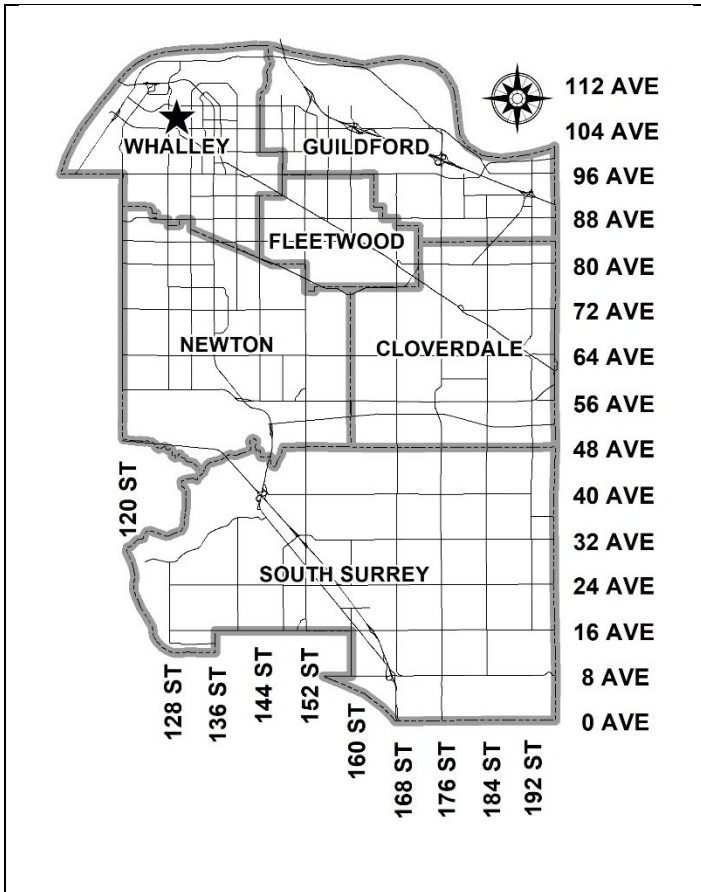


City of Surrey
ADDITIONAL PLANNING COMMENTS

Application No.: 7923-0117-00

Planning Report Date: December 16, 2024



PROPOSAL:

- **OCP Amendment** from Urban to Multiple Residential.
- **OCP Text Amendment** to permit a higher density under the Multiple Residential designation.
- **Rezoning** from R3 to CD (based om RM-70)
- **Development Permit**

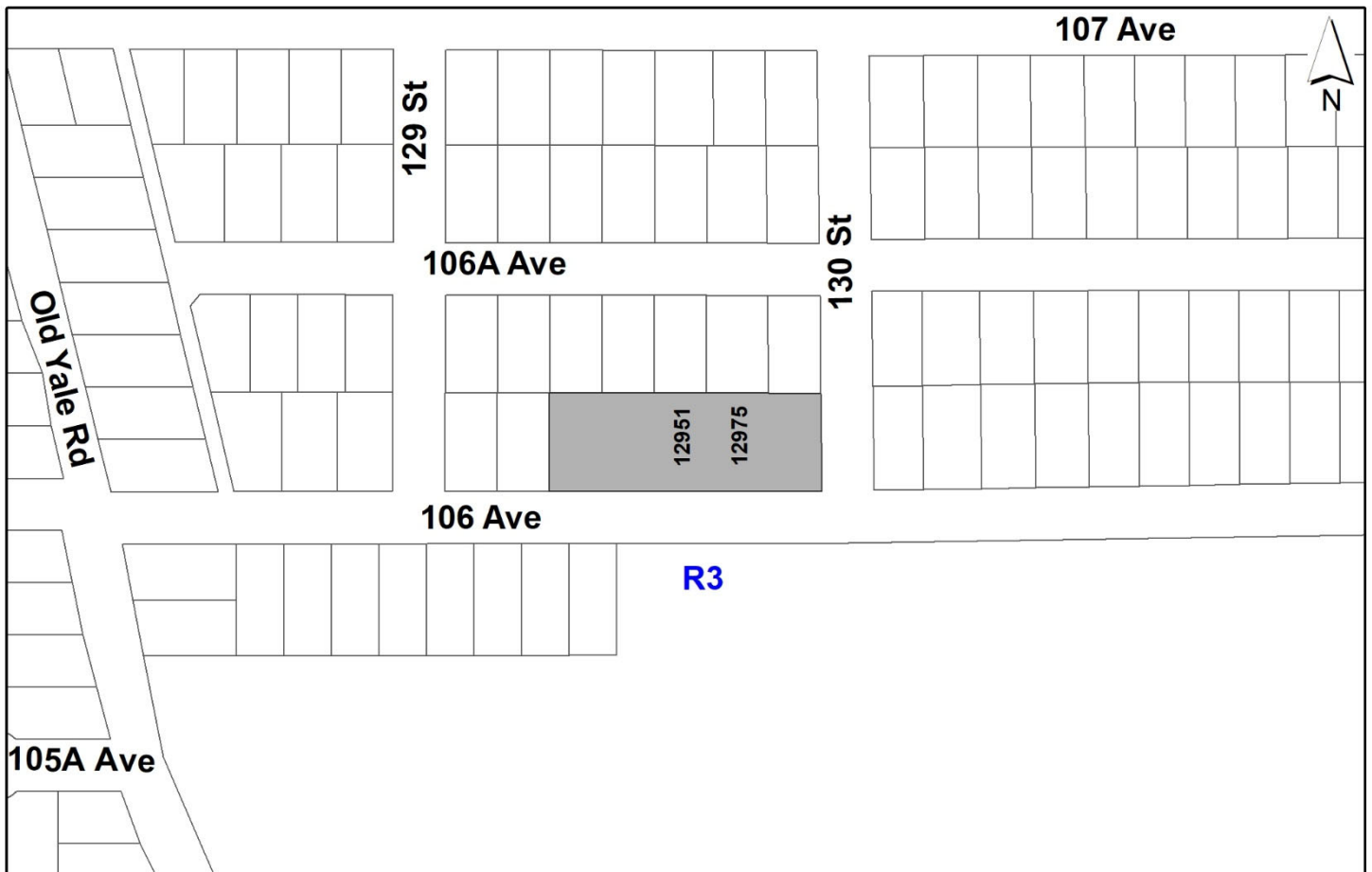
to permit the development of two 6-storey residential buildings containing 10 secured non-market rental, 58 secured market rental and 70 market strata dwelling units over two (2) levels of underground parking in Whalley.

LOCATION: 12951 - 106 Avenue

12975 - 106 Avenue

ZONING: R3

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an Official Community Plan (OCP) amendment to redesignate the subject site from "Urban" to "Multiple Residential".
- Proposing a text amendment to "Table 7A: Land Use Designation Exemptions" in the OCP in order to permit the proposed density of 2.5 Floor Area Ratio (FAR), based on the net site area, under the "Multiple Residential" designation.

RATIONALE OF RECOMMENDATION

- At the December 2, 2024, Regular Council – Land Use meeting, a proposal for two 5-storey residential buildings containing 10 secured non-market rental, 38 secured market rental, and 58 market strata dwelling units on the subject site was referred back to staff in order to consider additional building height and density.
- The direction from Council was based primarily on the proximity of the subject site to the western edge of the expanded City Centre Plan area, which will support future higher-density residential development, and the opportunity to provide for additional secured rental units.
- Subsequently, the applicant has worked with City staff in order to accommodate a 6-storey, 2.5 FAR (Net) building form while still maintaining a suitable interface with existing lower density residential uses to the north and west of the subject site. Consequently, the number of proposed rental units, both market and non-market, in proposed Building B1 has increased from 48 (12 1-bedroom, 23 1-bedroom plus den, 11 2-bedroom and 2 3-bedroom) to 58 (12 1-bedroom, 29 1-bedroom plus den, 14 2-bedroom and 3 3-bedroom) dwelling units.
- The applicant proposes to enter into a Housing Agreement to allocate the 58 dwelling units within proposed Building B1 as both market (48 units) and non-market (10 units) rental units for a period of no less than 60 years.
- The number of proposed market strata dwelling units within proposed Building B2 has increased from 58 to 70.
- Aside from the proposed building height and density, all of the details of the proposal remain the same as originally proposed in the Planning and Development Report dated December 2, 2024 (attached as Appendix A).

RECOMMENDATION

The Planning & Development Department recommends that:

1. An OCP By-law be introduced to:
 - (a) amend OCP Figure 3: General Land Use Designations for the subject site from Urban to Multiple Residential; and
 - (b) amend OCP Table 7A: Land Use Designations by adding the following site-specific notation:

Bylaw No.	Land Use Designation	Site Specific Property	Site Specific Permission
"Bylaw # xxxxx	Multiple Residential	12951/12975 – 106 Avenue	Density permitted up to 2.5 FAR" (NET)

and a date set for Public Hearing.

2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A By-law be introduced to rezone the subject site from "Urban Residential Zone (R3)" to "Comprehensive Development Zone (CD)" (based on RM-70) and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 23-0117-00 generally in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issues prior to Final Adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision plan to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant enter into a Housing Agreement with the City to ensure the provision of 58 rental units (48 market rental and 10 below-market rental) within proposed Building B1 for a period no less than 60 years;

- (g) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
- (h) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption
- (i) submission of sufficient bonding to ensure demolition of existing buildings and structures prior to issuance of the subsequent Building Permit, to the satisfaction of the Planning and Development Department;
- (j) registration of a Section 219 Restrictive Covenant to adequately address the City’s needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City’s Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department for the market strata dwelling units proposed within Building B2; and
- (k) registration of a Section 219 Restrictive Covenant requiring the applicant to pay all applicable contributions to public art, to the satisfaction of the General Manager, Parks, Recreation and Culture, and with respect to the City’s Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department should the tenure of the proposed secured market rental dwelling units within Building B1 be changed.

DEVELOPMENT PROPOSAL

- In order to permit the development of two, 5-storey residential buildings containing a total of 128 dwelling units (**Bldg. B1:** 58 secured market and non-market rental units, **Bldg. B2:** 70 market strata units) over three (3) levels of underground parking in Whalley the applicant will require the following:
 - **OCP Amendment** from "Urban" to "Multiple Residential";
 - **OCP Text Amendment** to permit a higher density of 2.0 FAR (Net) under the Multiple Residential designation.
 - **Rezoning** from R3 to CD (based on RM-45).
 - **Housing Agreement** to regulate the tenure of the proposed 58 rental dwelling units (48 market rental, 10 below-market rental) for a period of no less than 60 years.
 - **Development Permit** for Form and Character.

	Proposed
Lot Area	
Gross Site Area:	3,955 square metres
Road Dedication:	4.5 square metres
Net Site Area:	3,951.5 square metres

	Proposed
Number of Lots:	1
Building Height:	6-storeys (20.5 metres)
Floor Area Ratio (FAR):	2.5 FAR (Net)
Floor Area	
Residential:	9,710 square metres
Residential Units:	
1-Bedroom:	26 dwelling units (20.3% of total units)
1-Bedroom + Den:	68 dwelling units (53.1% of total units)
2-Bedroom:	28 dwelling units (21.8% of total units)
3-Bedroom:	6 dwelling units (4.8% of total units)
Total:	128 dwelling units

Referrals

School District:

The School District has advised that there will be approximately 20 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

12 Elementary students at K.B. Woodward Elementary School
 5 Secondary students at Kwantlen Park Secondary School

(Appendix II)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

Advisory Design Panel:

At the Regular Council – Land Use meeting on December 18, 2023, Council endorsed Corporate Report No. R214 (2023) which amended the Terms of Reference of the City’s Advisory Design Panel (ADP) which permits multi-family proposals that are 6-storeys or less, and supported by City staff, to proceed to Council for By-law introduction, without review and/or comment from the ADP.

The revised development proposal is generally supported by City staff and the applicant has agreed to resolve any outstanding items, to the satisfaction of the Planning and Development Department, prior to consideration of Final Adoption of the Rezoning By-law as well as issuance of the Development Permit.

POLICY & BY-LAW CONSIDERATIONS

CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate the two 6-storey buildings proposed. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed.
- Whereas the previous CD By-law associated with the Planning and Development Report dated December 2, 2024, had provisions based on the "Multiple Residential 45 Zone (RM-45)". The current CD By-law will have provisions based on the "Multiple Residential 70 Zone (RM-70)" given the proposed increase in both density and building height.
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone
Floor Area Ratio:	1.5 FAR (Net)	2.5 FAR (Net)
Lot Coverage:	33%	52%
Yards and Setbacks	7.5 metres from all lot lines	North: 10.4 metres East: 4.5 metres South: 4.5 metres West: 5.9 metres
Principal Building Height:	50 metres	20.5 metres
Amenity Space		
Indoor Amenity:	3.0 sq.m. per dwelling unit (384 sq.m. in total)	The proposed 332 m² + CIL meets the Zoning By-law requirement.
Outdoor Amenity:	3.0 sq.m. per dwelling unit (384 sq.m. in total)	The proposed 399 m² meets the Zoning By-law requirement.
Parking (Part 5)	Required	Proposed
Number of Stalls		
Residential:	159	159
Residential Visitor:	20	20
Total:	179	179
Accessible (min. 2% of stalls):	4	8
Small-Car (max. 35% of stalls):	63	10
Bicycle Spaces		
Residential Secure Parking:	154	166
Residential Visitor:	6	8

- The proposed CD Bylaw is generally in keeping with the CD Bylaw presented for consideration by Council at the December 2, 2024, Regular Council – Land Use meeting except for changes noted below to accommodate the proposed 6-storey form:
 - **Floor Area Ratio (FAR):** From 2.0 FAR (Net) to 2.5 FAR (Net); and
 - **Principal Building Height:** From 17.0 metres to 20.5 metres.

- Changes to the indoor and outdoor amenity space as well as the number of residential and visitor off-street parking spaces required reflect the proposed increase to the number of total dwelling units, from 106 to 128. The per dwelling unit requirements for both on-site amenity space and off-street parking spaces remain unchanged.

PUBLIC ENGAGEMENT

- For the previous 5-storey proposal under Planning and Development Report No. 7923-0117-00, dated December 2, 2024, Pre-notification letters were sent on April 17, 2024, and the Development Proposal Sign was installed on April 22, 2024. At the time of consideration by Council at the Regular Council – Land Use meeting on December 2, 2024, staff had received no written, telephone or email responses from neighbouring residents.
- As a result of the ongoing Canada Postal Workers job action, pre-notification letters were not able to be sent out for the revised 6-storey application. Residents will have an opportunity to provide concerns to Council in response to the Public Hearing associated with the subject OCP Amendment and Rezoning By-laws.
- A revised Development Proposal Sign for the subject 6-storey residential building was installed on the subject property on December 6, 2024. To date, staff have not received any written, telephone or email responses from neighbouring residents.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to, and generally complies with, the Form and Character Development Permit design guidelines in the Official Community Plan (OCP).

Building Design – 6-story Proposal

- The applicant is proposing two, 6-storey wood-framed residential buildings containing approximately 128 dwelling units (**Bldg. B1:** 58 market and non-market rental units; **Bldg. B2:** 70 market strata dwelling units) over three (3) levels of underground parking. The proposed units consist of 26 1-bedroom, 68 1-bedroom plus den, 28 2-bedroom and 6 3-bedroom units ranging in size from 40 to 105 square metres.
- All building setbacks and step backs proposed under the 5-storey version of the subject proposal will apply to revised 6-storey proposal.
- While there are no proposed changes to the exterior finishes and generally architectural form/massing between the 5- and 6-storey proposals the previous three-storey ‘townhouse’ expression on has been increased to the lower 4-storeys in order to both provide a more human scale and reduce the visual impact of the upper storeys.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include refinement of the 130 Street (east) elevation as well as improvements to the overall visual prominent and accessibility of the proposed entrance lobby on 106 Avenue.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. School District Comments (Revised December 12, 2024)
- Appendix A. Initial Planning Report No. 7923-0117-00 dated December 2, 2024.

approved by Shawn Low

Ron Gill
General Manager
Planning and Development

CRL/cb

106 KWANTLEN VENTURES
12951 & 12975 - 106 AVENUE, Surrey, BC

RE-ISSUED FOR DEVELOPMENT PERMIT
Date : 11 DECEMBER 2024



DIRECTORY:

OWNER	106 KWANTLEN VENTURES 12951-12975, 106 AVE. SURREY, BC V3T 5X7 T: 604-575-9252 E: info@106kwantlen.com	LANDSCAPE ARCHITECT	JAYEN DEVELOPMENT ASSOCIATES 105-1480 CANTON STREET F.D. BOX 491 PORT HURON, B.C. V9P 0H6 T: 464 867-0024 E: info@jayen.ca
DEVELOPER	JAYEN PROPERTIES 106-12951 - 106 AVE. SURREY, BC V3T 5X7 T: 604-575-9252 E: info@106kwantlen.com	ARBORIST	MANBER PALM & ASSOCIATES 101-1480 CANTON STREET F.D. BOX 491 PORT HURON, B.C. V9P 0H6 T: 464 867-0024 E: info@jayen.ca CONTACT: Terry Berman
ARCHITECT	JM ARCHITECTURE INC. 1000-12951 - 106 AVE. SURREY, BC V3T 5X7 T: 604-583-0022 E: info@jmarchitect.ca CONTACT: MEL JOSEMYN, architect@jm.ca, mel.joselyn	SURVEYOR	ELIZABETH LAND SURVEYING 18442 53 STREET SURREY, BC V4N 1S6 T: 604-583-9331 E: info@elizabethland.com CONTACT: TERRY PHILIP BSC
AUTHORITY HAVING JURISDICTION	CITY OF SURREY Attn: Planning - Permit Section, Planning Dept. 15450 South Ave. Surrey, BC V3T 4R7 T: 604-591-4311 E: planningdevelopment@surrey.ca	CIVIL	CENTRA ENGINEERING LTD. 2718-5639 Crofton Drive Surrey, B.C. T: 604-583-7600 E: mib@ce-engineering.com CONTACT: Anthony Reid



SITE LOCATION



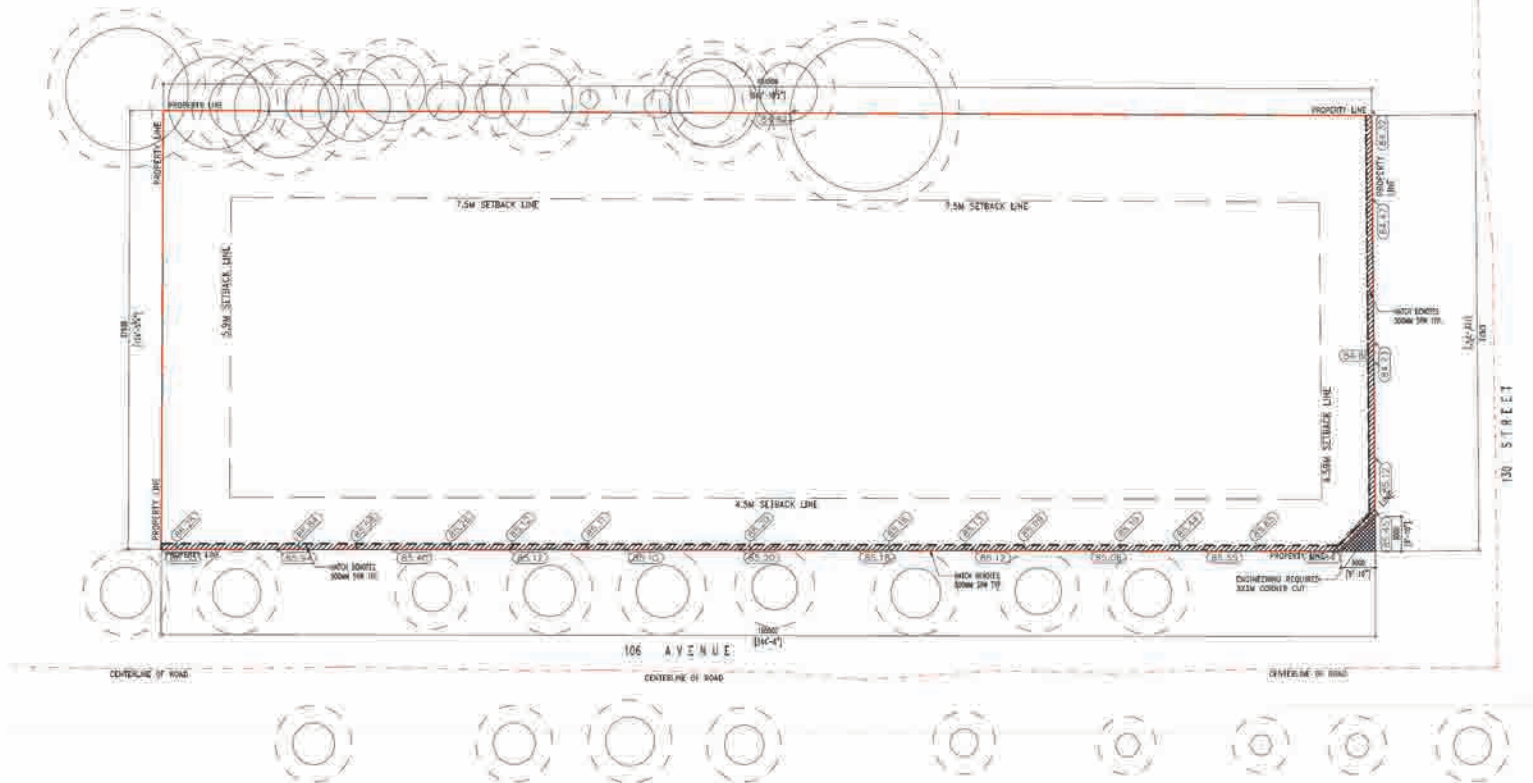
PERSPECTIVE VIEW

DRAWING LIST:

ARCHITECTURAL	ISSUED FOR
A-02 COVER SHEET (DIRECTORY & INDEX)	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-03 DESIGN BRIEF	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-04 PROJECT DATA	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-04 SITE CONTEXT MAPS	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-05 BASE PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-06 OUTDOOR AMBIENT CALCULATIONS	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-07 FIRE TRUCK ACCESS ROUTE	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-08-08 SHADOW STUDY	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-09 F.A.R. CALCULATION	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-10 SITE PLAN - OVERALL	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-11 LANDSCAPING/PARKING P	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-12 UNDERGROUND PARKING P	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-13 UNDERGROUND PARKING P	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-14 MASON DOOR PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-14-1 2ND FLOOR PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-14-2 3RD FLOOR PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-14-3 4TH FLOOR PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-14-4 5TH FLOOR PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
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A-16-02 STREET SCAPES	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-16-03 ELEVATIONS S1	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
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A-16-07 UNIT PLANS	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
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LANDSCAPE	
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L-02 FIRE MANAGEMENT PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
L-02A LANDSCAPE PLAN (1)	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
L-02B COORDINATE AND PARKING PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
L-03 LIGHTING PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
L-02D SOIL VOLUME PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
L-04-01 OUTDOOR AMBIENT AREA PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
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TREE PRESERVATION REPORT	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
TRAIL PROTECTION DRAWINGS	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
SURVEY	
TOPOGRAPHICAL SITE PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
CIVIL	
KEY PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT



2022-03 106 KWANTLEN VENTURES



BASE PLAN
SCALE: 1:200

PROP. ADDRESS : 12375 A 12451 106 Avenue, Sarnia, ON
LEGAL DESCRIPTION:
LOT 8 WESTERN AT BLACK & ASPEN RANGE & WEST NEW WYTHAMPTON
INTEREST PLAN 19849
P.L. 010-516-353 PLAN - 10649
PARCEL IDENTIFIER: 010-274-350

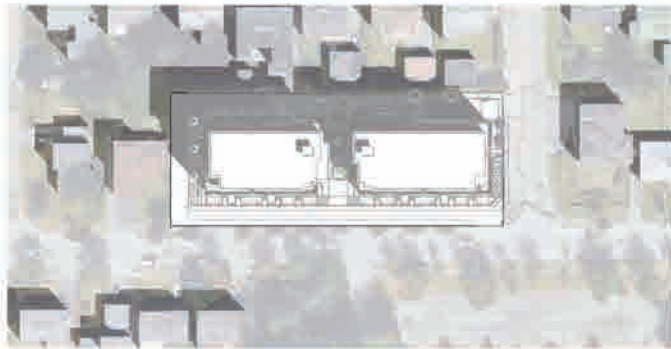


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2.0	2024-01-18	RE-ISSUED TO CITY OF SURREY FOR DP		2.0		
3.0	2024-11-18	RE-ISSUED TO CITY OF SURREY FOR DP		3.0		
4.0	2024-03-08	ISSUED TO CITY OF SURREY FOR DP		4.0		

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Architect Seal & Signature
Project Name
ICG IZWANIL VENTURES
12051 A 12075 106 AVENUE
Sarnia, ON
Developer: Jayen Properties
Sarnia, ON
Contact: M. Saha, RA
START DATE: 06/2023
PROJECTING: 2023-03
DATE: 01/2024
SCALE: AS SHOWN
Project No.: 2022-03
A-05



Shadow study on AREA 1 - 21 Mar @ 10a.m



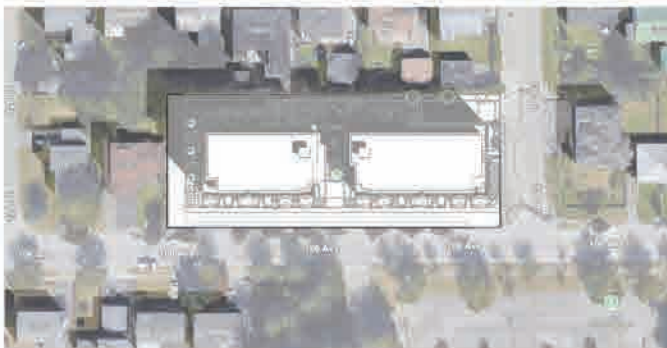
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Shadow study on AREA 1 - 21 Mar @ 2 p.m



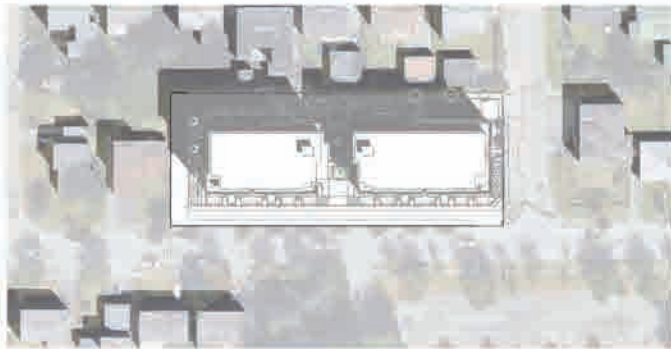
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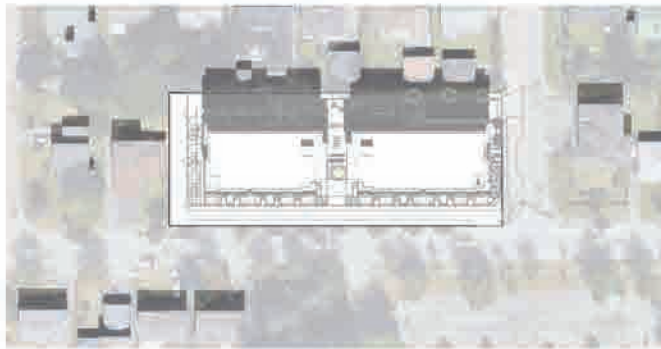
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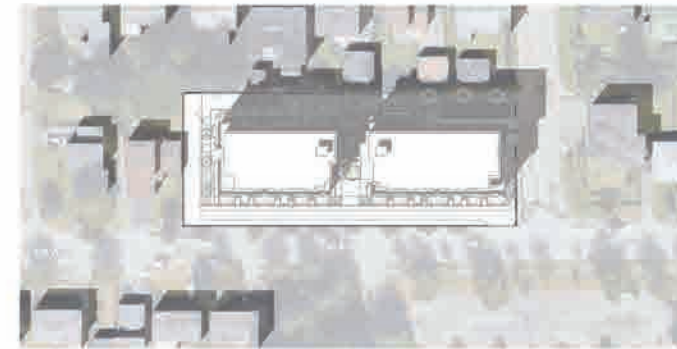
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Shadow study on AREA 1 - 21 Sep @ noon



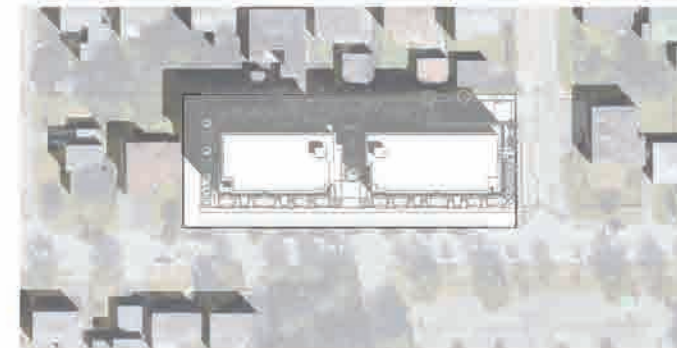
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Shadow study on AREA 1 - 21 Dec @ 10a.m



