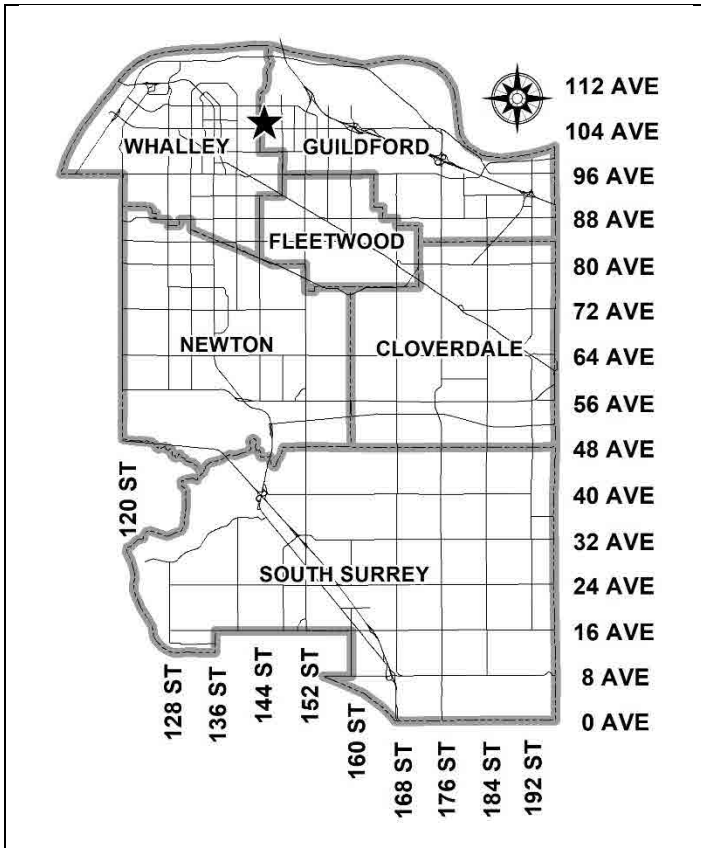


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0109-00

Planning Report Date: June 24, 2024



PROPOSAL:

- **Rezoning** from RF to CD
- **Development Permit**

to permit the development of a 6-storey residential apartment building.

LOCATION:

- 14488 105A Avenue
- 14498 105A Avenue
- 14500 105A Avenue
- 14510 105A Avenue

ZONING:

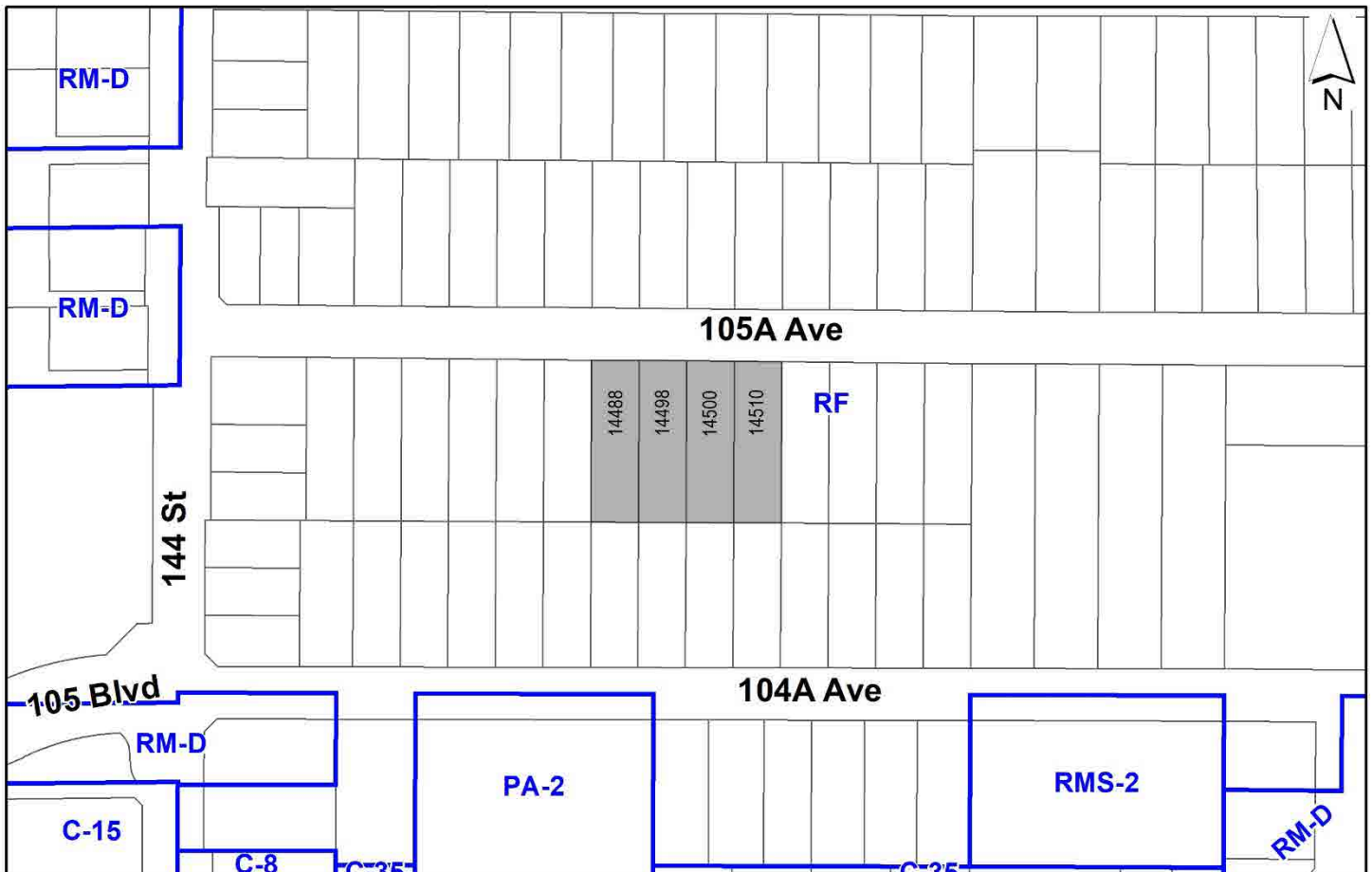
RF

OCP DESIGNATION:

Multiple Residential

TCP DESIGNATION:

Low to Mid Rise Residential



RECOMMENDATION SUMMARY

- Rezoning By-law to proceed to Public Notification. If supported the By-law will be brought forward for First, Second and Third Reading.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP).
- The proposal generally complies with the “Low to Mid Rise Residential” designation in the Guildford Plan.
- In accordance with changes to the Local Government Act, Section 464, under Bill 44 (2023) a Public Hearing is not permitted for the subject rezoning application as the proposed rezoning is consistent with the Official Community Plan (OCP). As such, Council is requested to endorse the Public Notification to proceed for the proposed Rezoning By-law. The Rezoning By-law will be presented to Council for consideration of First, Second, and Third Reading, after the required Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the By-law readings.
- The proposed density and building form are appropriate for this part of Guildford and complies with the Development Permit (Form and Character) requirements in the OCP.
- The proposed buildings will achieve an attractive architectural built form utilizing high quality materials and contemporary lines. The street interface has been designed to a high-quality to achieve a positive urban experience between the proposed buildings and the public realm.
- The proposed development is located within an Urban Centre and conforms with the goal of achieving higher density development near a transit corridor.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a By-law to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)".
2. Council authorize staff to draft Development Permit No. 7923-0109-00 generally in accordance with the attached drawings (Appendix I).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (h) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption;
 - (i) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department; and
 - (k) registration of a right-of-way for public rights-of-passage over the proposed plaza located at the northeast corner of the site.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	TCP Designation	Existing Zone
Subject Site	Single family lots	Low to Mid Rise Residential	RF
North (Across 105A Avenue):	Single family lots	Low Rise Transition Residential	RF
East (Across future 145 Street):	Single family lot	School	RF
South:	Single family lots	Low to Mid Rise Residential	RF
West:	Single family lots under Development Application No. 7923-0284-00 for a 6-storey apartment (pre-Council)	Low to Mid Rise Residential	RF

Context & Background

- The subject site is a 4,545 square metre site, consisting of 4 properties, located on the south side of 105A Avenue, east of 144 Street and located within the Guildford Plan area.
- The subject site is designated “Multiple Residential” in the Official Community Plan (OCP), “Low to Mid Rise Residential” in the Guildford Plan area and is zoned “Single Family Residential Zone (RF)”.
- The existing dwellings currently have access from 105A Avenue.

DEVELOPMENT PROPOSAL**Planning Considerations**

- In order to permit the development of a 6-storey apartment building with 141 units, the applicant is proposing the following:
 - Rezoning the site from RF to CD (based on RM-70 Zone);
 - Consolidation of the existing 4 lots into 1 residential lot; and
 - Detailed Development Permit for Form and Character.
- The proposed development will consist of 141 residential dwelling units above two levels of underground parking.
- The following table provides specific details on the proposal:

Proposed	
Lot Area	
Gross Site Area:	4,545 square metres
Road Dedication:	726 square metres
Net Site Area:	3,819 square metres
Number of Lots:	1
Building Height:	21 metres
Floor Area Ratio (FAR):	2.45 (gross) and 2.9 (net)
Floor Area	
Residential:	11,140 square metres
Commercial:	
Total:	11,140 square metres
Residential Units:	
Studio:	50
1-Bedroom:	52
2-Bedroom:	25
3-Bedroom:	14
Total:	141

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 23 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

13 Elementary students at Hjorth Road Elementary School
 6 Secondary students at Guildford Park Elementary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by mid-2027.

Parks, Recreation & Culture: Hawthorne Rotary Park is the closest active park with amenities including playgrounds, spray park, open space, trails and off-leash dog park, and is 200 metres walking distance from the development. The park also includes natural areas.

Surrey Fire Department: The Fire Department has no concerns with the proposed development application. However, there are some items which will be required to be addressed as part of the Building Permit application.

Advisory Design Panel: At the Regular Council – Land Use meeting on December 18, 2023, Council endorsed Corporate Report No. R214 (2023) which amended the Terms of Reference of the City’s Advisory Design Panel (ADP) which permits multi-family proposals that are 6-storeys or less, and supported by City staff, to proceed to Council for By-law introduction, without review and/or comment from the ADP.

The subject development proposal is generally supported by City staff and the applicant has agreed to resolve any outstanding items, to the satisfaction of the Planning and Development Department, prior to consideration of Final Adoption of the Rezoning By-law as well as issuance of the Development Permit.

Transportation Considerations

Road Network & Infrastructure

- The applicant will be providing the following improvements:
 - construction of the south side of 105A Avenue to the local road standard; and
 - dedication and construction of the future 145 Street along the east property line to the half local road standard.

Traffic Impacts

- As part of the Stage 2 Plan process, a transportation impact analysis (TIA) was conducted to evaluate the overall traffic impacts of redevelopment throughout the Plan area. This process, as opposed to a piecemeal evaluation approach, is preferred to better inform the required infrastructure improvements to support the projected overall growth within the Plan.
- According to industry standard rates, the proposal is anticipated to generate approximately one vehicle trip per minute in the peak hour. A site-specific transportation impact analysis was not required as the proposal is below the City’s minimum threshold and complies with the Guildford Plan designation, with the anticipated land-use and density on the subject site having been taken into account as part of the Stage 2 transportation impact analysis for the overall Plan area.

Transit

- The subject site is located within 450 metres of an existing Rapid Bus stop on 104 Avenue at 140 Street.
- The proposed development is appropriate for this part of the Guildford Town Centre – 104 Avenue Corridor and conforms with the goal of achieving higher density development in locations that benefit from access to frequent transit service.

Access and Parking

- Access to the subject site is proposed via 105A Avenue along the north property line.
- The applicant is proposing to provide a total of 169 stalls on-site, in accordance with the reduced parking rates, previously endorsed by Council, as part of Corporate Report No. R115; 2021 (“Parking Update: Rapid Transit Corridors and Rental Housing”).

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is compliant with the Urban Centres (Surrey Metro Centre) Land Use Designation of Metro Vancouver’s Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP), which permits up to 2.5 FAR gross within Urban Centres.

Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
 - Growth Management
 - Accommodating Higher Density: Direct residential development into approved Secondary Plan areas at densities sufficient to encourage commercial development and transit services expansion.

- Efficient New Neighbourhoods: Plan and develop new neighbourhoods with an emphasis on compact forms of development.
- Centres, Corridors and Neighbourhoods:
 - Healthy Neighbourhood: Plan and design urban neighbourhoods with sufficient densities to support a higher-quality transit system that is accessible to most residents.
 - Urban Design: Ensure a new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.
- Ecosystems
 - Energy, Emissions and Climate Resiliency: Design a community that is energy-efficient, reduces carbon emissions and adapts to a changing environment through a design that meets typical sustainable development criteria.

Secondary Plans

Land Use Designation

- The property is designated “Low to Mid Rise Residential” in the Guildford Plan.
- The “Low to Mid Rise Residential” designation permits up to 2.25 FAR (gross). The designation supports up to 6 storeys.
- The applicant is proposing a gross density of 2.45 FAR, which exceeds the maximum permitted under the designation.
- The additional floor area has merit considering the proposed building is consistent with the intent of the “Low to Mid Rise Residential” designation and the 6-storey form envisioned within the designation.
- A re-designation will not be required, however, the proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.

Themes/Objectives

- The proposed apartment building supports the gradual transition of heights and densities between higher-density areas (i.e. the “core”) and existing single-family areas that will be retained at the periphery of the plan area.
- The development encourages a greater diversity of housing options for different family sizes, types and compositions.
- The Guildford Plan Housing Policy requires that a minimum of 30% of new multi-family housing units should be family-oriented 2-bedroom or greater, and at least 10% as 3-bedroom or greater. The intent is to provide a broader range of housing choice for a variety of family sizes, types as well as compositions.

- Staff note that the proposal generally addresses these family-oriented housing policies in the Guildford Plan by providing approximately 28% of the total dwelling units as two or more bedrooms and 10% of the dwelling units as three or more bedrooms.

CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed 6-storey residential apartment building on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 70 Zone (RM-70)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone
Unit Density:	N/A	N/A
Floor Area Ratio:	1.50	2.9
Lot Coverage:	33%	37%
Yards and Setbacks	7.5 metres	East: 5.5 metres West: 3.0 metres South: 3.6 metres North: 5.5 metres
Principal Building Height:	50 metres	21 metres
Permitted Uses:	<ul style="list-style-type: none"> • Multiple unit residential buildings • Ground-oriented Multiple Unit residential buildings • Child Care Centres 	<ul style="list-style-type: none"> • Multiple unit residential buildings • Ground-oriented Multiple Unit residential buildings
Amenity Space:		
Indoor Amenity:	423 square metres	The proposed 217 square metres + CIL meets the Zoning Bylaw requirement.
Outdoor Amenity:	423 square metres	The proposed 534 square metres exceeds the Zoning Bylaw requirement.
Parking (Part 5)		
	Required	Proposed
Number of Stalls		
Residential:	183	155
Residential Visitor:	28	14
Total:	212	169
Accessible:	4	4
Bicycle Spaces		
Residential Secure Parking:	169	169
Residential Visitor:	6	12

- The proposed CD Bylaw is based upon the "Multiple Residential 70 Zone (RM-70)" with modifications to the permitted density, lot coverage, minimum building setbacks and off-street parking requirements.
- The permitted land use is intended to accommodate the proposed 6-storey apartment building.
- If calculated on the net site area, the FAR is 2.9. As a result, the FAR for the net site area has been increased from 1.50 under the RM-70 Zone to a maximum of 2.9 (net) in the CD Bylaw.
- The maximum lot coverage has been increased from 33% in the RM-70 Zone to a maximum of 37% in the CD Bylaw to accommodate the proposed 6-storey apartment built form.
- The proposal to reduce the minimum building setback requirement along the street frontages for the proposed apartment building is supported given it will allow for a more urban, pedestrian-oriented streetscape.

On-site Parking and Bicycle Storage

- The proposed development includes a total of 169 parking spaces consisting of 155 resident parking spaces and 14 parking spaces for visitors. In addition, the applicant will provide 4 accessible parking spaces.
- All parking spaces on-site will be provided within an enclosed underground parkade that is accessed from 105A Avenue.
- The applicant is proposing to provide a minimum rate of 1.1 parking space per dwelling unit for residents and 0.1 parking space per dwelling unit for visitors (1.2 per unit in total). The proposed parking reduction is supportable given the subject site is located within a Rapid Transit Area (RTA) and complies with the reduced parking rates, previously endorsed by Council, as part of Corporate Report No. R115; 2021 ("Parking Update: Rapid Transit Corridors and Rental Housing").
- Of the 169 parking stalls provided, 34 small car stalls, or 20% of the total number of parking spaces, are proposed. The Surrey Zoning Bylaw allows for a maximum of 35% of the total parking spaces on-site to be provided for small cars.
- The Zoning Bylaw requires that no parking facilities be constructed within 2.0 metres of the front lot line or a lot line along a flanking street. The proposed underground parkade will be located within 0.5 metre of the lot lines. As a result, the proposed CD Bylaw will permit the underground parkade facility to extend within 0.5 metre of all lot lines.
- The development will provide a total of 169 secure bicycle parking spaces in the underground parkade. This will exceed the minimum bicycle parking stalls required under the Zoning Bylaw. In addition, the applicant will provide 6 bicycle parking spaces, at grade for visitors, which complies with the Zoning Bylaw requirement.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2024, under Corporate Report No. Ro46;2024.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs for the residential units that comprise the floor area that is within the density permitted under the Guildford Plan designation (2.25 FAR gross). The current rate for Guildford is \$2,227.85 per dwelling unit.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs as the development proposes an increase in density (2.45 FAR gross) above that permitted within the Guildford Plan designation (2.25 FAR gross). The current rate for Guildford is \$239.82 per sq. m. of apartment residential floor area above that permitted under the Guildford Plan designation.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,113.92 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy. The contribution will be payable at Building Permit.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on May 3, 2024, and the Development Proposal Signs were installed on May 27, 2024. Staff received one response from a neighbouring resident (*staff comments in italics*):
 - One respondent expressed concern that the number of proposed parking stalls is inadequate and would lead to parking issues in the neighbourhood.

(The proposed development includes a total of 169 parking spaces consisting of 155 resident parking spaces and 14 parking spaces for visitors)

The applicant is proposing to provide a minimum rate of 1.1 parking space per dwelling unit for residents and 0.1 parking space per dwelling unit for visitors (1.2 per unit in total). The proposed parking reduction is supportable given the subject site is located within a Rapid Transit Area (RTA) and complies with the reduced parking rates, previously endorsed by Council, as part of Corporate Report No. R115; 2021 (“Parking Update: Rapid Transit Corridors and Rental Housing”).)

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Guildford Plan.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Guildford Plan.
- The applicant has worked with staff to:
 - provide appropriate ground floor setbacks to accommodate robust planting and to ensure a consistent streetscape;
 - to appropriately screen the vehicle ramp with landscaping;
 - provide relief to the overall massing of the building;
 - provide appropriate step backs for level 6 on the north and east elevations to maintain a 5-storey visual expression along 105A Avenue and the future 145 Street; and
 - to refine the curvilinear language of the arches and building corners.
- The proposed building is a 6-storey, wood frame residential building, consisting of two street frontages.
- The design responds to the 105A Avenue development scale pattern by stepping back the uppermost storey for relief. The recessed lobby breaks up the façade, creating visual interest and dynamism to the 105A Avenue frontage.
- The ground-floor units are oriented toward the street with usable semi-private outdoor space to help define the streetscape.
- The main building material is white brick and composite panel cladding, which provides a modern and unique building design.
- The building orientation provides appropriate urban edges on 105A Avenue and 145 Street while ensuring that units will provide greater observation of the public realm with active rooms facing toward the street and pedestrian walkways as a means of CPTED.

- The applicant is proposing a unit mix of 50 studio units, 52 one-bedroom, 25 two-bedroom units and 14 three-bedroom units.

Landscaping

- The ground floor residential interface along the street frontages consist of landscaped front yards separated from the public realm by planter boxes, providing a sense of privacy while still maintaining "eyes on the street".

Indoor Amenity

- The Zoning Bylaw requires the applicant to provide a minimum of 3 square metres per unit and 4 square metres per micro unit. The applicant is not proposing micro-units.
- The Zoning Bylaw also prescribes the minimum indoor amenity space requirement that must be provided on site with a cash-in-lieu option to address the remaining requirement.
- Based upon the City's Zoning Bylaw requirement, the proposed development must provide 423 square metres of indoor amenity space to serve the residents of the proposed 141-unit apartment building. Of this 423-square metre requirement, a minimum of 74 square metres of indoor amenity space must be provided on site, and the remaining indoor amenity space requirement can be addressed through cash-in-lieu.
- The applicant proposes 217 square metres of indoor amenity space, which exceeds the minimum on site requirements of 74 square metres but is less than the 423 square metre total indoor amenity space requirement for the project.
- The applicant has agreed to provide a monetary contribution of \$207,000 (based on \$3,000 per unit) to address the remaining shortfall in the required indoor amenity space, in accordance with Council Policy No. O-48, as amended. Cash-in-lieu contributions for indoor amenity space are increased on an annual basis and must be paid at the rate in effect at the time of Final Adoption.
- The applicant is proposing indoor amenity on the ground floor, including a gym and function area.

Outdoor Amenity

- Based upon the City's Zoning Bylaw requirement of 3 square metres per dwelling unit and 4 square metres per micro unit, the proposed development must provide a total of 423 square metres of outdoor amenity space to serve the residents of the proposed 141 units. The applicant is not proposing micro-units.
- The applicant is proposing 534 square metres of outdoor amenity, exceeding the minimum requirement.
- The applicant is proposing an outdoor amenity area at grade within the rear yard area.

- The amenities include a children’s play area, dog run, community garden boxes, an outdoor dining area and a lawn area.
- The soft landscaping proposed throughout the amenity areas consist of resilient, low-maintenance plantings which are tolerant of urban conditions.

Outstanding Items

- At the Regular Council – Public Hearing Meeting on December 18, 2023, Council endorsed the recommendations in Corporate Report No. R214;2023 (“Proposed Changes to Advisory Design Panel Procedures for Development Applications”) which allows all multi-family developments that are 6-storeys or less to proceed to Council for bylaw introduction, provided the proposal is generally supported by City staff. For these projects, no review and/or comment is required by the Advisory Design Panel (ADP). The subject proposal is generally supported by Urban Design staff and, therefore, the ADP can be waived.
- There are a limited number of Urban Design items that remain outstanding and do not affect the project’s overall character or quality. These generally include:
 - Coordinate all design drawings for accuracy and completeness;
 - Coordinate the ground floor unit doors and walkway access and locations;
 - Provide a comprehensive context plan showing future development.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Max Rathburn, ISA Certified Arborist of Diamond Head Consulting prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Cottonwood	4	4	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Big Leaf Maple	1	1	0
Bitter cherry	2	2	0
Common Hazelnut	1	1	0
Fig	1	1	0
Horsechestnut	1	1	0
Japanese Maple	1	1	0
Mountain Ash	1	1	0

Norway Spruce	1	1	0
Pacific Dogwood	1	1	0
Pear	1	1	0
Weeping Willow	3	3	0
Western Redcedar	4	4	0
Total (excluding Alder and Cottonwood Trees)	18	18	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)			
		32	
Total Retained and Replacement Trees Proposed			
		32	
Estimated Contribution to the Green City Program			
		\$4,400	

- The Arborist Assessment states that there are a total of 19 mature trees on the site, excluding Alder and Cottonwood trees. Four existing trees, approximately 17% of the total trees on the site, are Cottonwood trees. The applicant proposes to retain no trees as part of this development proposal. The proposed tree removal and replacement was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of 40 replacement trees on the site. Since the proposed 32 replacement trees can be accommodated on the site, the proposed deficit of 8 replacement trees will require an estimated cash-in-lieu payment of \$4,400 representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- In addition to the replacement trees, boulevard street trees will be planted on 105A Avenue and 145 Street. This will be determined by the Engineering Department during the servicing design review process.
- In summary, a total of 32 trees are proposed to be replaced on the site with an estimated contribution of \$4,400 to the Green City Program.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey, Tree Preservation and Tree Plans

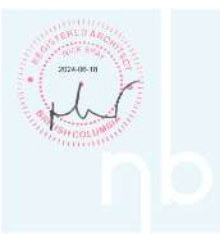
approved by Ron Gill

Don Luymes
General Manager
Planning and Development

EM/ar

GUILDFORD PROPER

14488/14498/14500/14510 105a AVE, SURREY, BC, CANADA



ISSUED FOR PERMIT

GATEHOUSE

DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
7	JUN 18, 24	RESUBMISSION FOR DP
6	APR 08, 24	RESUBMISSION FOR DP
5	MAR 04, 24	RESUBMISSION FOR DP
4	SEP 22, 23	RESUBMISSION FOR DP
3	JUL 14, 23	ISSUE FOR DP
2	MAY 05, 23	PRELIMINARY DP PACKAGE
1	APR 06, 23	SD ISSUE TO CLIENT

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When dimensions shall have precedence over scaled dimensions, dimensions shall prevail. All dimensions are in millimeters unless otherwise noted. Dimensions are shown in millimeters, but may not be used. All dimensions are shown in millimeters, but may not be used. All dimensions are shown in millimeters, but may not be used.

