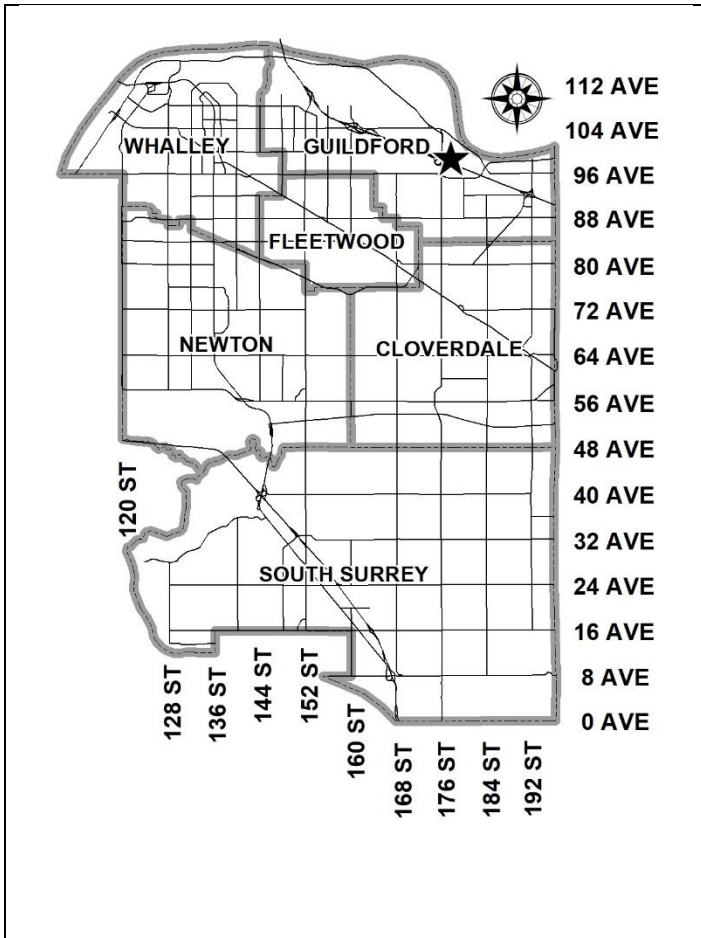


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0214-00

Planning Report Date: October 21, 2024



PROPOSAL:

- **OCP Amendment** from Suburban to Urban
- **LAP Amendment** from Suburban Residential 2-4 UPA Gross, Urban Transition 4-5 UPA, Urban Residential 8-10 UPA and Low-Density Townhouse 12-15 UPA Gross to Townhouse 15-20 UPA Gross and to Proposed City Greenway
- **Rezoning** from RA to CD
- **Development Permit**

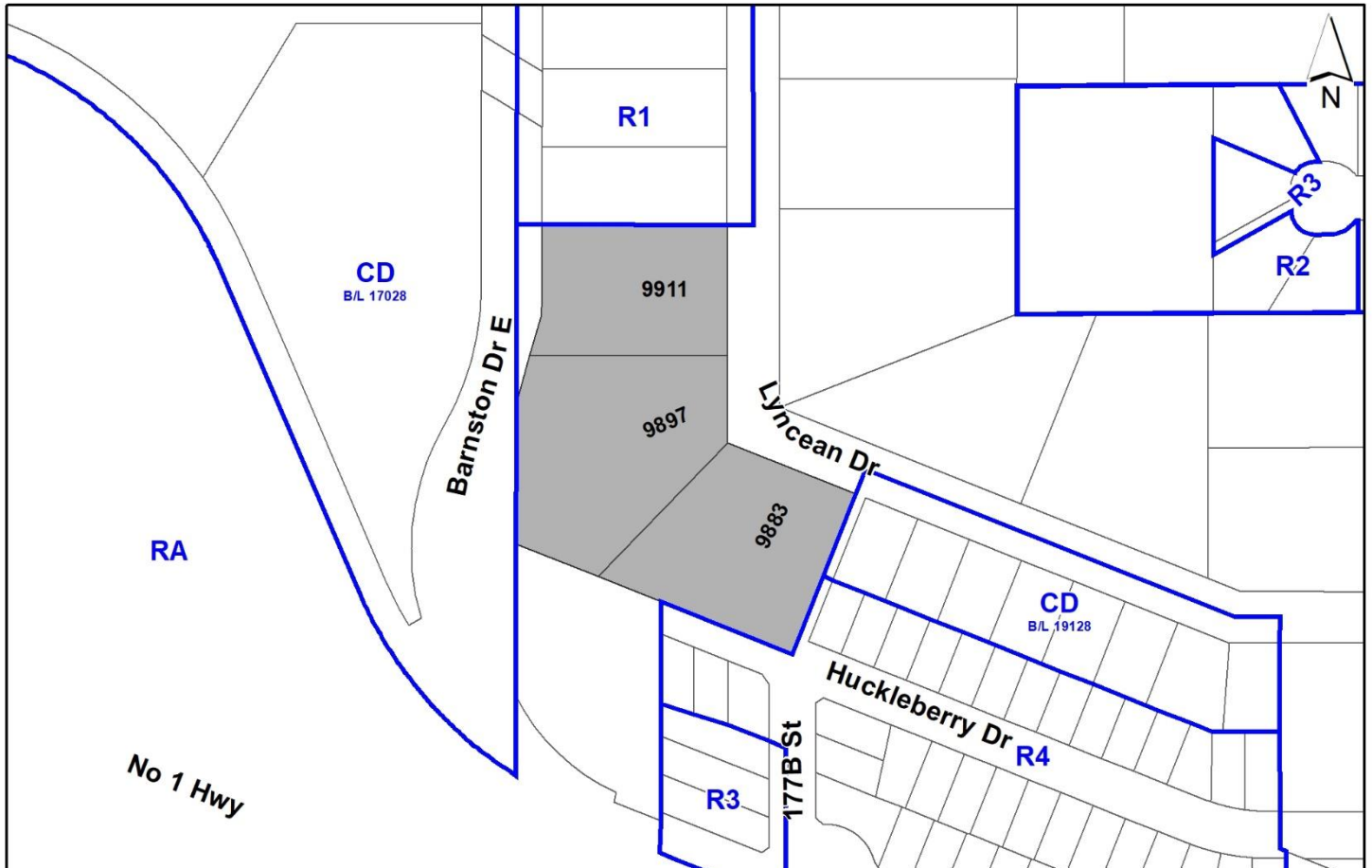
to permit the development of 55 townhomes.

LOCATION: 9883, 9897 and 9911- Lyncean Drive

ZONING: RA

OCP DESIGNATION: Suburban

LAP DESIGNATION: Suburban Residential 2-4 UPA Gross, Urban Transition 4-5 UPA, Urban Residential 8-10 UPA and Low-Density Townhouse 12-15 UPA Gross to Townhouse 15-20 UPA Gross



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) from Suburban to Urban
- Proposing an amendment to the Abbey Ridge Local Area Plan (LAP) from "Suburban Residential 2-4 UPA Gross", "Urban Transition 4-5 UPA", "Urban Residential 8-10 UPA" and "Low-Density Townhouse 12-15 UPA" to "Townhouse 15-20 UPA Gross".

RATIONALE OF RECOMMENDATION

- The proposal does not comply with the Suburban designation in the Official Community Plan (OCP). The application is proposing an OCP amendment to Urban to allow for a townhouse form under 20 units per acre (UPA).
- The proposal does not comply with the "Suburban Residential 2-4 UPA Gross", "Urban Transition 4-5 UPA", "Urban Residential 8-10 UPA" and "Low-Density Townhouse 12-15 UPA Gross" designations in the Abbey Ridge Local Area Plan (LAP). The application is proposing an amendment to the plan to "Townhouse 15-20 UPA Gross" and to "Proposed City Greenway" to allow for the proposed townhouse form and a future City Greenway along the north portion of the site.
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Abbey Ridge.
- The proposed density and building form are appropriate given the subject site is located directly across the street (Barnston Drive E) from a future Neighbourhood Commercial node.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The applicant has demonstrated community support for the proposal and area residents have also raised objections to the proposal. Bringing the proposal forward for the Public Hearing will allow an opportunity for residents to speak directly to Council regarding the level of support/opposition in the community for what is proposed.

-
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and traditional and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
 - The applicant has modified the proposal to address concerns raised by adjacent residents by providing additional tree retention, altering access to the site and incorporating a duplex and triplex style interface along Lyncean Drive to be sensitive to existing single-family neighbours.
 - The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.
 - The applicant is conveying a portion of the site to the City for a greenway connecting Lyncean Drive to Barnston Drive East.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to amend the OCP Figure 3: General Land Use Designations for the subject site from Suburban to Urban and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A By-law be introduced to rezone the subject site from "Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7923-0214-00 generally in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) Approval from the Ministry of Transportation & Infrastructure;
 - (d) final approval from Trans Mountain given the presences of a statutory right-of-way located in the northeast corner of the property;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (g) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (h) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (i) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (j) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;

- (k) Conveyance of 687 square metres of land to the City without compensation along the north portion of the property to facilitate the delivery of a future greenway;
- (l) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department.
7. Council pass a resolution to amend the Abbey Ridge Local Area Plan (LAP) to redesignate the land from "Suburban Residential 2-4 UPA Gross", "Urban Transition 4-5 UPA", "Urban Residential 8-10 UPA" and "Low-Density Townhouse 12-15 UPA Gross" to "Townhouse 15-20 UPA Gross" and "Proposed City Greenway" when the project is considered for final adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	3 single family dwellings and a portion of a Trans Mountain Statutory Right-of-Way	Suburban Residential 2-4 UPA Gross, Urban Transition 4-5 UPA, Urban Residential 8-10 UPA and Low-Density Townhouse 12-15 UPA Gross	RA
North:	Single family dwelling and Trans Mountain Statutory Right-of-Way	Suburban Residential 2-4 UPA Gross	R1
East (Across Lyncean Drive):	Single family dwellings and Trans Mountain Statutory Right-of-Way	Future Neighbourhood Park	RA
South (Across Huckleberry Drive):	Vacant lot and Single family dwellings and lots	Urban Residential 8-10 UPA & Low Density Townhouse 12-15 UPA Gross	RA & R4
West (Across Barnston Drive East):	Mixed use buildings, under construction	Neighbourhood Commercial	CD (Bylaw No. 17028)

Context & Background

- The subject site includes three properties located at 9883, 9897, 9911 – Lyncean Drive in Abbey Ridge and is approximately 1.34 hectares in total area.
- The subject site is designated "Suburban" in the Official Community Plan (OCP), " Suburban Residential 2-4 UPA Gross", "Urban Transition 4-5 UPA", "Urban Residential 8-10 UPA" and "Low-Density Townhouse 12-15 UPA Gross " in the Abbey Ridge Local Area Plan and is currently zoned "Acreage Zone (RA)".

- There are three (3) existing single family dwellings on the three subject lots that will be demolished as part of the development.
- There is an existing Trans Mountain Statutory Right-of-Way (SROW) in north east corner of the subject site. As part of the development application, this SROW will be maintained and transferred on title on the proposed 10-metre wide greenway along the north portion of the subject site.

DEVELOPMENT PROPOSAL

Planning Considerations

- In order to permit the development of 55 townhouses units on a consolidated site (Lot A) in the Abbey Ridge Local Area Plan, the applicant is requesting the following:
 - **OCP Amendment** from Urban to Suburban;
 - **LAP Amendment** from Suburban Residential 2-4 UPA Gross, Urban Transition 4-5 UPA, Urban Residential 8-10 UPA and Low-Density Townhouse 12-15 UPA Gross to Townhouse 15-20 UPA Gross;
 - **Rezoning** from RA to CD (based on RM-15 and RM-30);
 - **Development Permit** for Form and Character; and
 - **Subdivision (Consolidation)** from three (3) lots to two (2).
 - Lot A will be created as a lot for townhouse development.
 - Lot B will be created as a lot for open space purposes (greenway).
- The following table provides development details for the proposal:

	Proposed
Lot Area	
Gross Site Area:	1.34 hectares
Road Dedication:	0.082 hectares
Undevelopable Area:	0.069 hectares
Net Site Area:	1.19 hectares
Number of Lots:	2 (Lot A and Lot B)
Building Height:	11.8 metres
Unit Density:	34.1 UPH Net / 41 UPH Gross / 16.57 UPA Gross
Floor Area Ratio (FAR):	0.62 Gross / 0.70 Net
Floor Area	
Total:	8,382.56 square metres
Residential Units:	
3-Bedroom:	48 units
4-Bedroom:	7 units
Total:	55 units

Referrals

Engineering:

The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II. (Eng comments still not rec'd)

School District:	<p>The School District has advised that there will be approximately 48 school-age children generated by this development, of which the School District has provided the following expected student enrollment.</p> <p>26 Elementary students at Bothwell Elementary School 14 Secondary students at Fraser Heights Secondary School</p> <p>(Appendix III)</p> <p>Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.</p> <p>The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by September 2027.</p>
Parks, Recreation & Culture:	<p>The closest natural area is Barnston Park and is 650 metres away, while the closest active park is located at Bothwell Elementary School 1.6 km away.</p>
Ministry of Transportation & Infrastructure (MOTI):	<p>Preliminary approval of the rezoning is granted by MOTI for one (1) year.</p>
Surrey Fire Department:	<p>No concerns. Comments provided are to be addressed as part of the future Building Permit Application.</p>
Trans Mountain:	<p>No concerns. Comments were provided that any work near the Right of Way of the pipeline would require a permit from Tran Mountain</p>

Transportation Considerations

- The application will provide approximately 824.5 square metres of road dedication.
 - 2.5 metres of dedication is required for Lyncean Drive
 - Huckleberry Drive will be expanded to complete the existing cul-de-sac bulb with a 6.5 metre dedication.
- Vehicular access to the proposed townhouse development is proposed from a driveway connection to Lyncean Drive. Previously, access was proposed from Huckleberry Drive, but was revised due to neighbourhood concerns of local traffic congestion.
- The proposed development includes a total of 128 parking stalls for 55 townhouse units, consisting of 110 resident parking spaces and 18 spaces for visitors, which complies with the Zoning By-law.
- Resident parking will be provided in fully enclosed side-by-side double garage for 100% of the units.

Parkland and/or Natural Area Considerations

- A 10-metre wide greenway along the north portion of the site will be dedicated as a lot (Lot B) under the subject application. The proposed greenway meets the requirements of the LAP to form a connection between a future City park and Barnston Drive.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is designated as "General Urban" in the Metro Vancouver Regional Growth Strategy (RGS). The "General Urban" designation is intended for residential neighbourhoods and centres. The proposed townhouse units comply with this designation.

Official Community Plan

Land Use Designation

- The proposal does not comply with the current "Suburban" designation of the subject site in the Official Community Plan (OCP). The Suburban designation allows for densities up to 10 units per hectare.
- An OCP amendment from Suburban to Urban is required to allow for a townhouse development with a proposed gross density of 41 units per hectare. The Urban designation allows for densities up to 49 units per hectare within established or existing residential neighbourhoods in exchange for provision of sufficient community amenities in accordance with approved City Council and Department policies.

Amendment Rationale

- The proposed "Urban" designation is consistent with the intended land uses in the Abbey Ridge LAP. The necessary OCP Amendments to facilitate the land uses and densities outlined in the Abbey Ridge LAP were anticipated to be undertaken through individual land development applications.
- Corporate Report No. R109 *Small-Scale Multi-Unit Housing: Zoning By-law Amendments Related to Provincial Housing Legislation* was brought forward to Council on June 10, 2024. The report outlines amendments to Surrey Zoning By-law, 1993, No. 12000, as amended, to allow small-scale multi-unit housing on existing single-family and duplex zoned lots in accordance with provincial housing legislation Bill 44. The proposed Zoning By-law Amendments will apply to the existing single-family neighbourhood surrounding the subject site.

- The proposed amendment will result in a townhouse form of development that will be subject to a Development Permit for Form and Character, allowing staff to regulate the overall form of the development, a requirement which is not in effect for small-scale multi-unit housing on single family lots.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character ensuring the townhouse development will feature a high quality design.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation, as described in the Community Amenity Contribution section of this report.
- The applicant will be required to provide the per unit flat rate for the number of units above the Official Community Plan in order to satisfy the proposed amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption.
- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
 - Support compact and efficient land development that is consistent with Metro Vancouver's Regional Growth Strategy (OCP Policy A1);
 - Retain existing trees and natural features in existing neighbourhoods where possible, in order to preserve neighbourhood character and ecology (A3.4);
 - Support infill development that is appropriate in scale and density to its neighbourhood context and that uses compatible design to reinforce neighbourhood character (A3.5); and
 - Ensure new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods (B6).

Secondary Plans

Land Use Designation

- The proposal does not comply with the current "Suburban Residential 2-4 UPA Gross", "Urban Transition 4-5 UPA", "Urban Residential 8-10 UPA" and "Low-Density Townhouse 12-15 UPA Gross" designation of the subject site in the Abbey Ridge Local Area Plan (LAP).
- An LAP amendment to "Townhouse 15-20 UPA Gross" is required to allow for a townhouse development with a proposed gross density of 41 units per hectare (uph).

Amendment Rationale

- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.

- The applicant will be required to provide the per unit or per sq. ft. flat rate for the number of units or floor area above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption.
- The proposed density and building form are appropriate for this part of Abbey Ridge, and will be regulated by a Development Permit. The siting of units and provision of off-street parking is better regulated through the Development Permit review process.

CD By-law

- The applicant proposes to rezone the subject site from "Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)".
- The applicant is proposing a "Comprehensive Development Zone (CD)" to develop 55 townhouse units on the subject site (Lot A). The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 15 Zone (RM-15)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-15 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-15 Zone (Part 22)	Proposed CD Zone (Lot A)
Unit Density:	37 UPH	34.1 UPH Net / 41 UPH Gross / 16.57 UPA Gross
Floor Area Ratio:	0.70	0.70 Net / 0.62 Gross
Lot Coverage:	45%	33.6%
Yards and Setbacks	7.5m from all lot lines	Front (east): 4.5 m Rear (west): 4.5 m Side (north): 3.0 m Side (south): 3.0 m
Principal Building Height:	11 m	11.8 m
Accessory Building Height:	4.5 m	10.3 m
Permitted Uses:	Ground-oriented multiple unit residential buildings Accessory Uses: Child Care centres	Ground-oriented multiple unit residential buildings
Indoor Amenity:	3.0 sq. m per dwelling unit	The proposed 165.45 m ² meets the Zoning By-law requirement.
Outdoor Amenity:	3.0 sq. m per dwelling unit	The proposed 174.91 m ² meets the Zoning By-law requirement.
Parking (Part 5)		Proposed
Residential Ground-Oriented:		110
Residential Visitor:		18 (6 required)
Total:		128
Residential Visitor (Bicycle):		6

- The permitted unit density has increased from 37 units per hectare (uph) to 41 uph gross, (34.1 uph net) to match the proposed density of development. The proposed density requires an amendment to the OCP designation from Suburban to Urban.
- Child care centres have been eliminated as a proposed accessory use in the CD Zone as one is not proposed as part of this project.
- The building setbacks have changed from 7.5 metres from all lot lines in the RM-15 zone to 4.5 metres from the east front yard, 4.5 metres from the west rear yard, 3.0 metres from the north side yard, and 3.0 metres from the south side yard in the CD Zone.
- The permitted building height has increased from 11 metres in the RM-15 zone to 11.8 metres in the CD Zone.
- The proposed parking complies with the minimum requirement, and visitor parking exceeds the minimum required.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2024, under Corporate Report No. Ro46;2024.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. The current rate is \$2,227.85 per new unit.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation.
- The applicant will be required to provide the per unit flat rate for the number of units above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption. The current fee for Abbey Ridge is \$2,380.81 per unit for townhouses.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects. A fee update has been approved in April 2024, under Corporate Report No. Ro46; 2024.
- The applicant will be required to contribute \$1,113.92 per new lot to support the development of new affordable housing.

- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on April 10, 2024, and the Development Proposal Signs were installed on March 28, 2024. Staff received 10 responses from neighbouring residents - 2 requesting information, 1 expressing support, and 7 expressing opposition to the proposed development. A summary of the comments received are as follows (*staff comments in italics*):
 - Two (2) residents contacted City staff asking for information and clarification on the proposed development.
 - One (1) resident expressed support for the proposed development. Comments included support for higher density development at this location and that it would provide more affordable housing options to the community. The resident also expressed the proposed development would create jobs and stimulate local businesses.
 - Seven (7) residents expressed opposition to the proposed townhouse development locating within an established single-family suburban neighbourhood. Residents expressed concern with how the proposed development would impact their quality of life and neighbourhood character. Their comments are summarized as follows:
 - The residents expressed concern with how the proposed development will impact local traffic. Residents expressed concern regarding the impact to supply of on street parking in the neighbourhood and level of congestion that would result on local roads. Some residents noted that the site is not in close proximity to any transit services and such future residents will be vehicle dependant and forced to drive everywhere. Additionally, residents are concerned that visitor parking will be accommodated on-street and on-site parking will not be adequate.

(The applicant is proposing to meet the residential parking requirements. Each townhouse unit is proposed to have a side-by-side double car garage.

The applicant is proposing to exceed the visitor parking requirements for ground-oriented multi-unit residential buildings with 18 visitor parking spaces to be provided within the proposed townhouse development (exceeding the 6 required spaces).

Unlike with the proposed townhouse development, with small-scale multi-unit housing staff will not have the same ability to regulate visitor parking spaces. Proposed parking regulations for small-scale multi-unit housing only set requirements for parking spaces per dwelling unit; there are no requirements associated with residential visitor parking.)

- Additionally, residents have concern over the high-density development resulting in overcrowding in the neighbourhood and concern with the capacity for existing infrastructure and amenities (school, roads, police, hospitals, community services, commercial spaces) to accommodate the proposed increase in density associated with the project.

(As part of the development application review process staff assess the capacity of existing infrastructure, including roads, services, parks and schools, to accommodate the proposed density and its associated impacts. Through the review and referral process staff will outline any requirements or conditions that the applicant will need to meet if they proceed with the project through to construction, such as servicing upgrades, road improvements, or fees and charges.

Development applications are typically subject to a number of fees and charges that help to fund infrastructure as well as community amenities. For example, community amenity contributions help offset the impacts of growth and help fund new community facilities and services, such as parks, libraries, fire and police facilities, public art and affordable housing. Development cost charges are levied on new development to help fund the costs of expanding and upgrading City roads, water, drainage and sewer services, and for parkland acquisition or improvement.)

- Residents also expressed concern regarding safety impacts from the proposed development along Huckleberry Drive and Lyncean Drive. The proposed access from Huckleberry Drive will increase safety issues for local residents, including children who play in this area. Additionally, access from Huckleberry Drive will increase congestion along this local road.

(The proposed townhouse development will have one pedestrian and driveway connection to local roads. The townhouse development includes a significant pedestrian pathway network with lighting and ground floor rooms, as such there will be many sight lines to the street and within the development itself.

The applicant has revised their site plan to relocate access from Lyncean Drive to address concerns over the previously proposed access from Huckleberry Drive.)

- Residents also expressed concern over environmental impacts from converting suburban areas to townhouse developments through loss of greenspace resulting in long-term consequences on our local ecosystem, and increased harm to public health.

(The applicant is proposing to retain a large stand of trees along the south west area of the proposed townhouse development, separate from the outdoor amenity area.

The proposed tree retention complies with OCP guidelines advising that development should look to retain existing trees and preserve natural features where possible in order to preserve neighbourhood character.

Tree retention opportunities will be more challenging with small-scale multi-unit housing; such development provides smaller building setbacks and additional driveway and servicing connections.)

- Residents also expressed concern over lack of parks in the area versus the amount of development taking place.

(There will be a new park designed and constructed directly across Lyncean Drive from the subject development application as per the Abbey Ridge Land Use Plan. The City of Surrey is working to acquire the required lots to transform this space into a neighbourhood park for all residents to enjoy.)

- Staff have also received a petition in opposition to the proposed development signed by 189 residents expressing strong opposition to the proposed townhouse development.
 - The petition states that residents strongly oppose the proposed townhouse development as it does not fit into the character of their neighbourhood. They state that the townhome proposal is not appropriate to be located within this neighbourhood context as it will result in overcrowding, increased traffic congestion and parking issues, environmental impacts and overall decrease the quality of life and community well-being of the area.
- In addition, the subject development application was reviewed by the Fraser Heights Community Association (FHCA) which provided the following comments (*staff comments in italics*):
 - The FHCA supports that position of the neighbourhood who have come out in opposition to the proposed townhouse development and have similar concerns as residents.
 - The FHCA requested to meet with the developer to discuss alternative development options to address neighbourhood concerns.
 - Additionally, the FHCA requested a Public Information Meeting to be held by the developer to gain public feedback and ensure neighbourhood concerns are addressed by the development.
- The applicant has provided 71 signatures expressing support for the proposed development, many from outside the immediate neighbourhood.

