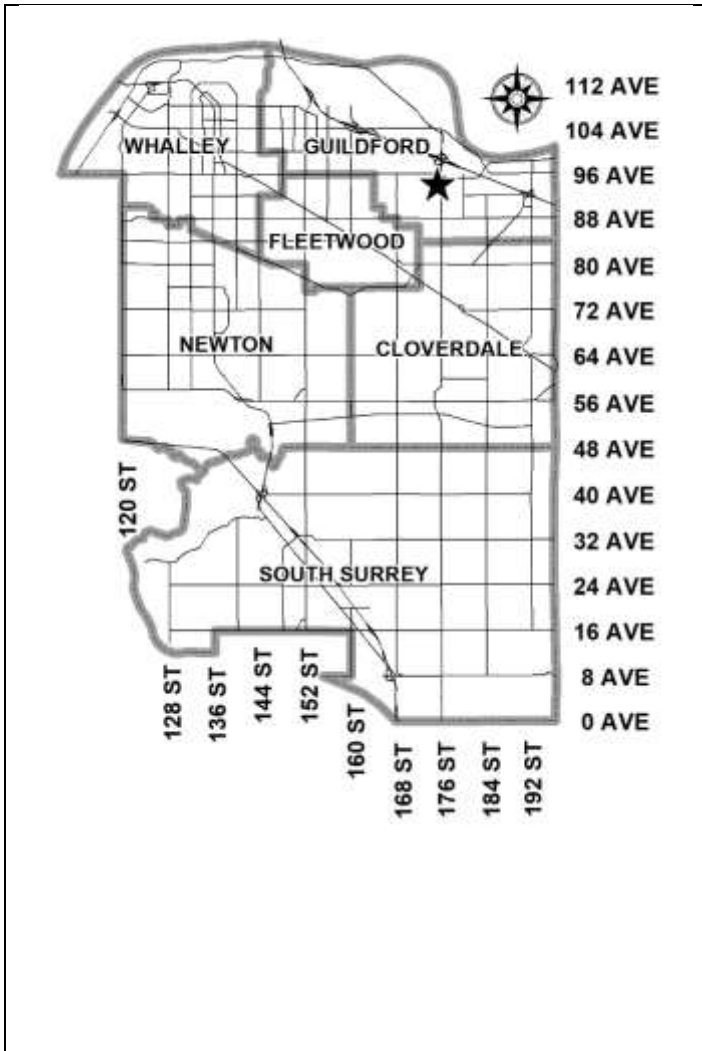


**City of Surrey
PLANNING & DEVELOPMENT REPORT**

Application No.: 7923-0121-00

Planning Report Date: July 08, 2024



PROPOSAL:

- **OCP Amendment** to Figure 3: General Land Use Designations from Commercial and Urban to Multiple Residential for the western portion of the site.
- **OCP Text Amendment** to permit a higher density under the Multiple Residential designation.
- **NCP Text Amendment** to permit a higher density under the Low Rise Residential - Type II designation.
- **Rezoning** from RA to CD (based on RM-70).
- **Development Permit** for Form & Character and Sensitive Ecosystems (Green Infrastructure).

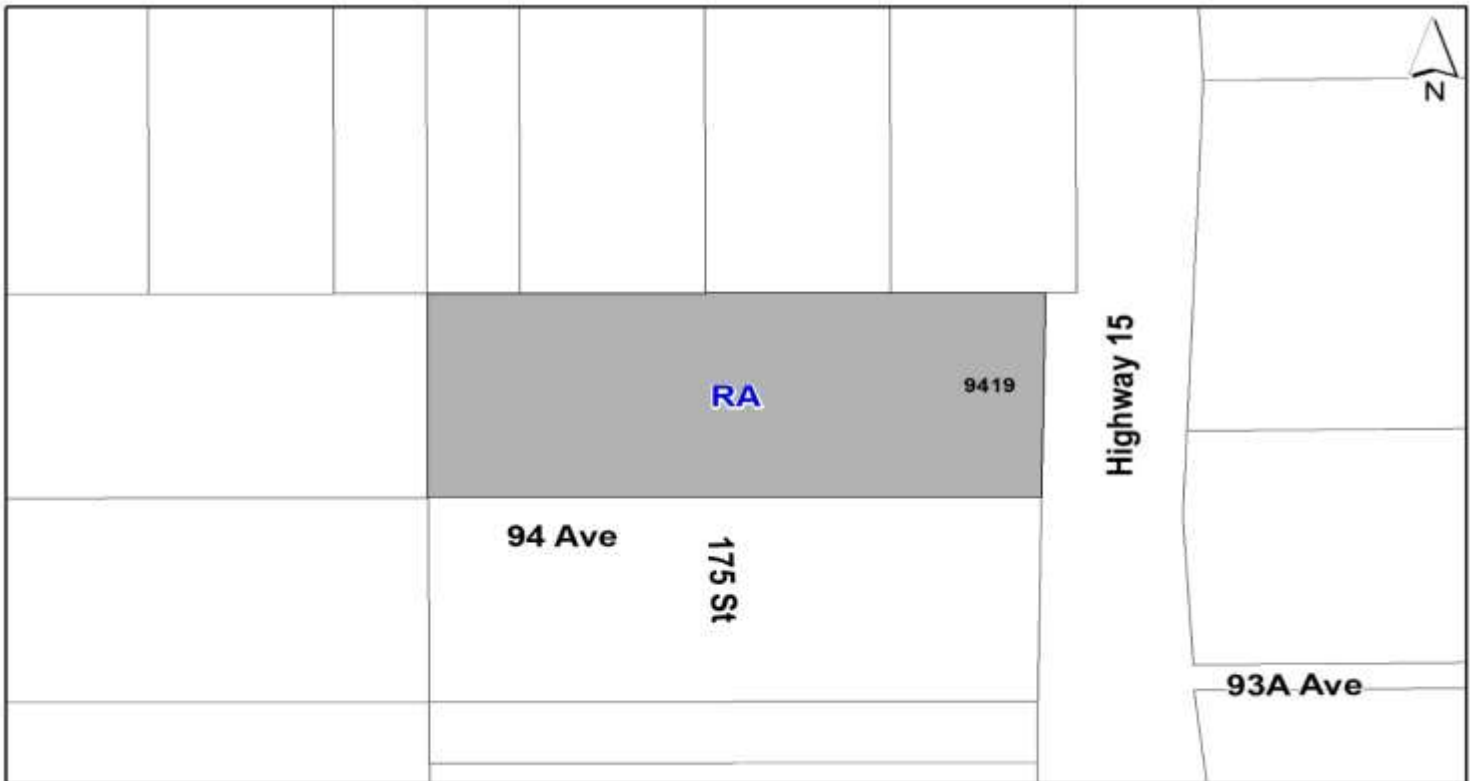
to permit the development of four, 6-storey residential apartment buildings.

LOCATION: 9419 – 176 Street

ZONING: RA

OCP DESIGNATION: Multiple Residential, Commercial, Urban

NCP DESIGNATION (Stage 1): Low Rise Residential - Type II & Landscape Buffer



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for an OCP Amendment, OCP Text Amendment, and Rezoning.
- Approval to draft Development Permit for Form and Character and Sensitive Ecosystems (Green Infrastructure Network).

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) from Commercial and Urban to Multiple Residential for a portion of the site.
- Proposing an OCP Text Amendment to increase the allowable density under the Multiple Residential Designation from 2.5 FAR to 2.57 FAR (net density).
- Seeking an amendment to the Stage 1 Anniedale-Tynehead NCP Amendment approved under Corporate Report R193 (November 2023) to permit a site-specific net density of 2.57 FAR.

RATIONALE OF RECOMMENDATION

- The proposal complies with the “General Urban” designation in the Metro Vancouver *Regional Growth Strategy* (RGS).
- The proposal generally complies with the “Multiple Residential” designation in the Official Community Plan (OCP), which supports densities up to 2.5 FAR, where specifically noted in an approved Secondary Plan area, but will require a text amendment to permit the proposed density of 2.57 FAR (Net).
- The proposal generally complies with the “Low Rise Residential - Type II” designation in the Stage 1 Anniedale-Tynehead NCP Amendment approved under Corporate Report R193 (November 2023) but will require a text amendment to permit the proposed density of 2.57 FAR (Net).
- The proposal generally complies with the Development Permit requirements in the OCP for Form and Character and Sensitive Ecosystems (Green Infrastructure Network).
- The proposed density and building form are appropriate for this part of the Anniedale – Tynehead Neighbourhood Concept Plan, which permits up to 6-storey apartment buildings.
- The proposed setbacks achieve a more urban, pedestrian-oriented streetscape in compliance with the Anniedale-Tynehead Neighbourhood Concept Plan (NCP), and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.
- The proposed building achieves an attractive architectural built form, which utilizes high quality materials and contemporary lines. The street interface has been designed to a high

quality to achieve a positive urban experience between the proposed building and the public realm.

- The applicant is proposing to set aside 1,066 sq. m. (0.26-acre) of the western portion of the subject site for open space (GIN Corridor) purposes.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to amend the OCP Figure 3: General Land Use Designations for a portion of the subject site from Commercial and Urban to Multiple Residential and a date for Public Hearing be set.
2. A Bylaw be introduced to amend the OCP, 'Table 7A: Land Use Designation Exceptions', by adding the following site-specific notation:

"Bylaw No.	Land Use Designation	Site Specific Property	Site Specific Permission
Bylaw # xxxxx	Multiple Residential	9419 - 176 Street	Density permitted up to 2.57 FAR (Net)"

and a date be set for Public Hearing.

3. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
4. A By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)", and a date be set for Public Hearing.
5. Council authorize staff to draft Development Permit No. 7923-0121-00 generally in accordance with the attached drawings (Appendix I) and the finalized Ecosystem Development Plan.
6. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision plan to the satisfaction of the Approving Officer;
 - (c) Approval from the Ministry of Transportation & Infrastructure;
 - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (e) review of the project by the Advisory Design Panel and resolution of design comments to the satisfaction of the General Manager, Planning & Development Department;
 - (f) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;

- (g) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (h) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (i) submission of a finalized Ecosystem Development Plan and Impact Mitigation Plan to the satisfaction of City staff;
 - (j) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (k) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption;
 - (l) registration of a right-of-way for public rights-of-passage for the area between the building face and the street edges;
 - (m) registration of access easements to ensure access to the proposed shared parking and amenity facilities within the development;
 - (n) submission of an acoustical report for the units adjacent to 176 Street (Highway No. 15) and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
 - (o) registration of a Section 219 Restrictive Covenant requiring increased east side yard setbacks for a landscape buffer along 176 Street (Highway No. 15);
 - (p) registration of a Section 219 Restrictive Covenant for installation and maintenance of the landscape buffer;
 - (q) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department; and
 - (r) registration of a Section 219 Restrictive Covenant to restrict development to be in accordance with the finalised and accepted lot grading plan for the site.
7. Council pass a resolution to amend the Stage 1 Anniedale-Tynehead Neighbourhood Concept Plan Amendment, approved under Corporate Report R193 (November 2023), to increase the density under the Low Rise Residential – Type II designation from 2.0 FAR (net density) to 2.57 FAR (net density) as shown in Appendix V, when the project is considered for final adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Vacant, treed site. BCS wildlife corridor traverses the west portion of the site.	Low Rise Residential – Type II and Landscape Buffer	RA
North:	Vacant, treed sites.	Low Rise Residential – Type II and Landscape Buffer	RA
East (Across 176 Street):	5.7-hectare lot with a single-family dwelling and accessory buildings.	High Density Residential and Landscape Buffer	RA
South (Across future east/west road):	Vacant, treed site.	School and Trail	RA
West (Across future north/south road):	Vacant, treed sites.	Low Rise Residential – Type I, Townhouse, Park and Trail	RA

Context & Background

- The subject site is located at 9419 - 176 Street and is approximately 1.93 hectares in size and zoned One-Acre Residential Zone (RA). The western portion of the lot is designated Commercial and Urban in the Official Community Plan (OCP), while the remaining portion is designated Multiple Residential.
- A ditch runs along the east frontage, while a Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) corridor runs along the western edge of the property.
- The subject site is located within the Anniedale-Tynehead Neighbourhood Concept Plan (NCP), which was granted Stage 2 approval by Council in 2012.
- In July 2022, under Corporate Report R156, Council endorsed a Stage 1 Land Use Concept for a portion of the Anniedale-Tynehead NCP (i.e., the West Amendment Area), which includes changes to land uses, the transportation network, and parks and open spaces. The subject site falls within the West Amendment Area.
- On November 20, 2023, Council endorsed an updated version of the Stage 1 Land Use Concept under Corporate Report No. R193. The current proposal on the subject site is based on this updated plan, with some minor amendments proposed by the applicant.
- Under the updated Stage 1 Land Use Concept, the subject site is designated “Low Rise Residential - Type II” and “Landscape Buffer” (see Appendix V).
- The applicant proposes four, 6-storey apartment buildings on the subject property, and will provide road dedications as required, including a 12-metre portion of the new east/west road that runs between the subject lot and the lot to the south at 9375 - 176 Street (designated for a future school). Through future redevelopment in the area, this new east/west road will ultimately connect to 173A street to the west, and cross (via a new overpass) over 176 Street (Highway No. 15) to the east.

- To facilitate the future potential phasing of the project, the applicant has proposed the subdivision of the site into three (3) lots. One (1) lot is a future open space (green infrastructure network) lot. The other two (2) lots (proposed Lots A and B) will each contain two (2) six-storey residential market strata apartment buildings. The applicant anticipates that there will be one strata for each development lot with a reciprocal access easement for parking and shared amenity space purposes.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes the following to permit the development of four, 6-storey market residential apartment buildings:
 - OCP Amendment** to Figure 3: General Land Use Designations from Commercial and Urban to Multiple Residential for the western portion of the site (Appendix VI).
 - OCP Text Amendment** to permit a higher density under the Multiple Residential designation.
 - NCP Text Amendment** to permit a higher density under the Low Rise Residential - Type II designation.
 - Rezoning** the subject site from RA to CD (based on RM-70).
 - Development Permit** for Form & Character and Sensitive Ecosystem (Green Infrastructure Network).
 - Subdivision** from one (1) lot into three (3) lots.
- The project statistics are as follows:

Project Statistics	Proposed
Lot Area	
Gross Site Area:	19,339 sq.m.
Road Dedication:	4,289 sq.m.
GIN Corridor:	1,066 sq. m.
Net Site Area:	13,984 sq.m.
Number of Lots:	2 (plus 1 lot for open space purposes)
Building Height:	6 storeys (19.8-metres)
Floor Area Ratio (FAR):	2.57 (Net, Blended)
Site Coverage:	46.5%
Floor Area	
Residential:	35,401 sq.m.
Childcare:	276 sq.m.
Indoor Amenity:	1,428 sq.m.
Total:	37,106 sq.m.
Residential Units:	
Studio:	27
1-Bedroom & 1-Bedroom + Den:	297
2-Bedroom & 2-Bedroom + Den:	130
3-Bedroom:	35
Total:	489

Referrals

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
School District:	<p>The School District has advised that there will be approximately 77 school-age children generated by this development, of which the School District has provided the following expected student enrollment.</p> <p>44 students at Serpentine Heights Elementary School 20 students at North Surrey Secondary School</p> <p>(Appendix III)</p> <p>Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.</p> <p>The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by autumn of 2028.</p>
Parks, Recreation & Culture:	<p>Unless otherwise approved by Parks Staff, native vegetation and existing grades within the GIN lot is to remain intact where possible.</p> <p>Fire and maintenance access cannot rely on crossing parkland to reach the front doors of ground floor units adjacent to the parkland.</p> <p>Future active parkland is proposed across the street from the development as a part of the Anniedale-Tynehead Neighbourhood Concept Plan (NCP). The future park will include natural areas.</p>
Ministry of Transportation & Infrastructure (MOTI):	The Ministry of Transportation & Infrastructure has no concerns with the proposed development. However, no direct access will be permitted to Highway 15 (176 Street), and a Traffic Impact Assessment will be required prior to Final Adoption.
Surrey Fire Department:	The Surrey Fire Department have no concerns with the proposed development; however, there are some standard items to be addressed as part of the subsequent Building Permit application.

Advisory Design Panel: At the Regular Council – Land Use meeting on December 18, 2023, Council endorsed Corporate Report No. R214 (2023) which amended the Terms of Reference of the City’s Advisory Design Panel (ADP) which permits multi-family development proposals, to proceed to Council for By-law introduction, prior to review and/or comment from the ADP, provided that the proposal is generally supported by City staff.

The subject development proposal is generally supported by City staff and the applicant has agreed to resolve any outstanding items, identified by the ADP, to the satisfaction of the Planning and Development Department, prior to consideration of Final Adoption of the Rezoning By-law as well as issuance of the Development Permit.

Transportation Considerations

Road Network and Infrastructure

- The applicant is required to provide the following road dedication and improvements as part of the subject development proposal:
 - Dedicate and construct 94A Avenue to the local road standard.
 - Dedicate and construct 174 Street to the collector road standard.
 - Dedicate and construct Anniedale Road to the collector road standard.

Access and Parking

- Vehicular access to the site and underground parkades will only be permitted from 94A Avenue.
- The applicant requires offsite roads and works beyond the site frontage to be completed prior to securing access to the subject site.
- No access to 174 Street, Anniedale Road, or 176 Street will be permitted.
- Parking to be provided as per By-law rates.

Traffic Impacts

- The subject development proposal is, according to industry standard rates, anticipated to generate approximately two (2) vehicle trips every one (1) to two (2) minutes in peak hour.
- A site-specific transportation impact analysis was not required as the proposal generally complies with the Anniedale-Tynehead Plan designation. The anticipated land-use and density on the subject site are being taken into account as part of the transportation impact analysis for the overall Plan area, which is to be completed as part of Stage 2.

Transit and Active Transportation Routes

- The subject site is located approximately 250-metres from the south of the Golden Ears Greenway which runs east-west along Golden Ears way and into Tynehead Regional Park and beyond.

