updates to City Staff of the communication plan

**NOTICE TO ALL TENANTS**  
**ELIZABETH MANOR**  
**13265 104<sup>th</sup> Avenue, Surrey BC V3T 1V2**

**Please contact your property support Manager**

**Property Support Manager**

Name: June Bossons

Company: West Fraser Holdings Ltd

Email: [rent@wfdev.ca](mailto:rent@wfdev.ca)

West Fraser will also provide tenants with project updates to keep them informed.

The tenant compensation is structured as follows:

<b>Tenancy</b>	<b>Compensation (Month's Rent)</b>
0-3	3
3-10 Years	3
10-15 Years	4
15-20 Years	5
20-25 Years	6

\*As Per the 0-61 Policy if the tenant has moved into the building after DP Application is submitted, and the tenant has been advised that the building will be demolished with a fixed term contract, compensation is not required

*Moving Expenses*

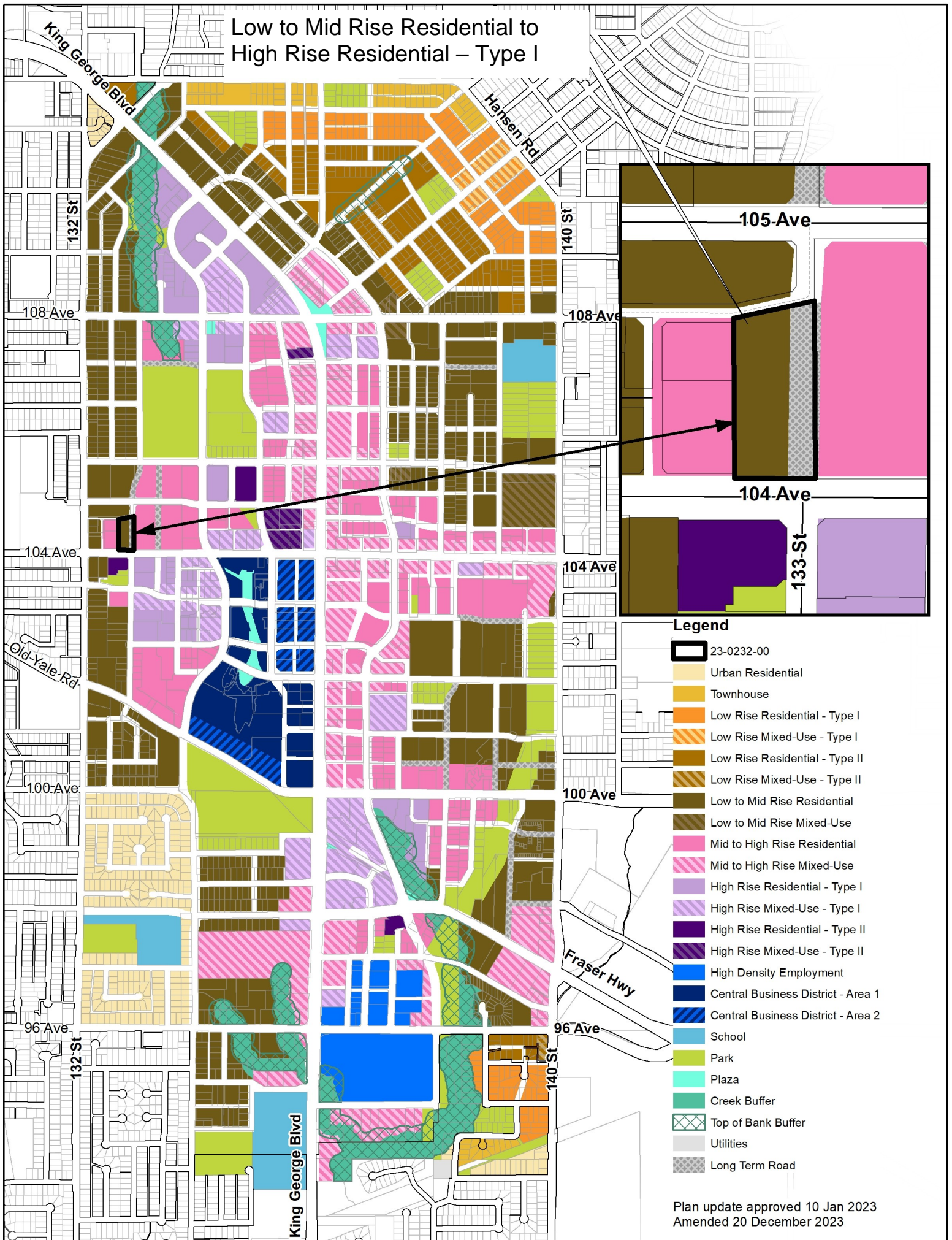
In addition to the compensation, West Fraser will provide moving expenses if they have lived in the building for more than three years:

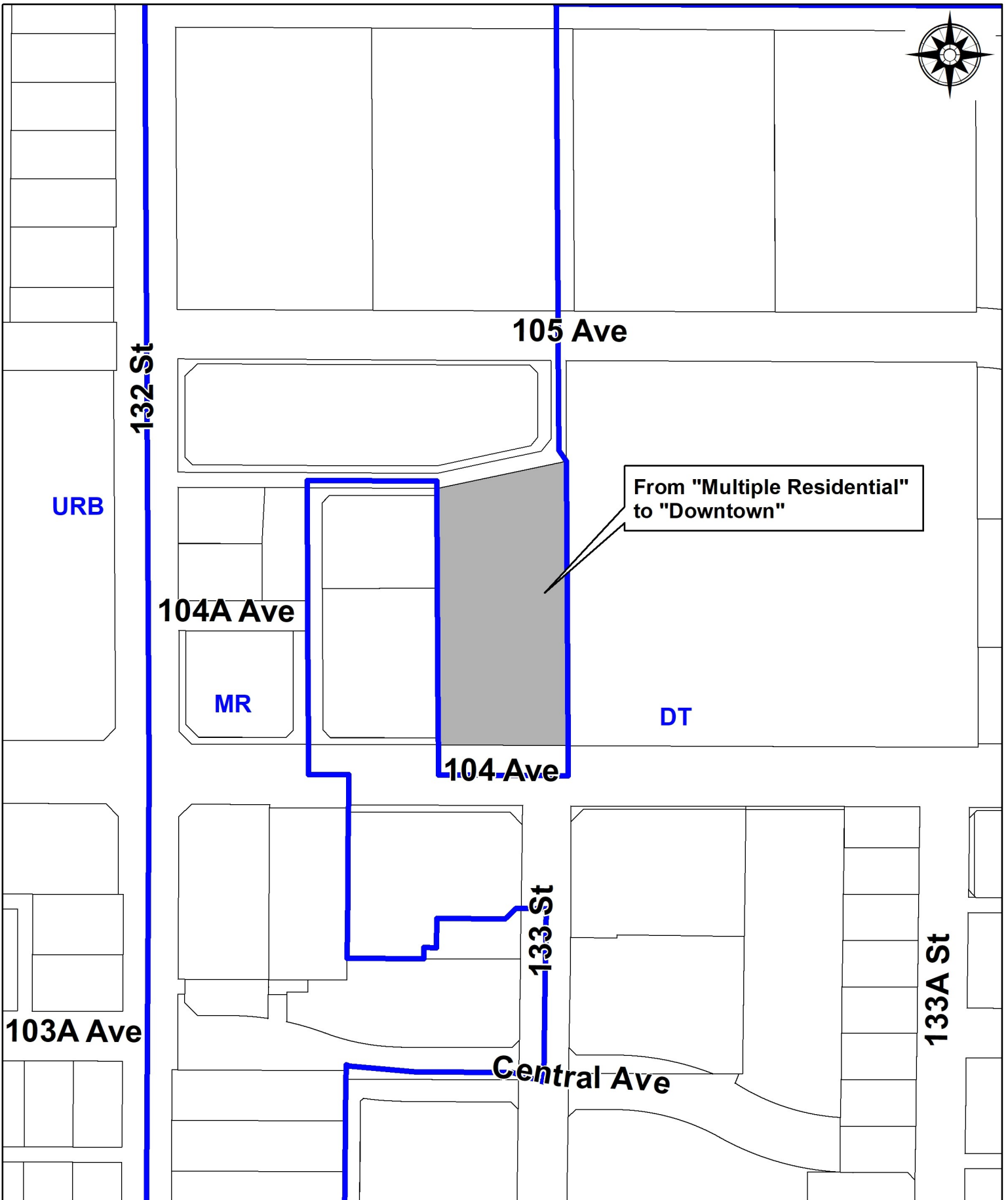
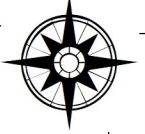
- \$500 for One-bedroom suites
- \$750 for Two-bedroom suites