PROJECT

Proper

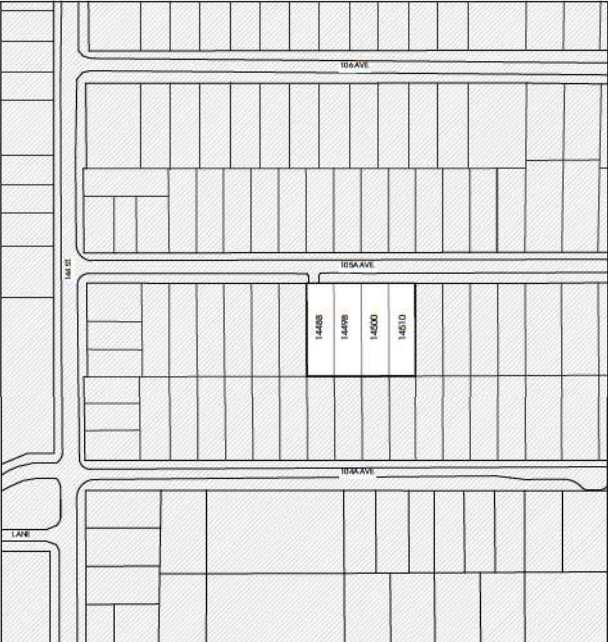
14488, 14498, 14500, 14510 AVE

CITY OF SURREY, BC
PROJECT NO. 23 188

COVER SHEET

SCALE AS NOTED

A001



CLIENT Gatehouse Design + Developments PO Box 2087, 20 St. James Chilliwack B.C. V2R 1A8 Contact: Mike Shepherd 604 819 2192	STRUCTURAL ENGINEER Walker Stebbins Structural Eng 118-3635 Brandy Drive Burnaby B.C. V5C 6K6 Contact: David Bowers 604 294 3753	LANDSCAPE ARCHITECT Van Der Zahn - Associates 10-21911 Church Street Fort Langley B.C. V4M 2J8 Contact: Andrew Denislaw 604 546 0031
ARCHITECT Nick Bray Architecture Unit 305, 401 8th Ave Vancouver B.C. V6B 3Z5 Contact: Nick Bray 604 909 8798	MECHANICAL ENGINEER Electrical & Mechanical Eng. Consultant Unit 209, 5681 152 Street Surrey B.C. V5B 5J9 Contact: Zeehan White 778 229 82 80	CODE CONSULTANT Powers Group 3074-43 Webb Avenue Vancouver B.C. V6Y 1K2 Contact: Austin Lau 604 202 8167
ARBORIST Diamond Head Consulting 3529 Commercial Street Vancouver B.C. V6B 4E3 Contact: Max Bathum 604 902 7253	ELECTRICAL ENGINEER Primary Engineering 209-6527 East 44th Drive Burnaby B.C. V5A 4W2 Contact: Kevin Rai 604 743 9226	CIVIL ENGINEER McCarthy Associates Land Surveying Ltd. Suite 1340 110th Ave Surrey B.C. V2T 5G3 Contact: Jason Herrel 604 211 1790
GEOTECHNICAL CONSULTANT Tercon Geotechnical Unit 202 - 2641 Fraser Hwy Abbotsford B.C. V4W 3L3 Contact: Kallan Bass 1 877 840 1003	ENERGY / ENVIRONMENTAL CONSULTANT Apex Coast Knowledge Consultants 1105 Lower Frisby Rd #401 Delta B.C. V4K 5B6 Contact: Roy Shi 604 946 991 0	

LEGEND		
① TITLE	DRAWING TITLE	DOOR TAG
② BUILDING SECTION		WINDOW TAG
③ ENLARGED PLAN/PLAN DETAILS		FINISH MATERIAL TAG
④ INTERIOR ELEVATION		FLOOR FINISH TAG
ROOM NAME		WALL TYPE TAG
⑤ REVISION CLOUD		
⑥ REVISION TAG		
⑦ STRUCTURAL GRID		

ABBREVIATIONS	
AB	BAR BARRIER
ADDN	ADDENDUM
ALUM	ALUMINUM
ANKD	ANKERED
AP	APPLY FRESH FLOOR
BLDG	BUILDING
BO	BOTTOM OF
CBT	CONCRETE
CIG	CILING
CB	CIRCULAR
CL	CENTRELINE
CT	CONCRETE
CW	CONCRETE WITH
CON	CONCRETE
DLA	DIAPHRAGM
ELV	ELEVATION
EQ	EQUAL
EXT	EXTERIOR
ELEC	ELECTRICAL
FD	FLOOR DRAIN
F.B.R.	FIRE RESISTANCE RATING
GA	GANTRY
GWB	Gypsum Wall Board
HC	HANDICAPPED
HR	HOURS
HT	HEIGHT
INT	INTERIOR
MAX	MAXIMUM
MECH	MECHANICAL
MEZZ	MEZZANINE
NOF	NOISE
MIN	MINIMUM
MISC	MISCELLANEOUS
N/A	NOT APPLICABLE
NTS	NOT TO SCALE
ONE	OR APPROX EQUAL
OC	ON CENTRE
PC	POWDERCOAT
PFRSH	PREFINISHED
PT	PAINTED
P-LAM	PLASTIC LAMINATE
PLW	PLYWOOD
QT	QUARRY TILE
REQD	REQUIRED
RHL	RAIN WATER LEADER
RQRD	REQUIRED
RNL	RAIN WATER LEADER
R	RADIUS
RD	ROOF DRAIN
RO	ROUGH CORNERING
S.F.	STUD FACE
SPEC	SPECIFICATIONS
T.O.C.	TOP OF CURB
T.O.S.	TOP OF SLAB
T.O.N.	TOP OF NAUL
UNO	UNLESS NOTED OTHERWISE
WB	WOOD BARRIER
W	WITH
WC	WATER CLOSET

INDEX OF DRAWINGS		
Sheet Number	Sheet Name	
A001	COVER PROJECT SHEET	
A002	DETAILED CONSTRUCTION & PROTECTIVE	
A003	MECHANICAL CONSTRUCTION	
A004	SEPARATION	
A005	STAIRWAYS	
A006	SHEDDING	
A007	STAIR FRESH AIR INTAKE BOARD	
A008	PRECAST	
A009	STAIR FRESH AIR INTAKE	
A010	JANTRY PLAN	
A101	3RD FLOOR	
A102	PARADE LEVEL 02	
A103	GROUND FLOOR	
A104	SECTION FLOOR PLAN	
A105	1ST FLOOR PLAN	
A106	2ND FLOOR PLAN	
A107	3RD FLOOR PLAN	
A108	SECTION FLOOR PLAN	
A109	ROOF PLAN	
A201	SECTION DETAIL	
A202	SECTION DETAIL	
A203	SECTION DETAIL	
A204	SECTION DETAIL	
A205	SECTION DETAIL	
A206	SECTION DETAIL	
A301	SECTION DETAIL	
A302	SECTION DETAIL	
A303	SECTION DETAIL	
A304	SECTION DETAIL	
A401	INTERIOR FINISH	
A402	SECTION DETAIL	
A403	SECTION DETAIL	
A404	SECTION DETAIL	

DESIGN RATIONALE



Through initial meetings and discussions with Planning Staff, we have arrived at a massing strategy that follows the intent of the OCP Guidelines, while proposing some minor relaxations to the building form and step backs.

The building design is simple in form, maximizing envelope and energy efficiency, while reintroducing the 105A Avenue building line with cantilevering balconies and punched windows providing rhythm and animation across a light, white brick clad facade.

This residential development provides high-quality accommodation and grand south-facing community gardens. A wide range of unit sizes are provided, including more affordable studio units. All parking is hidden below grade.

A large amenity room opens out onto the rear garden. The large rear garden provides additional outdoor seating areas, along with community vegetable gardens, dog run, playground creating a unique one-of-a-kind family-orientated community. All parking is hidden below grade, with a landscaped deck at grade level.

The mix of brick and composite panel cladding, gives the building a unique but timeless aesthetic. The front facade is broken down to a more domestic scale through a sadder course brick banding and the careful articulation around the balcony recesses. The double-height entrance exterior foyer and interior lobby are prominent, welcoming and upscale. Materials will be carefully chosen for quality, low-maintenance and longevity.

The following Visual Cues for Birds have been considered in the design.

- Increased glass visibility** - Interupting reflective glass by increased vertical mullions to increase opacity.
- Dampening reflections** - Canopy shading created by overhanging balconies. Windows have also been setback from the façade to reduce reflection.
- Reduce glare and reflections and landscape reflections** - ensuring outdoor landscaping is an appropriate distance from the glass.
- Reduce light pollution** - Outlets can be installed in each dwelling unit when occupied to reduce light emitted from interior spaces. Exterior lighting: install only shielded, downward directed fixtures. Limit exterior architectural lighting fixtures to grade level. Limit lighting to areas required for safety and security. No spot, flood, or advertising lighting will be installed.

PROJECT DATA

Site Address:	14683 146th, 14690, 14710 146th Ave. Surrey, BC V4R 1S3		
Legal Address:	Lot 70, 71, 72, 73, Block 19, Block 9 North Range 1 West Area-Westminster Dist. Plan 31594		
Land Use/ zoning:	FF (Current zoning) CD (Re-zoning)		
Lot 70	Site Area	Legal Address	
1,137.0m ²	1,137.0m ² (12,289 sqft)	Lot 70, Section 10, Plan 31594	
Lot 71	1,136.8m ² (12,287 sqft)	Lot 71, Section 10, Plan 31594	
Lot 72	1,136.7m ² (12,286 sqft)	Lot 72, Section 10, Plan 31594	
Lot 73	1,136.6m ² (12,285 sqft)	Lot 73, Section 10, Plan 31594	
Consolidated Area	4,546.9m ² (48,922 sqft)		
Overall Site Area	4,546.9m ² (48,922 sqft)		
Allowed Development	2,943.0m ² (31,518 sqft)		
Net Site Area	3,819.0m ² (41,107 sqft)		
Lot	Permitted	%	Proposed
Lot Coverage (Development)	r/c/o	37%	1,696.0m ² (18,201 sqft)
Lot Footprint (No. basement)	r/c/o	76%	3,468.9m ² (37,164 sqft)
Lot Area	Permitted	Proposed	
Overall FF	4,546.9m ² (48,922 sqft)	11,140.2m ² (119,927 sqft)	
Undevelopable Area (Road Widening)	726.0m ² (7,815 sqft)	-	
Net Area	3,819.0m ² (41,107 sqft)	11,140.2m ² (119,927 sqft)	
Area Summary:	Available	Efficiency	Developable Area
Basement Parking:	3,631.0m ² (38,939 sqft)		
Basement Decking:	3,631.0m ² (38,939 sqft)		
Below Grade Subtotal	7,262.0m ² (78,878 sqft)		
Ground Floor:	1,696.0m ² (18,201 sqft)	71%	1,202.2m ² (12,911 sqft)
Second Floor:	1,931.6m ² (20,897 sqft)	89%	1,696.0m ² (18,201 sqft)
Third Floor:	1,931.6m ² (20,896 sqft)	91%	1,742.9m ² (18,791 sqft)
Fourth Floor:	1,931.6m ² (20,896 sqft)	91%	1,742.9m ² (18,791 sqft)
Fifth Floor:	1,931.6m ² (20,896 sqft)	91%	1,742.9m ² (18,791 sqft)
Sixth Floor:	1,742.9m ² (18,792 sqft)	95%	1,696.0m ² (17,994 sqft)
Roof Deck:	162.0m ² (1,742 sqft)		
Above Grade Subtotal	11,140.2m ² (119,919 sqft)	87%	9,716.1m ² (104,884 sqft)
*Note: Interior amenity room excluded from floor area			
Total	18,202.2m² (195,797 sqft)		
Parking:	Required	Variance	
Residential	150 1.3 / 1.5 per unit	1.1 per unit	
Offices	20 0.2 per unit	1.5 0.1 per unit	
Total	170	169	
Parking Breakdown:	%		
Standard	76%	120	
Small (50% Max.)	21%	36	
Accessible (2% Min.)	3%	5	
Total	100%	169	
Bicycle:	Required	Proposed	
Residential (below grade)	169 1.2 per unit	172	
Residential (above grade)	6	6	
Offices (below grade)	6	6	
Total	181	184	
Height:	Permitted	Proposed	
	6	6 20.4m (67 ft)	
* 50m (165 ft) Average Natural Grade from proposed Survey Plan			
Setbacks:	Permitted	Proposed	
100m Avenue (North)	6.0m (20 ft)	6.0m (20 ft)	
High-Rising Property (South)	3.0m (10 ft)	3.0m (10 ft)	
Future Local Road (East)	17.0m (56 ft)	16.5m (54 ft)	
High-Rising Property (West)	3.0m (10 ft)	3.0m (10 ft)	
Amenity:	Required	Proposed	
Interior (Comb-in-Use - 7.5m x 4.0m x 2.4m)	420.0m ² (4,516 sqft)	272.0m ² (2,924 sqft)	
Outdoor (10.0m x 10.0m)	420.0m ² (4,516 sqft)	230.0m ² (2,467 sqft)	
Site Metrics:	Proposed	%	
Studs	48	34%	
1 Bedroom	95	70%	
2 Bedroom	24	17%	
3 Bedroom	14	10%	
Total	141	100%	
Lot Metrics per Floor Level:			
Level 1:	18	6x (2bed), 8x (1bed), 3x (2bed), 1x (3bed)	
Level 2:	25	0x (2bed), 10x (1bed), 4x (1bed), 2x (3bed)	
Level 3:	26	10x (2bed), 10x (1bed), 4x (2bed), 2x (3bed)	
Level 4:	26	10x (2bed), 10x (1bed), 4x (2bed), 2x (3bed)	
Level 5:	26	10x (2bed), 10x (1bed), 4x (2bed), 2x (3bed)	
Level 6:	26	10x (2bed), 7x (1bed), 3x (2bed), 2x (3bed)	
Total	141		
* Minimum building setbacks are measured to the furthest projection (i.e. projections that extend more than 0.6m into the setback). Setbacks are a minimum of 4.6m or 5% of the unit size and a maximum of 1.5 metres in depth.			



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GATEHOUSE
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9	JUN 16, 24	RESUBMISSION FOR DP
8	MAY 24, 24	RESUBMISSION FOR DP
7	APR 08, 24	RESUBMISSION FOR DP
6	MARCH 24	RESUBMISSION FOR DP
5	SEP 22, 23	RESUBMISSION FOR DP
4	AUG 22, 23	ISSUE FOR DP - UPDATE PROJECT DATA
3	JUL 14, 23	PRELIMINARY DP PACKAGE
2	MAY 05, 23	PRELIMINARY DP PACKAGE
1	APR 06, 23	SD ISSUE TO CLIENT
REV	DATE	DESCRIPTION

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PROJECT
Proper
1468, 1469, 1470, 1471 146th Ave
CITY OF SURREY, BC
PROJECT NO. 23 118

PROJECT DATA

SCALE AS NOTED

A002

CONTEXT MAP:



CONSOLIDATED SITE: 14488, 14498, 14500, 14510 105A Avenue



105A AVENUE STREETSCAPE CONTEXT:

CONSOLIDATED SITE



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3	MAR 04, 24	RESUBMISSION FOR DP
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1	JUL 14, 23	ISSUE FOR DP

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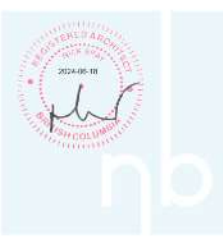
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PROJECT
Proper
 1448, 1449, 14500, 14510
CITY OF SURREY, BC
 PROJECT NO. 23 108

**NEIGHBOURHOOD
 CONTEXT MAP**
 SCALE AS NOTED

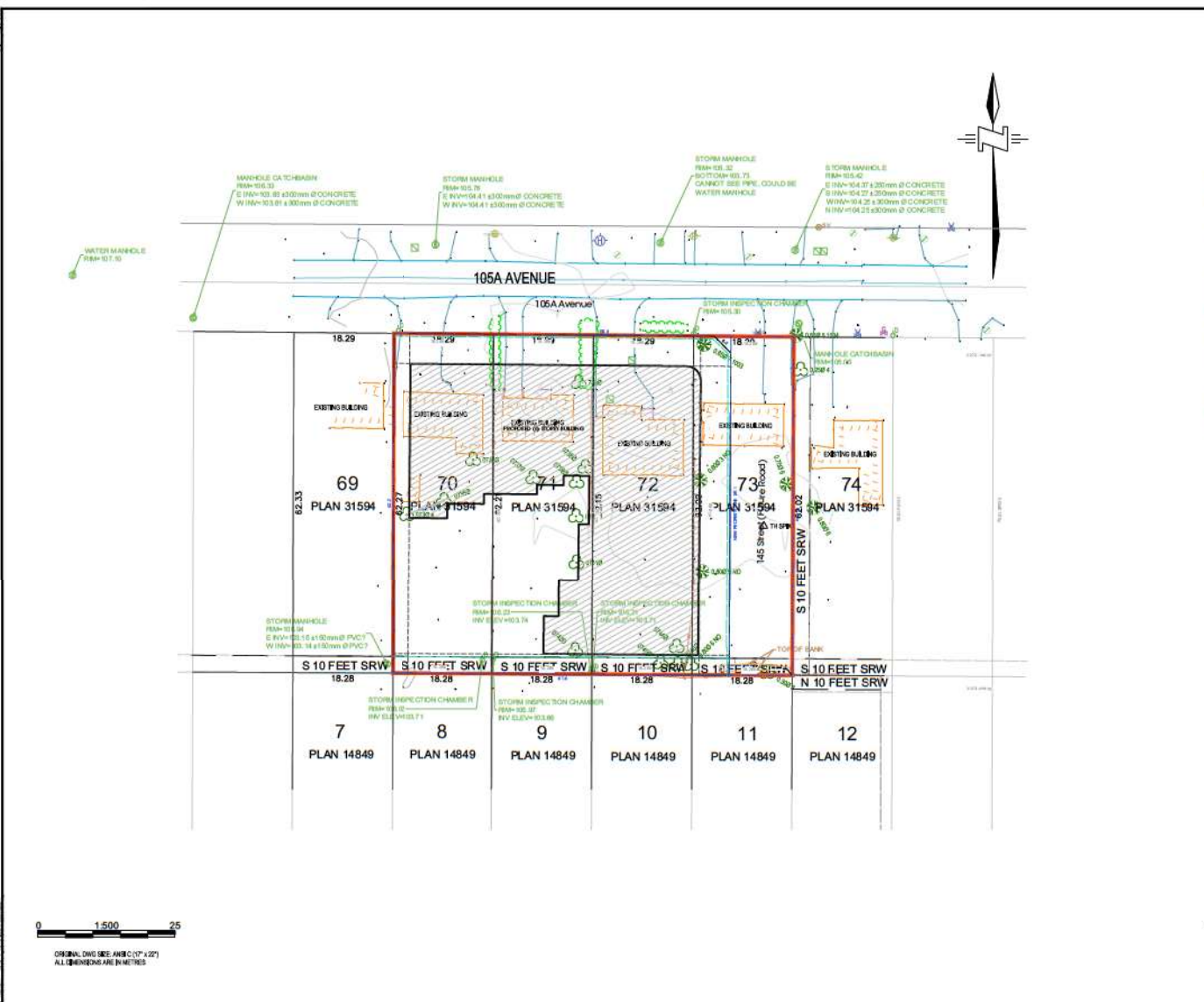
A003





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GATEHOUSE
 DESIGN + DEVELOPMENTS



LEGEND:

- ✕ 96.45 DENOTE SPOT ELEVATION
- m DENOTES METRES
- mm DENOTES MILLIMETERS
- ∅ DENOTES DIAMETER
- ⊕ MANHOLE-CATCH BASIN
- ⊕ CATCH BASIN (TOP INLET)
- ⊕ LAWN BASIN
- ⊕ MANHOLE - STORM
- ⊕ STORM INSPECTION CHAMBER
- ⊕ HYDRANT
- ⊕ WATER VALVE
- ⊕ VALVE - GAS
- ⊕ POWER POLE
- ⊕ POWER POLE WITH TRANSFORMER
- ⊕ SERVICE - METER
- ⊕ MANHOLE
- ⊕ TREE - CONIFEROUS
- ⊕ TREE - DECIDUOUS

NOTES:

1. THE SURVEY IS ON A LOCAL GROUND COORDINATE SYSTEM, BEARINGS ARE UTM GRID, DERIVED FROM OBSERVATIONS TO GCM 5814 AND 8811304.
2. TO CONVERT TO UTM ZONE 18 NAD83 (GRS) 4.5 GCM 1.0 V.M. MULTIPLY BY THE COMBINED FACTOR OF 0.999998748006001.
3. ELEVATIONS ARE IN METRES AND ARE REFERRED TO GDDOTD DATUM COORDINATED USING MONUMENT GCM 5794 LOCATED AT INTERSECTION OF 144 STREET AND 105A AVENUE, ELEVATION = 106.287 METRES.
4. CONTOUR INTERVAL IS 0.1 METRES.
5. PARCEL CORNERS REPRESENTED ON THIS PLAN ARE DERIVED FROM FIELD MEASUREMENTS.
6. UNREGISTERED INTERESTS HAVE NOT BEEN INCLUDED OR CONSIDERED.
7. THE SURVEY REPRESENTED BY THIS PLAN WAS COMPLETED ON THE 22ND DAY OF DECEMBER, 2021.

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5	MAR 04, 24	RESUBMISSION FOR DP
4	SEP 22, 23	RESUBMISSION FOR DP
3	JUL 14, 23	ISSUE FOR DP
2	MAY 05, 23	PRELIMINARY OF PACKAGE
1	APR 06, 23	ISSUE TO CLIENT

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ORIGINAL DWG SIZE: A3 (17" x 22")
 ALL DIMENSIONS ARE IN METRES

Rev	Date	Description	FB	CM	JH
0	2021-12-22	TOPOGRAPHIC SURVEY			

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Suite 2300
 13450 102nd Avenue
 Surrey BC
 Canada V0T 6X3
 T 604 596 0391

GATEHOUSE DEVELOPMENTS INC.
 14488, 14498, 14500 AND 14510 105A AVE, SURREY
 TOPOGRAPHIC SURVEY OF LOT 70, 71, 72 AND 73
 SECTION 19 BLOCK 5 NORTH RANGE 1
 WEST NEW WESTMINSTER DISTRICT
 PLAN 31594
 PIDS 004-843-185, 006-617-751, 006-617-794 AND 006-617-719

Drawing No. 05967-0
 Project Number 2111-05967-00
 Rev. 0

SURVEY

SCALE AS NOTED

A004

REVISIONS ALL POINTS BEARING PREVIOUS REVISION



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PROJECT
 Proper
 148, 149, 150, 151 HURSTVALE
CITY OF SURREY, BC
 PROJECT NO. 23 118

SITE ANALYSIS

SCALE AS NOTED

A005

SITE ANALYSIS - SUBMITTED TO DRG MEETING, MARCH 2022

REZONING DISCUSSION

Address: 14488 / 498/500/510 - 105a Avenue
 January 20, 2023

Design Review Comment Responses:

Our team has carefully reviewed the comments provided from the Design Review Group Meeting on August 9, 2022 as well as the additional feedback received based on our meeting on December 8th. We have revised the proposed massing to incorporate the feedback; however, we would like to further discuss the following items:

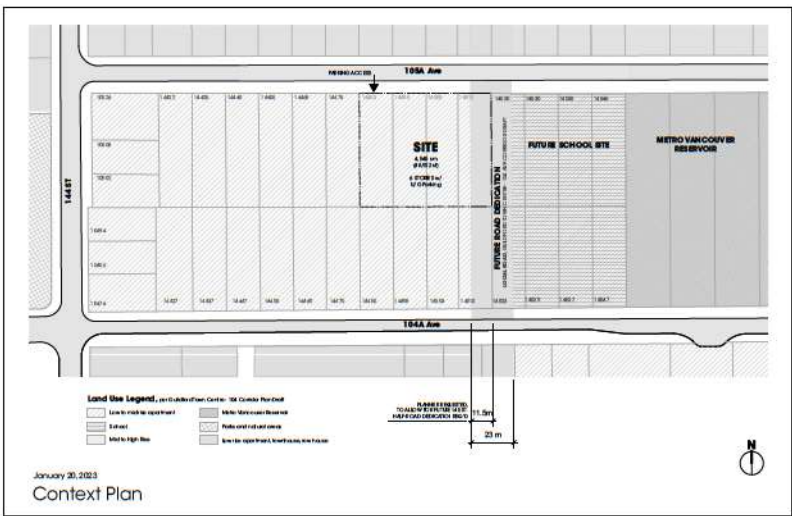
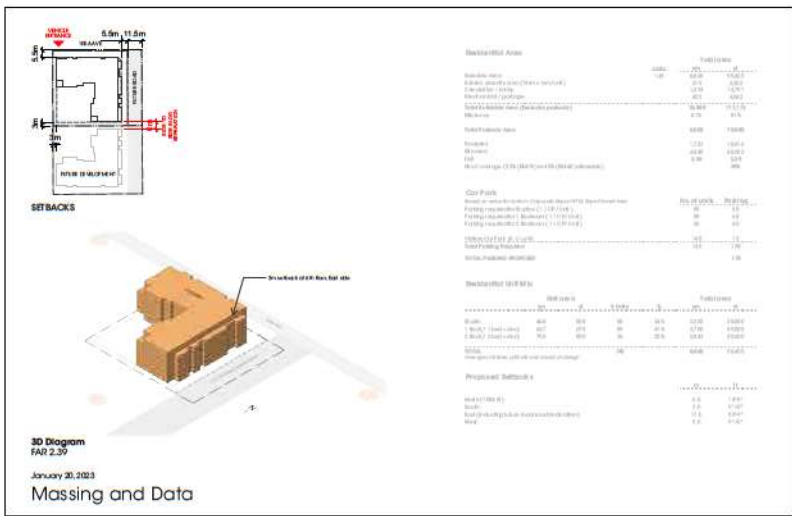
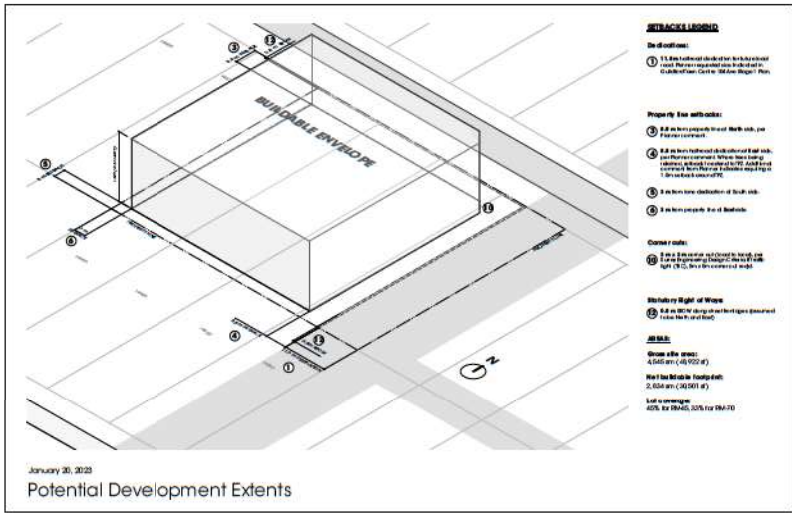
Tree retention:

Response: Tree of eastern sycamore are proposed to be removed. Tree retention would significantly affect the efficiency and size of the underground parking area, given the 5 m TFE + 1.5 m additional setback.

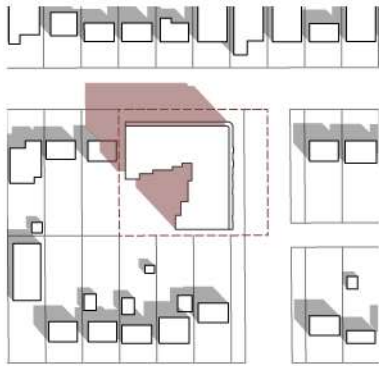
Unit mix:

Response: The comment suggest a minimum of 30% 2+ bed and 10% 3+ bed units. The development propose a unit mix with 25% 2+ bed units.