Parkland and/or Natural Area Considerations

- The western portion of the subject site is transected by Green Infrastructure Network (GIN) Corridor #120 which runs in a north-south trajectory from Tynehead Regional Park to the Agricultural Land Reserve (ALR). The intent of this GIN is to establish a movement corridor for wildlife, and to preserve high-quality remnant forest patches identified on this site in the Madrone Environmental Services Report dated September 25, 2009.
- The mechanism for acquiring the GIN Corridor through development is still to be determined through the Stage 2 planning process and may include a development levy on lands within the Anniedale-Tynehead West Amendment Lands, a density transfer mechanism, or a combination of these approaches.
- The applicant is proposing to set aside 1,066 sq. m. (0.26-acre) of the western portion of the subject site for open space (GIN Corridor) purposes.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposed development complies with the “General Urban” designation of the subject site under the Metro Vancouver 2050 *Regional Growth Strategy* (RGS).

Official Community Plan

Land Use Designation

- The subject site is split designated “Commercial”, “Urban” and “Multiple Residential” in the Official Community Plan (OCP). The “Multiple Residential” designation permits a maximum density of up to 2.5 FAR where specifically noted in an approved Secondary Plan Area. The “Commercial” designation permits a maximum density of up to 2.0 FAR where specifically noted in an approved Secondary Plan Area. The “Urban” designation permits a maximum density of 72 units per hectare within approved Secondary Plan Areas.
- The applicant is proposing to amend the OCP to redesignate the “Commercial” and “Urban” portions of the site to “Multiple Residential” to remain in keeping with the form and use of the development.
- The applicant is also proposing an OCP Text Amendment to permit a blended density up to 2.57 FAR (Net) in the “Multiple Residential” designation.
- The proposed development will be subject to both Tier 1 and Tier 2 Capital Plan Project CACs.

Amendment Rationale

- The proposed density and building form are appropriate for, and anticipated within, this part of the Anniedale-Tynehead NCP, and form part of an emerging medium-density, mixed-use precinct that will act as the heart of the plan area.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation, as described in the Community Amenity Contribution section of this report.

Public Consultation for Proposed OCP Amendment

- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations, or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
 - Growth Management:
 - Accommodating urban land development in comprehensively planned new neighbourhoods within approved secondary plan areas.
 - Receive and process land development applications for rezonings, Development Permits or subdivisions, only after Stage 1 of a Neighbourhood Concept Plan is approved. Final approval of development applications that are consistent with the Neighbourhood Concept Plan, will only be considered after Stage 2 of the NCP is approved and only as is consistent with the procedures outlined in the Implementation Section of this Official Community Plan.
 - Centres, Corridors, and Neighbourhoods:
 - Implement high architectural and urban design standards to create both socially and environmentally sustainable high-density development, with a unique blend of safe, beautiful, active, and vibrant interconnected and publicly accessible spaces.

Secondary Plans

Land Use Designation

- Under the Anniedale-Tynehead Neighbourhood Concept Plan (Stage 1), the subject site is split designated into “Low Rise Residential - Type II” and “Landscape Buffer”. The proposal generally complies with this designation.
- The applicant is proposing an NCP Text Amendment to permit a blended density up to 2.57 FAR (Net) in the “Low Rise Residential - Type II” designation.

Amendment Rationale

- The proposed density and building form are appropriate for, and anticipated within, this part of the Anniedale-Tynehead NCP, and form part of an emerging medium-density, mixed-use precinct that will act as the heart of the plan area.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.

CD By-law

- The applicant proposes to rezone the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Multiple Residential 70 Zone (RM-70)" and parking requirements.

RM-70 Zone (Part 24)	Permitted and/or Required	Proposed CD Zone
Density and Coverage - Block A (East)		
Floor Area Ratio:	1.50	2.46
Lot Coverage	33%	46%
Density and Coverage - Block B (West)		
Floor Area Ratio:	1.50	2.70
Lot Coverage	33%	48%
Yards and Setbacks - Block A (East)		
Front Yard (North):	7.5 m	5.5 m
Side Yard (North):	7.5 m	7.5 m
Side Yard (West)	7.5 m	10.0m
Street Side Yard (East):	7.5 m	13.0 m
Rear Yard (South):	7.5 m	6.0 m
Yards and Setbacks - Block B (West)		
Front Yard (North):	7.5 m	5.5 m
Side Yard (West):	7.5 m	5.5 m
Rear Yard (South):	7.5 m	6.0 m
Side Yard (East):	7.5 m	10.0 m
Height of Buildings – Block A (East)		
Principal buildings:	50.0 m	20.0 m
Height of Buildings – Block B (West)		
Principal buildings:	50.0 m	19.0 m
Permitted Uses - Block A (East)	<ul style="list-style-type: none"> • Multiple Unit Residential Buildings. • Ground-Oriented Multiple Unit Residential Buildings. • Child Care Centres. 	<ul style="list-style-type: none"> • Multiple Unit Residential Buildings. • Ground-Oriented Multiple Unit Residential Buildings.

RM-70 Zone (Part 24)	Permitted and/or Required	Proposed CD Zone
Permitted Uses - Block B (West)	<ul style="list-style-type: none"> • Multiple Unit Residential Buildings. • Ground-Oriented Multiple Unit Residential Buildings. • Child Care Centres. 	<ul style="list-style-type: none"> • Multiple Unit Residential Buildings. • Child Care Centres. • Ground-Oriented Multiple Unit Residential Buildings.
Amenity Space - Block A (East)		
Indoor Amenity:	3.0 sq.m. per dwelling unit; and 4.0 sq. m. per micro unit.	The proposed 769 sq. m. and CIL meets the Zoning By-law requirement.
Outdoor Amenity:	3.0 sq.m. per dwelling unit; and 4.0 sq. m. per micro unit.	950 sq. m.
Amenity Space - Block B (West)		
Indoor Amenity:	3.0 sq.m. per dwelling unit; and 4.0 sq. m. per micro unit.	The proposed 659 sq. m. and CIL meets the Zoning By-law requirement.
Outdoor Amenity:	3.0 sq.m. per dwelling unit; and 4.0 sq. m. per micro unit.	836 sq. m.
Parking (Part 5)	Required	Proposed
Number of Stalls - Block A (East)		
Residential:	358	Per Zoning By-law.
Residential Visitor:	52	
Small Car (35% of total permitted):	143	
Standard Accessible:	4	
Van Accessible:	4	
Residential Total:	410	
Bicycle Spaces - Block A (East)		
Residential Visitor:	12 (6 per building)	Per Zoning By-law.
Residential:	319	
Number of Stalls - Block B (West)		
Residential:	312	Per Zoning By-law.
Residential Visitor:	46	
Child Care Employee:**	6	
Child Care Drop Off:**	6	
Child Care & Residential Total:	370	
Small Car (35% of total permitted):	133	
Standard Accessible:	4	Per Zoning By-law.
Van Accessible:	4	
Bicycle Spaces - Block B (West)		
Residential Visitor:	12 (6 per building)	Per Zoning By-law.
Residential:	274	

***The applicant has indicated that the childcare centre will accommodate 42 children with 8 employees.*

- Densities within the Anniedale-Tynehead NCP are calculated based on the net site area, after dedications for roadways or other public purposes are accounted for. The 1,066 sq. m. GIN/open space lot is intended to be acquired by the City; therefore, this area has been excluded from the developable area of the site. The landscape buffer is proposed to be conserved and maintained by the future strata for the two buildings on Lot A and has been included in net site area of that lot.
- The two proposed 6-storey apartment buildings on proposed Lot A (Block A, east) will have a FAR of 2.46 (Net) which generally complies with the “Low Rise Residential - Type II” designation in the Stage 1 Anniedale-Tynehead NCP Amendment approved under Corporate Report R193 (November 2023), and where additional community benefit is provided in accordance with the City’s Density Bonus Policy (Policy O-54).
- The two proposed 6-storey apartment buildings on proposed Lot B (Block B, west) will have a FAR of 2.70 (Net) which generally complies with the “Low Rise Residential - Type II” designation in the Stage 1 Anniedale-Tynehead NCP Amendment approved under Corporate Report R193 (November 2023), and where additional community benefit is provided in accordance with the City’s Density Bonus Policy (Policy O-54).
- The proposed GIN/open space lot is identified on the Block Plan as Block C and will be limited in its use to open space, to preserve it for the purposes of habitat connectivity.
- The maximum lot coverage has been increased from 33% under the RM-70 Zone to a maximum of 48% in the proposed CD By-law to accommodate the proposed built form. The proposed lot coverage is typical for 6-storey apartment buildings on sites of this size.
- The Zoning Bylaw require that no parking facilities be constructed within 2.0 metres of the front line or a lot line along a flanking street. The proposed underground parkade will be located within 0.5 metres of the north, east, south, and west lot lines. As a result, the proposed CD By-law will permit the underground parking facility to be 0.5 metres from all lot lines.
- Setbacks have been adjusted on Lots A and B to accommodate the 6-storey apartment buildings in keeping with building separation and setback requirements prescribed by the OCP and Stage 1 Anniedale-Tynehead NCP.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City’s Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City’s Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2024, under Corporate Report No.Ro46;2024.

- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit Issuance. The current rate is \$2,136 per new unit.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation.
- The applicant will be required to provide the per unit flat rate for the number of units above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption, and the current fee for the Anniedale-Tynehead area is \$239.82 per sq. m for apartments.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,113.92 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on January 18, 2024, and the Development Proposal Signs were installed on February 06, 2024. Staff received no responses from neighbours in the vicinity.

DEVELOPMENT PERMITS

Sensitive Ecosystems (Green Infrastructure Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems DPA for Green Infrastructure Areas in the OCP, given the location of a Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) corridor located in the western half of the site, aligned to the future 174 Street. The Sensitive Ecosystems (Green Infrastructure Areas) Development Permit is required to protect environmentally sensitive and/or unique natural areas from the impacts of development.

- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies a Local BCS Corridor within the subject site, in the Tynehead BCS management area, with a High ecological value.
- The BCS further identifies the GIN area of the subject site as having a Moderately High habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends a target Corridor width of 50-meters.
- The development proposal conserves 1,066 square metres of the subject site through City Acquisition of BCS Lands which is 5.5% of the total gross area of subject site. This method of GIN retention/enhancement will assist in the long-term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.
- In order for the proposal to fully comply with the BCS target recommendations, an additional 2,040-square meters of the GIN area would be required on the subject site but has not been provided by the development proposal. A new alignment and reduced width of GIN #120 was considered and approved by Council in Corporate Report R193 (November 2023). The reduced width of GIN #120 was supported in the Stage 1 Plan in an effort to balance GIN corridor objectives with road network requirements and density expectations of the plan and also recognizing other opportunities for north/south connectivity further west in the plan area in areas already encumbered by watercourses.
- An Ecosystem Development Plan, prepared by Chris Lee, *R.P. Bio.*, of Aqua Terra Environmental Ltd. and dated November 2023 was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Anniedale-Tynehead Neighbourhood Concept Plan (NCP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Anniedale-Tynehead Neighbourhood Concept Plan (NCP).
- The applicant is proposing four (4), six-storey apartment buildings containing a total of 489 market strata units. To provide options in the future phasing of the project, the applicant is proposing subdivision of the site into three (3) lots, of which one will be the future open space/GIN lot, located to the west, discussed previously in this report.
- Lot A (East) will contain two (2) six-storey buildings with a total of 261 units, consisting of 15 studio units, 158 one-bedroom units, 73 two-bedroom units, and 15 three-bedroom units. The units range in size from 37.6-square meters to 94.4-square meters.
- Lot B (West) will contain two (2) six-storey buildings with a total of 281 units, consisting of 12 studio units, 139 one-bedroom units, 57 two-bedroom units, and 20 three-bedroom units. The

units range in size from 32.6-square meters to 89.7-square meters. Staff note that three units (F3) are micro-units as defined in the Zoning By-law. In addition, the applicant is providing 276-square meters of ground floor space for the purposes of a commercial child care centre.

- The proposed design and building massing are generally in accordance with the vision of the West Amendment Area in the Anniedale-Tynehead plan. This neighbourhood is envisioned as an evolving urban village with strong design ties with the area's natural areas and parks, featuring a variety of housing options including low rise apartment buildings.
- The four proposed "U"-shaped buildings frame the street frontages and create central courtyards for residents that are internal to the site. The proposed building siting considers the neighbouring development to the north, creating ample building separation.
- The four buildings follow the natural grade of the site and cascade down the hill.
- The building includes ground-floor units with usable, semi-private outdoor space, with direct access to the street frontages or the shared internal courtyard spaces.
- The fifth and sixth storeys of Building 1 are stepped back by 2.0-metres, and the sixth storey of Buildings 2 and 3 are stepped back by 2.0-metres. The step backs assist to reduce the overall building massing where interfacing with the surrounding neighbourhood context.
- The indoor amenity space is located on the ground floor, directly adjacent to the outdoor amenity space. For more details, see the Indoor and Outdoor Amenity Space section in this report.
- The applicant proposes an urban contemporary architecture and extensive use of brick and aluminium paneling on the façade along street frontages. Building materials also include cementitious fibre cement panels and metal railings with glass panels. The materials are consistent with the Anniedale-Tynehead character.
- The applicant will continue to work with staff to resolve comments identified in the Outstanding Items section below.
- As noted earlier in this report, this application is being brought forward to Council for consideration and Bylaw introductions in advance of a review by the Advisory Design Panel (ADP). The application is required to proceed to ADP for review and comment and to respond to ADP comments in advance of final adoption.
- The applicant is aware that if changes to the proposed CD Bylaw are required to address ADP comments, the application will need to be reconsidered by Council.

Site Grading

- The site generally has a gently sloping topography and is highest in the east along the flanking Highway 15 (176 Street), and lowest in the west. Refinement of grading details and identification of retaining walls, notably within the proposed outdoor amenity spaces, is required prior to the final approval.
- The grading condition on the Anniedale Road (south) frontage of Buildings 3 & 4 anticipates what the required grading for an overpass crossing of Highway 15 (176 Street) may look like in this location. The Barnston Drive overpass, located to the north, was used as precedence to inform the grading conditions of the proposed future Anniedale Road overpass. Engineering staff have yet to initiate and work through detailed design of this future overpass, and as such, there is a possibility that the grading conditions reflected on the architectural drawings may need modification once staff have completed their detailed design of the overpass.
- Given the uncertainties related to the design of the future overpass condition, prior to final adoption, the applicant will register a Section 219 Restrictive Covenant on title requiring development to be in accordance with the accepted lot grading plan for the site. This covenant will ensure that there is a City approval process in place should the grading conditions change in the future as a result of the ultimate overpass design.

Landscaping

- The landscape plan includes a mixture of trees, shrubs, grasses, perennials and groundcover to be planted throughout the subject site, as well as hardscaping, site lighting, fencing and site furnishing.
- All ground-floor units have front door access as well as a useable, semi-private patio space that is screened from either the adjacent public realm or outdoor amenity space through a combination of tiered retaining walls, layered planting as well as privacy fencing.
- Access to the individual, semi-private patios will be provided through either a separate gated entryway from the adjacent public or private sidewalk or through the individual dwelling units.

Indoor Amenity

- Cumulatively, the required indoor amenity space is 1,470 square metres, or three (3) square metres per dwelling unit and four (4) square metres per micro-unit. The proposed indoor amenity space is 1,428 square metres in total area which is 42 square metres less than the Zoning Bylaw requirement.
- On November 18, 2019, Council approved Corporate Report No. R216; 2019, which identified the minimum indoor amenity space that must be provided on-site (i.e., no cash-in-lieu). Based upon the minimum requirements for four, 3- to 6-storey low to mid rise residential buildings, 296 square metres of indoor amenity space is required. The proposal exceeds this minimum.
- Overall, the applicant proposes to provide approximately 97% of the required indoor amenity space, and has agreed to a cash-in-lieu contribution for the proposed shortfall in accordance with City Council policy.

- The indoor amenity spaces are located on the ground floor within all proposed buildings, directly adjacent the proposed outdoor amenity space. The spaces consist of co-working spaces, children's play areas, gyms, saunas, and lounges with accessible washroom facilities.
- The proposed indoor amenity spaces can be accessed directly from the internal shared hallways, and from outdoor amenity space areas.