The Property Support Manager will also be able to assist tenants in finding alternative accommodations upon request. If requested effort will be made to find alternative rental options that meet their requirements throughout the City Centre area.

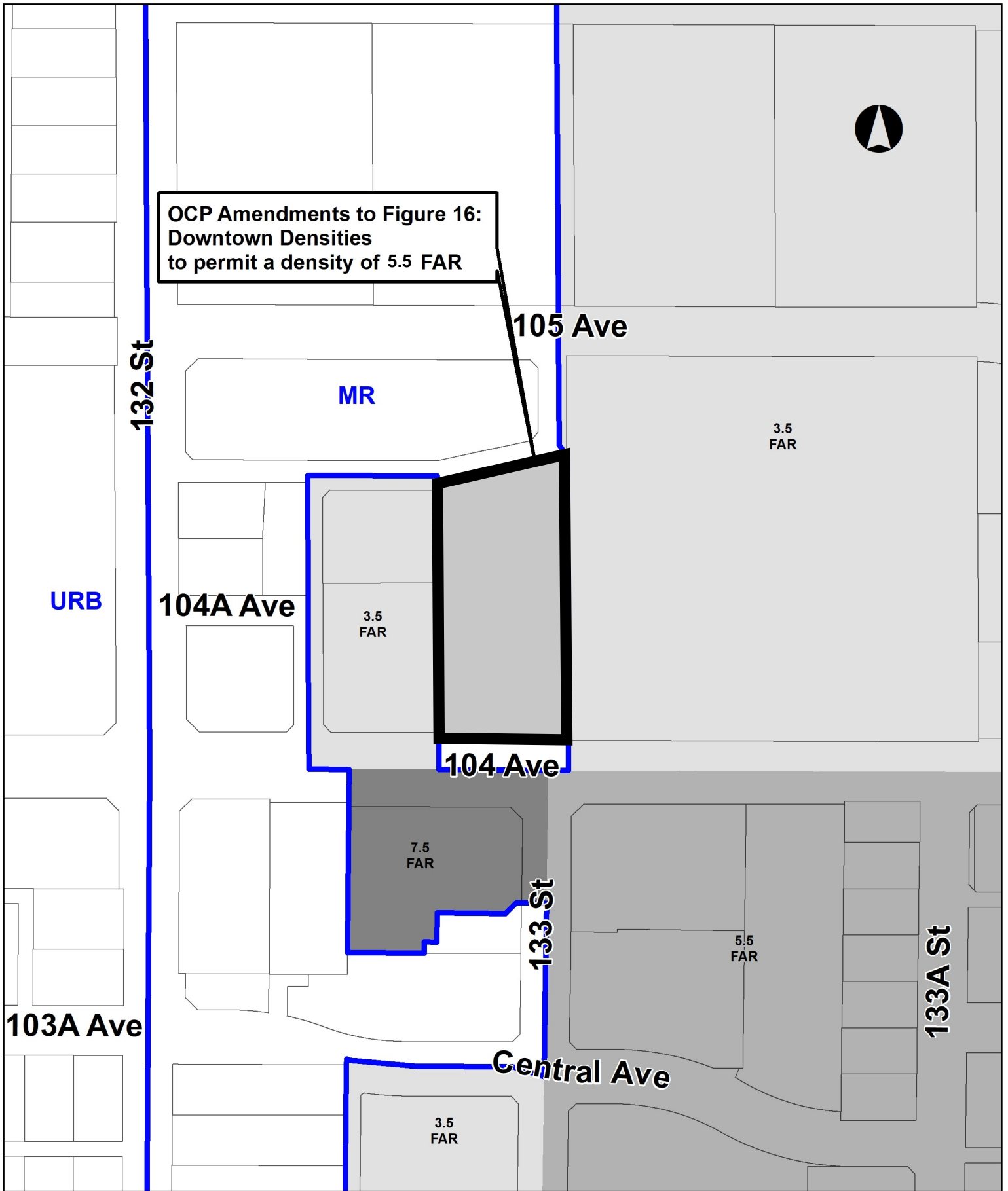
Dated as of \_\_\_\_\_ day of \_\_\_\_\_ 2024  
West Fraser Holdings Ltd