Public Information Meeting

- The applicant held a public information meeting (PIM) to present the proposed development plans and gain feedback from the community. A total of 39 individuals recorded their attendance at the PIM and a total of 32 comment sheets were submitted. A staff representative from the Planning and Development Department was in attendance at the PIM. Below is a summary of the nature of the comments provided:
 - 23 residents expressed support for the proposal. Comments expressed in support included:
 - Good design and layout,
 - Good affordable housing, and
 - Good for growth of the area.
 - Seven (7) residents expressed opposition to the proposal. Comments expressed in opposition included:
 - Concerns about density and overcrowding in the area,
 - Concerns about the access from Huckleberry Drive,
 - Concerns about traffic and parking,
 - Concerns of lack of amenity in the area, and
 - Concerns about school capacity.
- The developer took the feedback from the community and revised their layout with access from Lyncean Drive instead of Huckleberry Drive to reduce congestion and ensure safety along this local road.

- Should the proposal be supported by Council, then the application will be presented at a Public Hearing where residents, both in favour and in opposition, can express their views directly to Council on the application.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Abbey Ridge Local Area Plan (LAP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Abbey Ridge Local Area Plan (LAP).
- The proposed 55-unit townhouse development consists of three-storey townhouse units in either a drive under or walk out condition. All proposed townhouse units are ground-oriented and provide a variety of housing choices for families.
- The drive under units are proposed to have three bedrooms on the top floor, an open concept living and kitchen space on the middle floor, and garage with additional flex space on the ground floor. These units have a proposed floor area (including garages) of approximately 217 square metres (2,336 sq. ft).
- The walk out units are proposed to have four bedrooms with an adaptable floor plan incorporating primary bedrooms on the main floor. The unit layouts will include two bedrooms and a loft area on the top floor, a primary bedroom and open concept living and kitchen space on the main (second) floor, and a fourth bedroom, lounge and office space located in the basement/walk out level. These units, located along the east side of the site, include basements with walk-outs, working with the natural grading of the site, and have a proposed floor area (including garages and basements) of 286 square metre (3,085 sq. ft) to 288 square metre (3,099 sq. ft).
- All units are proposed to have side-by-side double car garages. Residential visitor parking spaces have been distributed throughout the site for convenience.
- The buildings are proposed with a coordinated colour scheme, light and dark. The buildings are proposed with a typical west coast craftsman theme, with large windows and gable roofs. Building materials include fibre cement panels, horizontal plank siding and board and batten siding in shades of white ("arctic white"), dark grey ("aged pewter"), light brown ("cork") and brown ("cedar"), with black trim and dark shingled roofs. Unit front doors are proposed with solid black.
- The applicant has worked with staff to resolve the following issues:
 - Incorporate duplex and triplex style units along Lyncean Drive to achieve single family character in this neighbourhood;
 - Alter site access from Huckleberry Drive to Lyncean Drive to reduce traffic congestion along Huckleberry Drive; and
 - Accommodate additional tree retention within the site.

Landscaping

- The proposed landscaping for the site includes a centrally located outdoor amenity space, and significant landscape buffers along the north and west property lines.
- The development is also incorporating a large stand of mature trees for retention in addition to the proposed outdoor amenity space for residents to enjoy.
- The individual townhouse units will have landscaped yards, utilizing a variety of trees and shrubs, and access to private patio spaces.

Indoor Amenity

- The required indoor amenity space is 165 square metres, at a rate of 3.0 square metres per unit. The applicant is proposing to provide 168 square metres of programmable outdoor amenity space, meeting the minimum requirement.
- The applicant is proposing to provide the indoor amenity space as a two-storey indoor amenity building located in the east area of the site, across an internal strata lane from the main outdoor amenity space.
- The indoor amenity building includes, on the first floor, an open-concept lounge with kitchen facilities, an accessible washroom and a games/theatre room, while the second floor includes a lounge and kitchen area, a washroom, and a games/theatre room. The building includes a roof overhang to provide some shading and cover for a small outdoor amenity courtyard.

Outdoor Amenity

- The required outdoor amenity space is 165 square metres, at a rate of 3.0 square metres per unit. The applicant is proposing to provide 175 square metres of programmable outdoor amenity space, exceeding the minimum requirement.
- The outdoor amenity space is separated into two distinct areas:
 - an central amenity courtyard, located across an internal strata lane from the indoor amenity building, which includes a variety of outdoor seating options and places for outdoor dining; and
 - an outdoor patio area connected to the indoor amenity building.
- In addition to this there is a 1,655 square metre area for tree protection where 75 mature trees are being retained to provide additional outdoor amenity to the residents.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include resolution of urban design issues resulting from detailed coordination with architectural, landscape and civil designs.
- The applicant has agreed to resolve any outstanding comments prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Kelly Koome, ISA Certified Arborist of Koome Urban Forestry Ltd. prepared an Arborist Assessment for the subject site. The table below provides a summary of the proposed tree retention and removal. A detailed list of the proposed tree retention and removal by tree species can be found in Appendix IV.
- All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

Table 1: Summary of Proposed Onsite Tree Preservation by Tree Species:

	Existing	Remove	Retain
Alder/Cottonwood (outside riparian area)	15	8	7
Deciduous Trees	4	1	3
Coniferous Trees	137	94	43
Onsite Tree Totals	156	103	53
Onsite Replacement Trees Proposed	214		
Total Onsite Retained and Replacement Trees	267		

- The Arborist Assessment states that there are a total of **156** bylaw protected trees on the site. Additionally, there are **0** bylaw protected offsite trees and **53** bylaw protected City trees within proximity of the proposed development. The applicant proposes to retain **53** onsite trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading. Additionally, **1** of offsite tree is proposed for removal and **25** City trees are proposed for removal.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of **214** replacement trees on the site. Since the proposed **214** replacement trees cannot be accommodated on the site, the proposed deficit of **214** replacement trees will require an estimated cash-in-lieu payment of \$117,700, representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- In addition to the replacement trees, boulevard street trees will be planted on Lyncean Drive, Huckleberry Drive and Barnston Drive. This will be determined by the Engineering Department during the servicing design review process.

- The new trees on the site will consist of a variety of trees including Korean Fir, Japanese Maple, Frans Fontaine European Hornbeam, Eastern Redbud, Green Arrow Weeping Nootka Cypress, Pink Flowering Dogwood, Purple Fastigiate Beech, Oyama Magnolia (White), Persian Ironwood, Blue Mist Blue Spruce, Amanogawa Cherry and Whitebeam Mountain Ash.
- In summary, a total of 267 trees are proposed to be retained or replaced on the site with an estimated contribution of \$117,700 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix V.	NCP Plan Amendment Abbey Ridge Local Area Plan
Appendix VI.	OCP Redesignation Map

approved by Shawn Low

Ron Gill
Acting General Manager
Planning and Development

CL/cb

55 UNIT TOWNHOUSE DEVELOPMENT
9883/ 9897/ 9911 LYNCEAN DRIVE SURREY, B.C.

DP SUBMISSION - 2024.09.17



Kasian Architecture
 Interior Design
 and Planning Ltd

8810 St. Charles Street, Suite 108
 Vancouver, BC Canada V6C 2B8
 Tel: 604-276-7446 F: 604-276-7447
 www.kasian.com



NO.	DESCRIPTION	STATUS
1	2024-09-17	ISSUED FOR CITY REVIEW
2	2024-09-17	ISSUED FOR CITY REVIEW
3	2024-09-17	ISSUED FOR CITY REVIEW
4	2024-09-17	ISSUED FOR CITY REVIEW
5	2024-09-17	ISSUED FOR CITY REVIEW
6	2024-09-17	ISSUED FOR CITY REVIEW
7	2024-09-17	ISSUED FOR CITY REVIEW
8	2024-09-17	ISSUED FOR CITY REVIEW
9	2024-09-17	ISSUED FOR CITY REVIEW
10	2024-09-17	ISSUED FOR CITY REVIEW

NO. 1 22776460 REVISED LAYOUT/PHOTOGRAPHY
 CHECKLIST

PROJECT STAMP



THIS DRAWING, INCLUDING THE PLAN AND SPECIFICATIONS, IS THE PROPERTY OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. THE COPYRIGHT IN THE SAME IS RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. AND NO REUSE IS ALLOWED FOR ANY OTHER PROJECT.

PROJECT: 55 UNIT TOWNHOUSES
 9883, 9897, AND 9911 LYNCEAN DRIVE, SURREY, B.C.

COVER PAGE / PROJECT DIRECTORY

ISSUED FOR DP SUBMISSION

PROJECT NO.	722501	PLAT DATE	09-17-2024	DRAWN	
DRAWING NO.	A-0.1	SCALE		REVIEWED	
					4

PROJECT DIRECTORY

DEVELOPER

WILLOW TREE HOMES LTD.
 544-211-5292 Caydon Drive
 Surrey, BC V3Z 0Z5
 Tel: 604-521-7478
 Contact: Paul Mohl

ARCHITECTURE AND INTERIOR DESIGN

KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING
 Suite 108 - 1000 West Georgia Street
 Vancouver, BC V6C 2B8
 Tel: 604-662-4146
 Fax: 604-688-2928
 Contact: Dana Johnson (604) 631-8200
 Sun-wei Tam (604) 631-4500

LANDSCAPE ARCHITECT

PAUL LANGRISH ARCHITECTS
 C190 4195-58 Clark Drive,
 Burnaby, BC V5C 4G9
 Tel: 604-294-6111
 Contact: Mary Chan VP

CIVIL PLANNING CONSULTANT

CONTO LAND ENGINEERING & SURVEYING LTD.
 Suite #101 - 10262 66th Avenue
 Surrey, BC V3V 3M0
 Tel: 604-532-6300
 Contact: Mike Hilde

ARBORIST

ECOLOGICAL URBAN FORESTRY LTD.
 Suite #802 - 118 The High Street
 Coquitlam, BC V3C 7W2
 Tel: 778-265-8777
 Contact: Sarah Martin (604) 371-6807

SURVEYOR

TRINITY LAND SURVEYING
 C120 - 20178 56 Avenue
 Langley, BC V4M 4E2
 Tel: 604-568-4981
 Contact: Clay Birnie

DATA SHEET

PROJECT DATA

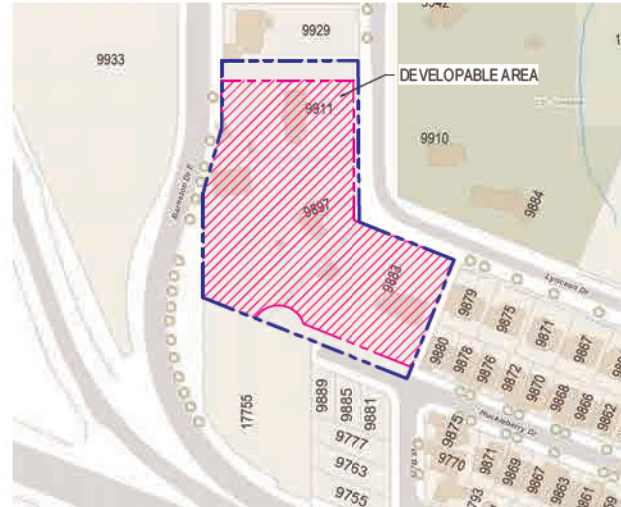
DEVELOPMENT REPORT		ALLOWABLE	PROPOSED
AREA CALCULATION			
TOTAL PROPOSED UNITS			55 UNITS
BUILDING HEIGHT - TOWNHOUSES		3 STOREY / 13 METERS	3 STOREY / < 11.00M
BUILDING HEIGHT - AMENITY BUILDING		2 STOREY / 11 METERS	2 STOREY / < 11M
	Sq. Ft.	Sq. M.	Acres
GROSS SITE AREA	144731.28 Sq. Ft.	13445.97 Sq. M.	3.32 Acre
TOTAL BUILT-UP AREA (EXCLUDING AMENITY AREA)	69462.76 Sq. Ft.	6313.15 Sq. M.	
F.A.R. (Gross site area)		0.82	
NET F.A.R.		0.9	
DENSITY (Units per Acre)		30 UNITS / ACRE	16.57 UNITS / ACRE
LOT COVERAGE			(3915.080 Sq. M + 92.41 Sq. M) / 11934.52 Sq. M = 0.3358
			33.58 % LOT COVERAGE
	Sq. Ft.	Sq. M.	Acres
GROSS SITE AREA	144731.28 Sq. Ft.	13445.97 Sq. M.	3.32 Acre
LOT B AREA	7393.94 Sq. Ft.	686.92 Sq. M.	0.17 Acre
ROAD DEDICATION	6674.55 Sq. Ft.	623.41 Sq. M.	0.20 Acre
NET SITE AREA	128462.06 Sq. Ft.	11934.52 Sq. M.	2.95 Acre
	Sq. M.		Hectare
INDOOR AMENITY (3 sq.m per unit)	165 Sq. M.		166.01 Sq. M.
OUTDOOR AMENITY (3 sq.m per unit)	165 Sq. M.		174.91 Sq. M.
SETBACKS		REQUIRED	PROPOSED
NORTH		7.5 M	4.5 M (TO FRONT), 3.0 M (TO SIDE)
SOUTH		7.5 M	4.5 M (TO FRONT), 3.0 M (TO SIDE)
WEST		7.5 M	4.5 M (TO FRONT), 3.0 M (TO SIDE)
EAST		7.5 M	4.5 M (TO FRONT), 3.0 M (TO SIDE)
PARKING		REQUIRED	PROPOSED
NUMBER OF RESIDENTIAL PARKING STALLS (2 PER EACH UNIT)		110	110
NUMBER OF VISITOR PARKING STALLS (0.2 PER DWELLING UNIT)		11	18
GRAND TOTAL NUMBER OF PARKING STALLS		121	128
NUMBER OF ACCESSIBLE PARKING STALLS		1	2
NUMBER OF SMALL CAR PARKING STALLS		4	7
BICYCLE		REQUIRED	PROPOSED
VISITOR BICYCLE STALLS		6	6

UNIT TYPE	COUNT	AREA(per unit)		AREA(ToTAl)	
		Sq. Ft.	Sq. M.	Sq. Ft.	Sq. M.
UNIT A	15	1464.29	137.89	22264.35	2068.41
UNIT A1	5	1561.34	145.05	7806.70	725.26
UNIT A2	4	1667.84	154.02	6631.36	616.07
UNIT A3	3	1565.70	145.48	4697.10	436.37
UNIT A4	2	1551.24	144.11	3102.48	288.23
UNIT A5	1	1546.28	143.65	1546.28	143.65
UNIT A6	1	1546.44	143.67	1546.44	143.67
UNIT B	1	2319.95	215.53	2319.95	215.53
UNIT B1	3	2330.50	216.51	6991.50	646.53
UNIT B2	3	2335.50	216.97	7006.50	650.92
UNIT C	4	1433.63	133.19	5734.52	532.75
UNIT C1	2	1446.96	134.43	2893.92	268.85
UNIT C2	2	1433.12	133.14	2866.24	266.26
UNIT E	1	1625.10	150.88	1625.10	150.88
UNIT F	5	1517.31	140.99	7586.55	704.81
UNIT F1	1	1545.82	143.61	1545.82	143.61
UNIT F2	2	1549.37	143.94	3098.74	287.88
TOTAL-	55			86263.55	8092.79
TOTAL BUILT-UP AREA				69462.76	6313.15

SHEET INDEX

SHEET NO.	ARCHITECTURAL
A-0.1	COVER PAGE / PROJECT DIRECTORY
A-0.2	DATA DEVELOPMENT
A-0.3	GENERAL NOTES / ABBREVIATIONS
A-0.6	BASE PLAN
A-1.0	SITE PLAN
A-1.1	FIRE EGRESS PLAN
A-1.2	SITE CONTEXT PHOTOS
A-1.3	CONTEXT SITE PLAN
A-1.4 a & b	STREETSCAPE DRAWING
A-1.5	MATERIAL BOARD
A-3.0 SERIES	ENLARGED PLANS
A-4.0 SERIES	FLOOR PLANS
A-5.0 SERIES	ELEVATIONS
A-6.1	SITE SECTIONS
A-6.2 - 6.4	3D RENDERS

CONTEXT MAP



Kasian Architecture
Interior Design
and Planning Ltd
9310 St. Johns St Unit 108
Vancouver, BC Canada V6J 2L8
Tel: 604-686-7449 Fax: 604-686-7449
www.kasian.com

NO.	DATE	DESCRIPTION	BY	CHKD.
1	2024-05-20	ISSUED FOR DP SUBMISSION		
2	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
3	2024-05-20	ISSUED FOR CITY REVIEW		
4	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
5	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
6	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
7	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
8	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
9	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
10	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
11	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
12	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
13	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
14	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
15	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
16	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
17	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
18	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
19	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
20	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
21	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
22	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
23	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
24	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
25	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
26	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
27	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
28	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
29	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
30	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
31	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
32	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
33	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
34	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
35	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
36	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
37	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
38	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
39	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
40	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
41	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
42	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
43	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
44	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
45	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
46	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
47	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
48	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
49	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
50	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		

CORRECTED

PROJECT STAMP



THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. THE USER OF THIS DRAWING AGREES TO HOLD KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. AND ITS EMPLOYEES AND AGENTS HARMLESS FROM ALL LIABILITY FOR ANY AND ALL DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. OR ITS EMPLOYEES AND AGENTS IN CONNECTION WITH THE USE OF THIS DRAWING. THE USER OF THIS DRAWING AGREES TO HOLD KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. HARMLESS FROM ALL LIABILITY FOR ANY AND ALL DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE INCURRED BY KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. OR ITS EMPLOYEES AND AGENTS IN CONNECTION WITH THE USE OF THIS DRAWING.

PROJECT

55 UNIT TOWNHOUSES

8883, 9887, AND 9811 LYNCEAN DRIVE, SURREY, B.C.

DRAWING TITLE

DATA SHEET

DRAWING DATE

ISSUED FOR DP SUBMISSION

PROJECT NO.

722501

PLANT DATE

06-17-2024

DRAWN

SCALE

1: 500

REVIEWED

DRAWING NO.

A-0.2

REVISION

4

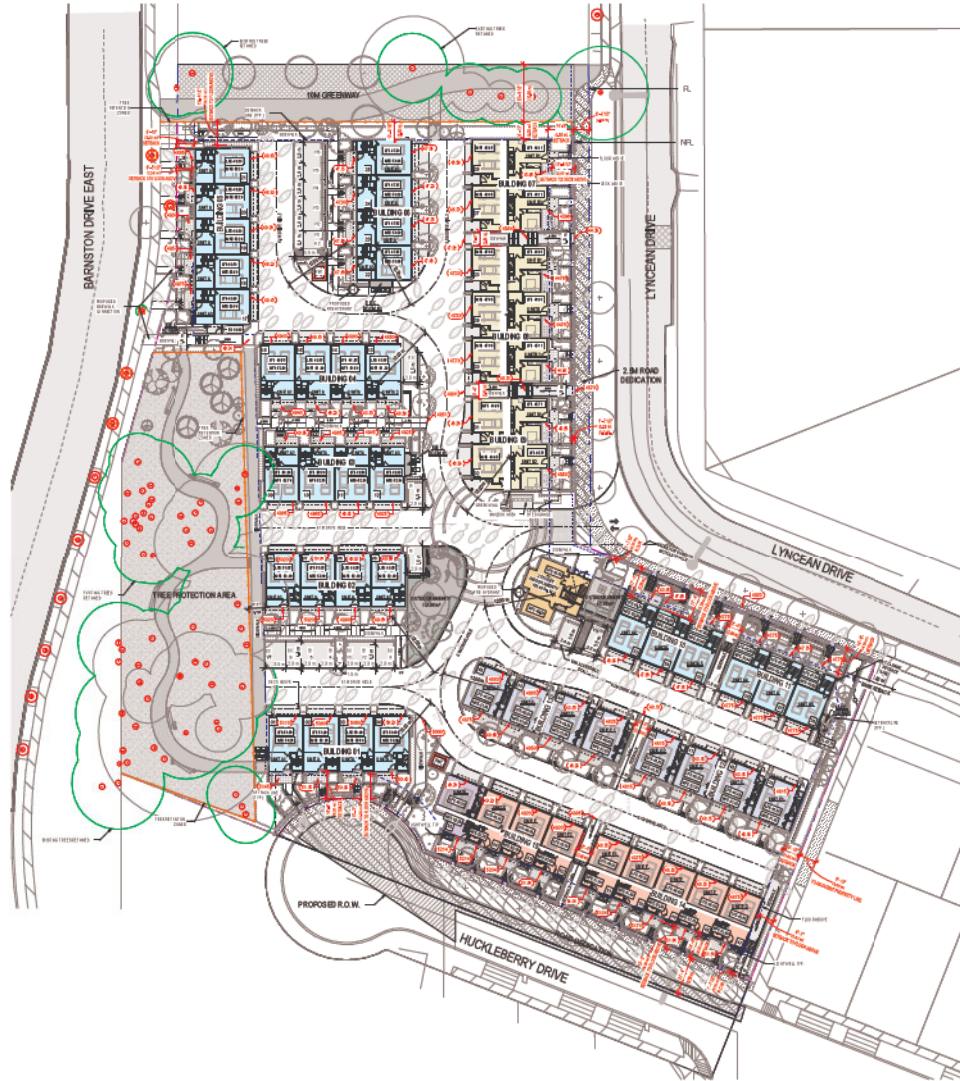
55 UNIT TOWNHOUSE DEVELOPMENT

9883/ 9897/ 9911 LYNCEAN DRIVE



Kasian Architecture
Interior Design
and Planning Ltd

9810 St. Charles Street, Suite 100
Vancouver, BC Canada V6C 2B8
Tel: 604.469.7649
www.kasian.com



LEGEND

- ELEC. ROOM #1
- ELEC. ROOM #2
- ELEC. ROOM #3
- ELEC. ROOM #4
- INDOOR AMENITY
- OUTDOOR AMENITY
- UNIT A
- UNIT A1
- UNIT A2
- UNIT A3
- UNIT A4
- UNIT A5
- UNIT A6
- UNIT B
- UNIT B1
- UNIT B2
- UNIT C
- UNIT C1
- UNIT C2
- UNIT E
- UNIT F
- UNIT F1
- UNIT F2
- TREE PROTECTION ZONES



NO.	DESCRIPTION	STATUS	REVISION
1	ISSUED FOR PERMITS	ISSUED FOR PERMITS	
2	ISSUED FOR PERMITS	ISSUED FOR PERMITS	
3	ISSUED FOR PERMITS	ISSUED FOR PERMITS	
4	ISSUED FOR PERMITS	ISSUED FOR PERMITS	

DATE: 2024-05-20
PROJECT: 55 UNIT TOWNHOUSES

PROJECT STAMP



THIS DRAWING, AS A INSTRUMENT OF SERVICE, IS THE PROPERTY OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. THE COPYRIGHT IN THE SAME REMAINS RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. AND NO REUSE IS ALLOWED FOR ANY OTHER PROJECT.

PROJECT

55 UNIT TOWNHOUSES

9883, 9897, AND 9911 LYNCEAN DRIVE, SURREY, B.C.