Outdoor Amenity

- Cumulatively, the required outdoor amenity space is 1,470 square metres, or three (3) square metres per dwelling unit and four (4) square metres per micro-unit. The proposed outdoor amenity space is approximately 1,786 square metres in total area, which exceeds the Zoning Bylaw requirement.
- The proposed outdoor amenity space is located within ground level courtyards and consists of an outdoor BBQ and shared patio areas, children's playground areas, and outdoor tennis tables.
- Part of the outdoor amenity space will straddle the lot line between proposed Lots A and B and will be shared between all 4 buildings. Staff have accepted the inclusion of this space towards the outdoor amenity space requirements on the condition that the applicant register a reciprocal access easement for shared amenity access for this portion of the site.
- Staff will continue to work with the applicant to enhance programming for the outdoor amenity space

Outstanding Items

- The applicant has agreed to resolve any outstanding items identified through the Development Planning review process to the satisfaction of the Planning and Development Department before Final Adoption of the subject Rezoning By-law, should the application be supported by Council.
- There are a number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
 - General design refinement to address potential ADP and current staff comments;
 - Coordination of all drawings to accurately describe the design intent;
 - Creating unique building identity, while complementing each other;
 - Refinement of the design in particular to improve the relationship to the public realm and sloping ground plane;
 - Revision to the landscaping concept to address staff comments; and
 - Further refine utility and civil works integration into the proposed development.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Adrian Szabunio, ISA Certified Arborist of Woodridge Tree Consultant Arborists Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	35	35	0
Cottonwood	2	2	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry Tree	2	2	0
Birch	1	1	0
Bigleaf Maple	48	47	1
Norway Maple	2	2	0
Coniferous Trees			
Douglas Fir	33	31	2
Western Red Cedar	62	55	7
Hemlock	10	8	2
Sitka Spruce	7	7	0
Total (excluding Alder and Cottonwood Trees)	165	153	12
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		188	
Total Retained and Replacement Trees Proposed		200	
Estimated Contribution to the Green City Program		\$85,250	

- The Arborist Assessment states that there are a total of 165 mature trees on the site, excluding Alder and Cottonwood trees (Appendix IV). Thirty-seven (37) existing trees, approximately 18% of the total trees on the site, are Alder and Cottonwood trees. The applicant proposes to retain 12 trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- While the report does not account for trees within the future park site, there are several protected trees that are located within the proposed open space. The trees within the proposed open space will be retained, except where removal is required due to hazardous conditions. This will be determined at a later time, in consultation with the Parks, Recreation and Culture Department.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of 343 replacement trees on the site. Since the proposed 188 replacement trees can be accommodated on the site, the proposed deficit of 155 replacement trees will require an estimated cash-in-lieu payment of \$85,250, representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- In summary, a total of 200 trees are proposed to be retained or replaced on the site with an estimated contribution of \$85,250 to the Green City Program.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans, and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix V.	NCP Plan
Appendix VI	OCP Redesignation Map

approved by Ron Gil

Don Luymes
General Manager
Planning and Development

RO/ar



DEVELOPMENT PERMIT APPLICATION

**MULTI-FAMILY APARTMENT DEVELOPMENT
9419 - 176 STREET
SURREY BC**

PROGRAM SUMMARY (LOT-A)

LOT INFO	ADDRESS	9419-176 STREET, SURREY		
	LEGAL DESCRIPTION	LOT 8 BLOCK 2 SECTION 31 TOWNSHIP 8 PLAN NWP6870 NWD DCEPT PLAN 8PP641		
	SITE AREA	(Sqft)	(Sqm)	(Acres)
	GROSS AREA	208,171	19,339	4.78
	ROAD DEDICATION	46,166	4,289	1.06
	SRN CORRIDOR	11,470	1,066	0.26
	NET AREA (LOT-A)	82,168	7,633	1.89
	NET AREA (LOT-B) (excluding GIN Corridor)	68,367	6,351	1.57

ZONING (LOT-A)	ZONING		CURRENT	PROPOSED
			RA	CD BASED ON RM-70
			PERMITTED	PROPOSED
		FAR (NET)		2.46
		TOTAL FLOOR AREA (Sqm)		18,741
			PERMITTED	PROPOSED
		SETBACKS		
		NORTH (ALONG FUTURE ROAD) BLDG 3		5.5m
		NORTH (ALONG NEIGHBOURING LOT) BLDG 4		7.5m
		SOUTH (ALONG FUTURE 94A AVE)		6.0m
	EAST (ALONG 176 STREET-7.5m LANDSCAPE BUFFER)		5.5m	
	WEST (ALONG LOT 8)		10.0m	
		PERMITTED	PROPOSED	
	BUILDING HEIGHT		6 STOREY	
	TOTAL UNITS		261	

PROPOSED FLOOR AREA SUMMARY (LOT-A)	SITE COVERAGE (NET)	(Sqft)	(Sqm)	(%)	REMARKS
	PROPOSED	37,380	3,474	45.51%	

RESIDENTIAL (EXCLUDING PARKING)	RESIDENTIAL (Sqm)	RESIDENTIAL CIRCULATION (Sqm)	INDOOR AMENITY (Sqm)	-	BUILDABLE (Sqm)	UNIT COUNT							
						1BR	1 BR + DEN	STUDIO	2 BR	2BR+DEN	3BR	TOTAL	
MAIN FLOOR LVL	1004	250	269	-	1,523	1	10	2	2	0	1	16	
SECOND FLOOR LVL	1356	220	-	-	1,576	2	11	1	5	0	2	21	
THIRD FLOOR LVL	1385	162	-	-	1,547	4	7	1	5	2	2	21	
FOURTH FLOOR LVL	1385	162	-	-	1,547	4	7	1	5	2	2	21	
FIFTH FLOOR LVL	1385	162	-	-	1,547	4	7	1	5	2	2	21	
SIXTH FLOOR LVL	1196	162	-	-	1,358	9	3	2	4	2	0	20	
TOTAL BUILDABLE AREA (Sqm)					9,098	TOTAL UNITS	24	45	8	26	8	9	120
TOTAL FLOOR AREA (EXCLUDING INDOOR AMENITY & PARKING) (Sqm)					8,829	%AGE	20.00%	37.50%	6.67%	21.67%	6.67%	7.50%	

RESIDENTIAL (EXCLUDING PARKING)	RESIDENTIAL (Sqm)	RESIDENTIAL CIRCULATION (Sqm)	INDOOR AMENITY (Sqm)	-	BUILDABLE (Sqm)	UNIT COUNT							
						1BR	1 BR + DEN	STUDIO	2 BR	2BR+DEN	3BR	TOTAL	
MAIN FLOOR LVL	1036	134	500	-	1,770	4	7	1	3	1	1	17	
SECOND FLOOR LVL	1497	253	-	-	1,750	4	10	2	4	3	1	24	
THIRD FLOOR LVL	1546	177	-	-	1,723	8	8	1	4	3	1	25	
FOURTH FLOOR LVL	1546	177	-	-	1,723	8	8	1	4	3	1	25	
FIFTH FLOOR LVL	1546	177	-	-	1,723	8	8	1	4	3	1	25	
SIXTH FLOOR LVL	1546	177	-	-	1,723	8	8	1	4	3	1	25	
TOTAL BUILDABLE AREA (Sqm)					10,412	TOTAL UNITS	40	49	7	23	16	6	141
TOTAL FLOOR AREA (EXCLUDING INDOOR AMENITY & PARKING) (Sqm)					9,932	%AGE	28.37%	34.75%	4.96%	16.31%	11.35%	4.26%	

OFF STREET PARKING (LOT-A)	PARKING REQUIREMENTS BREAKDOWN (BUILDING # 3 & 4)			
	NO. OF UNITS	PERMITTED / UNIT	REQUIRED STALLS	PROVIDED @ Parkade Lvl-1 & 2
1 BR, 1 BR+Den & Studio	173	1.3	225	225
2BR, 2BR+Den & 3BR	88	1.5	132	133
Visitor's	261	1.20	52	52
TOTAL			409	410
Accessible Stalls (@2% Of Required Parking)	-	-	9	9
Van-Accessible Stalls (50% Of Accessible Parking)	-	-	4	4
Small Car Parking (Max @35% Of Required Parking)	-	-	143	142
Bicycle Parking (Residential)	261	1.2/Unit+6 Visitor	319	322

AMENITY CALCULATIONS (LOT-A)	AMENITIES		REMARKS
	Sq.m.	Sq.ft.	
INDOOR AMENITY (BUILDING # 3 & 4)			
REQUIRED	783	8,425	3 Sq.m. or 32 Sq.ft/ UNIT
PROPOSED (@MAIN LEVEL)	769	8,274	
OUTDOOR AMENITY - 2 (within 6m of West Pl) & 3			
REQUIRED	783	8,425	3 Sq.m. or 32 Sq.ft/ UNIT
PROPOSED	950	11,228	



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Date	Description
2024-07-02	Reviewed/Comments
2024-06-14	Reviewed/Comments
2024-05-17	Reviewed/Comments
2024-01-12	DP Application
2023-12-04	In-Progress DP Set
2023-11-03	Reviewed/Comments
2023-08-20	Reviewed/Comments
2023-03-11	DP Application
2023-03-10	Preliminary Application

Issues / Revisions

See

Project Title
MULTI-FAMILY DEVELOPMENT

Project Address
**9419-176 Street
Surrey,
British Columbia**

Drawn By
GS

Checked By
PV

Date
2024-03-06

Project ID
8033

Sheet Title
PROGRAM SUMMARY

Scale

Sheet No.

A-0.2

PROGRAM SUMMARY (LOT-B)

LOT INFO	ADDRESS	9419-176 STREET, SURREY			
	LEGAL DESCRIPTION	LOT 8 BLOCK 2 SECTION 31 TOWNSHIP 8 PLAN NWP6870 NWD EXCEPT PLAN EPP641			
	SITE AREA	(Sqft)	(Sqm)	(Acres)	(Ha)
	GROSS AREA	208,171	19,339	4.78	1.93
	ROAD DEDICATION	46,166	4,289	1.06	0.43
	GIN CORRIDOR	11,470	1,066	0.26	0.11
	NET AREA (LOT-A)	82,168	7,633	1.89	0.76
NET AREA (LOT-B) (excluding GIN Corridor)	68,367	6,351	1.57	0.64	

ZONING (LOT-B)	ZONING	CURRENT	PROPOSED
		RA	CD BASED ON RM-70
		PERMITTED	PROPOSED
	FAR (NET-excluding GIN Corridor)		2.67
	TOTAL FLOOR AREA (Sqm)		16,936
	SETBACKS	PERMITTED	PROPOSED
	NORTH (ALONG FUTURE ROAD) BLDG 1 & 2		5.3m
SOUTH (ALONG FUTURE 94A AVE)		6.0m	
EAST (ALONG LOT-A)		10.0m	
WEST (ALONG FUTURE 175 STREET)		5.3m	
	PERMITTED	PROPOSED	
BUILDING HEIGHT		6 STOREY	
TOTAL UNITS		228	

PROPOSED FLOOR AREA SUMMARY (LOT-B)	SITE COVERAGE (NET excluding GIN Corridor)	(Sqft)	(Sqm)	(%)	REMARKS
	PROPOSED	32,560	3,026	47.64%	

FAR CALCULATION (APARTMENT BUILDING # 1)						UNIT COUNT						
RESIDENTIAL (EXCLUDING PARKING)	RESIDENTIAL (Sqm)	RESIDENTIAL CIRCULATION (Sqm)	INDOOR AMENITY (Sqm)	-	BUILDABLE (Sqm)	1BR	1 BR + DEN	STUDIO	2 BR	2BR+DEN	3BR	TOTAL
MAIN FLOOR LVL	1007	221	265	-	1,493	0	10	0	2	1	2	15
SECOND FLOOR LVL	1281	212	-	-	1,493	1	11	2	3	1	2	20
THIRD FLOOR LVL	1343	130	-	-	1,493	1	12	2	3	1	2	21
FOURTH FLOOR LVL	1343	130	-	-	1,493	1	12	2	3	1	2	21
FIFTH FLOOR LVL	1159	130	-	-	1,309	9	3	0	6	1	0	19
SIXTH FLOOR LVL	1159	130	-	-	1,309	9	3	0	6	1	0	19
TOTAL BUILDABLE AREA (Sqm)					8,590	TOTAL UNITS	21	51	6	23	6	115
TOTAL FLOOR AREA (EXCLUDING INDOOR AMENITY & PARKING) (Sqm)					8,325	%AGE	18.26%	44.35%	5.22%	20.00%	5.22%	6.96%

FAR CALCULATION (APARTMENT BUILDING # 2)						UNIT COUNT						
RESIDENTIAL (EXCLUDING PARKING)	RESIDENTIAL (Sqm)	RESIDENTIAL CIRCULATION (Sqm)	INDOOR AMENITY (Sqm)	CHILD CARE CENTER (Sqm)	BUILDABLE (Sqm)	1BR	1 BR + DEN	STUDIO	2 BR	2BR+DEN	3BR	TOTAL
MAIN FLOOR LVL	620	212	394	276	1,532	0	6	2	1	0	1	10
SECOND FLOOR LVL	1306	218	-	-	1,549	0	12	1	5	0	2	20
THIRD FLOOR LVL	1366	115	-	-	1,521	3	9	1	5	0	3	21
FOURTH FLOOR LVL	1366	115	-	-	1,521	3	9	1	5	0	3	21
FIFTH FLOOR LVL	1366	115	-	-	1,521	3	9	1	5	0	3	21
SIXTH FLOOR LVL	1210	111	-	-	1,361	10	3	0	6	1	0	20
TOTAL BUILDABLE AREA (Sqm)					9,005	TOTAL UNITS	19	48	6	27	1	12
TOTAL FLOOR AREA (EXCLUDING INDOOR AMENITY & PARKING) (Sqm)					8,611	%AGE	16.81%	42.48%	5.91%	23.89%	0.88%	10.62%

PARKING REQUIREMENTS BREAKDOWN (BUILDING # 1 & 2)				
	NO. OF UNITS	PERMITTED / UNIT	REQUIRED/PERMITTED STALLS	PROVIDED @Parkade Lvl-1 & 2
1 BR, 1 BR+Den, Studio	151	13	196	196
2BR, 2BR+Den & 3BR	77	15	115	115
Visitor's Parking	228	0.20	46	46
Child Care Center Parking	-	-	14	14
TOTAL			371	371
Child Care Center Parking (@Surface & Parkade Lvl-1)	-	-	14	14
Accessible Stalls (@2% Of Required Parking)	-	-	8	8
Van-Accessible Stalls (50% Of Accessible Parking)	-	-	4	4
Small Car Parking (Max @35% Of Required Parking)	-	-	130	105
Boydle Parking (Residential)	228	1.2/Unit+6 Visitor	280	280

AMENITIES			
INDOOR AMENITY (BUILDING # 1 & 2)	Sq.m.	Sq.ft.	REMARKS
REQUIRED	684	7,360	3 Sq.m. or 32 Sq.ft/ UNIT
PROPOSED (@MAIN LEVEL)	659	7,091	
OUTDOOR AMENITY - 1 & 2 (within 6m of East PL)	Sq.m.	Sq.ft.	REMARKS
REQUIRED	684	7,360	3 Sq.m. or 32 Sq.ft/ UNIT
PROPOSED	836	8,993	



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Date	Description
Issues / Revisions	
Seal	

Project Title
MULTI-FAMILY DEVELOPMENT

Project Address
**9419-176 Street
Surrey,
British Columbia**

Drawn By GS	Date 2024-03-06
Checked By PV	Project ID 0303

Sheet Title
PROGRAM SUMMARY

Scale

Sheet No.
A-0.3

PROGRAM SUMMARY (UNIT MATRIX)

BUILDING-1	TYPE	TOTAL COUNT	UNIT AREA (Sqft)	TOTAL AREA (Sqft)
3 BR	M	1	935.0	935.0
	M(a)	1	935.0	935.0
	M1	6	935.0	5610.0
2 BR + DEN	K	1	903.3	903.3
	K1	3	903.3	2709.8
	L	2	917.2	1834.5
2 BR	G	1	856.5	856.5
	G1	1	856.5	856.5
	G2	2	750.6	1501.2
	G3	2	826.2	1652.4
	G4	2	903.6	1807.2
	H	11	821.5	9036.2
	J	2	691.3	1382.5
	J1	2	724.8	1449.5
1 BR + DEN	A	8	626.0	5007.7
	A1	26	626.0	16275.0
	B	1	658.4	658.4
	B1	3	658.4	1975.3
	C	6	702.0	4212.0
	C1	5	171.6	858.0
1 BR	D	2	676.9	1353.8
	E	5	588.0	2940.0
STUDIO	E1	16	534.0	8544.0
STUDIO	F	6	413.0	2478.0

BUILDING-2	TYPE	TOTAL COUNT	UNIT AREA (Sqft)	TOTAL AREA (Sqft)
3 BR	L	1	946.4	946.4
	L1	1	946.4	946.4
	L2	9	945.5	8509.9
2 BR + DEN	L3	1	965.8	965.8
	K	1	911.4	911.4
2 BR	G	1	838.4	838.4
	G1	1	838.4	838.4
	G2	13	783.0	10179.0
	H	5	821.4	4107.0
	H1	5	772.4	3862.0
1 BR + DEN	J	2	761.5	1523.0
	A	5	626.0	3130.0
	A1	27	626.0	16902.0
	B	1	651.1	651.1
	B1	4	651.1	2604.4
	C	5	710.0	3550.0
1 BR	C1	5	722.7	3613.5
	D	1	642.8	642.8
	E	9	567.0	5103.0
STUDIO	E1	10	534.2	5342.0
	F	1	480.0	480.0
	F1	1	416.0	416.0
	F2	1	416.0	416.0
STUDIO	F3	3	351.0	1053.0

BUILDING-3	TYPE	TOTAL COUNT	UNIT AREA (Sqft)	TOTAL AREA (Sqft)
3 BR	T	1	945.5	945.5
	T1	8	945.5	7564.0
2 BR + DEN	P	3	830.3	2490.8
	Q	3	870.8	2612.3
	R	1	1016.2	1016.2
	S	1	911.4	911.4
2 BR	L	5	786.7	3933.5
	L1	5	853.5	4267.7
	M	1	757.5	757.5
	M1	4	757.5	3029.9
	N	6	914.5	5487.0
	O	5	772.4	3862.2
1 BR + DEN	A	7	626.0	4382.0
	A1	19	626.0	11894.0
	A1(a)	1	626.0	626.0
	B	1	651.1	651.1
	B1	4	651.1	2604.4
	C	6	722.7	4336.2
1 BR	D	1	662.1	662.1
	D1	4	662.1	2648.4
	E	2	643.5	1287.0
	F	12	567.0	6804.0
	F1	7	534.2	3739.4
	G	5	445.9	2229.5
STUDIO	H	1	480.0	480.0
	J	1	528.6	528.6
	J1	4	528.6	2114.4
	J2	1	449.5	449.5
	K	1	423.0	423.0