Low to Mid Rise Residential to High Rise Residential – Type I









**CITY OF SURREY**  
**HOUSING AGREEMENT**  
**Mixed-Use**

THIS HOUSING AGREEMENT made the \_\_\_\_ day of \_\_\_\_\_, 2024.

BETWEEN:

**CITY OF SURREY**, a municipal corporation having its offices at 13450 – 104 Avenue, Surrey, B.C. V3T 1V8

(the “**City**”)

OF THE FIRST PART

AND:

**ACCORDE WCPG LOTS 12 LTD., INC. NO. BC1137754**, a corporation having its offices at 11411 131 Street, Surrey, B.C. V3R 2T9

AS TO AN UNDIVIDED 56/100 INTEREST

(“**Accorde 12**”)

**ACCORDE WCPG LOTS 12(B) LTD., INC. NO. BC1158398**, a corporation having its offices at 11411 131 Street, Surrey, B.C. V3R 2T9

AS TO AN UNDIVIDED 44/100 INTEREST

(“**Accorde 12B**”)

(collectively the “**Owner**”)

OF THE SECOND PART

WHEREAS:

- A. The Owner is the legal registered owner of those certain lands and premises located in the City of Surrey, in the Province of British Columbia, legally described as:

Parcel Identifier: 001-095-269  
LOT 174 SECTION 22 BLOCK 5 NORTH RANGE 2 WEST NEW  
WESTMINSTER DISTRICT PLAN 39842

(the “**Lands**”);

- B. Accorde 12 holds its legal title (as to an undivided 56/100 interest) in the Lands as nominee, agent and bare trustee in trust for the beneficial owner, WEST FRASER 133 DEVELOPMENTS LTD. (Inc. No. BC1349478) pursuant to a Declaration and Bare Trust and Agency Agreement dated April 4, 2022;
- C. Accorde 12B holds its legal title (as to an undivided 44/100 interest) in the Lands as nominee, agent and bare trustee in trust for the beneficial owner, WEST FRASER HOLDINGS LTD. (Inc. No. BC1044383) pursuant to a Declaration and Bare Trust and Agency Agreement dated April 4, 2022;
- D. The Owner proposes to use the Lands for the development of multi-family residential strata buildings with a total of 561 Dwelling Units, namely 207 Dwelling Units in Building A and 354 Dwelling Units in Building B (the "**Development**");
- E. The Owner has voluntarily agreed to enter into a housing agreement pursuant to Section 483 of the *Local Government Act*, R.S.B.C. 2015, Chapter 1, as amended, to ensure that the Rental Units are rented in accordance with this Agreement.