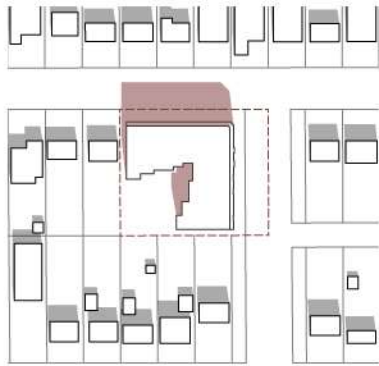
City of Surrey: Design Review Comment Responses



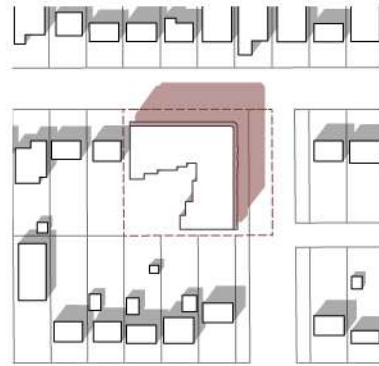
January 20, 2023
 Context Plan



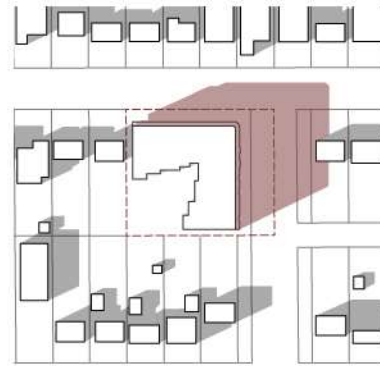
MAR/SEP 21st | 10:00 PM



MAR/SEP 21st | 12:00 PM



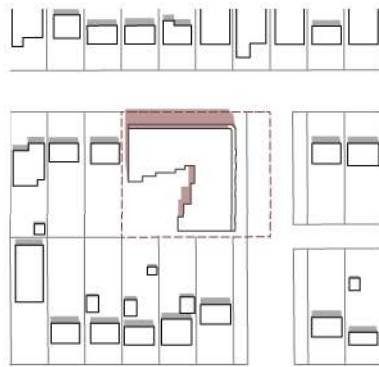
MAR/SEP 21st | 14:00 PM



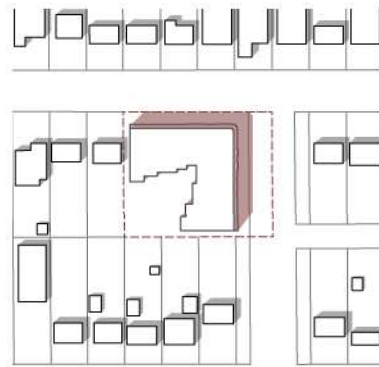
MAR/SEP 21st | 16:00 PM



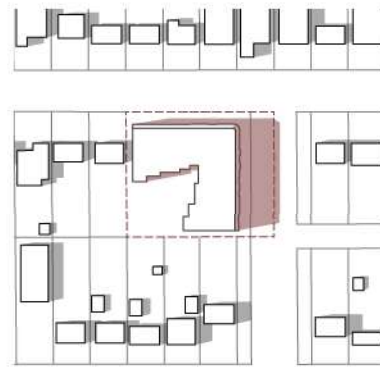
JUNE 21st | 10:00 PM



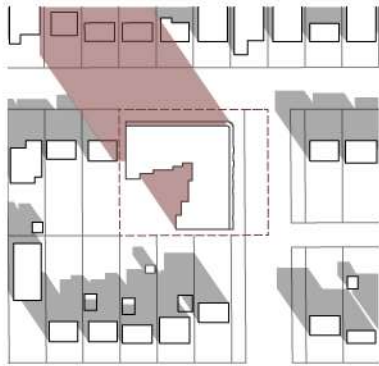
JUNE 21st | 12:00 PM



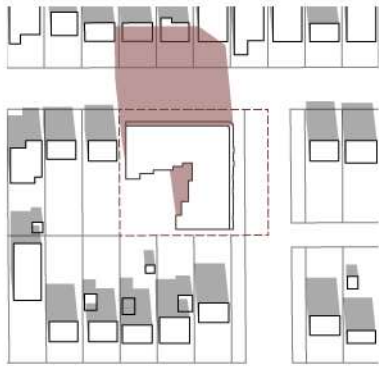
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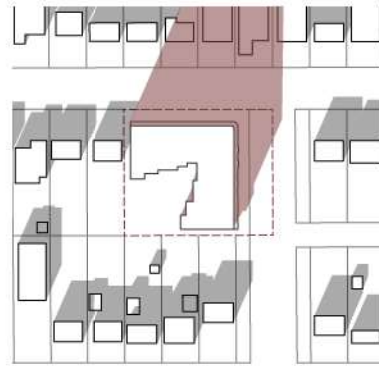
JUNE 21st | 16:00 PM



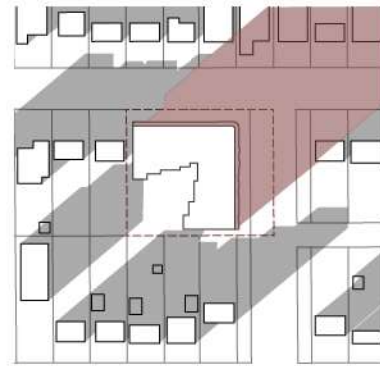
DEC 22nd | 10:00 PM



DEC 22nd | 12:00 PM



DEC 22nd | 14:00 PM



DEC 22nd | 16:00 PM



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REV	DATE	DESCRIPTION
5	JUN 19, 24	RESUBMISSION FOR DP
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PROJECT
 Proper

1400, 1408, 1416, 1424 WESTBANK

CITY OF SURREY, BC
 PROJECT NO. 23 118

SHADOW STUDIES

SCALE AS NOTED

A006

EXTERIOR FINISH SAMPLE BOARD

DARK BROWN



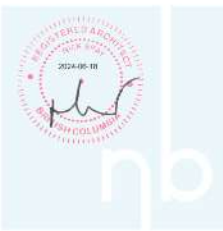
WHITE BRICK



OFF-WHITE CEMENTITIOUS BOARD



CONCRETE



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

5	JUN 18, 24	RESUBMISSION FOR DP
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REV	DATE	DESCRIPTION

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PROJECT
Proper

1406, 1408, 1410, 1412 BRADAVEN

CITY OF SURREY, BC
 PROJECT NO. 23 108

**EXTERIOR FINISH
 SAMPLE BOARD**

SCALE AS NOTED

A007

PRECEDENTS



PIER EXPRESSION / UPPER FLOOR SETBACK
 CHELSEA BARRACKS | SQUIRE & PARTNERS



ENTRANCE EXPRESSION | WHITE BRICK | SIGNAGE
 PARLOUR BROOKLYN | INC ARCHITECTURE & DESIGN

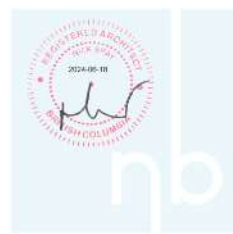


METAL TRIM EXPRESSION | ARCHES
 METROPOLIS LIGHT | PT ARCHITECTS



BALCONY EXPRESSION | WHITE BRICK
 PARLOUR BROOKLYN | INC ARCHITECTURE & DESIGN

* COLOURS IN ABOVE IMAGES NOT RELEVANT UNLESS STATED OTHERWISE



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
5	JUN 18, 24	RESUBMISSION FOR DP
4	APR 08, 24	RESUBMISSION FOR DP
3	MAR 04, 24	RESUBMISSION FOR DP
2	SEP 22, 23	RESUBMISSION FOR DP
1	JUL 14, 23	ISSUE FOR DP

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PROJECT
Proper

1406, 1408, 1410, 1412 BRAY AVE

CITY OF SURREY, BC
 PROJECT NO. 23 108

PRECEDENTS

SCALE AS NOTED

A008



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
6	JUN 18, 24	RESUBMISSION FOR DP
5	APR 18, 24	RESUBMISSION FOR DP
4	MARCH 24	RESUBMISSION FOR DP
3	JAN 30, 24	ISSUE TO LANDSCAPE ARCH
2	JAN 31, 24	RESUBMISSION FOR DP
1	SEP 22, 23	RESUBMISSION FOR DP

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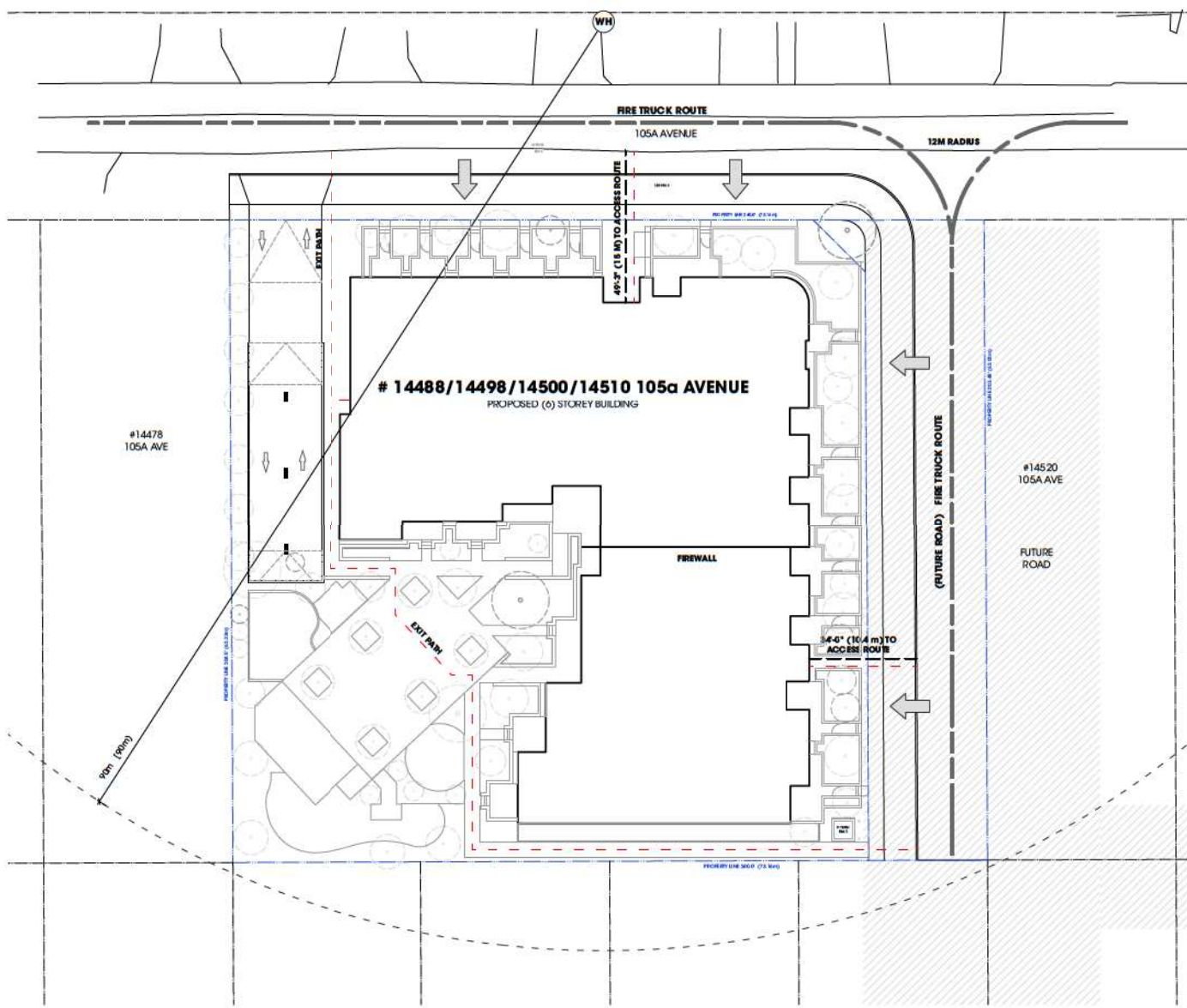
When drawings shall have permission over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and ensure identification of same, dimensions or scaled information contained in contract documents and documents. Failure to obtain such information renders the Contractor responsible for any resulting program work and the cost of such work.

PROJECT
Proper
 1448, 1449, 1450, 1451A AVE
CITY OF SURREY, BC
 PROJECT NO. 23 118

SITE PLAN - FIRE FIGHTING

SCALE: AS NOTED

A009



LEGEND

- FIRE TRUCK ACCESS ROUTE
SBC 3.2.5.6
- PRINCIPAL ENTRANCE TO ACCESS ROUTE
SBC 3.2.5.8
- EXIT PATH
- DIRECT FIRE FIGHTING OF STREET FRONT
- EXISTING WATER HYDRANT



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN • DEVELOPMENTS

REV	DATE	DESCRIPTION
6	JUN 19, 24	RESUBMISSION FOR DP
5	APR 18, 24	RESUBMISSION FOR DP
4	MARCH 24	RESUBMISSION FOR DP
3	JAN 30, 24	ISSUE TO LANDSCAPE ARCH
2	JAN 31, 24	RESUBMISSION FOR DP
1	SEP 20, 23	RESUBMISSION FOR DP

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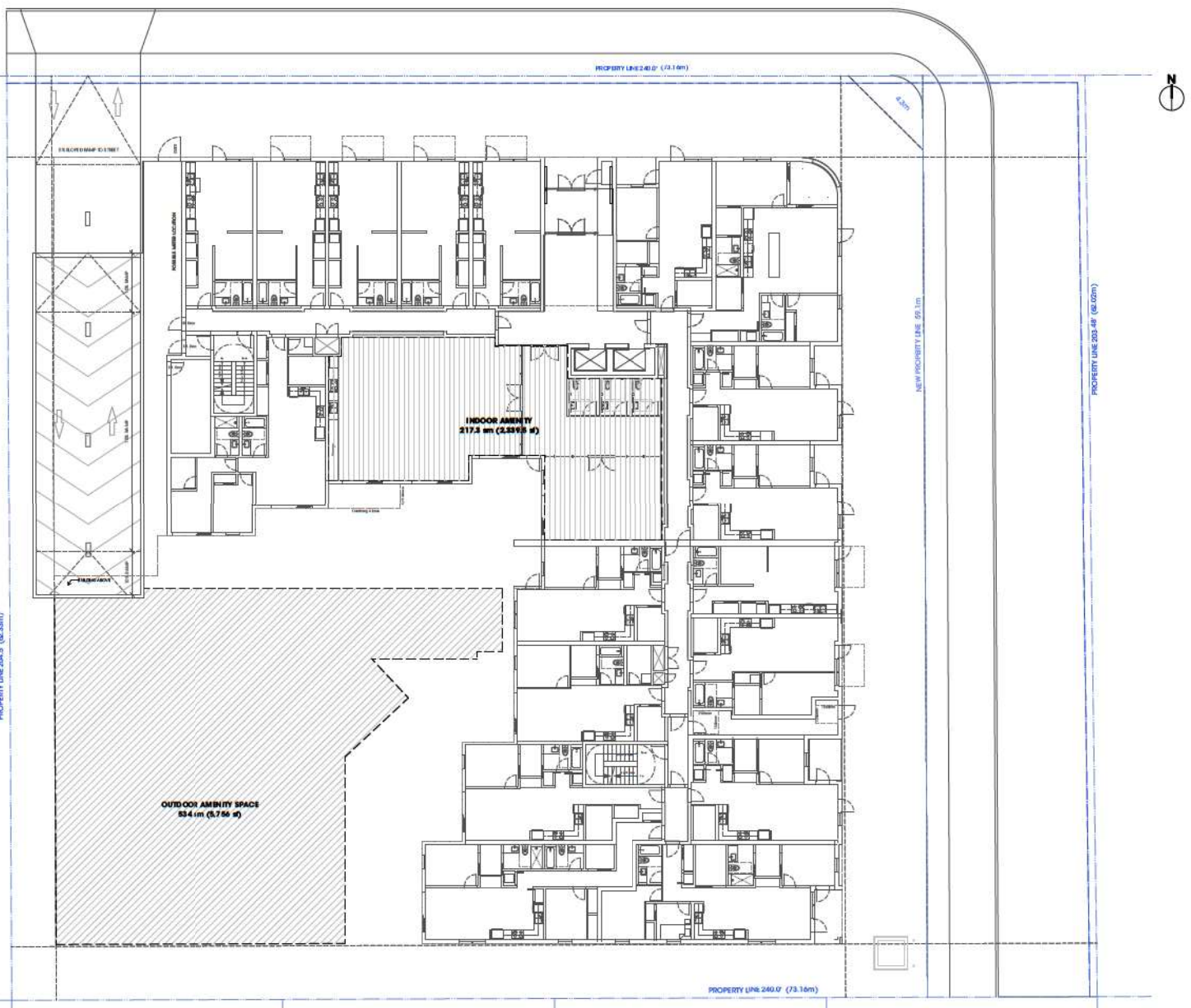
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PROJECT
Proper
 1400, 1400, 1400, 1400
CITY OF SURREY, BC
 PROJECT NO. 2018

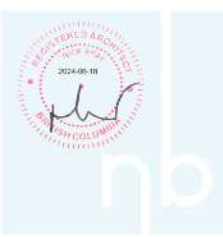
AMENITY PLAN

SCALE AS NOTED

A010



1 AMENITY PLAN
 Scale: 1:125



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN • DEVELOPMENTS

REV	DATE	DESCRIPTION
4	JUN 18, 24	RESUBMISSION FOR DP
3	APR 08, 24	RESUBMISSION FOR DP
2	MARCH 24	RESUBMISSION FOR DP
1	FEB 08, 24	ISSUED FOR DP

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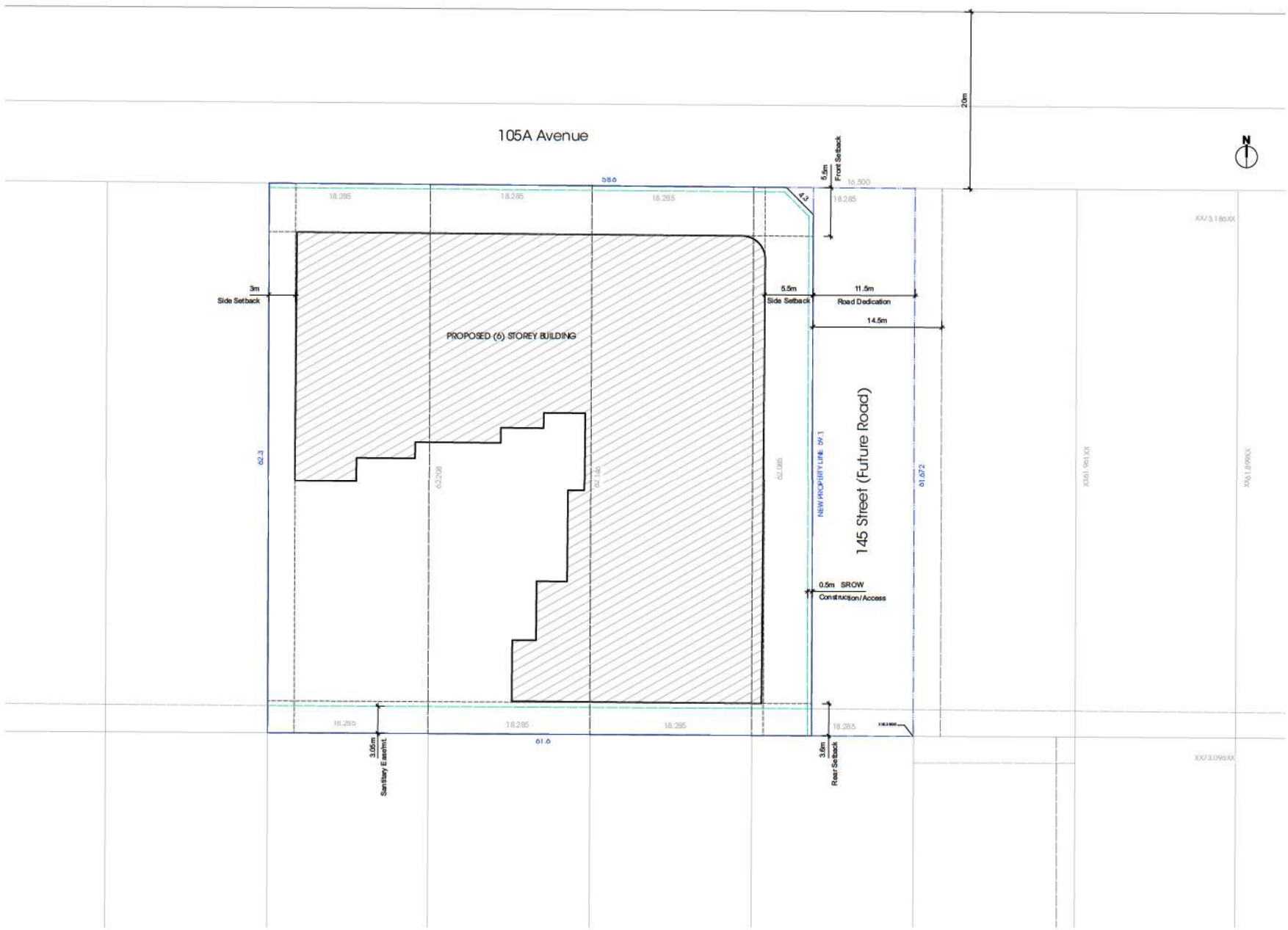
When dimensions are given, they are based on the scaled drawings. Dimensions shall not be used for construction. All dimensions and conditions on the site and ground conditions of site, dimensions or materials information received in contract documents shall documents. Failure to obtain such information renders the Contractor responsible for any resulting program work and the cost of construction.

PROJECT
 Proper
 145, 146, 148, 150, 152 BAYVIEW
CITY OF SURREY, BC
 PROJECT NO. 23 108

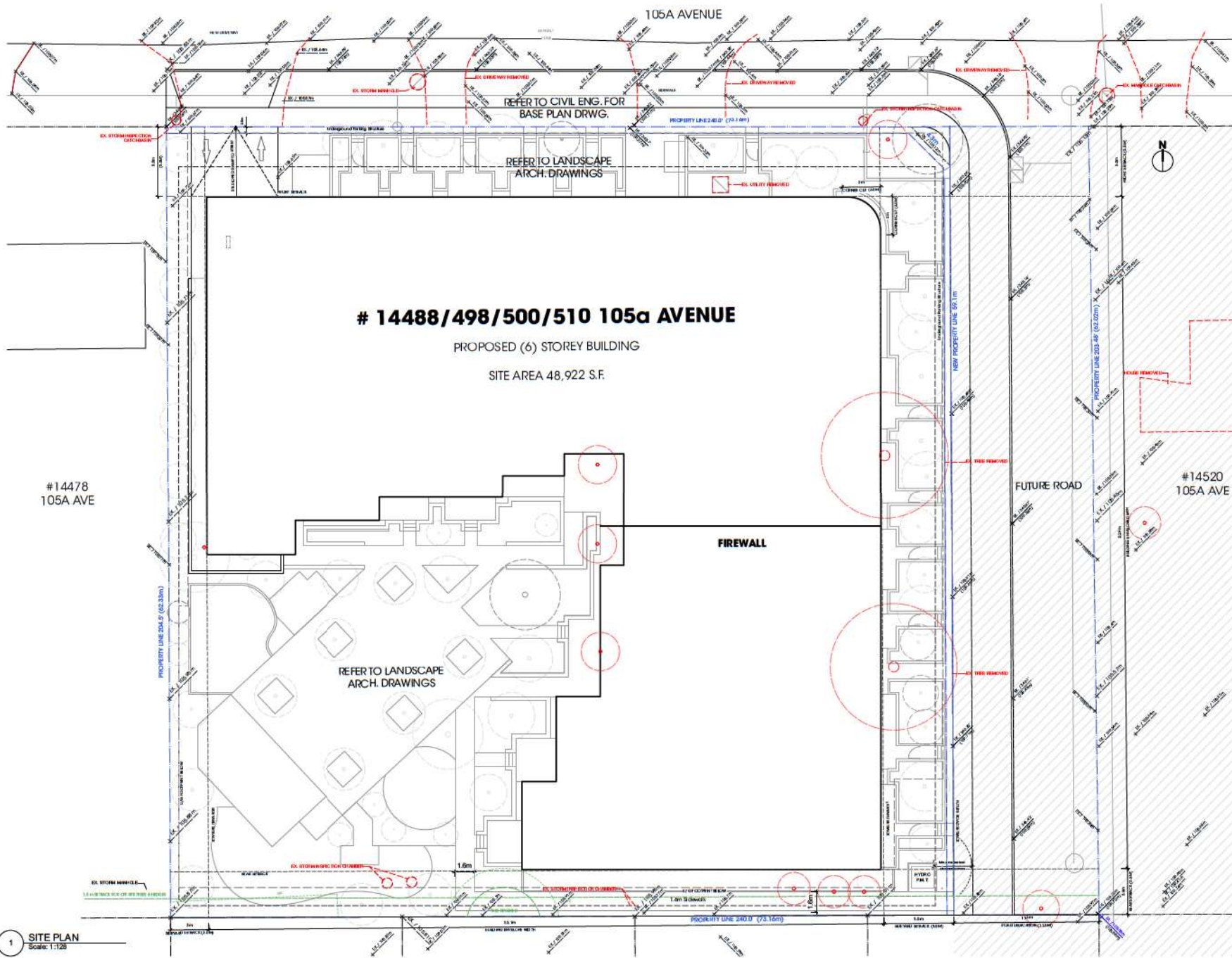
BASE PLAN

SCALE AS NOTED

A011



* DRAWING BASED ON CALCULATED LEGAL SUBDIVISION PLAN (McELHANNEY LTD. MARCH 02, 2023)

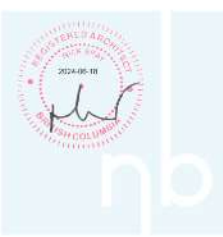


14488/498/500/510 105a AVENUE

PROPOSED (6) STOREY BUILDING

SITE AREA 48,922 S.F.

FIREWALL



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
8	JUN 18, 24	RESUBMISSION FOR DP
7	MAY 22, 24	RESUBMISSION FOR DP
6	APR 08, 24	RESUBMISSION FOR DP
5	MARCH 24	RESUBMISSION FOR DP
4	SEP 22, 23	RESUBMISSION FOR DP
3	JUL 14, 23	ISSUE FOR DP

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PROJECT
 Proper
 1448, 1448, 500, 510 AVENUE
CITY OF SURREY, BC
 PROJECT NO. 23 118

SITE PLAN
 SCALE AS NOTED

A101

1 SITE PLAN
 Scale: 1:125



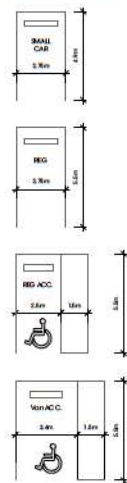
ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

NOTE:
 100% of residential parking spaces
 and 50% of visitor parking spaces
 must be equipped with an energized
 outlet per the Zoning Bylaw.

All parking spaces comply with the
 minimum standards and dimensions
 per the Zoning Bylaw.