DRAWING TITLE

SITE PLAN

DRAWING ISSUE

ISSUED FOR DP SUBMISSION

PROJECT NO.	DATE	DRAWN
722501	06-17-2024	
DRAWING NO.	SCALE	REVISION
A-1.0	As Indicated	4



LEGEND	
EXISTING FIRE HYDRANT	
PROPOSED FIRE HYDRANT	
FIRE EGRESS (ENTRY TO TRUCK)	
FIRE EGRESS (TRUCK TO HYDRANT)	
FIRE TRUCK	

NO.	DESCRIPTION	DATE	BY	CHKD BY
1	ISSUED FOR PERMITS			
2	ISSUED FOR PERMITS			
3	ISSUED FOR PERMITS			
4	ISSUED FOR PERMITS			
5	ISSUED FOR PERMITS			
6	ISSUED FOR PERMITS			
7	ISSUED FOR PERMITS			
8	ISSUED FOR PERMITS			
9	ISSUED FOR PERMITS			
10	ISSUED FOR PERMITS			
11	ISSUED FOR PERMITS			
12	ISSUED FOR PERMITS			
13	ISSUED FOR PERMITS			
14	ISSUED FOR PERMITS			
15	ISSUED FOR PERMITS			
16	ISSUED FOR PERMITS			
17	ISSUED FOR PERMITS			
18	ISSUED FOR PERMITS			
19	ISSUED FOR PERMITS			
20	ISSUED FOR PERMITS			
21	ISSUED FOR PERMITS			
22	ISSUED FOR PERMITS			
23	ISSUED FOR PERMITS			
24	ISSUED FOR PERMITS			
25	ISSUED FOR PERMITS			
26	ISSUED FOR PERMITS			
27	ISSUED FOR PERMITS			
28	ISSUED FOR PERMITS			
29	ISSUED FOR PERMITS			
30	ISSUED FOR PERMITS			
31	ISSUED FOR PERMITS			
32	ISSUED FOR PERMITS			
33	ISSUED FOR PERMITS			
34	ISSUED FOR PERMITS			
35	ISSUED FOR PERMITS			
36	ISSUED FOR PERMITS			
37	ISSUED FOR PERMITS			
38	ISSUED FOR PERMITS			
39	ISSUED FOR PERMITS			
40	ISSUED FOR PERMITS			
41	ISSUED FOR PERMITS			
42	ISSUED FOR PERMITS			
43	ISSUED FOR PERMITS			
44	ISSUED FOR PERMITS			
45	ISSUED FOR PERMITS			
46	ISSUED FOR PERMITS			
47	ISSUED FOR PERMITS			
48	ISSUED FOR PERMITS			
49	ISSUED FOR PERMITS			
50	ISSUED FOR PERMITS			
51	ISSUED FOR PERMITS			
52	ISSUED FOR PERMITS			
53	ISSUED FOR PERMITS			
54	ISSUED FOR PERMITS			
55	ISSUED FOR PERMITS			
56	ISSUED FOR PERMITS			
57	ISSUED FOR PERMITS			
58	ISSUED FOR PERMITS			
59	ISSUED FOR PERMITS			
60	ISSUED FOR PERMITS			
61	ISSUED FOR PERMITS			
62	ISSUED FOR PERMITS			
63	ISSUED FOR PERMITS			
64	ISSUED FOR PERMITS			
65	ISSUED FOR PERMITS			
66	ISSUED FOR PERMITS			
67	ISSUED FOR PERMITS			
68	ISSUED FOR PERMITS			
69	ISSUED FOR PERMITS			
70	ISSUED FOR PERMITS			
71	ISSUED FOR PERMITS			
72	ISSUED FOR PERMITS			
73	ISSUED FOR PERMITS			
74	ISSUED FOR PERMITS			
75	ISSUED FOR PERMITS			
76	ISSUED FOR PERMITS			
77	ISSUED FOR PERMITS			
78	ISSUED FOR PERMITS			
79	ISSUED FOR PERMITS			
80	ISSUED FOR PERMITS			
81	ISSUED FOR PERMITS			
82	ISSUED FOR PERMITS			
83	ISSUED FOR PERMITS			
84	ISSUED FOR PERMITS			
85	ISSUED FOR PERMITS			
86	ISSUED FOR PERMITS			
87	ISSUED FOR PERMITS			
88	ISSUED FOR PERMITS			
89	ISSUED FOR PERMITS			
90	ISSUED FOR PERMITS			
91	ISSUED FOR PERMITS			
92	ISSUED FOR PERMITS			
93	ISSUED FOR PERMITS			
94	ISSUED FOR PERMITS			
95	ISSUED FOR PERMITS			
96	ISSUED FOR PERMITS			
97	ISSUED FOR PERMITS			
98	ISSUED FOR PERMITS			
99	ISSUED FOR PERMITS			
100	ISSUED FOR PERMITS			

PROJECT STAMP



THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. THE COPYRIGHT IN THE SAME REMAINS RESERVED TO THEM. NO REPRODUCTION IS ALLOWED WITHOUT THE PERMISSION OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. AND NO REUSE IS ALLOWED FOR ANY OTHER PROJECT.

PROJECT
55 UNIT TOWNHOUSES
8883, 8887, AND 8911 LYNCEAN DRIVE, SURREY, B.C.

DRAWING TITLE
FIRE EGRESS PLAN

DRAWING ISSUE
ISSUED FOR DP SUBMISSION

PROJECT NO.	722501	PLAT DATE	06-17-2024	DRAWN	
DRAWING NO.	A-1.1	SCALE	As Indicated	REVIEWED	
				REVISION	4

NO.	DATE	DESCRIPTION	BY	CHKD
1	2024-05-20	ISSUED FOR CITY REVIEW		
2	2024-05-20	ISSUED FOR PRELIMINARY		
3	2024-05-20	ISSUED FOR PERMITS		
4	2024-05-20	ISSUED FOR SUBMITTAL		

CONTRACT NO. 2024-05-20

PROJECT
55 UNIT TOWNHOUSES
8833, 8837, AND 8911 LYNDEN DRIVE, SURREY, B.C.



THIS DRAWING, AS A PART OF THE SERVICE OF THE PROPERTY OF KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD, THE COPYRIGHT IN THE SAME REMAINS RESERVED TO THE AUTHOR OR HIS SUCCESSORS. THE PERMISSION OF KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD AND ITS SUCCESSORS MUST BE OBTAINED BEFORE THIS DRAWING IS REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD.

PROJECT
55 UNIT TOWNHOUSES
8833, 8837, AND 8911 LYNDEN DRIVE, SURREY, B.C.

DRAWING TITLE
BUILDING - 1 COLORED ELEVATIONS

DRAWING ISSUE
ISSUED FOR DP SUBMISSION

PROJECT NO.	722501	DATE	06-17-2024	DRAWN	
DRAWING NO.	A-5.01	SCALE	As Indicated	REVIEWED	
					REVISION 4

MATERIAL LEGEND :

MATERIAL	COLOR	
1001 BOARD & BATTEN SIDING - CORK	CORK	
1002 BOARD & BATTEN SIDING - CEDAR	CEDAR	
41P1 HARDPANEL - PLY REGLET	WHITE	
41P2 HARDPANEL - PLY REGLET	AGED PINE/TER	
41P3 HARDEPLANK	BROWN	
4001 ASPHALT SHINGLE ROOF	BLACK	
41T1 6" TRIMS	BLACK	
41T2 6" TRIMS	GRAY	
4002 GARAGE DOOR PANEL	BLACK	
41P4 HARDEPANEL	BLACK	
41R1 ALUMINUM FRAME GUARDRAIL C/W TEMPERED GLASS - POWDERED COATED	RAILING COLOUR: BLACK GLASS: TRANSPARENT	

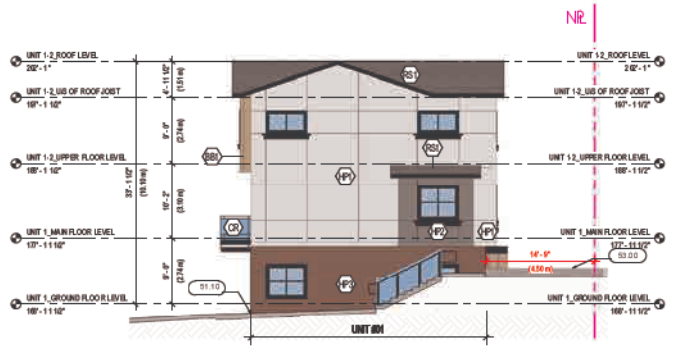
NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



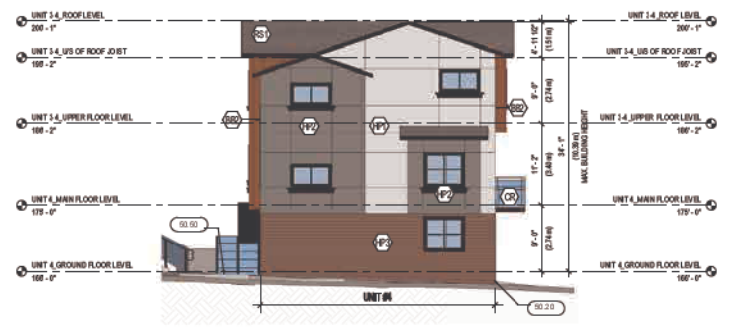
1 BUILDING-1 NORTH ELEVATION
SCALE: 1/8"=1'-0"



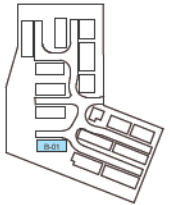
2 BUILDING-01 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



3 BUILDING-01 WEST ELEVATION
SCALE: 1/8"=1'-0"



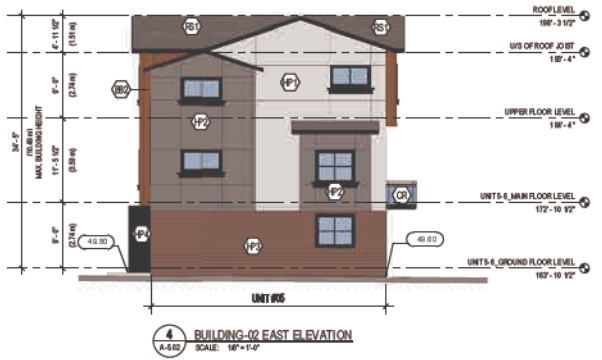
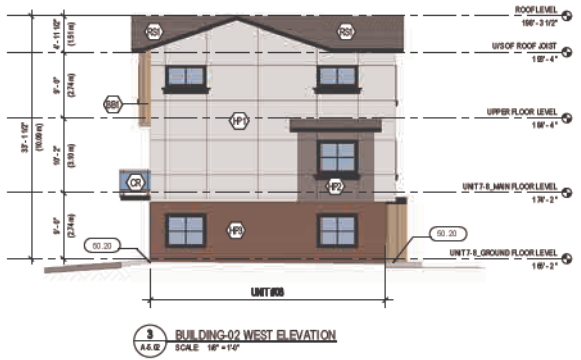
4 BUILDING-01 EAST ELEVATION
SCALE: 1/8"=1'-0"



MATERIAL LEGEND :

MATERIAL	COLOR	
1001 BOARD & BATTEN SIDING - CORK	CORK	
1002 BOARD & BATTEN SIDING - CEDAR	CEDAR	
1011 HARDEPANEL - PINE REGLET	WHITE	
1012 HARDEPANEL - PINE REGLET	AGED PINE/STAIN	
1013 HARDEPANEL	BROWN	
1021 ASPHALT SHINGLE ROOF	BLACK	
1031 6" TRIMS	BLACK	
1032 6" TRIMS	GRAY	
1041 GARAGE DOOR PANEL	BLACK	
1051 HARDEPANEL	BLACK	
1061 ALUMINUM FRAME GUARDRAIL C/W TEMPERED GLASS - POWDER COATED	RAILING COLOUR: BLACK GLASS: TRANSPARENT	

NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



NO.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUED FOR CITY REVIEW			
2	ISSUED FOR PRELIMINARY			
3	ISSUED FOR OF PROBLEMS			
4	ISSUED FOR OF SUBMISSION			

CHECKLIST

PROJECT STAMP



THIS DRAWING, AS A PART OF THE PROJECT, IS THE PROPERTY OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. THE COPYRIGHT IN THE SAME REMAINS RESERVED TO THE AUTHOR OR DESIGNER. NO PART OF THIS DRAWING OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. ANY VIOLATION OF THIS NOTICE IS SUBJECT TO LEGAL ACTION.

PROJECT

55 UNIT TOWNHOUSES
8833, 8837, AND 8811 LYNDEN DRIVE, SURREY, B.C.

DRAWING TITLE
BUILDING - 2 COLORED ELEVATIONS

DRAWING ISSUE
ISSUED FOR DP SUBMISSION

PROJECT NO.	722501	DATE	06-17-2024	DRAWN	
DRAWING NO.	A-5.02	SCALE	As Indicated	REVIEWED	
					REVISION
					4

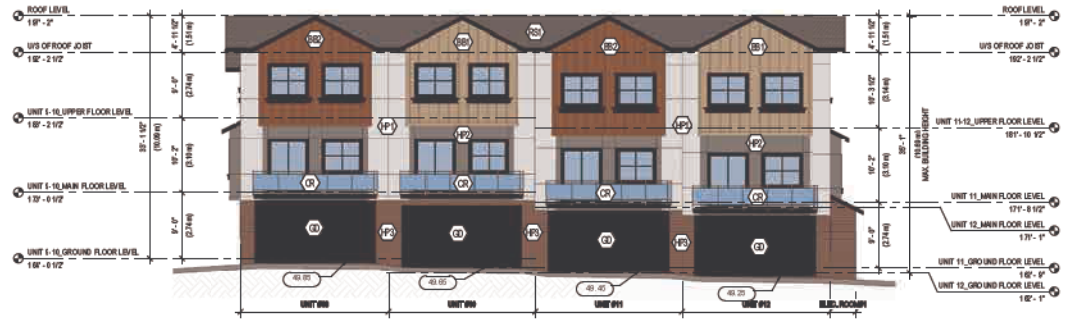


Kasian Architects
Interior Design
and Planning Ltd

9311 St. Johns St. Unit 108
Vancouver, BC Canada V6J 2J8
Tel: 604.466.7449 Fax: 604.466.7449
www.kasian.com

MATERIAL	COLOR	
1001 BOARD & BATTEN SIDING - CORK	CORK	
1002 BOARD & BATTEN SIDING - CEDAR	CEDAR	
41P1 HARDELPANEL - FRY ROULET	WHITE	
41P2 HARDELPANEL - FRY ROULET	AGED PINE/TER	
41P3 HARDELPANEL	BROWN	
4001 ASPHALT SHINGLE ROOF	BLACK	
4701 6" TRIMS	BLACK	
4702 6" TRIMS	GRAY	
4002 GARAGE DOOR PANEL	BLACK	
41P4 HARDELPANEL	BLACK	
4201 ALUMINUM FRAME GUARDRAIL C/W TEMPERED GLASS - POWDERED COATED	RAL 9005 COLOUR BLACK GLASS: TRANSPARENT	

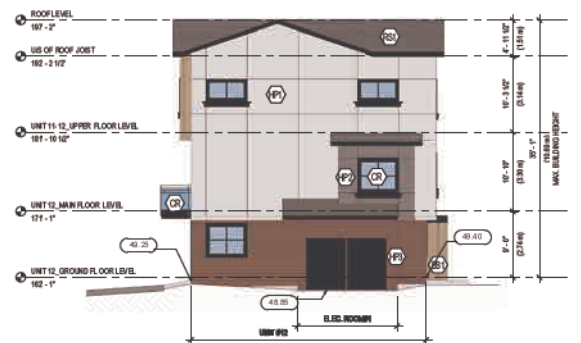
NOTE: COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



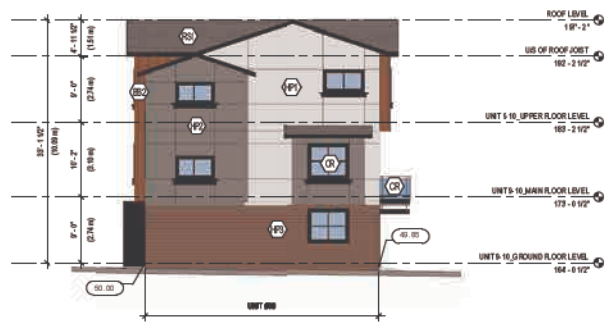
1 BUILDING-03 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



2 BUILDING-03 NORTH ELEVATION
SCALE: 1/8"=1'-0"



3 BUILDING-03 EAST ELEVATION
SCALE: 1/8"=1'-0"



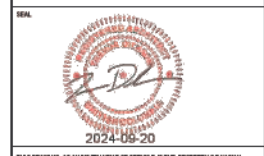
4 BUILDING-03 WEST ELEVATION
SCALE: 1/8"=1'-0"



KEY PLAN
SCALE: N.T.S.

NO.	DESCRIPTION	STATUS	REVISION
1	ISSUED FOR CITY REVIEW	REVISION	
2	FOR PRELIMINARY	REVISION	
3	ISSUED FOR PRELIMINARY	REVISION	
4	ISSUED FOR SUBMISSION	REVISION	

DATE: 2024-05-20



THIS DRAWING, AS A PART OF THE PROPERTY OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. THE COPYRIGHT IN THE SAME REMAINS RESERVED TO THE AUTHOR OR HIS SUCCESSORS. THE PERMISSION OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. AND NO OTHER PARTY MUST BE OBTAINED TO REPRODUCE OR TRANSMIT THIS DRAWING IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. FOR ADAPTATION.

PROJECT
55 UNIT TOWNHOUSES

8833, 8837, AND 8811 LYNDEN DRIVE, SURREY, B.C.

DRAWING TITLE
BUILDING 03 - COLORED ELEVATIONS

DRAWING ISSUE
ISSUED FOR DP SUBMISSION

PROJECT NO.	722501	DATE	06-17-2024	DRAWN	
DRAWING NO.	A-5.03	SCALE	As Indicated	REVIEWED	
					REVISION 4



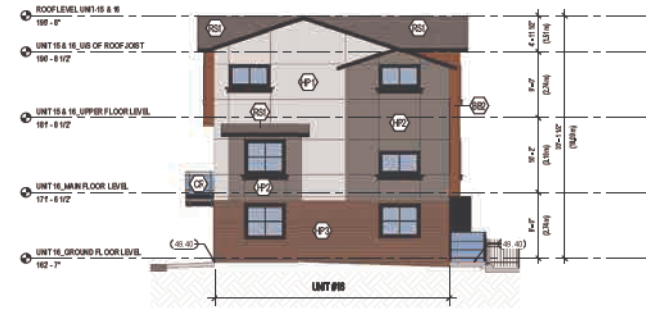
1 BUILDING-4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING-4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING-4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING-4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
S01 BOND BRATTEN BOND - CORK	CORK	
S02 BOND BRATTEN BOND - CEDAR	CEDAR	
S03 HWDE PANEL - FRY REGLET	WHITE	
S04 HWDE PANEL - FRY REGLET	AGED PEWTER	
S05 HWDE PLANK	BROWN	
S06 ASPHALT SINGLE ROOF	BLACK	
S07 6"TIMES	BLACK	
S08 6"TIMES	GRAY	
S09 GARAGE DOOR PANEL	BLACK	
S10 HWDE PANEL	BLACK	
S11 ALUMINUM FRAME QUARTER GLASS TRANSPARENT	PAINTING COLOUR BLACK GLASS TRANSPARENT	

NOTE: COLOURS FROM SUPPLIER WILL VARY UNLESS NOTED



KEY PLAN
SCALE: N.T.S



Kasian Architecture
Interior Design
and Planning Ltd

9311m of Douglasville Lane, #10
Vancouver, BC Canada V6S 2E8
Tel: 604-468-7648 Fax: 604-468-2627
www.kasian.com

NO.	DATE	DESCRIPTION	BY	CHKD.
1	2024-05-20	ISSUED FOR DP SUBMISSION		
2	2024-05-20	ISSUED FOR PRELIMINARY REVIEW		
3	2024-05-20	ISSUED FOR CITY REVIEW		
4	2024-05-20	ISSUED FOR FINISHING		



THIS DRAWING, AS A PART OF THE PROJECT OF SERVICES, IS THE PROPERTY OF KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD. THE COPYRIGHT IN THIS DRAWING IS RESERVED TO THE AUTHOR OR HIS SUCCESSORS. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD. FOR ANY PURPOSES OTHER THAN THAT FOR WHICH IT WAS PREPARED.

PROJECT

55 UNIT TOWNHOUSES

8833, 8887, AND 8911 LYNDEN DRIVE, SURREY, B.C.

DRAWING TITLE

BUILDING-4 COLORED ELEVATIONS

DRAWING DATE

ISSUED FOR DP SUBMISSION

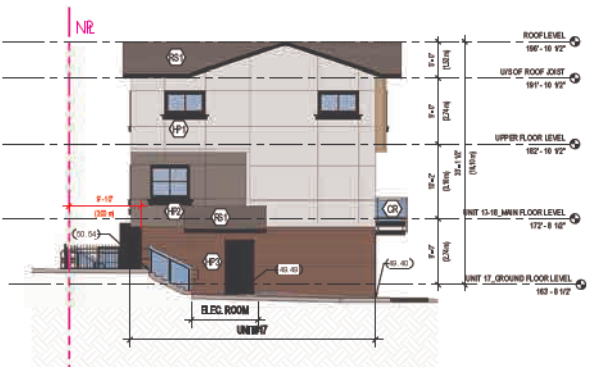
PROJECT NO.	DATE	DRAWN
722501	06-17-2024	
DATE	SCALE	REVIEWED
	As Indicated	
DRAWING NO.	REVISION	
A-5.04	4	



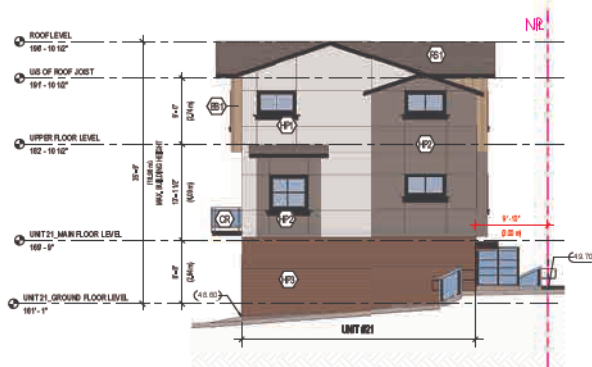
1 BUILDING-5 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING-5 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING-5 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

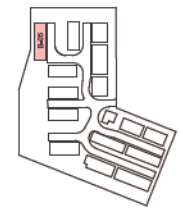


4 BUILDING-5 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND :

ITEM NO.	DESCRIPTION	COLOR	IMAGE
001	BOARD & BATTEN SIDING - CORK	CORK	
002	BOARD & BATTEN SIDING - CEDAR	CEDAR	
003	HARDEPANEL - PLY SHEET	WHITE	
004	HARDEPANEL - PLY SHEET	AGED PINKER	
005	HARDE PLANK	BROWN	
006	ASPHALT SHINGLE ROOF	BLACK	
007	F TRIMS	BLACK	
008	F TRIMS	GRAY	
009	GARAGE DOOR PANEL	BLACK	
010	HARDEPANEL	BLACK	
011	ALUMINUM FRAME GLAZED/PAVIL CM TEMPERED GLASS - POWDERED COATED	PAVING COLOUR: BLACK GLASS: TRANSPARENT	

NOTE: COLOURS FROM BERRYHILL WILLIAMS UNLESS NOTED



KEY PLAN
SCALE: N.T.S.

NO.	REVISION	DATE	BY	CHECKED
1	ISSUED FOR CITY REVIEW			
2	FOR PRELIMINARY			
3	FOR PRELIMINARY			
4	ISSUED FOR SUBMIT ON			

PROJECT STAMP

DATE: 2024-05-20



THIS DRAWING, AS A PART OF THE PROPERTY OF KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD. THE COPYRIGHT IN THE DRAWING IS RESERVED TO THE AUTHOR. NO PART OF THIS DRAWING OR THE INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD.