NOW THEREFORE in consideration of the premises herein and of the mutual covenants and agreements hereinafter set forth and contained herein and \$1.00 now paid by the City to the Owner (the receipt of which is hereby acknowledged), the parties hereto covenant and agree each with the other as follows:

## 1. **DEFINED TERMS**

- 1.1 In and for the purpose of this Agreement, in addition to the definitions on the first page of this document, the following terms shall have the following meanings:
  - (a) "**Agreement**" means this housing agreement and any amendments to or modifications of the same;
  - (b) "**City**" means the City of Surrey and any person authorized by the City of Surrey, including assigns of whole or partial interest in this Agreement or of any of the rights conferred upon the City of Surrey by this Agreement;
  - (c) "**City Personnel**" means all of the City's elected and appointed officials, officers, employees, agents, nominees, delegates, permittees, contractors, subcontractors, invitees and the Approving Officer;
  - (d) "**Claims and Expenses**" means all actions, causes of actions, suits, judgments, proceedings, demands, and claims, whether at law or in equity, losses, damages, expenses and costs (including legal fees and disbursements on an indemnity basis) of any kind or nature whatsoever, at law or in equity, for any damages, losses, injuries or death;
  - (e) "**Development**" means as defined in Recital D;
  - (f) "**Dwelling Unit**" means each of the 561 dwelling units to be constructed within the Development;

- (g) **“Lands”** means the parcel of land situated in the City of Surrey, British Columbia and legally described in Recital A, and includes any parcel into which such land is consolidated or further subdivided (including a subdivision pursuant to the *Land Title Act* and a subdivision pursuant to the *Strata Property Act* of British Columbia);
- (h) **“Owner”** means the person named on the first page of this Agreement and the legal and beneficial owner at any given time and any successors in title of the Lands and, without limitation, if the Lands are subdivided by way of a strata plan under the *Strata Property Act* of British Columbia, then “Owner” includes the strata corporation thereby created;
- (i) **“Rental Units”** means 57 Dwelling Units which must be made available by the Owner to the general public at arms’ length for use as residential rental accommodation on a month-to-month or longer basis in accordance with all applicable laws including, without limitation, the *Residential Tenancy Act*, S.B.C. 2002, Chapter 78, as amended, and any regulations pursuant thereto; and
- (j) **“Term”** means 60 years, commencing on the first day of the month after the City issues an occupancy permit for the Development.

## **2. RESTRICTION ON OCCUPANCY OF DWELLING UNITS**

- 2.1 During the Term the Rental Units must be made available for rent in accordance with this Agreement.
- 2.2 The City may, from time to time, during the Term request the Owner to provide written proof of compliance with section 2.1 and the Owner agrees to provide, or cause an operator of the Lands to provide, the City with such proof in a form reasonably satisfactory to the City.
- 2.3 All of the Rental Units must be owned by the same Owner(s).
- 2.4 Throughout the Term, the Owner shall not sell or transfer the beneficial or registered title or any interest in and to the Rental Units, unless the Owner obtains from the transferee an agreement in writing from the transferee to assume and perform all of the obligations of the Owner arising under this Agreement.
- 2.5 During the Term, the Rental Units must specifically target low to moderate income households in line with BC Housing’s Housing Income Limits established annually and be rented at a maximum of 10% below current Canadian Market and Housing Corporation (CMHC) average rents for the applicable unit size in the City of Surrey, as provided in CMHC’s Rental Market Report: Vancouver CMA, which is released annually in the fall.

## **3. LIABILITY**

- 3.1 **Indemnity.** The Owner shall indemnify and save harmless the City and City

Personnel from all Claims and Expenses which the City and City Personnel may suffer, or incur, or be put to, arising out of or in connection with any breach or default of any covenants or agreements on the part of the Owner contained in this Agreement, or arising out of, or in connection with the Development or arising out of the fact that the Lands are encumbered by and affected by this Agreement.