Shadow study on AREA 1 - 21 Dec @ noon



Shadow study on AREA 1 - 21 Dec @ 2 p.m



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2	ISSUED TO CITY OF SANBURY FOR 10		
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10	ISSUED TO CITY OF SANBURY FOR 10		

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 SUITE 200
 WASHINGTON, DC 20004
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 WWW.JMAARCHITECTURE.COM

STREET NAME: _____

PROJECT NO: **J075-00**

DATE: _____

DRAWN BY: **CH**

CHECKED BY: _____

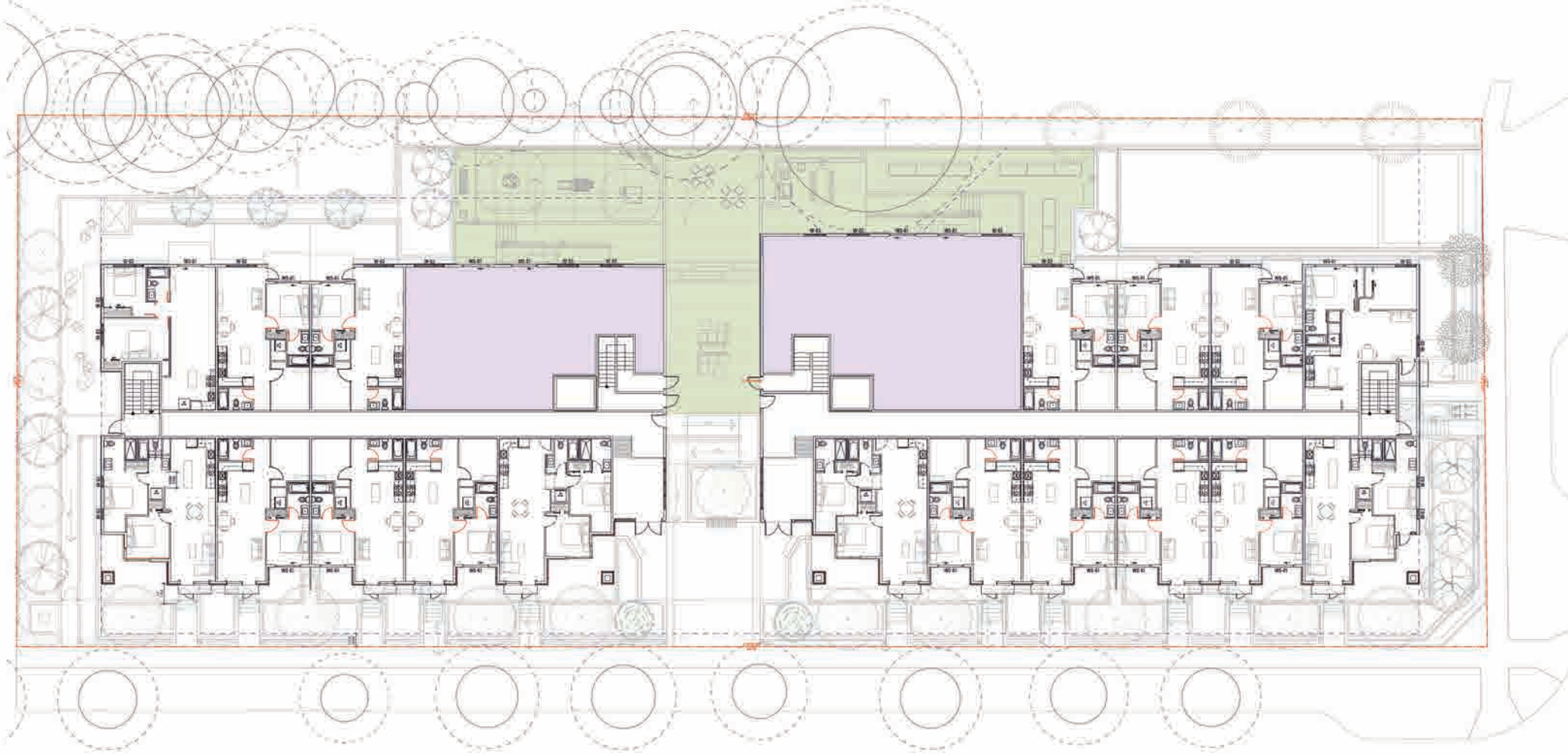
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DATE: **02-28-20**

SHEET NO: **A-09**

SHADOW DIAGRAM

DO NOT SCALE DRAWINGS



CDE ADDRESS: 12795 & 12797 16A AVENUE SURVEY AC
 LEGAL DESCRIPTION:
 LOT A SECTION 21 BLOCK 5 NORTH RANGE 7 WEST NEW
 WASHINGTON
 DISTRICT PLAN: 16A-6
 TIER 10: 17A-123 PLAN: 16A-6
 PARCEL IDENTIFI: 914-201-307



NO.	DESCRIPTION	DATE	BY
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9	ISSUED FOR CITY OF WASHINGTON USE ONLY	06/20/2024	JM
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JMArchitecture Inc.
 ARCHITECTS REGISTERED IN THE DISTRICT OF COLUMBIA
 PROJECT: 16A-6
 DATE: 06/20/2024
 OFFICE: 16A-6
 SCALE: 1:150
 DRAWING NO: 16A-6-01
 SHEET NO: A-100

STREET NAME

DATE

PROJECT NO.

DRAWN BY

CHECKED BY

SCALE
 1:150
DRAWING NO.
 16A-6-01
SHEET NO.
 A-100

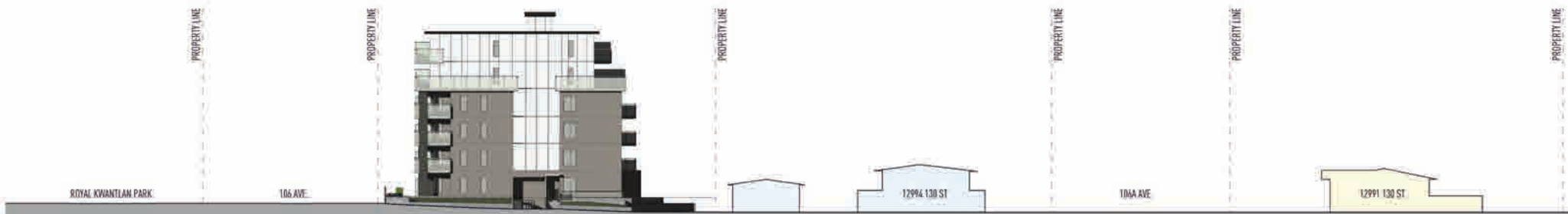
DO NOT SCALE DRAWING



1 STREETCART BLK 1 & BLK 2 - 106 AVE - WEST
View 1-01



2 STREETCART BLK 3 & BLK 4 - 106 AVE - EAST
View 1-02



3 STREETCART BLK 5 - 106 AVE - NORTH
View 1-03



NO.	REVISION	DATE	BY
1	ISSUED FOR PERMIT	03/25/2021	JM
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3	ISSUED FOR PERMIT	03/25/2021	JM
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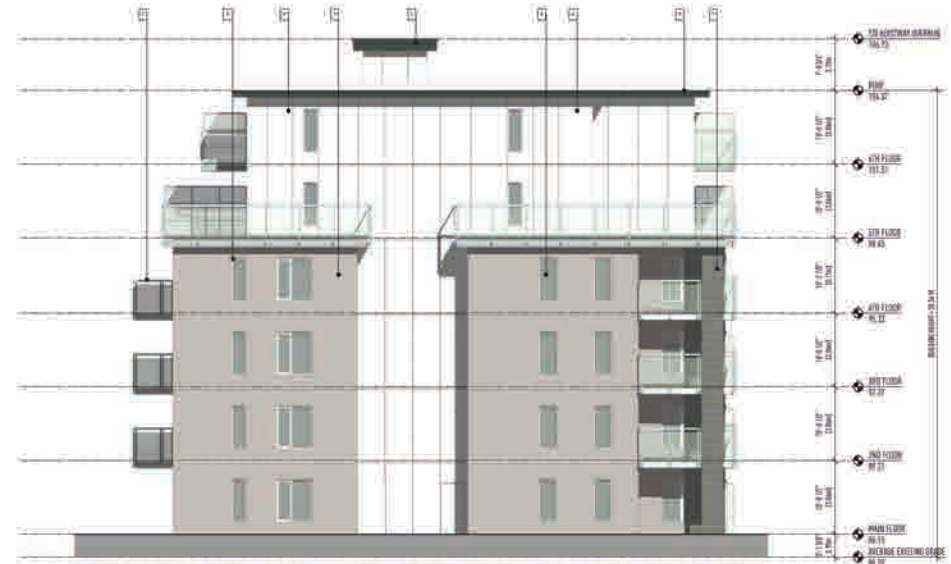
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 1000 WEST 10TH AVENUE
 VANCOUVER, BC V6H 1T7
 TEL: 604.681.1111
 WWW.JMARCHITECTURE.COM

STREET NAME		DATE		SCALE	
106 AVE		03/25/2021		1:100	
PROJECT NO.		JOB NO.		SHEET NO.	
JM-2021-001		001		A-200	
DRAWN BY		CHECKED BY		DATE	
JM		JM		03/25/2021	
DATE		DATE		DATE	
03/25/2021		03/25/2021		03/25/2021	

DO NOT SCALE DRAWINGS

EXTERIOR FINISH SCHEDULE				
BUILDING MATERIALS	TYPE	FINISH	COLOUR	MANUF / SUPPLIER
1) CURB BLOCK	RAIN BLOCK	INTEGRAL	ONIX MICROSPOT	BEIRON (201) 989 39
2) PAINTED TRIM	HARDE TRIM	SITE PAINTED	DARK GREY	JAMES HARDE
3) HARDE LAP SIDING	LAP SIDING	SITE PAINTED	BENJAMIN MOORE BEVER FOX 2109-50	JAMES HARDE
4) HARDE PANELS	PANEL LOW MITR. WEYSAL	SITE PAINTED	BENJAMIN MOORE SNOWFALL WHITE OC 111	JAMES HARDE
5) RESIDENTIAL WINDOWS	W/VT	INTEGRAL	WHITE	TBD
6) LODGY & STAIR WINDOWS	ALUMINUM WINDOW	INTEGRAL	WHITE	TBD
7) BALCONY GUARDRAILS	CLEAR GLASS ALUM FRAME	INTEGRAL	WHITE	TBD
8) WATO DOORS	W/VT	SITE PAINTED	WHITE	TBD
9) SKYLIT	EMBE. CEMENT WITH VENT STRIPS	INTEGRAL	WOODSTONE	TBD
10) FLAGSTONE	ALUMINUM	WOODSTONE	TO MATCH COLOUR OF ADJOINING SURFACE	TBD
11) RESIDENTIAL WINDOW TRIMS	HARDE TRIM	SITE PAINTED	WHITE	JAMES HARDE
12) EXPOSED CONCRETE SURFACES	NATURAL	HORIZONTAL SCORE REVEALS	BENJAMIN MOORE LIGHT GREY 2104-40	BY CONTRACTOR
13) SCREENING	PARTITION	TWO	(TBD)	BY CONTRACTOR



1. 1st Elevator - Building 1
Date: 01-11-24



2. 2nd Elevator - Building 1
Date: 01-11-24



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	01-11-24
2	ISSUED FOR PERMIT	01-11-24
3	ISSUED FOR PERMIT	01-11-24
4	ISSUED FOR PERMIT	01-11-24
5	ISSUED FOR PERMIT	01-11-24
6	ISSUED FOR PERMIT	01-11-24
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8	ISSUED FOR PERMIT	01-11-24
9	ISSUED FOR PERMIT	01-11-24
10	ISSUED FOR PERMIT	01-11-24

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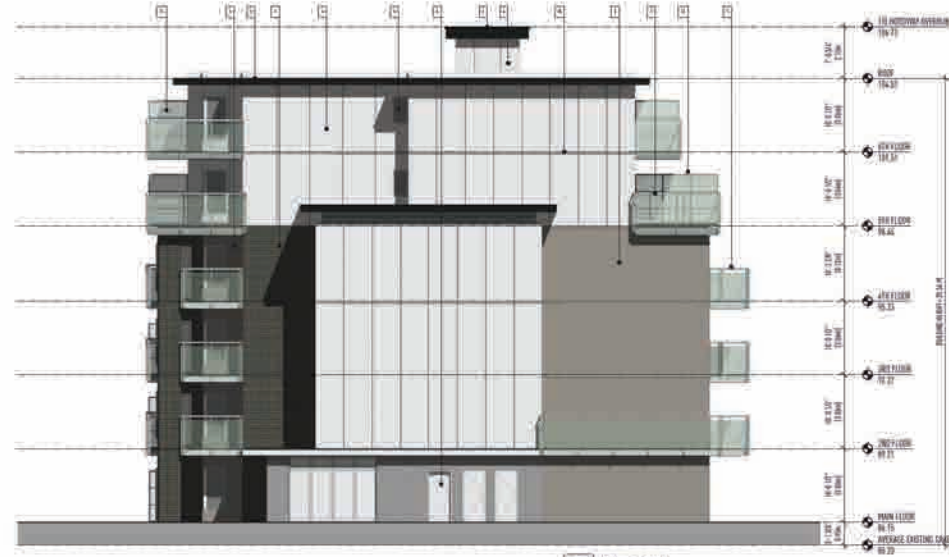
JMArchitecture Inc.
Architectural Inc.
Professional Seal No. 2025-0000
1000 Bloor Street West, Suite 1000
Toronto, Ontario M5S 1A5
Canada
Tel: (416) 593-1111
www.jma.com

Project No. 2025-0000
Date: 01-11-24
Scale: 1:100
Drawing No. A-201

STREET NAME: _____
Building 1 - Elevations

DO NOT SCALE DRAWING

EXTERIOR FINISH SCHEDULE				
BUILDING MATERIALS	TYPE	FINISH	COLOUR	MANUF / SUPPLIER
1) BRICK	SMOOTH BRICK	INTEGRAL	ONIX SMOKE/SPOT	ISEBRON C051368_09
2) PAINTED TRIM	HARDE TRIM	SITE PAINTED	DARK GREY	JAMES HARDE
3) HARDE LAP SIDING	LAP SIDING	SITE PAINTED	BENJAMIN MOORE BEVER FOX_2109-50	JAMES HARDE
4) HARDE PANELS	PANEL C/W MET. BEYOND	SITE PAINTED	BENJAMIN MOORE SNOWBALL WHITE_00-118	JAMES HARDE
5) RESIDENTIAL WINDOWS	W/WT	INTEGRAL	WHITE	IBD
6) LODGY & STAIR WINDOWS	ALUMINUM WINDOW	INTEGRAL	WHITE	IBD
7) BALCONY GUARDRAILS	CLEAR GLASS ALUM FRAME	INTEGRAL	WHITE	IBD
8) WALK DOORS	W/WT	SITE PAINTED	WHITE	IBD
9) SKYLIT	EMBE. CEMENT WITH VENT STRIPS	INTEGRAL	WOODSTONE	IBD
10) FLAGSTONE	ALUMINUM	WOODSTONE	TO MATCH COLOUR OF ADJOURNING SURFACE	IBD
11) RESIDENTIAL WINDOW TRIMS	HARDE TRIM	SITE PAINTED	WHITE	JAMES HARDE
12) EXPOSED CONCRETE SURFACES	NATURAL	HORIZONTAL SCORE REVEALS	BENJAMIN MOORE LIGHT GREY_2104-40	BY CONTRACTOR
13) SCREENING	PARTITION	TWO	(IBD)	BY CONTRACTOR



3 East Tower - Elevation 1
Scale: 1/8" = 1'-0"



2 East Tower - Elevation 1
Scale: 1/8" = 1'-0"



NO.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	2023-09-15	JM	JM
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 WWW.JMARCHITECTURE.COM

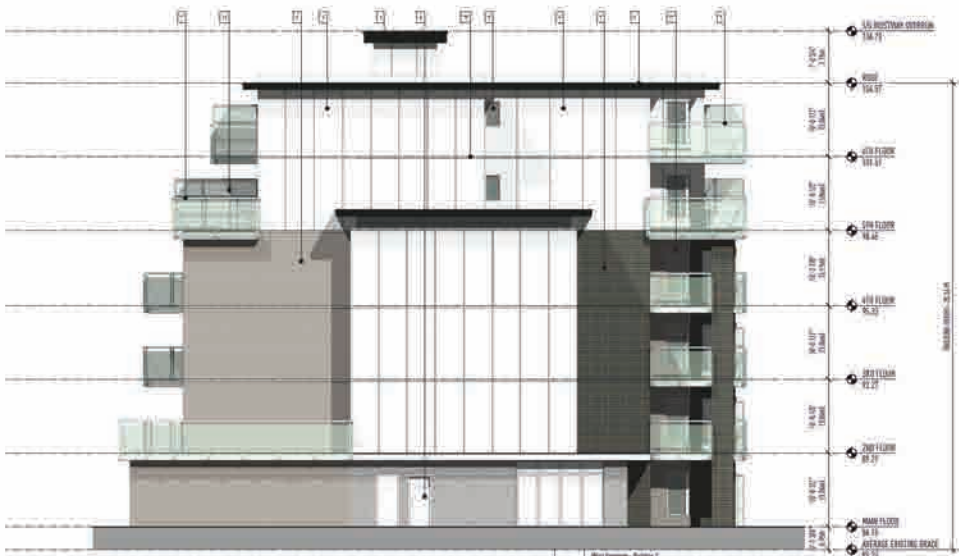
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 SHEET NO: A-202

STREET NAME: _____

DATE: 2023-09-15
 DRAWN BY: JM
 CHECKED BY: JM
 SCALE: 1/8" = 1'-0"

PROJECT NO: 2023-09-15
 SHEET NO: A-202

EXTERIOR FINISH SCHEDULE				
BUILDING MATERIALS	TYPE	FINISH	COLOUR	MANUF / SUPPLIER
1	CLAY BRICK	SMOOTH	ANTIQUE RED	BEIRON DSD/080 20
2	PAINTED TRIM	SITE PAINTED	DARK GREY	JAMES HARDIE
3	HARDIE LAP SIDING	SITE PAINTED	BENJAMIN MOORE BEVER FOX 2168-50	JAMES HARDIE
4	HARDIE PANELS	SITE PAINTED	BENJAMIN MOORE SNOWFALL WHITE OC110	JAMES HARDIE
5	RESIDENTIAL WINDOWS	WHITE	INTERGRAL	TBO
6	CLADDY & STAR WINDOWS	ALUMINUM WINDOW	WHITE	TBO
7	BALCONY GUARDRAILS	CLEAR GLASS ALUM FRAME	WHITE	TBO
8	WALK DOORS	WHITE	INTERGRAL	TBO
9	SKYLITS	EMERALD GEM WITH VENT STRIPS	INTERGRAL	WOODSTONE
10	FLASHINGS	ALUMINUM	WOODSTONE	TBO
11	RESIDENTIAL WINDOW TRIMS	HARDIE TRIM	WHITE	JAMES HARDIE
12	EXPOSED CONCRETE SURFACES	NATURAL	HORIZONTAL SCORE REVEALS	BENJAMIN MOORE LIGHT GREY 2124-40 BY CONTRACTOR
13	SCREENING	PARTITION	WHITE	BY CONTRACTOR



NO.	DESCRIPTION	DATE	BY	CHECKED BY
1	ISSUED FOR PERMITS	2024-03-22	MM	MM
2	ISSUED FOR PERMITS	2024-03-22	MM	MM
3	ISSUED FOR PERMITS	2024-03-22	MM	MM
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10	ISSUED FOR PERMITS	2024-03-22	MM	MM

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Registered Architect
100 HURON ST. SUITE 200
TORONTO, ON M5E 1B3
416-593-3333

STREET NAME: _____

DATE: _____

DRAWN BY: JZYS/AF

CHECKED BY: EBK

PROJECT NO.: _____

SCALE: 1:500

DATE: 2024-03-22

PROJECT: Building 2 - Elevations

PROJECT NO: _____

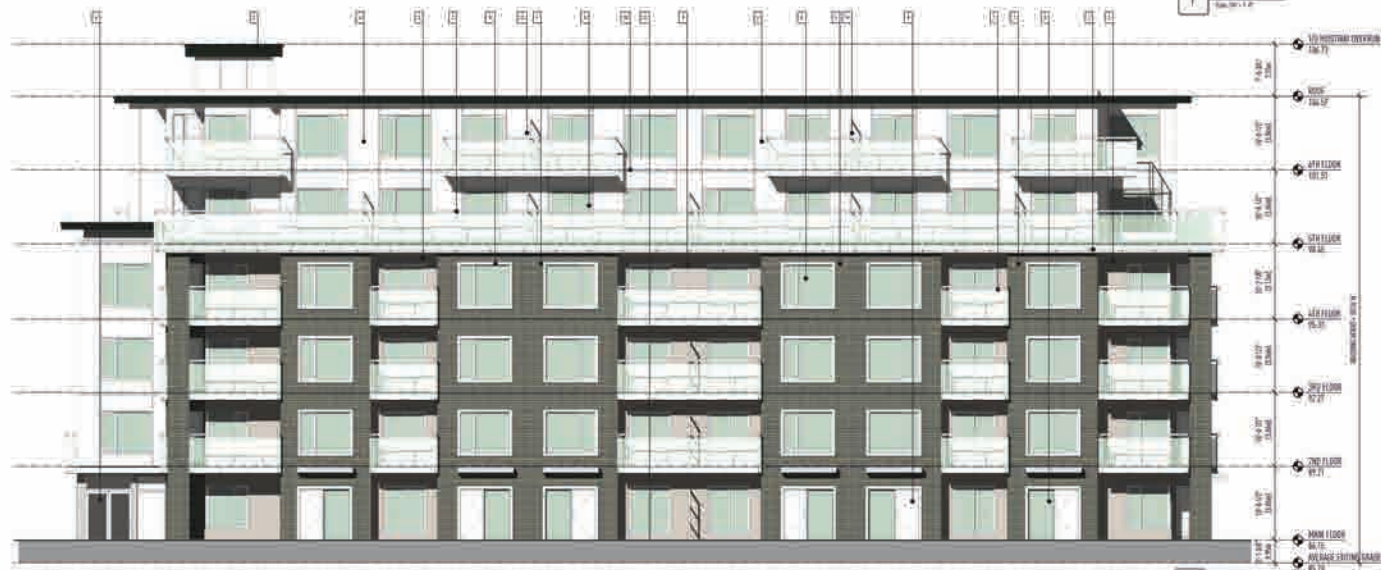
DATE: 2024-03-22

PROJECT: A-203



DO NOT SCALE DRAWING

EXTERIOR FINISH SCHEDULE				
BUILDING MATERIALS	TYPE	FINISH	COLOUR	MANUF / SUPPLIER
1) CURB	SMOOTH CONCRETE	BY CONTRACTOR	BY CONTRACTOR	BY CONTRACTOR
2) PAINTED TRIM	HARDE TRIM	SITE PAINTED	DARK GREY	JAMES HARDIE
3) HARDE LAP SIDING	LAP SIDING	SITE PAINTED	BENJAMIN MOORE BEVER FOX 2109-50	JAMES HARDIE
4) HARDE PANELS	PANEL LOW MITR. WEYBAL	SITE PAINTED	BENJAMIN MOORE SNOWFALL WHITE OC1111	JAMES HARDIE
5) RESIDENTIAL WINDOWS	WYBAL	INTEGRAL	WHITE	IBO
6) LODGY & STAIR WINDOWS	ALUMINUM WINDOW	INTEGRAL	WHITE	IBO
7) BALCONY GUARDRAILS	CLEAR GLASS ALUM FRAME	INTEGRAL	WHITE	IBO
8) WATO DOORS	WYBAL	SITE PAINTED	WHITE	IBO
9) SKYLIGHTS	EMBE. CEMENT WITH VENT STRIPS	INTEGRAL	WOODSTONE	IBO
10) FLAGPOLES	ALUMINUM	WOODSTONE	TO MATCH COLOUR OF ADJOINING SURFACE	IBO
11) RESIDENTIAL WINDOW TRIMS	HARDE TRIM	SITE PAINTED	WHITE	JAMES HARDIE
12) EXPOSED CONCRETE SURFACES	NATURAL	HORIZONTAL SCORE REVEALS	BENJAMIN MOORE LIGHT GREY 2104-40	BY CONTRACTOR
13) SCREENING	PARTITION	TWO	(S&S)	BY CONTRACTOR



NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	2024-08-20	JM
2	ISSUED FOR CONSTRUCTION	2024-09-10	JM
3	ISSUED FOR OCCUPANCY	2024-10-01	JM
4	ISSUED FOR AS-BUILT	2024-11-01	JM
5	ISSUED FOR FINAL	2024-12-01	JM

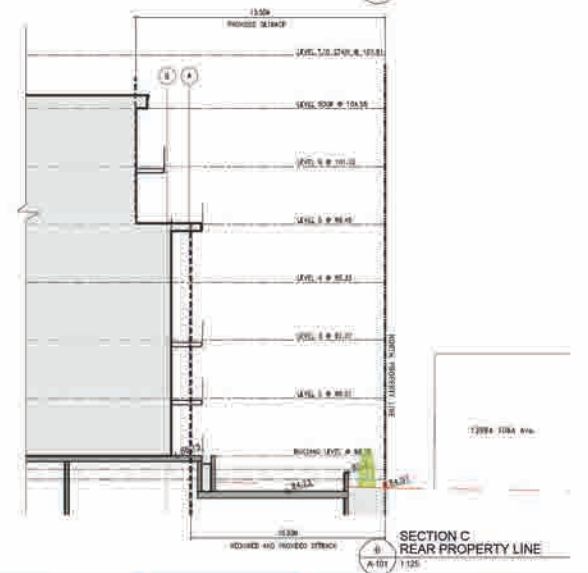
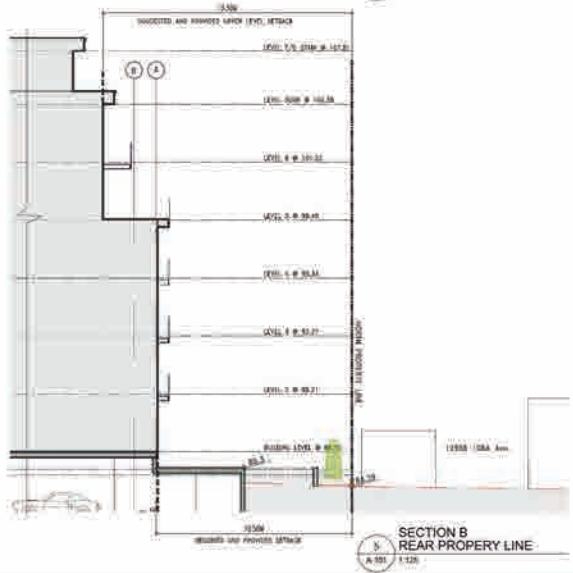
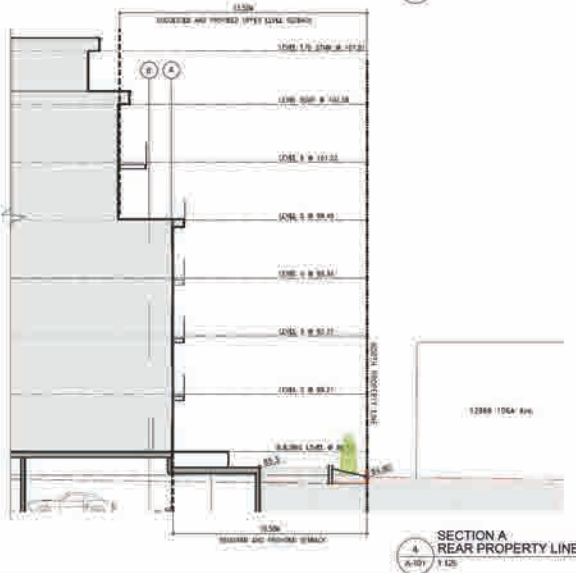
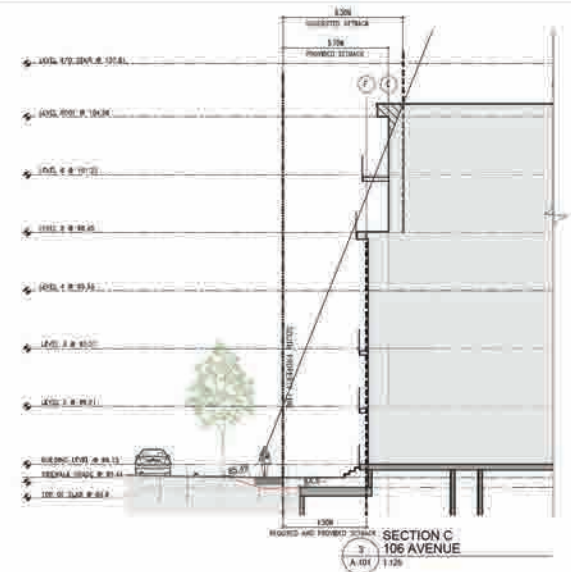
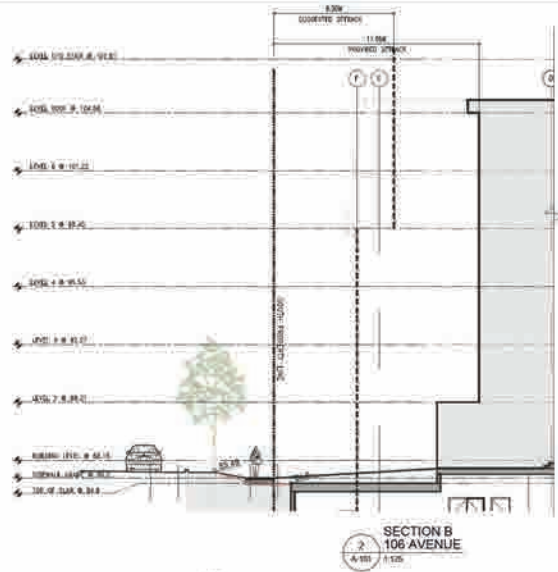
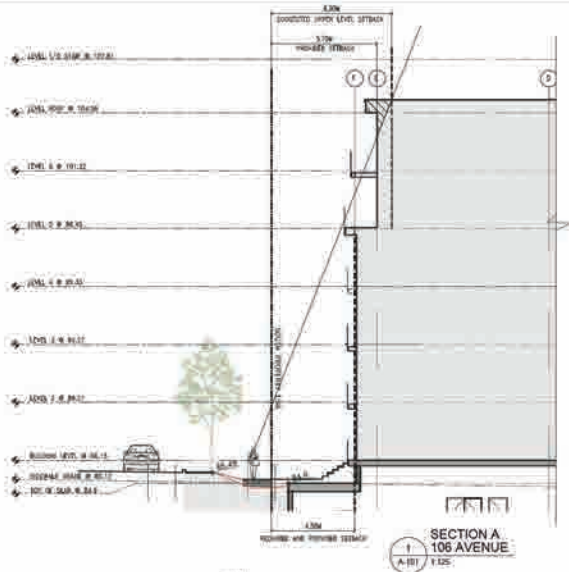
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 ARCHITECTS
 1000 WEST 10TH AVENUE
 SUITE 1000
 CALGARY, ALBERTA T2P 0K1
 TEL: (403) 243-1111
 WWW.JMARCHITECTURE.COM