PARKING STALL LEGEND



REV	DATE	DESCRIPTION
8	JUN 18, 24	RESUBMISSION FOR DP
7	MAY 22, 24	RESUBMISSION FOR DP
6	APR 06, 24	RESUBMISSION FOR DP
5	MAR 04, 24	RESUBMISSION FOR DP
4	SEP 22, 23	RESUBMISSION FOR DP
3	JUL 14, 23	PREL FOR DP
2	MAY 05, 23	PRELIMINARY DP PACKAGE
1	APR 06, 23	SD ISSUE TO CLIENT

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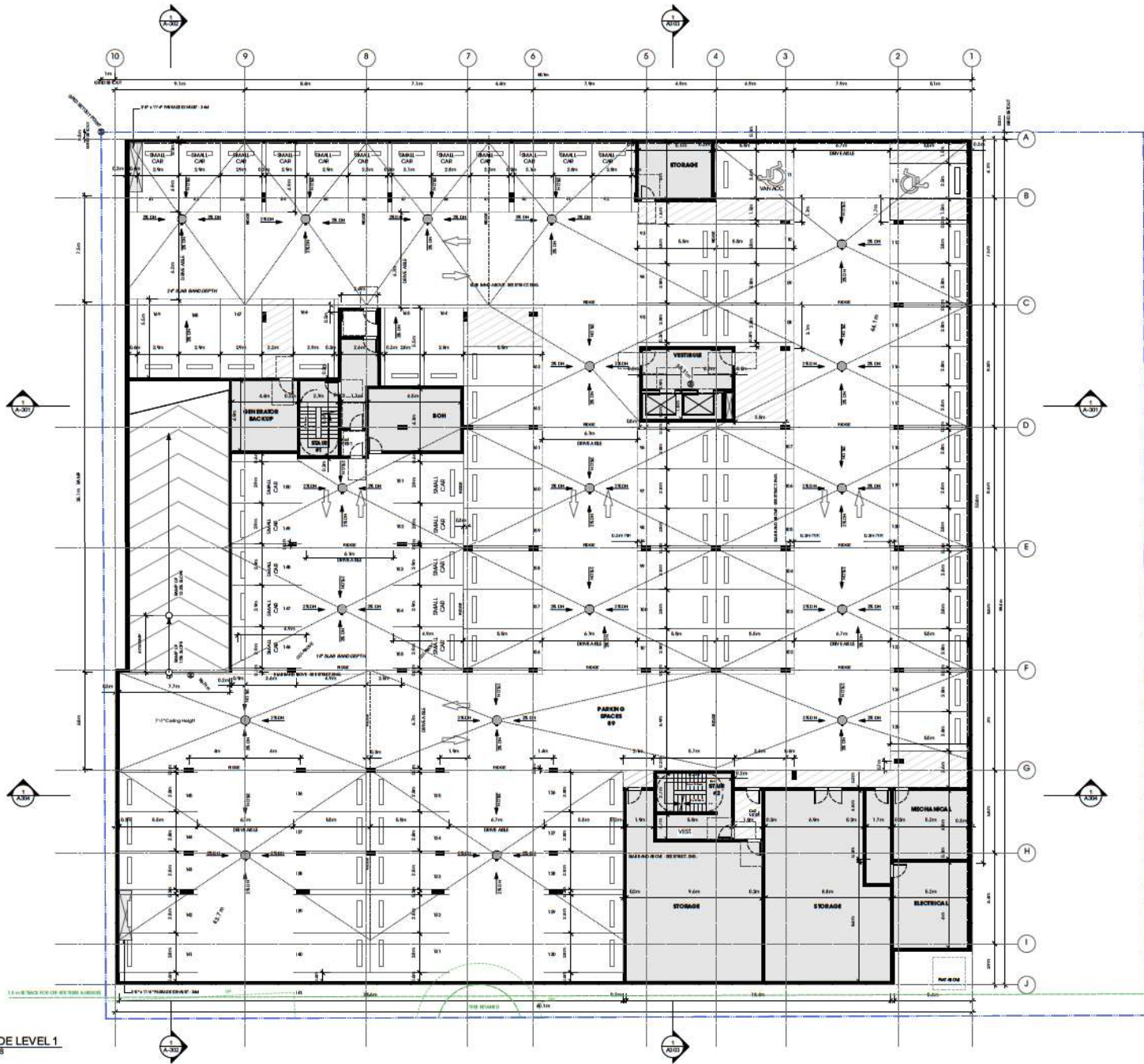
PROJECT
 Proper
 1406, 1408, 1410, 1412 GERRARD
 CITY OF SURREY, BC
 PROJECT NO. 23 118

PARKADE LEVEL 02

SCALE AS NOTED

A102

2 PARKADE LEVEL 1
 Scale: 1:125



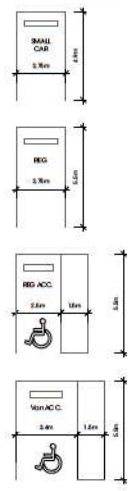


ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

NOTE:
 100% of residential parking spaces and 50% of visitor parking spaces must be equipped with an energized outlet per the Zoning Bylaw.
 All parking spaces comply with the minimum standards and dimensions per the Zoning Bylaw.

PARKING STALL LEGEND



REV	DATE	DESCRIPTION
8	JUN 18, 24	RESUBMISSION FOR DP
7	MAY 22, 24	RESUBMISSION FOR DP
6	APR 08, 24	RESUBMISSION FOR DP
5	MAR 04, 24	RESUBMISSION FOR DP
4	SEP 22, 23	RESUBMISSION FOR DP
3	JUL 14, 23	PREL FOR DP
2	MAY 05, 23	PRELIMINARY DP PACKAGE
1	APR 06, 23	SD ISSUE TO CLIENT

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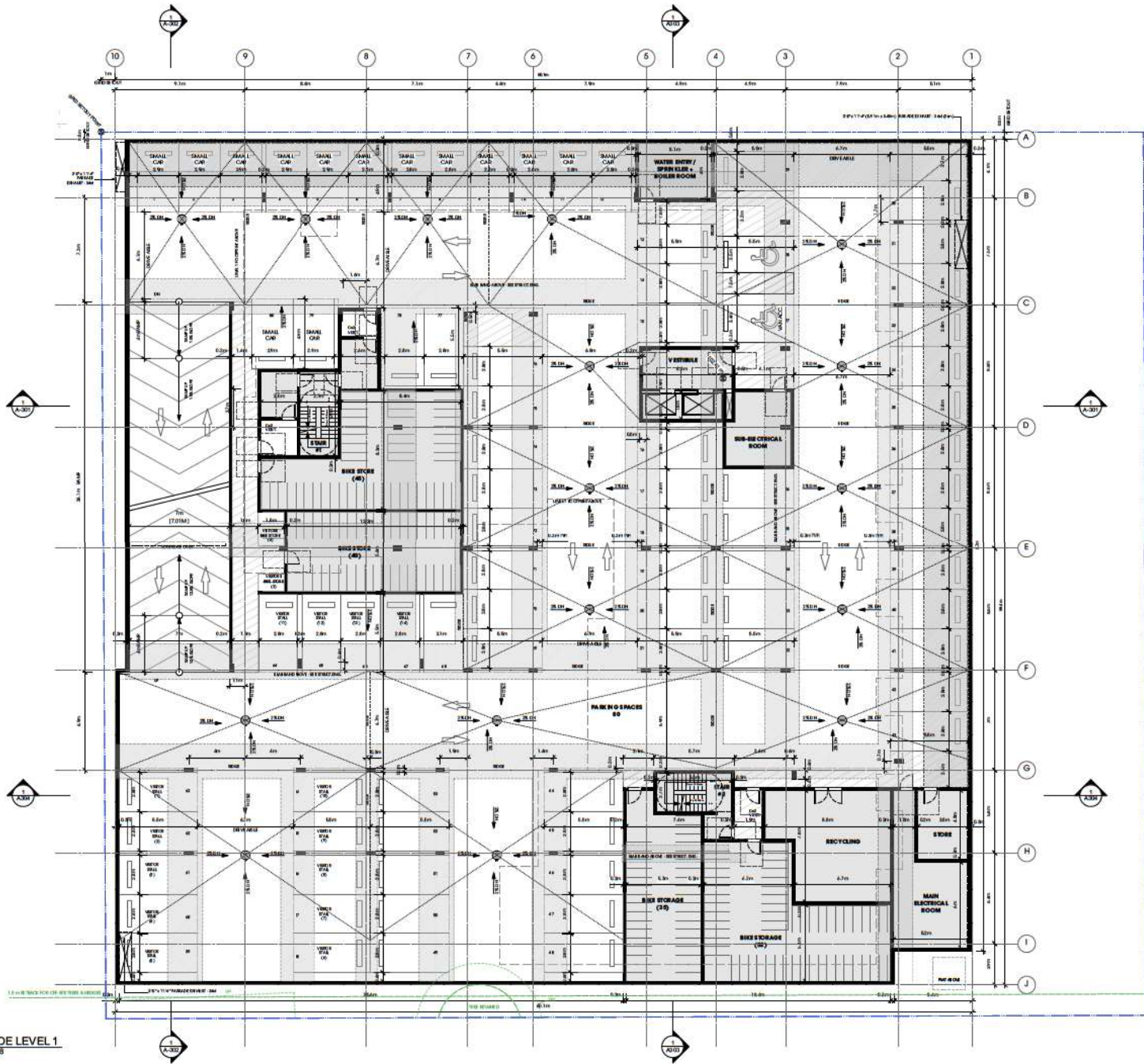
PROJECT
 Proper
 1400, 1400, 1400, 1400
CITY OF SURREY, BC
 PROJECT NO.: 23 118

PARKADE LEVEL 01

SCALE: AS NOTED

A103

1 PARKADE LEVEL 1
 Scale: 1:125





ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
9	JUN 18, 24	RESUBMISSION FOR DP
8	MAY 22, 24	RESUBMISSION FOR DP
7	APR 08, 24	RESUBMISSION FOR DP
6	MARCH 24	RESUBMISSION FOR DP
5	JAN 28, 24	ISSUE TO LANDSCAPE ARCH
4	SEP 22, 23	RESUBMISSION FOR DP
3	JUL 14, 23	ISSUE FOR DP
2	MAY 05, 23	PRELIMINARY OF PACKAGE
1	APR 06, 23	ISSUE TO CLIENT

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PROJEC
Proper
 1400, 1400, 1400, 1400
CITY OF SURREY, BC
 PROJECT NO. 23 118

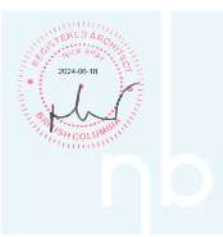
GROUND FLOOR PLAN

SCALE AS NOTED

A104

1 GROUND FLOOR PLAN
 Scale: 1:125





ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
7	JUN 18, 24	RESUBMISSION FOR DP
6	APR 09, 24	RESUBMISSION FOR DP
5	MAR 04, 24	RESUBMISSION FOR DP
4	SEP 22, 23	RESUBMISSION FOR DP
3	JUL 14, 23	ISSUE FOR DP
2	MAY 05, 23	PRELIMINARY DP PACKAGE
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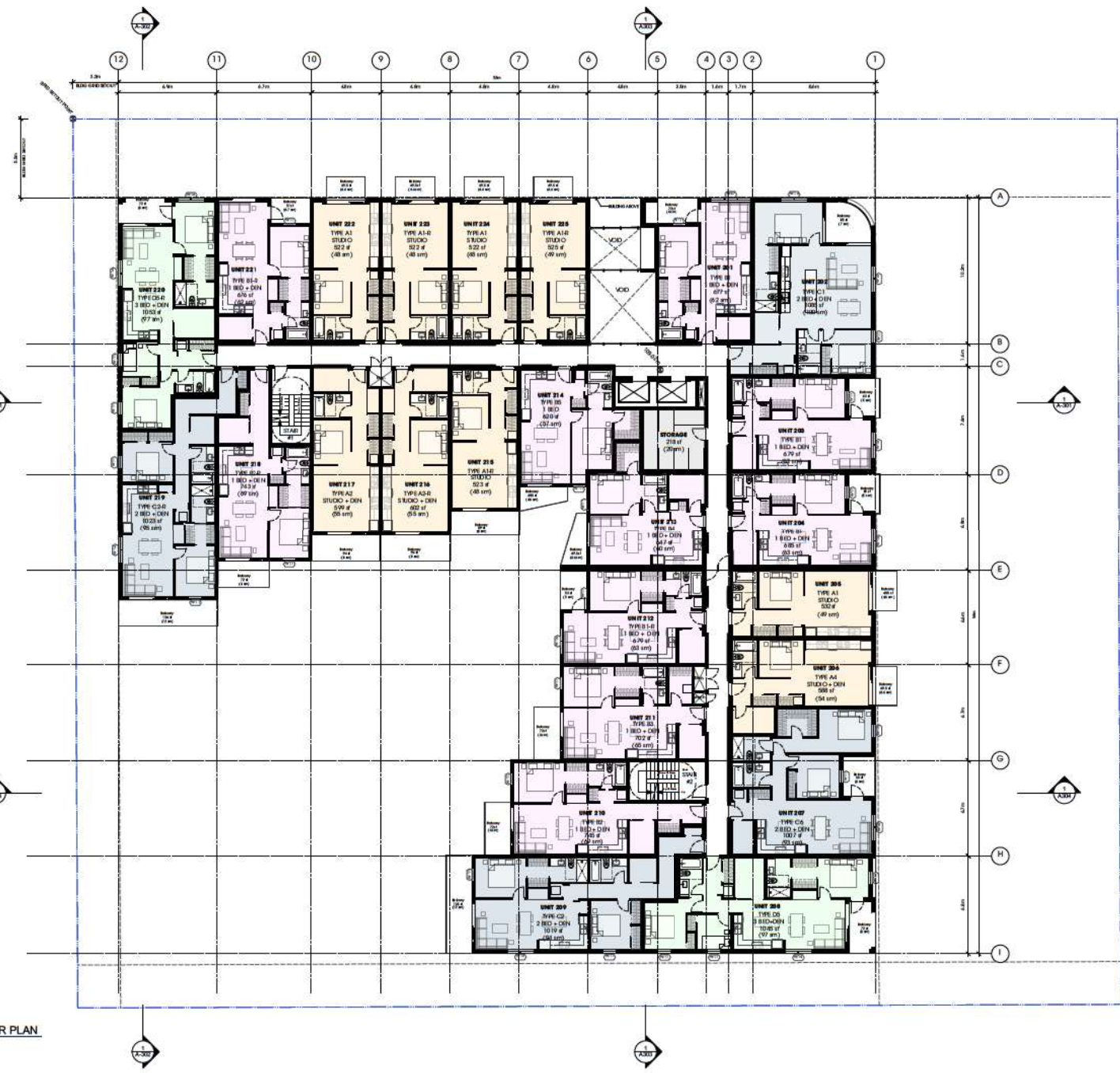
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PROJECT
Proper
 1406, 1408, 1409, 1410 WAVER
CITY OF SURREY, BC
 PROJECT NO. 23108

SECOND FLOOR PLAN

SCALE AS NOTED

A105



1 SECOND FLOOR PLAN
 Scale: 1:125



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
7	JUN 18, 24	RESUBMISSION FOR DP
6	APR 08, 24	RESUBMISSION FOR DP
5	MAR 04, 24	RESUBMISSION FOR DP
4	SEP 22, 23	RESUBMISSION FOR DP
3	JUL 14, 23	ISSUE FOR DP
2	MAY 05, 23	PRELIMINARY OF PACKAGE
1	APR 06, 23	SD ISSUE TO CLIENT

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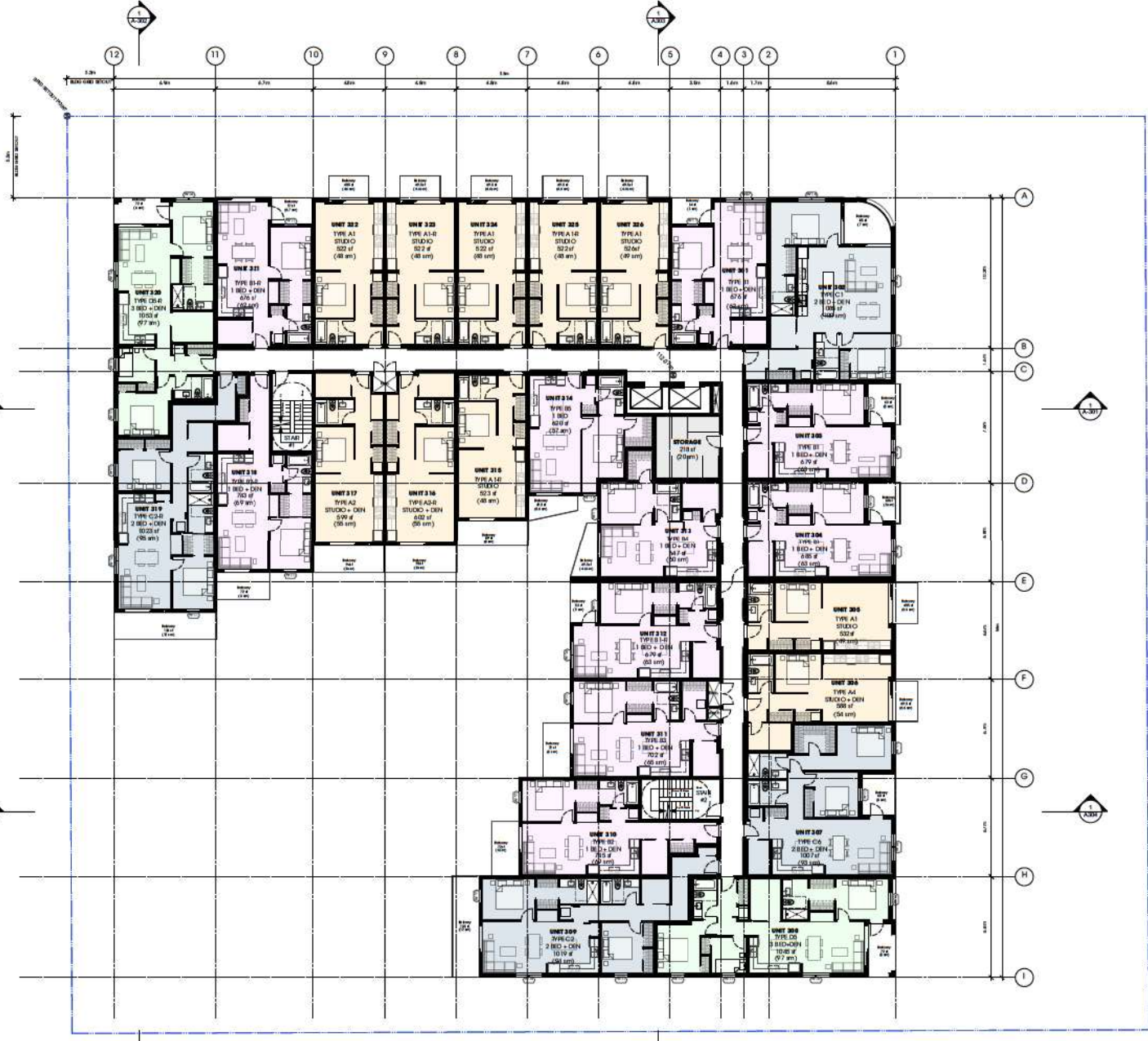
When otherwise stated, have permission to use scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and should identify all areas, dimensions, or details that require clarification to the architect prior to construction. Failure to obtain such clarification renders the Contractor responsible for any resulting program work and the cost of installation.

PROJECT
 Proper
 1486, 1488, 1490, 1492 BAYVIEW
 CITY OF SURREY, BC
 PROJECT NO. 23 118

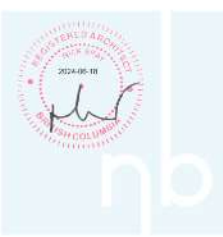
THIRD FLOOR PLAN

SCALE AS NOTED

A106



1 THIRD FLOOR PLAN
 Scale: 1:125



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
7	JUN 18, 24	RESUBMISSION FOR DP
6	APR 08, 24	RESUBMISSION FOR DP
5	MAR 04, 24	RESUBMISSION FOR DP
4	SEP 22, 23	RESUBMISSION FOR DP
3	JUL 14, 23	ISSUE FOR DP
2	MAY 05, 23	PRELIMINARY OF PACKAGE
1	APR 06, 23	ISSUE TO CLIENT

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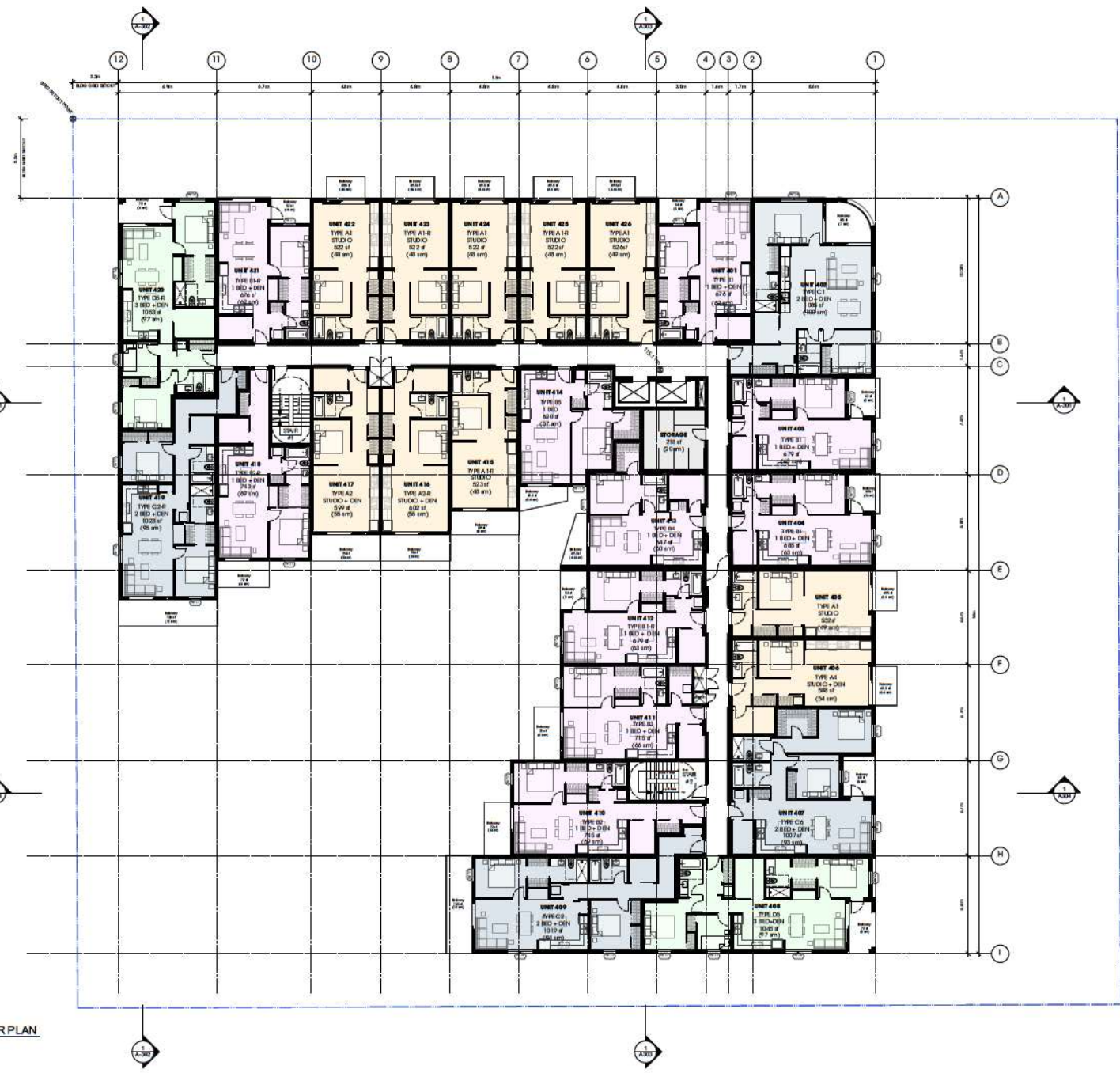
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PROJECT
Proper
 1406, 1408, 1410, 1412 BAYVIEW
CITY OF SURREY, BC
 PROJECT NO. 23 118

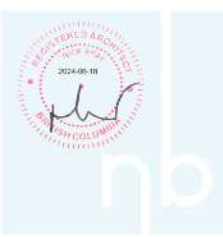
FOURTH FLOOR PLAN

SCALE AS NOTED

A107



1 FOURTH FLOOR PLAN
 Scale: 1:125



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
7	JUN 18, 24	RESUBMISSION FOR DP
6	APR 08, 24	RESUBMISSION FOR DP
5	MAR 04, 24	RESUBMISSION FOR DP
4	SEP 22, 23	RESUBMISSION FOR DP
3	JUL 14, 23	ISSUE FOR DP
2	MAY 05, 23	PRELIMINARY OF PACKAGE
1	APR 06, 23	SD ISSUE TO CLIENT

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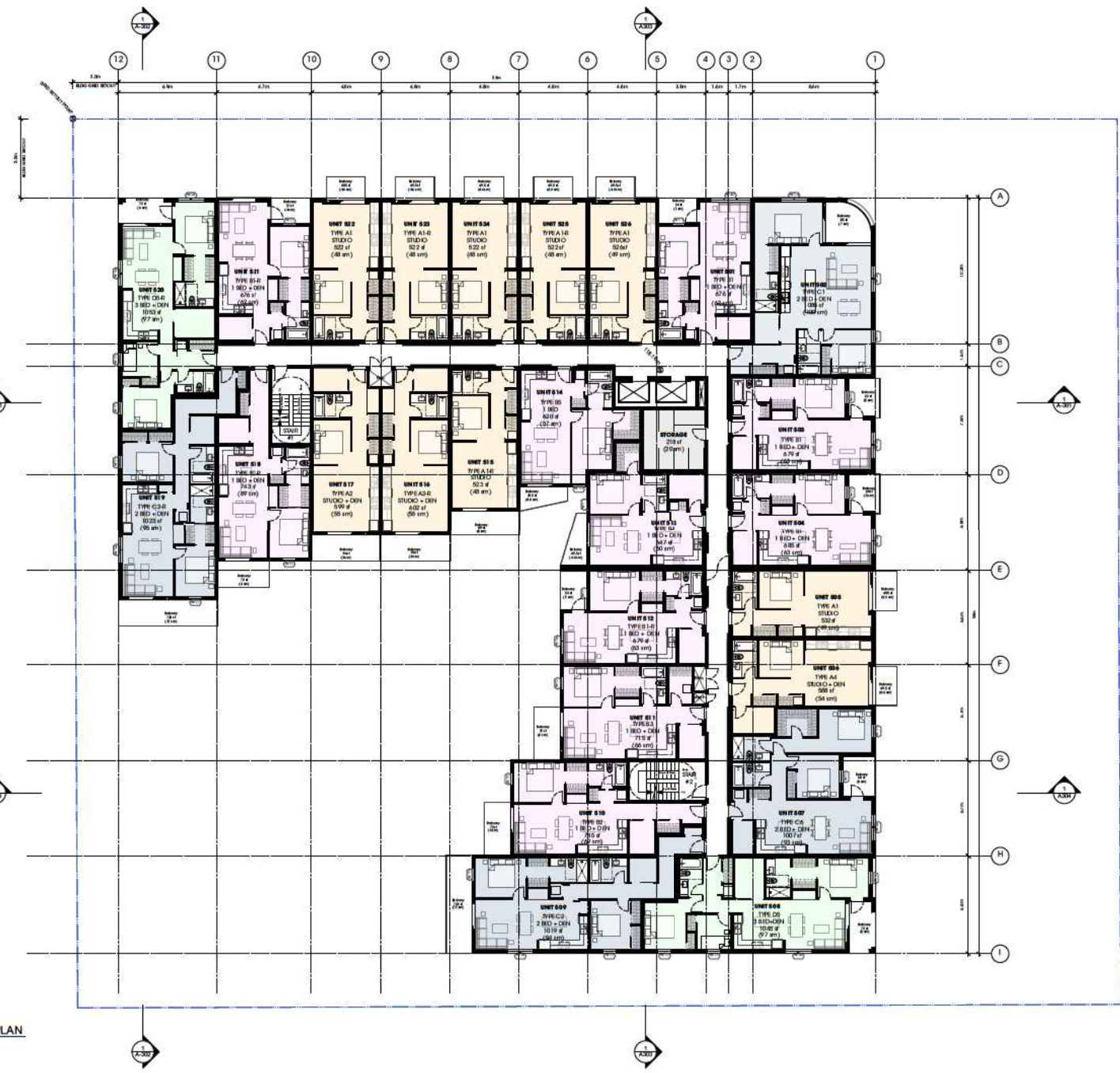
When otherwise stated, have permission to use scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and should identify all errors, omissions, or omissions of information received in contract documents. Failure to obtain such information renders the Contractor responsible for any resulting expense and the cost of work.