3.2 **Release.** The Owner does hereby remise, release and forever discharge the City and City Personnel from all Claims and Expenses which the Owner may have against the City and City Personnel, which the Owner now has or hereafter may have with respect to or by reasons of or arising out of the fact that the Lands are encumbered by and affected by this Agreement.

3.3 **Obligations Continue.** The Owner covenants and agrees that the indemnity and release in Sections 3.1 and 3.2 will remain effective and survive the expiration or termination of this Agreement whether by fulfilment of the covenants contained in this Agreement or otherwise.

#### 4. **NOTICE**

4.1 Any notices or other documents to be given or delivered pursuant to this Agreement will be addressed to the proper party as follows:

(a) As to the City:

City of Surrey  
13450 – 104 Avenue  
Surrey, BC V3T 1V8

Attention: General Manager, Planning and Development Department

(b) As to the Owner:

ACCORDE WCPG LOTS 12 LTD / ACCORDE WCPG LOTS 12(B) LTD  
11411 131 Street,

Surrey, B.C. V3R 2T9

Attention: Rajwantjit Singh Sandhu

or such other address as such party may direct. Any notice or other documents to be given or delivered pursuant to this Agreement will be sufficiently given or delivered if delivered to the particular party as its address set out or determined in accordance with this section and shall be deemed complete two (2) days after the day of delivery.

4.2 It is specifically agreed that for any notice or document to be validly given or delivered pursuant to this Agreement, such notice or document must be delivered and not mailed.

#### 5. **GENERAL**

- 5.1 **Joint and Several.** Where the Owner consists of more than one person, each such person will be jointly and severally liable to perform the Owner's obligations under this Agreement.
- 5.2 **Assignment by City.** This Agreement or any of the rights conferred by this Agreement upon the City may be assigned in whole or in part by the City without the consent of the Owner.
- 5.3 **City's Other Rights Unaffected.** Nothing contained or implied herein will derogate from the obligations of the Owner under any other agreement with the City or, if the City so elects, prejudice or affect the City's rights, powers, duties or obligations in the exercise of its functions pursuant to the *Local Government Act* and the *Community Charter*, as amended from time to time and the rights, powers, duties and obligations of the City under all public and private statutes, by-laws, orders and regulations, which may be, if the City so elects, as fully and effectively exercised in relation to the Lands as if this Agreement had not been executed and delivered by the Owner and the City.
- 5.4 **Agreement for Benefit of City.** The Owner and the City hereby acknowledge, agree and declare that this Agreement is entered into for the sole purpose of benefitting the City and, in particular, acknowledge, agree and declare that this Agreement is not designed to protect or promote the interests of the Owner or any mortgagee of the Owner, or any future owner or occupier of the Lands and any improvements on the Lands or any other person and the City may, at its sole option, execute a release of this Agreement at any time without liability to any person for so doing.
- 5.5 **No Waiver.** The Owner acknowledges and agrees that no failure on the part of the City to exercise and no delay in exercising any right under this Agreement will operate as a waiver thereof, nor will any single or partial exercise by the City of any right under this Agreement preclude any other or future exercise thereof of the exercise of any other right.
- 5.6 **City Not Required to Prosecute.** The Owner agrees that the City is not required or is under no obligation in law or equity to prosecute or enforce this Agreement in any way whatsoever.
- 5.7 **Remedies.** The remedies provided for in this Agreement will be cumulative and not exclusive of any other remedies provided by law or in equity. In addition to any remedies which are available under this Agreement or at law, the City will be entitled to all equitable remedies, including, without limitation, specific performance, injunction and declaratory relief, or any combination thereof, to enforce its rights under this Agreement. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy for a default by the Owner under this Agreement.
- 5.8 **Severability.** All the obligations and covenants in this Agreement are severable, so that if any one or more of the obligations or covenants are declared by a court

of competent jurisdiction to be void and unenforceable, the balance of the obligations and covenants will remain and be binding.