PROJECT NO: J075-24
 DATE: 2024-08-20
 DRAWN BY: JM
 CHECKED BY: JM
 SCALE: 1:100
 SHEET NO: A-204

STREET NAME: _____
 Building 2 - Elevations
 A-204

DO NOT SCALE DRAWING



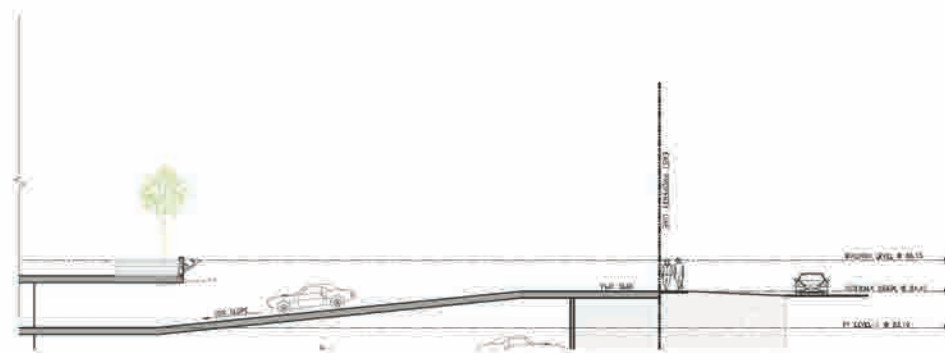
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02	2024-11-27	RE-ISSUED TO CITY OF SURREY FOR DR	BA
03	2024-08-09	RE-ISSUED TO CITY OF SURREY FOR DR	BA

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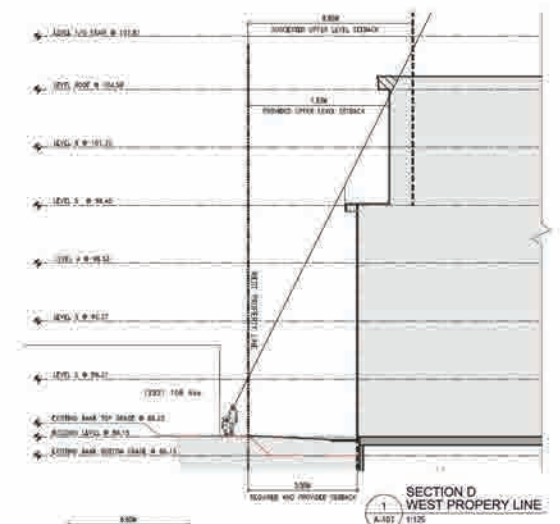
JMArchitecture
 CONSULTING THE WORLD'S BEST PROJECTS
 1071 142nd Ave. Suite 100
 Surrey, BC V4A 1A4
 Tel: 604.593.4444
 Fax: 604.593.4444
 Email: info@jmarch.com

Project Name: **IC FURNITURE VENTURES**
 12951 & 129th St, Surrey, BC
 Designer: Jayen Properties
 Surrey, BC
 Contact: M. Sulekha
 Project No: 3,0025-03
 Scale: AS SHOWN
 Project Date: 2022-01
 Projected: 90%

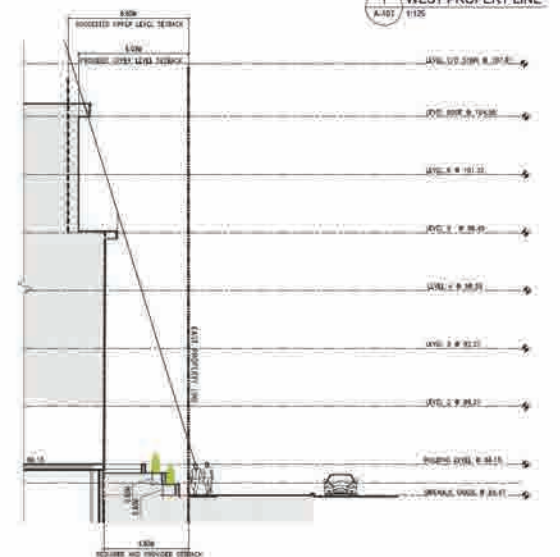
DO NOT SCALE DRAWING SCALE



SECTION E
130 STREET
A-301 1/32"



SECTION D
WEST PROPERTY LINE
A-301 1/32"



SECTION D
130 STREET
A-301 1/32"



REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION
1.0	2024-10-05	RECEIVED BY CITY OF BUREY FOR OP	SD			
1.1	2024-11-17	RE-DESIGN TO CITY OF BUREY FOR OP	JA			
1.2	2024-12-11	RE-DESIGN TO CITY OF BUREY FOR OP	JA			

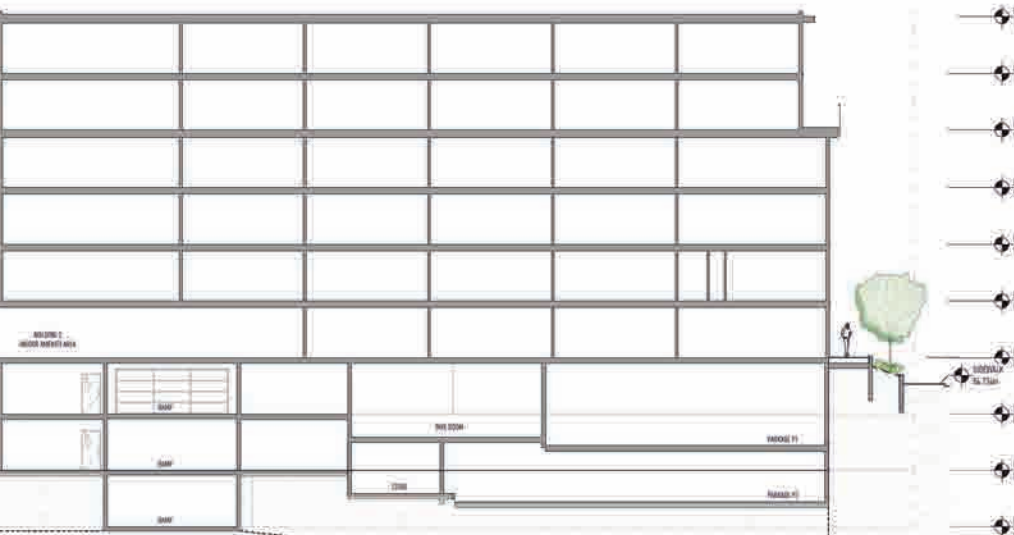
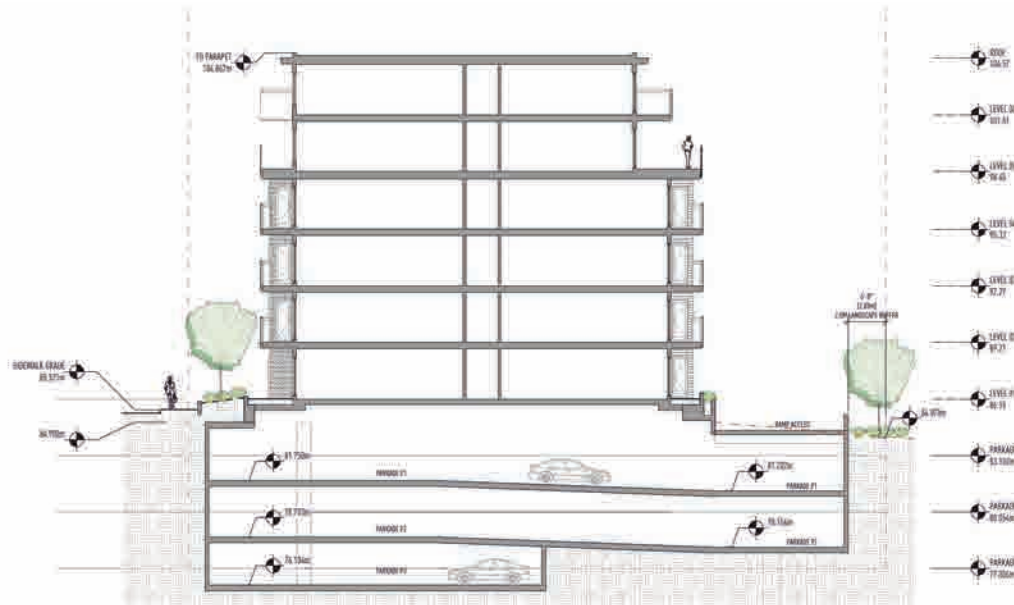
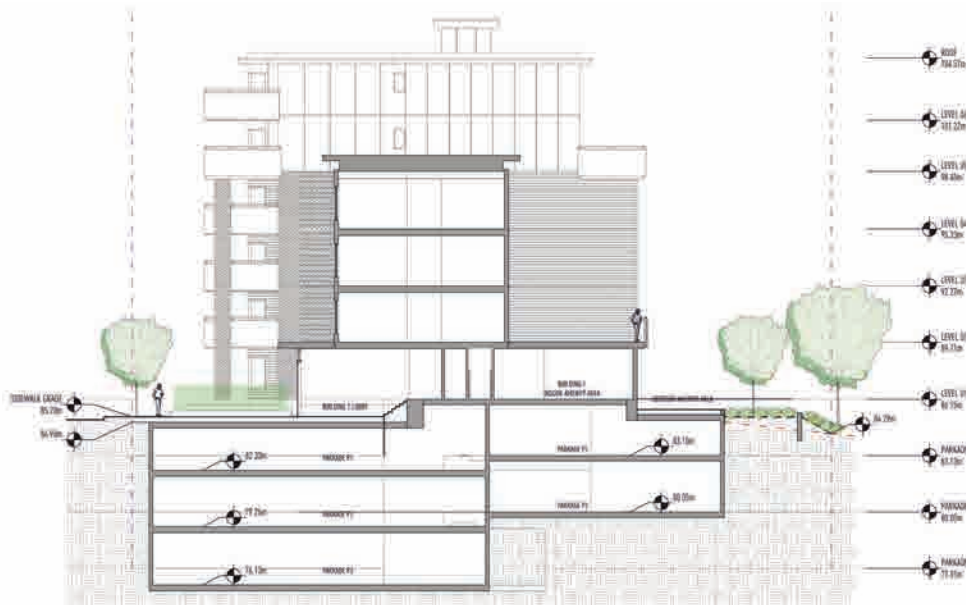
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 1011 1st Street, NE
 Suite 100
 Atlanta, GA 30309
 Phone: (404) 525-1111
 Email: info@jmarch.com

IC E W A N T E N V E N T U R E S
 1261 S 13TH ST, SUITE 100
 BUREY, NC
 Developer: Jayen Properties
 Survey: NC
 Contact: Mr. Scott Egan

START DATE: 10/05/2023
 PROJECT: 2023-01
 SCALE: 30' PER 1" = 30' PER 1" (30' PER 1")
 SHEET: 3 OF 3
 PROJECT NO: 3/2023-03
 SHEET NO: A-301

DO NOT SCALE DRAWING



DATE	DESCRIPTION	BY

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JMArchitecture Inc.
 ARCHITECTS

Principal: Jeff M. Mason
 Architect: Jeff M. Mason
 Designer: Jeff M. Mason
 Draftsman: Jeff M. Mason

SCALE: 1/4" = 1'-0"

DO NOT SCALE DRAWING

STREET NAME: _____

DATE: _____

PROJECT NO: _____

JOB: _____

CH: _____

SCALE: 1/4" = 1'-0"

UNDERGROUND SECTIONS

Sheet No: _____

Scale: _____

A-302



1 VIEW FROM CORNER
Scale: 1/8" = 1'-0"



2 VIEW FROM CORNER TO END
Scale: 1/8" = 1'-0"



3 VIEW FROM SE CORNER
Scale: 1/8" = 1'-0"



4 VIEW FROM SE CORNER
Scale: 1/8" = 1'-0"



NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	08/20/2024	JM
2	ISSUED FOR PERMIT	08/20/2024	JM
3	ISSUED FOR PERMIT	08/20/2024	JM
4	ISSUED FOR PERMIT	08/20/2024	JM
5	ISSUED FOR PERMIT	08/20/2024	JM
6	ISSUED FOR PERMIT	08/20/2024	JM
7	ISSUED FOR PERMIT	08/20/2024	JM
8	ISSUED FOR PERMIT	08/20/2024	JM
9	ISSUED FOR PERMIT	08/20/2024	JM
10	ISSUED FOR PERMIT	08/20/2024	JM
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18	ISSUED FOR PERMIT	08/20/2024	JM
19	ISSUED FOR PERMIT	08/20/2024	JM
20	ISSUED FOR PERMIT	08/20/2024	JM

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 ARCHITECTURE INC.
 1000 BAYVIEW AVE. SUITE 1000
 SCARBOROUGH, ONTARIO M1B 2Y1
 TEL: (416) 291-1111
 WWW.JMARCHITECTURE.COM

PROJ. NO. 2024-001
DATE 08/20/2024
DRW. NO. 01
SCALE NTS
DATE 08/20/2024
BY JM
CHECKED JM
APP. DATE 08/20/2024

STREET NAME
PERSPECTIVE VIEW
SCALE NTS
DATE 08/20/2024
BY JM
CHECKED JM
APP. DATE 08/20/2024

DO NOT SCALE DRAWINGS

A-900



1 01 PERSPECTIVE VIEW
Date: 04/18/24



2 02 PERSPECTIVE VIEW
Date: 04/18/24



3 03 PERSPECTIVE VIEW
Date: 04/18/24



4 04 PERSPECTIVE VIEW
Date: 04/18/24



NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	04/18/24	JM
2	ISSUED FOR PERMIT	04/18/24	JM
3	ISSUED FOR PERMIT	04/18/24	JM
4	ISSUED FOR PERMIT	04/18/24	JM
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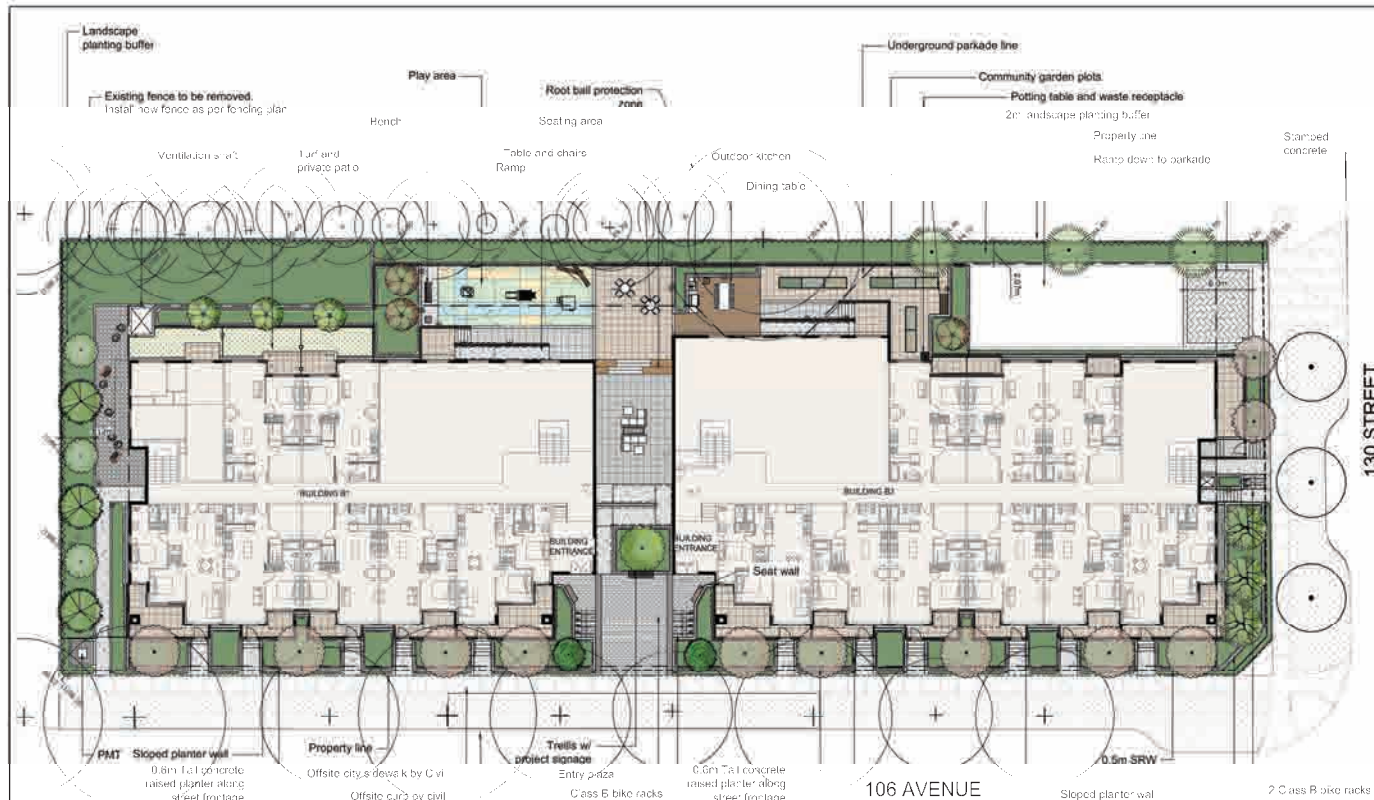
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 www.jma.com

PROFESSIONAL SEAL
 JMArchitecture Inc.
 JAMES M. ARCHITECT
 ARCHITECT
 No. 123456789
 State of Colorado
 Exp. 12/31/2025

STREET NAME
 DATE: 04/18/24
 DRAWN BY: JM
 CHECKED BY: JM
 SCALE: NTS
 PROJECT NO: A-901

DO NOT SCALE DRAWINGS



LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
(Symbol)	LD-02	CONCRETE
(Symbol)	LD-02	CONCRETE
(Symbol)	3 LD-02	HYDRAPRESSED SLAB See Schedule 2 for details & notes Material: Stone Base Finish: Stone Base Installation: 100% Compacted Subgrade 100% Compacted Subgrade
(Symbol)	4 LD-04	RIP RUBBER
(Symbol)		GRANULAR FILLING
(Symbol)	5 LD-02	WOOD DECKING
(Symbol)		TRAP
(Symbol)	4.5 LD-01	GRASS PLANTING
(Symbol)		OUTDOOR KITCHEN
(Symbol)	4 LD-03	BIKE RACK
(Symbol)	1 LD-04	BENCH
(Symbol)	6 LD-03	WASTE RECEPTACLE
(Symbol)	7 LD-03	TABLE AND CHAIRS
(Symbol)		LOG
(Symbol)		MOVABLE PLANTER
(Symbol)		PLANTER
(Symbol)		WOOD SEATING
(Symbol)		DINING SET
(Symbol)		POTTING TABLE AND WASTE RECEPTACLE
(Symbol)		COMMUNITY PLANTER
(Symbol)		BOLLARD

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
(Symbol)	<i>Acer palmatum 'Nero'</i> / <i>Nero Japanese Maple</i>	5.6B		8 cm cal	3
(Symbol)	<i>Chamaecyparis nootkatensis 'Pendula'</i> / <i>Weeping Nootka Cypress</i>	5.6B		3.8m H	2
(Symbol)	<i>Lonicera japonica 'Emerald Gem'</i> / <i>Emerald Gem</i>	5.6B		4m	4
(Symbol)	<i>Magnolia grandiflora 'Royal Star'</i> / <i>Royal Star Magnolia</i>	5.6B		4m	4
(Symbol)	<i>Nyssa sylvatica 'Tulane Tower'</i> / <i>Tulane Tower Blackgum</i>	5.6B		6m	4
(Symbol)	<i>Pteris caudata 'Vera's Ruby Vein'</i> / <i>TM Ruby Vein Fern</i>	5.6B		4m	2
(Symbol)	<i>Picea pungens 'Fat Albert'</i> / <i>Fat Albert Colorado Spruce</i>	5.6B		3.0m H	3
(Symbol)	<i>Pinus nigra 'Autumn Pine'</i>	5.6B		3.0m H	3
(Symbol)	<i>Quercus palustris 'Green Pine'</i> / <i>Green Pine Oak</i>	5.6B		5m	1
(Symbol)	<i>Saxatilis pauciflorus</i> / <i>Japanese Saxatilis</i>	5.6B		4m	3

FENCING AND WALL LEGEND

KEY	REF.	DESCRIPTION
(Symbol)	1 LD-03	1/2" TALL FRONTAGE FENCE Along the high walls facing street (100% galvanized high-galvanized)
(Symbol)	3 LD-03	1.2M TALL PRIVATE SCREEN
(Symbol)	2 LD-03	1.8M PRIVACY FENCE
(Symbol)		GATE
(Symbol)		GUARDRAIL & BOLLARD By Architecture
(Symbol)		EXISTING FENCE TO BE REMOVED

LIGHTING LEGEND

KEY	REF.	DESCRIPTION
(Symbol)	2 LD-04	BOLLARD LIGHT
(Symbol)	3 LD-04	WALL LIGHT

Note: Lighting Fixture selection to be coordinated with Electrical.

SHEET 008



NO.	REV.	REVISIONS	DATE

REVISIONS TABLE FOR DRAWINGS

Approved: [Signature]
 Date: [Date]

REVISIONS TABLE FOR SHEET

Project: Kwantlen - 106 Ave Development

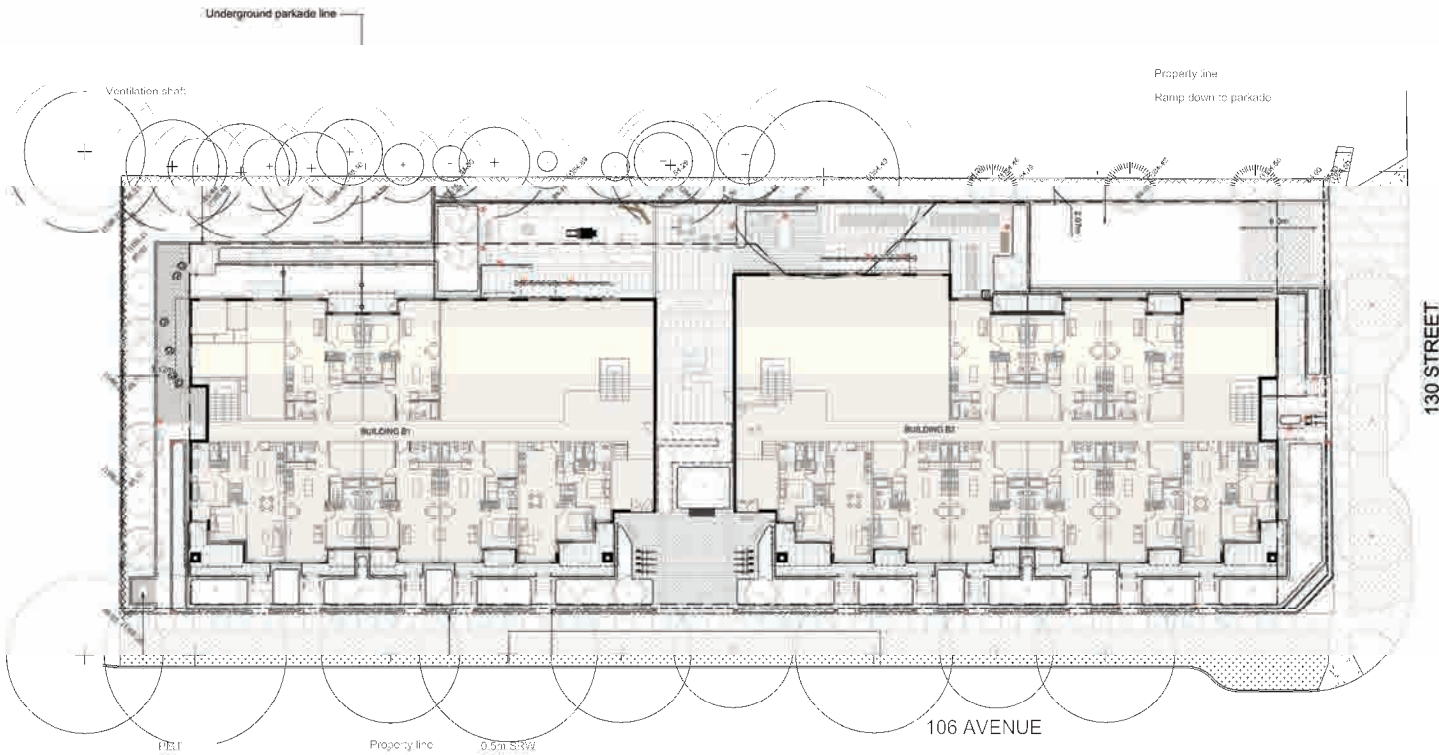
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Drawn: LD
 Checked: PC
 Approved: MYDC
 Date: 1/1/2022

Stamp: [Professional Engineer Stamp]

Original Sheet Size: 24" x 36"

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD NOTES AND REPORT ANY DISCREPANCIES TO THE DESIGNER. ALL RECORDS SHALL BE MAINTAINED AND RETURNED TO THE DESIGNER UPON COMPLETION OF THE PROJECT.



LIGHTING LEGEND

KEY	RFP	DESCRIPTION
		BOLLARD LIGHT
		WALL LIGHT

Note:
Lighting Fixture selection to be coordinated with
Electrical

No.	Rev.	Revised by (SHEET NUMBER)	Date

REVISIONS TABLE FOR DRAWINGS

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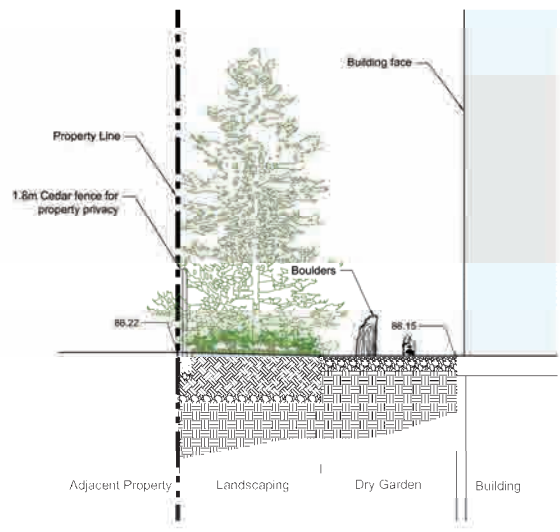
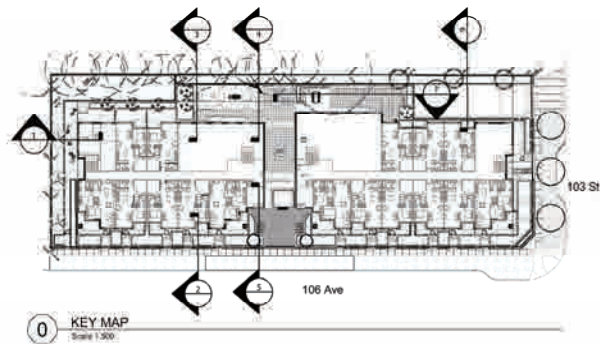
REVISIONS TABLE FOR SHEETS

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Kwasilen - 106 Ave Development

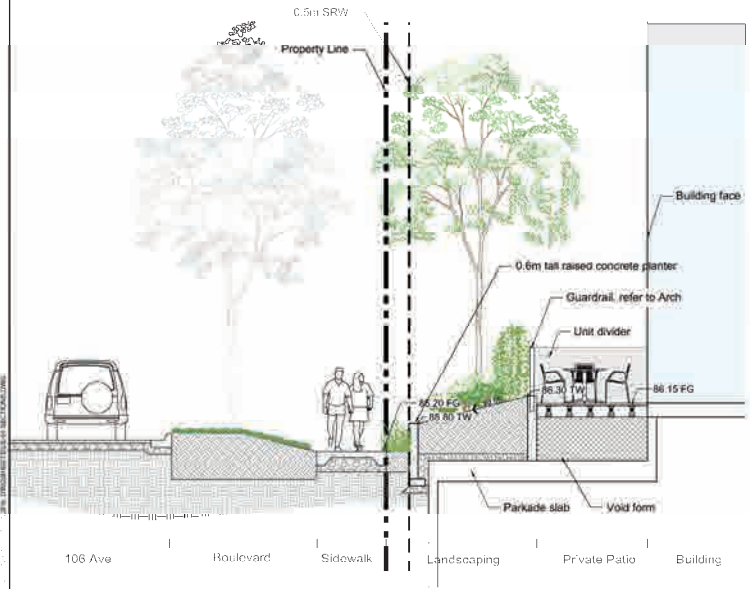
Location:
12951 106 Avenue
Surrey, B.C.