55 UNIT TOWNHOUSES
8833, 8887, AND 8911 LYNDEN DRIVE, SURREY, B.C.

BUILDING-5 COLORED ELEVATIONS

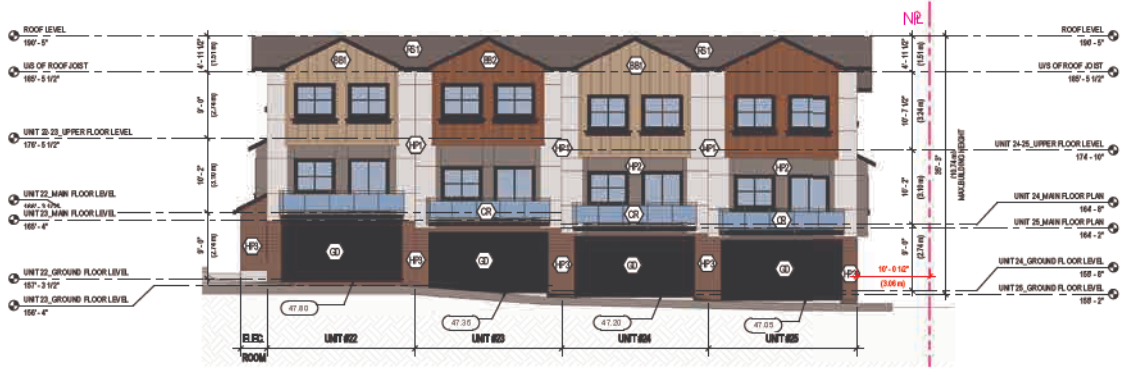
ISSUED FOR DP SUBMISSION

PROJECT NO.	722501	DATE	06-17-2024	DRAWN	
DRAWING NO.	A-5.05	SCALE	As Indicated	REVIEWED	
				REVISION	4

MATERIAL LEGEND :

MATERIAL	COLOR	
1B1 BOARD & BATTEN SIDING - CORK	CORK	
1B2 BOARD & BATTEN SIDING - CEDAR	CEDAR	
4P1 HARDPANEL - PLY REGLET	WHITE	
4P2 HARDPANEL - PLY REGLET	AGED PINE/TER	
4P3 HARDPANEL	BROWN	
4R1 ASPHALT SHINGLE ROOF	BLACK	
4T1 6" TRIMS	BLACK	
4T2 6" TRIMS	GRAY	
4G1 GARAGE DOOR PANEL	BLACK	
4T4 HARDPANEL	BLACK	
4CR ALUMINUM FRAME GUARDRAIL C/W TEMPERED GLASS - POWDERED COATED	RAILING COLOUR: BLACK GLASS: TRANSPARENT	

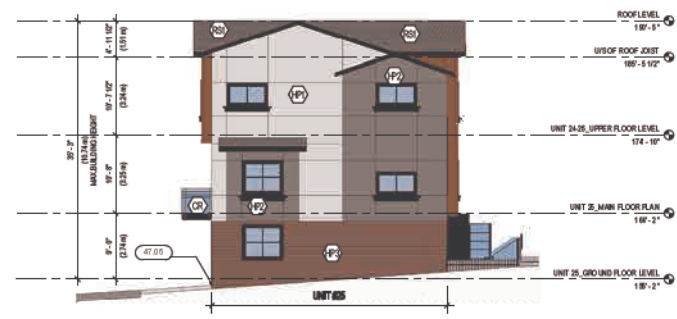
NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



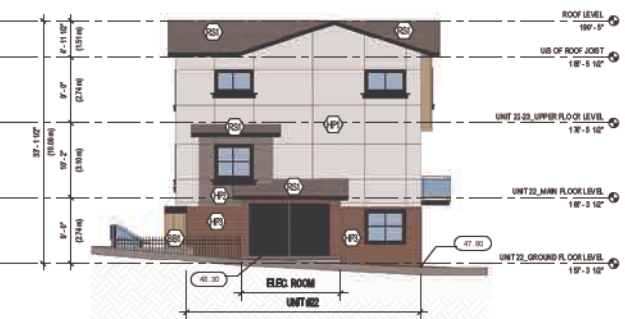
1 BUILDING-06 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING-06 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING-06 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING-06 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



KEY PLAN
SCALE: N.T.S.

NO.	DATE	DESCRIPTION	BY	CHKD.
1	2024-05-20	ISSUED FOR PERMITS		
2	2024-05-20	ISSUED FOR CITY REVIEW		
3	2024-05-20	ISSUED FOR PRELIMINARY		
4	2024-05-20	ISSUED FOR SUBMISSION		

CONTRACT

PROJECT STAMP



THIS DRAWING, AS A RESULT OF SERVICE, IS THE PROPERTY OF KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD. THE CLIENT/OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THIS DRAWING FROM UNAUTHORIZED REPRODUCTION AND/OR DISTRIBUTION. THE CLIENT/OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THIS DRAWING FROM UNAUTHORIZED REPRODUCTION AND/OR DISTRIBUTION. THE CLIENT/OWNER SHALL BE RESPONSIBLE FOR THE PROTECTION OF THIS DRAWING FROM UNAUTHORIZED REPRODUCTION AND/OR DISTRIBUTION.

PROJECT

55 UNIT TOWNHOUSES
8833, 8837, AND 8811 LYNDEN DRIVE, SURREY, B.C.

DRAWING TITLE
BUILDING 06 - COLORED ELEVATIONS

DRAWING ISSUE
ISSUED FOR DP SUBMISSION

PROJECT NO.	PLT DATE	DRAWN
722501	06-17-2024	
SCALE	REVIEWED	REVISION
As Indicated		4

DRAWING NO. A-5.06

NO.	DESCRIPTION	REVISION
1	ISSUED FOR PERMITS	
2	ISSUED FOR PERMITS	
3	ISSUED FOR PERMITS	
4	ISSUED FOR PERMITS	

DATE: 2024-05-20

PROJECT NAME: 55 UNIT TOWNHOUSES



THIS DRAWING, AS A PART OF THE SERVICE OF DESIGN, IS THE PROPERTY OF KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD. THE COPYRIGHT IN THE DESIGN HEREIN IS RESERVED TO THE AUTHOR OR DESIGNER. NO PART OF THIS DRAWING OR ANY INFORMATION HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD. THE DESIGNER IS NOT TO BE HELD RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS OR FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DRAWING FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT WAS PREPARED.

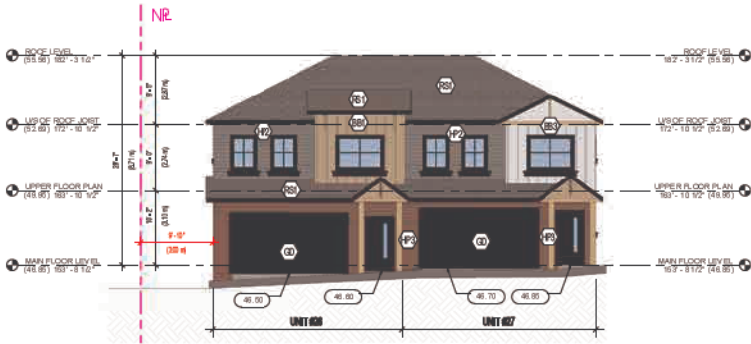
PROJECT:

55 UNIT TOWNHOUSES
8833, 8837, AND 8811 LYNCEN DRIVE, SURREY, B.C.

DRAWING TITLE:
BUILDING-7 COLORED ELEVATIONS

DRAWING CODE:
ISSUED FOR DP SUBMISSION

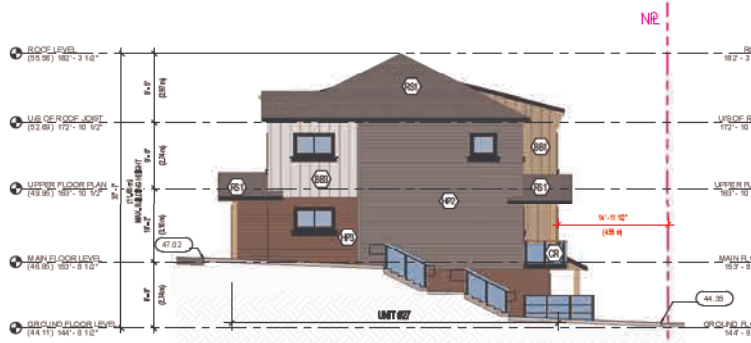
PROJECT NO.	PLAT DATE	DRAWN	RM
722501	06-17-2024	AK	RM
DRAWING NO.	SCALE	REVIEWED	CHK
A-5.07	As Indicated	AK	RM
			REVISION
			4



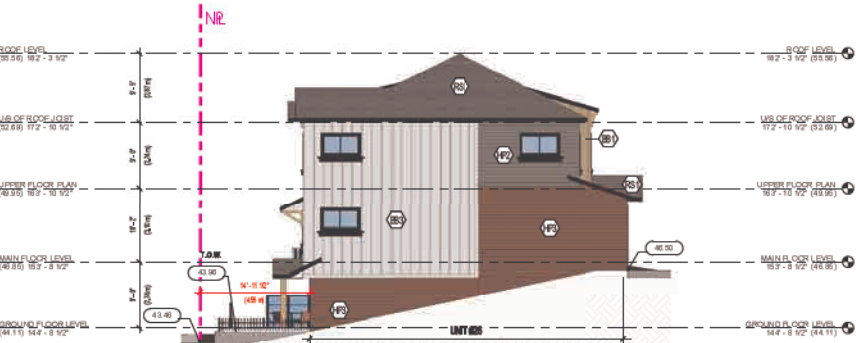
1 BUILDING 7 WEST ELEVATION
SCALE: 1/8"=1'-0"



2 BUILDING 7 EAST ELEVATION
SCALE: 1/8"=1'-0"



3 BUILDING 7 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

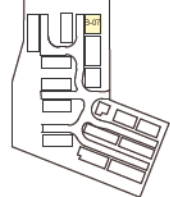


4 BUILDING 7 NORTH ELEVATION
SCALE: 1/8"=1'-0"

MATERIAL LEGEND:

MATERIAL	COLOR
001 BOARD & BATTEN SIDING - CORK	CORK
002 BOARD & BATTEN SIDING - CEDAR	CEDAR
003 BOARD & BATTEN SIDING - WHITE	WHITE
004 HARDIE PANEL - FRY RIDGET	WHITE
005 HARDIE PANEL - HORIZONTAL SIDING	ASID PEWTER
006 HARDIE PLANK - HORIZONTAL SIDING	BROWN
007 HARDIE PLANK - HORIZONTAL SIDING	CORK
008 ASPHALT SHINGLE ROOF	BLACK
009 6" TRIMS	BLACK
010 6" TRIMS	GRAY
011 GARAGE DOOR PANEL	BLACK
012 HARDIE PANEL	BLACK
013 ALUMINUM FRAME QUADRANT LOW TEMPERED GLASS - POWDER COATED	WILLOW COLOUR BLACK GLASS TRANSPARENT

NOTE: COLORS FROM B-BROWN WILLIAMS UNLESS NOTED



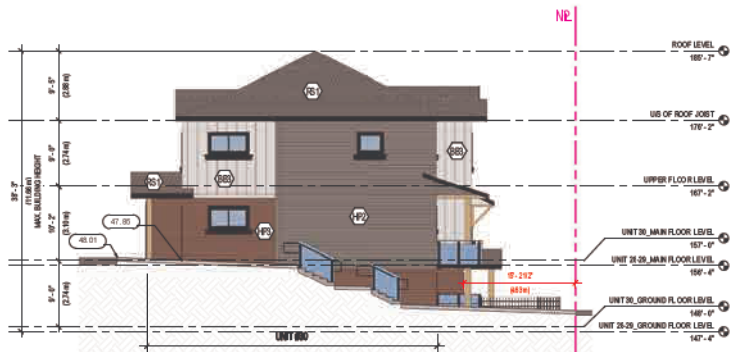
KEY PLAN
SCALE: N.T.S.



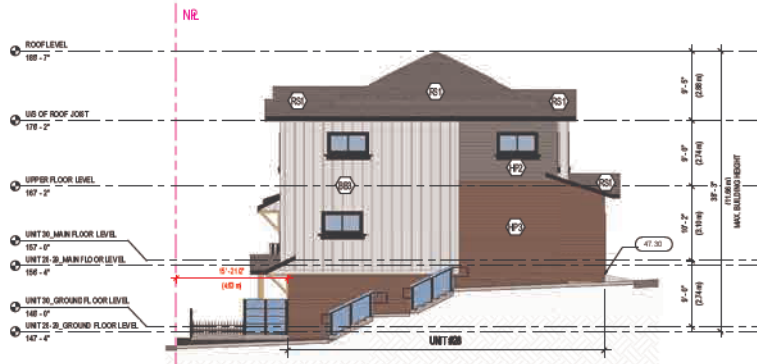
1 BUILDING-08 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING-08 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING-08 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

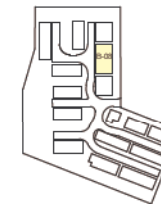


4 BUILDING-08 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
801 BOARD & BATTEN SIDING - CORK	CORK	
802 BOARD & BATTEN SIDING - CEDAR	CEDAR	
803 BOARD & BATTEN SIDING - WHITE	WHITE	
1011 HARDIPANEL - FRY REGLET	WHITE	
1012 HARDIPANEL - HORIZONTAL SIDING	AGED PEWTER	
1013 HARDIPANEL - HORIZONTAL SIDING	BROWN	
1014 HARDIPANEL - HORIZONTAL SIDING	CORK	
1015 HARDIPANEL - HORIZONTAL SIDING	CORN	
1016 ASPHALT SHINGLE ROOF	BLACK	
1101 P*TRIM	BLACK	
1102 P*TRIM	GRAY	
1201 GARAGE DOOR PANEL	BLACK	
1202 HARDIPANEL	BLACK	
1203 ALUMINUM FRAME/GUARDRAIL CAN TEMPERED GLASS - POWDERED COATED	FINISH COLOUR BLACK GLASS TRANSPARENT	

NOTE : COLOURS FROM SHERWIN WILLIAMS UNLESS NOTED



KEY PLAN
SCALE: N.T.S.



Kasian Architecture
Interior Design
and Planning Ltd. 9311 St. Johns St. Unit 108
Vancouver, BC Canada V6C 2E8
Tel: 604-261-7448 Fax: 604-261-7449
www.kasian.com

NO.	DESCRIPTION	DATE	BY	CHKD.	APP'D.
1	ISSUED FOR CITY REVIEW	2024-05-20			
2	ISSUED FOR PRELIMINARY				
3	ISSUED FOR OF SUBMITTAL				
4	ISSUED FOR OF SUBMITTAL				

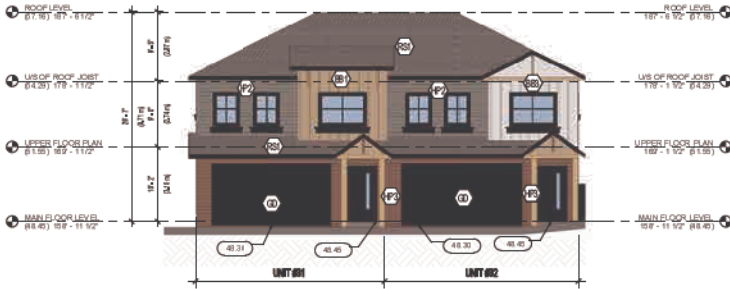
PROJECT STAMP



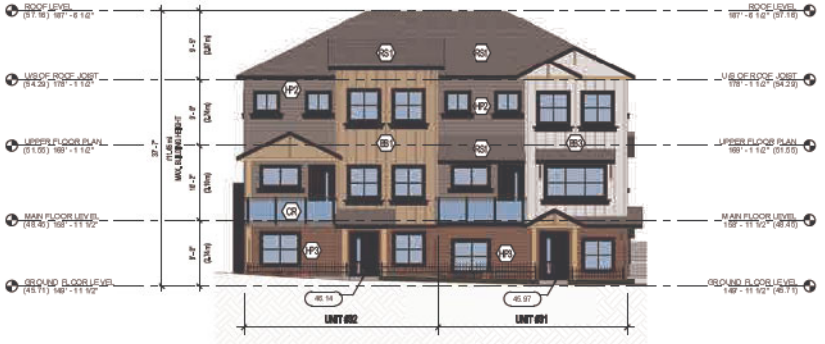
THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. THE COPYRIGHT IN THIS DRAWING IS RESERVED TO THE REGISTERED ARCHITECT OR ARCHITECTS IN CHARGE. THIS DRAWING IS NOT TO BE COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. ANY VIOLATION OF THIS AGREEMENT WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

PROJECT
55 UNIT TOWNHOUSES
8833, 8887, AND 8911 LYNDEN DRIVE, SURREY, B.C.
DRAWING TITLE
BUILDING- 8 COLORED ELEVATIONS
DRAWING DATE
ISSUED FOR DP SUBMISSION

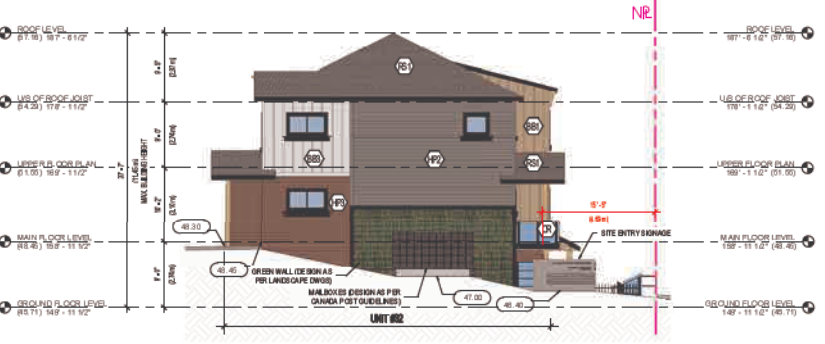
PROJECT NO.	722501	DATE	06-17-2024	DRAWN	
DRAWING NO.	A-5.08	SCALE	As Indicated	REVIEWED	
					REVISION 4



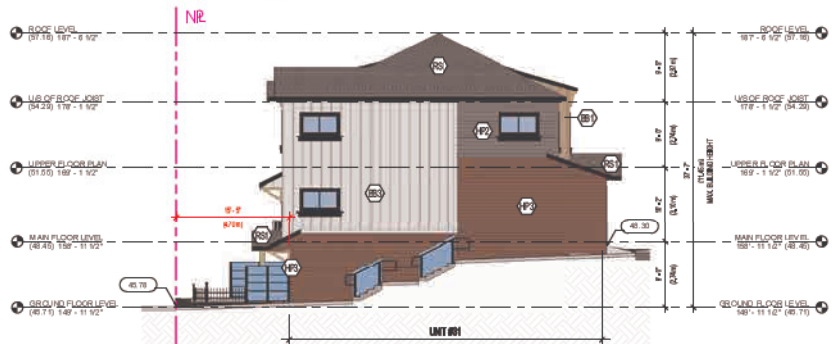
1 BUILDING 9 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING 9 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING 9 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

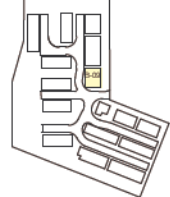


4 BUILDING 9 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND:

MATERIAL	COLOR	
001 BOUND BATTEN SIDING - CORK	CORK	
002 BOUND BATTEN SIDING - CEDAR	CEDAR	
003 BOUND BATTEN SIDING - WHITE	WHITE	
004 HARDIE PANEL - FRY ROULET	WHITE	
005 HARDIE PANEL - HORIZONTAL SIDING	ASID PEWTER	
006 HARDIE PLANK - HORIZONTAL SIDING	BROWN	
007 HARDIE PLANK - HORIZONTAL SIDING	CORK	
008 ASPHALT SHINGLE ROOF	BLACK	
009 6\"/>		

NOTE: COLORS FROM @-SERIES WALLS UNLESS NOTED



KEY PLAN
SCALE: N.T.S.

NO.	DATE	DESCRIPTION	BY	CHECKED
1	2024-05-20	ISSUED FOR CITY REVIEW	AK	AK
2	2024-05-20	FOR PRELIMINARY	AK	AK
3	2024-05-20	ISSUED FOR PRELIMINARY	AK	AK
4	2024-05-20	ISSUED FOR SUBMISSION	AK	AK

PROJECT STAMP

DATE: 2024-05-20

PROJECT: 55 UNIT TOWNHOUSES

LOCATION: 8833, 8887, AND 8911 LYNCEN DRIVE, SURREY, B.C.



THIS DRAWING, AS A WORK PRODUCT OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD., IS THE PROPERTY OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. THE CLIENT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THIS DRAWING FROM UNAUTHORIZED REPRODUCTION AND FOR THE PROTECTION OF THIS DRAWING FROM UNAUTHORIZED REPRODUCTION AND FOR THE PROTECTION OF THIS DRAWING FROM UNAUTHORIZED REPRODUCTION.

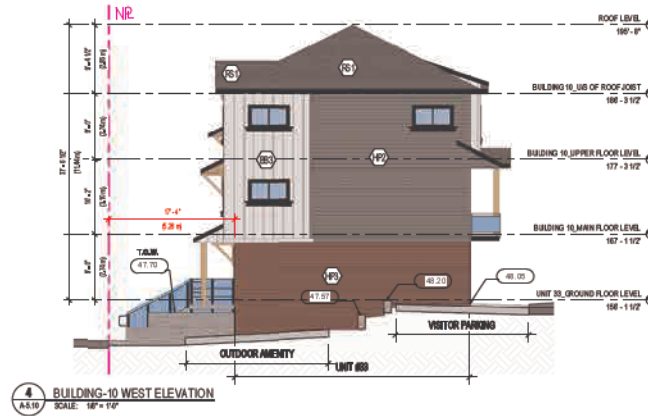
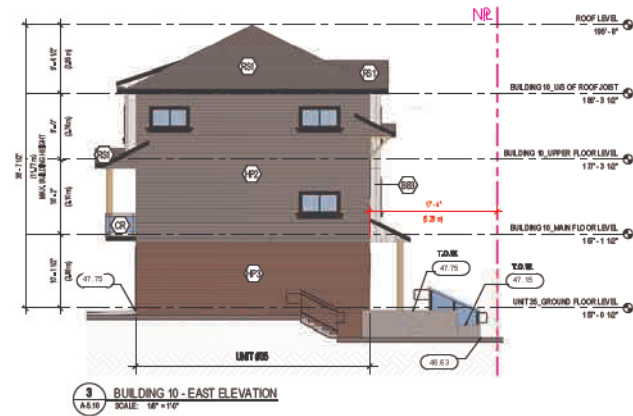
PROJECT: 55 UNIT TOWNHOUSES

LOCATION: 8833, 8887, AND 8911 LYNCEN DRIVE, SURREY, B.C.

DRAWING TITLE: BUILDING-9 COLORED ELEVATIONS

ISSUED FOR DP SUBMISSION

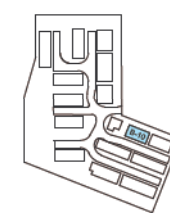
PROJECT NO.	722501	DATE	06-17-2024	DRAWN BY	AK
DRAWING NO.	A-5.09	SCALE	As Indicated	REVIEWED BY	AK
				REVISION	4



MATERIAL LEGEND :

NOTATION	COLOR	
DB	BOARD & BATTEN SIDING - CORK	CORK
DC	BOARD & BATTEN SIDING - CEDAR	CEDAR
DD	BOARD & BATTEN SIDING - WHITE	WHITE
EP	HARD PAVEMENT - FRY SELECT	WHITE
EPH	HARD PAVEMENT - HORIZONTAL SIDING	AGRID PEWEE
EPV	HARD PAVEMENT - HORIZONTAL SIDING	BROWN
EPW	HARD PAVEMENT - HORIZONTAL SIDING	CORK
EPX	ASPHALT SHINGLE ROOF	BLACK
FTL	6" TRIM	BLACK
FTG	6" TRIM	GRAY
GD	GARAGE DOOR PANEL	BLACK
HP	HARD PAVEMENT	BLACK
AL	ALUMINUM FRAME QUINCY GLAZED TEMPERED GLASS - POWDERED COATED	FINISH COLOUR: BLACK GLASS TINT: NEUTRAL

NOTE: COLOURS FROM ARCHIBUILD WILLOW LINE-SHOW INTENT



KEY PLAN
SCALE: N.T.S.



Kasian Architecture
Interior Design
and Planning Ltd.

9311 St. Charles St. Unit 108
Vancouver, BC Canada V6C 2E8
Tel: 604.681.7648 Fax: 604.681.7649
www.kasian.com

NO.	DATE	DESCRIPTION	BY	CHKD.
1	2024-05-20	ISSUED FOR CITY REVIEW		
2	2024-05-20	FOR PERMITS		
3	2024-05-21	ISSUED FOR PERMITS		
4	2024-05-21	ISSUED FOR SUBMITTAL		

PROJECT STAMP



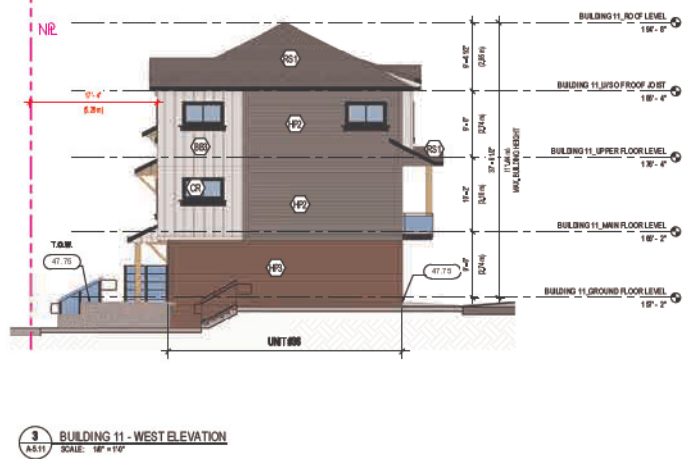
THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. THE USER OF THIS DRAWING AGREES TO HOLD KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. AND ITS DESIGNERS HARMLESS FROM ALL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM THE USE OF THIS DRAWING. THE USER OF THIS DRAWING AGREES TO HOLD KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. HARMLESS FROM ALL LIABILITY FOR ANY AND ALL DAMAGES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING FROM THE USE OF THIS DRAWING.