PROJECT
Proper
 1400, 1400, 1400, 1400
CITY OF SURREY, BC
 PROJECT NO. 23 108

FIFTH FLOOR PLAN

SCALE AS NOTED

A108



1 FIFTH FLOOR PLAN
 Scale: 1:120



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
7	JUN 18, 24	RESUBMISSION FOR DP
6	APR 08, 24	RESUBMISSION FOR DP
5	MAR 04, 24	RESUBMISSION FOR DP
4	SEP 22, 23	RESUBMISSION FOR DP
3	JUL 14, 23	ISSUE FOR DP
2	MAY 05, 23	PRELIMINARY OF PACKAGE
1	APR 06, 23	SD ISSUE TO CLIENT

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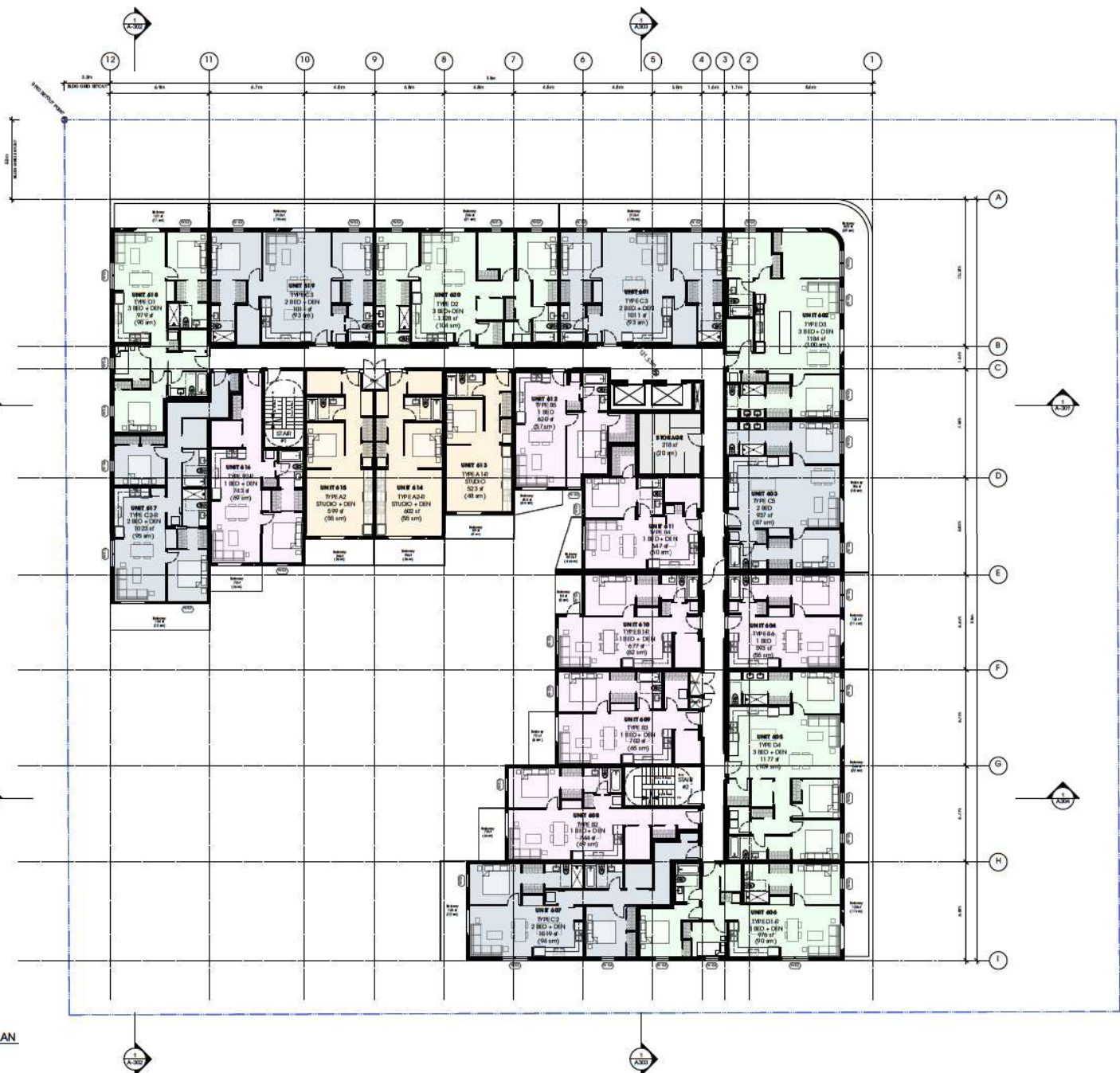
When documents shall have been prepared and issued, the contractor shall be responsible for all construction and conditions on the job and should obtain clarification of any discrepancies or missing information contained in contract documents and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting program work and the cost of such work.

PROJECT
Proper
 1406, 1408, 1410, 1412 BRAY AVE
CITY OF SURREY, BC
 PROJECT NO. 23 118

SIXTH FLOOR PLAN

SCALE AS NOTED

A109



1 SIXTH FLOOR PLAN
 Scale: 1:125



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
7	JUN 18, 24	RESUBMISSION FOR DP
6	APR 08, 24	RESUBMISSION FOR DP
5	MAR 04, 24	RESUBMISSION FOR DP
4	SEP 22, 23	RESUBMISSION FOR DP
3	JUL 14, 23	ISSUE FOR DP
2	MAY 05, 23	PRELIMINARY OF PACKAGE
1	APR 06, 23	ISSUE TO CLIENT

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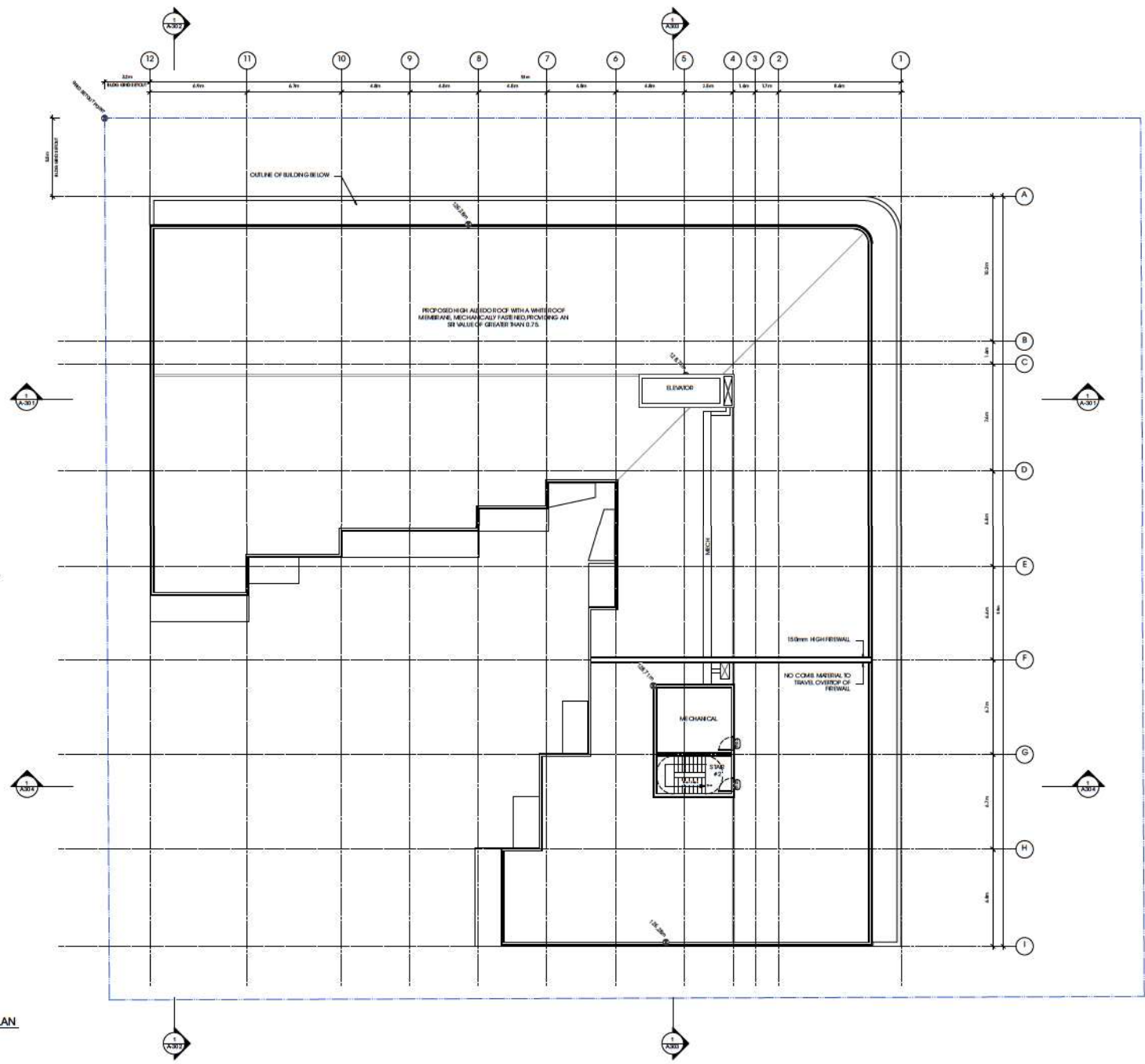
When drawings shall have been prepared or used elsewhere, the contractor shall verify the accuracy of all dimensions and conditions on the job, and assume full responsibility for any discrepancies or omissions of information received in contract documents and documents. Failure to obtain such information renders the Contractor responsible for any resulting program work and the cost of installation.

PROJECT
Proper
 1400, 1400, 1400 WESTBANK
CITY OF SURREY, BC
 PROJECT NO. 23 118

ROOF PLAN

SCALE AS NOTED

A110

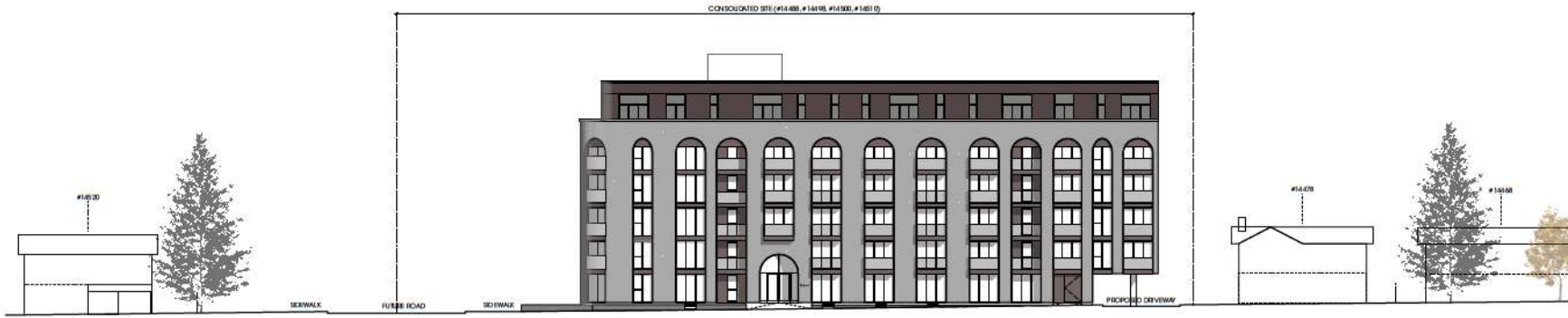


1 ROOF PLAN
 Scale: 1:125



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS



1 NORTH ELEVATION (105A AVE)
 Scale: 1:192



2 EAST ELEVATION (FUTURE ROAD)
 Scale: 1:192

REV	DATE	DESCRIPTION
3	JUN 18, 24	RESUBMISSION FOR DP
4	JUN 18, 24	RESUBMISSION FOR DP
3	MAR 14, 24	RESUBMISSION FOR DP
2	SEP 22, 23	RESUBMISSION FOR DP
1	JUL 14, 23	ISSUE FOR DP

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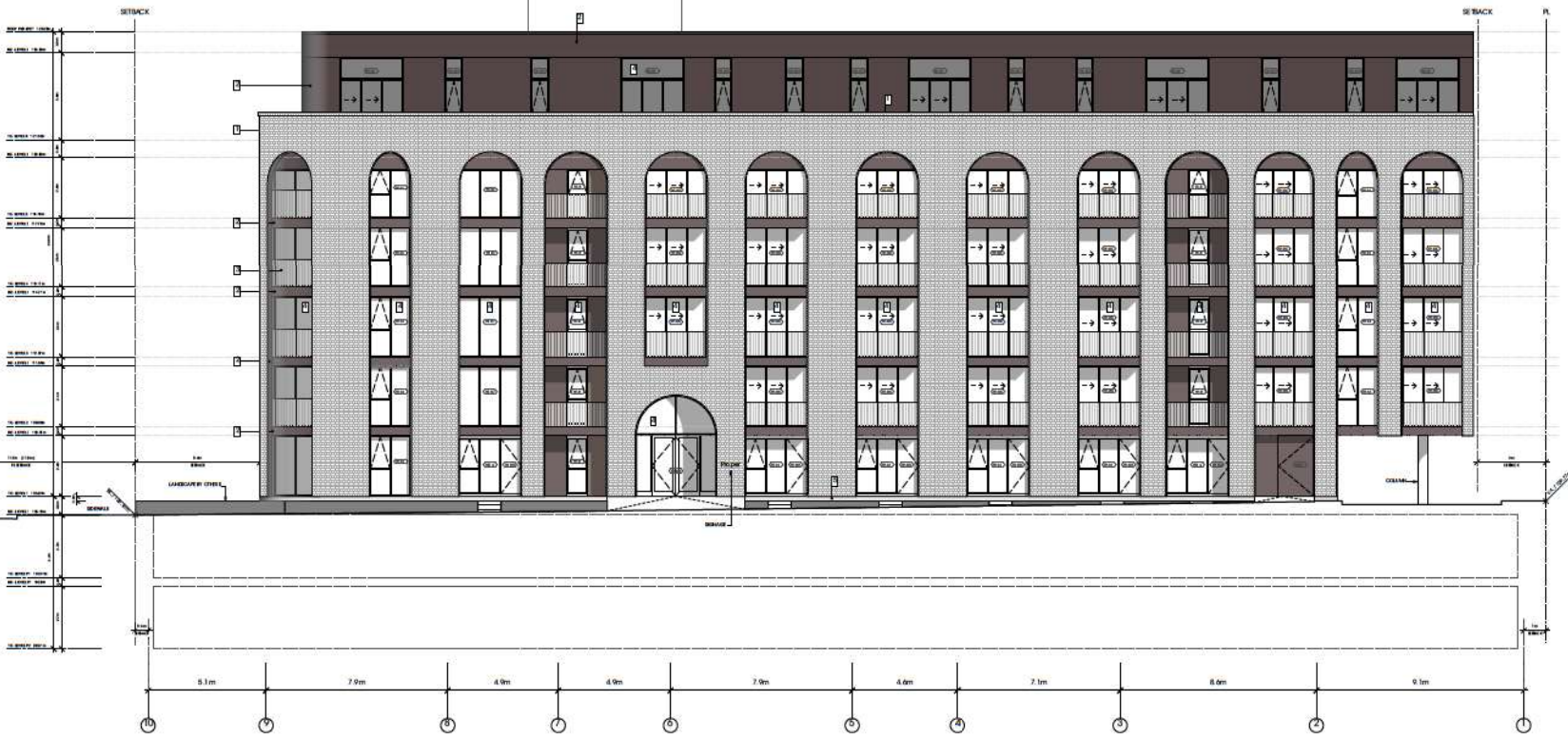
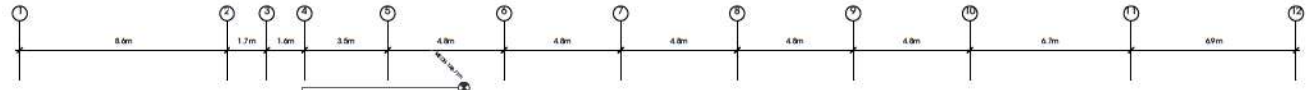
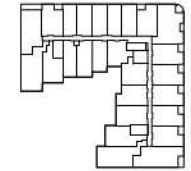
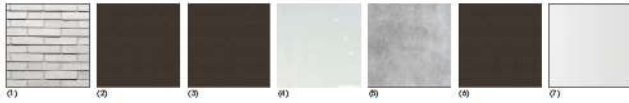
When drawings shall have permission over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and should verification of same, dimensions or scaled information contained in contract documents and documents. Failure to obtain such verification renders the Contractor responsible for any resulting program work and the cost of such work.

PROJECT
Proper
 1406, 1408, 1410, 1412 105A AVE
 CITY OF SURREY, BC
 PROJECT NO. 23 118

STREETSCAPE
ELEVATION
 SCALE AS NOTED

A201

MATERIAL KEY



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
3	JUN 18, 24	RESUBMISSION FOR DP
4	JUN 18, 24	RESUBMISSION FOR DP
3	MARCH 24	RESUBMISSION FOR DP
2	SEP 22, 23	RESUBMISSION FOR DP
1	JUL 14, 23	ISSUE FOR DP

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PROJECT
Proper
 1400, 1400, 1400, 1400
CITY OF SURREY, BC
 PROJECT NO. 23 118

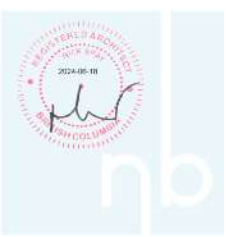
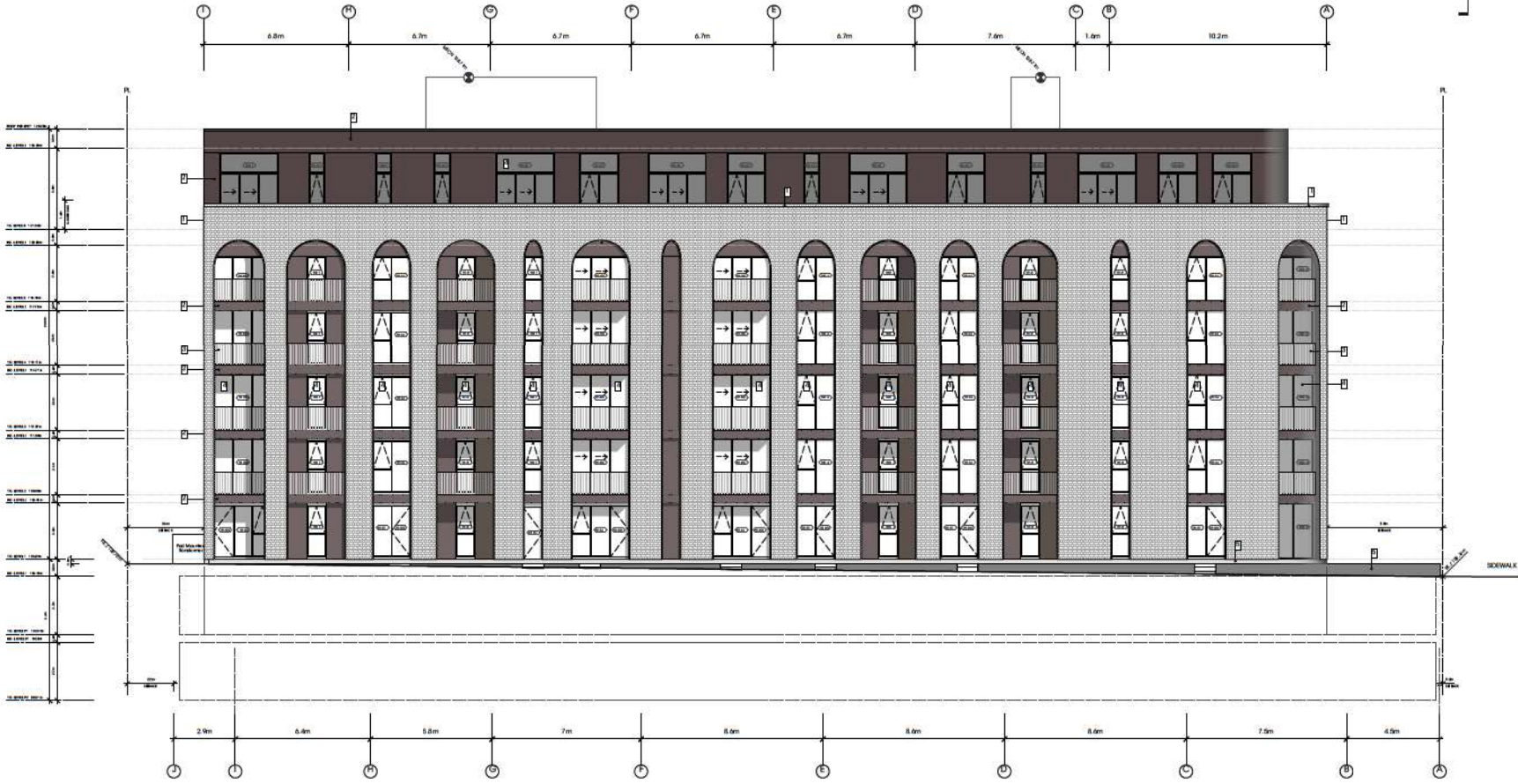
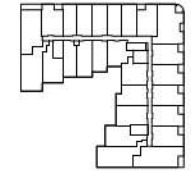
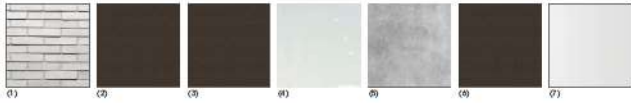
NORTH ELEVATION

SCALE AS NOTED

A202

1 NORTH ELEVATION (105A AVE)
 Scale: 1:36

MATERIAL KEY



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
3	JUN 18, 24	RESUBMISSION FOR OP
4	JUN 18, 24	RESUBMISSION FOR OP
3	MARCH 24	RESUBMISSION FOR OP
2	SEP 22, 23	RESUBMISSION FOR OP
1	JUL 14, 23	ISSUE FOR OP

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When drawings shall have been prepared and issued, the contractor shall be responsible for all construction and conditions on the job, and shall be responsible for any damage to the property of the contractor, and shall be responsible for any damage to the property of the contractor, and shall be responsible for any damage to the property of the contractor.

PROJECT
Proper
 1400, 1400, 1400, 1400
CITY OF SURREY, BC
 PROJECT NO. 23 118

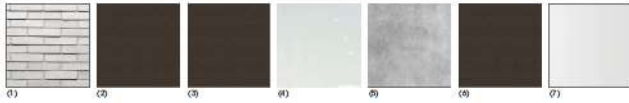
EAST ELEVATION

SCALE AS NOTED

A203

1 EAST ELEVATION (FUTURE RD)
 Scale: 1:50

MATERIAL KEY



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN • DEVELOPMENTS

REV	DATE	DESCRIPTION
3	JUN 18, 24	RESUBMISSION FOR DP
4	JUN 18, 24	RESUBMISSION FOR DP
3	MAR 04, 24	RESUBMISSION FOR DP
2	SEP 22, 23	RESUBMISSION FOR DP
1	JUL 14, 23	ISSUE FOR DP

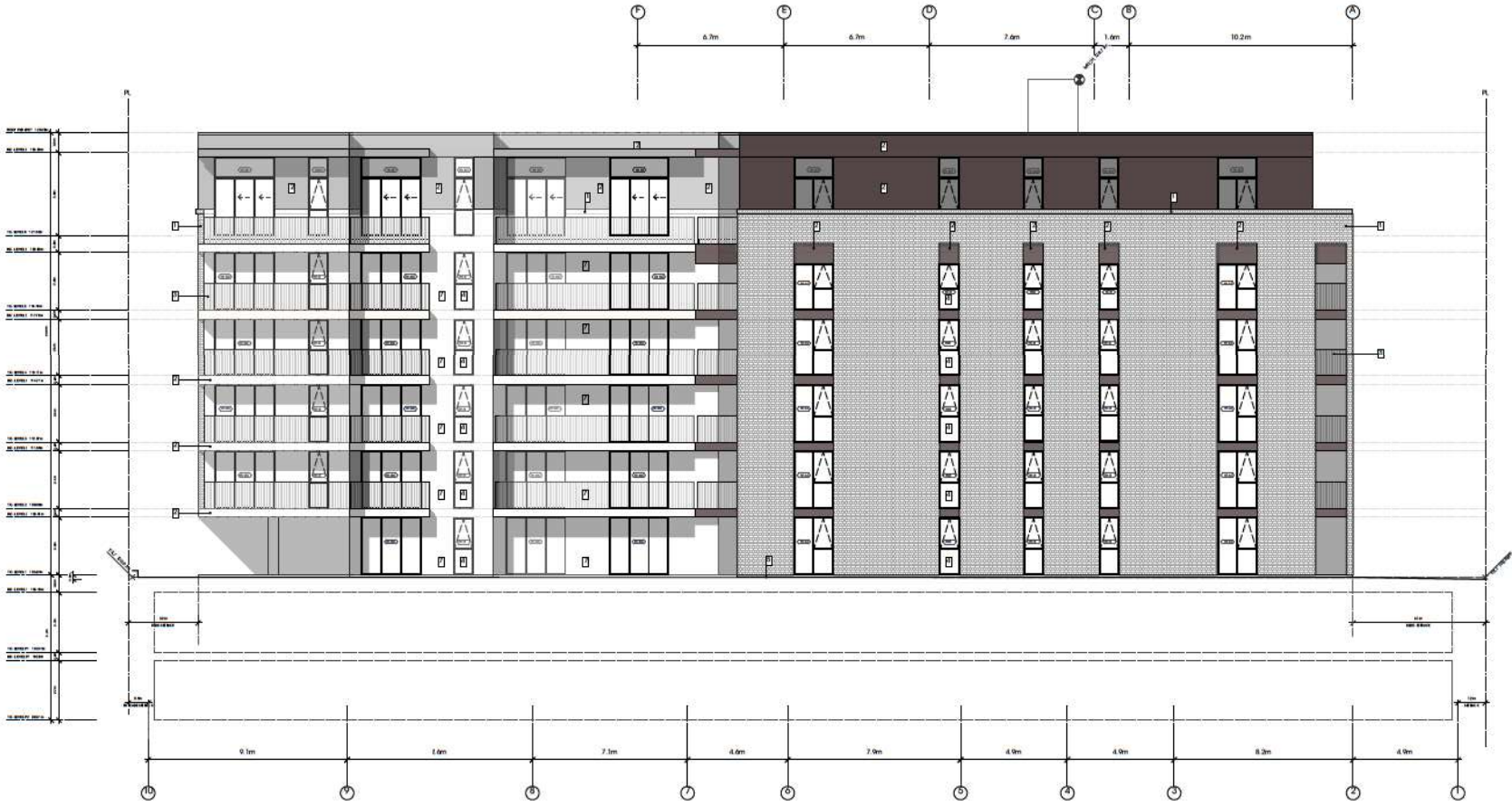
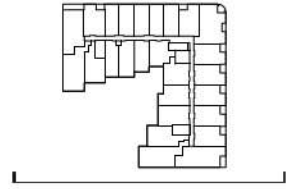
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When drawings shall have permission over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and should identify all errors, omissions or deviations in the drawings received in writing. The Contractor is responsible for any resulting program work and the cost of all work.

PROJECT
Proper
 1400, 1406, 1408, 1410 BAYVIEW
CITY OF SURREY, BC
 PROJECT NO. 23 118

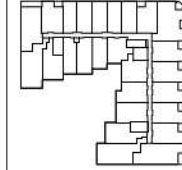
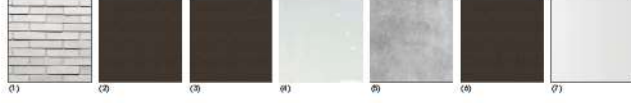
SOUTH ELEVATION
 SCALE AS NOTED

A204



1 SOUTH ELEVATION (NEIGHBOUR PROPERTY)
 Scale: 1:50

MATERIAL KEY



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
3	JUN 18, 24	REVISION FOR DP
4	JUN 18, 24	REVISION FOR DP
3	MARCH 24	REVISION FOR DP
2	SEP 22, 23	REVISION FOR DP
1	JUL 14, 23	ISSUE FOR DP

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When drawings shall have been prepared on your scaled dimensions, the Contractor shall verify and be responsible for all dimensions and conditions on the job and ensure that they are in accordance with the drawings. Failure to obtain such verification renders the Contractor responsible for any resulting program work and the cost of such work.