Drawn: [Name]
 15
 Checked: [Name]
 16
 Approved: [Name]
 17
 Scale: 1/8" = 1'-0"
 18
 Date: [Date]

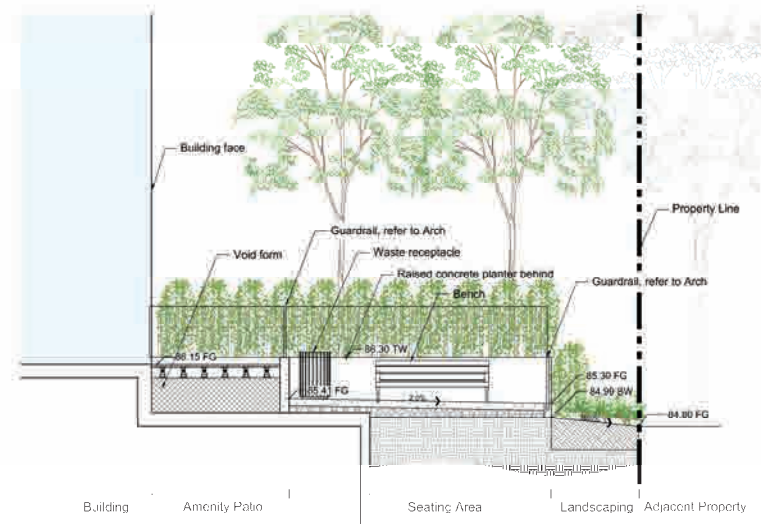




1 SECTION - SECTION THROUGH WEST PROPERTY LINE
Scale 1:10



2 SECTION - SECTION THROUGH SOUTH PATIO
Scale 1:10



3 SECTION - SECTION THROUGH NORTH PATIO AND AMENITY
Scale 1:10

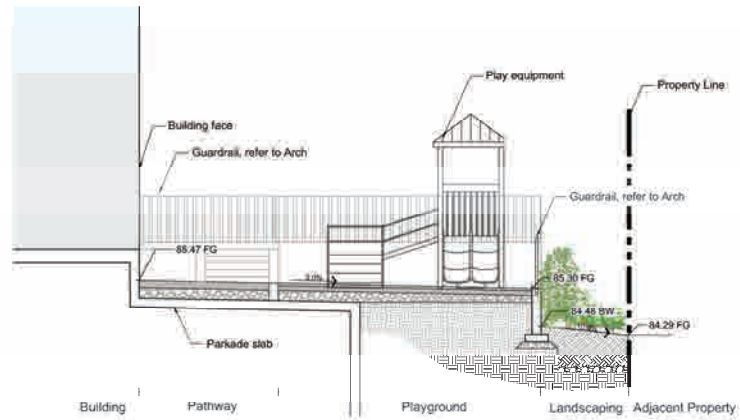
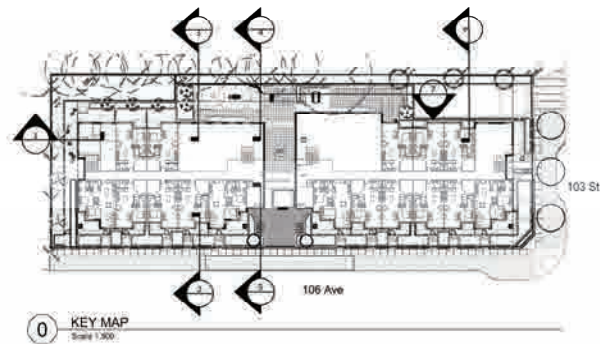
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2	Revise for DP	Jan 16, 2024
3	Issue for DP	Jan 17, 2024
4	Issue for DP	Feb 13, 2024
5	Issue for DP	Feb 13, 2024
6	Issue for DP	Feb 21, 2024
7	Issue for DP	Mar 08, 2024
8	Issue for DP	Mar 08, 2024
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Rev.	Description	Date
1	Issue for DP	Dec 10, 2024
2	Revise for DP	Jan 16, 2024
3	Issue for DP	Jan 17, 2024
4	Issue for DP	Feb 13, 2024
5	Issue for DP	Feb 13, 2024
6	Issue for DP	Feb 21, 2024
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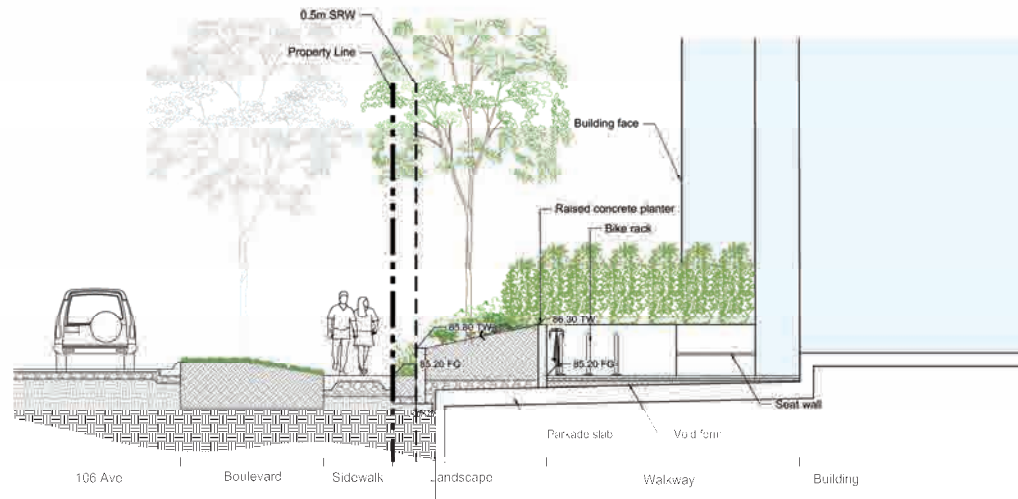
Project:
Kwatsien - 106 Ave Development

Location:
12951 106 Avenue
Surrey, B.C.

VDZ+A
 1251 106 Avenue
 Surrey, BC
 V4A 4A2P
 Tel: 604-889-8888
 Fax: 604-889-8889
 www.vdz.ca



4 SECTION - SECTION THROUGH PLAYGROUND
Scale 1:50



5 SECTION - SECTION THROUGH MAIN ENTRANCE
Scale 1:50

No.	By	Description	Date
7	PC	Re-issued for DP	Oct 10, 2024
6	PC	Re-issued for DP	Sep 06, 2024
5	PC	Issued for DP	Oct 11, 2023
4	TD	Issued for DP	Feb 14, 2023
3	JLH	Issued for DP	Dec 12, 2022
2	TD	Issued for DP	Oct 21, 2022
1	TD	Issued for (PRE) Review	Nov 26, 2022
NA	By	Description	Date

REVISIONS TABLE FOR DRAWINGS
* Changes indicated. The following changes to the drawings of this drawing set may require approval to meet all applicable codes and standards.

REVISIONS TABLE FOR SHEET

Project:
Kwatsien - 106 Ave Development

Location:
12451 106 Avenue
Surrey, B.C.

Drawn: _____
Scale: _____

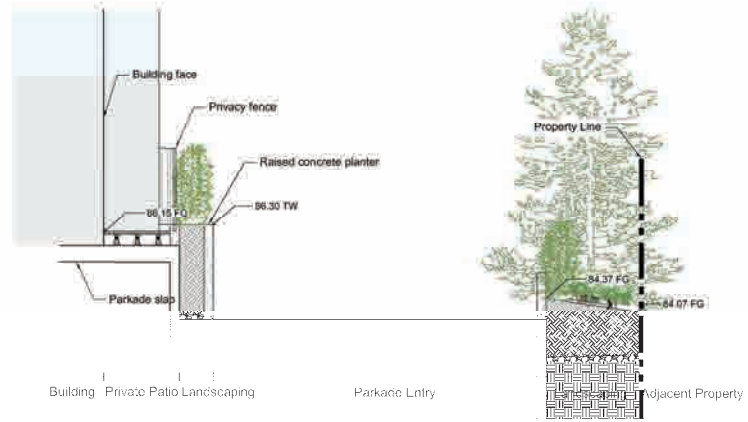
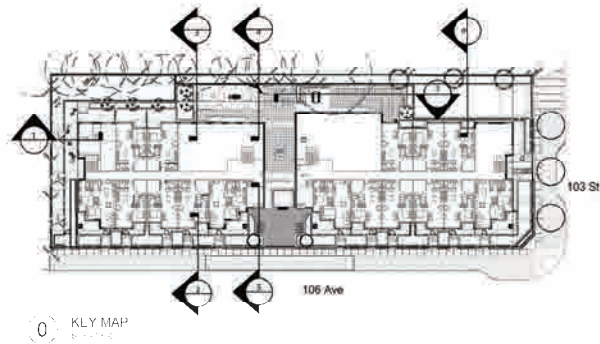
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Approved: _____
Date: _____

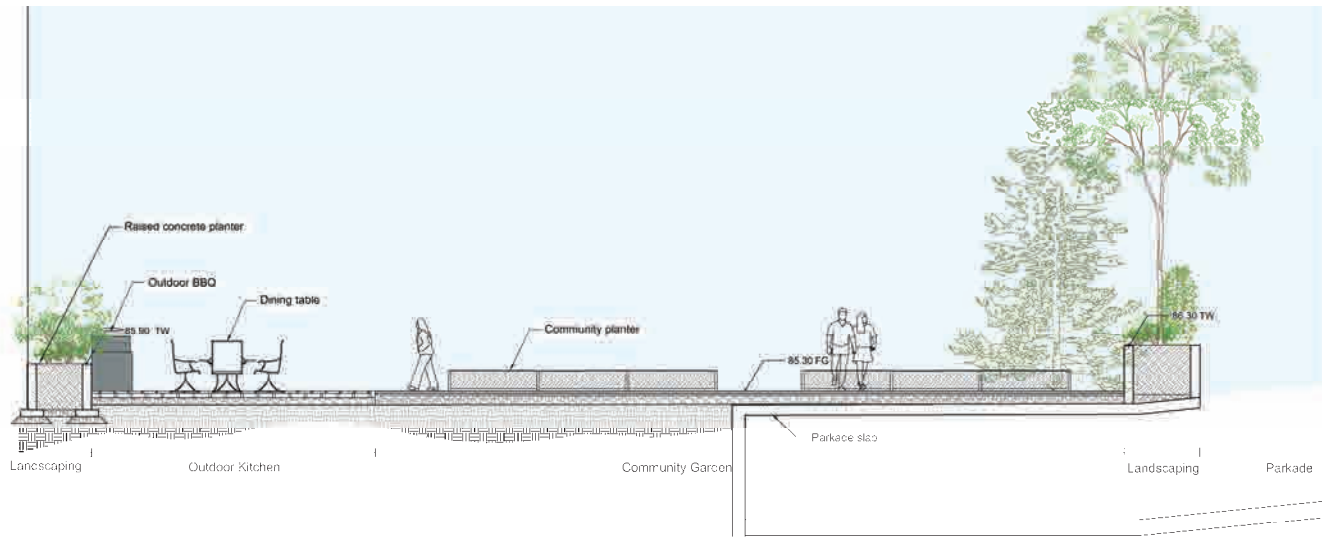
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Date: _____

Notes:

VDZ+A
FOR LANSLEY STUDIO MOUNT PLEASANT STUDIO
1003 BELLEFLOURE ST. 100 893 KINGSTON
DARTMOUTH, NS
902-255-1111
www.vdz.ca



6 SECTION - SECTION THROUGH NORTHEAST PATIO
Scale: 1/8"



7 SECTION - SECTION THROUGH COMMUNITY GARDEN
Scale: 1/8"

VDZ+A
 FORT LANGLEY STUDIO MOUNT PLEASANT STUDIO
 800-881-1111 604-881-1111
 Fort Langley, BC | Vancouver, BC
 1180 WEST 10TH ST
 www.vdz.ca | 804-881-1111

No.	By	Description	Date
1	JTC	Revised for DP	Dec 05, 2021
2	JTC	Revised for DP	Jan 08, 2022
3	JTC	Issued for DP	Jan 13, 2022
4	AD	Issued for DP	Feb 14, 2022
3	AD	Issued for DP	Oct 12, 2022
2	AD	Issued for DP	Oct 21, 2022
1	AD	Issued for (P)E/Review	Nov 08, 2022

REVISIONS TABLE FOR DRAWINGS

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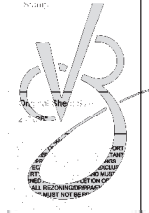
No.	By	Description	Date
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REVISIONS TABLE FOR SHEET

Project:
Kwakiwilt - 106 Ave Development

Location:
12951 106 Avenue
Surrey, B.C.

Drawn: [Name]
 A.L.
 LD
 Checked:
 PC
 Approved:
 [Name]
 Date:
 06/29/2023



Drawing Title
SECTIONS

VAZ Project #
DP2022-30

Drawing #
LS-03

Department: **Planning and Demographics**
Date: **December 12, 2024**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **23-0117**

The proposed development of **128** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	20
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Projected Number of Students From This Development In:	
Elementary School =	12
Secondary School =	5
Total Students =	17

Current Enrolment and Capacities:	
K B Woodward Elementary	
Enrolment	764
Operating Capacity	682
# of Portables	7
Kwantlen Park Secondary	
Enrolment	1675
Operating Capacity	1200
# of Portables	15

Summary of Impact and Commentary

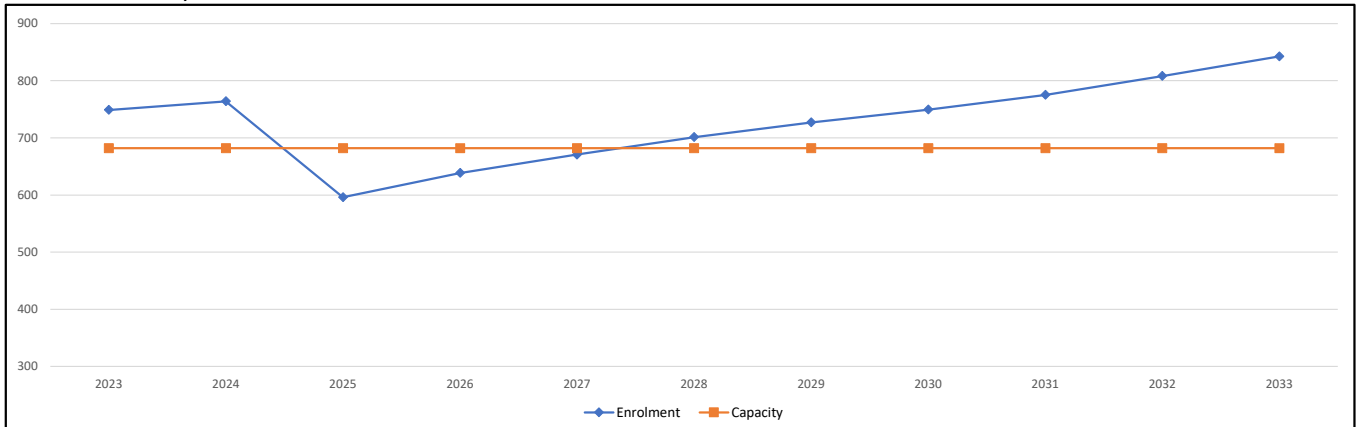
The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

As of September 2024, KB Woodward is operating at 110% capacity. With the current school over capacity, and significant planned development coming in the area, a new elementary will open north of 108th Ave in 2025 but further expansions or new schools will be required to accommodate the planned, rapid growth in City Centre.

The above said, District projections rely on plans adopted by the City and this development is outside any land use plan. This OCP amendment puts additional, unfunded strain on the District to provide classrooms for future students in the area. The developer should propose options to mitigate this unplanned growth in support of their amendment.

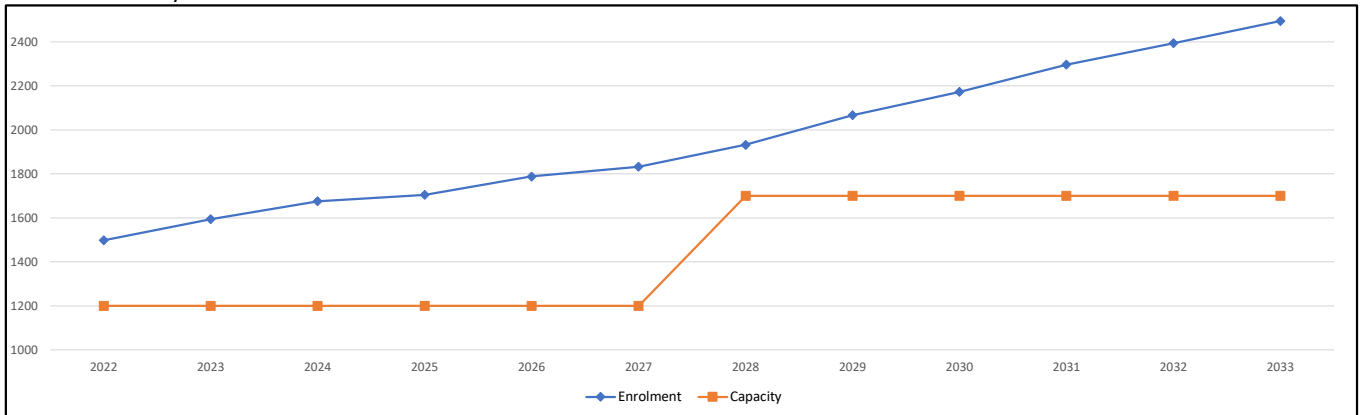
As of September 2024, Kwantlen Park Secondary is currently operating at 140% and is projected to grow significantly over the next 10 years. In February 2023, the District received capital funding approval from the Ministry to build a 500-capacity addition, targeted to open in the fall of 2027. However additional measures will also be required to address the future growth.

K B Woodward Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Kwantlen Park Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population : The projected population of children aged 0-17 impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0117-00

Planning Report Date: December 2, 2024

PROPOSAL:

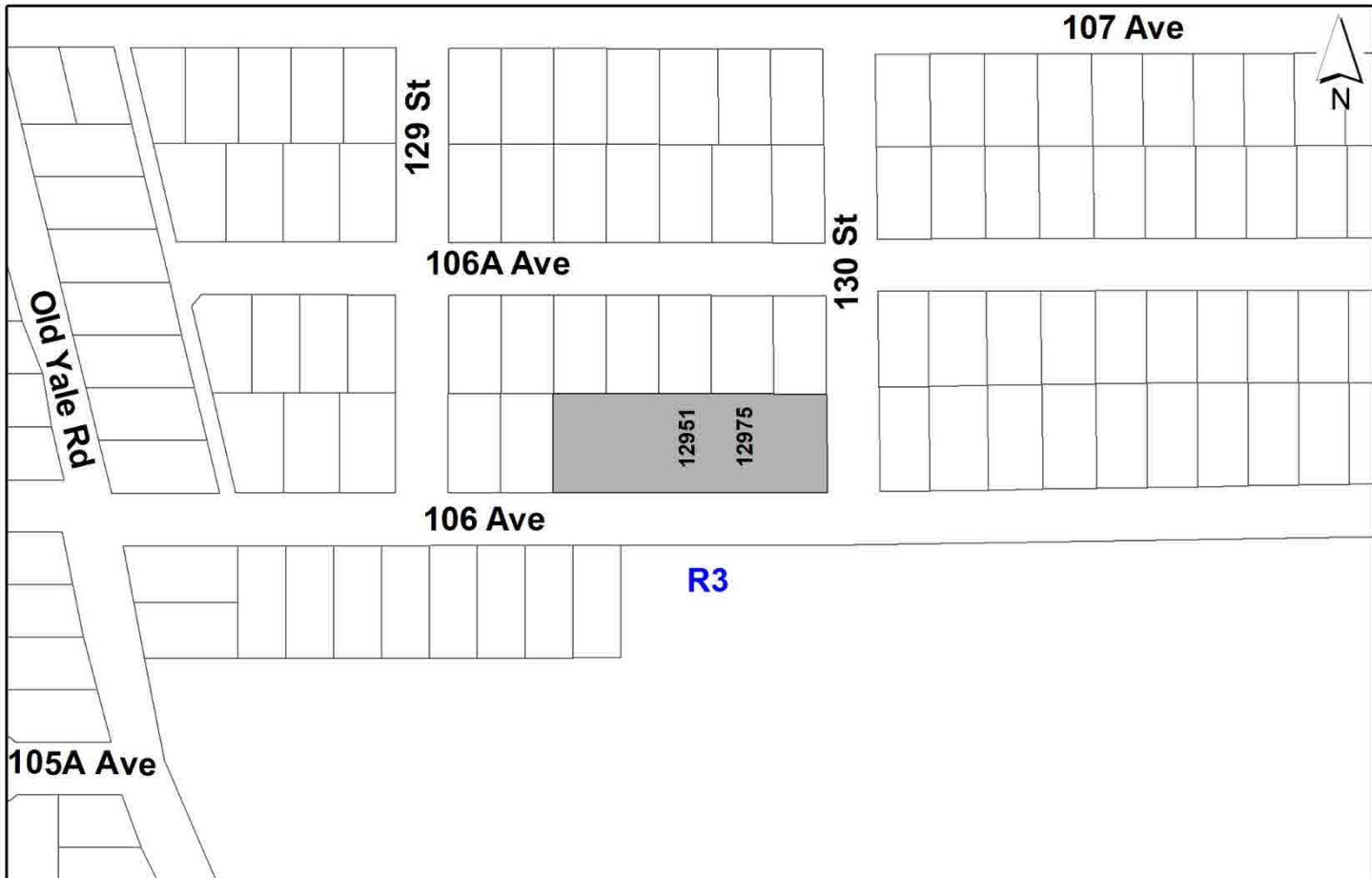
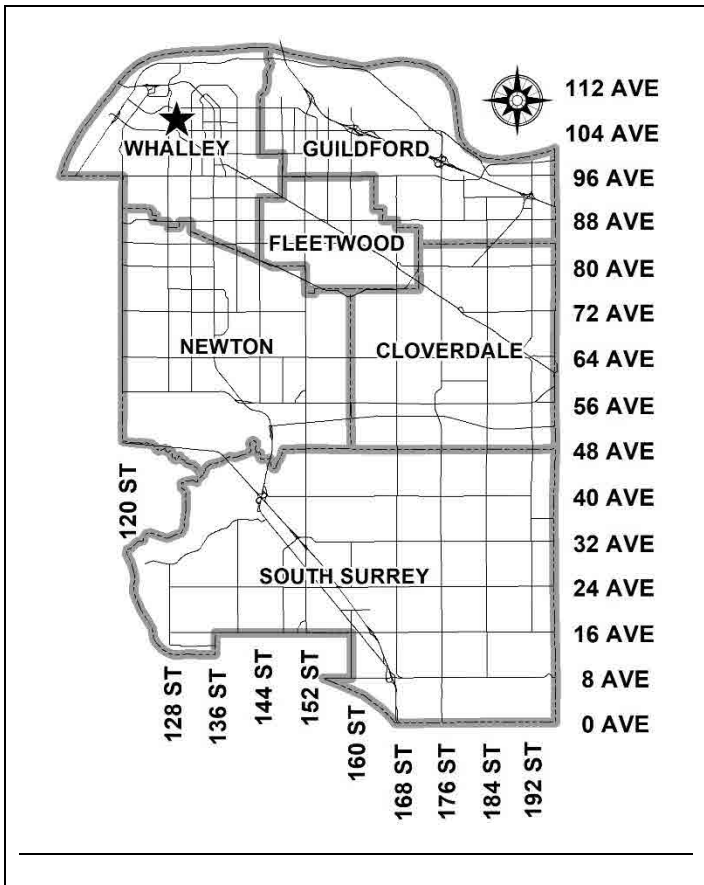
- **OCP Amendment** from Urban to Multiple Residential
- **OCP Text Amendment** to permit a higher density under the Multiple Residential designation.
- **Rezoning** from R3 to CD (based on RM-45)
- **Development Permit**

to permit the development of two, 5-storey residential buildings containing 38 market rental, 10 non-market rental and 58 market strata dwelling units over two (2) levels of underground parking.

LOCATION: 12951 - 106 Avenue
 12975 - 106 Avenue

ZONING: R3

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) from "Urban" to "Multiple Residential".
- Proposing a text amendment to "Table 7A: Land Use Designation Exemptions" of the OCP to allow for the proposed density of 2.0 Floor Area Ratio (FAR), based on the net site area, under the "Multiple Residential" designation.

RATIONALE OF RECOMMENDATION

- The proposal complies with the "General Urban" designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal does not comply with the current "Urban" designation of the subject site in the OCP, therefore, an OCP Amendment from "Urban" to "Multiple Residential" is proposed. In addition, the proposal requires an OCP Text Amendment to increase the allowable FAR under the "Multiple Residential" designation from 1.5 to 2.0 FAR (Net) for the subject site.
- The requested OCP Amendment and OCP Text Amendment are supportable given the provision of secured market and non-market rental dwelling units within the proposed development and as the overall building massing provides an appropriate transition from future higher-density developments within the City Centre Plan area to the east and existing lower-density residential uses to the west.
- The applicant has provided a Tenant Assistance and Relocation Program, as required under City Policy No. O-61, outlining the relocation strategy for the existing rental tenants on the subject site. The applicant's assistance and proposed relocation efforts for the existing residents generally meets the requirements of Surrey's City Policy No. O-61, as outlined in this report.
- In accordance with the rental replacement requirements of City Policy O-61, the applicant is proposing to replace all 31 existing rental units (11 1-bedroom and 20 2-bedroom) with 48 new rental units (12 1-bedroom, 23 1-bedroom plus den, 11 2-bedroom and 2 3-bedroom), which are all to be located within proposed Building B1 (western building). The applicant is allocating 10 units within the 5th floor of Building B1 as below-market rental units with a right of first refusal to residents of the existing rental building.
- The applicant proposes to enter into a Housing Agreement to allocate the 48 dwelling units as both market (38 units) and non-market (10 units) rental for a period of no less than 60 years.

- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed setbacks along 106 Avenue and 130 Street achieve a more urban, pedestrian streetscape in compliance with the Development Permit (Form and Character) design guidelines in the OCP.
- The proposed building achieves an attractive architectural built form, which utilizes high quality materials and contemporary lines.

RECOMMENDATION

The Planning & Development Department recommends that:

1. An OCP By-law be introduced to:
 - (a) amend OCP Figure 3: General Land Use Designations for the subject site from Urban to Multiple Residential; and
 - (b) amend OCP Table 7A: Land Use Designations by adding the following site-specific notation:

Bylaw No.	Land Use Designation	Site Specific Property	Site Specific Permission
"Bylaw # xxxxx	Multiple Residential	12951/12975 – 106 Avenue	Density permitted up to 2.0 FAR" (NET)

and a date set for Public Hearing.

2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A By-law be introduced to rezone the subject site from "Urban Residential Zone (R3)" to "Comprehensive Development Zone (CD)" (based on RM-45) and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7923-0117-00 generally in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issues prior to Final Adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision plan to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant enter into a Housing Agreement with the City to ensure the provision of 48 rental units (38 market rental and 10 below-market rental) within proposed Building B1 for a period no less than 60 years;

- (g) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
- (h) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-45 Zone, at the rate in effect at the time of Final Adoption
- (i) submission of sufficient bonding to ensure demolition of existing buildings and structures prior to issuance of the subsequent Building Permit, to the satisfaction of the Planning and Development Department;
- (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department for the market strata dwelling units proposed within Building B2; and
- (k) registration of a Section 219 Restrictive Covenant requiring the applicant to pay all applicable contributions to public art, to the satisfaction of the General Manager, Parks, Recreation and Culture, and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department should the tenure of the proposed secured market rental dwelling units within Building B1 be changed.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Existing 3-storey rental apartment building (Kwantlen Park Manor)	Urban	R3
North:	Existing urban residential lots.	Urban	R3
East (Across 130 Street):	Existing urban residential lot.	Urban in the OCP and within the recently expanded City Centre Plan area.	R3
South (Across 106 Avenue):	City-owned parkland (Royal Kwantlen Park) and existing urban residential lots.	Urban	R3
West:	Existing urban residential lot.	Urban	R3

Context & Background

- The subject site is approximately 3,955 square metres in size and is located at the north-west corner of the intersection of 106 Avenue and 130 Street in Whalley.