PROJECT
55 UNIT TOWNHOUSES
8833, 8887, AND 8911 LYNDEN DRIVE, SURREY, B.C.

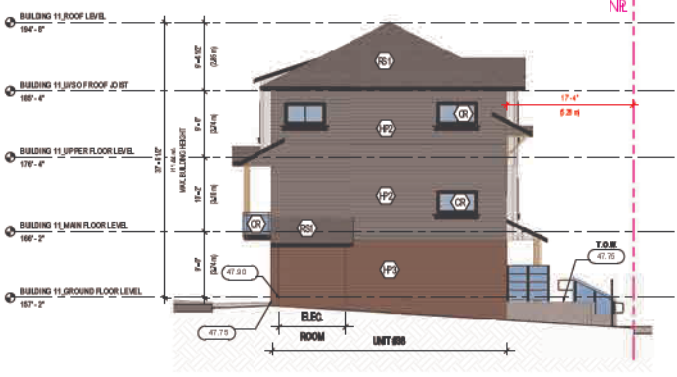
DRAWING TITLE
BUILDING- 10 COLORED ELEVATIONS

DRAWING ISSUE
ISSUED FOR DP SUBMISSION

PROJECT NO.	PLAT DATE	DRAWN
722501	06-17-2024	
SCALE	AS INDICATED	REVIEWED
DRAWING NO.	REVISION	
A-5.10	4	



3 BUILDING 11 - WEST ELEVATION
SCALE: 1/8" = 1'-0"

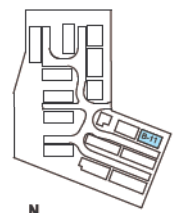


4 BUILDING 11 - EAST ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND :

NOTATION	COLOR	
(B1)	BOARD & BATTIN SIDING - CORK	CORK
(B2)	BOARD & BATTIN SIDING - CEDAR	CEDAR
(B3)	BOARD & BATTIN SIDING - WHITE	WHITE
(H1)	HARDIPANEL - RRY RELET	WHITE
(H2)	HARDIPANEL - HORIZONTAL SIDING	AGED PEWEE
(H3)	HARDE PLANK - HORIZONTAL SIDING	BROWN
(H4)	HARDE PLANK - HORIZONTAL SIDING	CORK
(R)	ASPHALT SHINGLE ROOF	BLACK
(T1)	6" TRIM	BLACK
(T2)	6" TRIM	GRAY
(G)	GARAGE DOOR PANEL	BLACK
(H5)	HARDIPANEL	BLACK
(A)	ALUMINUM FRAME/GUARD/COWL ON TEMPERED GLASS - POWDERED COATED	PAINTING COLOUR: BLACK GLASS TRANSPARENT

NOTE: COLOURS FROM MATERIAL LIBRARY UNLESS NOTED



Kasian Architecture
Interior Design
and Planning Ltd

9311 St. Charles Street, Suite 100
Vancouver, BC Canada V6C 2E8
Tel: 604.681.7648 Fax: 604.681.7649
www.kasian.com

NO.	DATE	DESCRIPTION	BY	CHKD
1	2024-05-20	ISSUED FOR CITY REVIEW		
2	2024-05-20	ISSUED FOR PERMITS		
3	2024-05-20	ISSUED FOR PERMITS		
4	2024-05-20	ISSUED FOR PERMITS		

CONTRACT NO. 2024-05-20

PROJECT STAMP



THIS DRAWING, AS A PART OF THE PROPERTY OF KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD. THE COPYRIGHT IN THE SAME REMAINS RESERVED TO THE AUTHOR OR DESIGNER. NO PART OF THIS DRAWING OR ANY PART THEREOF IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD. FOR ANY PURPOSES OTHER THAN THAT FOR WHICH IT WAS PREPARED.

PROJECT

55 UNIT TOWNHOUSES
8833, 8837, AND 8811 LYNEAN DRIVE, SURREY, B.C.

DRAWING TITLE
BUILDING - 11 COLORED ELEVATIONS

DRAWING ISSUE
ISSUED FOR DP SUBMISSION

PROJECT NO.	PLAT DATE	DRAWN
722501	06-17-2024	
SCALE	REVIEWED	
As Indicated		
DRAWING NO.	REVISION	
A-5.11	4	

NO.	DESCRIPTION	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMITS				
2	ISSUED FOR PRELIMINARY REVIEW				
3	ISSUED FOR PRELIMINARY REVIEW				
4	ISSUED FOR PERMITS				

DATE: 2024-05-20

PROJECT: 55 UNIT TOWNHOUSES

PROJECT STAMP



THIS DRAWING, AS A PART OF THE PROPERTY OF KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD, THE COPYRIGHT IN THE DESIGN HEREIN IS RESERVED TO THE AUTHOR. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD AND NO PART IS TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF KASIAN ARCHITECTURE INTERIOR DESIGN AND PLANNING LTD.

PROJECT: 55 UNIT TOWNHOUSES

8833, 8887, AND 8911 LYNDEN DRIVE, SURREY, B.C.

DRAWING TITLE: BUILDING-12 COLORED ELEVATIONS

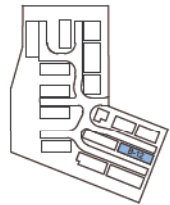
DRAWING DATE: ISSUED FOR DP SUBMISSION

PROJECT NO.	722501	DATE	06-17-2024	DRAWN BY	Author
SCALE	As Indicated	REVIEWED BY	Checker	DESIGNED BY	Author
DRAWING NO.	A-5.12			REVISION	4

MATERIAL LEGEND :

MATERIAL	COLOR
BOARD & BATTEN SIDING - CORK	CORK
BOARD & BATTEN SIDING - CEDAR	CEDAR
HIDE PANEL - FRY RISLET	WHITE
HIDE PANEL - FRY RISLET	ACID PINK
HIDE PLANK	BROWN
ASPHALT SHINGLE ROOF	BLACK
# TRIMS	BLACK
# TRIMS	GRAY
GARAGE DOOR PANEL	BLACK
HIDE PANEL	BLACK
ALUMINUM FRAME QUADRAL OW TINTED GLASS - POWDERED COAT ED	PAVING COLOUR BLACK GLASS TRANSPARENT

NOTE: COLOURS FROM INTERIOR WALLS ARE NOT SHOWN



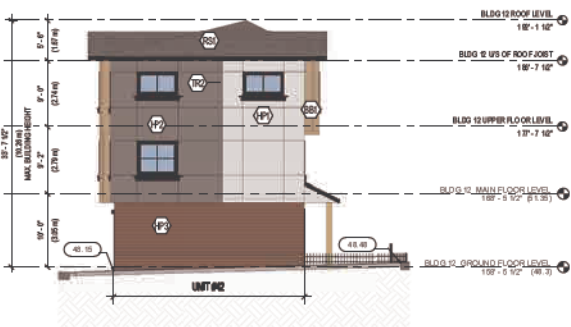
KEY PLAN
SCALE: N.T.S.



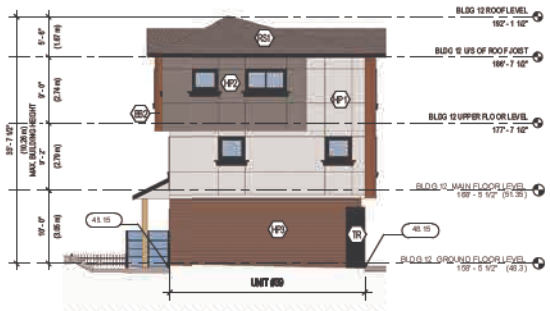
1 BUILDING-12 BACK SIDE ELEVATION
SCALE: 1/8"=1'-0"



2 BUILDING-12 FRONT SIDE ELEVATION
SCALE: 1/8"=1'-0"



3 BUILDING-12 SIDE ELEVATION
SCALE: 1/8"=1'-0"



4 BUILDING-12 SIDE ELEVATION
SCALE: 1/8"=1'-0"

NO.	DESCRIPTION	REVISION
1	ISSUED FOR CITY REVIEW	
2	ISSUED FOR PERMITS REVIEW	
3	ISSUED FOR PROBLEMSHOWN	
4	ISSUED FOR SUBMITTAL	

CHECKED: [Signature] DATE: 2024-05-20

PROJECT STAMP



THIS DRAWING, AS AN INSTRUMENT OF SERVICE, IS THE PROPERTY OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. THE CREDIT TO THE DESIGNER IS TO BE MAINTAINED AND NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. FOR ADAPTATION.

PROJECT

55 UNIT TOWNHOUSES
8833, 8887, AND 8911 LYNDEN DRIVE, SURREY, B.C.

DRAWING TITLE

BUILDING-13 COLORED ELEVATIONS

DRAWING DATE

ISSUED FOR DP SUBMISSION

PROJECT NO. 722501 FLOT DATE 06-17-2024 DRAWN BY [Signature]

SCALE As Indicated REVIEWED BY [Signature]

DRAWING NO. A-5.13 REVISION 4

MATERIAL LEGEND :

MARKING	COLOR	
1001	BOARD (BATTEN) BIRCH - CORK	
1002	BOARD (BATTEN) BIRCH - CEDAR	
1101	HARDIE PANEL - FRY REGLET	WHITE
1102	HARDIE PANEL - FRY REGLET	AGED PEWTER
1103	HARDIE PLANK	BROWN
1201	ASPHALT SINGLE ROOF	BLACK
1202	P TRIMS	BLACK
1203	P TRIMS	GRAY
1301	GARAGE DOOR PANEL	BLACK
1302	HARDIE PANEL	BLACK
1401	ALUMINUM FRAME QUARTER GLASS TEMPERED GLASS - POWDER COATED	RAUIND COLOUR BLACK GLASS TRANSPARENT

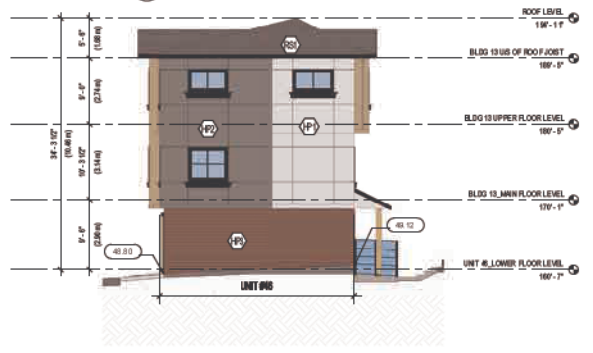
NOTE: COLORS FROM INTERIOR WALLINGS UNLESS NOTED



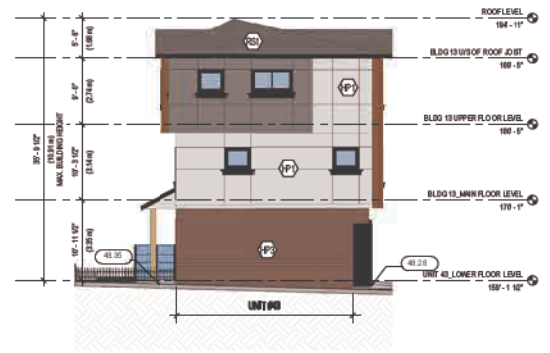
1 BUILDING-13 FRONT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING-13 BACK SIDE ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING-13 SIDE ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING-13 SIDE ELEVATION
SCALE: 1/8" = 1'-0"



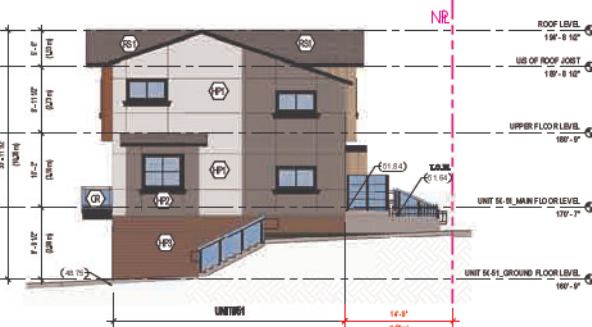
KEY PLAN
SCALE: N.T.S.



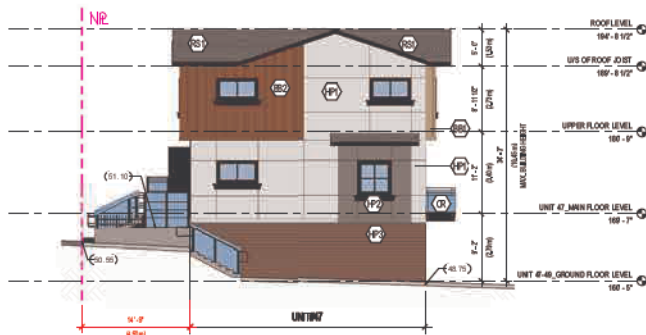
1 BUILDING-14 FRONT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



2 BUILDING-14 BACK SIDE ELEVATION
SCALE: 1/8" = 1'-0"



3 BUILDING-14 SIDE ELEVATION
SCALE: 1/8" = 1'-0"

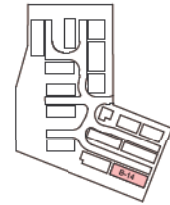


4 BUILDING-14 SIDE ELEVATION
SCALE: 1/8" = 1'-0"

MATERIAL LEGEND:

MATERIAL	COLOR	
1001 BOARD & BATTEN SIDING - CORK	CORK	
1002 BOARD & BATTEN SIDING - CEDAR	CEDAR	
1003 HARDE PANEL VERTICAL SIDING - PINE TRIMKIT	AGED PINE TR	
1004 HARDE PLANK	BROWN	
1005 HARDE SHINGLE SIDING	TIMBER MIXE	
1006 ASPHALT SHINGLE ROOF	BLACK	
1007 6" TRIMS	BLACK	
1008 6" TRIMS	GRAY	
1009 GARAGE DOOR PANEL	BLACK	
1010 HARDE PANEL	BLACK	
1011 ALUMINUM FRAME GUARDRAIL CNT TEMPERED GLASS - POWDER COATED	PAINTING COLOUR BLACK GLASS TRANSPARENT	

NOTE: COLOURS FROM BERRINI WILLIAMS UNLESS NOTED



KEY PLAN
SCALE: N.T.S.



Kasian Architecture
Interior Design and Planning Ltd

9010 St. Johns Street, Suite 108
Vancouver, BC Canada V6J 2L8
Tel: 604.681.7648 Fax: 604.681.7649
www.kasian.com

NO.	DATE	DESCRIPTION	BY	CHKD
1	2024-05-20	ISSUED FOR CITY REVIEW		
2	2024-05-20	FOR PRELIMINARY		
3	2024-05-21	ISSUED FOR PRELIMINARY		
4	2024-05-21	ISSUED FOR DP SUBMISSION		

CHECKLIST

NO.	DATE	DESCRIPTION	BY	CHKD
1	2024-05-20	FOR PRELIMINARY		
2	2024-05-20	FOR PRELIMINARY		
3	2024-05-21	ISSUED FOR DP SUBMISSION		
4	2024-05-21	ISSUED FOR DP SUBMISSION		



THIS DRAWING, AS A PART OF THE PROJECT OF SERVICES, IS THE PROPERTY OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.

PROJECT

55 UNIT TOWNHOUSES

8833, 8887, AND 8911 LYNDEN DRIVE, SURREY, B.C.

DRAWING TITLE

BUILDING-14 COLORED ELEVATIONS

DRAWING DATE

ISSUED FOR DP SUBMISSION

PROJECT NO.	PLAT DATE	DRAWN
722501	06-17-2024	
DRAWING NO.	SCALE	REVISION
A-5.14	As Indicated	4

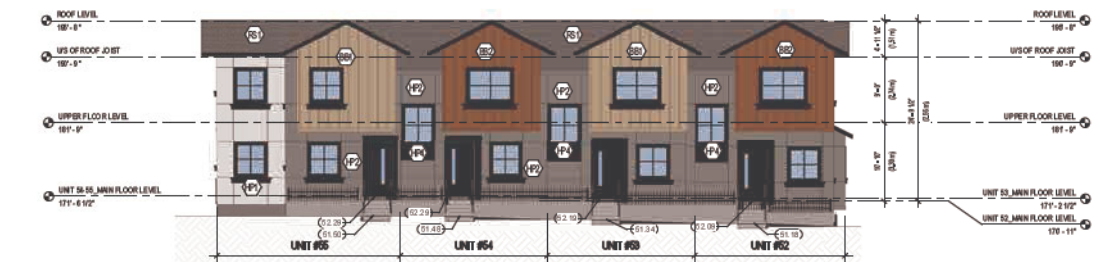
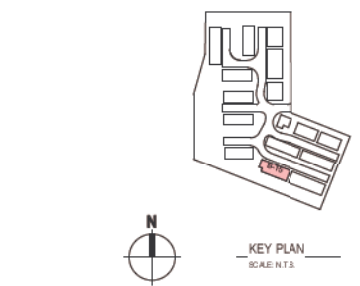
MATERIAL LEGEND :

MATERIAL	COLOR	
SB1	BORD & BATTEN SIDING - CORK	CORK
SB2	BORD & BATTEN SIDING - CEDAR	CEDAR
FP1	HARDE PAVEL VERTICAL SIDING - FRY REULET	ACID PAVTER
FP2	HARDE PLANK	BROWN
WB1	HARDE SHINGLE SIDING	TIMBER BARK
AS1	ASPHALT SHINGLE ROOF	BLACK
TR1	6" TRIMS	BLACK
TR2	6" TRIMS	GRAY
GD1	GRANITE DOOR PANEL	BLACK
HP1	HARDE PAVEL	BLACK
GL1	ALUMINUM FRAME QUADRANT CNT TEMPERED GLASS - POWDERED COATED	PAVING COLOUR BLACK GLASS TRANSPARENT

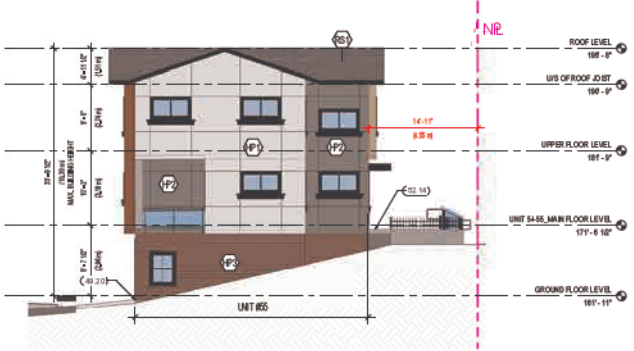
NOTE: COLOURS FROM SWHARSH WILLIAMS LINE SHE NOTED



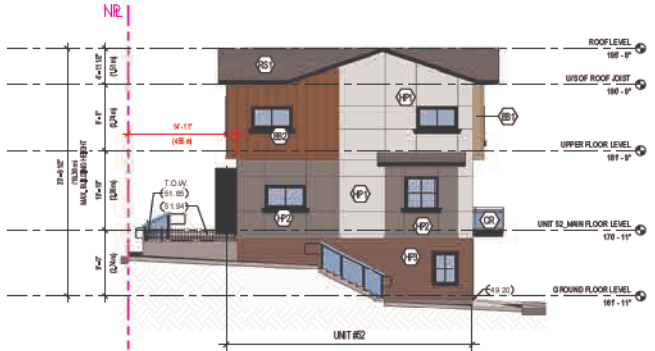
1 BUILDING-15 FRONT SIDE ELEVATION
SCALE: 1/8"=1'-0"



2 BUILDING-15 BACK SIDE ELEVATION
SCALE: 1/8"=1'-0"



3 BUILDING-15 SIDE ELEVATION
SCALE: 1/8"=1'-0"



4 BUILDING-15 SIDE ELEVATION
SCALE: 1/8"=1'-0"

4	20240417	ISSUED FOR DP SUBMISSION	
3	20240321	ISSUED FOR DP PRELIMINATION	
2	20240304	DP PRELIMINATION	
1	20240118	ISSUED FOR CITY REVIEW	
REV.	1/2/2024	FIELD WORK/ISSUE	PREVIEW

CORRECTION

PROJECT STAMP

SCALE



THIS DRAWING, AS A RESULT OF SERVICE, IS THE PROPERTY OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. THE COPYRIGHT IN THIS DRAWING AND ANY OTHER DESIGN INFORMATION IS RESERVED BY THE FIRM. PERMISSION OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. AND NO OTHER PARTY SHALL BE HELD RESPONSIBLE FOR REPRODUCING OR FOR ANY OTHER PARTY TO REPRODUCE THIS DRAWING OR ANY OTHER INFORMATION THEREIN WITHOUT THE WRITTEN PERMISSION OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. FOR ADJUSTMENT.

PROJECT
55 UNIT TOWNHOUSES
8833, 8837, AND 8811 LYNDEN DRIVE, SURREY, B.C.

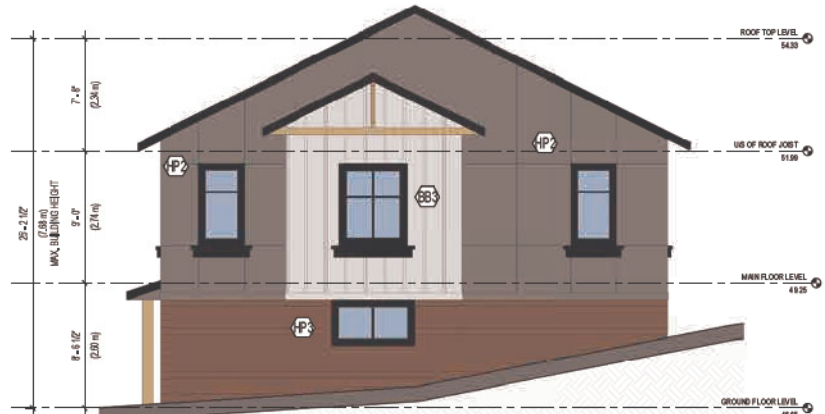
DRAWING TITLE
BUILDING-15 COLORED ELEVATIONS

DRAWING ISSUE
ISSUED FOR DP SUBMISSION

PROJECT NO.	722501	DATE	06-17-2024	DRAWN BY	
DRAWING NO.	A-5.15	SCALE	As Indicated	REVIEWED	
				REVISION	4



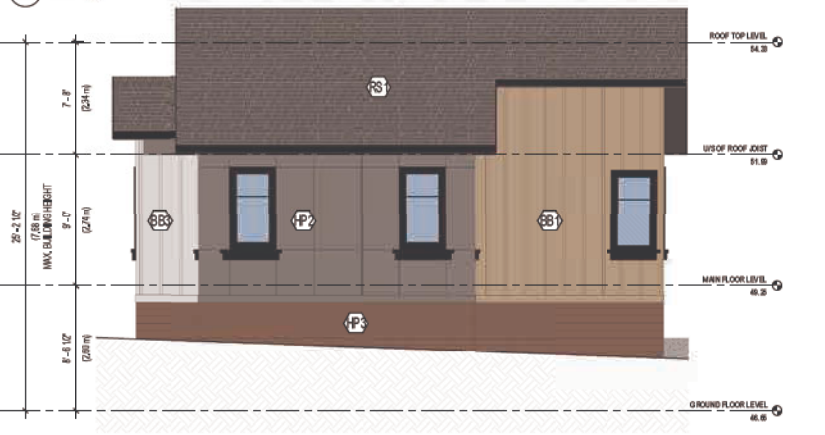
1 INDOOR AMENITY NORTH SIDE ELEVATION
SCALE: 1:48



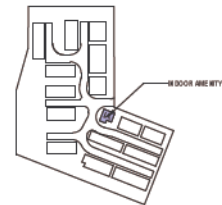
2 INDOOR AMENITY WEST SIDE ELEVATION
SCALE: 1:48



3 INDOOR AMENITY EAST SIDE ELEVATION
SCALE: 1:48



4 INDOOR AMENITY SOUTH SIDE ELEVATION
SCALE: 1:48



KEY PLAN
SCALE: N.T.S.