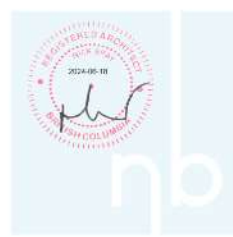
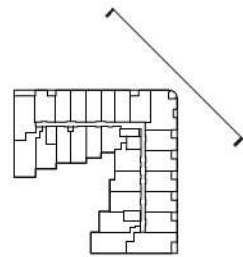
PROJECT
Proper
 1406, 1408, 1410, 1412 BRAY
CITY OF SURREY, BC
 PROJECT NO. 23 118

WEST ELEVATION

SCALE AS NOTED

A205

1 WEST ELEVATION (NEIGHBOURING PROPERTY)
 Scale: 1:50



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN • DEVELOPMENTS



3	JUN 18, 24	RESUBMISSION FOR DP
4	JUN 18, 24	RESUBMISSION FOR DP
3	MARCH 24	RESUBMISSION FOR DP
2	SEP 22, 23	RESUBMISSION FOR DP
1	JUL 14, 23	ISSUE FOR DP
REV	DATE	DESCRIPTION

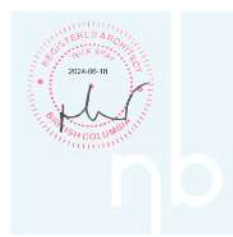
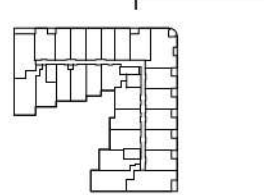
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When drawings shall have been issued, the client shall be responsible for all amendments and conditions on the job, and shall be responsible for the cost of any amendments or conditions. The client shall be responsible for the cost of any amendments or conditions. The client shall be responsible for the cost of any amendments or conditions.

PROJECT
Proper
 1400, 1400, 1400, 1400
CITY OF SURREY, BC
 PROJECT NO. 22 188

3D IMAGE
 SCALE AS NOTED

A220



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
5	JUN 18, 24	RESUBMISSION FOR DP
4	APR 18, 24	RESUBMISSION FOR DP
3	MARCH 24	RESUBMISSION FOR DP
2	SEP 22, 23	RESUBMISSION FOR DP
1	JUL 14, 23	ISSUE FOR DP

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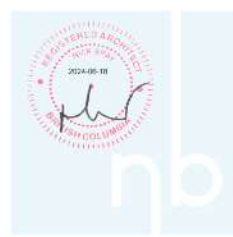
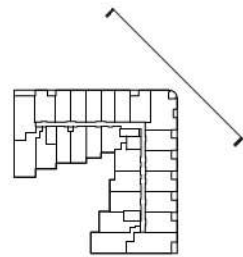
When alternatives shall have been provided and accepted, the contractor shall be responsible for all drawings and conditions on the job and should obtain verification of same, distribution of such data information received in printed, electronic and other documents. Failure to obtain such distribution renders the Contractor responsible for any resulting typographic work and the use of all facilities.

PROJECT
Proper
 1400, 1406, 1408, 1410 BRIDGEMAN
 CITY OF SURREY, BC
 PROJECT NO. 23 108

3D IMAGE
 SCALE AS NOTED

A221





ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
3	JUN 18, 24	RESUBMISSION FOR DP
4	JUN 18, 24	RESUBMISSION FOR DP
3	MARCH 24	RESUBMISSION FOR DP
2	SEP 22, 23	RESUBMISSION FOR DP
1	JUL 14, 23	ISSUE FOR DP

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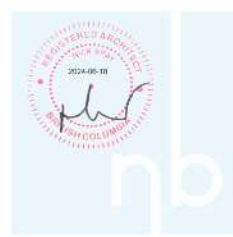
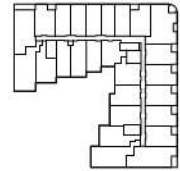
When drawings shall have permission over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and should clarification of same, dimensions or details information contained in contract documents and documents. Parties to obtain such clarification verify the Contractor responsible for any, including typographic work and the cost of all work.

PROJECT
Proper
 1400, 1400, 1400, 1400
CITY OF SURREY, BC
 PROJECT NO. 23 108

3D IMAGE
 SCALE AS NOTED

A222





ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

3	JUN 18, 24	RESUBMISSION FOR DP
4	JUN 18, 24	RESUBMISSION FOR DP
3	MARCH 24	RESUBMISSION FOR DP
2	SEP 22, 23	RESUBMISSION FOR DP
1	JUL 14, 23	ISSUE FOR DP
REV	DATE	DESCRIPTION

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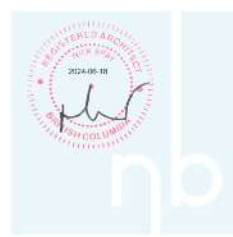
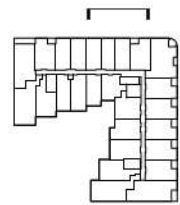
When drawings shall have permission over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and should verification of same, dimensions or scaled information received in printed drawings and documents. Failure to obtain such verification renders the Contractor responsible for any resulting program work and the cost of installation.

PROJECT
Proper
 1480, 1486, 1492, 1498 BRIDGEMAN
 CITY OF SURREY, BC
 PROJECT NO. 23 118

3D IMAGE
 SCALE AS NOTED

A223





ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
3	JUN 18, 24	RESUBMISSION FOR DP
4	JUN 18, 24	RESUBMISSION FOR DP
3	MARCH 24	RESUBMISSION FOR DP
2	SEP 22, 23	RESUBMISSION FOR DP
1	JUL 14, 23	ISSUE FOR DP

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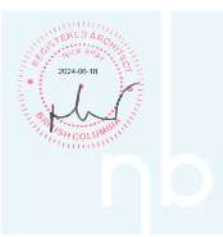
When alternatives shall have been proposed and accepted, the contractor shall be responsible for all construction and conditions on the job, and shall be responsible for the safety, distribution, and maintenance of the job. The contractor shall be responsible for the safety, distribution, and maintenance of the job. The contractor shall be responsible for the safety, distribution, and maintenance of the job.

PROJECT
Proper
 1400, 1400, 1400, 1400
CITY OF SURREY, BC
 PROJECT NO. 20 188

3D IMAGE
 SCALE AS NOTED

A224





ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
6	JUN 18, 24	RESUBMISSION FOR DP
5	MAY 22, 24	RESUBMISSION FOR DP
4	JUN 08, 24	RESUBMISSION FOR DP
3	MARCH 24	RESUBMISSION FOR DP
2	SEP 22, 23	RESUBMISSION FOR DP
1	JUL 14, 23	ISSUE FOR DP

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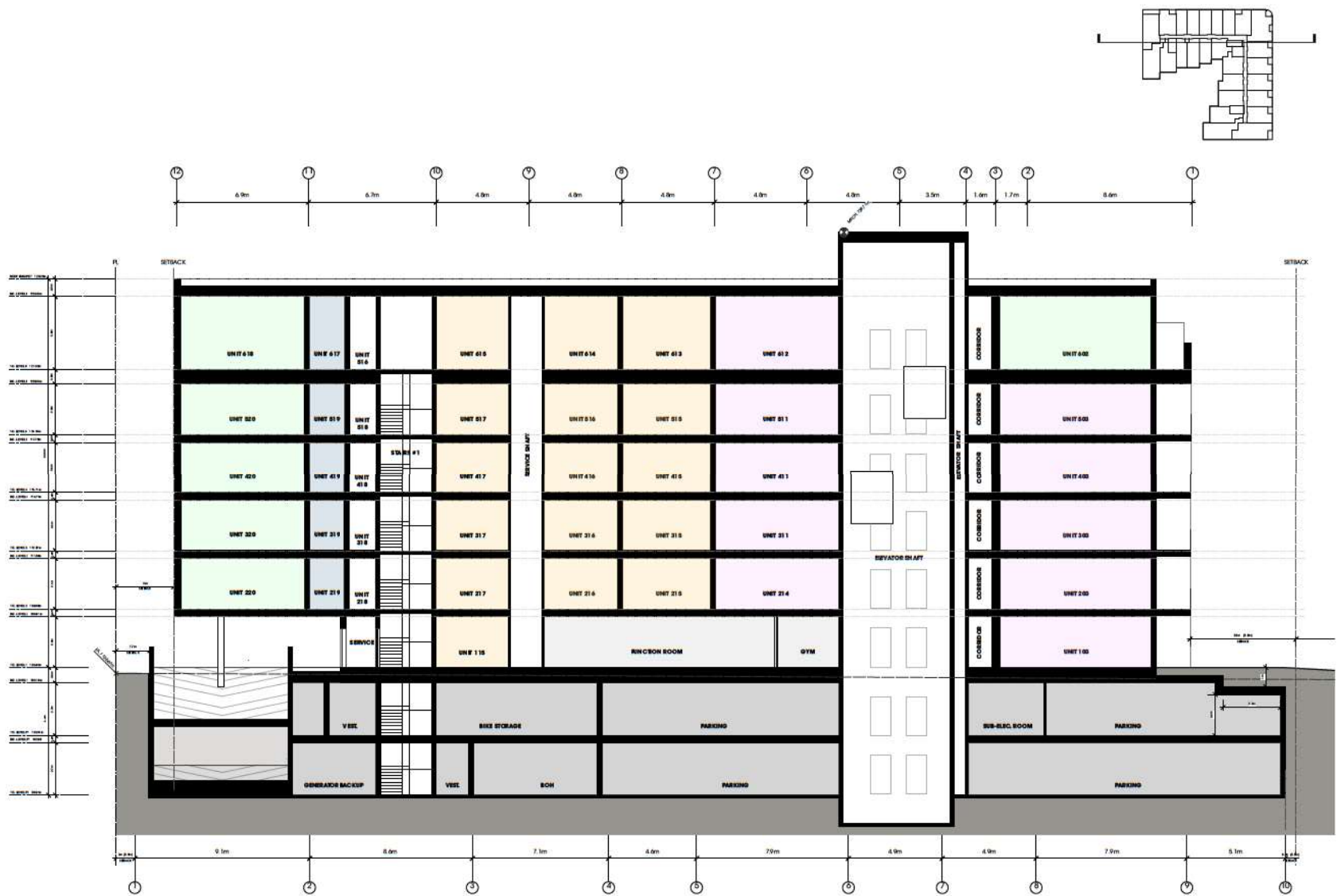
When dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and should clarification of same, discrepancies or conflicts between drawings be brought forward and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting irregular work and the cost of correction.

PROJECT
Proper
 1406, 1408, 1410, 1412 BAYVIEW
CITY OF SURREY, BC
 PROJECT NO. 23 118

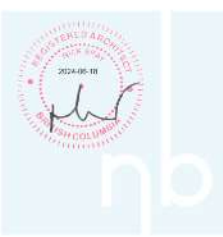
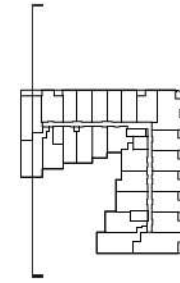
SECTION

SCALE AS NOTED

A301



1 SECTION
 Scale: 1/32"



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
8	JUN 18, 24	RESUBMISSION FOR DP
7	MAY 22, 24	RESUBMISSION FOR DP
6	APR 06, 24	RESUBMISSION FOR DP
5	MAR 04, 24	RESUBMISSION FOR DP
4	SEP 22, 23	RESUBMISSION FOR DP
3	JUL 14, 23	ISSUE FOR DP
2	MAY 05, 23	PRELIMINARY DP PACKAGE
1	APR 06, 23	SD ISSUE TO CLIENT

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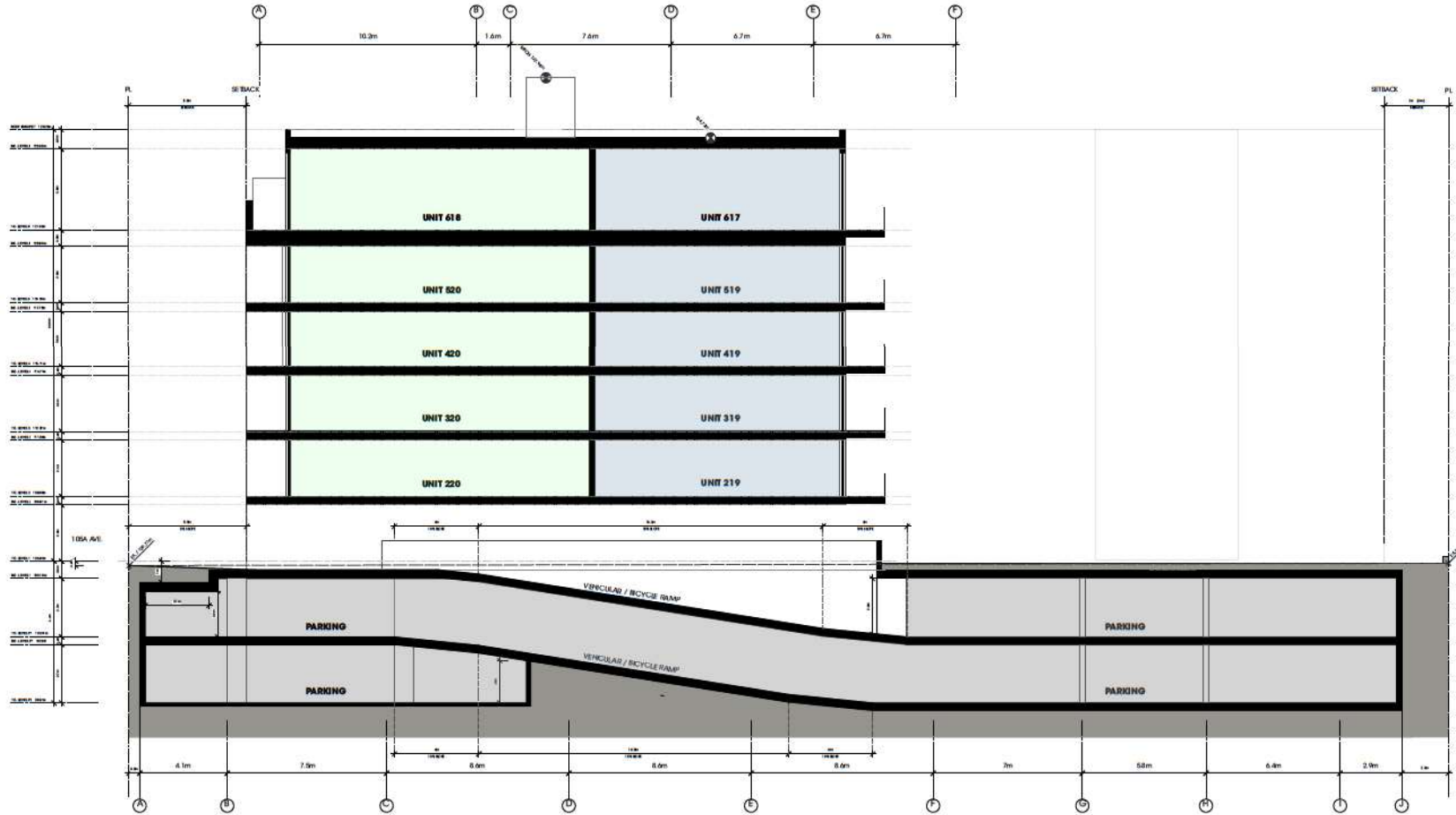
When drawings shall have been prepared under contract, the contractor shall be responsible for all construction and conditions on the job, and should obtain verification of same, dimensions or material specifications contained in contract documents and documents. Failure to obtain such verification renders the Contractor responsible for any resulting program work and the cost of such work.

PROJECT
Proper
 1400, 1400, 1400 WESTBANK
CITY OF SURREY, BC
 PROJECT NO. 23 188

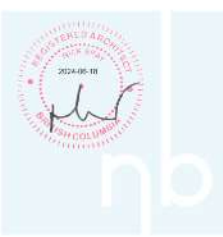
SECTION

SCALE AS NOTED

A302



1 SECTION
 Scale: 1:30



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
5	JUN 18, 24	RESUBMISSION FOR DP
4	MAY 22, 24	RESUBMISSION FOR DP
3	APR 08, 24	RESUBMISSION FOR DP
2	MARCH 24	RESUBMISSION FOR DP
1	SEP 22, 23	RESUBMISSION FOR DP

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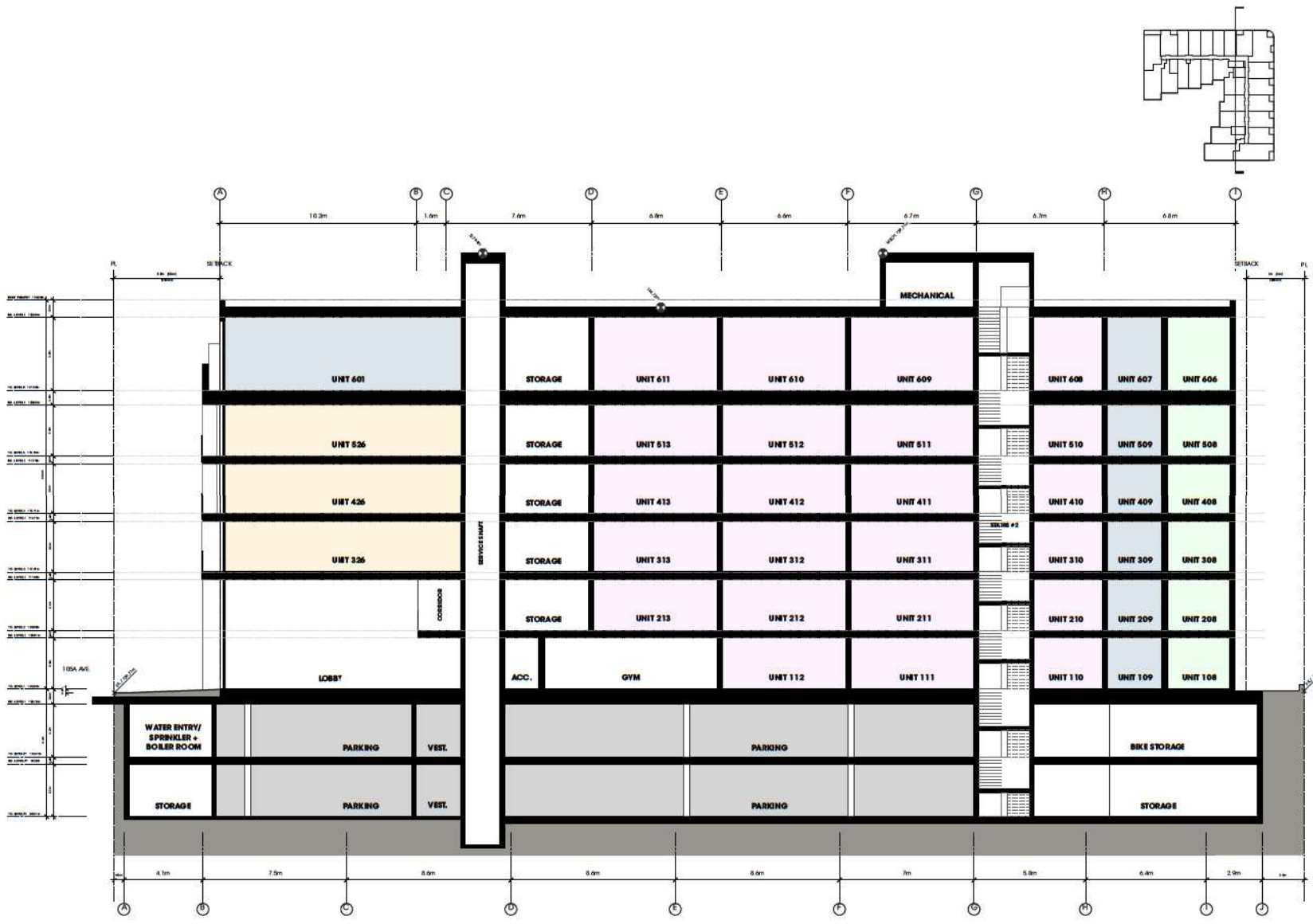
When dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and should clarification of any dimensions or conditions be required, the contractor shall contact the architect immediately. Failure to obtain such clarification renders the Contractor responsible for any resulting program work and the cost of installation.

PROJECT
 Proper
 1406, 1408, 1410, 1412 BRAYVIEW
CITY OF SURREY, BC
 PROJECT NO. 23 118

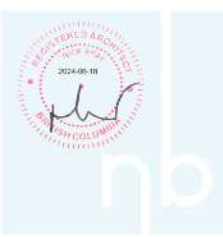
SECTION

SCALE AS NOTED

A303



1 SECTION
 Scale: 1:30



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
5	JUN 18, 24	RESUBMISSION FOR DP
4	MAY 22, 24	RESUBMISSION FOR DP
3	APR 08, 24	RESUBMISSION FOR DP
2	MARCH 24	RESUBMISSION FOR DP
1	SEP 22, 23	RESUBMISSION FOR DP

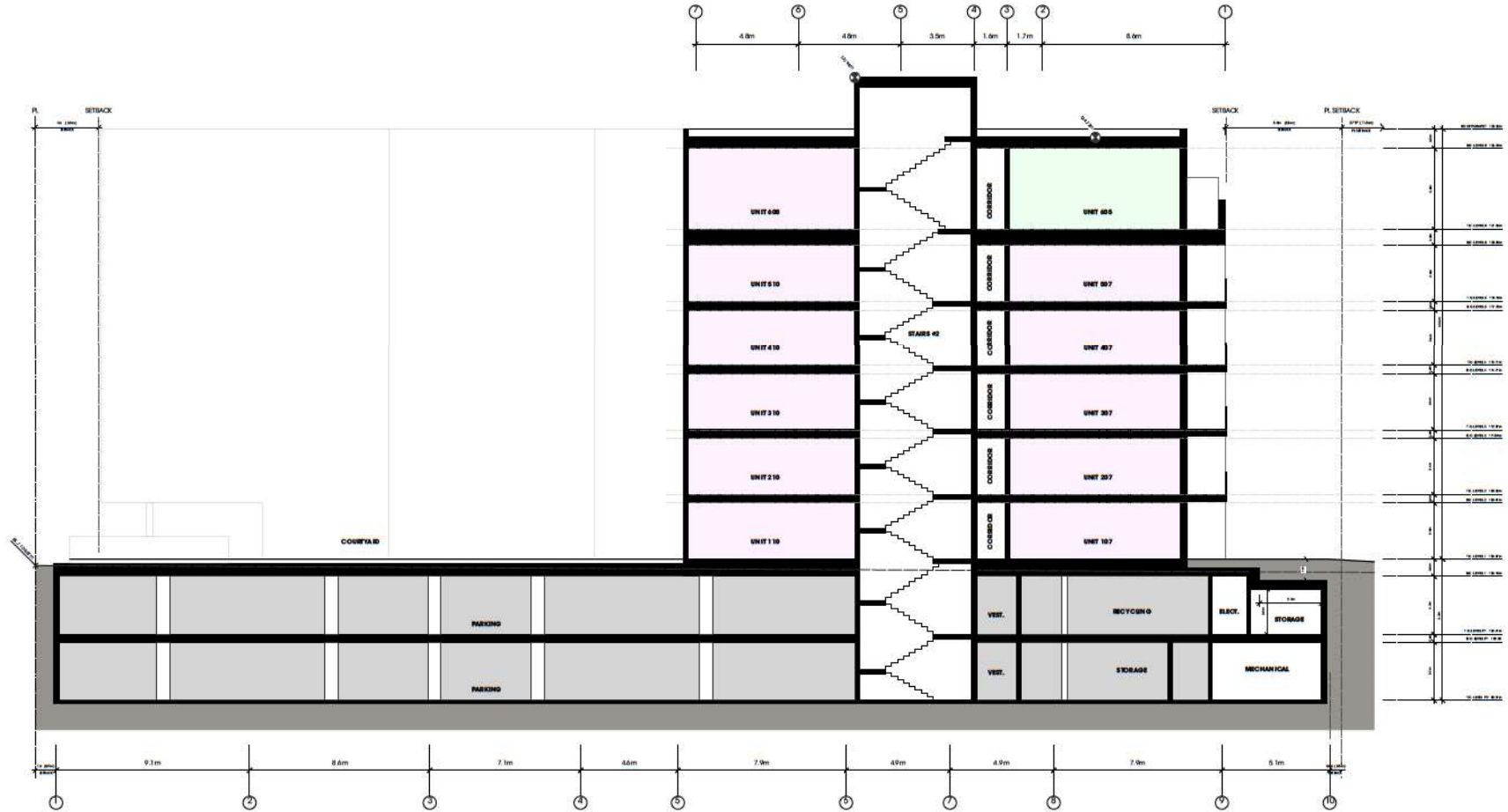
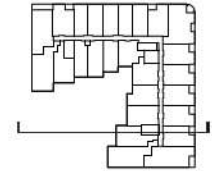
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When dimensions shall have precedence over scaled dimensions. Contractor shall verify and be responsible for all dimensions and conditions on the job and should identify all errors, omissions or conflicts immediately in writing. Contractor shall obtain such clarification from the Contractor responsible for any existing program work and the use of all facilities.