- The subject site is designated "Urban" in the Official Community Plan (OCP) and is currently zoned "Urban Residential Zone (R3)".
- Although the subject site is located outside of an approved secondary plan area, the western boundary of the expanded City Centre Plan Area is across 130 Street to the immediate east of the subject site. In addition, the subject site is approximately 150 metres from the edge of the Tier 3 radius (400 to 800 metres) associated with the Gateway SkyTrain Station Transit Oriented Area (TOA) as specified in the OCP.
- The subject site currently contains Kwantlen Park Manor, a 3-storey, purpose-built rental apartment building containing 31 dwelling units (11 1-bedroom and 20 2-bedroom) as well as related at-grade (surface) parking.

DEVELOPMENT PROPOSAL

Planning Considerations

- In order to permit the development of two, 5-storey residential buildings containing a total of 106 dwelling units (**Bldg. B1**: 48 secured market rental units, **Bldg. B2**: 58 market strata units) over two levels of underground parking in Whalley the applicant will require the following:
 - **OCP Amendment** from "Urban" to "Multiple Residential";
 - **OCP Text Amendment** to permit a higher density of 2.0 FAR (Net) under the Multiple Residential designation.
 - **Rezoning** from R3 to CD (based on RM-45).
 - **Development Permit** for Form and Character.
 - **Housing Agreement** to regulate the tenure of the proposed 48 rental dwelling units (38 market rental, 10 below-market rental) for a period no less than 60 years.
- Registration of a Housing Agreement is identified as a condition of Final Adoption of the associated OCP Amendment and Rezoning By-laws and will be brought forward for consideration by Council separately, should the proposal be supported.

	Proposed
Lot Area	
Gross Site Area:	3,955 square metres
Road Dedication:	4.5 square metres
Net Site Area:	3,951.5 square metres
Number of Lots:	1
Building Height:	5-storeys (19.5 metres)
Floor Area Ratio (FAR):	2.0 FAR (Net)
Floor Area	
Residential:	7,914 square metres
Residential Units:	
1-Bedroom:	26 dwelling units (24.5% of total units)
1-Bedroom + Den:	54 dwelling units (50.9% of total units)
2-Bedroom:	22 dwelling units (20.8% of total units)
3-Bedroom:	4 dwelling units (3.8% of total units)
Total:	106 dwelling units

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 17 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

10 Elementary students at K.B. Woodward Elementary School
4 Secondary students at Kwantlen Park Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

Parks, Recreation & Culture: The closest active park is Royal Kwantlen Park directly to the south of the subject site, across 106 Avenue, containing outdoor sports courts, outdoor sports fields, a skatepark and a playground as well as natural areas.

Surrey Fire Department: The Surrey Fire Department has no concerns with the subject development application provided that several items be addressed as part of the subsequent Building Permit application.

Advisory Design Panel: At the Regular Council – Land Use meeting on December 18, 2023, Council endorsed Corporate Report No. R214 (2023) which amended the Terms of Reference of the City’s Advisory Design Panel (ADP) which permits multi-family proposals that are 6-stories or less, and supported by City staff, to proceed to Council for By-law introduction, without review and/or comment from the ADP.

The subject development proposal is generally supported by City staff and the applicant has agreed to resolve any outstanding items, to the satisfaction of the Planning and Development Department, prior to consideration of Final Adoption of the Rezoning By-law as well as issuance of the Development Permit.

City Policy o-61: Rental Replacement and Tenant Relocation Assistance

- In accordance with the rental replacement requirements of Policy O-61, the applicant is proposing to replace all 31 existing rental units by providing 48 new secured market and below-market rental units in proposed Building B1 with the following unit mix:
 - 12 1-bedroom units;
 - 23 1-bedroom plus den units;
 - 11 2-bedroom units; and

- 2 3-bedroom unit.
- As of November 2024, all existing units are currently tenanted.
- The applicant has agreed to offer ten (10) of the proposed rental units as below-market rental units, at below-market rates as defined under City Policy No. O-61. The proposed below-market rental units are a combination of six 1-bedroom, three 1-bedroom plus den and one 2-bedroom unit typologies.
- For low to moderate income households, the policy defines affordable rental units as those rented at a rate that is 10% below current Canadian Market and Housing Corporation (CMHC) average rents, in order to reflect local rental conditions.
- Current average rental rates for Surrey are provided in CMHC's Rental Market Report: Vancouver CMA, which is released annually in the fall.
- The applicant has agreed to offer the below-market rental units within the proposed rental building at these below-market rental rates to existing tenants if they opt for the right of first refusal, or to any new tenants, for the duration of the 60-year Housing Agreement. Existing tenants will also have the right of first refusal on the remaining secured market rental units as well, however, these will be offered at market rates.
- The current property manager, Quorum Pacific, will manage both the market and non-market rental dwelling units. In order to ensure the below-market rental units are properly managed and rented to the correct individuals Quorum Pacific will be using BC Housing's Eligibility Criteria as follows:
 - Rent should not be more than 30% of the family gross income;
 - Prospective tenants are people who are looking for or in need of below-market rental;
 - Potential renters meet the necessary income criteria: \$40,000 for single occupants, \$65,000 for families and that the individual has less than \$100,000 in assets.
- The applicant has provided a Tenant Assistance and Relocation Plan, as required under City Policy No. O-61, outlining the relocation strategy for the existing rental tenants on the subject site. This will include identifying a Property Support Manager to act as a primary contact for all residents impacted by the proposed redevelopment of the subject site.
- While the current Tenant Assistance and Relocation Plan generally complies with City Policy No. 61, as it relates to financial compensation as well as relocation assistance for existing tenants, the existing offer of right of first refusal for affordable rental replacement units at below-market rates only applies to 10 of the 48 new rental units within proposed Building B1 rather than to all units.

Transportation Considerations

Road Network and Infrastructure:

- The applicant will be required to provide the following road dedication and improvements as part of the subject application:
 - Construction of the north side of 106 Avenue and the west side of 130 Street to the Local Road Standard;
 - Dedicate 3.0-metre by 3.0-metre corner cut at the intersection of 106 Avenue and 130 Street; and
 - Register a 0.5-metre wide statutory right-of-way (SRW) along all frontages.

Access and Parking:

- The proposed development is to be accessed from 130 Street via an underground parkade entrance at the north-east corner of the subject site.
- For Building B1 (Secured Market and Non-Market Rental) the applicant is proposing 53 residential parking spaces and 5 visitor parking spaces, equivalent to 1.1 residential parking spaces and 0.1 visitor parking spaces per unit, which complies with Zoning By-law rates for non-ground-oriented multiple residential projects with a Housing Agreement.
- For Building B2 (Market Strata) the applicant is proposing 79 residential parking spaces and 12 visitor parking spaces, equivalent to 1.3 to 1.5 residential parking spaces and 0.2 visitor parking spaces per unit, which complies with Zoning By-law rates for non-ground-oriented multiple residential projects.

Traffic Impacts:

- The proposed development is anticipated to generate approximately one (1) vehicle trip every one (1) to two (2) minutes in the peak hour, according to industry standard rates. A site-specific Transportation Impact Analysis (TIA) is not required as the proposal is below the City's threshold.

Transit and/or Active Transportation Routes:

- The subject site is approximately 1.2 kilometres, equivalent to a 15-to-20-minute walk at a moderate pace, from the Gateway SkyTrain Station at 108 Avenue and University Drive.
- The subject site is within walking distance of several bus stops served by TransLink Route No. 373 (Guildford Exchange / Surrey Central Station) and Route No. 393 (Newton Exchange / Surrey Central Station).
- In addition, the subject site is directly adjacent to the future Bridgeview Greenway, running east-west along the south side of 106 Avenue.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

School Capacity Considerations

- The School District has confirmed that, as of September 2024, KB Woodward Elementary is operating at 110% capacity with 10-year enrollment projects indicating that the school will grow rapidly as Surrey City Centre continues to transform. A new elementary school proposed to open north of 108 Avenue in 2025 will provide some relief for the overall catchment area, however, further expansions or new schools will be required to accommodate rapid future growth.
- The School District has confirmed that, as of September 2024, Kwantlen Park Secondary is operating at 140% capacity with 16 on-site portables. In February 2023, the District received capital funding approval from the Ministry to build a 500-capacity addition which is targeted to open in Fall 2026. However, additional measures will be required to address future growth.
- The applicant has confirmed that the proposed dwelling units are to be constructed and ready for occupancy in either Q2 or Q3 2027.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposed development complies with the "General Urban" designation of the subject site under the Metro Vancouver *Metro 2050: Regional Growth Strategy* (RGS).

Official Community Plan

Land Use Designation

- The subject site is currently designated "Urban" under the Official Community Plan (OCP). Therefore, an OCP Amendment from "Urban" to "Multiple Residential" is required in order to accommodate the proposed 5-storey, 2.0 FAR (Net) development proposal.

Amendment Rationale

- The subject site is located just outside of the western boundary of the expanded City Centre Plan area. Although land use designations have not yet been endorsed by Council for the expanded City Centre Plan area, it is expected that this portion of the City Centre Plan would support a combination of low- to mid-rise residential buildings to both expand the number of potential housing options and provide an appropriate interface with existing lower density residential areas.

- Although the proposed density on the subject site is higher than that prescribed in the OCP, there is merit to consider a medium-density, low- to mid-rise development given both the proposed mixture of market and below-market rental housing (proposed Building B1) and market strata residential housing (proposed Building B2) options as well as the relative proximity of the subject site to nearby public transit options.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation, as described in the Community Amenity Contribution section of this report for the proposed market strata building (Building B2).
- The applicant will be required to provide the per sq. ft. flat rate for the floor area above the maximum density permitted in the OCP in order to satisfy the proposed OCP amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption.
- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate the two 5-storey residential buildings proposed on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 45 Zone (RM-45)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-45 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-45 Zone (Part 23)	Proposed CD Zone
Floor Area Ratio:	1.3 FAR (Net)	2.0 FAR (Net)
Lot Coverage:	33%	52%
Yards and Setbacks	7.5 metres from all lot lines	North: 10.4 metres East: 4.5 metres South: 4.5 metres West: 5.9 metres
Principal Building Height:	50 metres	17.0 metres
Permitted Uses:	<ul style="list-style-type: none"> • Multiple unit residential buildings and ground-oriented multiple unit residential buildings. • Accessory child care centres. 	<ul style="list-style-type: none"> • Multiple unit residential buildings.
Amenity Space		
Indoor Amenity:	3.0 sq. m. per dwelling unit (318 sq.m. in total)	The proposed 332 m² meets the Zoning By-law requirement.
Outdoor Amenity:	3.0 sq.m. per dwelling unit (318 sq.m. in total)	The proposed 399 m² meets the Zoning By-law

Parking (Part 5)	Required	requirement.
		Proposed
Number of Stalls		
Residential:	131	134
Residential Visitor:	17	17
Total:	148	151
Accessible (min. 2% stalls):	3	6
Small-Car (max. 35% stalls):	52	10
Bicycle Spaces		
Long-Term Residential:	127	143
Short-Term Visitor:	6	8

- The proposed CD By-law is based upon the RM-45 Zone with modifications to the maximum permitted density, lot coverage, minimum building setbacks, maximum building height, and the location of the underground parkade in relation to the south (flanking street) lot line.
- The proposed Floor Area Ratio (FAR) and lot coverage, based on the net site area of the development, is 2.0 FAR and 52% respectively. This exceeds the maximum 1.3 FAR (Net) and 33% lot coverage permitted under the RM-45 Zone.
- Given the proximity of the subject site to the expanded boundary of the City Centre Plan to the immediate west, general compliance with City Policy No. O-61 through the provision of 48 market rental dwelling units secured through a 60-year Housing Agreement as well as the provision of Tier 2 Community-Specific Capital Project CACs for the increased density, the proposal to increase the permitted density from 1.3 FAR (Net) under the RM-45 Zone to 2.0 FAR (Net) under the proposed By-law is supportable.
- The proposed increase to the maximum lot coverage, from 33% under the RM-45 Zone to 52% under the proposed CD By-law, is generally consistent with other low-rise development applications of this scale throughout Surrey.
- The proposed setbacks will allow for improved connectivity to the adjacent streets along the south and west lot lines, supporting a more pedestrian-oriented and urban streetscape in line with the OCP design guidelines, while also ensuring adequate "breathing room" between the proposed 5-storey form and the existing urban residential lots to the north and west of the subject site.
- As per Sub-Section A.3.(d) of Part 5 "Off Street Parking and Loading/Unloading" in the Surrey Zoning By-law, no parking facilities can be constructed within 2.0 metres of the front lot line or a lot line along a flanking street. The proposed underground parkade will be located a minimum of 0.8 metres from the south (flanking street) but more than 2.0 metres from the east (front), west (rear), and north (side) lot lines. As a result, the proposed CD By-law will allow the underground parking facility to extend within 0.5-metre of the south lot line.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2024, under Corporate Report No.R046; 2024.
- A portion of the proposed development, specifically, the 58 proposed market strata dwelling units, will be subject to Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit issuance with the current rate being \$4,272,00 per new dwelling unit.
- The proposed development will be subject to Tier 2 Community-Specific Capital Project CACs for proposed density greater than the Official Community Plan (OCP). The applicant will be required to pay the per sq.m. rate for that portion of the residential floor area above the maximum density permitted under the Multiple Residential designation of the OCP with the contribution payable at the rate applicable at the time of Final Adoption of the Rezoning By-law.
- The 48 proposed market and below-market rental dwelling units secured through a Housing Agreement will not be subject to either Tier 1 Capital Project CACs or Tier 2 Community-Specific Capital Project CACs. A Section 219 Restrictive Covenant will be registered making these CACs payable if there are future changes to the tenure of these units.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,113.92 per new dwelling unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.
- The proposed 48 secured market and below-market rental dwelling units are exempt from the provision of this policy. The applicant will be required to register a Section 219 Restrictive Covenant, making the fees payable if there is a future change in tenure from the market rental, to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.
- The Public Art contribution will not be applicable to the residential portion containing the proposed 48 secured market and below-market rental dwelling units. The applicant will be

required to register a Section 219 Restrictive Covenant, making the fees payable if there is a future change in tenure from market rental, to address the City's needs with respect to public art.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on April 17, 2024, and the Development Proposal Signs were installed on April 22, 2024. To date, staff have received no written, telephone or email responses from neighbouring residents.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to, and generally complies with, the Form and Character Development Permit design guidelines in the Official Community Plan (OCP).
- The applicant has worked with staff to accommodate the proposed building density, height and massing, including a more animated, urban and pedestrian-oriented street interface along 106 Avenue and 130 Street, while at the same time respecting the existing 2-storey urban residential building character of the adjacent neighbourhood.

Building Design

- The applicant is proposing two, 5-storey wood-framed residential apartment buildings containing approximately 106 dwelling units (**Bldg. B1**: 48 secured market and non-market rental units; **Bldg. B2**: 58 market strata units) over two (2) levels of underground parking. The proposed units consist of 26 1-bedroom, 54 1-bedroom plus den, 22 2-bedroom, and 4 3-bedroom units ranging in size from approximately 40 to 105 square metres.
- The building steps back the two upper-most levels along all lot lines and includes an increased north yard setback, from 7.5 to 10.5 metres, in order to blend the scale of the building into the existing neighbourhood context.
- The three-storey base emphasizes a human scale by resembling a series of individual, ground-oriented townhouses units with front-porch entryways connected to the street through landscaped raised patios.
- The exterior mixes timeless traditional finishes, including the use of grey brick and wood-toned horizontal siding at the lower storeys for a richer streetwall expression, as well as more modern white-coloured smooth fibre cement panels on the two uppermost storeys to feather the massing on the top.

Landscaping

- The landscape plans contain a mixture of both deciduous and coniferous trees, low-lying shrubs, and groundcover planted extensively throughout the subject site, as well as hardscaping, site lighting, fencing and site furnishing.
- All ground-floor units have front door access as well as a semi-private patio space that is screened from the adjacent off-site public or on-site semi-public realm through a combination of privacy fencing and layered planting which consists of bylaw sized replacement trees, low-lying shrubs, perennials and grasses.
- Access to the semi-private patio space will be provided either through an individual gated entryway from the adjacent off-site public or on-site semi-public sidewalk or through the individual dwelling units.
- Exterior lighting will be designed to reduce overall light pollution while still providing adequate lighting to ensure on-site circulation and community safety as per Crime Prevention Through Environmental Design (CPTED) principles.

Indoor Amenity

- The RM-45 Zone requires the applicant to provide 3.0 square metres of indoor amenity space (IAS) per dwelling unit. The Zoning By-law also prescribes the minimum IAS requirement that must be provided on-site with a cash-in-lieu contribution option to address the remaining requirement.
- Per the Zoning By-law requirement above, the proposed development is to provide 318 square metres of on-site IAS to serve the residents of the proposed 106 dwelling units. Of this 318-square metre requirement, a minimum of 74 square metres of IAS must be provided on-site with any IAS shortfall addressed through a cash-in-lieu contribution.
- The applicant is proposing approximately 328 square metres of IAS, divided equally between Building B1 and B2 thereby exceeding the Zoning By-law requirement.
- The proposed indoor amenity spaces, located on the ground floor of both Building B1 and B2 adjacent to the entrance lobbies and central outdoor amenity space, contain communal kitchen and dining spaces, informal lounge seating, games tables and an accessible washroom.

Outdoor Amenity

- The RM-45 Zone requires the applicant to provide 3.0 square metres of outdoor amenity space (OAS) per dwelling unit. Per the Zoning By-law requirement, the proposed development is to provide 318 square metres of on-site OAS to serve the residents of the proposed 106 dwelling units.
- The applicant is proposing approximately 399 square metres of OAS both between the two proposed buildings and within the north (side) yard of the subject site. The expansive OAS consists of several information seating areas, an outdoor communal kitchen and dining areas, a children's play area with fixed play equipment as well as a community gardening area.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include refinement of the 130 Street (east) elevation as well as improving the visual prominence and accessibility of the 106 Avenue lobby entrance.

TREES

- D. Glyn Romaine, ISA Certified Arborist of Van Der Zahm + Associates prepared an Arborist Assessment for the subject site. The table below provides a summary of the proposed tree retention and removal. A detailed list of the proposed tree retention and removal by tree species can be found in (Appendix IV):
- All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

Table 1: Summary of Proposed Onsite Tree Preservation by Tree Species:

	Existing	Remove	Retain
Alder/Cottonwood (outside riparian area)	1	1	0
Deciduous Trees	19	0	19
Coniferous Trees	0	0	0
Onsite Tree Totals	20	1	19
Onsite Replacement Trees Proposed	34		
Total Onsite/Shared/City Retained and Replacement Trees	53		

- The Arborist Assessment states that there is a total of one (1) bylaw protected trees on the subject site, one (1) bylaw protected tree shared between the subject site and a neighbouring lot to the north as well as eighteen (18) bylaw protected City trees within proximity of the proposed development. In addition, the Arborist Assessment states that there are sixteen (16) off-site trees within proximity of the north lot line of the subject site.
- The applicant proposes to remove the one (1) bylaw protected on-site tree while retaining all identified City and off-site trees as part of the subject development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of one (1) replacement tree on the site. The applicant is proposing 34 replacement trees, exceeding City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on 106 Avenue and 130 Street. This will be determined by the Engineering Department during the project servicing design review process.
- The new trees on the site will consist of a variety of trees including Seiryu Japanese Maple, Weeping Nootka Cypress, Sweet Gum, Royal Star Magnolia, Tupelo Tower Blackgum, Ruby

Vase Persian Parrotia, Colorado Spruce, Austrian Pine, Green Pillar Oak and Japanese Stewartia.

- In summary, a total of 53 trees are proposed to be retained or replaced on the site with no required contribution to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Proposed Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix V.	OCP Redesignation Map: Figure 3

approved by Ron Gill

Ron Gill
Acting General Manager
Planning and Development

CRL/cb



DIRECTORY:

OWNER	106 KWANTLEN VENTURES #200-15055 - 54A AVE. Surrey, BC V3S 5X7 T: 604 580-0544 E: tmsurvey@tmsgroup.ca	LANDSCAPE ARCHITECT	VAN DER ZALM & ASSOCIATES 102-9181 Church Street P.O. Box 461 Fort Langley, B.C. V4M 3R8 T: 604 882-0024 E: mark@vdz.ca CONTACT: Mr. Mark van der Zalm MBCSLA, CSLA, ASLA, LEED AP
DEVELOPER	JAYEN PROPERTIES #200-15055 - 54A AVE. Surrey, BC V3S 5X7 T: 604 579-9970 E: info@jayenproperties.com	ARBORIST	VAN DER ZALM & ASSOCIATES 102-9181 Church Street P.O. Box 461 Fort Langley, B.C. V4M 3R8 T: 604 882-0024 E: glyn@vdz.ca CONTACT: Glyn Romaine
ARCHITECT	JM ARCHITECTURE INC. #700-15055 - 54A AVE. Surrey, B.C. V3S 5X7 T: 604 583-3003 E: joe@jmarshitecture.ca CONTACT: MR. JOE MINTEN, architect@abc, aaa, mmaic	SURVEYOR	ELEVATE LAND SURVEYING #8289 92 Avenue Surrey, B.C. V4N 5A9 T: 604 385-5371 E: fenny@elevatelandsurveying.com CONTACT: FINNY PHILIP BCLS
AUTHORITY HAVING JURISDICTION	CITY OF SURREY Area Planning - North Section, Planning Dept. 13600 South Ave., Surrey, BC V3T 1V8 T: 604 591-4011 E: planningdevelopment@surrey.ca	CIVIL	CENTRAS ENGINEERING LTD. #718-2630 Croydon Drive, Surrey, B.C. T: 604 283-4927 E: anthony@centras.ca CONTACT: Anthony Read



SITE LOCATION



PERSPECTIVE VIEW

DRAWING LIST:

ARCHITECTURAL	ISSUED FOR
A-00 COVER SHEET (DIRECTORY & INDEX)	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-002 DESIGN BRIEF	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-03 PROJECT DATA	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-04 SITE CONTEXT MAPS	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-05 BASE PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-06 OUTDOOR AMENITY CALCULATIONS	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-07 FIRE TRUCK ACCESS ROUTE	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-08-09 SHADOW STUDY	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-10 F.A.R. CALCULATIONS	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-100 SITE PLAN - OVERALL	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-01 UNDERGROUND PARKING P1	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-101 UNDERGROUND PARKING P2	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-103 MAIN FLOOR PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-104 2ND FLOOR PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-105 3RD FLOOR PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-106 4TH FLOOR PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-107 5TH FLOOR PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-108 ROOF PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-200 STREET SCAPE	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-201-202 ELEVATIONS B1	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-203-204 ELEVATIONS B2	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-300-301 GRADING SECTIONS	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-302 UNDERGROUND SECTIONS	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-400-403 UNIT PLANS	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-900 PERSPECTIVE VIEWS	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
A-901 PERSPECTIVE VIEWS	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
LANDSCAPE	
L-01 COVER PAGE	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
LA-01 TREE MANAGEMENT PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
L-02A LANDSCAPE PLAN L1	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
L-02B GRADING AND FENCING PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
L-02C LIGHTING PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
L-02D SOIL VOLUME PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
L-03 LANDSCAPE PLAN L2	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
L-04 PLANT PALETTE	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
LS-01 SECTIONS	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
LS-02 SECTIONS	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
LD-01 DETAILS	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
LD-02 DETAILS	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
LD-03 DETAILS	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
LD-04 DETAILS	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
ARBORIST	
TREE PRESERVATION REPORT	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
TREE PROTECTION DRAWINGS	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
SURVEY	
TOPOGRAPHICAL SITE PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT
CIVIL	
KEY PLAN	RE- ISSUED TO CITY OF SURREY FOR DEVELOPMENT PERMIT





VIEW 1 LOOKING AT KWANTLEN PARK



VIEW 2 - LOOKING AT RESIDENTIAL PROPERTY



VIEW 3 - LOOKING AT RESIDENTIAL PROPERTY



KEY CONTEXT PLAN



VIEW 4 - LOOKING AT RESIDENTIAL PROPERTY



VIEW 6 - LOOKING AT RESIDENTIAL PROPERTY



VIEW 5 - LOOKING AT KWANTLEN PARK

Civic Address : 12975 & 12951 106 Avenue Surrey BC
 LEGAL DESCRIPTION:
 LOT A SECTION 21 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER
 DISTRICT PLAN 18445
 PID: 010-374-355 PLAN : 18445
 PARCEL NUMBER: 010-374-355



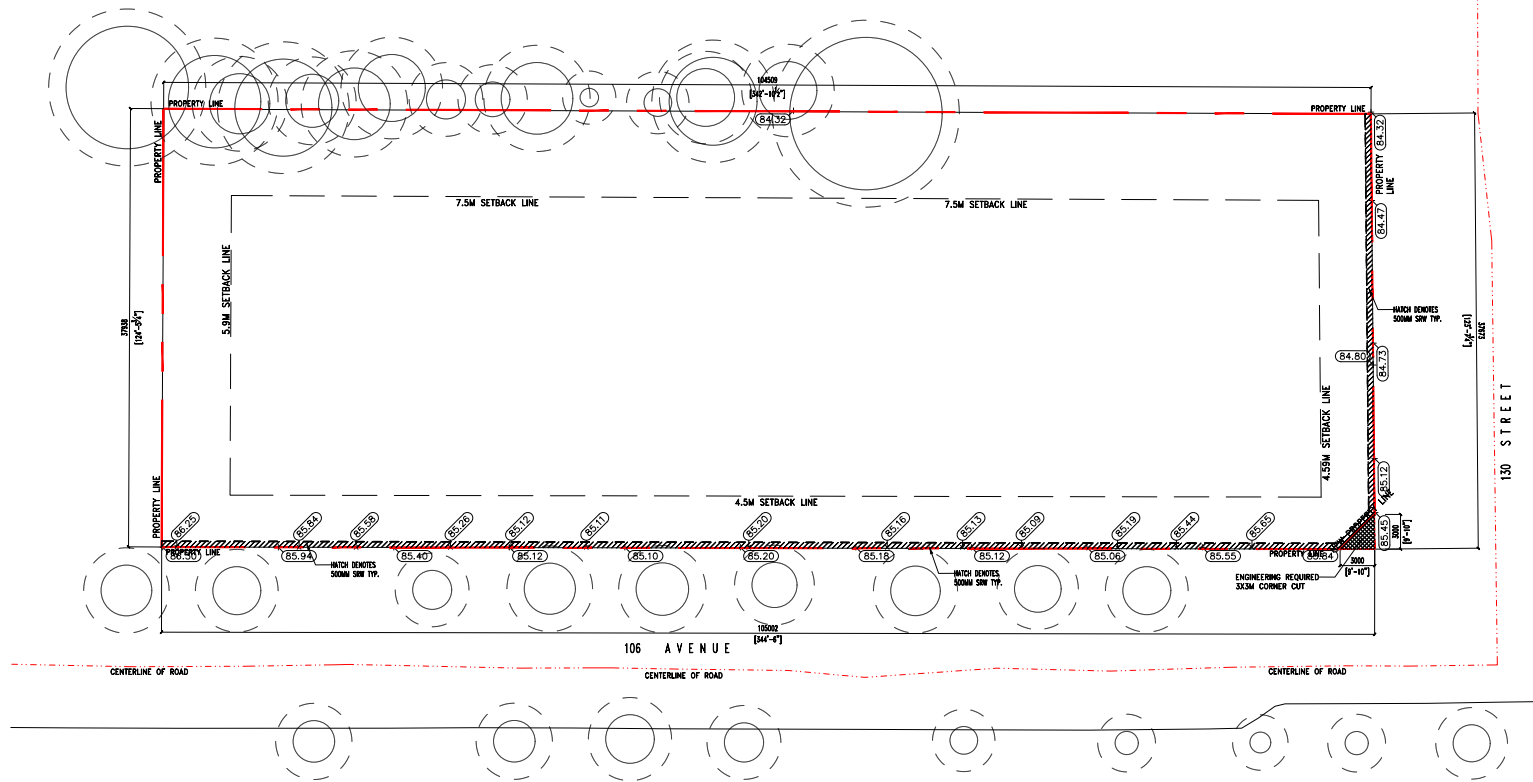
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2.0	2023-09-22	RE-ISSUED TO CITY OF SURREY FOR DP	GA				
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Architects Seal & Signature

 Project Name
106 KWANTLEN VENTURES
 12951 & 12975 106 AVENUE
 Surrey, BC
 Developer: Jayen Properties
 Surrey, BC
 Contact: Mr. Sukhi Rai
 START DATE: 08/2022
 PROJECT No: 2022-03
 DR: _____ WH: _____ CH: _____
 Scale: AS SHOWN
SITE CONTEXT MAP
 Project No: _____
 Date: 4.0 2022-03
 Drawing: A-04



BASE PLAN
SCALE: 1:300

CIVIC ADDRESS : 12975 & 12951 106 Avenue Surrey BC
 LEGAL DESCRIPTION:
 LOT 8 SECTION 21 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER
 DISTRICT PLAN 18445
 PID 010-374-353 PLAN : 18445
 PARCEL IDENTIFIER: 010-374-353



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				2.0	2023-12-15	RE-ISSUED TO CITY OF SURREY FOR DP	JA
				1.0	2023-02-09	ISSUED TO CITY OF SURREY FOR DP	SD

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106 IWANTEN VENTURES
 12951 & 12975 106 AVENUE
 Surrey, BC
 Developer: Jayen Properties
 Contact: Mr. Sukhi Rai
 START DATE: 08/2022
 PROJECT No.: 2022-03
 DR. CH. JMM
 SCALE: AS SHOWN
BASE PLAN
 REV No. 4.0 2022-03
 A-05

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Shadow Study on AREA 1 - 21 Mar @ 10a.m.