- 5.9 **City Court Costs.** In an action to enforce this Agreement in respect of which the court determines that the position of the City will prevail, the City will be entitled to court costs on a solicitor-client basis.
- 5.10 **Subdivision/Consolidation.** If the Lands are subdivided or consolidated at any time hereafter either under the provisions of the *Land Title Act* or under the *Strata Property Act*, then upon the deposit of a plan of subdivision, strata plan, consolidation plan or similar plan or application as the case may be the rights, benefits, burdens, obligations, and covenants contained in this Agreement will continue to charge each of the new parcels, lots, or other subdivided or consolidated parcels and areas so created.
- 5.11 **Subdivision by Strata Plan.** If the Lands, or any portion thereof, are subdivided by a strata plan, this Agreement will charge title to the strata lots and the common property comprising such strata plan and:
- (a) this Agreement will be registered against each individual strata lot and noted on the common property sheet;
  - (b) the strata corporation or the strata corporations created will perform and observe the Owner's covenants in this Agreement, solely at the expense of the strata lot owners; and
  - (c) the liability of each strata lot owner for the performance and observance of the Owner's covenants herein will be in proportion to the unit entitlement of his, her or its strata lot as established by the strata plan.
- 5.12 **Personal Representatives and Successors.** This Agreement shall enure to the benefit of and be binding upon the parties hereto and their personal representatives, respective heirs, executors, administrators, successors, and assigns.
- 5.13 **Governing Law.** This Agreement will be governed by and construed in accordance with the laws of the Province of British Columbia and the laws of Canada applicable in British Columbia.
- 5.14 **Priority.** The Owner shall at the sole expense of the Owner, do or cause to be done all acts reasonably necessary to grant priority to this Agreement over all charges and encumbrances which may have been registered against the title to the Lands at the Land Title Office save and except those specifically approved in writing by the City.
- 5.15 **Further Assurances.** The Owner shall do, or cause to be done, all things and execute or cause to be executed all documents and give such further and other assurances which may be reasonably necessary to give proper effect to the intent of this Agreement.
- 5.16 **Counterparts.** This Agreement may be executed in any number of counterparts

and delivered via facsimile or e-mail, each of which will be deemed to be an original and all of which taken together will be deemed to constitute one and the same instrument, provided that any party delivering this Agreement via facsimile or e-mail will deliver to the other party any originally executed copy of this Agreement forthwith upon request by the other party.

5.17 **Entire Agreement.** This Agreement represents the entire agreement between the City and the Owner regarding the matters set out in this Agreement and supersedes all prior agreements, letters of intent or understandings about these matters.

IN WITNESS WHEREOF the City of Surrey and the Owner have executed this Agreement under seal of their duly authorized officers as of the references of this Agreement.

**CITY OF SURREY**

By: \_\_\_\_\_  
Authorized Signatory  
Brenda Locke  
Mayor  
City of Surrey

By: \_\_\_\_\_  
Authorized Signatory  
Jennifer Ficocelli,  
City Clerk  
City of Surrey