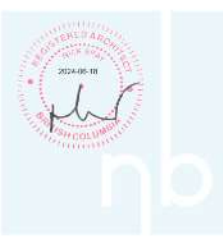
PROJECT
Proper
 1406, 1408, 1410, 1412 BRIDGWAY
 CITY OF SURREY, BC
 PROJECT NO. 23 118

SECTION
 SCALE AS NOTED

A304

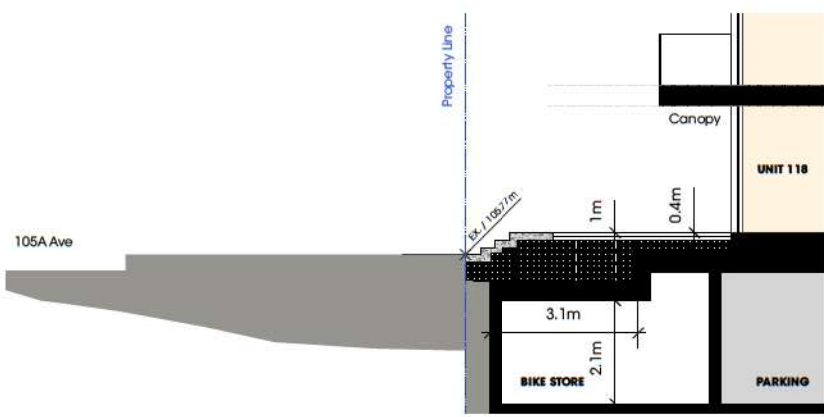


1 SECTION
 Scale: 1/32

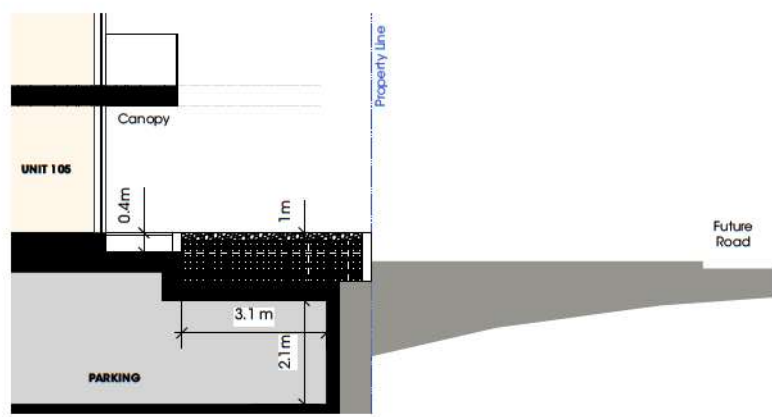


ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS



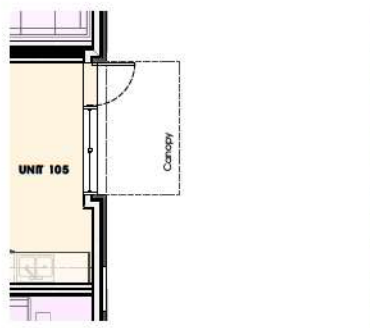
1 SECTION 105A AVE.
 Scale: 1:48



3 SECTION FUTURE ROAD
 Scale: 1:48



2 PLAN 105A AVE.
 Scale: 1:48



4 PLAN FUTURE ROAD
 Scale: 1:48

REV	DATE	DESCRIPTION
2	JUN 18, 24	RESUBMISSION FOR OP
1	MAY 22, 24	RESUBMISSION FOR OP

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PROJECT
Proper
 1406, 1408, 1410, 1412 BRADWAY
 CITY OF SURREY, BC
 PROJECT NO. 23-118

SECTION
 SCALE AS NOTED

A305



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
4	JUN 18, 24	RESUBMISSION FOR DP
3	APR 08, 24	RESUBMISSION FOR DP
2	MARCH 24	RESUBMISSION FOR DP
1	SEP 22, 23	RESUBMISSION FOR DP

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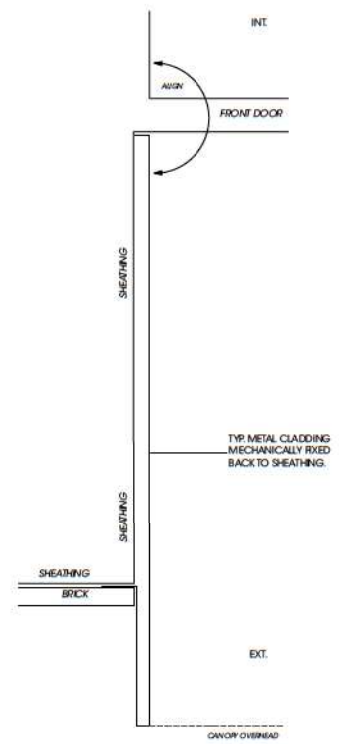
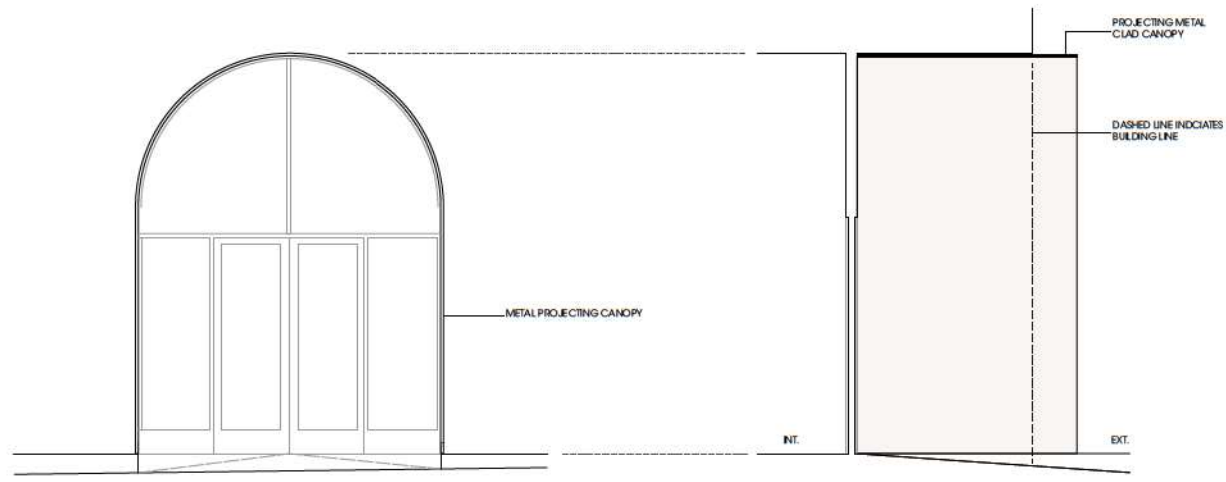
When drawings shall have been prepared and issued, the contractor shall be responsible for all construction and conditions on the job and should obtain all necessary permits, licenses, or other approvals required by local, provincial and federal authorities. Failure to obtain such approvals renders the Contractor responsible for any resulting expense and the cost of all work.

PROJECT
Proper
 1406, 1408, 1410, 1412 BRIDGEMAN
CITY OF SURREY, BC
 PROJECT NO. 23 108

ENTRANCE CANOPY

SCALE AS NOTED

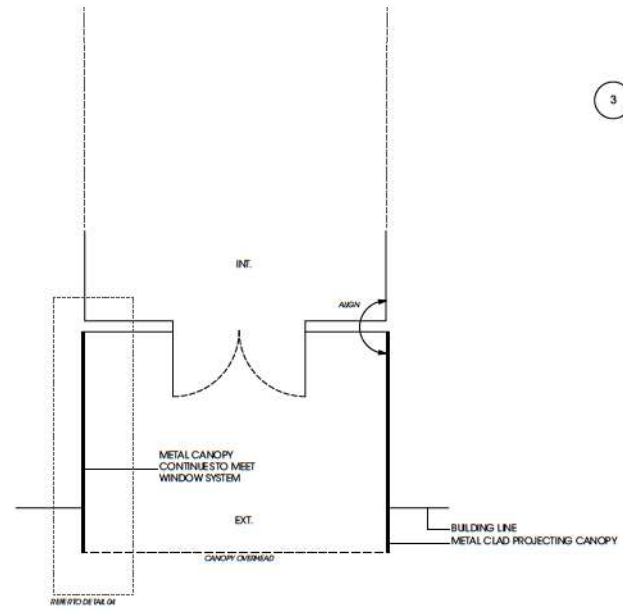
A501



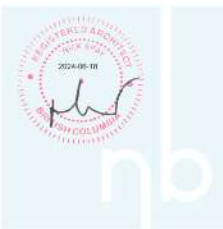
1 ELEVATION
 Scale: 1:32

3 SECTION
 Scale: 1:32

4 DETAIL
 Scale: 1:12



2 PLAN
 Scale: 1:32



ISSUED FOR PERMIT

GATEHOUSE
 DESIGN + DEVELOPMENTS

REV	DATE	DESCRIPTION
4	JUN 18, 24	RESUBMISSION FOR DP
3	APR 08, 24	RESUBMISSION FOR DP
2	MARCH 24	RESUBMISSION FOR DP
1	SEP 22, 23	RESUBMISSION FOR DP

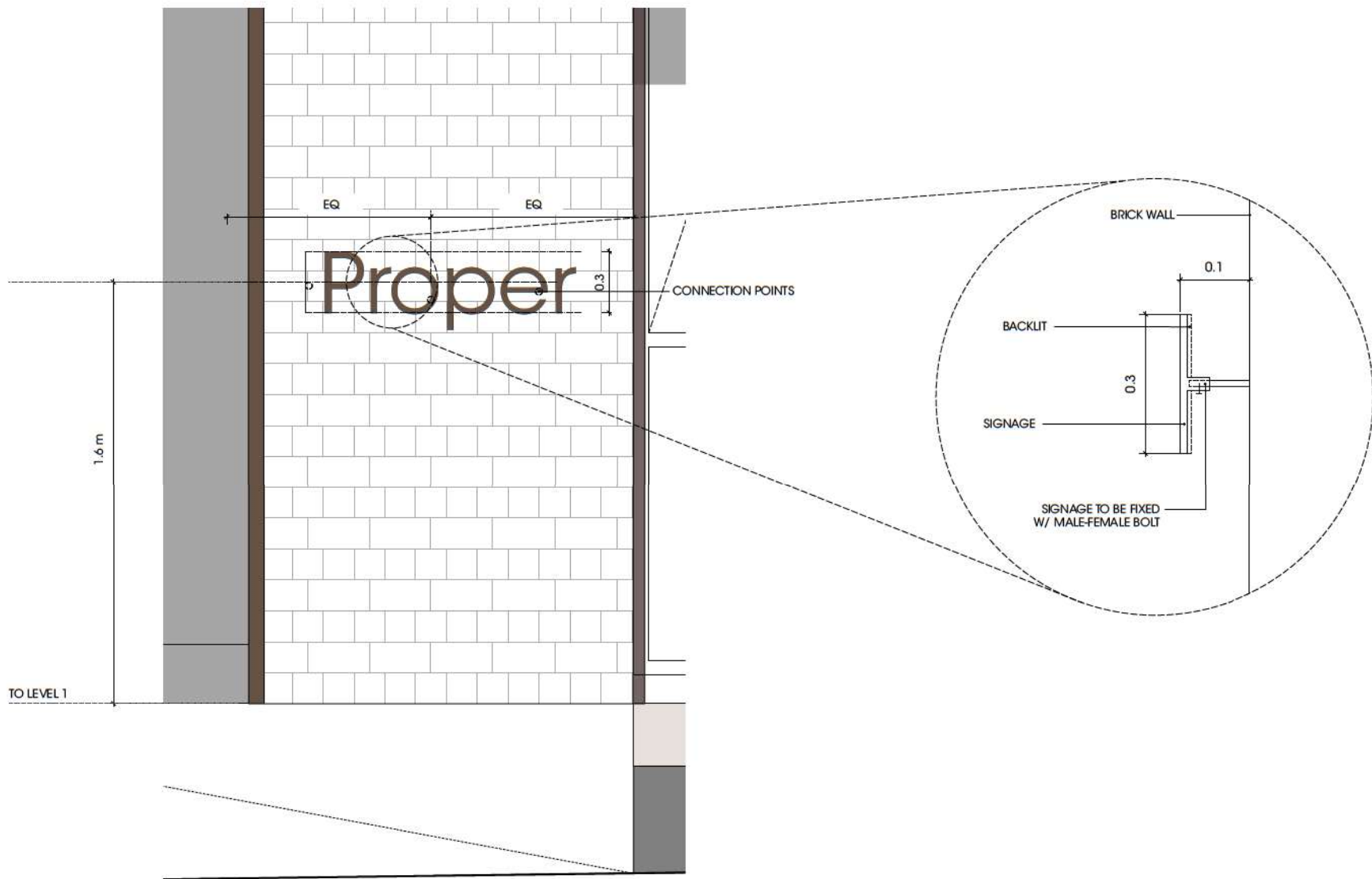
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When drawings shall have been prepared and issued, the Contractor shall be responsible for all connections and conditions on the job and should identify all items, dimensions or details not shown on the drawings. Failure to obtain such identification renders the Contractor responsible for any resulting improper work and the cost of correction.

PROJECT
Proper
 1406, 1408, 1410, 1412 BAYVIEW
CITY OF SURREY, BC
 PROJECT NO. 23-108

SIGNAGE
 SCALE AS NOTED

A502



1 ELEVATION DETAIL
 Scale: 1/8"

Gatehouse 105A Avenue Condos

Issued for Development Permit

Contact Information	Other Key Contacts:	
VDZ+A 100-1184 Church Street Fort Langley, BC V3X 1S7 Tel: 604-298-1222 Fax: 604-298-1223 Email: info@vdz.ca Website: www.vdz.ca	Gatehouse PO Box 2588 St. James Chilliwack, BC V2Y 2R8 Tel: 604-851-9117	Nick Bray Architecture 1141-445 W 5th Avenue Vancouver, BC V5W 1T5 Tel: 604-681-8238
	Legal Address and Description: Lots 1 through 12, Section 6, of Section 19 Block 1, North Range 1 West New Westminster District Plan 21094	

Sheet List Table

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02	SITE PLAN
L-03	PLANNING PALL 11L
L-04A	PLANNING PLAN A
L-04B	PLANNING PLAN B
L-05	LIGHTING PLAN
LS-01	SECTIONS
LS-02	SECTIONS
LS-03	SECTIONS
LS-04	SECTIONS
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS
LD-05	DETAILS



1 SITE PLAN OVERVIEW
Scale: 1:250



2 LOCATION MAP
N.T.S.

VDZ+A
 VISION DESIGN ZONE ARCHITECTURE
 FORT LANGLEY STUDIO: MOUNT PLEASANT STUDIO
 100-1184 Church St | 102-105 Kingsway
 Fort Langley, BC | Vancouver, BC
 V3X 1S7 | V5M 2M6 | V5T 1J7
 www.vdz.ca | 604-882-0024

No.	By	Description	Date
1	JM	Prepared for DP	May 06, 2009
2	KM	Revised for DP	May 17, 2009
3	JM	Prepared for DP	March 28, 2010
4	KM	Revised for DP	February 15, 2010
5	JM	Issued for Development Permit	July 13, 2011
6	AD	Issued for Review	May 19, 2021
7	AD	Issued for Review	Apr. 16, 2021

REVISIONS TABLE FOR DRAWINGS
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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project: GATEHOUSE 105A AVE. CONDOS
 Location: 14438, 14498, 14500 AND 14510 - 105A AVENUE, SURREY, BC

Drawn: AD KM	Stamp: 100% MAY 14 2022 Mark van der Zalm 303
Checked: KM	
Approved: SM	Original Sheet Size: 24" x 36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS. TO THE CONTRACTOR'S RESPONSIBILITY. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

Drawing Title: COVER PAGE

VDZ Project #: DP2023-22

Drawing #: L-01

7. PROJECT DEVELOPMENT PERMIT FACTSHEET DP2023-22 GATEHOUSE 105A AVE CONDOS. DRAWING TITLE: COVER PAGE (DWG)



LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	2 LD-02	CONCRETE PAVING
	3 LD-02	UNIT PAVERS
	4 LD-02	STONE PAVING
	5 LD-02	FLAGSTONE PAVERS
	2 LD-02	STAMPED CONCRETE
	6 LD-02	HYDRAPRESSED SLABS
	1 LD-03	GRANULAR PAVING
	2 LD-03	SAFETY SURFACE WITH CONCRETE CURB
	4 LD-03	WOOD FENCE
	3 LD-03	ALUMINUM PICKET FENCE
	2 LD-04	ASPH. BACK
	1 LD-04	BENCH
	3 LD-04	PICNIC TABLE
	4 LD-04	PICNIC TABLE WITH GAME TOP
	5 LD-04	WASTE RECEPTACLE
	XX XX	PROPOSED GARAGE
		SOIL Site landscape notes for modifications
	4.5 LD-01	SITUS PLANTING
	1,2,3 LD-01	TREE PLANTING

VDZ+A
 LANDSCAPE ARCHITECTURE
FOR LANGLEY STUDIO, MOUNT PLEASANT STUDIO
 800-9377 Church St. 122-355 Kingsway
 Port Langley, BC | Vancouver, BC
 V3A 3M6 | V5T 1T7
 www.vdz.ca | 604.883.0225

REVISIONS TABLE FOR DRAWINGS

Revisions are made by the Designer. The Designer has signed the drawings. VDZ+A may not be responsible for errors or omissions.

No.	By	Description	Date
1	AM	Revised for DP	May 01, 2024
2	AM	Revised for DP	May 17, 2024
3	AM	Revised for DP	March 28, 2024
4	AM	Revised for DP	February 14, 2024
5	AM	Revised for Development Permit	Aug 13, 2023
6	AM	Revised for Review	May 18, 2022
7	AM	Revised for Review	Apr 30, 2022
8	AM	Revised for Review	May 18, 2021

REVISIONS TABLE FOR SHEET

No.	By	Description	Date
1	DC	Revisions to Tree Adjustments	March 3, 2024
2	AM	Revisions	1/16/24

Project: **GATEHOUSE 105A AVE. CONDOS**
 Location: 14498, 14498, 14500 AND 14510 - 105A AVENUE, SURREY, BC

Drawn: AD
 Checked: AD
 Approved: MVL/24
 Scale: 1:150

Stamp: **Mark van der Zalm**
 103
 LANDSCAPE ARCHITECT
 B.C. REG. NO. 103
 103
 103

Drawing Title: **SITE PLAN**

Project #: **DP2023-22**

Drawing #: **L-02A**

- OS Hedge 1 to be retained, refer to Arborist report
- Property line
- Concrete planter wall
- Play panel 1
- Lounge furniture
- Play structure
- Play panel 2
- Picnic table with game top
- Community garden planter
- Garden shed / potting table
- Edge of parkade slab
- Critical root zone, typ.
- OS Hedge 2 to be retained, refer to Arborist report

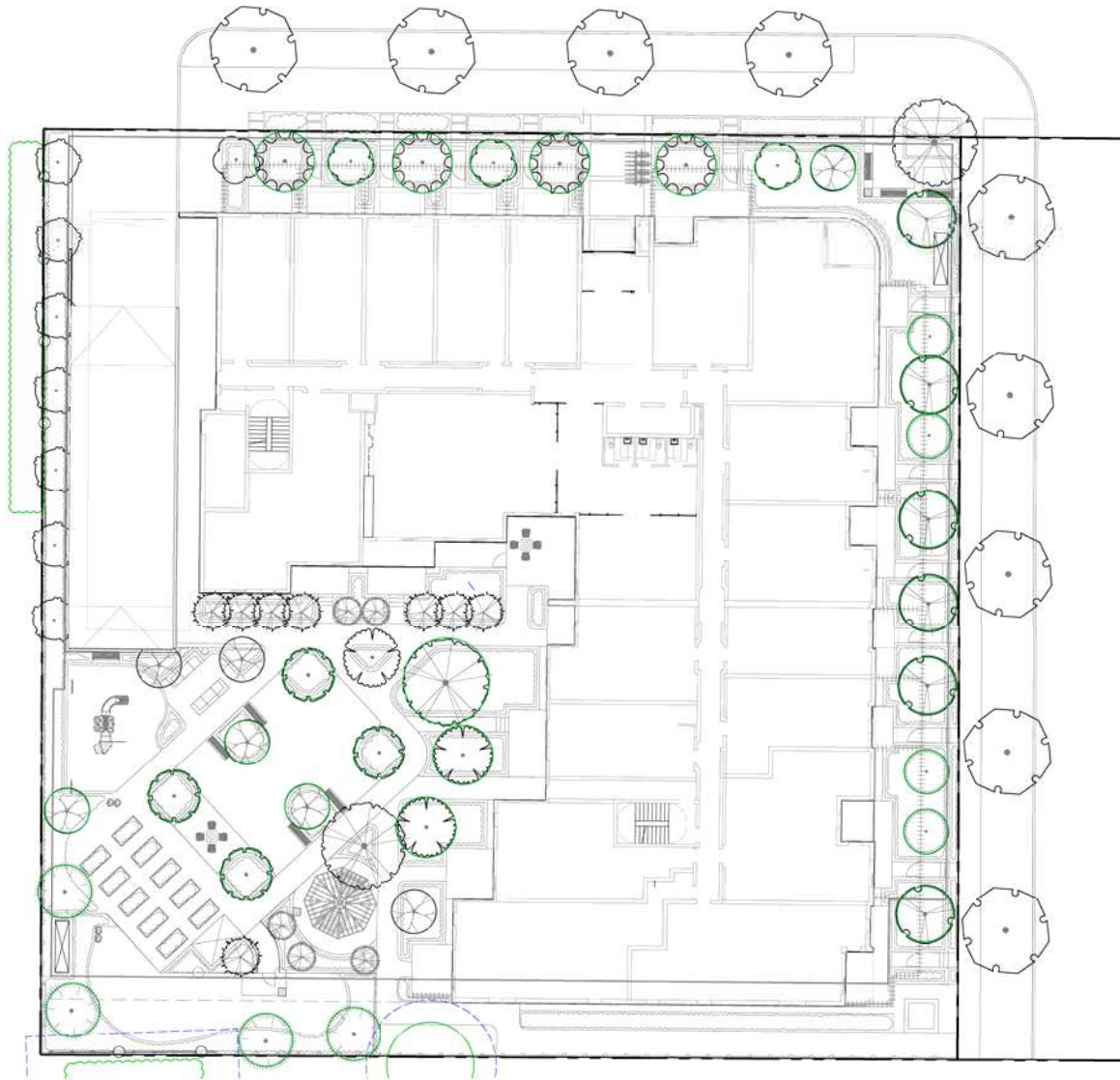
- Concrete stairs, typ.
- Aluminum picket gate, typ.
- New property line
- Drip strip, typ.
- Old property line
- Hydrapressed slabs
- PMT

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	<i>Comptosia nordströmii</i> 'Pendula' / Weeping Noctua Cypress	05B	3.0m	8	
	<i>Fagus sylvatica</i> 'Purple Fountain' / Purple Weeping European Beech	05B	8cm	4	
	<i>Liquidambar styraciflua</i> 'Emerald Sentinel' / Sweet Gum	05B	5cm	4	
	<i>Magnolia x 'Elizabet'</i> / Elizabeth Magnolia	05B	8cm	7	
	<i>Forsythia intermedia</i> 'Vigors' / Vigors Yellow Forsythia	05B	5cm	4	
	<i>Prunus purpurea</i> 'Val Albert' / Fat Albert Canada Spice	05B	3.0m	4	
	<i>Pinus nigra</i> 'Arnold Sentinel' / Arnold Sentinel Austrian Pine	05B	3.0m	5	
	<i>Prunus sibirica</i> 'Krasnodar' / Krasnodar Siberian Cherry	05B	6cm	7	
	<i>Quercus robur</i> x 'alba' 'JFS-KWZQX' / Skyline Green Oak	05B	6cm	7	
	<i>Stewartia sinensis</i> / Japanese Stewartia	05B	7cm	5	
	<i>Alexandria coccinea</i> 'Crimson Sentry' / Crimson Sentry Norway Maple	05B	6cm	6	
	<i>Acer rubrum</i> 'Autumn Spice' / Autumn Spice Red Maple	2.5m height 05B		8	
	<i>Carodaphnum japonicum</i> 'Red Fox' / Red Fox Kalmus Tree	05B	6cm	4	

2. PROTECTIVE LAYER: 100mm POLYETHYLENE GLASS FIBRE REINFORCED CONCRETE (GFRG) OVER 100mm POLYETHYLENE GLASS FIBRE REINFORCED CONCRETE (GFRG) OVER 100mm POLYETHYLENE GLASS FIBRE REINFORCED CONCRETE (GFRG)

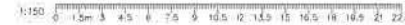
7. ARCHITECTURAL LAYOUT TREE REPLACEMENT PLAN FOR GATEHOUSE 105A AVE CONDOS. THIS SHEET IS A PART OF THE LAYOUT PLAN.



LEGEND

KEY	DESCRIPTION
	REPLACEMENT TREE *Refer to site plan for species and size information

Total Quantity of Replacement Trees = 32



VDZ+A
 CONSULTANTS
 FORE LANGLEY STUDIO, MOUNT PLEASANT STUDIO
 300-1221 Church St | 302-355 Kingston
 Fort Langley, BC | Vancouver, BC
 V3M 2H6 | VST 137
 www.vdz.ca 604-862-0024

No.	By	Description	Date
7	KM	Re-issued for DP	May 24, 2024
6	KM	Re-issued for DP	May 17, 2024
5	KM	Re-issued for DP	March 28, 2024
4	KM	Re-issued for DP	February 14, 2024
3	KM	Issued for Development Permit	July 13, 2023
2	AD	Issued for Review	May 19, 2023
1	AD	Issued for Review	Apr. 30, 2023

REVISIONS TABLE FOR DRAWINGS
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No.	By	Description	Date
1	DC	Replacement Tree Adjustment	March 3, 2024

REVISIONS TABLE FOR SHEET

Project:
 GATEHOUSE 105A AVE. CONDOS

Location:
 14488, 14498, 14500 AND 14510
 - 105A AVENUE, SURREY, BC

Drawn: AD	Stamp:
Checked: AD	
Approved: MvZ	Original Sheet Size: 24"x36"

Scale:
 1:150

CONTRACTOR SHALL CHECK ALL DIMENSIONS, FIELD DIMENSIONS AND LOCATIONS, TO BE CORRECTED AND RECORDED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY AND THE LOCAL GOVERNMENT.