Shadow Study on AREA 1 - 21 Mar @ noon



Shadow Study on AREA 1 - 21 Mar @ 2p.m.



Shadow Study on AREA 1 - 21 JUNE @ 10a.m.



Shadow Study on AREA 1 - 21 JUNE @ noon



Shadow Study AREA 1 - 21 JUNE @ 2p.m.



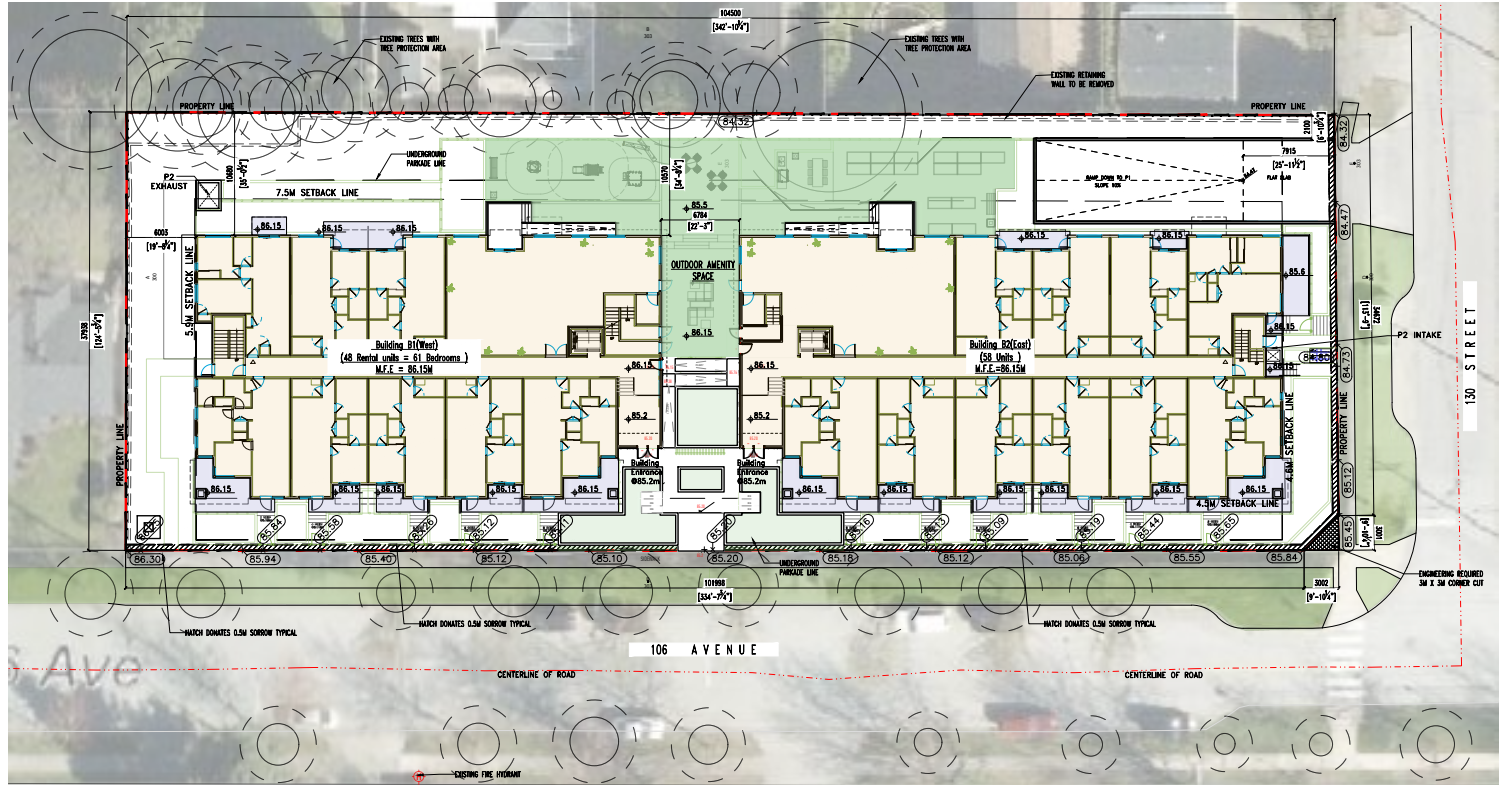
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 Project Name
106 KWANTLEN VENTURES
 15951 & 12975 106 AVENUE,
 Surrey, B.C.
 Developer: Jayen Properties
 Surrey, BC
 Contact: Mr. Sukhi Raj
 START DATE: 08/2022
 PROJECT NO.: 2022-03
 DR. SCALE: SD CHL. JMM
 AS SHOWN
 Project No.:
 4.0
 2022-03
 A-08



SITE PLAN
SCALE: 1:200

CIVIC ADDRESS : 12975 & 12951 106 Avenue, Surrey, BC
 LEGAL DESCRIPTION:
 LOT A, SECTION 71, BLOCK 5, NORTH RANGE 2, WEST NEW WESTMINSTER
 DISTRICT PLAN 18445
 PID: 010-374-353 PLAN : 18445
 PARCEL IDENTIFIER: 010-374-353



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6.0	2023-12-15	RE-ISSUED TO CITY OF SURREY FOR DP	JA
5.0	2023-10-04	ISSUED TO LANDSCAPE CONSULTANTS FOR CO-ORDINATION	SD
4.0	2023-09-13	ISSUED FOR CLIENT REVIEW	GA
3.0	2023-02-09	ISSUED TO CITY OF SURREY FOR DP	SD
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Project Name
106 WANTED VENTURES
 12951 & 12975 106 AVENUE
 Surrey, BC

Developer: Jayen Properties
 Surrey, BC
 Contact: Mr. Sukhi Rai

SITE PLAN

START DATE: 08/2022
 PROJECT No.: 2022-03
 DR: JMM
 SD: CH
 SCALE: AS SHOWN

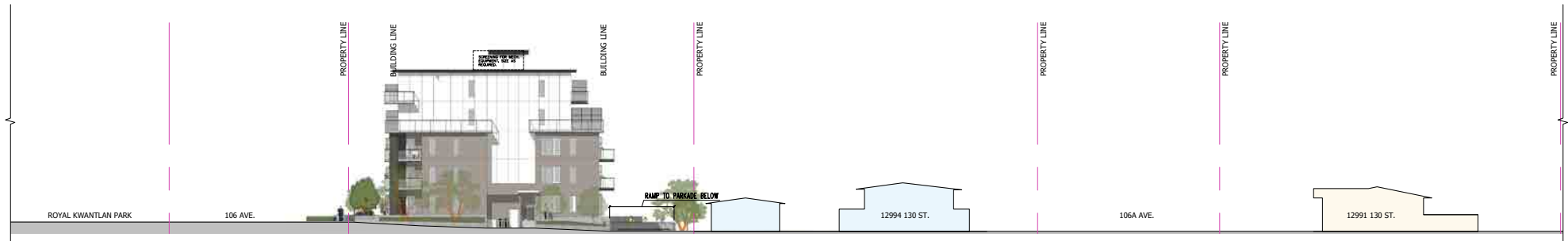
Project No.: 9
 Date: 2022-03
 Scale: A-100



1 STREETScape BLDG 1 & BLDG 2 - 106 AVENUE - WEST
SCALE: 1:200



2 STREETScape BLDG 1 & BLDG 2 - 106 AVENUE - EAST
SCALE: 1:200




3 STREETScape BLDG 2 - 130 STREET - NORTH
SCALE: 1:200



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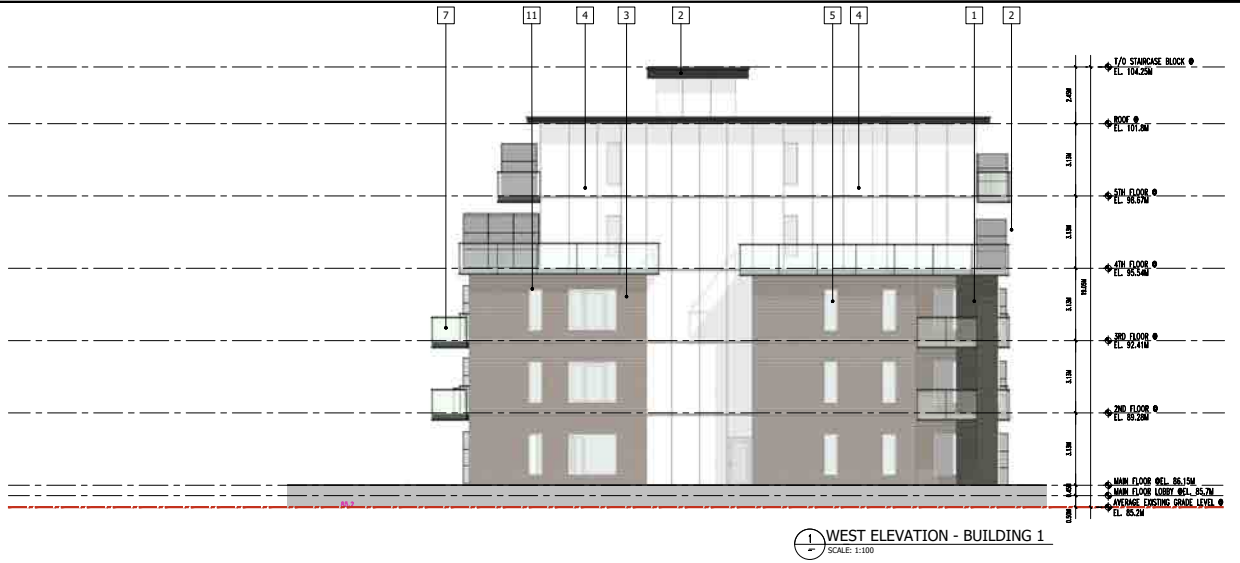
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 Fax: 604.273.3178
 www.jimarchitect.com

Architects Seal & Signature

 Project Name: **106 KWANTLEN VENTURES**
 12991 & 12975 106 AVENUE
 Surrey, BC
 Developer: Jayen Properties
 Surrey, BC
 Contact: Mr. Sukhi Rai
 Project No: **5.0**
 Date: **2022-03**
 Scale: **A-200**
 START DATE: 08/2022
 PROJECT NO: 2022-03
 DR: JMM
 SD: CH
 AS SHOWN

DO NOT SCALE DRAWING SCALE AS SHOWN

EXTERIOR FINISH SCHEDULE

BUILDING MATERIALS	TYPE	FINISH	COLOUR	MANUF./ SUPPLIER
1 HEBRON BRICK	THIN BRICK	INTEGRAL	ONYX IRONSPOT	HEBRON DISTRIB. IXL
2 PAINTED TRIM	HARDIE PANEL	SITE PAINTED	DARK GREY	JAMES HARDIE
3 HARDIE LAP SIDING	LAP SIDING	SITE PAINTED	BENJAMIN MOORE SILVER FOX: 2108-50	JAMES HARDIE
4 HARDIE PANEL	PANEL C/W MTL REVEAL	SITE PAINTED	BENJAMIN MOORE SNOWFALL WHITE: OC-118	JAMES HARDIE
5 RESIDENTIAL WINDOWS	VINYL	INTEGRAL	WHITE	TBD
6 LOBBY & STAIR WINDOWS	ALUMINUM WINDOW	INTEGRAL	WHITE	TBD
7 BALCONY GUARDRAILS	CLEAR GLASS ALUM. FRAME	INTEGRAL	WHITE	TBD
8 PATIO DOORS	VINYL	SITE PAINTED	WHITE	TBD
9 SOFFITS	FIBRE CEMENT WITH VENT STRIPS	INTEGRAL	WOODTONE	TBD
10 FLASHINGS	ALUMINUM	INTEGRAL	TO MATCH COLOUR OF ADJOINING SURFACES	TBD
11 RESIDENTIAL WINDOW TRIMS	HARDIE TRIM	SITE PAINTED	WHITE	JAMES HARDIE
12 EXPOSED CONCRETE SURFACES	NATURAL	HORIZONTAL SCORE REVEALS	BENJAMIN MOORE LIGHT GREY: 2124-40	BY CONTRACTOR
13 SCREENING	PARTITION	TBD	TBD	BY CONTRACTOR



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3.0	2024-04-19	RE-ISSUED TO CITY OF SURREY FOR DP	SD				
2.0	2023-10-18	RE-ISSUED TO CITY OF SURREY FOR DP	SD				
1.0	2023-02-09	ISSUED TO CITY OF SURREY FOR DP	SD				

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Principal: Joe M. Motson
 1017 150th St, Surrey, BC V4A 2E7
 Tel: 604-273-8117
 Fax: 604-273-8118

Architects Seal & Signature

Project Name
100 IWANTLEN VENTURES
 12951 & 12975 106 AVENUE
 Surrey, BC
 Developer: Jayen Properties
 Contact: Mr. Sukhi Rai

START DATE: 08/2022
 PROJECT NO: 2022-03
 DR: JMM
 SD: CH
 AS SHOWN

Building 1 Elevations
 Project No: 4.0
 Date: 2022-03
 Scale: A-201

DO NOT SCALE DRAWING

EXTERIOR FINISH SCHEDULE

BUILDING MATERIALS	TYPE	FINISH	COLOUR	MANUF./ SUPPLIER
1	HEBRON BRICK	THIN BRICK	INTEGRAL ONYX IRONSPOT	HEBRON DISTRIB. IXL
2	PAINTED TRIM	HARDIE PANEL	SITE PAINTED DARK GREY	JAMES HARDIE
3	HARDIE LAP SIDING	LAP SIDING	SITE PAINTED BENJAMIN MOORE SILVER FOX: 2108-50	JAMES HARDIE
4	HARDIE PANEL	PANEL C/W MTL REVEAL	SITE PAINTED BENJAMIN MOORE SNOWFALL WHITE: OC-118	JAMES HARDIE
5	RESIDENTIAL WINDOWS	VINYL	INTEGRAL WHITE	TBD
6	LOBBY & STAIR WINDOWS	ALUMINUM WINDOW	INTEGRAL WHITE	TBD
7	BALCONY GUARDRAILS	CLEAR GLASS ALUM. FRAME	INTEGRAL WHITE	TBD
8	PATIO DOORS	VINYL	SITE PAINTED WHITE	TBD
9	SOFFITS	FIBRE CEMENT WITH VENT STRIPS	INTEGRAL WOODTONE	TBD
10	FLASHINGS	ALUMINUM	INTEGRAL TO MATCH COLOUR OF ADJOINING SURFACES	TBD
11	RESIDENTIAL WINDOW TRIMS	HARDIE TRIM	SITE PAINTED WHITE	JAMES HARDIE
12	EXPOSED CONCRETE SURFACES	NATURAL	HORIZONTAL SCORE LINE REVEALS BENJAMIN MOORE LIGHT GREY: 2124-40	BY CONTRACTOR
13	SCREENING	PARTITION	TBD	BY CONTRACTOR



REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY
5.0	2024-11-27	RE-ISSUED TO CITY OF SURREY FOR DP	JKA				
4.0	2024-09-05	RE-ISSUED TO CITY OF SURREY FOR DP	SD				
3.0	2024-04-18	RE-ISSUED TO CITY OF SURREY FOR DP	SD				
2.0	2023-10-18	RE-ISSUED TO CITY OF SURREY FOR DP	SD				
1.0	2023-02-08	ISSUED TO CITY OF SURREY FOR DP	SD				

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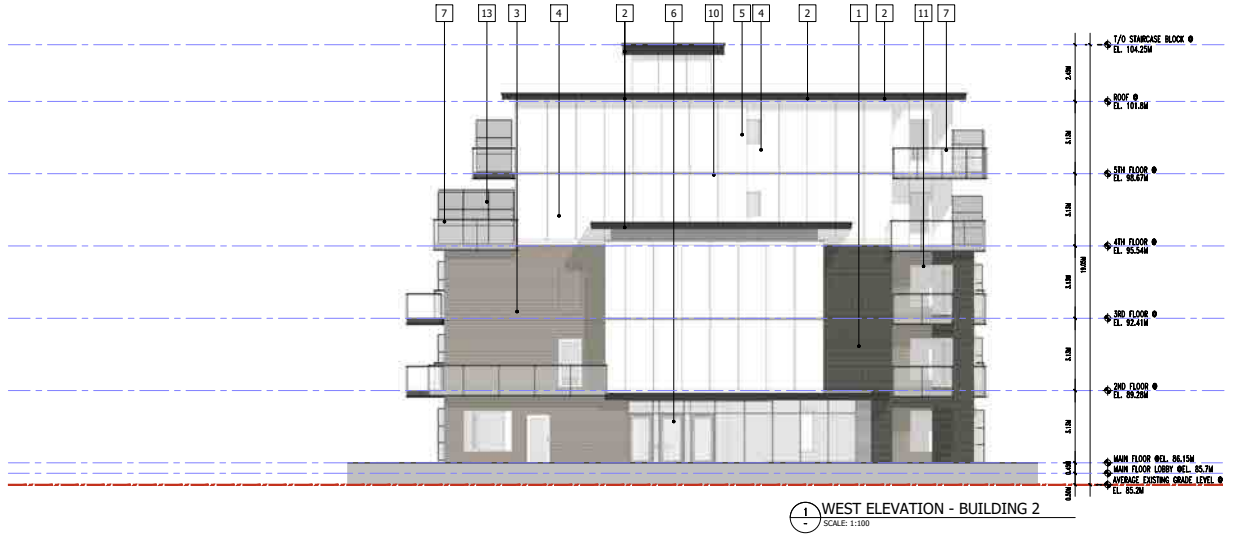
JMA Architecture
 DESIGNING THE WORLD AS IT SHOULD BE
 Multiple Joe M. Martin
 Architect
 1 UNIT 107 18008 84th Street
 Surrey, BC V3W 2E7
 Tel: 604.273.8177
 Fax: 604.273.8178
 www.jma-arch.com

Architects Seal & Signature

 Project Name: **100 WATLINS VENTURES**
 12901 & 12975 106 AVENUE
 Surrey, BC
 Developer: Jayen Properties
 Contact: Mr. Sukhi Rai
 PROJECT No: 2022-03
 DR. JMM
 SD CH
 AS SHOWN
 PROJECT DATE: 09/2022
 PROJECT No: 2022-03
 DR. JMM
 SD CH
 AS SHOWN
BUILDING 1 ELEVATIONS
 5 2022-03
 A-202

EXTERIOR FINISH SCHEDULE

BUILDING MATERIALS	TYPE	FINISH	COLOUR	MANUF./ SUPPLIER
1 HEBRON BRICK	THIN BRICK	INTEGRAL	ONYX IRONSPOT	HEBRON DISTRIB. IXL
2 PAINTED TRIM	HARDIE PANEL	SITE PAINTED	DARK GREY	JAMES HARDIE
3 HARDIE LAP SIDING	LAP SIDING	SITE PAINTED	BENJAMIN MOORE SILVER FOX: 2108-50	JAMES HARDIE
4 HARDIE PANEL	PANEL C/W MTL REVEAL	SITE PAINTED	BENJAMIN MOORE SNOWFALL WHITE: OC-118	JAMES HARDIE
5 RESIDENTIAL WINDOWS	VINYL	INTEGRAL	WHITE	TBD
6 LOBBY & STAIR WINDOWS	ALUMINUM WINDOW	INTEGRAL	WHITE	TBD
7 BALCONY GUARDRAILS	CLEAR GLASS ALUM. FRAME	INTEGRAL	WHITE	TBD
8 PATIO DOORS	VINYL	SITE PAINTED	WHITE	TBD
9 SOFFITS	FIBRE CEMENT WITH VENT STRIPS	INTEGRAL	WOODTONE	TBD
10 FLASHINGS	ALUMINUM	INTEGRAL	TO MATCH COLOUR OF ADJOINING SURFACES	TBD
11 RESIDENTIAL WINDOW TRIMS	HARDIE TRIM	SITE PAINTED	WHITE	JAMES HARDIE
12 EXPOSED CONCRETE SURFACES	NATURAL	HORIZONTAL SCORE LINE REVEALS	BENJAMIN MOORE LIGHT GREY: 2124-40	BY CONTRACTOR
13 SCREENING	PARTITION	TBD	TBD	BY CONTRACTOR



1 WEST ELEVATION - BUILDING 2
SCALE: 1:100



2 NORTH ELEVATION - BUILDING 2
SCALE: 1:100



REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY
5.0	2024-11-27	RE-ISSUED TO CITY OF SURREY FOR DP	JKA	4.0	2024-09-05	RE-ISSUED TO CITY OF SURREY FOR DP	SD
4.0	2024-09-05	RE-ISSUED TO CITY OF SURREY FOR DP	SD	3.0	2024-04-19	RE-ISSUED TO CITY OF SURREY FOR DP	SD
3.0	2024-04-19	RE-ISSUED TO CITY OF SURREY FOR DP	SD	2.0	2023-10-18	RE-ISSUED TO CITY OF SURREY FOR DP	SD
2.0	2023-10-18	RE-ISSUED TO CITY OF SURREY FOR DP	SD	1.0	2023-02-09	ISSUED TO CITY OF SURREY FOR DP	SD

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Architect: Joe M. Martin
1817 153th Ave
Surrey, BC V3R 4K7
Tel: 604.593.3147
www.jma-arch.com

Architects Seal & Signature
Project Name: **100 WATLINS VENTURES**
12951 & 12975 106 AVENUE
Surrey, BC
Developer: Jayen Properties
Surrey, BC
Contract: Mr. Sukhi Rai
Project No: **5**
Date: **2022-03**
Scale: **A-203**
Start Date: 08/2022
Project No: 2022-03
DR: JMA
AS SHOWN: JMA

EXTERIOR FINISH SCHEDULE

BUILDING MATERIALS	TYPE	FINISH	COLOUR	MANUF./ SUPPLIER
1 HEBRON BRICK	THIN BRICK	INTEGRAL	ONYX IRONSPOT	HEBRON DISTRIB. IXL
2 PAINTED TRIM	HARDIE PANEL	SITE PAINTED	DARK GREY	JAMES HARDIE
3 HARDIE LAP SIDING	LAP SIDING	SITE PAINTED	BENJAMIN MOORE SILVER FOX: 2108-50	JAMES HARDIE
4 HARDIE PANEL	PANEL C/W MTL REVEAL	SITE PAINTED	BENJAMIN MOORE SNOWFALL WHITE: OC-118	JAMES HARDIE
5 RESIDENTIAL WINDOWS	VINYL	INTEGRAL	WHITE	TBD
6 LOBBY & STAIR WINDOWS	ALUMINUM WINDOW	INTEGRAL	WHITE	TBD
7 BALCONY GUARDRAILS	CLEAR GLASS ALUM. FRAME	INTEGRAL	WHITE	TBD
8 PATIO DOORS	VINYL	SITE PAINTED	WHITE	TBD
9 SOFFITS	FIBRE CEMENT WITH VENT STRIPS	INTEGRAL	WOODTONE	TBD
10 FLASHINGS	ALUMINUM	INTEGRAL	TO MATCH COLOUR OF ADJOINING SURFACES	TBD
11 RESIDENTIAL WINDOW TRIMS	HARDIE TRIM	SITE PAINTED	WHITE	JAMES HARDIE
12 EXPOSED CONCRETE SURFACES	NATURAL	HORIZONTAL SCORE REVEALS	BENJAMIN MOORE LIGHT GREY: 2124-40	BY CONTRACTOR
13 SCREENING	PARTITION	TBD	TBD	BY CONTRACTOR



1 EAST ELEVATION - BUILDING 2
SCALE: 1:100



2 SOUTH ELEVATION - BUILDING 2
SCALE: 1:100



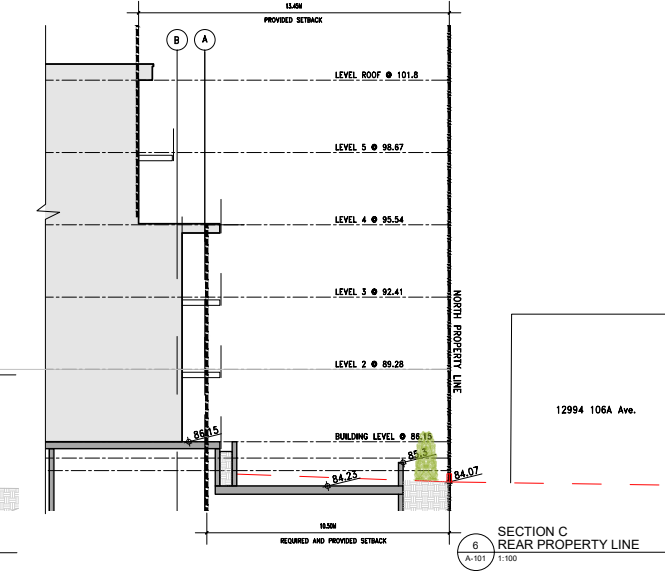
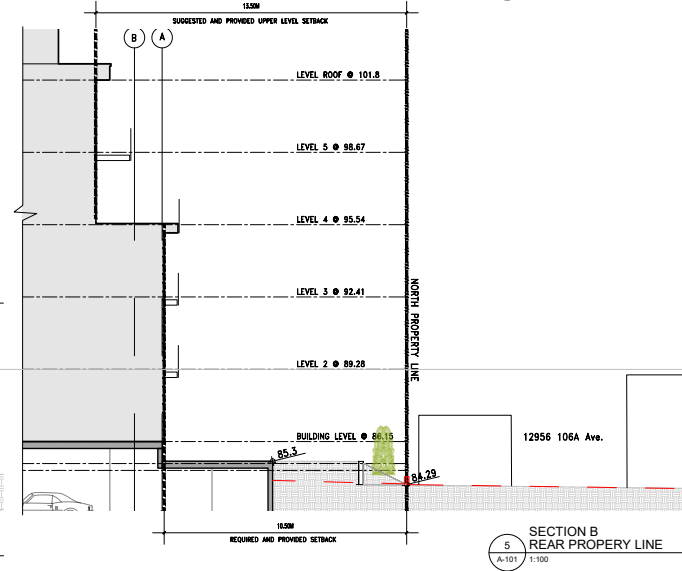
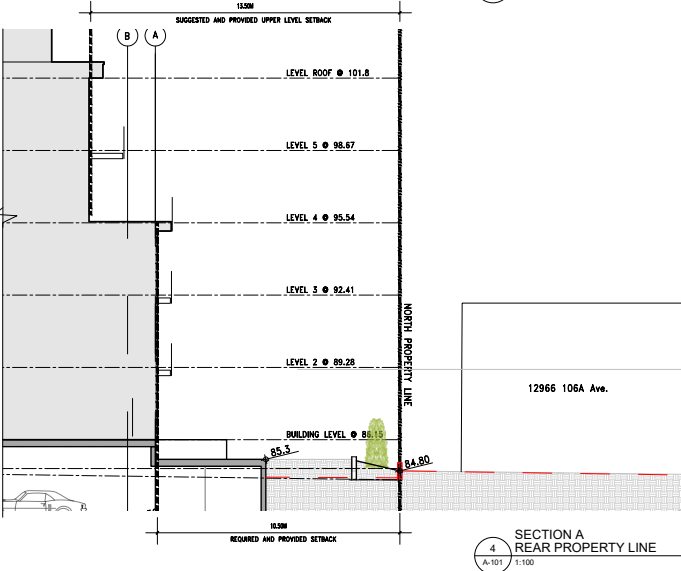
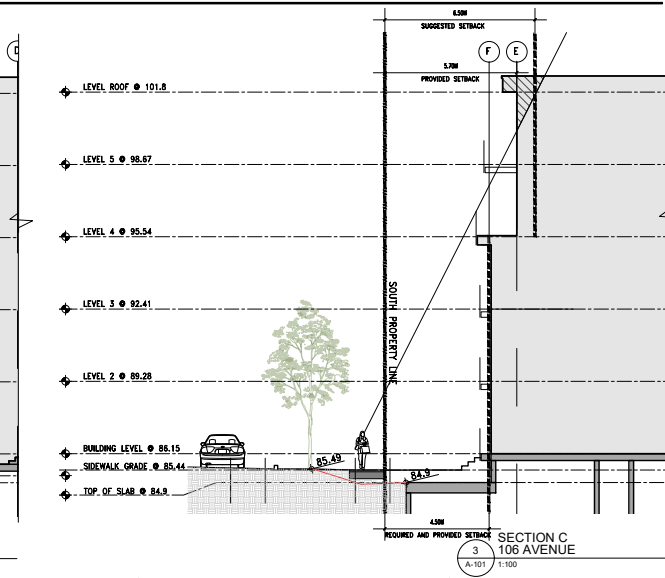
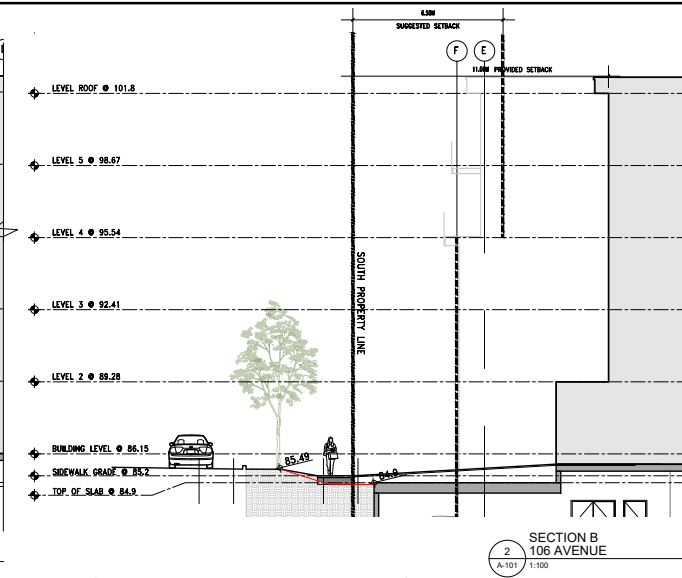
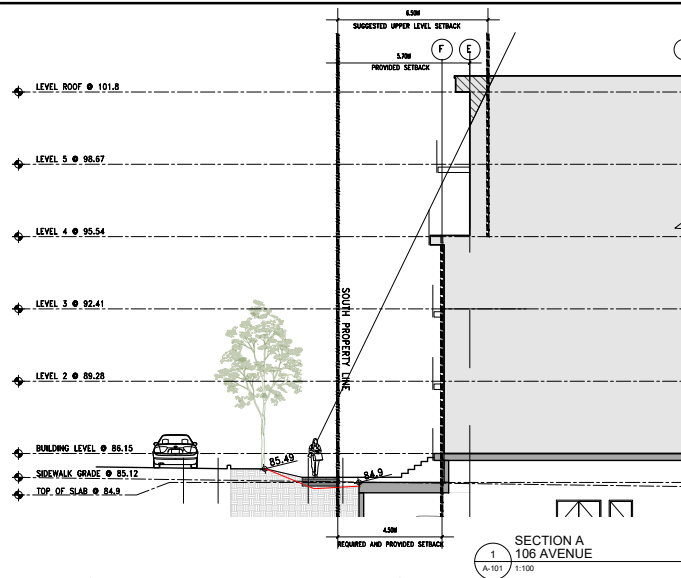
REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY
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				3.0	2024-04-19	RE-ISSUED TO CITY OF SURREY FOR DP	SD
				2.0	2023-10-18	RE-ISSUED TO CITY OF SURREY FOR DP	SD
				1.0	2023-02-09	ISSUED TO CITY OF SURREY FOR DP	SD