BUILDING-4	TYPE	TOTAL COUNT	UNIT AREA (Sqft)	TOTAL AREA (Sqft)
3 BR	O	1	891.5	891.5
	O1	5	891.5	4457.5
2 BR + DEN	N	1	847.4	847.4
	N1	5	847.4	4237.0
2 BR	J	1	747.7	747.7
	J1	5	741.2	3706.0
	K	1	752.4	752.4
	K1	5	752.4	3762.0
	K2	1	873.5	873.5
	K2(a)	1	873.5	873.5
	K3	8	873.5	6988.0
	L	1	856.5	856.5
1 BR + DEN	L1	5	856.5	4282.5
	M	5	815.8	4079.0
	A	7	626.0	4382.0
	A1	21	626.0	13146.0
	B	1	723.4	723.4
1 BR	B1	5	723.4	3616.9
	C	5	636.2	3181.2
	E	4	582.7	2330.7
	F	1	650.2	650.2
	F1	5	650.2	3250.9
STUDIO	D	2	522.7	1045.4
	D1	10	522.7	5227.0
	G	1	508.7	508.7
	G1	5	508.7	2543.3
	H	22	567.0	12474.0
STUDIO	I	1	480.0	480.0
	I1	5	405.0	2025.0
STUDIO	I2	1	405.0	405.0



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2023-08-20	Reviewed/Comments
2023-03-11	DP Application
2023-03-10	Preliminary Application

Date	Description
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Issues / Revisions
 Issued

Project Title
MULTI-FAMILY DEVELOPMENT

Project Address
**9419-176 Street
 Surrey,
 British Columbia**

Drawn By GS	Date 2023-03-06
Checked By PV	Project ID 2403

Sheet Title
PROGRAM SUMMARY

Scale

Sheet No.
A-0.4

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Date	Description
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Issues / Revisions

Seal

Project Title
MULTI-FAMILY DEVELOPMENT

Project Address
**9415-176 Street
 Surrey,
 British Columbia**

Drawn By GS	Date 2023-03-06
Checked By PV	Project ID 2403

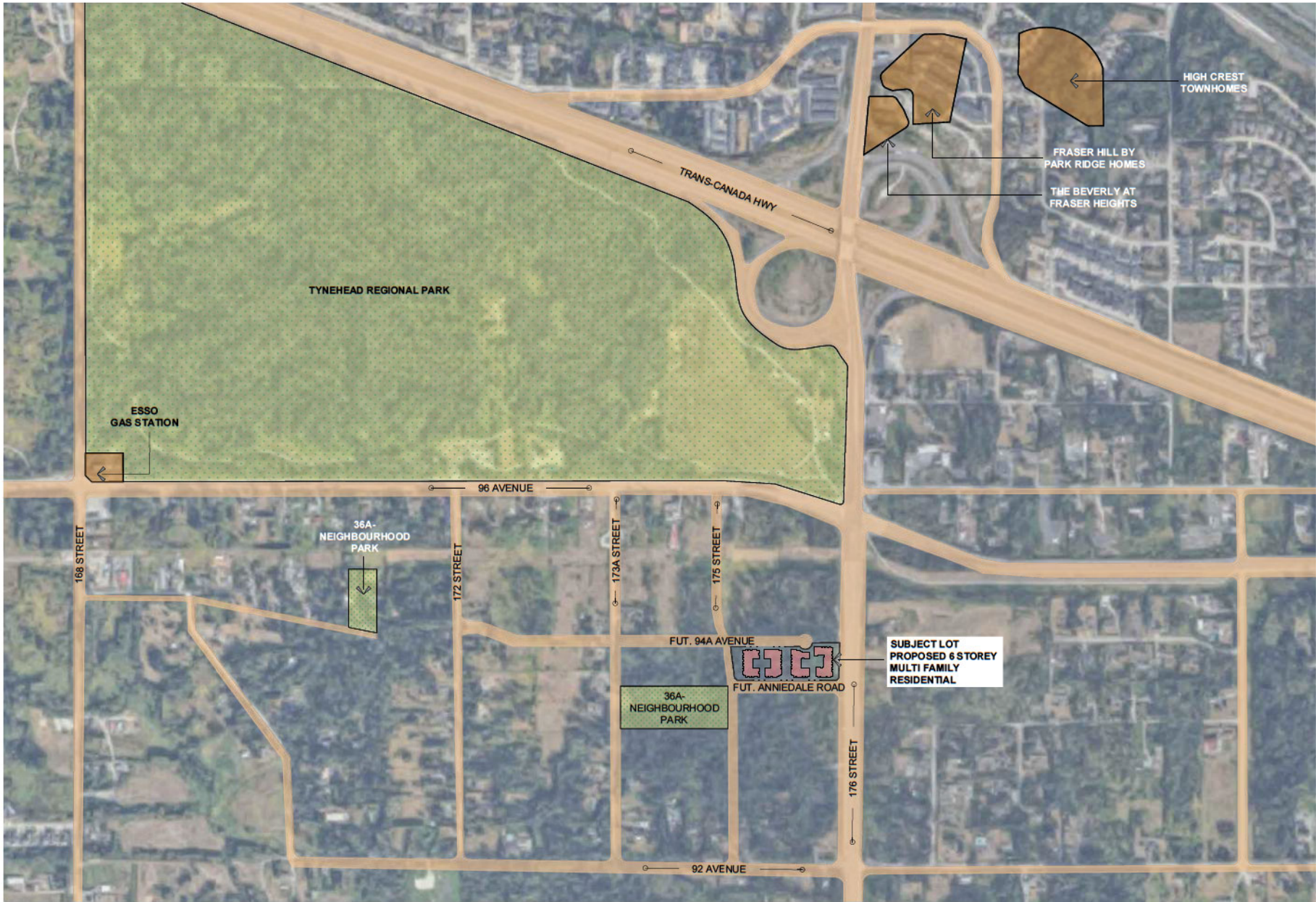
Sheet Title

CONTEXT PLAN

Scale

Sheet No.

A-0.5



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Issues / Revisions

Seal

Project Title
MULTI-FAMILY DEVELOPMENT

Project Address
**9415-176 Street
 Surrey,
 British Columbia**

Drawn By GS	Date 2023-03-06
Checked By PV	Project ID S035

Sheet Title

AMENITIES PLAN

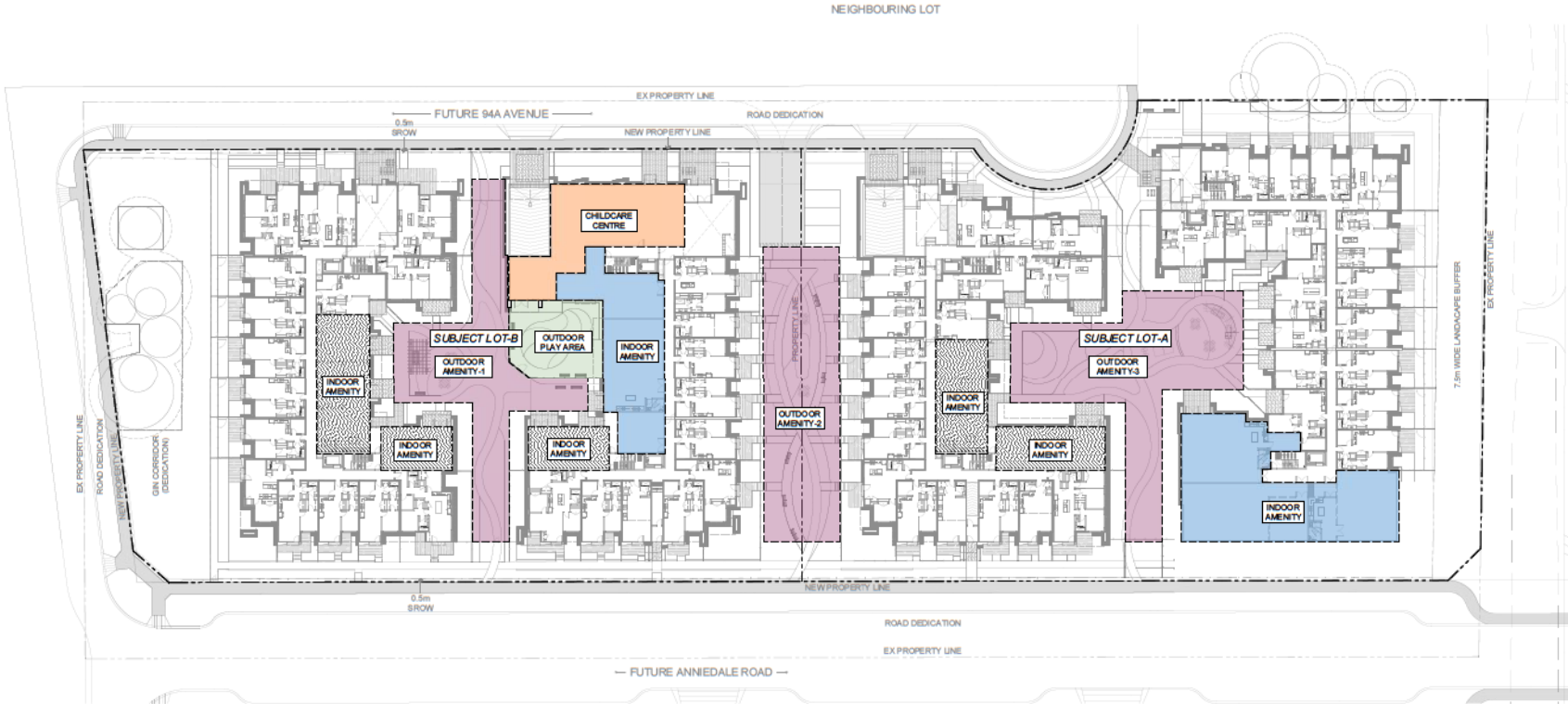
Scale

Sheet No.

A-0.7

FUTURE 175 STREET

176 STREET



LOT-A		LOT-B	
	OUTOOR AMENITY AREA : 950 Sqm		OUTOOR AMENITY AREA : 836 Sqm
	INDOOR AMENITY AREA : 769 Sqm		INDOOR AMENITY AREA : 659 Sqm
			CHILDCARE CENTER : 276 Sqm
			OUTDOOR PLAY AREA (CHILDCARE CENTER) : 175.4 Sqm

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Issues / Revisions

Seal

Project Title
MULTI-FAMILY DEVELOPMENT

Project Address
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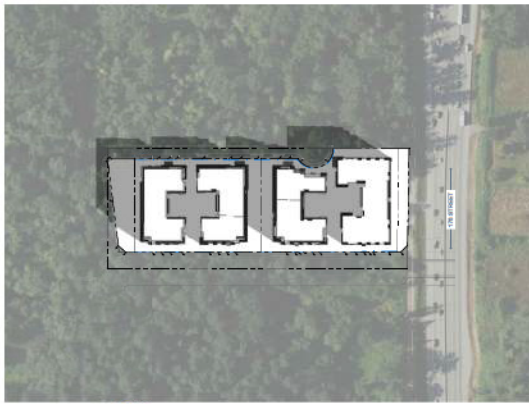
Drawn By GS	Date 2023-03-06
Checked By PV	Project ID S035

Sheet Title
SHADOW STUDY

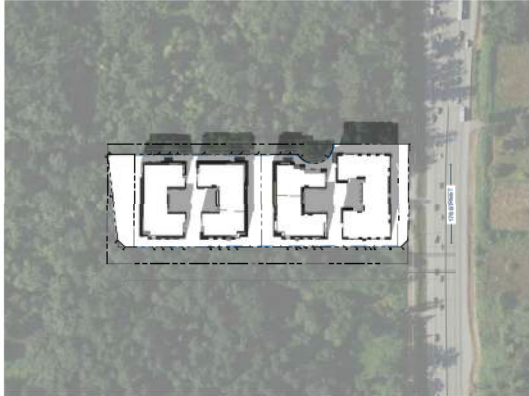
Scale

Sheet No.

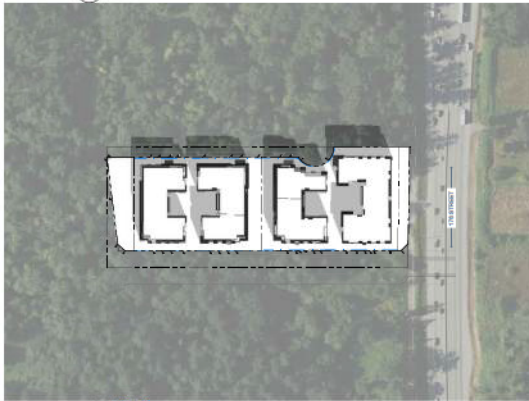
A-0.8



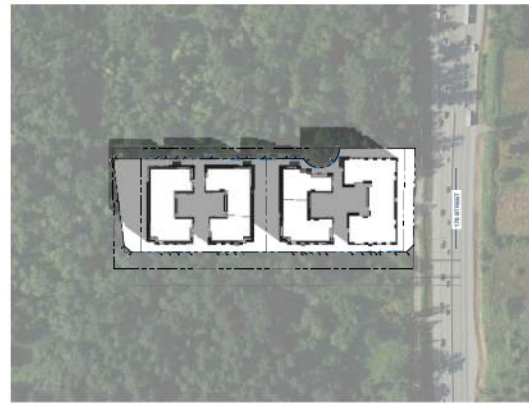
1 SHADOW @ EQUINOX MARCH 20th -10AM



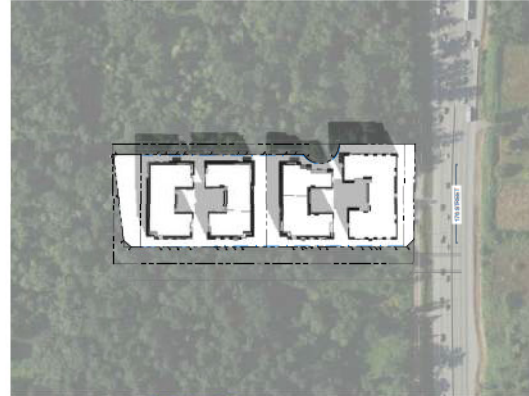
2 SHADOW @ EQUINOX MARCH 20th -12NOON



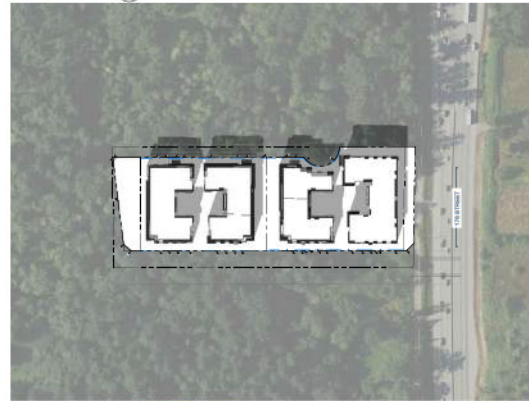
3 SHADOW @ EQUINOX MARCH 20th -2PM



4 SHADOW @ EQUINOX SEP 20th -10AM



5 SHADOW @ EQUINOX SEP 20th -12NOON



6 SHADOW @ EQUINOX SEP 20th -2PM



Keeping in line with the design guidelines, a well-balanced massing with a clear distinction between the lower and upper storeys is introduced. 2 storey character is emphasized by a design element in brick and wood finish metal panel. The wood texture finish is introduced to follow the "Plank and Lumber theme". Also, the two storey elements and the main entrance are shaped as angular elements to create a level of interest at the eye level.



The lower four storeys are designed to appear more solid and grounded, while the upper two recessed storeys create a setback that reduces the building's visual bulk. The lower storeys feature robust materials like brick and steel folded panels for durability and a sense of permanence, while the recessed upper storeys incorporate lighter materials such as Hardie panel siding to create a contrast and modern aesthetic.

A combination of materials and textures has been used to articulate different parts of the facade.



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Issues / Revisions

Seal

Project Title
MULTI-FAMILY DEVELOPMENT

Project Address
**9419-176 Street
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Drawn By GS	Date 2023-03-06
Checked By PV	Project ID 0303

Sheet Title
**DESIGN CONCEPT &
 PRECEDENT IMAGES**

Scale

Sheet No.

A-0.10

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Issues / Revisions

Issue	Revisions

Project Title
MULTI-FAMILY DEVELOPMENT

Project Address
**9419-176 Street
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Drawn By GS	Date 2024-03-06
Checked By PV	Project ID S035

Sheet Title
**CONTEXT SITE PLAN
 (NORTHERN LOT)**

Scale

Sheet No.

A-0.11





1 STREETScape (SOUTH)
Scale: N.T.S



2 STREETScape (PART-1)
Scale: N.T.S



3 STREETScape (PART-2)
Scale: N.T.S

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Issues / Revisions

Seal

Project Title
MULTI-FAMILY DEVELOPMENT

Project Address
**9415-176 Street
Surrey,
British Columbia**

Drawn By: GS Date: 2023-03-06
Checked By: PV Project ID: 2023

Sheet Title
STREETScape (SOUTH)

Scale: N.T.S

Sheet No.

A-0.12



1 STREETScape (NORTH)
Scale: N.T.S



2 STREETScape (PART-1)
Scale: N.T.S



3 STREETScape (PART-2)
Scale: N.T.S

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Issues / Revisions

Seal

Project Title
MULTI-FAMILY DEVELOPMENT

Project Address
**9415-176 Street
Surrey,
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Drawn By GS	Date 2024-03-06
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Sheet Title
**STREETScape
(NORTH)**

Scale
N.T.S

Sheet No.