MATERIAL LEGEND :

NOTATION	COLOR	
8B1	BOARD & BATTEN SIDING - CORK	CORK
8B2	BOARD & BATTEN SIDING - CEDAR	CEDAR
8P1	HARDIE PANEL - PLYSULET	WHITE
8P2	HARDIE PANEL - PLYSULET	AGED POWDER
8P3	HARDIE PLANK	BROWN
8P4	ASPHALT SHINGLE ROOF	BLACK
8T1	6" TRIMS	BLACK
8T2	6" TRIMS	GRAY
8G1	GARAGE DOOR PANEL	BLACK
8P4	HARDIE PANEL	BLACK
8G2	ALUMINUM FRAME GUARDRAIL, O/TIMPOURED GLASS - POWDERED COATED	PAVING COLOUR BLACK GLASS TRANSPARENT

NOTE: COLOURS FROM BROWN WILLIAMS UNLESS NOTED



Kasian Architects
Interior Design
and Planning Ltd.

9511 St. Charles Street, Suite 100
Vancouver, BC Canada V6E 2E8
Tel: 604.681.7448 Fax: 604.681.7449
www.kasian.ca

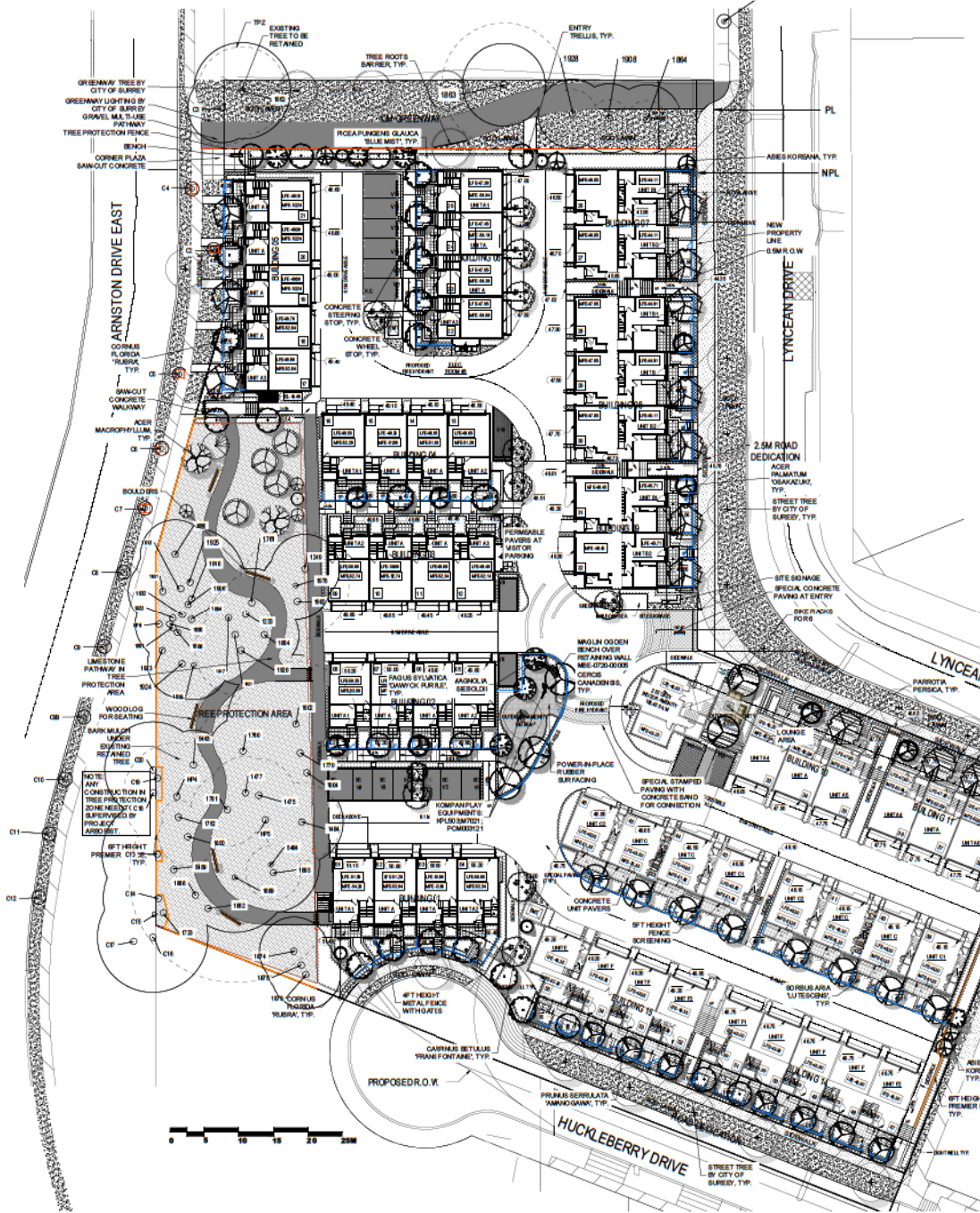
NO.	DATE	DESCRIPTION	BY	CHKD.
1	2024-05-20	ISSUED FOR DP SUBMISSION		
2	2024-05-20	ISSUED FOR PRELIMINARY		
3	2024-05-20	ISSUED FOR CITY REVIEW		
4	2024-05-20	ISSUED FOR PERMITS		

PROJECT NAME: 55 UNIT TOWNHOUSES
PROJECT ADDRESS: 8883, 8887, AND 8911 LYNDEN DRIVE, SURREY, B.C.
PROJECT NUMBER: 2024-05-20



THIS DRAWING, AS A RESULT OF SERVICE, IS THE PROPERTY OF KASIAN ARCHITECTURE, INTERIOR DESIGN AND PLANNING LTD. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AUTHORITIES.

PROJECT: 55 UNIT TOWNHOUSES
DRAWING TITLE: INDOOR AMENITY ELEVATIONS
DRAWING DATE: ISSUED FOR DP SUBMISSION
PROJECT NO.: 722501
PLOT DATE: 06-17-2024
SCALE: As Indicated
DRAWING NO.: A-5.16
REVISION: 4



TREE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
1	8	ABIES KORSIANA	KOREAN FR	3M HT, BAB
2	8	ACER PALMATUM 'OSWAGATO'	GREEN JAPANESE MAPLE	80M CAL, BAB, TREE FORM
3	13	CARPINUS BETULUS 'FRANS FONTAINE'	FRANS FONTAINE EUROPEAN HORNBAM	80M CAL, 1.1M STD, BAB
4	5	CERCIS CANADENSIS	EASTERN REDBUD	80M CAL, BAB
5	5	CHAMAECYPARIS NODOSINENSIS 'GREEN ARROW'	GREEN ARROW WEERING NODOSA CYPRESS	3M HT, BAB
6	15	CORNUS FLORIDA 'YUBERA'	PINK FLOWERIN' GDOOMWOOD	80M CAL, 2.5M HT, BAB; CLUMP RESILIENT
7	11	FAGUS SYLVATICA 'DANWYK PURPLE'	PURPLE LEAFY BEECH	80M CAL, 1.1M STD, BAB
8	15	MAGNOLIA SEBOLDII	OTYAMA MAGNOLIA (WHITE)	80M CAL, BAB
9	13	PIRROTA PERSEA	PERSIAN PINKWOOD	80M CAL, SPEC TREE FORM, BAB; 31STEM CLUMP
10	3	ACER FLORIBUNDA 'GLAUCA BLUE MIST'	BLUE MIST BLUE SPURGE	3M HT, BAB
11	7	FRAXUS SERRULATA 'AMANO GAWA'	AMANO GAWA CHERRY	80M CAL, 1.1M STD, BAB
12	8	SORBUS ARA LUTESCENS	WHITEBEN MOUNTAINASH	80M CAL, 1.1M STD, BAB

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. ** REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCHING REGION HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND RAISER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIODIVERSITY NOT PERMITTED IN BROWN MEDIA UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

PLANT SCHEDULE: TREE PROTECTION ZONE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
1	3	ABIES KORSIANA	KOREAN FR	1.75M HT, 2.5M HT, BAB
2	2	ACER MACROPHYLLUM	BOLEAF MAPLE	80M CAL, 2M STD, BAB
3	4	ACER PALMATUM 'OSWAGATO'	GREEN JAPANESE MAPLE	2.4M HT, BAB, TREE FORM
4	1	CHAMAECYPARIS NODOSINENSIS 'GREEN ARROW'	GREEN ARROW WEERING NODOSA CYPRESS	3M HT, BAB
5	1	THUJA PLICATA	WESTERN RED CEDAR	2M HT, BAB

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. ** REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCHING REGION HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND RAISER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIODIVERSITY NOT PERMITTED IN BROWN MEDIA UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTES:
TOTAL REQUIRED REPLACEMENT TREE 504
TOTAL PROPOSED REPLACEMENT TREE 102

© Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.



pmg LANDSCAPE ARCHITECTS
Suite C100 - 4185 36th Crw Dr
Burnaby, B.C. V5C 6G8
p: 604 294-0911 f: 604 294-0922

SCALE:



NO.	DATE	REVISION DESCRIPTION	DR.
1	24 JUN 23	URGENT TREE MANAGEMENT PLAN	WZ
2	24 JUN 23	NEW SITE PLAN	WZ
3	24 JUN 23	NEW SITE PLAN	WZ
4	24 JUN 23	NEW SITE PLAN	WZ
5	24 JUN 23	REVIEW PER ARCH GENMANS	WZ
6	24 JUN 23	NEW SITE PLAN (2023) GENMANS	WZ
7	15 JUL 23	NEW SITE PLAN	WZ
8	22 JUN 23	REVIEW PER ARCH GENMANS	WZ
9	22 JUN 23	REVIEW PER ARCH GENMANS	WZ

CLIENT:



KOMPAI CLUMPY #4FTER, MTD2104



MAOLIN ODDEN BENCH, FOR 6 MET 6300-0001, 23015



KOMPAI FLOWER TABLE #PL003



MAOLIN ODDEN BENCH CARE AND LOOSE TABLES



KOMPAI PLAY PANEL 2, PM003121



MAOLIN ODDEN BENCH

PROJECT:

55 UNIT TOWNHOUSES
9833-9991 LYNCAN DRIVE
SURREY, BC

DRAWING TITLE:
LANDSCAPE PLAN

DATE: MAY 12 2023 DRAWING NUMBER:
SCALE: 1:300
DRAWN: WZ
DESIGN: WZ
CHECKED: YR

L1
OF 8

88A:

TREES PROTECTED BY SPECIES

- ASHLEAF
- GARRY OAK
- PACIFIC DOGWOOD
- PACIFIC YEW
- WESTERN WHITE PINE
- COAST REDWOOD
- CHINA REDWOOD
- GIANT SEQUOIA
- GRAND
- MONKEY PUZZLE TREE

NOTE ALL TREES REGARDLESS OF SIZE ARE PROTECTED IN HIGH ENVIRONMENTALLY SENSITIVE AREAS

TREE PROTECTION DISTANCE TABLE

TRUNK DIAMETER IN IN. @ 4.5'	MINIMUM REQUIRED PROTECTION RADIUS (DISTANCE FROM TRUNK IN METRES)
10	1.5
15	1.8
20	2.1
25	2.4
30	2.7
35	3.0
40	3.3
45	3.6
50	3.9
55	4.2
60	4.5
65	4.8
70	5.1
75	5.4
80	5.7
85	6.0
90	6.3
95	6.6
100	6.9

SOLID 2M CONSTRUCTION WITH CROSS BRACING AND TOP ANCHOR ON RAILS

PLASTIC MESH SCREENING

1 TREE PROTECTION BARRIER
N.T.S.

N.T.S.

100-150mm THICK 25mm MINUS LIMESTONE TO BE INSTALLED OVER EXISTING GRADE. ANY MECHANICAL CONSTRUCTION TO BE SUPERVISED BY THE ARBORIST.

DO NOT CUT OR DISTURB TREE ROOTS UNLESS UNDER DIRECTION OF THE ARBORIST UNDISTURBED SUB-GRADE

DO NOT CUT OR DISTURB TREE ROOTS UNLESS UNDER DIRECTION OF THE ARBORIST UNDISTURBED SUB-GRADE

2 LIMESTONE PATHWAY - tree preservation zones
N.T.S.

N.T.S.

- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED
- TREE TAGNO.
- TREE PROTECTION FENCING
- TREE PROTECTION ZONE



TREE PROTECTION FOR STREET T TREES 2M X BACK OF CURB AND SIDEWALK TYP



NO.	DATE	REVISION DESCRIPTION	DR.
1	24 JUN 23	REVISED PER COMMENTS	WT
2	24 JUN 23	REVISED PER COMMENTS	WT
3	24 JUN 23	REVISED PER COMMENTS	WT
4	24 JUN 23	REVISED PER COMMENTS	WT
5	24 JUN 23	REVISED PER COMMENTS	WT
6	24 JUN 23	REVISED PER COMMENTS	WT
7	24 JUN 23	REVISED PER COMMENTS	WT
8	24 JUN 23	REVISED PER COMMENTS	WT
9	24 JUN 23	REVISED PER COMMENTS	WT
10	24 JUN 23	REVISED PER COMMENTS	WT
11	24 JUN 23	REVISED PER COMMENTS	WT
12	24 JUN 23	REVISED PER COMMENTS	WT
13	24 JUN 23	REVISED PER COMMENTS	WT
14	24 JUN 23	REVISED PER COMMENTS	WT
15	24 JUN 23	REVISED PER COMMENTS	WT
16	24 JUN 23	REVISED PER COMMENTS	WT
17	24 JUN 23	REVISED PER COMMENTS	WT
18	24 JUN 23	REVISED PER COMMENTS	WT
19	24 JUN 23	REVISED PER COMMENTS	WT
20	24 JUN 23	REVISED PER COMMENTS	WT
21	24 JUN 23	REVISED PER COMMENTS	WT
22	24 JUN 23	REVISED PER COMMENTS	WT
23	24 JUN 23	REVISED PER COMMENTS	WT
24	24 JUN 23	REVISED PER COMMENTS	WT
25	24 JUN 23	REVISED PER COMMENTS	WT
26	24 JUN 23	REVISED PER COMMENTS	WT
27	24 JUN 23	REVISED PER COMMENTS	WT
28	24 JUN 23	REVISED PER COMMENTS	WT
29	24 JUN 23	REVISED PER COMMENTS	WT
30	24 JUN 23	REVISED PER COMMENTS	WT
31	24 JUN 23	REVISED PER COMMENTS	WT
32	24 JUN 23	REVISED PER COMMENTS	WT
33	24 JUN 23	REVISED PER COMMENTS	WT
34	24 JUN 23	REVISED PER COMMENTS	WT
35	24 JUN 23	REVISED PER COMMENTS	WT
36	24 JUN 23	REVISED PER COMMENTS	WT
37	24 JUN 23	REVISED PER COMMENTS	WT
38	24 JUN 23	REVISED PER COMMENTS	WT
39	24 JUN 23	REVISED PER COMMENTS	WT
40	24 JUN 23	REVISED PER COMMENTS	WT
41	24 JUN 23	REVISED PER COMMENTS	WT
42	24 JUN 23	REVISED PER COMMENTS	WT
43	24 JUN 23	REVISED PER COMMENTS	WT
44	24 JUN 23	REVISED PER COMMENTS	WT
45	24 JUN 23	REVISED PER COMMENTS	WT
46	24 JUN 23	REVISED PER COMMENTS	WT
47	24 JUN 23	REVISED PER COMMENTS	WT
48	24 JUN 23	REVISED PER COMMENTS	WT
49	24 JUN 23	REVISED PER COMMENTS	WT
50	24 JUN 23	REVISED PER COMMENTS	WT
51	24 JUN 23	REVISED PER COMMENTS	WT
52	24 JUN 23	REVISED PER COMMENTS	WT
53	24 JUN 23	REVISED PER COMMENTS	WT
54	24 JUN 23	REVISED PER COMMENTS	WT
55	24 JUN 23	REVISED PER COMMENTS	WT
56	24 JUN 23	REVISED PER COMMENTS	WT
57	24 JUN 23	REVISED PER COMMENTS	WT
58	24 JUN 23	REVISED PER COMMENTS	WT
59	24 JUN 23	REVISED PER COMMENTS	WT
60	24 JUN 23	REVISED PER COMMENTS	WT
61	24 JUN 23	REVISED PER COMMENTS	WT
62	24 JUN 23	REVISED PER COMMENTS	WT
63	24 JUN 23	REVISED PER COMMENTS	WT
64	24 JUN 23	REVISED PER COMMENTS	WT
65	24 JUN 23	REVISED PER COMMENTS	WT
66	24 JUN 23	REVISED PER COMMENTS	WT
67	24 JUN 23	REVISED PER COMMENTS	WT
68	24 JUN 23	REVISED PER COMMENTS	WT
69	24 JUN 23	REVISED PER COMMENTS	WT
70	24 JUN 23	REVISED PER COMMENTS	WT
71	24 JUN 23	REVISED PER COMMENTS	WT
72	24 JUN 23	REVISED PER COMMENTS	WT
73	24 JUN 23	REVISED PER COMMENTS	WT
74	24 JUN 23	REVISED PER COMMENTS	WT
75	24 JUN 23	REVISED PER COMMENTS	WT
76	24 JUN 23	REVISED PER COMMENTS	WT
77	24 JUN 23	REVISED PER COMMENTS	WT
78	24 JUN 23	REVISED PER COMMENTS	WT
79	24 JUN 23	REVISED PER COMMENTS	WT
80	24 JUN 23	REVISED PER COMMENTS	WT
81	24 JUN 23	REVISED PER COMMENTS	WT
82	24 JUN 23	REVISED PER COMMENTS	WT
83	24 JUN 23	REVISED PER COMMENTS	WT
84	24 JUN 23	REVISED PER COMMENTS	WT
85	24 JUN 23	REVISED PER COMMENTS	WT
86	24 JUN 23	REVISED PER COMMENTS	WT
87	24 JUN 23	REVISED PER COMMENTS	WT
88	24 JUN 23	REVISED PER COMMENTS	WT
89	24 JUN 23	REVISED PER COMMENTS	WT
90	24 JUN 23	REVISED PER COMMENTS	WT
91	24 JUN 23	REVISED PER COMMENTS	WT
92	24 JUN 23	REVISED PER COMMENTS	WT
93	24 JUN 23	REVISED PER COMMENTS	WT
94	24 JUN 23	REVISED PER COMMENTS	WT
95	24 JUN 23	REVISED PER COMMENTS	WT
96	24 JUN 23	REVISED PER COMMENTS	WT
97	24 JUN 23	REVISED PER COMMENTS	WT
98	24 JUN 23	REVISED PER COMMENTS	WT
99	24 JUN 23	REVISED PER COMMENTS	WT
100	24 JUN 23	REVISED PER COMMENTS	WT

CLIENT:

PROJECT:

55 UNIT TOWNHOUSES
9833-9991 LYNCAN DRIVE
SURREY, BC

DRAWING TITLE:
TREE MANAGEMENT PLAN

DATE: MAY.12.2023 DRAWING NUMBER:
SCALE: 1:500
DRAWN: WZ
DESIGN: WZ
CHD: YR OF 8

L2

© Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.

pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 961 Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604-294-0011 f: 604-294-0022

SCALE:



6	24.8.10	UPDATE TO MANAGER'S PLAN	KL
5	24.8.10	REVISE PLAN	WZ
4	24.8.10	REVISE PLAN	WZ
3	24.8.10	REVISE PLAN	WZ
2	24.8.10	REVISE PLAN	WZ
1	24.8.10	REVISE PLAN	WZ
0	24.8.10	REVISE PLAN	WZ

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

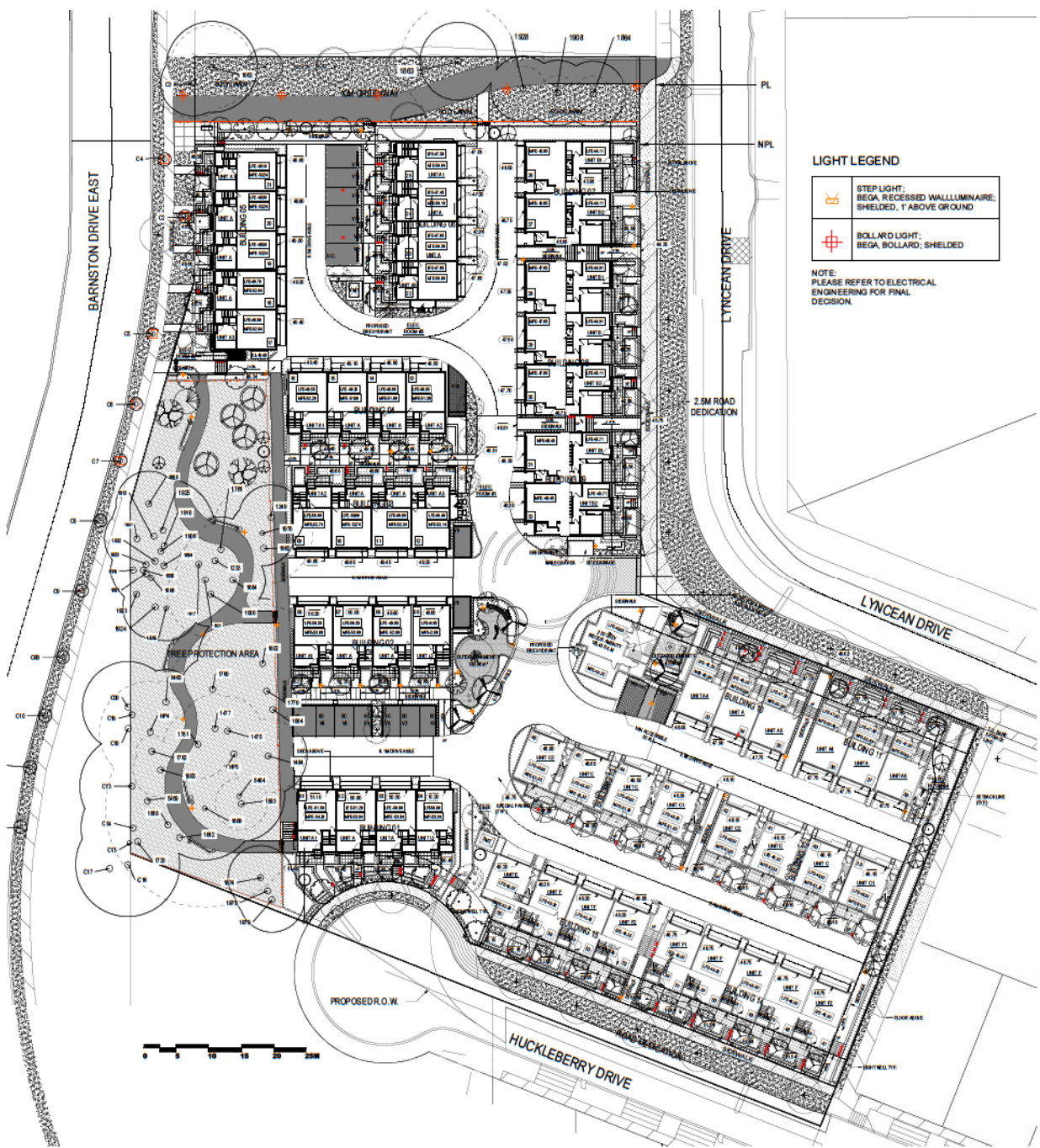
PROJECT:

55 UNIT TOWNHOUSES
9833-9991 LYNCEAN DRIVE
SURREY, BC

DRAWING TITLE:
LANDSCAPE LIGHTING PLAN

DATE: MAY.12.2023 DRAWING NUMBER:
SCALE: 1:300
DRAWN: WZ
DESIGN: WZ
CHK'D: VR **L4**
OF 8

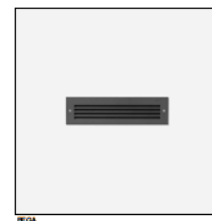
2300-10.2P PMG PROJECT NUMBER: 23-092



LIGHT LEGEND

	STEP LIGHT; BEGA, RECESSED WALLUMINAIRE, SHIELDED, 1' ABOVE GROUND
	BOLLARD LIGHT; BEGA, BOLLARD, SHIELDED

NOTE:
PLEASE REFER TO ELECTRICAL
ENGINEERING FOR FINAL
DECISION.