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JMA Architecture
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Architect: Joe M. Martin
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Tel: 604.593.3147
www.jma-arch.com

Architects Seal & Signature
Project Name: **100 IWANTEN VENTURES**
1291 & 12975 106 AVENUE
Surrey, BC
Developer: Jayen Properties
Surrey, BC
Contractor: Mr. Sukhi Rai
START DATE: 08/2022
PROJECT NO.: 2022-03
DR: JMM
CH: JMM
AS SHOWN
BUILDING 2 ELEVATIONS
Project No.: 4.0
2022-03
A-204

DO NOT SCALE DRAWING



REV	DATE	DESCRIPTION	BY
2.0	2024-11-27	RE-ISSUED TO CITY OF SURREY FOR DP	JKA
1.0	2024-09-05	RE-ISSUED TO CITY OF SURREY FOR DP	SD

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Principal: Joe M. Martin
 1017 12958 84A Avenue
 Surrey, BC V3V 2K7
 604-273-3177

Architects Seal & Signature

Project Name
106 TWANTEN VENTURES
 12951 & 12975 106 AVENUE
 Surrey, BC

Developer: Jayen Properties
 Contact: Mr. Sukhi Rai

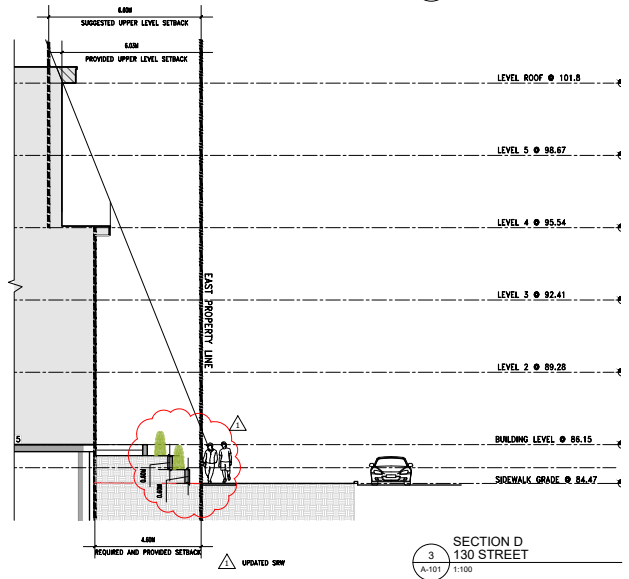
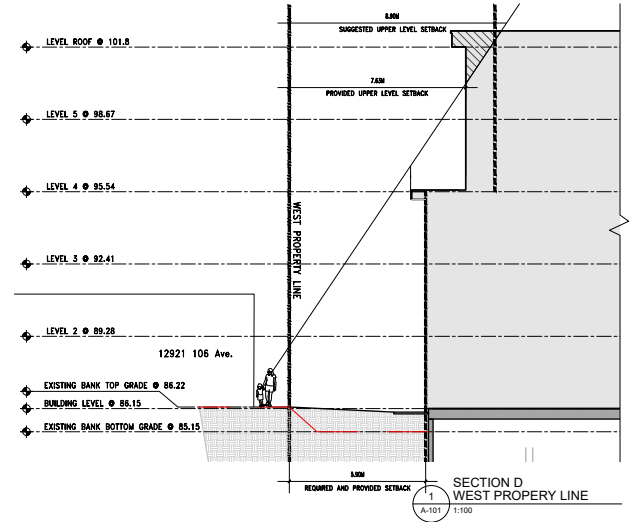
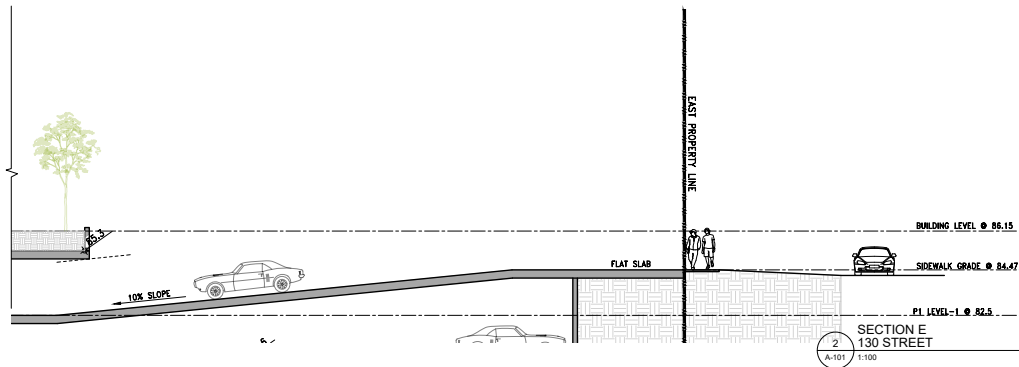
START DATE: 08/2022
 PROJECT NO.: 2022-03

REVISIONS

NO.	DATE	DESCRIPTION
2	2022-03	AS SHOWN

DO NOT SCALE DRAWING

GRADING SECTIONS
 Project No. 2022-03
 A-300



REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY
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1.0	2024-09-05	RE-ISSUED TO CITY OF SURREY FOR DP	SD				

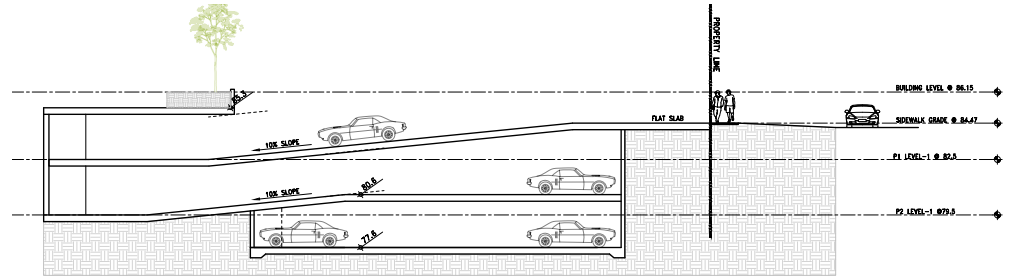
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 Principal: Joe M. Martin
 1017 125th Ave
 Surrey, BC V3V 2K7
 Tel: 604.273.3177
 Fax: 604.273.3178
 Email: info@jma-arch.com

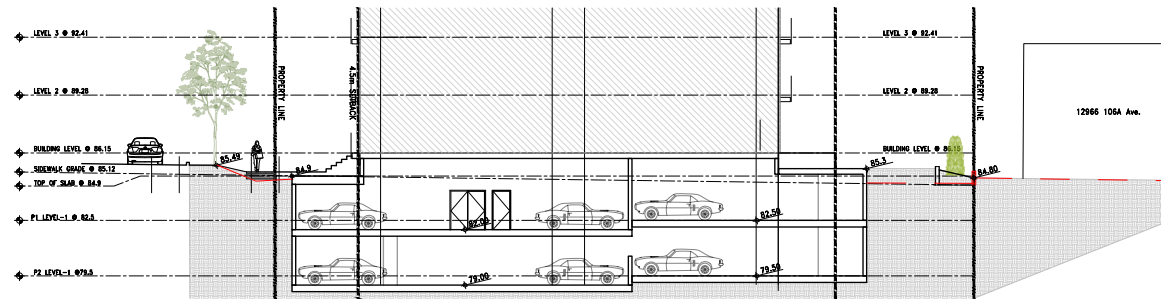
Architects Seal & Signature

Project Name
100 IWANTEN VENTURES
 12951 & 12975 106 AVENUE
 Surrey, BC
 Developer: Jayen Properties
 Surrey, BC
 Contact: Mr. Sukhi Rai

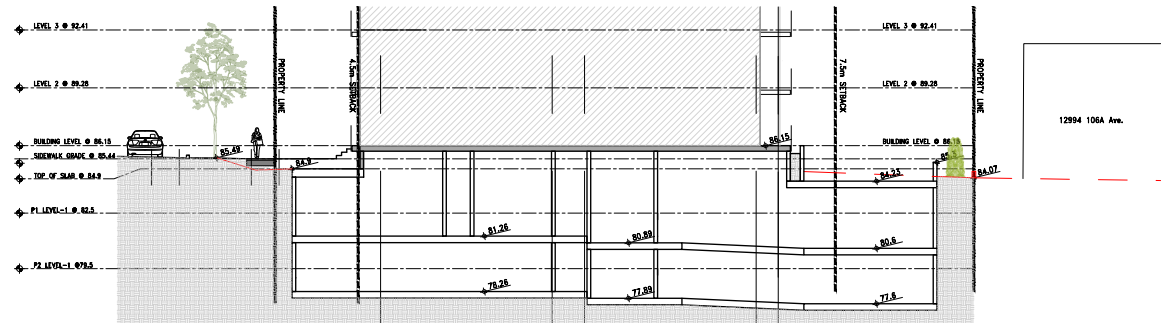
START DATE: 08/2022
 PROJECT No.: 2022-03
 DR: SD CH: JMA
 BY: SD CH: JMA
 AS SHOWN: AS SHOWN
DO NOT SCALE DRAWING
 SCALE: SCALE
GRADING SECTIONS
 Project No.: 2.0
 Date: 2022-03
 Section: A-301



1 SECTION E
A-101 1:125



2 SECTION A
A-101 1:125



3 SECTION C
A-101 1:125

CIVIC ADDRESS - 12975 & 12951 106 Avenue Surrey BC
LEGAL DESCRIPTION
LOT A SECTION 21 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER
DISTRICT PLAN 18445
PID 010-574-553 PLAN 1-18445
PARCEL IDENTIFIER: 010-574-553



REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY
				1.0	2024-09-05	RE-ISSUED TO CITY OF SURREY FOR DP	SD

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Principal: Joe M. Martin
Architects Seal & Signature

Architects Seal & Signature

Project Name: **100 IWANTEN VENTURES**
12951 & 12975 106 AVENUE
SURREY, BC

Developer: Jayen Properties
Surrey, BC
Contact: Mr. Sukhi Rai

Project No: **1.0** 2022-03
Project No: **AS SHOWN**

START DATE: 08/2022
PROJECT NO: 2022-03
SCALE: DO NOT SCALE DRAWING



1 VIEW FROM SW CORNER



2 VIEW OF THE LOBBY FROM 106 AVE



3 VIEW FROM THE SE CORNER



4 VIEW FROM NE CORNER



REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY
5.0	2024-11-27	RE-ISSUED TO CITY OF SURREY FOR DP	JKA				
4.0	2024-09-05	RE-ISSUED TO CITY OF SURREY FOR DP	SD				
3.0	2024-04-18	RE-ISSUED TO CITY OF SURREY FOR DP	SD				
2.0	2023-10-18	RE-ISSUED TO CITY OF SURREY FOR DP	SD				
1.0	2023-02-09	ISSUED TO CITY OF SURREY FOR DP	SD				

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 Michael Joe M. Mason
 ARCHITECT
 107 150th Ave, Surrey
 BC V3R 4G1
 604.592.8277
 www.jmarchitect.com

Architect Seal & Signature

 Project Name
106 KWANTLEN VENTURES
 12951 & 12975 106 AVENUE
 Surrey, BC
 Developer: Jayen Properties
 Surrey, BC
 Contact: Mr. Sukhi Rai

START DATE: 08/2022
 PROJECT No.: 2022-03
 DR: JMM
 SD: CH
 AS SHOWN
 PERSPECTIVE VIEWS
 Project No.: 5
 2022-03
 A-900

DO NOT SCALE DRAWING



1 B1 PERSPECTIVE VIEW



2 B2 PERSPECTIVE VIEW



3 LOBBY VIEW



REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY
				5.0	2024-11-27	RE-ISSUED TO CITY OF SURREY FOR DP	JWA
				4.0	2024-08-05	RE-ISSUED TO CITY OF SURREY FOR DP	SD
				3.0	2024-04-19	RE-ISSUED TO CITY OF SURREY FOR DP	SD
				2.0	2023-10-18	RE-ISSUED TO CITY OF SURREY FOR DP	SD
				1.0	2023-02-09	ISSUED TO CITY OF SURREY FOR DP	SD

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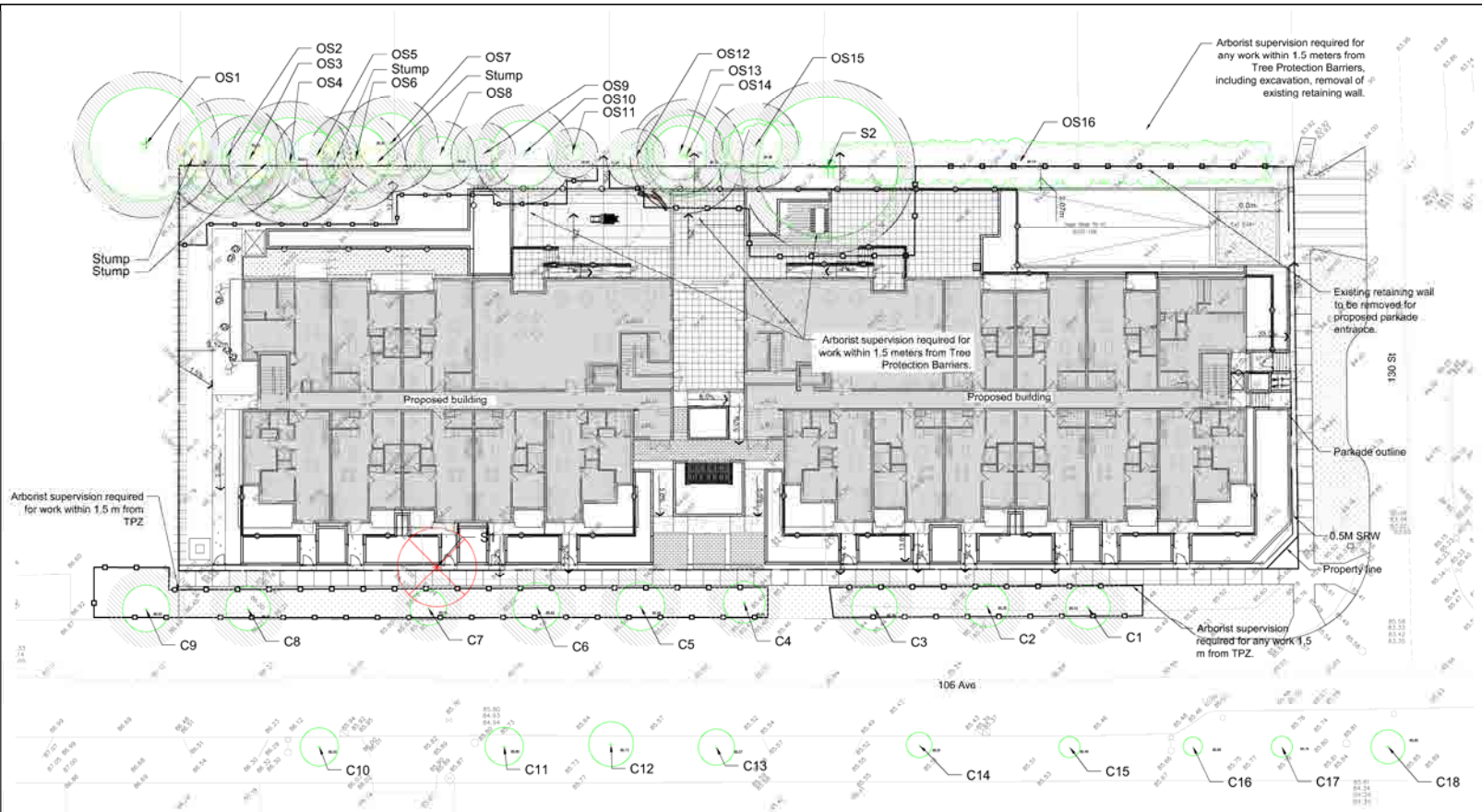
JMA Architecture
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 Principal: Joe M. Moore
 1517 1525 844 Avenue
 Surrey, BC V4A 2G7
 Tel: 604.591.2121
 www.jmaarchitecture.com

Architects Seal & Signature

 START DATE: 08/2022
 PROJECT No.: 2022-03
 DR: JMM
 SD: CH
 AS SHOWN: JMM

Project Name
100 KWANTLEN VENTURES
 12911 & 12975 106 AVENUE
 Surrey, BC
 Developer: Jayen Properties
 Surrey, BC
 Contact: Mr. Sukhi Rai
PERSPECTIVE VIEWS
 Project No.: 5
 2022-03
A-901

DO NOT SCALE DRAWING



REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date
5	YY	Update for A/E	2024-09-16
4	YY	Update for AR	2022-12-13
3	YY	Update for AR	2022-12-08
2	YY	Issued for Arborist report	2022-10-24
1	YY	Issued for Arborist report	2022-05-19

REVISIONS TABLE FOR SHEET

No.	By	Description	Date
1	YY	Issue for A/E	2024-09-16

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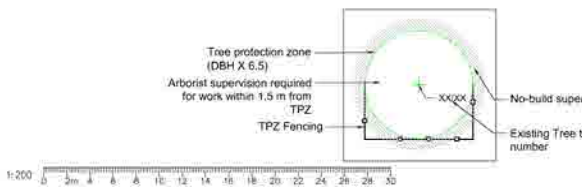
Location:
12951 106 Avenue
Surrey, B.C.

Drawn: YY	Stamp
Checked: DGR	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: 1:200	CHECKED FOR PERMITS: CHECK ALL PERMITS ON THE WORK REPORT. PERMITS MUST BE OBTAINED BY THE CONTRACTOR. ALL PERMITS MUST BE OBTAINED BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. CONTACT YOUR LOCAL MUNICIPALITY FOR PERMIT INFORMATION.

LEGEND

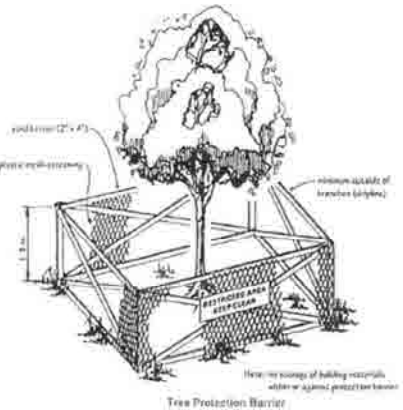
Existing tree to be retained	Existing Tree to be Removed	Existing Dead Tree to be Removed	Undersize tree or Stump	Tree Protection Fencing

Tree Tag Legend
 XX - Tag number
 C-XX - Mistlecote tree
 OS-XX - Off site tree
 S-XX - Straddling tree. Written permission required from owner to remove trees.
 XX-NY - No Tag #
 WRC = Western Red Cedar
 BLM = Big Leaf Maple
 RA = Red Alder



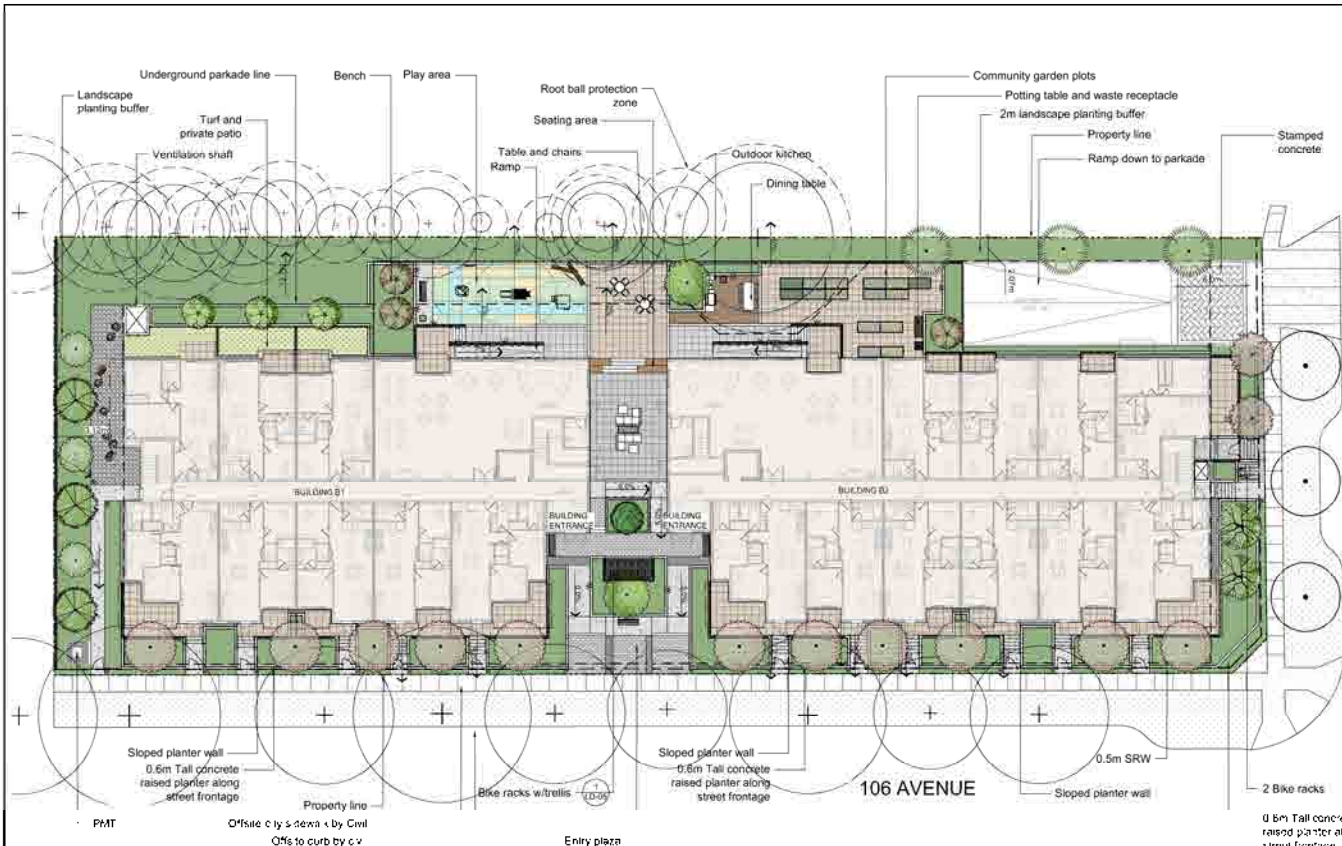
Tree Protection Distance Table

Trunk Diameter (cm)	Minimum Protection Radius (distance from trunk in metres)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5.4
100	6.0



- Note:**
1. Contact VDZ+A Project Arborist for inspection 72 hrs prior to any grading or excavation within the tree protection zone. (typ) If during excavation it is found that it cannot be completed without severing roots that are critical to the trees health or stability it may be necessary to remove additional trees.
 2. Read this plan together with the arborist report prepared by VDZ+A.
 3. An additional 1m setback is shown for all hand-plotted trees to be retained.
 4. If Stump Grinding is to occur in close proximity to trees which are to be retained then it is requested stumps to be removed under Arborist supervision.
 5. It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:
 - *Locating TPZ Fencing
 - *Locating Work Zone and Machine access corridors where required
 - *Reviewing the Report with the project foreman or site supervisor.

PROJECT/CONTRACT INFORMATION: PROJECT NO. 12951 106 AVENUE, DEVELOPMENT OF TREE MANAGEMENT PLAN 2024



LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
[Symbol]	1 LD-02	CONCRETE PAVING
[Symbol]		CONCRETE SIDEWALK
[Symbol]	3 LD-02	HYDRAPRESSED SLAB Size: 150mm x 150mm x 25mm Pattern: Stone Bond Color: Black / Charcoal Manufacturer: [Symbol] Green
[Symbol]	4 LD-04	PIP RUBBER
[Symbol]		GRANULAR PAVING
[Symbol]	5 LD-02	WOOD DECKING
[Symbol]		TYPIC
[Symbol]	4.5 LD-01	GRASS PLANTING
[Symbol]		OUTDOOR KITCHEN
[Symbol]	4 LD-03	BIKE RACK
[Symbol]	1 LD-04	BENCH
[Symbol]	6 LD-03	WASTE RECEPTACLE
[Symbol]	7 LD-03	TABLE AND CHAIRS
[Symbol]		LOG
[Symbol]		MOVABLE PLANTER
[Symbol]		PLANTING POT
[Symbol]		PLANTING STATUE
[Symbol]		DINING SET
[Symbol]		POTTING TABLE AND WASTE RECEPTACLE
[Symbol]		COMMUNITY PLANTER
[Symbol]		SHOULDER

No.	Revised	Description	Date
6	PC	Re-issued for DP	Sep 03, 2024
5	PC	Issued for DP	Oct 11, 2023
4	AE	Issued for DP	Feb 14, 2023
3	AD	Issued for DP	Dec 12, 2022
2	AE	Issued for DP	Oct 21, 2022

No.	Revised	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
106 Avenue Housing

Location:
1251 106 Avenue
Surrey, B.C.