**ACCORDE WCPG LOTS 12 LTD**

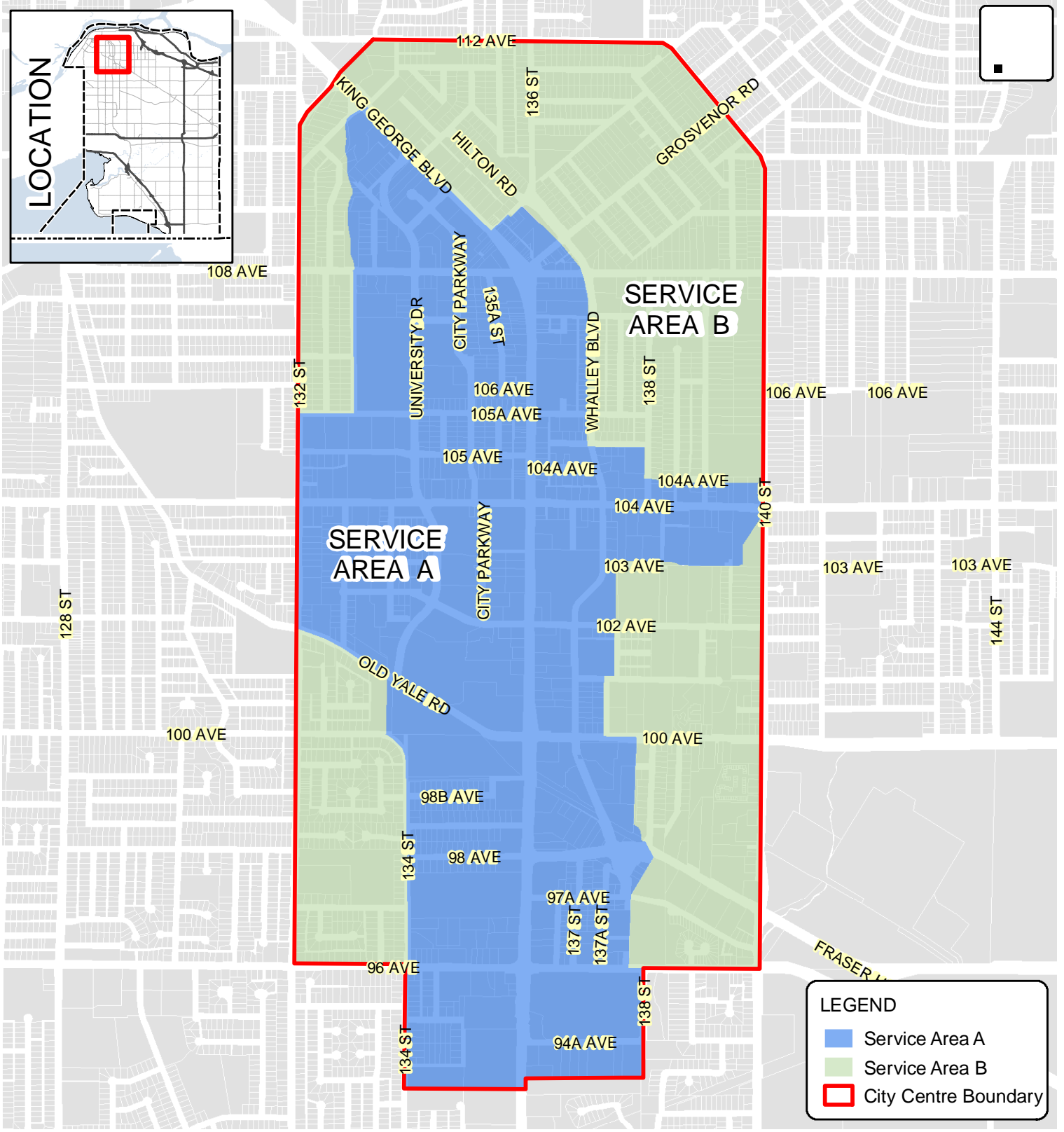
By: Rajwantjit Sandhu  
Authorized Signatory  
Name: Rajwantjit Singh Sandhu  
Title: Director

**ACCORDE WCPG LOTS 12(B) LTD**

By: Rajwantjit Sandhu  
Authorized Signatory  
Name: Rajwantjit Singh Sandhu  
Title: Director



FIGURE 1



Produced by GIS Section: May 31, 2012, CS/AW8



DISTRICT ENERGY SERVICE AREA  
(SERVICE AREA A & SERVICE AREA B)

ENGINEERING  
DEPARTMENT

The data provided is compiled from various sources and IS NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, Legal descriptions and encumbrances must be confirmed at the Land Title Office.