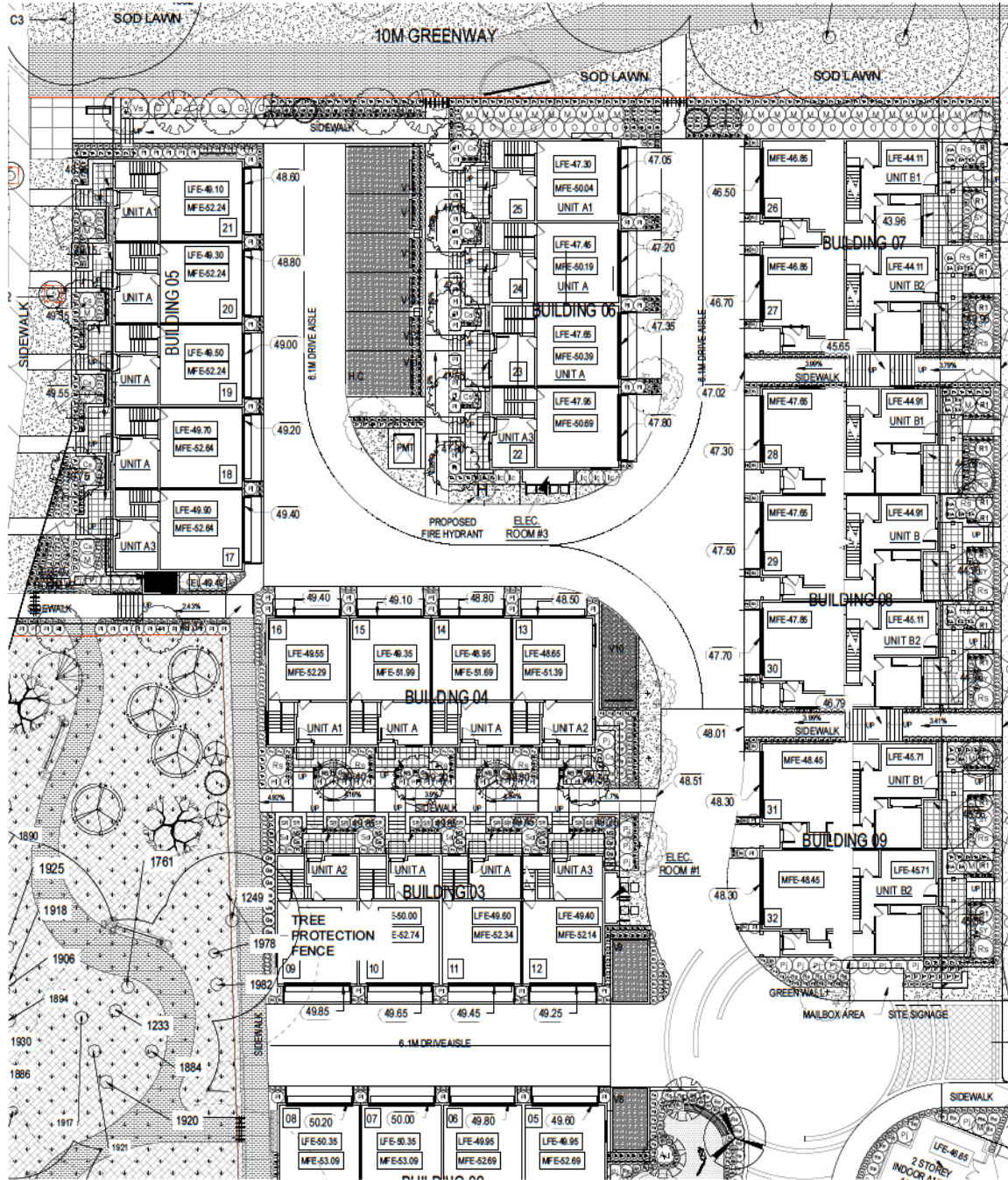


BEGA RECESSED WALL LUMINAIRE, SHIELD



BEGA BOLLARD, SHIELDED





PLANT SCHEDULE			
PLANT	QTY	BOTANICAL NAME	PMG PROJECT NUMBER
8	ARISE HOI RENA	KORIAN FIR	3M HT, 1B&B
9	CHAMAELIRIUS 'SOLARIS'	GREEN JAPANESE MALE	50M CAL, 1B&B, TREE FORM
13	CARINIA BETULUS TRANS FONTINE	PINK FOUNTAIN EUROPEAN HORNBARK	50M CAL, 1M STD, 1B&B
15	CERES CANADENSIS	EASTERN RED BUD	50M CAL, 1B&B
16	CHAMAELIRIUS 'SOLARIS'	GREEN JAPANESE MALE	3M HT, 1B&B
15	CHAMAELIRIUS 'SOLARIS'	GREEN JAPANESE MALE	50M CAL, 1B&B
15	CHAMAELIRIUS 'SOLARIS'	GREEN JAPANESE MALE	50M CAL, 1B&B
11	FAGUS SYLVATICA 'DAWYOK' PURPLE	PURPLE FASTIGIATE BEECH	50M CAL, 1M STD, 1B&B
5	CHAMAELIRIUS 'SOLARIS'	GREEN JAPANESE MALE	50M CAL, 1M STD, 1B&B
13	PANICUM TROPICUM	PANICUM TROPICUM	50M CAL, 1M STD, 1B&B
3	PICIA PUNICENS 'GLAUCO' BLUE MIX*	BLUE MIX BLUE SPRUCE	3M HT, 1B&B
7	PRUNUS 'SERRULATA' 'MAGNOLIA'	MAGNOLIA CHERRY	50M CAL, 1M STD, 1B&B
8	SORBUS 'ARA' 'LITESCENS'	WHITEBARK MOUNTAIN ASH	50M CAL, 1M STD, 1B&B
24	ARILITUS UNEDIO COMPACTA	COMPACT STRAWBERRY BUSH	# POT, 1.25M
105	AZALEA 'JAPONICA' 'HARDY'S BEAUTY'	AZALEA LIGHT PINK	# POT, 25CM
11	BESSENERA 'THUNDERBOLT' 'BLOOMING GLOW'	ROSE PURPLE FOLIAGE SASSAPARILLA	# POT, 40CM
202	BULBOUS MACROPHYLLA 'VIRENS'	GREEN GEM BROOMWOOD	# POT, 40CM
9	CARYOPHYLLUS 'CLANDON' 'BERRY DARK INK HT'	SLUESBERG	# POT
46	CORNUS 'BERGICATA' 'MAGNOLIA'	YELLOWING DOGWOOD	# POT, 30CM
7	FOTHERGILLIA 'MAJOR' 'MOUNT ARIY'	MOUNT ARIY FOTHERGILLIA	# POT, 60CM
2	HEBE 'RAKAWENSIS'	SUTHERLAND HEBE	# POT, 40CM
6	HYDRANGEA 'SERRATA' 'SILVERBIRD'	MOUNTAIN HYDRANGEA LACECAP BLUE	# POT, 40CM
28	ILEX 'CORNUTA' 'CONDESA'	JAPANESE HOLLY	# POT
4	KALAMA LATHOLIA 'MOUNT'	MOUNTAIN LATHOLIA	# POT, 30CM
72	MAHONIA 'AQUIFOLIUM'	OREGON GRINE	# POT, 40CM
109	MAHONIA 'NERVOSA'	LONGLEAF MAHONIA	# POT, 20CM
30	NANDINA 'DOMESTICA' 'SINNA SUNSHINE'	SINNA SUNSHINE HEAVENLY BAMBOO	# POT
80	OBANITIS '1' 'SILVERWOOD'	SILVERWOOD OBANITIS	# POT, 15CM
40	PIRUS 'JAPONICA' 'FLAMING SILVER'	PIRUS, WHITE BLOOM, VAREGATED FOLIAGE	# POT, 30CM
121	FRAXINUS LAUROCARPUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	# POT, 30CM
34	RHOODODENDRON 'CHRISTMAS CHEERY'	RHOODODENDRON BUSH PINK	# POT, 100CM 1M STD
9	RHOODODENDRON 'P.J.M. ELITE'	P.J.M. ELITE RHOODODENDRON	# POT
36	RHOODODENDRON 'RAMPART'	RHOODODENDRON PINK VIOLET	# POT, 60CM
22	RIBES 'SANGUINEUM'	RED FLOWERING CURRANT	# POT, 60CM
63	ROSA 'EXPLORER' 'FRONTENAC'	FRONTENAC ROSE, DEEP PINK	# POT, 60CM
6	ROSA 'EXPLORER' 'HENRY HUDSON'	HENRY HUDSON ROSE, WHITE WITH PINK TINGE	# POT, 40CM
21	SARCOCODON 'RUBROFLORA'	FRAGRANT BERRY BOX	# POT, 40CM
22	SPIREEA 'JAPONICA' 'OLD MOON'	DWARF GOLD MOUND SPIREEA	# POT, 30CM
11	SYMPLOCARPA 'ALBIS'	SHAWBERRY	# POT, 30CM
12	SYRINGA 'PATULA' 'MISS KIM'	MISS KIM COMPACT LILAC	# POT, 60CM
338	TAXUS 'MEDIA' 'M.M. EDDIE'	EDDIE'S YEW	# POT, 100CM
7	VIBURNUM 'P.T.' 'SUMMER SNOWFLAKE'	SUMMER SNOWFLAKE VIBURNUM	# POT, 40CM
62	CALAMAGRODITE 'ACUTIFLORA' 'KARL POERSTER'	FEATHER REED GRASS	# POT
272	CAREX 'OUBURNENSIS' 'SODGRASS'	EVERSOLO OUBURNES SEDGE	# POT
100	HAKONICHA 'OAMAGRA' 'ALL GOLD'	GOLDEN JAPANESE FOREST GRASS	# POT
417	HELICTRODON 'SEMIPERFORANS'	BLUE CAT GRASS	# POT
100	POMPHOLIX 'ALPES' 'CLOVERED' 'HAMELY'	DWARF PINK GRASS	# POT
11	ACTAEA 'SIMPLEX' 'BLACK NEIGHEE'	BLACK-LEAVED BURNING	150M POT
11	ACTAEA 'SIMPLEX' 'BLACK NEIGHEE'	BLACK-LEAVED BURNING	150M POT
30	BRANBURA 'MACROPHYLLA'	PINK CAMEL BRANBURA	150M POT
14	HELLBORUS 'HYBRIDUS'	SIBERIAN BELLFLOWER	150M POT
41	HEMERICALLUS 'SINO' 'BRANNAH'S'	LENTIL BLOSSOM	150M POT
69	HEPETA 'FRASERI' 'DORADO'	HEPATICUM	150M POT
11	RUDBECKIA 'LUGDA' 'VAR. BULLIVANTH'	GOLDEN ROSE RUDBECKIA	150M POT
9	SEDUM 'AUTUMNOJOY'	AUTUMN JOY SEDUM	50M POT
408	ARCTOSTAPHYLOS 'UVARIANSIS' 'YAKHOUMER JADE'	YAKHOUMER	# POT, 20CM
76	GALATHEA 'SHALON'	SALAL	# POT, 20CM 60CM O.C.
34	PACHYSPORA 'TERRINALIS'	JAPANESE SPURGE	50M POT
340	POLY 'COLUMBIANUM'	WESTERN WOODRUFF	# POT, 20CM

NOTES: *PLANT SIZES IN THE LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. CONTAINER SIZES ARE SPECIFIED AS PER CANADA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. *REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. *SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. *AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND PRINCE GEORGE. *SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. *DEFINITION OF CONDITIONS OF AVAILABILITY: *ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. *ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE SOURCES. *NO-DIGGING NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

©Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.



Suite C100 - 4185 361 Creek Drive
Burnaby, B.C. V5A 4K6
p: 604-294-0011 f: 604-294-0022

SCALE:



NO.	DATE	REVISION DESCRIPTION	DR.
1	2023.05.12	ISSUE FOR PERMIT	WZ
2	2023.05.12	REVISED PERMIT	WZ
3	2023.05.12	REVISED PERMIT	WZ
4	2023.05.12	REVISED PERMIT	WZ
5	2023.05.12	REVISED PERMIT	WZ
6	2023.05.12	REVISED PERMIT	WZ
7	2023.05.12	REVISED PERMIT	WZ
8	2023.05.12	REVISED PERMIT	WZ
9	2023.05.12	REVISED PERMIT	WZ
10	2023.05.12	REVISED PERMIT	WZ

PROJECT:

55 UNIT TOWNHOUSES
9833-9991 LYNCEAN DRIVE
SURREY, BC

DRAWING TITLE:
SHRUB PLAN

DATE: MAY 12, 2023 DRAWING NUMBER:
SCALE: 1:50
DRAWN: WZ
DESIGN: WZ
CHECK: YR

L5

PMG PROJECT NUMBER: 23-092

© Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.

pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 9811 Creek Drive
Burnaby, British Columbia, V5C 6S8
P: 604-294-0011 F: 604-294-0022

SCALE:



NO.	DATE	REVISION DESCRIPTION	DR.
1	24.05.23	ISSUE FOR PERMIT	WZ
2	24.05.23	ISSUE FOR PERMIT	WZ
3	24.05.23	ISSUE FOR PERMIT	WZ
4	24.05.23	ISSUE FOR PERMIT	WZ
5	24.05.23	ISSUE FOR PERMIT	WZ
6	24.05.23	ISSUE FOR PERMIT	WZ
7	24.05.23	ISSUE FOR PERMIT	WZ
8	24.05.23	ISSUE FOR PERMIT	WZ
9	24.05.23	ISSUE FOR PERMIT	WZ
10	24.05.23	ISSUE FOR PERMIT	WZ
11	24.05.23	ISSUE FOR PERMIT	WZ
12	24.05.23	ISSUE FOR PERMIT	WZ
13	24.05.23	ISSUE FOR PERMIT	WZ
14	24.05.23	ISSUE FOR PERMIT	WZ
15	24.05.23	ISSUE FOR PERMIT	WZ
16	24.05.23	ISSUE FOR PERMIT	WZ
17	24.05.23	ISSUE FOR PERMIT	WZ
18	24.05.23	ISSUE FOR PERMIT	WZ
19	24.05.23	ISSUE FOR PERMIT	WZ
20	24.05.23	ISSUE FOR PERMIT	WZ
21	24.05.23	ISSUE FOR PERMIT	WZ
22	24.05.23	ISSUE FOR PERMIT	WZ
23	24.05.23	ISSUE FOR PERMIT	WZ
24	24.05.23	ISSUE FOR PERMIT	WZ
25	24.05.23	ISSUE FOR PERMIT	WZ
26	24.05.23	ISSUE FOR PERMIT	WZ
27	24.05.23	ISSUE FOR PERMIT	WZ
28	24.05.23	ISSUE FOR PERMIT	WZ
29	24.05.23	ISSUE FOR PERMIT	WZ
30	24.05.23	ISSUE FOR PERMIT	WZ
31	24.05.23	ISSUE FOR PERMIT	WZ
32	24.05.23	ISSUE FOR PERMIT	WZ
33	24.05.23	ISSUE FOR PERMIT	WZ
34	24.05.23	ISSUE FOR PERMIT	WZ
35	24.05.23	ISSUE FOR PERMIT	WZ
36	24.05.23	ISSUE FOR PERMIT	WZ
37	24.05.23	ISSUE FOR PERMIT	WZ
38	24.05.23	ISSUE FOR PERMIT	WZ
39	24.05.23	ISSUE FOR PERMIT	WZ
40	24.05.23	ISSUE FOR PERMIT	WZ
41	24.05.23	ISSUE FOR PERMIT	WZ
42	24.05.23	ISSUE FOR PERMIT	WZ
43	24.05.23	ISSUE FOR PERMIT	WZ
44	24.05.23	ISSUE FOR PERMIT	WZ
45	24.05.23	ISSUE FOR PERMIT	WZ
46	24.05.23	ISSUE FOR PERMIT	WZ
47	24.05.23	ISSUE FOR PERMIT	WZ
48	24.05.23	ISSUE FOR PERMIT	WZ
49	24.05.23	ISSUE FOR PERMIT	WZ
50	24.05.23	ISSUE FOR PERMIT	WZ
51	24.05.23	ISSUE FOR PERMIT	WZ
52	24.05.23	ISSUE FOR PERMIT	WZ
53	24.05.23	ISSUE FOR PERMIT	WZ
54	24.05.23	ISSUE FOR PERMIT	WZ
55	24.05.23	ISSUE FOR PERMIT	WZ

CLIENT:

PROJECT:

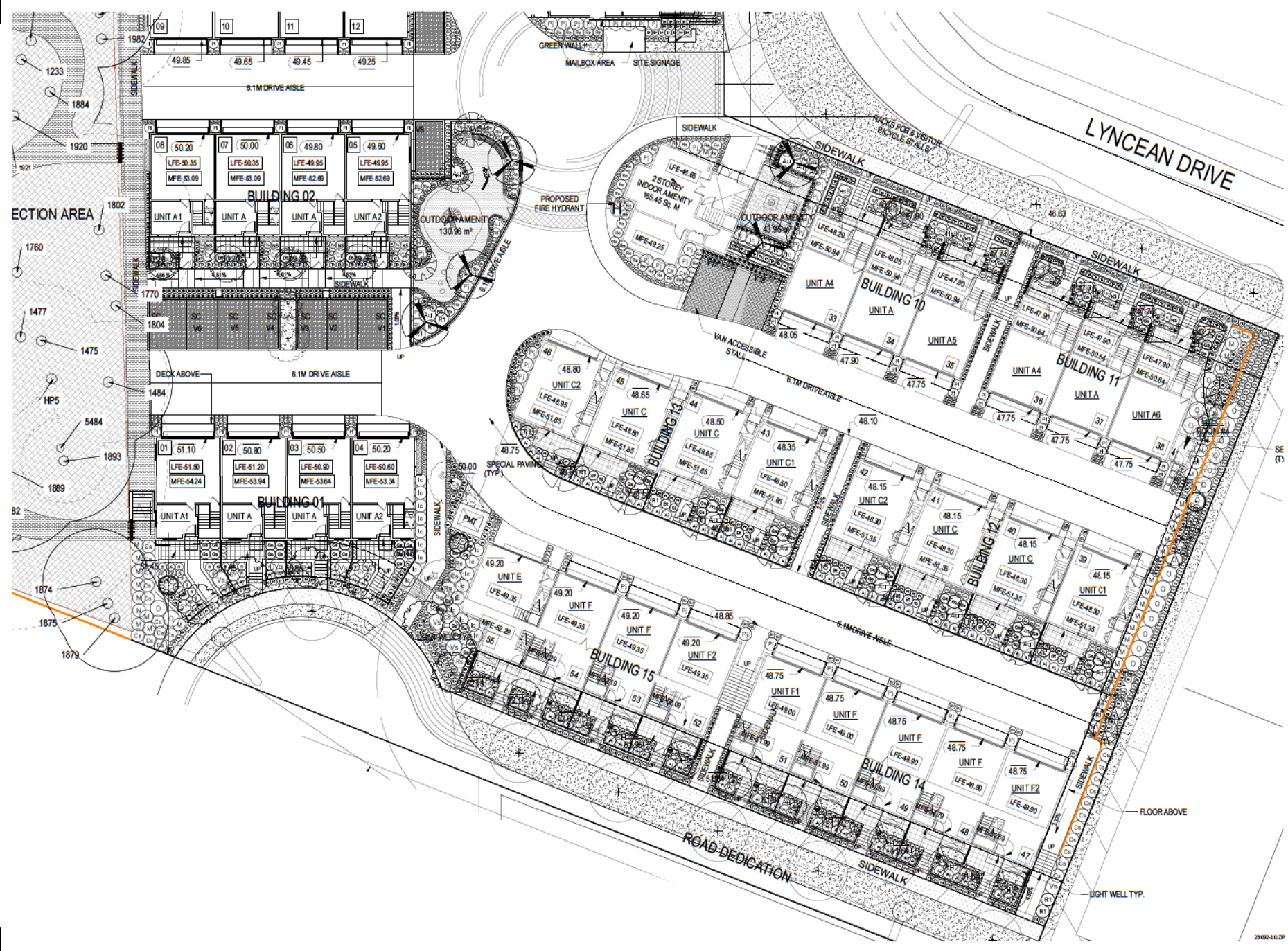
55 UNIT TOWNHOUSES
9833-9991 LYNCEAN DRIVE
SURREY, BC

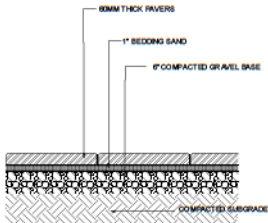
DRAWING TITLE:
SHRUB PLAN

DATE: MAY.22.2023 DRAWING NUMBER:
SCALE: 1:50
DRAWN: WZ
DESIGN: WZ
CHECKED: YR

L6
OF 8

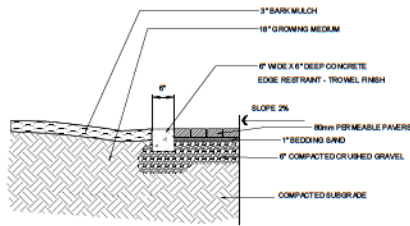
23-000-10-2P PMG PROJECT NUMBER: 23-092



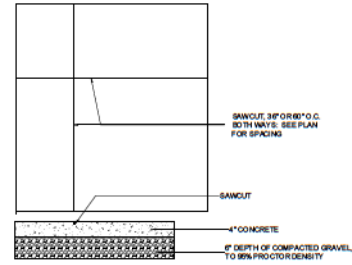


NOTE:
PAVERS TO BE INSTALLED TO MANUFACTURERS
SPECIFICATIONS

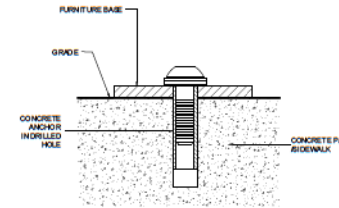
1 PAVERS ON GRADE
SCALE: 1:20



2 CONCRETE EDGE RESTRAINT
SCALE: 1:20

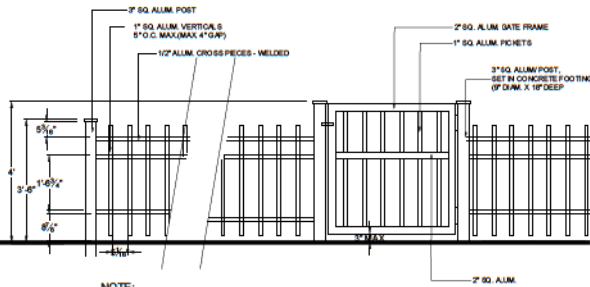


3 CONCRETE SAW CUTS
SCALE: 1:20



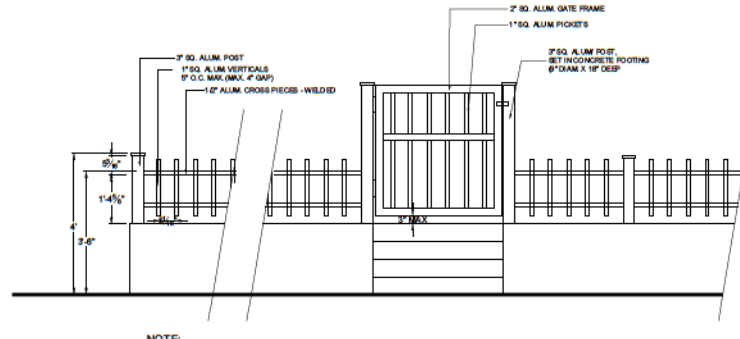
NOTE:
SITE FURNISHINGS TO BE INSTALLED TO
MANUFACTURERS SPECIFICATIONS

4 SITE FURNITURE MOUNTING
SCALE: N.T.S.



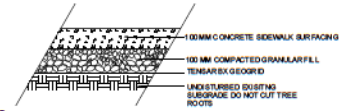
NOTE:
HEAVY DUTY HANDLE & HINGES
COLOUR OF FENCE TO MATCH THE BUILDING AND BE APPROVED BY LANDSCAPE ARCHITECT

5 3.5FT HT. METAL PICKET FENCE
SCALE: 1:20



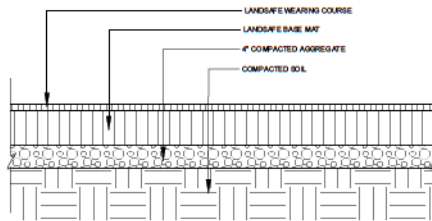
NOTE:
HEAVY DUTY HANDLE & HINGES
COLOUR OF FENCE TO MATCH THE BUILDING AND BE APPROVED BY LANDSCAPE ARCHITECT

6 3.5FT HT. METAL PICKET FENCE ON RETAINING WALL
SCALE: 1:20



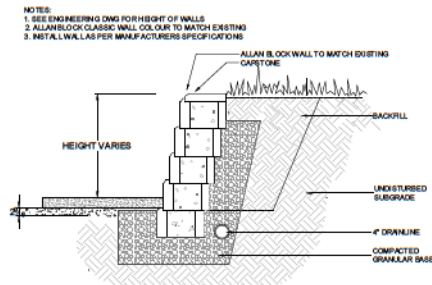
NOTE:
1. GEGRID PLACEMENT TO FOLLOW THE LAYOUT AS INDICATED ON THE CIVIL
PLANS AS REQUIRED TO PROTECT THE ROOTS OF THE RETAINED TREES.
2. IF THE EXISTING ROOT IS EXPOSED, CONTACT PROJECT ARCHITECT FOR
ASSISTANCE PRIOR TO PROCEEDING.