Drawn:
LD

Checked:
PC

Approved:
MYD2

Scale:
1:200

Stamp:
Original Sheet Size:
24"x36"

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PLANT SCHEDULE

TREE	BOTANICAL / COMMON NAME	CONTR.	CAL.	SIZE	QTY
[Symbol]	Acer palmatum 'Serpice' / Serpice Japanese Maple	850	8.0m cal.	8	
[Symbol]	Chamaecyparis nootkatensis 'Pendula' / Weeping Nothof Cypress	850	3.0m cal.	2	
[Symbol]	Liquidambar styraciflua 'Elmer's Sentry' / Sweet Gum	840	60cm	3	
[Symbol]	Magnolia stellata 'Royal Star' / Royal Star Magnolia	850	60cm	3	
[Symbol]	Nyssa sylvatica 'Tupelo Tower' / Tupelo Tower Blackgum	840	60cm	11	
[Symbol]	Parrotia persica 'Inge's Ruby Vase' / TM Ruby Vase Persian Parrotia	840	60cm	2	
[Symbol]	Pinus purgosa 'Fall Abert' / Fall Abert Colorado Spruce	840	3.0m cal.	3	
[Symbol]	Pinus nigra / Austrian Pine	840	3.0m cal.	3	
[Symbol]	Quercus laevis 'Green Pillar' / Green Pillar Oak	840	60cm	2	
[Symbol]	Stewartia pseudocornuta / Japanese Stewartia	840	60cm	2	
STREET TREE	BOTANICAL / COMMON NAME	CONTR.	CAL.	SIZE	QTY
[Symbol]	Street Tree	840	60m cal.	0	

FENCING AND WALL LEGEND

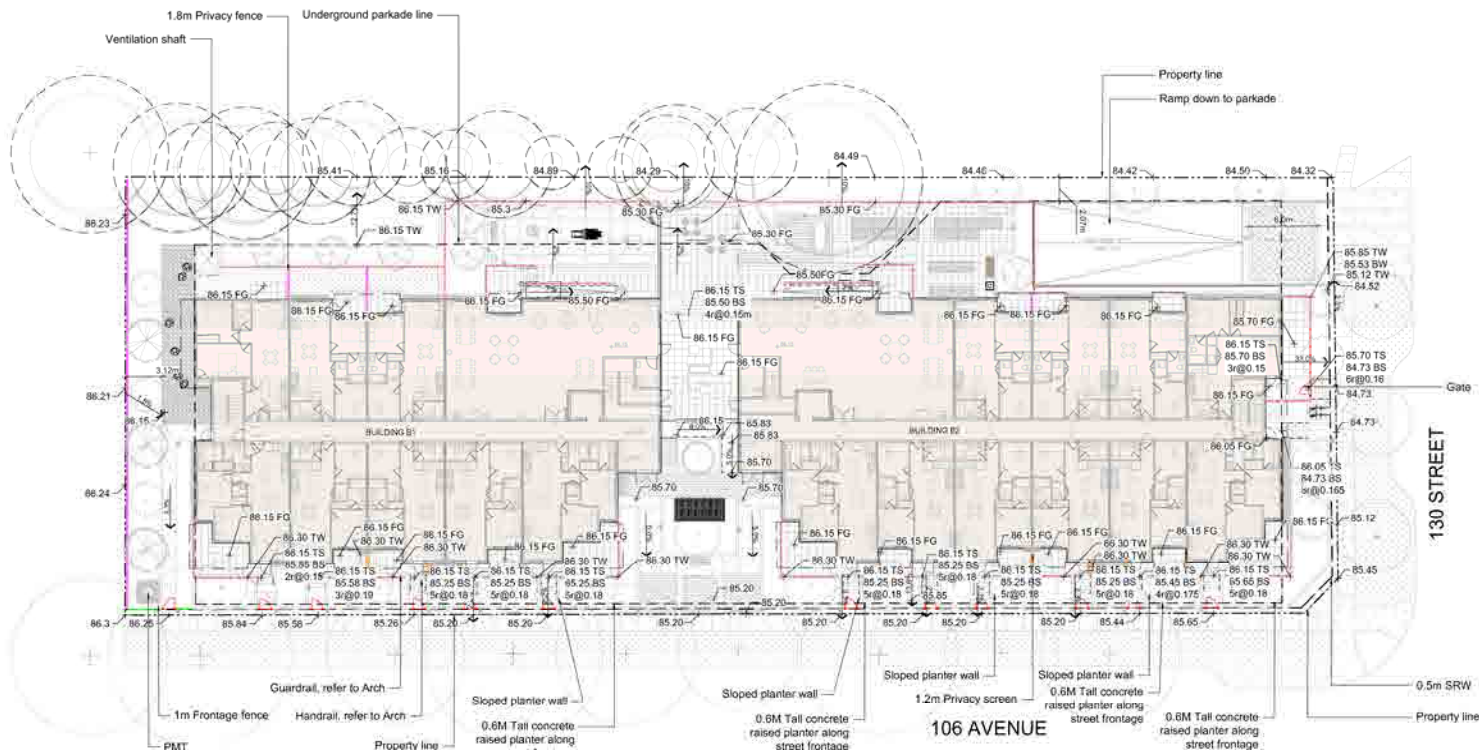
KEY	REF.	DESCRIPTION
[Symbol]	1 LD-03	1M TALL FRONTAGE FENCE Max. 1m high with 100mm clear PVC post-and-rail system
[Symbol]	3 LD-03	1.5M TALL PRIVACY SCREEN
[Symbol]	2 LD-03	1.8M PRIVACY FENCE
[Symbol]		GATE
[Symbol]		GUARDRAIL & TROWERS By Architecture

LIGHTING LEGEND

KEY	REF.	DESCRIPTION
[Symbol]	2 LD-04	BOLLARD LIGHT
[Symbol]	3 LD-04	WALL LIGHT

Note:
Lighting Fixture selection to be coordinated with Electrical.





FENCING AND WALL LEGEND

KEY	REF.	DESCRIPTION
	1 LD-03	1M TALL FRONTAGE FENCE Max. 1m high with fencing unless B/CB panelist height required.
	3 LD-03	1.2M TALL PRIVACY SCREEN
	2 LD-03	1.8M PRIVACY FENCE
		GATE
		GUARDRAIL & HANDRAIL By Architecture.

No.	By	Description	Date
1	PC	Issued by DP	May 09, 2024
2	PC	Issued by DP	Oct 11, 2023
3	AE	Issued by DP	Feb 14, 2023
4	AE	Issued by DP	Dec 12, 2022
5	AE	Issued by DP	Oct 21, 2022

No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
 106 Avenue Housing
 Location:
 12851 106 Avenue
 Surrey, B.C.

Drawn: LD NH	Stamp:
Checked: PC	
Approved: MVB2	Original Sheet Size: 24"x36"
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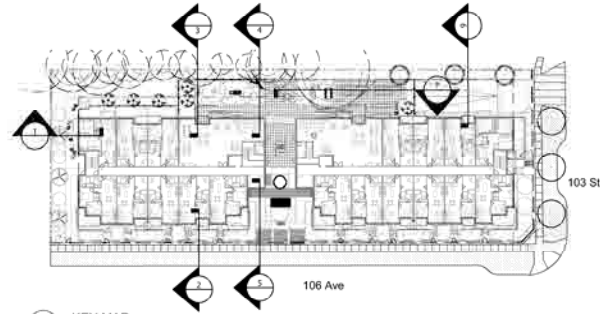
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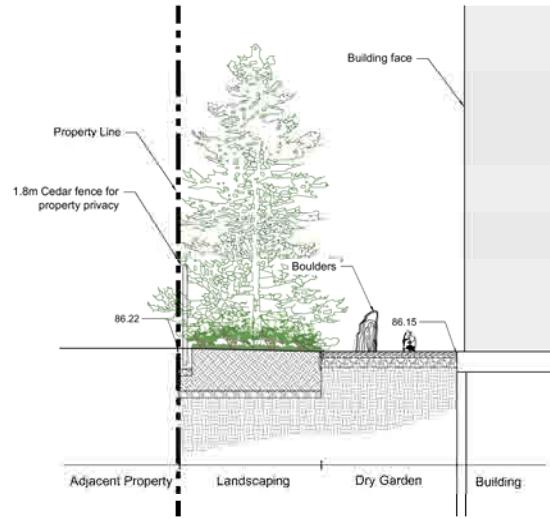
VDZ Project #: DP2022-30

Drawing #: L-02B

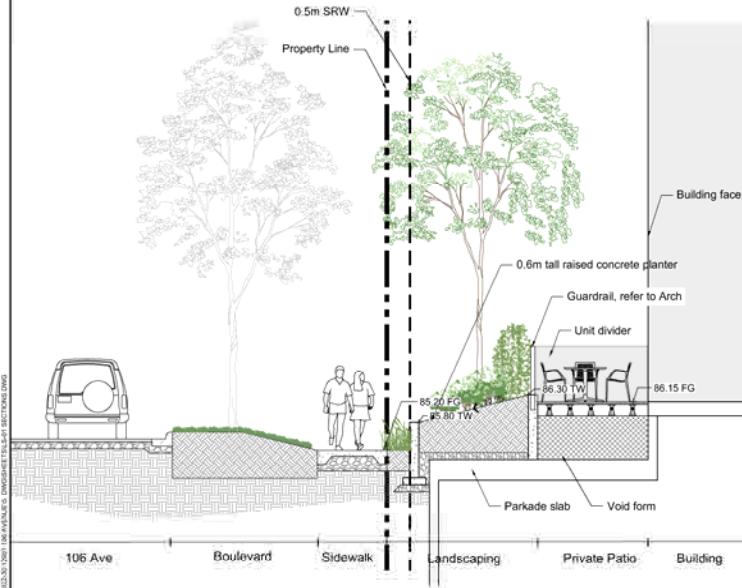
7 PROJECTS/TECHNICAL DRAWING/ARCHITECTURE/GRADING AND FENCING PLAN/VDZ



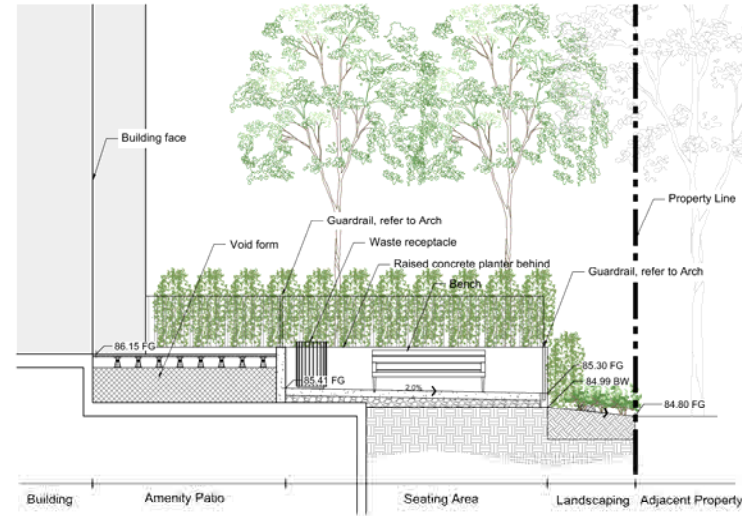
0 KEY MAP
Scale 1:500



1 SECTION - SECTION THROUGH WEST PROPERTY LINE
Scale 1:50



2 SECTION - SECTION THROUGH SOUTH PATIO
Scale 1:50



3 SECTION - SECTION THROUGH NORTH PATIO AND AMENITY
Scale 1:50

No.	By	Description	Date
6	PC	Re-issued for DP	Sep 03, 2024
5	PC	Issued for DP	Oct 11, 2023
4	AD	Issued for DP	Feb 14, 2023
3	AD	Issued for DP	Dec 12, 2022
2	AD	Issued for DP	Oct 21, 2022
1	AD	Issued for DRG Review	May 25, 2022

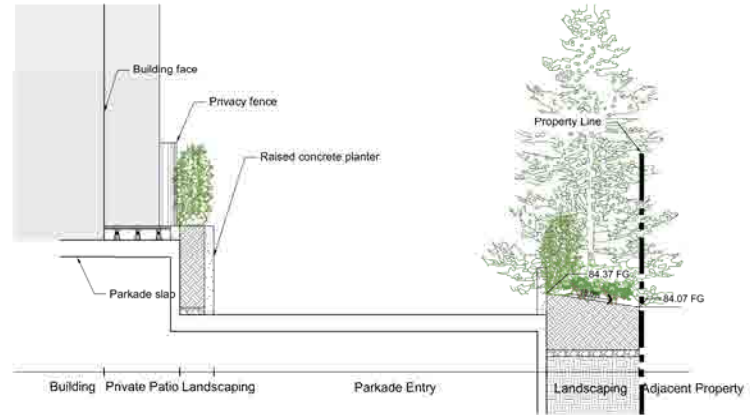
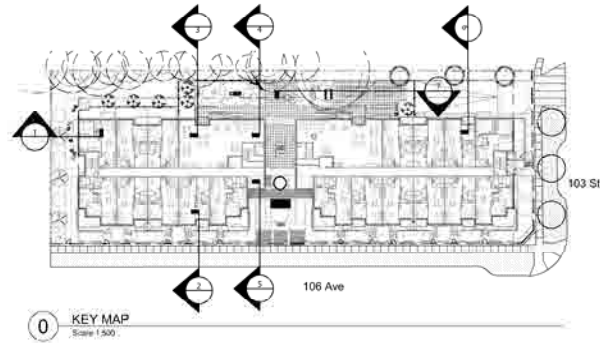
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No.	By	Description	Date

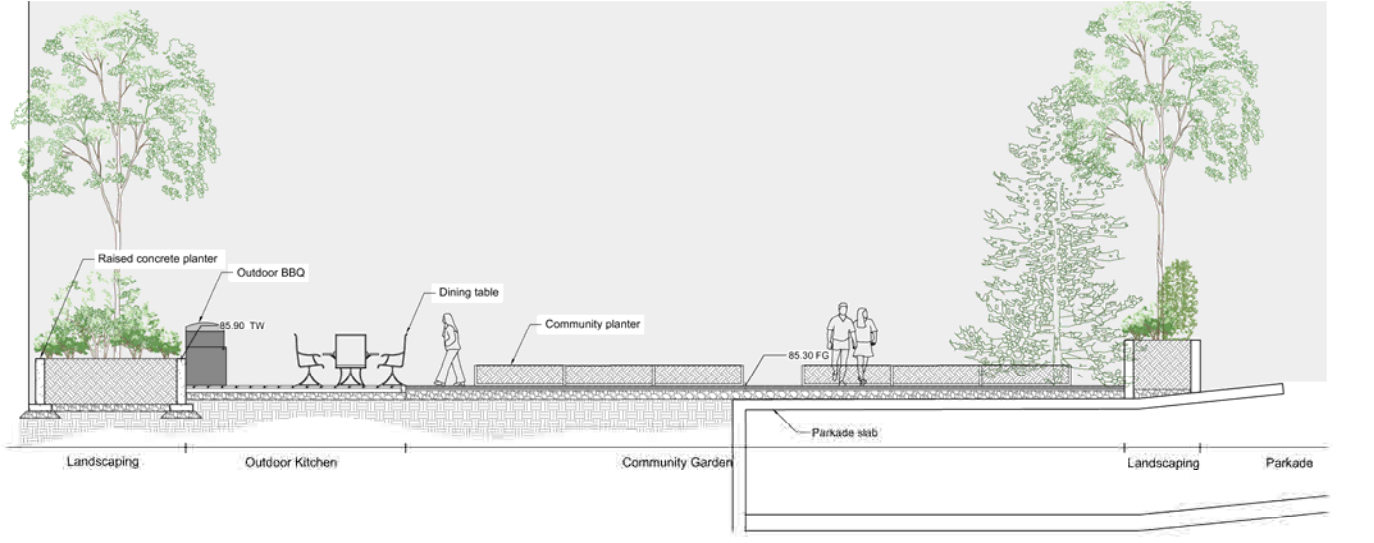
REVISIONS TABLE FOR SHEET
 Project:
 106 Avenue Housing
 Location:
 12951 106 Avenue
 Surrey, B.C.

Drawn: AH LD	Stamp:
Checked: PC	
Approved: MVBZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS AND VERIFY ALL WORK IS ACCORDING TO THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.





6 SECTION - SECTION THROUGH NORTHEAST PATIO



7 SECTION - SECTION THROUGH COMMUNITY GARDEN
Scale 1:50

No.	By	Description	Date
6	PC	Re-issued for DP	Sep 03, 2024
5	PC	Issued for DP	Oct 11, 2023
4	AD	Issued for DP	Feb 14, 2023
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1	AD	Issued for DRG Review	May 25, 2022

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Surrey, B.C.

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Drawing Title:
SECTIONS



VDZ Project #:
DP2022-30

Drawing #:
LS-03

INTER-OFFICE MEMO

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Manager, Development Services, Engineering Department**

DATE: **November 12, 2024**

PROJECT FILE: **7823-0117-00**

RE: **Engineering Requirements**
Location: 12975 106 Ave

REZONE

Property and Right-of-Way Requirements

- Dedicate 3.0-metre x 3.0-metre corner cut at 130 Street; and
- Register 0.5 m statutory right-of-ways (SRW) along 106 Avenue and 130 Street frontages.

Works and Services

- Construct the north side of 106 Avenue;
- Construct the west side of 130 Street
- Construct an adequately-sized service connections for water, drainage, and sanitary, complete with inspection chambers/water meter, to the lot;
- Construct/Upgrade required fronting mains along 106 Avenue and 130 Street to service the site; and
- Construct necessary downstream upgrades on any local storm sewers with insufficient capacity as determined through detailed design.

A Servicing Agreement is required prior to Rezone.

DEVELOPMENT PERMIT / OCP AMENDMENT

There are no engineering requirements relative to issuance of the Development Permit / OCP Amendment.



Jeff Pang, P.Eng.
Manager, Development Services

M51

Department: **Planning and Demographics**
Date: **November 18, 2024**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **23-0177**

The proposed development of **106** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	17
---	----

Projected Number of Students From This Development In:	
Elementary School =	10
Secondary School =	4
Total Students =	14

Current Enrolment and Capacities:	
K B Woodward Elementary	
Enrolment	764
Operating Capacity	682
# of Portables	7
Kwantlen Park Secondary	
Enrolment	1675
Operating Capacity	1200
# of Portables	15

Summary of Impact and Commentary

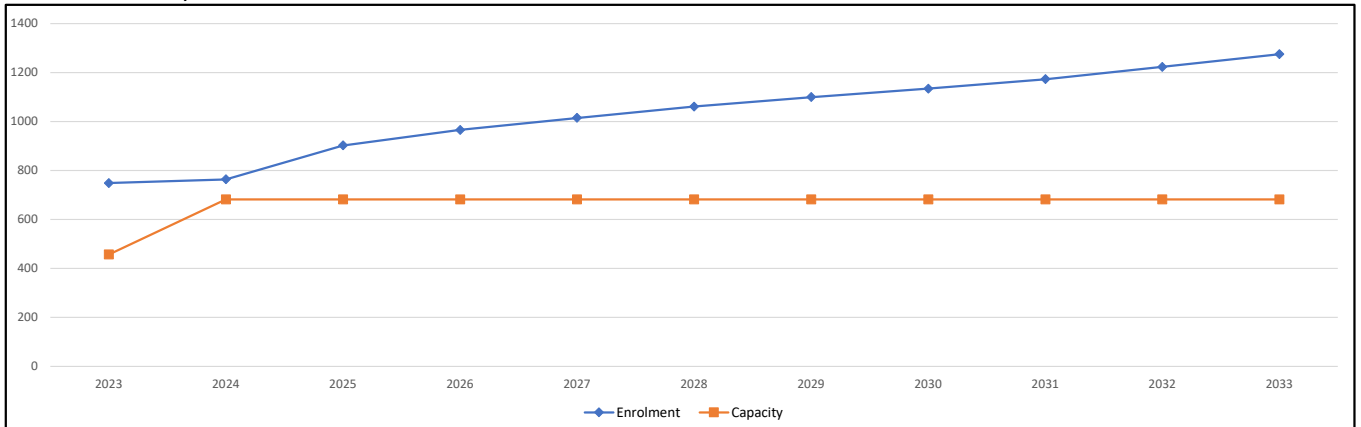
The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

As of September 2024, KB Woodward is operating at 110% capacity. The 10 year enrolment projections indicate that the school will grow rapidly as City Centre continues to transform into the new business/commercial/residential center for Surrey. There are currently 6 portables with some room for future portables to accommodate some growth.

With the current school over capacity, and significant development coming in the area, a new elementary will open north of 108th Ave in 2025. This will provide some relief for the catchment overall, but further expansions or new schools will be required to accommodate the rapid growth in City Centre.

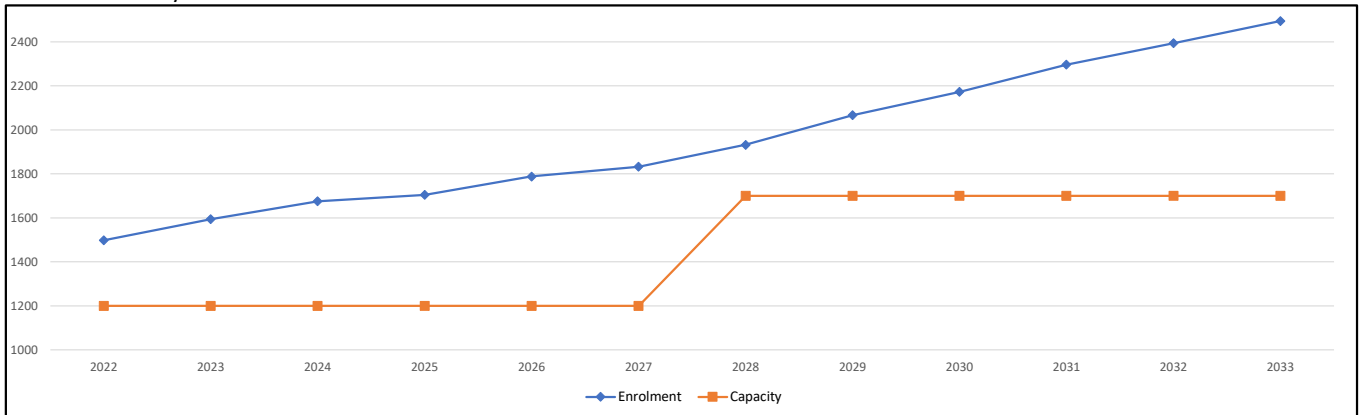
As of September 2024, Kwantlen Park Secondary is currently operating at 140% with 16 portables on site used for enrolling classes and is projected to grow significantly over the next 10 years. This school will also be impacted by timing of future high-rise development in the area. In February 2023, the District received capital funding approval from the Ministry to build a 500-capacity addition, targeted to open in the fall of 2027. However additional measures will also be required to address the future growth.

K B Woodward Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Kwantlen Park Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

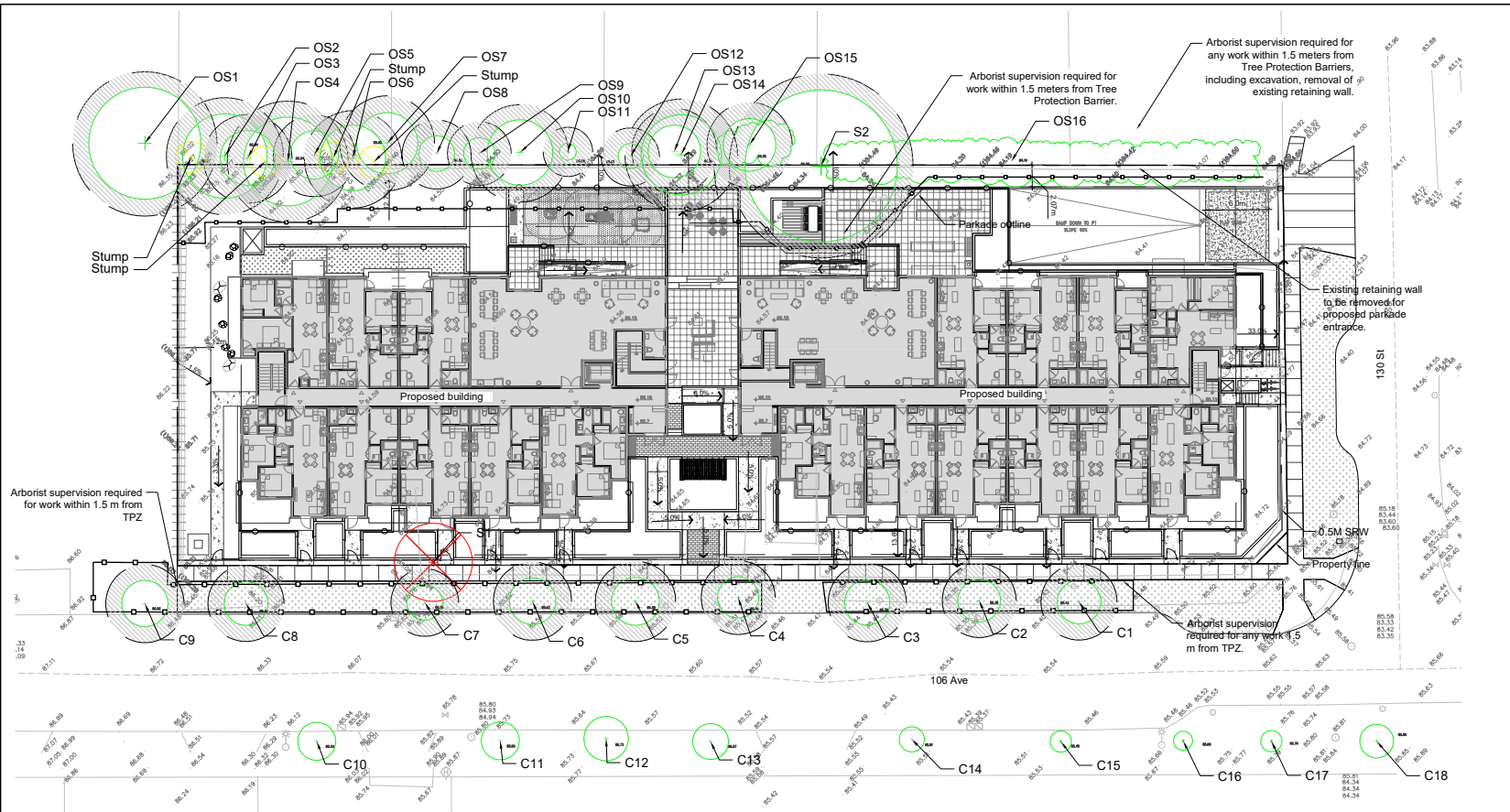
Population : The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

Table 2 : Tree Preservation Summary

Surrey Project No: TBD
Address: 12951 106 Ave, Surrey, BC
Registered Arborist: D. Glyn Romaine - ISA Certified Arborist PN-7929A

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	20
Protected Trees to be Removed	1
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	19
Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $1 \times \text{one (1)} = 1$ All other Trees Requiring 2 to 1 Replacement Ratio $0 \times \text{two (2)} = 0$	1
Replacement Trees Proposed	40
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	n/a
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio $0 \times \text{one (1)} = 0$ All other Trees Requiring 2 to 1 Replacement Ratio $0 \times \text{two (2)} = 0$	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0



No.	By	Description	Date
5	AL	Update for AR	2024-09-06
4	YY	Update for AR	2022-12-13
3	YY	Update for AR	2022-12-08
2	YY	Issued for Arborist report	2022-10-24
1	YY	Issued for Arborist report	2022-05-19

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date

Project:
12951 106 Ave

Location:
12951 106 Avenue
Surrey, B.C.

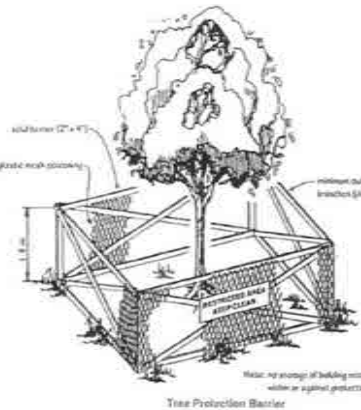
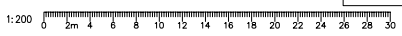
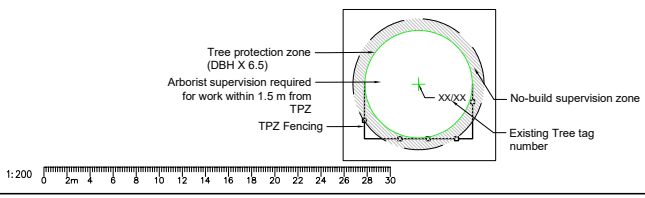
Drawn: YY	Stamp:
Checked: DGR	Original Sheet Size: 24"x36"
Approved: MVDZ	
Scale: 1:200	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE CONSULTANT AND WILL BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS SHOWN ARE FOR INFORMATION ONLY AND SHALL BE USED FOR CONSTRUCTION UNLESS LABELLED USED FOR TRADE OR CONTRACTOR.

LEGEND

Existing Tree to be Retained	Existing Tree to be Removed	Existing Dead Tree to be Removed	Undersize tree or Stump	Tree Protection Fencing

Existing grade = -72.90

Tree Tag Legend
 XX - Tag number
 C-XX - Municipality tree
 OS-XX - Off-site tree
 S-XX - Straddling tree. Written permission required from owner to remove trees.
 XX-NI - No Tag #
 WRC= Western Red Cedar
 BLM= Big Leaf Maple
 RA= Red Alder



Tree Protection Distance Table

Trunk Diameter (cm)	Minimum Protection Req'd (Distance from Stake in meters)
20	1.2
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Note:

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- Read this plan together with the arborist report prepared by VDZ+A.
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 - *Reviewing the Report with the project foreman or site supervisor.

Z:\PROJECTS\CLIMATE PRIORITY\ACTIVITY\2024-30 12951 106 AVENUE - CIVIC\SETBACK\TREE MANAGEMENT PLAN.DWG



107 Ave

URB

130 St

106A Ave

129 St

106 Ave

From
"Urban" to "Multiple Residential."

Old Yale Rd