A-0.13

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2023-03-11	DP Application
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Issues / Revisions

Date	Description

Project Title
MULTI-FAMILY DEVELOPMENT

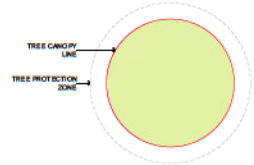
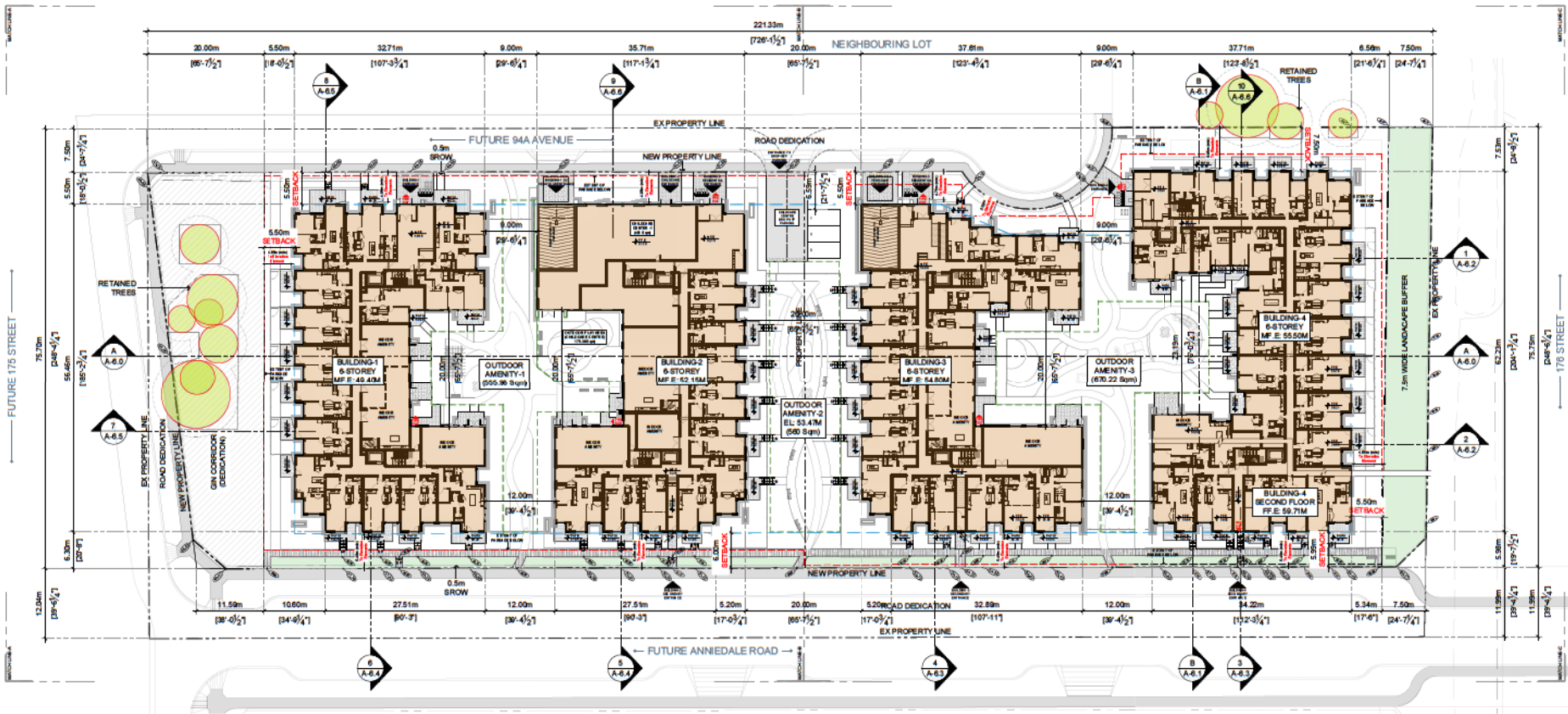
Project Address
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Drawn By	Date
GS	2023-03-06
Checked By	Project ID
FV	0303

Sheet Title
SITE PLAN

Scale
 N.T.S.

Sheet No.
A-1.0



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2023-03-10	Preliminary Application
Date	Description

Issues / Revisions

Seal

Project Title
MULTI-FAMILY DEVELOPMENT

Project Address
**9415-176 Street
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Drawn By GS	Date 2023-03-06
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Sheet Title
MAIN FLOOR PLAN

Scale
 N.T.S.

Sheet No.
A-2.2





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Key Plan



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Date	Description
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Issues / Revisions

Seal

Project Title
 MULTI-FAMILY DEVELOPMENT

Project Address
 9415-176 Street
 Surrey,
 British Columbia

Drawn By GS	Date 2024-03-06
Checked By PV	Project ID S035

Sheet Title
 RENDERINGS

Scale
 N.T.S.

Sheet No.
A-4.0

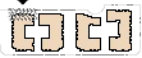
① PERSPECTIVE ALONG FUTURE 175 ST FROM WEST TOWARDS DEVELOPMENT



① PERSPECTIVE ALONG FUTURE ROAD
FROM NORTH TOWARDS DEVELOPMENT

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Date	Description
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Issues / Revisions

Seal

Project Title
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DEVELOPMENT

Project Address
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Drawn By
GS

Date
2024-03-06

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Project ID
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Sheet Title

RENDERINGS

Scale
N.T.S

Sheet No.

A-4.1



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Date	Description
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Issues / Revisions

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Project Title
MULTI-FAMILY DEVELOPMENT

Project Address
9415-176 Street
Surrey,
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Drawn By	GS	Date	2024-03-06
Checked By	PV	Project ID	0403

Sheet Title

RENDERINGS

Scale	NTS
Sheet No.	A-4.3

① PERSPECTIVE ALONG FUTURE 175 ST & 94A AVE FROM SOUTH-WEST TOWARDS DEVELOPMENT



① PERSPECTIVE ALONG FUTURE ROAD
FROM NORTH TOWARDS DEVELOPMENT

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Issues / Revisions

Issue	Revisions

Project Title
MULTI-FAMILY
DEVELOPMENT

Project Address
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Sheet Title
RENDERINGS

Scale
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Sheet No.
A-4.4



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Issues / Revisions

Issue	Revisions
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Project Title
 MULTI-FAMILY DEVELOPMENT

Project Address
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 Surrey,
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Drawn By GS	Date 2023-03-06
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Checked By PV	Project ID 2403
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Sheet Title

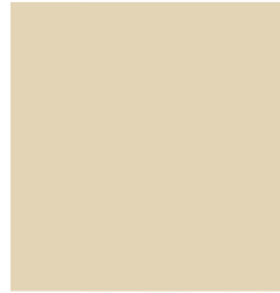
RENDERINGS

Scale
N.T.S.

Sheet No.

A-4.5

① PERSPECTIVE ALONG FUTURE ROAD FROM NORTH TOWARDS DEVELOPMENT



1-Benjamin Moore_958 Ocean Beach
Material: Fiber Cement Panel cladding system and trim | James Hardie.
Reveals to be color matched to the attached Panels



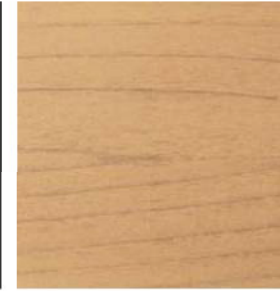
2-Benjamin Moore_2133-40 Charcoal Linen
Material: Fiber Cement Panel cladding system and trim | James Hardie.
Reveals to be color matched to the attached Panels



3-Metal Railing:
Color to Match: Benjamin Moore Black Ink 2127-20
Glass: Clear



4-Benjamin Moore_2133-10 Onyx
Material: Fiber Cement Panel cladding system and trim | James Hardie.
Reveals to be color matched to the attached Panels



5-Soffits
Material: Longboard_Blonde-Oak (BOK)



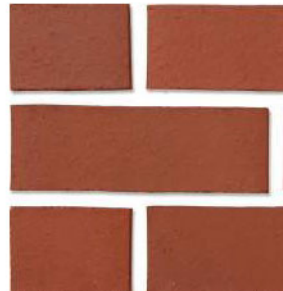
6-Powder Coated Aluminium Door with Tempered Glass at main entrances & Painted Vinyl Doors/Windows elsewhere
Color to Match: Benjami Moore Black Ink 2127-20
Glass: Clear



7-Aluminium Panelling :
 Lux Panels_Knotty Ebony
Series: Metal Craft



7A-Aluminium Panelling :
 Lux Panels_Knotty Desert Oak
Series: Metal Craft



8-Face Brick Inca Smooth
Brick. Fab: Mutual Materials
Brick Size: 3 1/2"x 7 1/2"
Brick Height: 2 1/2"



8A - Face Brick Mauna Loa
Brick. Fab: Mutual Materials
Brick Size: 3 1/2"x 7 1/2"
Brick Height: 2 1/2"



9-Aluminium Panelling :
 Lux Panels_Knotty Ebony
Series: Custom Creations



9A-Aluminium Panelling :
 Lux Panels_ Fawn
Series: Custom Creations

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2023-09-20	Reviewed/Comments
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2023-03-10	Preliminary Application

Issues / Revisions

Date	Description

Project Title

MULTI-FAMILY DEVELOPMENT

Project Address
 9415-176 Street
 Surrey,
 British Columbia

Drawn By GS	Date 2023-03-06
Checked By PV	Project ID S035

Sheet Title

MATERIAL SCHEDULE

Scale
N.T.S

Sheet No.

A-5.0

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Key Plan



1 BUILDING 1 (WEST ELE.)
 ELE. FACING 175 STREET



2 BUILDING 1 (NORTH ELE.)
 ELE. FACING FUTURE ROAD

2024-07-02	Reviewed/Comments
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2024-05-17	Reviewed/Comments
2024-01-12	DP Application
2023-12-04	In-Progress DP Set
2023-11-03	Reviewed/Comments
2023-08-20	Reviewed/Comments
2023-03-11	DP Application
2023-03-10	Preliminary Application
Date	Description

Issues / Revisions	

Project Title
MULTI-FAMILY DEVELOPMENT

Project Address
**9415-176 Street
 Surrey,
 British Columbia**

Drawn By GS	Date 2024-03-06
Checked By PV	Project ID S435

Sheet Title
ELEVATIONS

Scale
 N.T.S.

Sheet No.
A-5.1

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Key Plan



1 BUILDING 2 (EAST ELE.)
 ELE. FROM OUTDOOR AMENITY-2



2 BUILDING 2 (NORTH ELE.)
 ELE. FACING FUTURE ROAD

2024-07-02	Reviewed/Comments
2024-08-14	Reviewed/Comments
2024-05-17	Reviewed/Comments
2024-01-12	DP Application
2023-12-04	In-Progress DP Set
2023-11-03	Reviewed/Comments
2023-08-20	Reviewed/Comments
2023-03-11	DP Application
2023-03-10	Preliminary Application
Date	Description

Issues / Revisions	

Project Title
MULTI-FAMILY DEVELOPMENT

Project Address
**9415-176 Street
 Surrey,
 British Columbia**

Drawn By GS	Date 2023-03-06
Checked By PV	Project ID S433

Sheet Title
ELEVATIONS

Scale
 N.T.S.

Sheet No.
A-5.3

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Key Plan



1 BUILDING 3 (WEST ELE.)
 ELE. FROM OUTDOOR AMENITY-2



2 BUILDING 3 (NORTH ELE.)
 ELE. FACING FUTURE ROAD

2024-07-02	Reviewed/Comments
2024-06-14	Reviewed/Comments
2024-05-17	Reviewed/Comments
2024-01-12	DP Application
2023-12-04	In-Progress DP Set
2023-11-03	Reviewed/Comments
2023-08-20	Reviewed/Comments
2023-03-11	DP Application
2023-03-10	Preliminary Application
Date	Description

Issues / Revisions	

Project Title
MULTI-FAMILY DEVELOPMENT

Project Address
9415-176 Street
Surrey,
British Columbia

Drawn By	Date
GS	2023-03-06
Checked By	Project ID
PV	2403

Sheet Title
ELEVATIONS

Scale
 N.T.S.

Sheet No.
A-5.5

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Key Plan



① BUILDING 3 (EAST ELE.)
 ELE. FROM OUTDOOR AMENITY-3



② BUILDING 3 (SOUTH ELE.)
 ELE. FROM FUTURE 94A AVENUE

Date	Description
2024-07-02	Reviewed/Comments
2024-06-14	Reviewed/Comments
2024-05-17	Reviewed/Comments
2024-01-12	DP Application
2023-12-04	In-Progress DP Set
2023-11-03	Reviewed/Comments
2023-08-20	Reviewed/Comments
2023-03-11	DP Application
2023-03-10	Preliminary Application

Issues / Revisions	
Issue	Revision

Project Title
 MULTI-FAMILY DEVELOPMENT

Project Address
 9415-176 Street
 Surrey,
 British Columbia

Drawn By GS	Date 2024-03-06
Checked By PV	Project ID S035

Sheet Title
 ELEVATIONS

Scale
 N.T.S.

Sheet No.

A-5.6

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1 BUILDING 4 (EAST ELE.)
 ELE. FACING 176 STREET



2 BUILDING 4 (NORTH ELE.)
 ELE. FACING NEIGHBOURING LOT

2024-07-02	Reviewed/Comments
2024-06-14	Reviewed/Comments
2024-05-17	Reviewed/Comments
2024-01-12	DP Application
2023-12-04	In-Progress DP Set
2023-11-03	Reviewed/Comments
2023-08-20	Reviewed/Comments
2023-03-11	DP Application
2023-03-10	Preliminary Application
Date	Description

Issues / Revisions

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Project Title
 MULTI-FAMILY DEVELOPMENT

Project Address
 9415-176 Street
 Surrey,
 British Columbia

Drawn By GS	Date 2024-03-06
Checked By PV	Project ID S035

Sheet Title
 ELEVATIONS

Scale
 N.T.S.

Sheet No.
 A-5.7

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1 BUILDING 4 (WEST ELE.)
 ELE. FROM OUTDOOR AMENITY-3



2 BUILDING 4 (SOUTH ELE.)
 ELE. FROM FUTURE 94A AVENUE

2024-07-02	Reviewed/Comments
2024-06-14	Reviewed/Comments
2024-05-17	Reviewed/Comments
2024-01-12	DP Application
2023-12-04	In-Progress DP Set
2023-11-03	Reviewed/Comments
2023-08-20	Reviewed/Comments
2023-03-11	DP Application
2023-03-10	Preliminary Application
Date	Description

Issues / Revisions

Seal

Project Title
 MULTI-FAMILY DEVELOPMENT

Project Address
 9415-176 Street
 Surrey,
 British Columbia

Drawn By
 GS

Checked By
 PV

Date
 2024-03-06

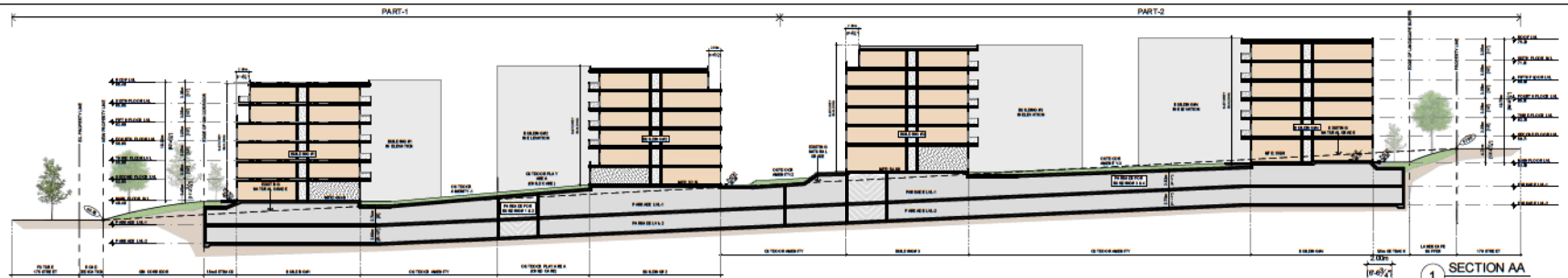
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Sheet Title
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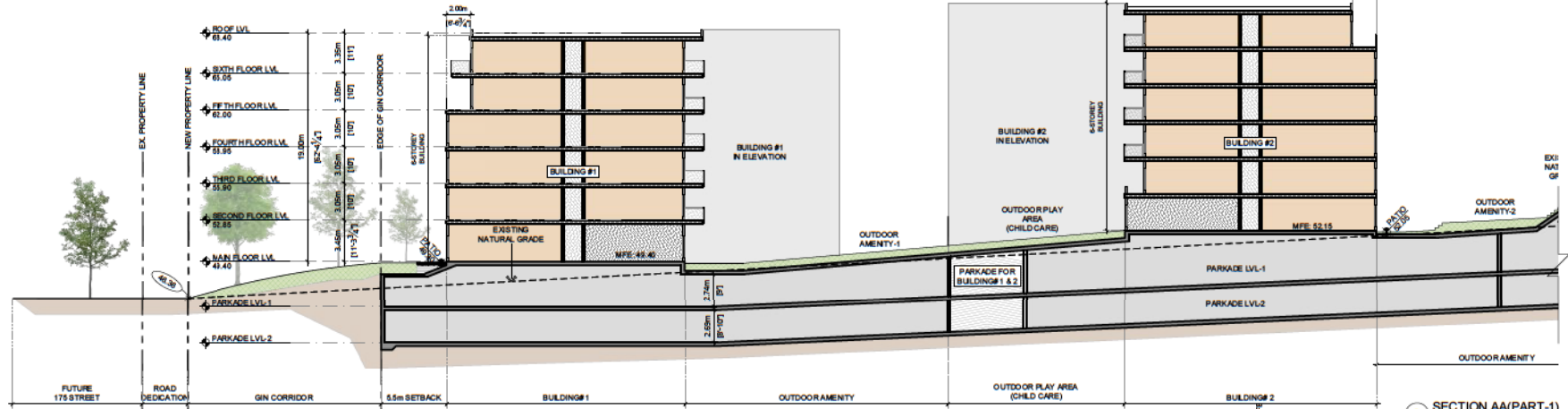
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 N.T.S.

Sheet No.