10 CONCRETE THROUGH TPZ
SCALE: 1:20



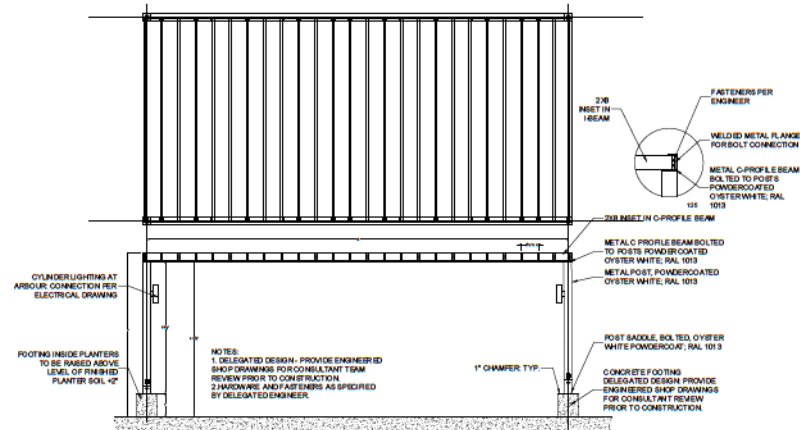
NOTES:
1. INSTALL RUBBER SURFACE AND EDGE PER
MANUFACTURERS SPECIFICATION
2. RUBBER DEPTH VARIES FROM 2\"/>

7 RUBBER PLAY SURFACE
SCALE: 1:10



NOTES:
1. SEE ENGINEERING DRAWING FOR HEIGHT OF WALLS
2. ALLAN BLOCK CLASSIC WALL COLOUR TO MATCH EXISTING
3. INSTALL WALLS PER MANUFACTURERS SPECIFICATIONS

8 ALLAN BLOCK WALL
SCALE: 1:20



NOTES:
1. DELEGATED DESIGN - PROVIDE ENGINEERED
ENGINEERING FOR CONSULTANT TEAM
REVIEW PRIOR TO CONSTRUCTION
2. HARDWARE AND FASTENERS AS SPECIFIED
BY DELEGATED ENGINEER.

9 TRELLIS
SCALE: 1:10

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.

1	24.03.24	UPDATE DRAWING WITH PLAN	WZ
2	24.03.24	REV W/S R/W	WZ
3	24.03.24	REV W/S R/W	WZ
4	24.03.24	REV W/S R/W	WZ
5	24.03.24	REV W/S R/W	WZ
6	24.03.24	REV W/S R/W	WZ
7	24.03.24	REV W/S R/W	WZ
8	24.03.24	REV W/S R/W	WZ
9	24.03.24	REV W/S R/W	WZ
10	24.03.24	REV W/S R/W	WZ
11	24.03.24	REV W/S R/W	WZ
12	24.03.24	REV W/S R/W	WZ
13	24.03.24	REV W/S R/W	WZ
14	24.03.24	REV W/S R/W	WZ
15	24.03.24	REV W/S R/W	WZ
16	24.03.24	REV W/S R/W	WZ
17	24.03.24	REV W/S R/W	WZ
18	24.03.24	REV W/S R/W	WZ
19	24.03.24	REV W/S R/W	WZ
20	24.03.24	REV W/S R/W	WZ

PROJECT:

55 UNIT TOWNHOUSES
9833-9991 LYNCAN DRIVE
SURREY, BC

DRAWING TITLE:
**LANDSCAPE
DETAILS**

DATE: MAY.12.2023 DRAWING NUMBER:
SCALE: AS SHOWN **L7**
DRAWN: WZ
DESIGN: WZ
CHK'D: YR OF 8

© Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.

pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 3611 Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604-294-0011 f: 604-294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			
21			
22			
23			
24			
25			
26			
27			
28			
29			
30			
31			
32			
33			
34			
35			
36			
37			
38			
39			
40			
41			
42			
43			
44			
45			
46			
47			
48			
49			
50			
51			
52			
53			
54			
55			
56			
57			
58			
59			
60			
61			
62			
63			
64			
65			
66			
67			
68			
69			
70			
71			
72			
73			
74			
75			
76			
77			
78			
79			
80			
81			
82			
83			
84			
85			
86			
87			
88			
89			
90			
91			
92			
93			
94			
95			
96			
97			
98			
99			
100			

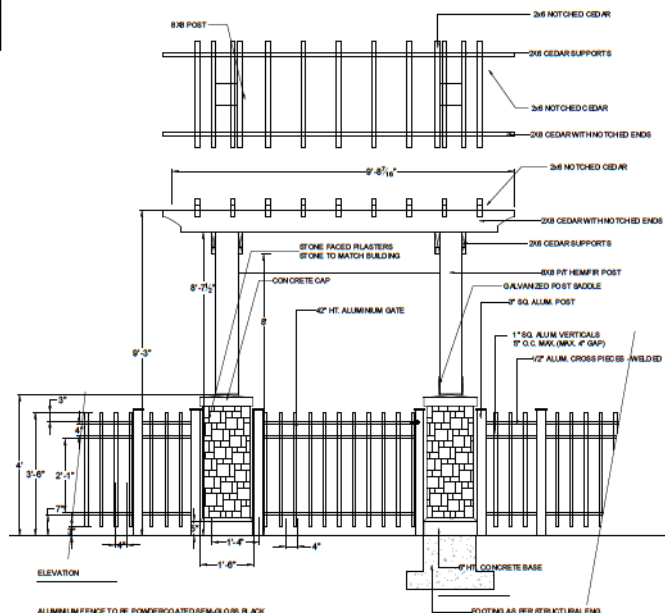
PROJECT:

55 UNIT TOWNHOUSES
9833-9991 LYNCAN DRIVE
SURREY, BC

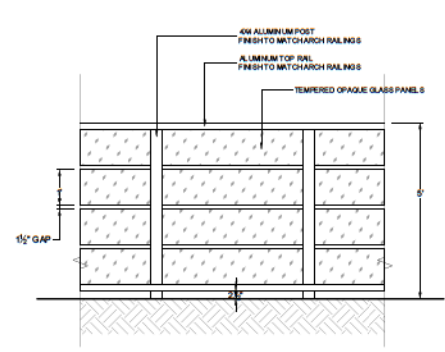
DRAWING TITLE:
DETAILS

DATE: MAY 12 2023 DRAWING NUMBER:
SCALE: AS SHOWN
DRAWN: WZ
DESIGN: WZ
CHK'D: YR OF 8

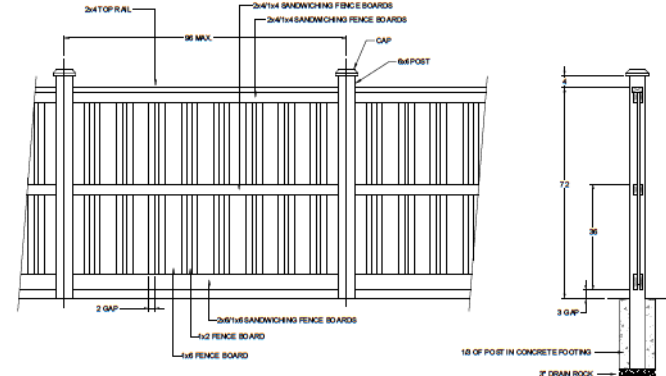
2100-10-2P PMG PROJECT NUMBER: 23-092



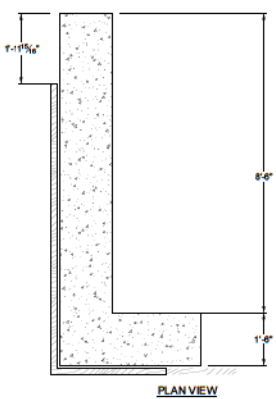
1 ENTRY TRELLIS WITH 42" HT. STREETSCAPE FENCE
SCALE 1/8"



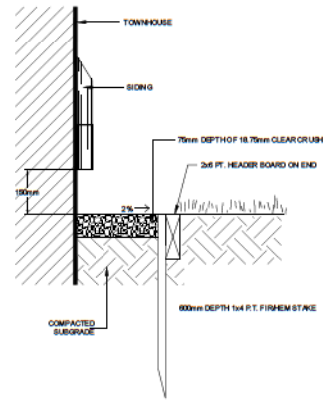
2 5' OPAQUE GLASS FENCE SCREENING
SCALE 1/32"



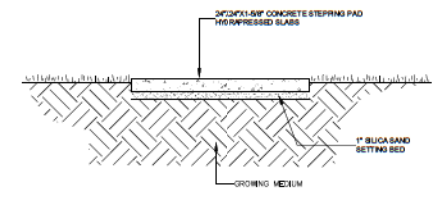
3 6' HT. PREMIER WOOD FENCE
SCALE 1/32"



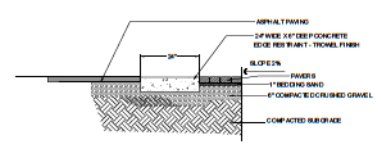
PLAN VIEW



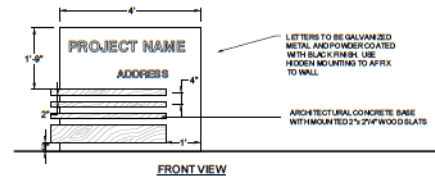
6 GRAVEL DRAIN STRIP
SCALE 1/16"



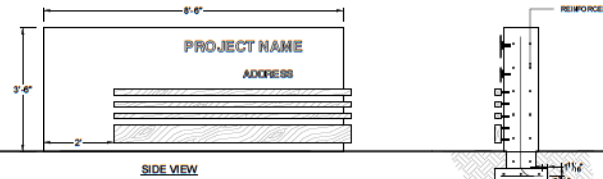
7 CONCRETE STEPPING STONE
SCALE 1/16"



4 CONCRETE EDGE RESTRAINT
SCALE 1/8"



FRONT VIEW



SIDE VIEW

5 PROJECT SIGN
SCALE 1/32"



INTER-OFFICE MEMO

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Manager, Development Services, Engineering Department**

DATE: **October 15, 2024**

PROJECT FILE: **7823-0214-00**

RE: **Engineering Requirements**
Location: 9883 Lyncean Dr

OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment/NCP Amendment/ALR Exclusion.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Register 0.5m SRW along development frontages.
- Dedicate 2.5m along north-south portion of Lyncean Dr.
- Dedicate 6.5m along Huckleberry Dr.

Works and Services

- Construct Lycean Dr along the side fronting the development.
- Construct 4.0m MUP north of the new Greenway connection along Barnston Dr East.
- Construct north side of Huckleberry Dr.
- Provide adequately sized storm, sanitary and water service connection to each lot.
- Provide downstream catchment analyses for drainage to confirm capacities, and address any constraints as required.
- Register RC for on-site sustainable drainage features.
- Register RC for onsite sanitary pumping (if required).

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit/ Development Variance Permit.

Jeff Pang, P.Eng.
 Manager, Development Services

NOTE: Detailed Land Development Engineering Review available on file

Department: **Planning and Demographics**
Date: **July 30, 2024**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **23-0214**

The proposed development of **55** Townhouse units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	48
---	----

Projected Number of Students From This Development In:	
Elementary School =	26
Secondary School =	14
Total Students =	40

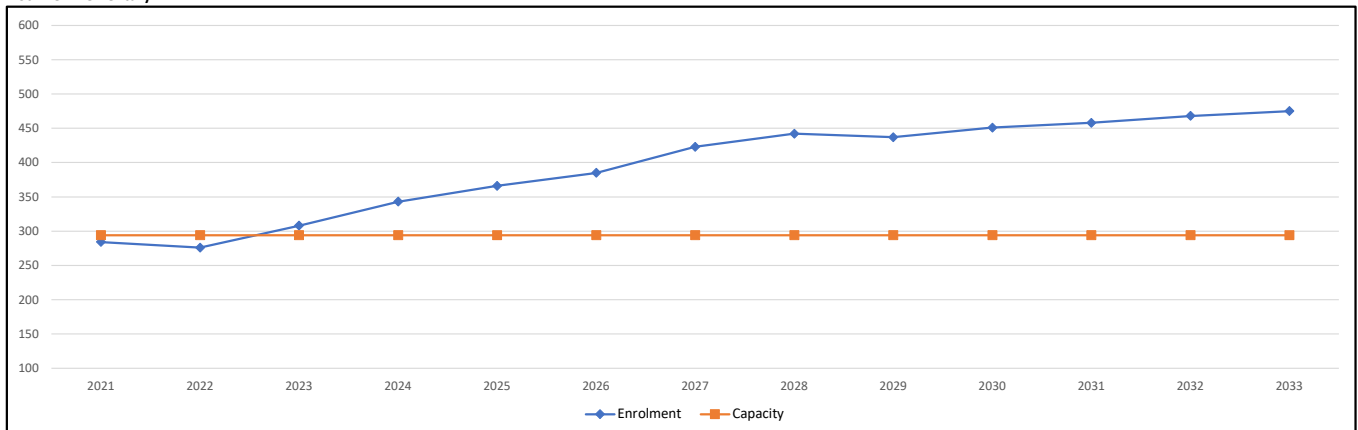
Current Enrolment and Capacities:	
Bothwell Elementary	
Enrolment	308
Operating Capacity	294
# of Portables	2
Fraser Heights Secondary	
Enrolment	1597
Operating Capacity	1200
# of Portables	12

Summary of Impact and Commentary
The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

As of September 2023, Bothwell is at 105% capacity. 10 year enrolment projections show continued growth with the build out of the Abbey Ridge land use plan area. As part of the 2024/2025 Capital Plan the District is requesting a new site in the new Abbey Ridge area. There has been no Ministry funding approval for this project to date. Until then, enrolment growth at Bothwell will be accommodated by portables.

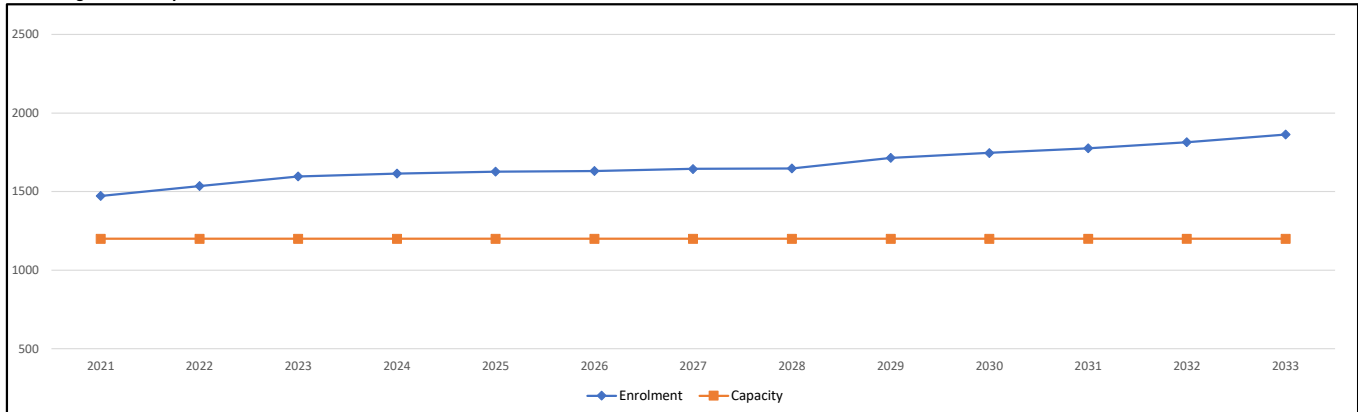
As of September 2023, Fraser Heights is currently operating at 133% capacity. It is the only secondary school that serves the communities north of Highway 1. The school's 10 year projections show enrolment to continue at this level and potentially grow as the Bothwell and Abbey Ridge communities start to build out. As a result, the District has requested as part of their 2025/2026 Capital Plan submission to the Ministry a 500 capacity addition for the school, targeted to open in 2029. There has been no Ministry funding approval for this project.

Bothwell Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Fraser Heights Secondary




Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population: The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

3.3 Replacement Tree Requirements

Surrey File Number: no: 23-092
 Address: 9883, 9897, 9911 Lyncean Drive, Surrey, BC
 Arborist: Kelly Koome
 Date of Report/Revision: Sept 19, 2024
 Arborist Signature: 

*All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the Arborist Report

Table 2: Tree Preservation by Location

	<u>Alder & Cottonwood Trees</u>		
	Existing	Remove	Retain
Alder/Cottonwood (outside riparian area)	15	8	7
Alder/Cottonwood (within riparian area)	N/A	N/A	N/A
Total	15	8	7
<u>Deciduous Trees</u> (excluding Alder & Cottonwood Trees)			
Tree Species	Existing	Remove	Retain
Flowering cherry	1	0	1
Apple	2	0	2
Plum	1	1	0
Deciduous Subtotal	4	1	3
<u>Coniferous Trees</u>			
Tree Species	Existing	Remove	Retain
Western redcedar	121	81	40
Douglas-fir	10	8	2
Deodar cedar	1	1	0
Hinoki cypress	1	1	0
Western hemlock	4	3	1
Coniferous Subtotal	137	94	43
Deciduous & Coniferous Total	141	95	46
Onsite Tree Totals	156 + 7 DEAD STANDING	103	53
Onsite Replacement Trees Proposed <small>*insert "0" if TBD or unknown</small>		113	
Total Onsite Retained and Replacement Trees		166	

ONSITE



Alder & Cottonwood Trees					
	Existing	Remove	Retain		
OFFSITE	Alder/Cottonwood (outside riparian area)	N/A	N/A	N/A	
	Alder/Cottonwood (within riparian area)	N/A	N/A	N/A	
	Total	0	0	0	
	Deciduous & Coniferous (excluding Alder & Cottonwood Trees)				
	Tree Species	Existing	Remove	Retain	
		1	1	0	
	Deciduous & Coniferous Total	1	1	0	
	Offsite Tree Totals	1	1	0	
Total Offsite Retained Trees			0		
CITY		Existing	Remove	Retain	
	Park/City Lot Trees	35	25	10	
	Boulevard Trees	12	0	12	
	Total	Numbers in Table 1 go up to C46 but there is a C9B, making the total 47	25	22	



Table 3: Tree Preservation Summary

<u>ONSITE TREES</u>				<u># of Trees</u>
Existing Bylaw Trees				<u>156</u>
Proposed Removed Bylaw Trees				<u>103</u>
Proposed Retained Bylaw Trees				<u>53</u>
Total Replacement Trees Required				
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio				
	Removed		Subtotal	
	8	x 1	1	
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio				
	Removed		Subtotal	
	0	x 2	0	
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio				
	Removed		Subtotal	-
	103	x 2	206	
Required Replacement Trees				<u>207</u>
Proposed Replacement Trees				<u>0</u>
Deficit of Replacement Trees				<u>0</u>
Total Onsite Retained and Replacement Trees				<u>0</u>
<u>OFFSITE TREES</u>				<u># of Trees</u>
Existing Bylaw Trees				<u>1</u>
Proposed Removed Bylaw Trees				<u>1</u>
Proposed Retained Bylaw Trees				<u>0</u>
Total Replacement Trees Required				
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio				
	Removed		Subtotal	
	0	x 1	0	
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio				
	Removed		Subtotal	
	0	x 2	0	
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio				
	Removed		Subtotal	
	1	x 2	2	
Required Replacement Trees				<u>2</u>
*To be taken as cash-in-lieu				
Total Offsite Retained Trees				<u>0</u>



<u>CITY TREES</u>	<u>Existing</u>	<u>Removed</u>	<u>Retained</u>
Park/City Lot Trees	35	25	10
Boulevard Trees	12	0	12
Total	47	25	22





Barnston-Dr E

Lyncean Dr

177B St

Huckleberry Dr

“LAP Amendment to
“Townhouse 15-20 UPA Gross”
and “City Greenway”
to allow for the proposed
townhouse form and greenway.”

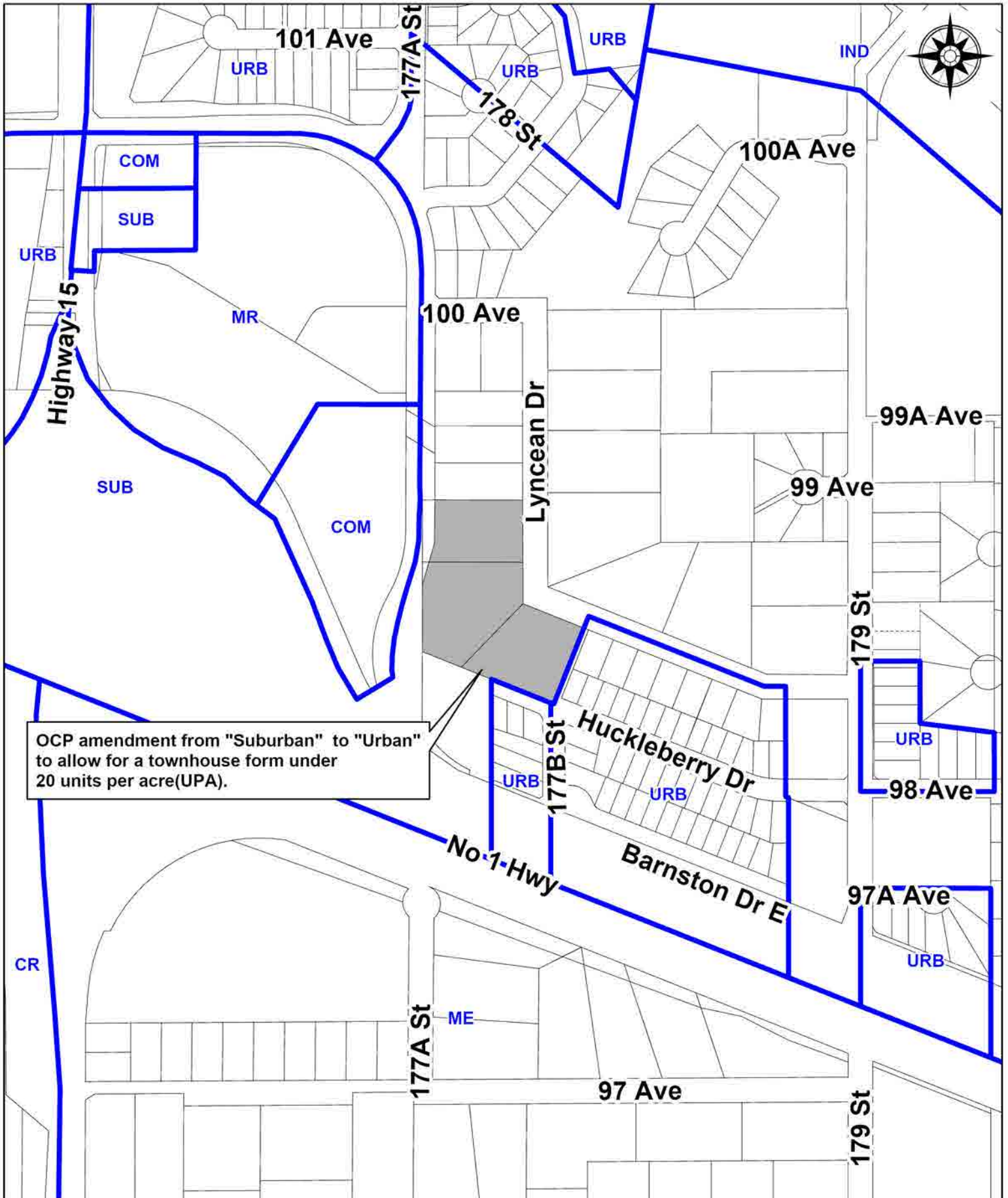
No-1-Hwy



LAP Amendment 23-0214-00

to “Townhouse 15-20 UPA Gross” and “City Greenway”
to allow for the proposed townhouse form and greenway.”





OCP amendment from "Suburban" to "Urban" to allow for a townhouse form under 20 units per acre (UPA).