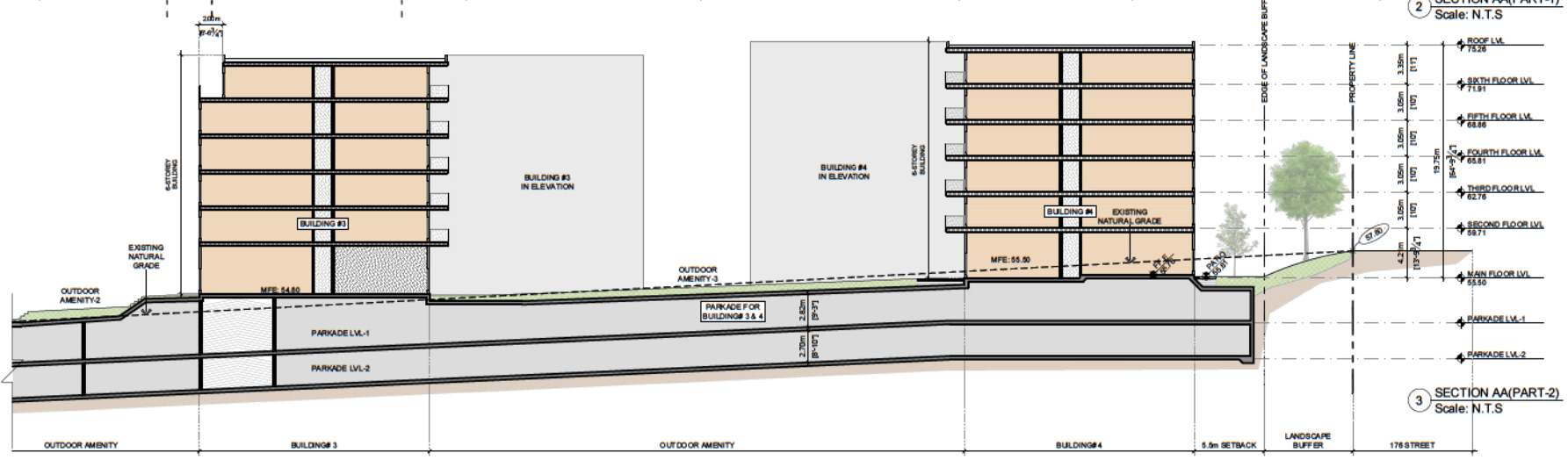
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1 SECTION AA
Scale: N.T.S



2 SECTION AA(PART-1)
Scale: N.T.S



3 SECTION AA(PART-2)
Scale: N.T.S

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Date	Description
2024-07-02	Reviewed/Comments
2024-06-14	Reviewed/Comments
2024-05-17	Reviewed/Comments
2024-01-12	DP Application
2023-12-04	In-Progress DP Set
2023-11-03	Reviewed/Comments
2023-09-20	Reviewed/Comments
2023-03-11	DP Application
2023-03-10	Preliminary Application

Issues / Revisions	
Date	Description

Project Title
MULTI-FAMILY DEVELOPMENT

Project Address
**9415-176 Street
Surrey,
British Columbia**

Drawn By GS	Date 2023-03-06
Checked By PV	Project ID 9415

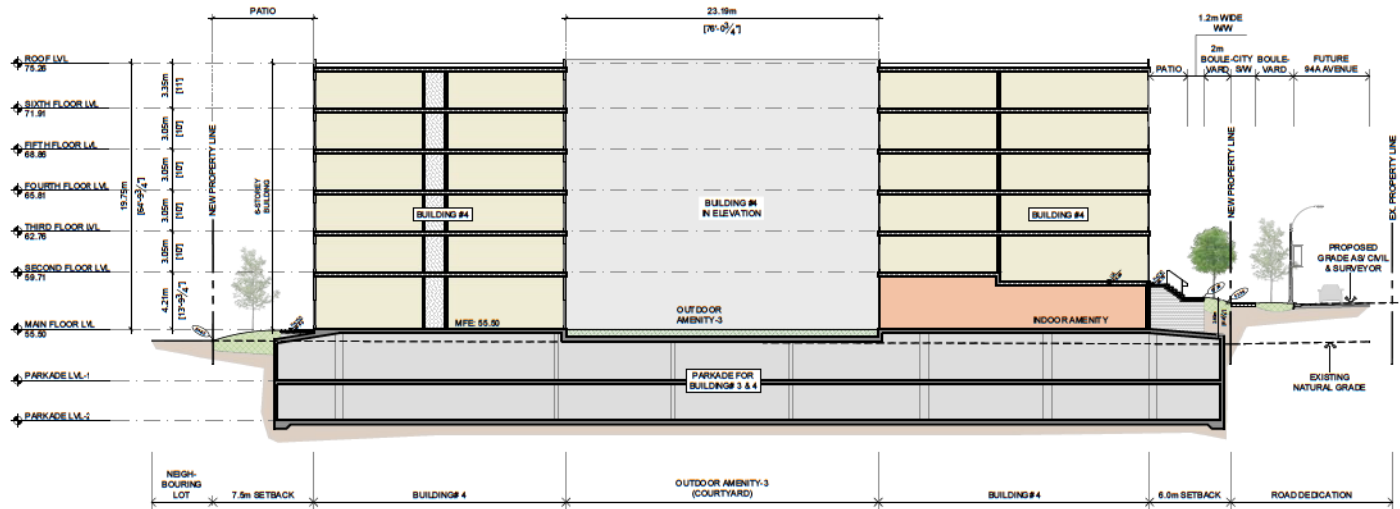
Sheet Title
SECTIONS

Scale
N.T.S

Sheet No.
A-6.0

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Key Plan



2 SECTION BB
 Scale: N.T.S

2024-07-02	Reviewed/Comments
2024-06-14	Reviewed/Comments
2024-05-17	Reviewed/Comments
2024-01-12	DP Application
2023-12-04	In-Progress DP Set
2023-11-03	Reviewed/Comments
2023-08-20	Reviewed/Comments
2023-03-11	DP Application
2023-03-10	Preliminary Application

Date	Description
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Issues / Revisions
 Seal

Project Title
MULTI-FAMILY DEVELOPMENT

Project Address
**9415-176 Street
 Surrey,
 British Columbia**

Drawn By GS	Date 2023-03-06
Checked By PV	Project ID S.035

Sheet Title
SECTIONS

Scale
 N.T.S

Sheet No.
A-6.1



LEGEND

[Symbol]	KID
[Symbol]	PLANTING MEDIUM
[Symbol]	IRRI CORRIDOR
[Symbol]	CONCRETE SIDEWALK
[Symbol]	COLOR COLORED CONCRETE
[Symbol]	STAMPED CONCRETE
[Symbol]	PERFORATED PLANK PAVING
[Symbol]	BROADWAY PLANK PAVERS
[Symbol]	RIVER ROCK
[Symbol]	FOUR IN PLACE RUBBER
[Symbol]	CONCRETE RETAINING WALL
[Symbol]	BOLDER WALL
[Symbol]	BIRE RACK
[Symbol]	BENCH
[Symbol]	CURVED BENCH
[Symbol]	QUATRO PILLAR
[Symbol]	TABLE
[Symbol]	OUTDOOR BAR/BEGGLE
[Symbol]	LANDSCAPE POLE LIGHT TIA 1
[Symbol]	LANDSCAPE BOLLARD
[Symbol]	RETAIN LINE
[Symbol]	PROPERTY LINE
[Symbol]	FENCE PER ARJH
[Symbol]	UNDERGROUND PARKING EXTER
[Symbol]	TREE PROTECTION FENCE

NOTES

- GENERAL NOTES**
1. EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
 2. CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
 3. CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
 4. CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS, OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCT
 5. I/OI WORKS.
 6. OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
 7. PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORK FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S OWN EXPENSE.
 8. UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
 9. THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE DURING THE PERIOD OF WORKS, PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEP AT THE END OF EACH DAY AND NEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.
- PLANTING NOTES**
1. PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING NOTES AND DETAILS.
 2. PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
 3. ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
 4. TREE PROTECTION: REFER TO MUNICIPAL DETAIL IF REQUIRED.
 5. ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
 6. SOIL DEPTH IN ALL PLANTING AREAS IS TO BE MINIMUM 450mm.
 7. SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 8. PLANTING MEDIUM TO MEET CANADIAN LANDSCAPE STANDARD FOR LEVEL 1.
 9. ALL PLANTING SUBS IS TO BE FINISHED WITH 75mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
 10. PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
 11. REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (I.S.A.) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
 12. PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON, AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
 - 12.1 Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of written request by the Owner or Owner's representative. Failure to do so after the request shall result in the working undertaken by others. The cost of this work shall be deducted from the total Contract Price or holdback and otherwise recovered from the Contractor.
 - 12.2 Maintenance and additional installation of mulch.
 - 12.3 Weed removal.
 - 12.4 Disease control.

- SOODING NOTES**
1. SOODING AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOOD, WITH 8 TRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
 - 40% BLEND OF (2) VARIETIES OF KENTUCKY BLUEGRASS
 - 40% CREEPING RED FESCUE
 - 20% PERENNIAL RYEGRASS
 2. USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE.
 3. AREAS TO BE SOODING SHALL HAVE A MINIMUM 150MM TOPSOIL BASE.
 4. LOOSEN SOIL SURFACE PRIOR TO SOODING. ELIMINATE BUMPS AND HOLLOW. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
 5. PRIOR TO SOODING OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
 6. DELIVER SOOD TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 24 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOOD FROM DRYING, AND WATER SOOD AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOOD WILL BE REJECTED.
 7. LAY SOOD DURING GROWING SEASON. LAY SOOD IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
 8. WATER SOOD IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SOODING AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.
- IRRIGATION NOTES**
1. IRRIGATION TO BE PROVIDED FOR ALL 'SOFT LANDSCAPE AREAS' SHOWN ON THE DRAWING USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
 2. IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FOR THE SUBOUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
 3. THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
 4. ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
 5. USE POP-UP SPRINKLER HEADS.
 6. DO NOT SPRAY WATER ONTO TREE TRUNKS.

3	30000	ISSUED FOR RE-CP
2	30005	ISSUED FOR RE-CP
1	30007	ISSUED FOR CP
NO.	DATE	ISSUED FOR
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NO.	DATE	ISSUED FOR
NO.	DATE	ISSUED FOR
NO.	DATE	ISSUED FOR
NO.	DATE	ISSUED FOR



PROJECT NAME
MULTI-FAMILY DEVELOPMENT

PROJECT ADDRESS
9415 176 STREET
SURREY, BRITISH COLUMBIA

DRAWING TITLE
OVERALL LANDSCAPE PLAN

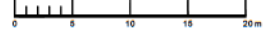
SCALE
1:300

DRAWN BY
MA

CHECKED BY
JT

PROJECT NO.
20090-L

DRAWING NO.
L1



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EXISTING PROPERTY LINE

EXISTING PROPERTY LINE

ROAD DEDICATION

ROAD DEDICATION

NEW PROPERTY LINE

NEW PROPERTY LINE

EXISTING PROPERTY LINE

ROAD DEDICATION

NEW PROPERTY LINE

GIN CORRIDOR

ENLARGEMENT 2 SHEET L1.2

BOULDER WALL 8/L4.1
HOLLAND ECO PAVERS 2/L4
BKE RACK 8/L4

RIVER ROCK 3/L4

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONEXION
DECIDUOUS TREES						
10	2	Zelkova Serrata Green/Vari	Japanese Zelkova	Tree Cal.	As Shown	WB.
14	1	Prunus - yamadai / Mahoe	Alabaster Cherry	Tree Cal.	As Shown	WB.
16	1	Camellia Japonica	Japanese Camellia	Tree Cal.	As Shown	WB.
21	1	Acer Palmatum 'Bloodgood'	Bloodgood Japanese Maple	Tree Cal.	As Shown	WB.
CONIFEROUS TREES						
7	1	Scotch Pine 'Pur Pur'	Pink Spineleaf 'Pur pur'	3.0m H.	As Shown	WB.

PROPOSED BUILDING 1

OVERHEAD STRUCTURE 1/L4.1
TABLE 5/L4
BROADWAY PLANKPAVERS 2/L4
STRAIGHT BENCH 7/L4
GRAVEL 3/L4
HOLLAND ECO PAVERS 2/L4
TIMBER FENCE 13/L4.2
TIMBER GATE 1/L4.2
PLANTING IN GIN BY ENVIRONMENTAL

OUTDOOR AMENITY

OUTDOOR PLAY AREA (CHILD CARE CENTRE)

PROPOSED BUILDING 2

TIMER GATE 1/L4.2
POUR IN PLACE RUBBER 3/L4.1
TIMBER FENCE 2/L4.2
STRAIGHT BENCH 7/L4
RIVER ROCK 3/L4
HOLLAND ECO PAVERS 2/L4

CONCRETE RETAINING WALL 11/L4

KEY	QTY	BOTANICAL NAME	COMMON NAME	SPACING	CONEXION
SHRUBS					
10	1	Buxus 'Green Manikin'	Green Manikin Boxwood	As Shown	@ 1m
30	1	Rosa 'Yellow'	Knock Out Shrub Rose	As Shown	@ 1m
44	1	Acrocalymma 'Nimbus Blue'	Sea Island Holly	As Shown	@ 1m
23	1	Thalictrum 'Orange'	Pink Cheek Anemone	As Shown	BB
450	1	Chamaelirium 'Pur Pur'	Alma Plant Mexican Mock Orange	As Shown	@ 1m
7	1	Styphion 'Vigoro'	Common Lilac	As Shown	BB
8	1	Fraxinus 'Oak'	Fraxinus Oak	As Shown	BB
44	1	Rosa 'Purple Heart'	Dark Purple Shrub Rose	As Shown	@ 1m
111	1	Hydrangea 'Nivea'	White Hydrangea	As Shown	@ 1m
85	1	Conoclinium 'Vivid Red'	Red Top Knotweed	As Shown	@ 1m
363	1	Jurinea 'Hollander's'	Blue Chip Crowing Juniper	As Shown	BB
PERENNIALS, GRASSES & WILD GRASSES					
50	1	Helianthus 'Sunflower'	Big Old Grass	As Shown	Plant
250	1	Hosta 'Violet'	White Lily	As Shown	Plant
60	1	Waldsteinia 'Fragrantissima'	Barren Strawberry	As Shown	Plant
400	1	Salvia 'Purple'	Purple Salvia	As Shown	Plant
100	1	Festuca 'Blue'	Blue Fescue	As Shown	Plant



LEGEND

- GRID
- PLANTING MEDIUM
- GIN CORRIDOR
- CONCRETE SIDEWALK
- COLOR COLORED CONCRETE
- STAMPED CONCRETE
- SPRINGING
- PERENNIALS
- BROADWAY PLANK PAVERS
- RIVER ROCK
- POUR IN PLACE RUBBER
- CONCRETE RETAINING WALL
- BOLDER WALL
- BKE RACK
- BENCH
- CURVED BENCH
- QUATRO PILLAR
- TABLE
- OUTDOOR BARBEQUE
- LANDSCAPE POLE LIGHT 1/1.1
- LANDSCAPE BOLLARD
- RETBACK LINE
- PROPERTY LINE
- FENCE AREA
- UNDERGROUND PARKING EXIST
- TREE PROTECTION FENCE

3	30000	RESERVED FOR FE-CP
2	300015	RESERVED FOR FE-CP
1	30002	RESERVED FOR CP

REV. DATE, DESCRIPTION, ISSUED APPROVALS



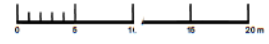
PROJECT NAME
MULTI-FAMILY DEVELOPMENT

PROJECT ADDRESS
**9415-170 STREET
SURREY, BRITISH COLUMBIA**

DRAWING TITLE
ENLARGEMENT 1

SCALE	1:50
DRAWN	MA
CHECKED	JT
PROJECT NO.	2009-L
DRAWING NO.	L1.1

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ENLARGEMENT 1 SHEET L1.1

ENLARGEMENT 3 SHEET L1.3

ROAD DEDICATION

- 0.5m R.O.W
- RIVER ROCK 3/L4
- STAMPED CONCRETE 1/L4

NEW PROPERTY LINE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
PLANT LIST - TREES ENTIRE SITE						
DECIDUOUS TREES						
10		<i>Zakura Zakura 'Green Vein'</i>	Japanese Zakura	7m Cal.	As Stems	W.B.
14		<i>Prunus yedoensis 'Hakone'</i>	Hakone Cherry	7m Cal.	As Stems	W.B.
16		<i>Capparis japonica</i>	Japanese Hornbeam	7m Cal.	As Stems	W.B.
21		<i>Acer palmatum 'Bloodgood'</i>	Bloodgood Japanese Maple	7m Cal.	As Stems	W.B.
CONIFEROUS TREES						
7		<i>Saxifraga oppositifolia</i>	Flora Saxifraga japonica	3.0m H.	As Stems	W.B.

PROPOSED BUILDING 2

TIMBER GATE 1/L4.2
POUR IN PLACE RUBBER 3/L4.1
TIMBER FENCE 2/L4.2
QUATTRO PILLAR 9/L4
STRAIGHT BENCH 7/L4
RIVER ROCK 3/L4
HOLLAND ECO PAVERS 2/L4

PROPOSED BUILDING 3

TIMBER GATE 1/L4.2
QUATTRO PILLAR 9/L4
LANDSCAPE BOULDER 10/L4
CURVED BENCH 6/L4
BROADWAY PLANK PAVERS 2/L4
COLOURED CONCRETE 1/L4
TABLE 5/L4

KEY	QTY	BOTANICAL NAME	COMMON NAME	SPACING	CONDITION
PLANT LIST - SHRUBS & PERENNIALS ENTIRE SITE					
915		<i>Rosa 'Queen Margaret'</i>	Queen Margaret Rosewood	As Stems	#3 P.F.
30		<i>Flora 'Yvonne'</i>	Wood Out Shrub Rose	As Stems	#3 P.F.
44		<i>Arctostaphylos 'Strawberry Bluff'</i>	Heardwood	As Stems	#3 P.F.
23		<i>Thuja 'Cockburn's Veitchii'</i>	Pine Cedar Arborescens	As Stems	#3 P.F.
400		<i>Chamaecyparis 'Nana'</i>	Japanese False Cypress	As Stems	#3 P.F.
7		<i>Scilla maritima</i>	Common Lily	As Stems	#3 P.F.
6		<i>Forbesia ovata 'Northern Gold'</i>	Northern Gold Forsythia	As Stems	#3 P.F.
44		<i>Platanus 'Purple Heart'</i>	Dark Purple Heart Platanus	As Stems	#3 P.F.
111		<i>Hydrangea 'Annabelle'</i>	Pinkish Hydrangea	As Stems	#3 P.F.
16		<i>Cornus alba 'Soleil d'Or'</i>	White Flower Dogwood	As Stems	#3 P.F.
300		<i>Artemisia biennis</i>	Yucca Cane/Comfrey	As Stems	#3 P.F.
PERENNIALS, GRASSES, COVER CROPS, BED GRASSES					
55		<i>Juncus tenuis</i>	Blue Oat Grass	As Stems	Field
250		<i>Phlox 'Newport'</i>	Phlox Lily	As Stems	Field
50		<i>Waldsteinia fragrans</i>	Winter Candytuft	As Stems	Field
400		<i>Echinacea purpurea</i>	Purple Coneflower	As Stems	Field
100		<i>Penstemon</i>	Blue Penstemon	As Stems	Field

KD Planning & Design Ltd.
 4800 FORD OFFICE
 400 WEST GLADWIN AVE. AUSTIN, TEXAS 78703
 T: 512.453.9931 F: 512.453.1000 www.kdplanning.com
 VANCOUVER OFFICE
 110-2650 VICTORIA WAY VANCOUVER, BC V6J 4T5
 T: 604.264.6862 F: 604.264.6868 www.kdplanning.com

LEGEND

- KID
- PLANTING MEDIUM
- GRASS CORRIDOR
- CONCRETE SIDEWALK
- COLOURED CONCRETE
- STAMPED CONCRETE
- HOLLAND ECO PAVERS
- BROADWAY PLANK PAVERS
- RIVER ROCK
- POUR IN PLACE RUBBER
- CONCRETE RETAINING WALL
- BOULDER WALL
- BRE RACK
- BENCH
- CURVED BENCH
- QUATTRO PILLAR
- TABLE
- OUTDOOR BAR/BEGGLE
- LANDSCAPE LIGHT 1/1.1
- LANDSCAPE BOULDER
- RETAIN LINE
- PROPERTY LINE
- FENCE REF. ARCH
- UNDERGROUND PARKING EXIST
- TREE PROTECTION FENCE

3 30000 ISSUED FOR PER-CIP
 2 30000 ISSUED FOR PER-CIP
 1 30000 ISSUED FOR PER-CIP
 NO DATE SHOWN INDICATES ISSUED APPROXIMATE
 0/0/0



PROJECT NAME
MULTI-FAMILY DEVELOPMENT

PROJECT ADDRESS
9415-170 STREET SURREY, BRITISH COLUMBIA

DRAWING TITLE
ENLARGEMENT 2

SCALE: **1:50**

DRAWN: **NA**

CHECKED: **JT**

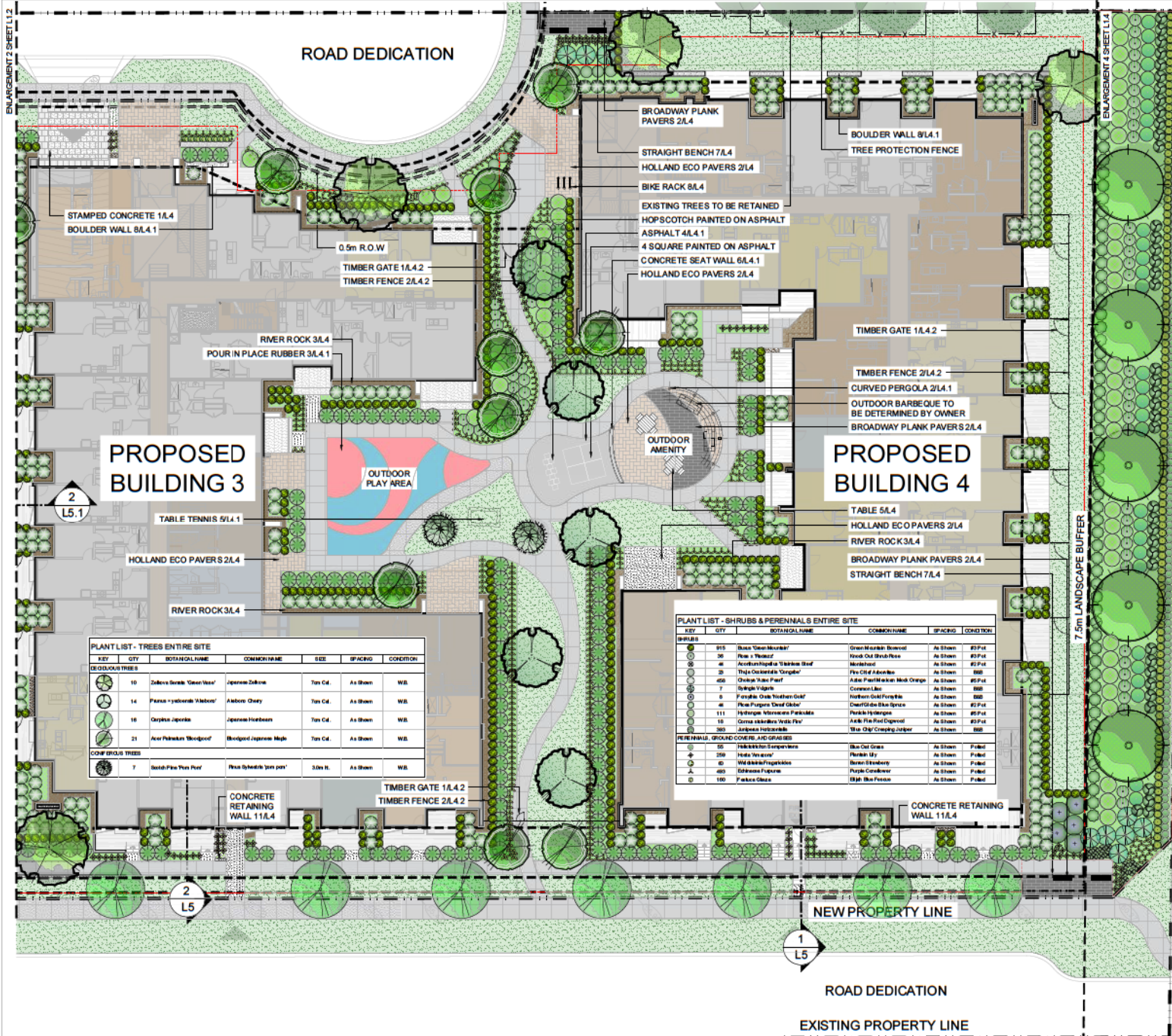
PROJECT NO: **2009-L**

DRAWING NO: **L1.2**



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ENLARGEMENT 2 SHEET L1.3



LEGEND

- KD
- PLANTING MEDIUM
- IRI CORRIDOR
- CONCRETE SIDEWALK
- COLORED CONCRETE
- STAMPED CONCRETE
- HERRINGBONE PAVING/SLAB PAVING
- BROADWAY PLANK PAVERS
- RIVER ROCK
- POUR IN PLACE RUBBER
- CONCRETE RETAINING WALL
- BOLDER WALL
- BIKE RACK
- BENCH
- CURVED BENCH
- QUATRO PILLAR
- TABLE
- OUTDOOR BARBEQUE
- LANDSCAPE LIGHT FIX 1
- LANDSCAPE COLDER
- IRI BACK LINE
- PROPERTY LINE
- FENCE RE. IRI
- UNDERGROUND PARKING EXTER
- TREE PROTECTION FENCE

3 30000 ISSUED FOR PER-CIP
 2 300015 ISSUED FOR PER-CIP
 1 30002 ISSUED FOR PER-CIP
 NO DATE/OWNER/DESCRIPTION
 ISSUED APPROVALS



PROJECT NAME
MULTI-FAMILY DEVELOPMENT
 PROJECT ADDRESS
**9415-176 STREET
 SURREY, BRITISH COLUMBIA**
 DRAWING TITLE
ENLARGEMENT 3

SCALE: 1:50
 DRAWN: MA
 CHECKED: JT
 PROJECT NO: 20090-L
 DRAWING NO:

L1.3

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PROPOSED BUILDING 3

PROPOSED BUILDING 4

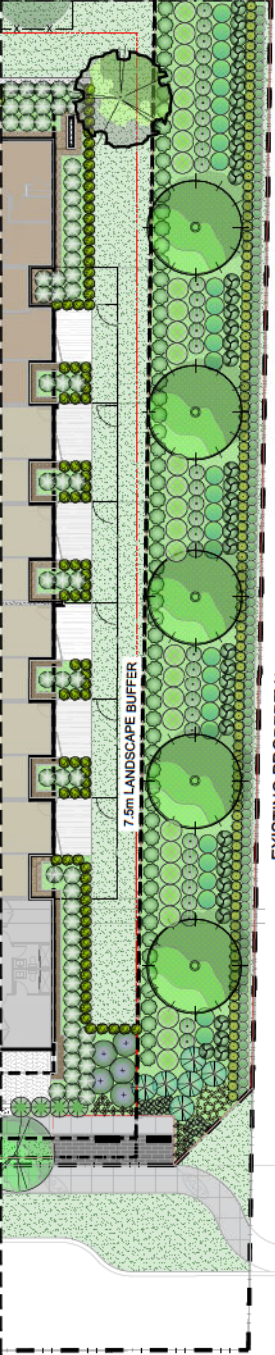
PLANT LIST - SHRUBS & PERENNIALS ENTIRE SITE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SPACING	CONDITION
SHRUBS					
1	815	Rosa 'New Dawn'	Green Musk Rose	As Shown	#2 Flat
2	35	Rosa 'Peace'	Red Out Shrub Rose	As Shown	#2 Flat
3	4	Accurum Hybrid 'Siskin Red'	Minibush	As Shown	#2 Flat
4	25	Thuj 'Oosterduin 'Vogel'	Flx Chl A Juniper	As Shown	800
5	450	Osmanthus 'Aurea'	Asian Perfum Osmanth	As Shown	#2 Flat
6	7	Spirea 'Vigant'	Common Lic	As Shown	800
7	5	Parrotia Oak 'Youthful Gold'	Northern Gold Forsyth	As Shown	800
8	4	Pink Purple 'Vogel' Shrub	Cherry Bloss Blue Spruce	As Shown	#2 Flat
9	111	Hydrangea 'Vincennes Pinkadee'	Pinkish Hydrangea	As Shown	#2 Flat
10	15	Coronilla 'Aurea Flw'	Amk Flw Red Dogwood	As Shown	#2 Flat
11	200	Limonium 'Nobilitate'	Blue Chip 'Crimson Lodge'	As Shown	800
PERENNIALS, GROUND COVERS, AND GRASSES					
12	55	Fidelix 'In' Sempervivum	Blue Out Grass	As Shown	Field
13	250	Helleborus 'Vivipar'	Flower Hl	As Shown	Field
14	60	Wickstrahl 'Purpurea'	Burnt Brickberry	As Shown	Field
15	400	Sedum 'Autumn Lips'	Purple Candycrack	As Shown	Field
16	100	Fuchsia 'Glacé'	Blk Blue Fuchsia	As Shown	Field

PLANT LIST - TREES ENTIRE SITE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
10	10	Zelkova 'Serrata 'Green View'	Japanese Zelkova	Tree Cal.	As Shown	WB
14	14	Ficus 'reticulata 'Amboin'	Aliborn Cherry	Tree Cal.	As Shown	WB
18	18	Quercus 'japonica'	Japanese Hornbeam	Tree Cal.	As Shown	WB
21	21	Acer 'Falmouth 'Blackgold'	Blackgold Japanese Maple	Tree Cal.	As Shown	WB
CONIFEROUS TREES						
7	7	Scotch Pine 'True Fir'	Pine 'Spectabilis 'Iron pine'	3.0m H.	As Shown	WB

ENLARGEMENT 3 SHEET L1.1



EXISTING PROPERTY LINE

176 STREET

PLANT LIST - TREES LANDSCAPE BUFFER

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
CONTRIBUTOR TREES						
	5	Pine Nipa	Australian Pine	3.0m Ht.	As Shown	BBB

PLANT LIST - SHRUBS & PERENNIALS LANDSCAPE BUFFER

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
	20	Pilea + Tradescantia	Jack-O-Lantern Pilea		As Shown	#2 Pkt
	14	Asplenium platyneuron	Moss Plant		As Shown	#2 Pkt
	6	Styrax virginicus	Common Star		As Shown	BBB
	110	Hedera helix	Ocean Spray		As Shown	#2 Pkt
	9	Hedera cuneata	Heartleaf Starling		As Shown	#2 Pkt
	40	Saxifraga hypnoides var. dipnoides	Jack-Love Leaf Saxifrage		As Shown	#2 Pkt
	8	Pilea pumila	Cherry Pie Pilea		As Shown	#2 Pkt
	10	Hedera cuneata	Heartleaf Starling		As Shown	#2 Pkt
PERENNIALS, GROUND COVERS AND GRASSES						
	110	Helleborus	Blue Out Grass	1 Gal.	As Shown	Plant
	7	Helleborus	Plum Up	1 Gal.	As Shown	Plant
	8	Helleborus	Purple Candy	1 Gal.	As Shown	Plant



LEGEND

- B&B
- PLANTING MEDIUM
- BRICK CORRIDOR
- CONCRETE SIDEWALK
- COLORED CONCRETE
- STAMPED CONCRETE
- HERRINGBONE PAVING
- BRICKWAY PAVING
- RIVER ROCK
- POURED CONCRETE
- CONCRETE RETAINING WALL
- BOULDER WALL
- BRICK PAVE
- BENCH
- CURVED BENCH
- QUATTRO PILLAR
- TABLE
- OUTDOOR BAR/BEGLE
- LANDSCAPE POLELIGHT T1A 1
- LANDSCAPE COLDER
- RETRACE LINE
- PROPERTY LINE
- FENCE RE. ARCH
- UNDERROAD PAVEMENT EXTENT
- TREE PROTECTION FENCE

3 20000 ISSUED FOR RE-CP
 2 20005 ISSUED FOR RE-CP
 1 20007 ISSUED FOR CP
 NO. DATE (DATE, DESCRIPTION)
 ISSUED APPROVALS
 SEAL



PROJECT NAME
MULTI-FAMILY DEVELOPMENT

PROJECT ADDRESS
**9415-176 STREET
 SURREY, BRITISH COLUMBIA**

DRAWING TITLE
**ENLARGEMENT 4
 LANDSCAPE BUFFER**

SCALE: **1:50**

DRAWN: **NA**

CHECKED: **JT**

PROJECT NO: **2000-L**

DRAWING NO: **L1.4**



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TO: **Director, Development Planning, Planning and Development Department**

FROM: **Manager, Development Services, Engineering Department**

DATE: **July 02, 2024**

PROJECT FILE: **7823-0121-00**

RE: **Engineering Requirements**
Location: 9419 176 St

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 11.5m along 94A Avenue
 - Alternatively, dedicate 7.5m along 94A Avenue with 4.0m off-site SRW.
- Dedicate 12.0m along 174 Street and Anniedale Road.
- Dedicate corner cuts as required.
- Register 0.5m SRW along development frontages.
- Resolve Ministry of Transportation and Infrastructure requirements along Highway 15.

Works and Services

- Construct south side of 94A Avenue.
- Construct east side of 174 Street.
- Construct north side of Anniedale Road.
- Provide downstream analyses for drainage and sanitary to confirm sufficient capacities to accommodate subject development.
- Construct adequately sized water, sanitary and drainage mains and service connections to service development site.
- Pay DWA fees as required.



Jeff Pang, P.Eng.
Manager, Development Services

RH

Department: **Planning and Demographics**
Date: **June 12, 2024**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **23-0121**

The proposed development of **489** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	77
---	----

Projected Number of Students From This Development In:	
Elementary School =	44
Secondary School =	20
Total Students =	64

Current Enrolment and Capacities:	
Serpentine Heights Elementary	
Enrolment	399
Operating Capacity	434
# of Portables	0
North Surrey Secondary	
Enrolment	1428
Operating Capacity	1175
# of Portables	9

Summary of Impact and Commentary

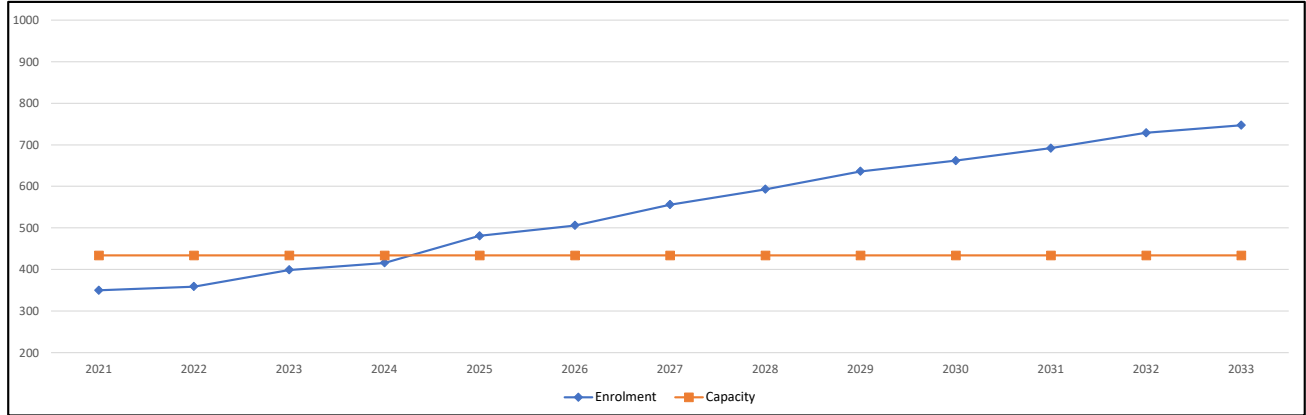
The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

As of September 2023, Serpentine Heights is operating at 92% capacity. In the near future, Serpentine Heights can accommodate any enrolment growth within its existing capacity and portables until a new school is constructed in the community.

The District recognizes that enrolment will go up once the Anniedale/Tynehead NCP gets underway. In response, the District has submitted as part of the 2025/2026 Five Year Capital Plan submission to the Ministry of Education and Child Care, to build a new 612 capacity elementary school in the area. This project has not been approved by the Ministry as of yet.

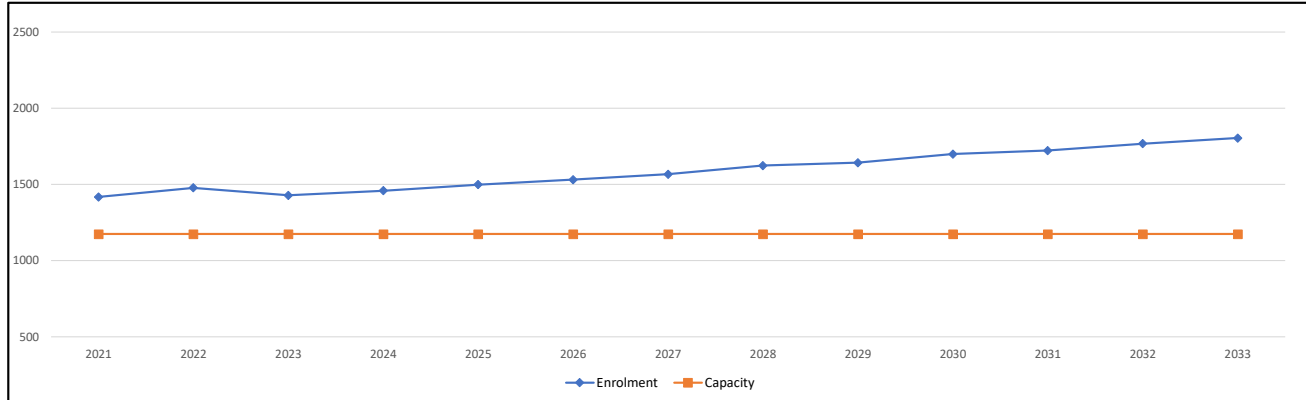
As of September 2023, North Surrey Secondary is operating at 122% and projected to grow to 1500+ students by the middle of this decade. As part of the 2025/2026 Capital Plan submission to the Ministry of Education, the District is requesting a 525 capacity addition. This project has not been approved by the Ministry as of yet.

Serpentine Heights Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

North Surrey Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population: The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	35	35	0
Cottonwood	2	2	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry Tree	2	2	0
Birch	1	1	0
Bigleaf Maple	48	47	1
Norway Maple	2	2	0
Coniferous Trees			
Douglas Fir	33, excluding 3 dead	31 & 3 dead	2
Western Red Cedar	62, excluding 9 dead	55 & 9 dead	7
Hemlock	10	8	2
Sitka Spruce	7	7	0
Total (excluding Alder and Cottonwood Trees)	165 & 12 dead	153 & 12 dead	12
Total Replacement Trees Proposed (excluding Boulevard Street Trees)	To be provided by project Landscape Architect		
Total Retained and Replacement Trees	To be provided by project Landscape Architect		
Contribution to the Green City Program			

Tree Preservation Summary

Surrey Project No:

Address: 9419 176 Street, Surrey

Registered Arborist: Woodridge Tree Consulting Arborists Ltd.,

On-Site Trees	Number of Trees	Off-Site Trees	Number of Trees
Protected Trees Identified *	202, excluding 12 dead trees	Protected Trees Identified	22, excluding 4 dead
Protected Trees to be Removed	190 & 12 dead	Protected Trees to be Removed	18, excluding 4 dead
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	12	Protected Trees to be Retained	4
Total Replacement Trees Required: - Alder & Cottonwoods to be removed (1:1) 37 X one (1) = 37 - All other species to be removed (2:1) 153 X two (2) = 306	343	Total Replacement Trees Required: - Alder & Cottonwoods to be removed (1:1) 5 X one (1) = 5 - All other species to be removed (2:1) 13 X two (2) = 26	31
Replacement Trees Proposed	To be provided by project landscape architect	Replacement Trees Proposed	To be provided by project landscape architect
Replacement Trees in Deficit	343	Replacement Trees in Deficit	31
Protected Trees to be Retained in Proposed Open Space or Riparian Areas	0		

*on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas

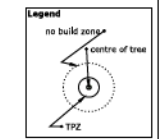
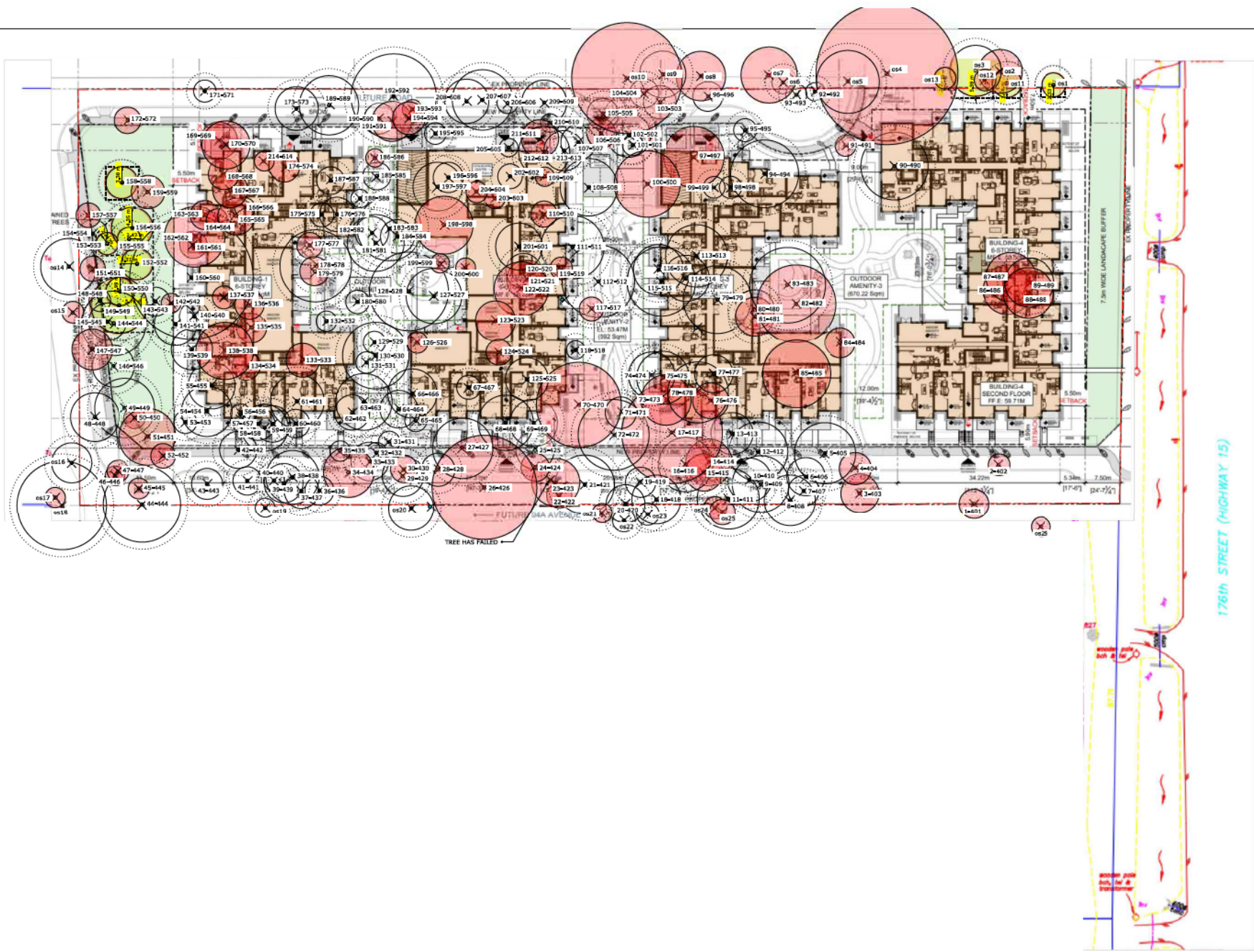
Summary, report and plan prepared and submitted by:



(Signature of Arborist)

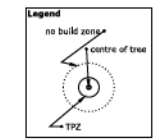
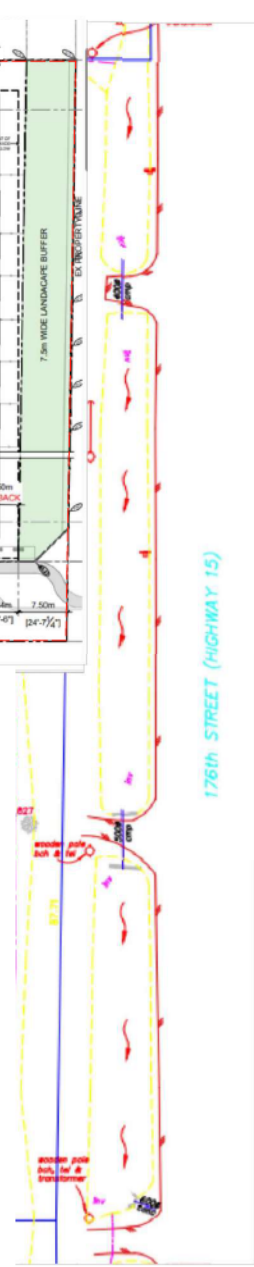
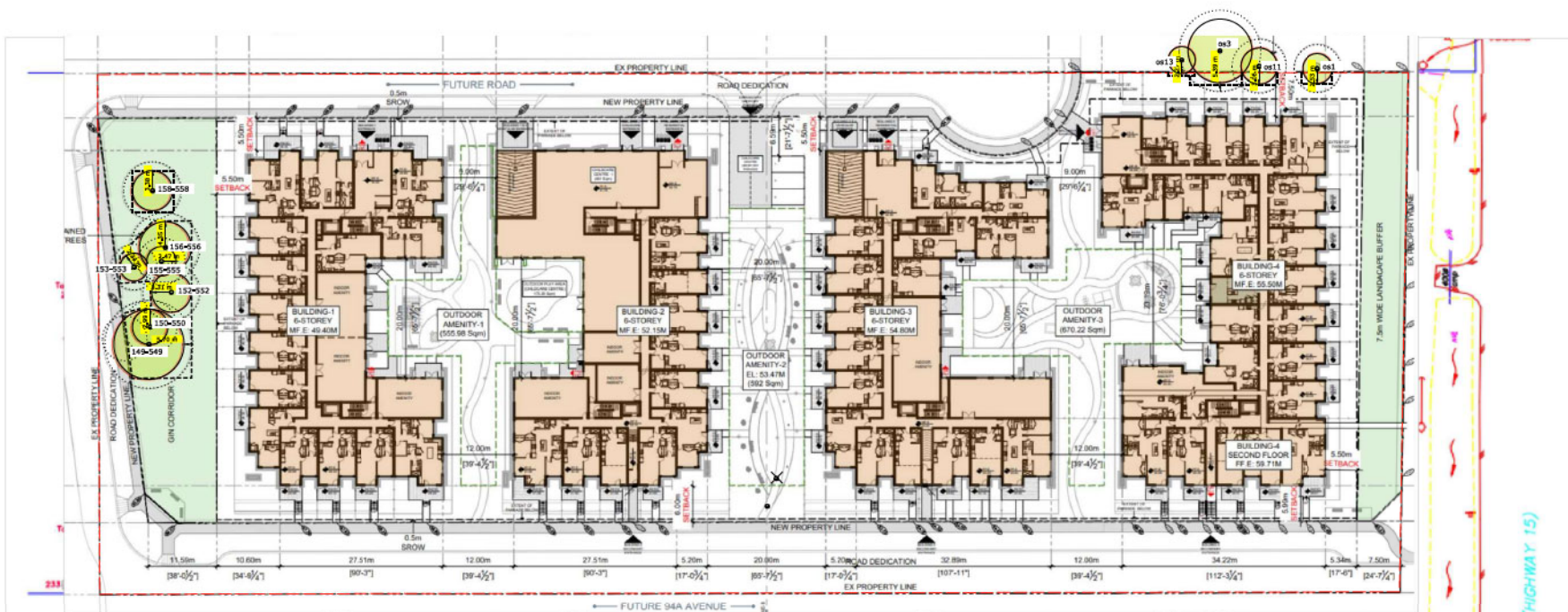
May 16, 2024

Date



Notes
 -NON SURVEYED TREE LOCATIONS ARE APPROXIMATE.
 -Poor retention suitability trees are shown with shaded TPZ. All others have Moderate or good retention suitability.
 -TREE BARRIER DISTANCES ARE SHOWN FROM TREE CENTER

Legend
 x = remove tree
 ○ = Poor retention suitability
 ● = Tree not surveyed
 ● = Undersize tree
 [] = Tree barrier
 1m 1:350 10m



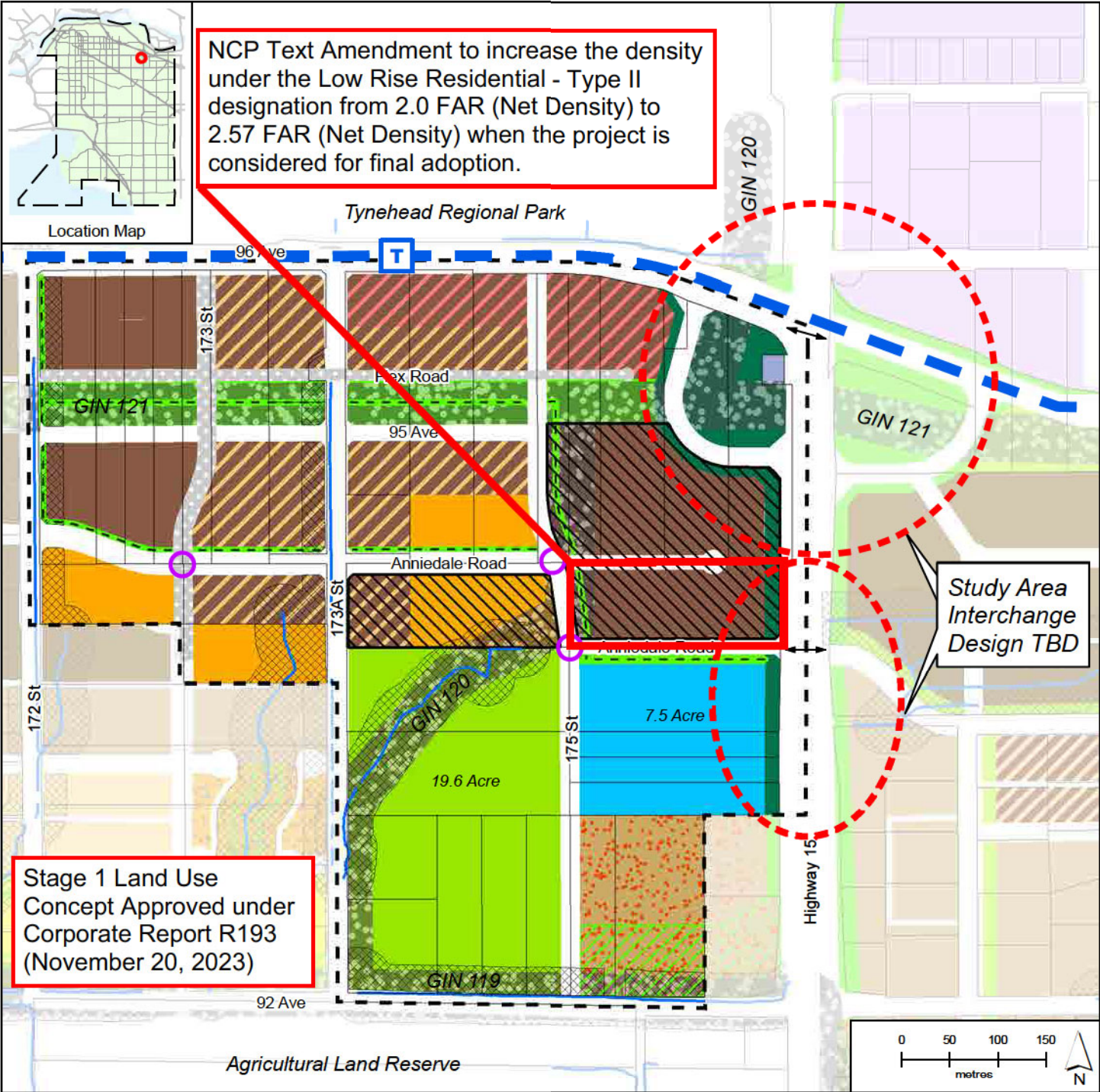
Notes
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-Poor retention suitability trees are shown with shaded TPZ. All others have Moderate or good retention suitability.

-BARRIER DISTANCES ARE SHOWN FROM TREE CENTER

- Legend**
- x = remove tree
 - = Poor retention suitability
 - = Tree not surveyed
 - ◆ = Undersize tree
 - ▬ = Barrier
- 1m 1:350 10m

Stage 1 Land Use Concept - West Amendment Area



Stage 1 Land Use Concept Approved under Corporate Report R193 (November 20, 2023)

LEGEND

- Low Rise Residential - Type I
- Park
- Biodiversity Development Consideration Area
- Lots
- Low Rise Residential - Type II
- Multi Use Trails
- Green Density Transfer
- Overpass
- High-Density Cluster
- Landscape Buffer
- Flex Alignment Road
- Major Transit Network
- Low Rise Employment
- Utility Buffer
- Amendment Boundary
- Roundabouts
- Low Rise Mixed-Use
- GIN Corridors
- Sensitive Stream
- School
- Riparian Buffer



Land Use Concept

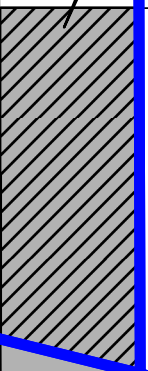
Planning & Development Department



MR

OCP Amendment from "Commercial" to "Multiple Residential".

COM



9419

Highway 15

OCP Amendment from "Urban" to "Multiple Residential".

175 St

94 Ave

URB