Drawing Title: **TREE REPLACEMENT PLAN**
 Drawing #: **DP2023-22**
 Drawing #: **L-02B**



1 LANDSCAPE SITE PLAN
Scale 1:100

- Prunus x yedoensis 'Akabane' / Akabane Yatsuo Cherry
- Quercus robur 'alba' 'SFS-AWQZK' / Albany Greville Oak
- Acer platanoides 'Crimson Sentry' / Crimson Sentry Norway Maple

PLANT SCHEDULE

- SYMBOL BOTANICAL / COMMON NAME**
- TREES**
- Acer platanoides 'Crimson Sentry' / Crimson Sentry Norway Maple
 - Acer rubrum 'Autumn Spire' / Autumn Spire Red Maple
 - Cercidiphyllum japonicum 'Red Fox' / Red Fox Katsura Tree
 - Chamaecyparis nootkatensis 'Pendula' / Weeping Nootka Cypress
 - Fagus sylvatica 'Purple Fountain' / Purple Weeping European Beech
 - Liquidambar styraciflua 'Emerald Sentinel' / Sweet Gum
 - Magnolia x 'Elizabeth' / Elizabeth Magnolia
 - Parrotia persica 'Inge's Ruby Vase' / Ruby Vase Persian Parrotia
 - Picea pungens 'Fat Albert' / Fat Albert Colorado Spruce
 - Pinus nigra 'Arnold Sentinel' / Arnold Sentinel Austrian Pine



SHRUBS

- Aa** Adiantum species / Maidenhair Fern
- A** Althya rosea 'Lady in Red' / Lady in Red Fern
- B** Buxus microphylla japonica 'Winter Gem' / Winter Gem Japanese Boxwood
- C** Calluna heisteria 'Aurora' / Aurora Heisteria
- EF** Eucalyptus nitens 'Emerald Galaxy' / Emerald Galaxy Wintercreeper
- ED** Eupatorium dubium 'Little Joe' / Dwarf Joe Pye Weed
- H** Hebe pinnatifida 'Happy Returns' / Happy Returns Gayly
- HD** Hydrangea paniculata 'Little Quick Pine' / Little Quick Pine Panicle Hydrangea
- IC** Ilex corymbosa 'Ruby' / Japanese Boxwood
- J** Juniperus horizontalis 'Littles' / Littles Creeping Juniper
- JS** Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper
- MA** Malva sylvestris 'Carmine' / Carmine Oregon Grape
- M** Macaranga tanacetifolia 'Huron Sunset' / Huron Sunset Eucalyptus
- PL** Philadelphus lewisii 'Bliss' / Bliss Mock Orange
- PO** Physocarpus opulifolius 'Dietrich's Gold' / Dietrich's Gold Japanese
- PLD** Pinus laevis 'Olio Luyken' / Olio Luyken English Laurel
- R** Rosa 'Old Easy Yellow' / Old Easy Yellow Ice Rose
- S** Sedum spectabile 'Autumn Joy' / Autumn Joy Sedum
- T** Taxus bicolor 'Fastigiat' / Irish Yew

COLOUR PALETTE Chartreuse | Pinks | Yellows | Whites



SHRUB AREAS

- Ailanthus altissima 'Vision in Pink' / Vision in Pink Chinese Ailanthus
- Calluna heisteria 'Mass Peach' / Mass Peach Blanketflower
- Nandina domestica 'Pink Call' / Dwarf Pink Callitris
- Rubus coccineus 'Black-eyed Susan' / Black-eyed Susan

No.	By	Description	Date
1	JM	Revised for DP	May 26, 2024
2	KM	Revised for DP	May 27, 2024
3	JM	Revised for DP	May 28, 2024
4	KM	Revised for DP	May 29, 2024
5	JM	Revised for DP	May 30, 2024
6	JM	Revised for DP	May 31, 2024
7	JM	Revised for DP	May 31, 2024
8	JM	Revised for DP	May 31, 2024
9	JM	Revised for DP	May 31, 2024
10	JM	Revised for DP	May 31, 2024

REVISIONS TABLE FOR DRAWINGS

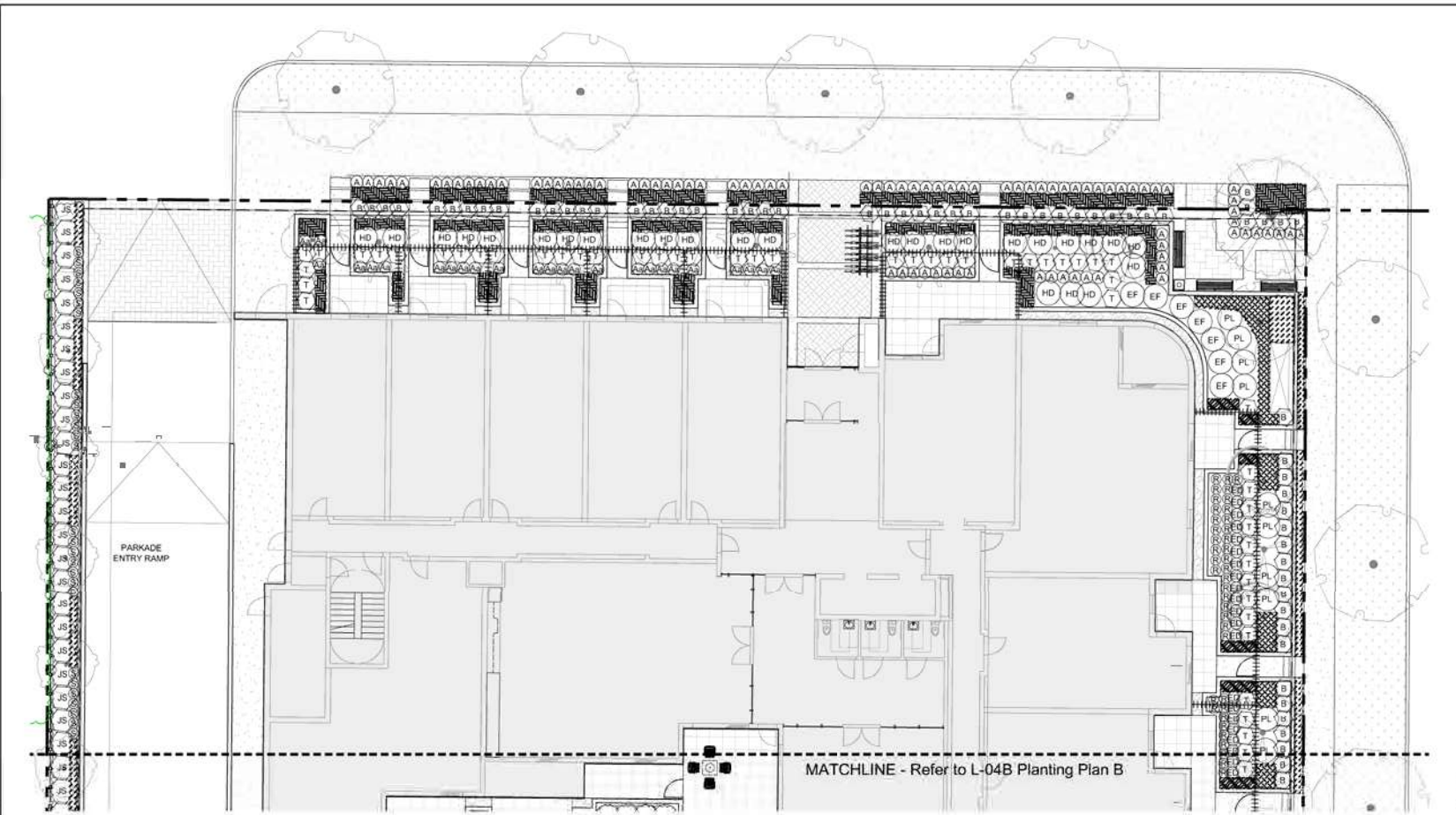
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REVISIONS TABLE FOR SHEET

Project: GATEHOUSE 105A AVE. CONDOS
 Location: 14438, 14498, 14500 AND 14510 - 105A AVENUE, SURREY, BC

Drawn: KM
 Checked: KM
 Approved: [Signature]
 Scale: Original Sheet Size: 24"x36"

Scale: AS SHOWN
 CONSTRUCTION SHALL CHECK ALL DIMENSIONS AND LOCATIONS OF ALL PLANTS AND MATERIALS TO BE INSTALLED AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.



No.	By	Description	Date
7	KM	Re-issued for DP	May 24, 2024
6	KM	Re-issued for DP	May 17, 2024
5	KM	Re-issued for DP	March 28, 2024
4	KM	Re-issued for DP	February 14, 2024
3	KM	Issued for Development Permit	July 13, 2023
2	AD	Issued for Review	May 19, 2023
1	AD	Issued for Review	Apr. 30, 2023

No.	By	Description	Date
1	DC	Repositioned Title Adjustment	March 1, 2024

Project:
GATEHOUSE 105A AVE. CONDOS

Location:
 14498, 14498, 14500 AND 14510
 - 105A AVENUE, SURREY, BC

Drawn:
AD

Checked:
AD

Approved:
MVAZ

Scale:
1:150

Stamp: **Mark van der Zalm** 303

CONSTRUCTION SHALL CHECK FOR THE FOLLOWING: ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED.

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT.	SPACING	QTY
SHRUBS				
Aa	Adiantum species / Maidenhair Fern	No. 2 pot, densely branched, well established	0.6 m	86
A	Athyrium filix-femina 'Lady in Red' / Lady in Red Fern	No. 2 pot, densely branched, well established	0.6 m	86
B	Buxus microphylla japonica 'Winter Gem' / Winter Gem Japanese Boxwood	No. 2 pot, densely branched, well established	0.6 m	138
C	Calamagrostis x scudiflora 'Avalanche' / Avalanche Feather Reed Grass	No. 2 pot, densely branched, well established	0.6 m	48
EF	Eucryphia fortunei 'Emerald Gem' / Emerald Gem Winterbeech	No. 2 pot, densely branched, well established	1.2 m	23
ED	Euphorbia corollata 'Little Joe' / Dwarf Joe Pye Weed	No. 2 pot, densely branched, well established	0.6 m	112
H	Hemerocallis x 'Happy Returns' / Happy Returns Daylily	No. 2 pot, densely branched, well established	0.5 m	20
HD	Hydrangea paniculata 'Little Quick Fire' / Little Quick Fire Panicle Hydrangea	No. 2 pot, densely branched, well established	1.2 m	34
IC	Impatiens cynclaba 'Rudol' / Japanese Bloom Grass	No. 2 pot, densely branched, well established	0.6 m	34
J	Juncus horridulus 'Limogrow' / Limogrow Creeping Juniper	No. 2 pot, densely branched, well established	0.6 m	6
JS	Juncus squarrosus 'Skyrocket' / Rocket Juniper	No. 2 pot, densely branched, well established	1.2 m	24
MA	Malva aquatica 'Cascadia' / Compact Oregon Grape	No. 2 pot, densely branched, well established	1 m	3

M	Mazanthus sinensis 'Huron Sunset' / Huron Sunset Elytra Grass	No. 2 pot, densely branched, well established	0.6 m	11
PL	Philadelphus lewisii 'Blosser' / Blosser Mock Orange	No. 2 pot, densely branched, well established	1.2 m	23
PO	Physocarpus opulifolius 'Dart's Gold' / Dart's Gold Dielisk	No. 2 pot, densely branched, well established	1.2 m	8
PLO	Physocarpus opulifolius 'Dart's Gold' / Dart's Gold Dielisk	No. 2 pot, densely branched, well established	1.2 m	8
R	Rosa x 'Old Easy' / Old Easy Rose	No. 2 pot, densely branched, well established	0.5 m	116
S	Sedum spectabile 'Autumn Joy' / Autumn Joy Sedum	No. 2 pot, densely branched, well established	0.5 m	143
T	Taxus canadensis 'Fastigata' / Irish Yew	No. 2 pot, densely branched, well established	0.6 m	103

SHRUB AREAS				
[Pattern]	Andromeda obtusifolia 'Vivid' / Vivid in Pink / Vivid in Pink Andromeda	#1	300 mm	718
[Pattern]	Gaillardia x grandiflora 'Mesa Peach' / Mesa Peach Blanketflower	#1	300 mm	332
[Pattern]	Nipota nervosa 'Pink Cat' / Dwarf Pink Catmint	#1	300 mm	636
[Pattern]	Rubus odoratus 'Black-eyed Susan'	#1	450 mm	174

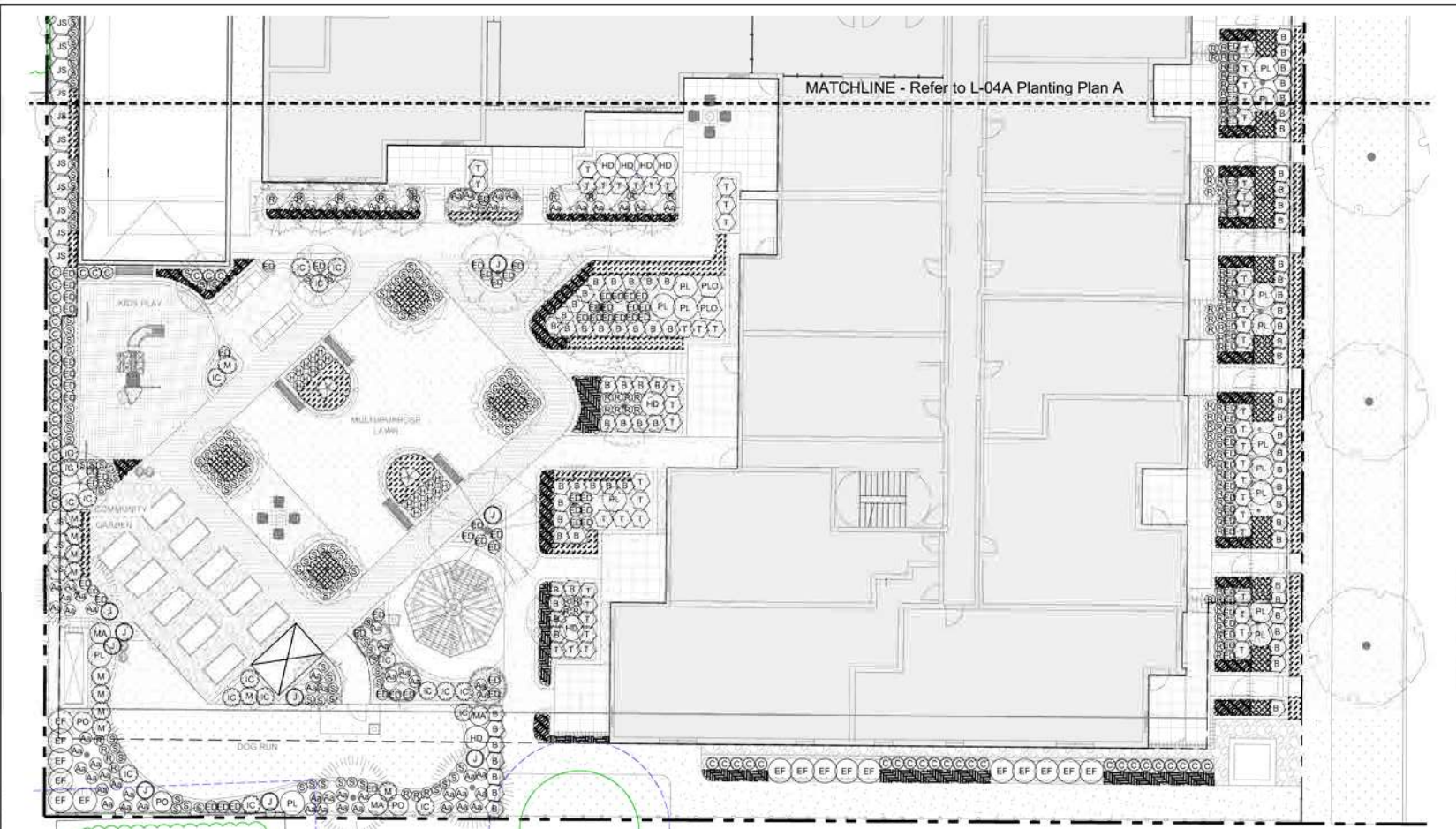
Drawing Title: **PLANTING PLAN A**



VDZ Project #: **DP2023-22**

Drawing #: **L-04A**

7: ARBORICULTURE DESIGN TEAM/ARBORICULTURE DESIGN/105A AVE. CONDOS/INDUSTRIAL PLANTING PLAN A.DWG



PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
SH-MULCH				
A	Abies balsamea / Millers Fir	No. 2 pot, densely branched, well established	0.9 m	15
A	Abies balsamea / Millers Fir	No. 2 pot, densely branched, well established	0.9 m	15
B	Buxus sempervirens / Common Boxwood	No. 2 pot, densely branched, well established	0.9 m	14
C	Calamagrostis x scottiana / Avarancho / Avarancho Feather Reed Grass	No. 2 pot, densely branched, well established	0.9 m	49
EF	Eucalyptus fulgens / Emerald Gum / Emerald Gum	No. 2 pot, densely branched, well established	1.2 m	23
ED	Eubankia saligna / Little Joe / Dwarf Joe Pye Weed	No. 2 pot, densely branched, well established	0.9 m	112
H	Hemerocallis x 'Happy Returns' / Happy Returns Daylily	No. 2 pot, densely branched, well established	0.9 m	20
HD	Hydrangea paniculata / Little Quik / Little Quik Fire Panicle Hydrangea	No. 2 pot, densely branched, well established	1.2 m	34
IC	Impatiens obovata / Wahoo / Japanese Blood Grass	No. 2 pot, densely branched, well established	0.9 m	18
L	Lonicera japonica / Lonicera / Lonicera Creeping Juniper	No. 2 pot, densely branched, well established	0.9 m	9
JS	Juniperus scopulorum / Skyrocket / Skyrocket Juniper	No. 2 pot, densely branched, well established	1.2 m	34
MA	Malva sylvestris / Combed / Combed Oregon Gown	No. 2 pot, densely branched, well established	1 m	3

SHRUB AREAS

[Symbol]	Arctostaphylos uva-ursi / Pink / Vision in Pink Chinese Asters	#1	300 mm	119
[Symbol]	Calliandra x grandiflora 'Miss Pearl' / Miss Pearl Basketflower	#1	300 mm	152
[Symbol]	Reposita nervosa 'Pink Call' / Dwarf Pink Callery	#1	300 mm	636
[Symbol]	Ruticola hirta / Black-eyed Susan	#1	450 mm	174

[Symbol]	Platanus occidentalis / Old London / Old London English Laurel	No. 2 pot, densely branched, well established	1.2 m	2
[Symbol]	Rosa x 'Old Easy Asian Ice' / Old Easy Asian Ice Rose	No. 2 pot, densely branched, well established	0.9 m	116
[Symbol]	Sedum spectabile / Autumn Joy / Autumn Joy Sediment	No. 2 pot, densely branched, well established	0.9 m	143
[Symbol]	Taxus baccata 'Fastigiata' / Irish Yew	No. 2 pot, densely branched, well established	0.9 m	100

1:100 0 1m 2 3 4 5 6 7 8 9 10 11 12 13 14 15

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date
1	AD	Issued for Review	Apr. 30, 2023
2	AD	Issued for Review	Apr. 30, 2023
3	AD	Issued for Review	Apr. 30, 2023
4	AD	Issued for Review	Apr. 30, 2023
5	AD	Issued for Review	Apr. 30, 2023
6	AD	Issued for Review	Apr. 30, 2023
7	AD	Issued for Review	Apr. 30, 2023
8	AD	Issued for Review	Apr. 30, 2023
9	AD	Issued for Review	Apr. 30, 2023
10	AD	Issued for Review	Apr. 30, 2023

REVISIONS TABLE FOR SHEET

No.	By	Description	Date
1	DC	Replacement Title Adjustment	March 1, 2024

Project: GATEWAYS 105A AVE CONDOS

Location: 14426 145TH 146TH AND 145TH - 125A AVENUE SURREY BC

Drawn: AD

Checked: AD

Approved: MVAZ

Scale: 1:150

Stamp: PROFESSIONAL SEAL OF MARY VAN DER ZALM, ARCHITECT, B.C. REG. NO. 303

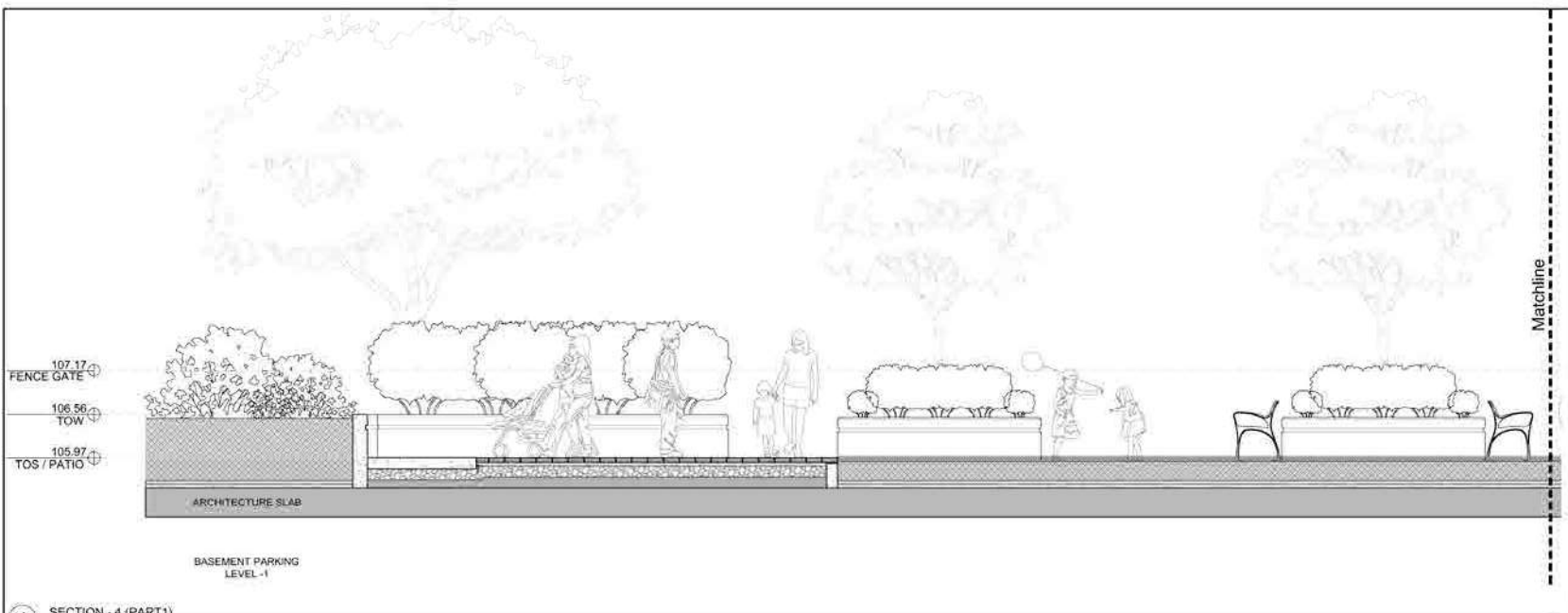
CONTRACTOR SHALL CHECK FOR CONFORMANCE WITH ALL APPLICABLE CODES AND REGULATIONS. VDZ+A SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

Drawing Title: PLANTING PLAN B

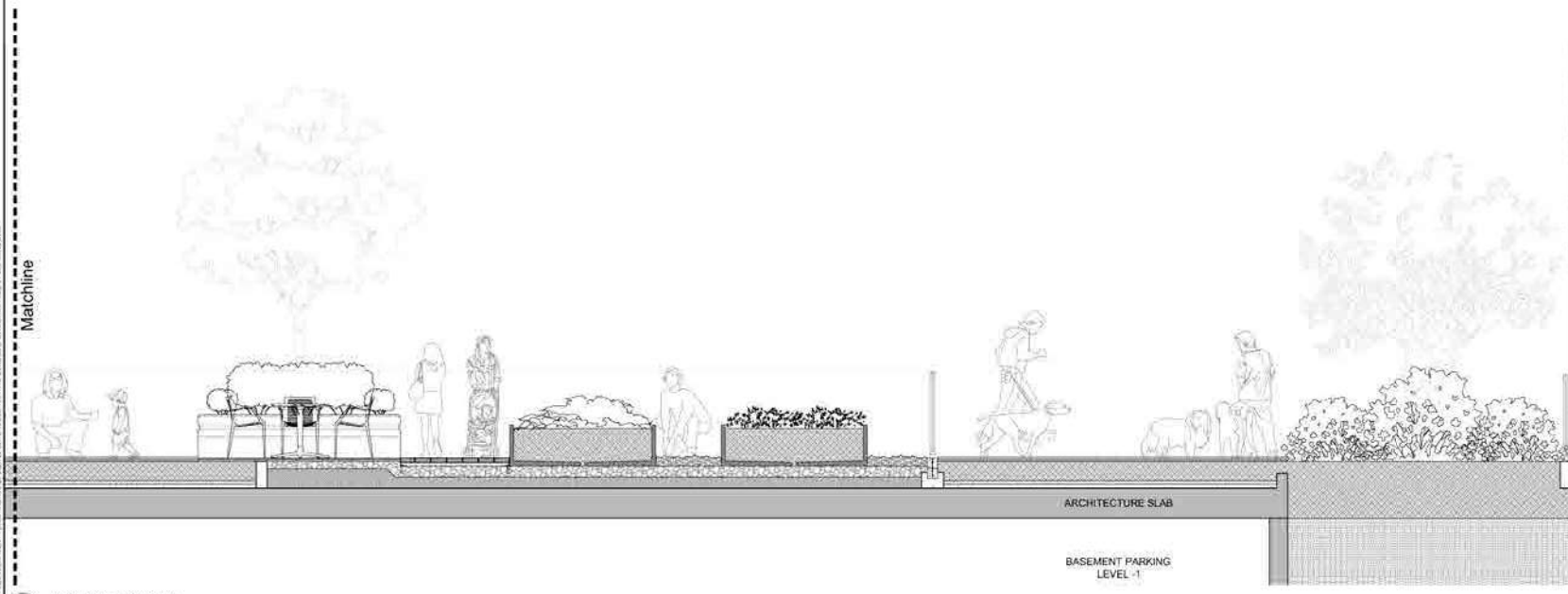


VDZ Project # DP2023-22

Drawing #: L-04B



4 SECTION - 4 (PART 1)
Scale 1:30

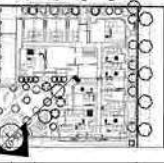


4 SECTION - 4 (PART 2)
Scale 1:30

VDZ+A

FORTE LANGLEY STUDIO, MOUNT PLEASANT STUDIO
300-1321 Church St | 102-305 Kingsway
Port Langley, BC | Vancouver, BC
784.386.1811 | 604.862.0024
www.vdz.ca

Key Map (N/S)



No.	By	Description	Date
1	MM	Re-issue for DP	May 26, 2022
2	MM	Re-issue for DP	May 27, 2022
3	MM	Re-issue for DP	March 26, 2022
4	MM	Re-issue for DP	February 14, 2022
5	MM	Issued for Development Permit	July 13, 2021
6	MM	Issued for Review	May 19, 2021
7	MM	Issued for Review	Apr. 30, 2021

REVISIONS TABLE FOR DRAWINGS
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No.	By	Description	Date

Project:
GATEHOUSE 105A AVE. CONDOS
Location:
14498, 14498, 14500 AND 14510
- 105A AVENUE, SURREY, BC

Drawn:
MM
Checked:
MM
Approved:
MM
Scale:
AS SHOWN



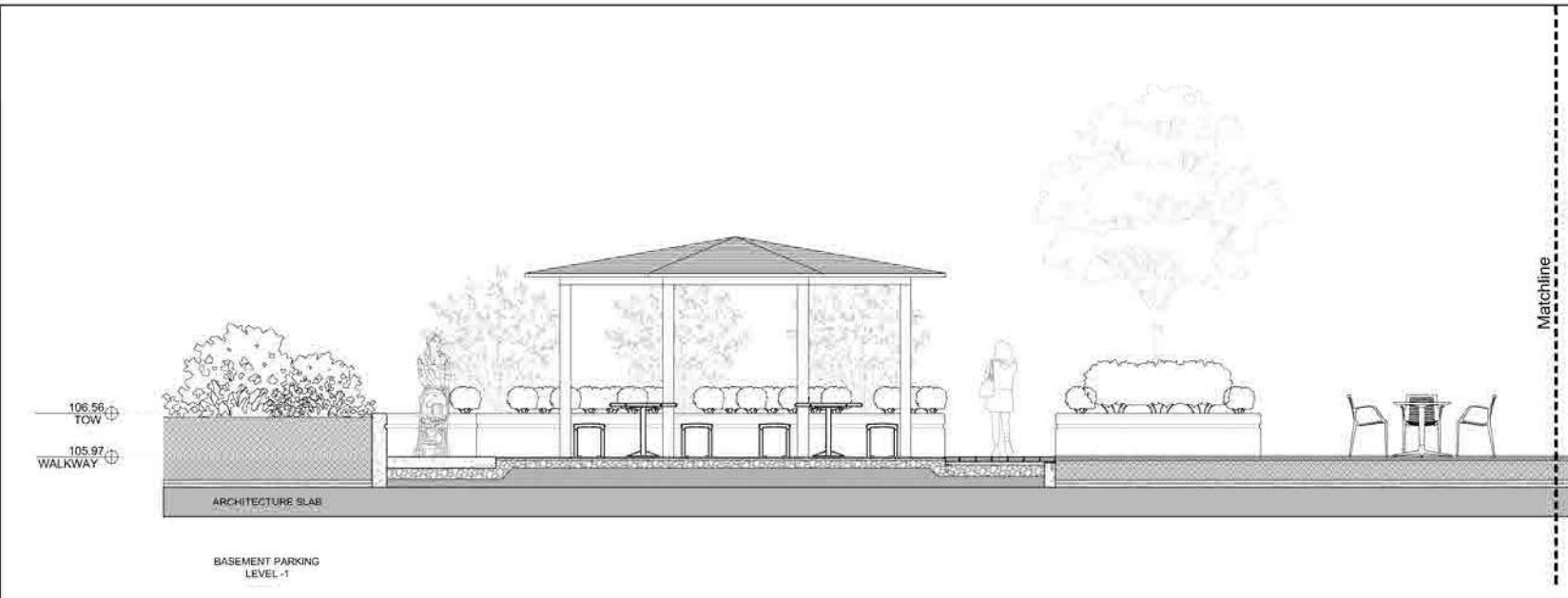
CONTRACTOR SHALL CHECK ALL DIMENSIONS, PERMIT REQUIREMENTS AND REGULATIONS. VERIFY CONTRACT DOCUMENTS AND PERMITS. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.

VDZ Project #
DP2023-22

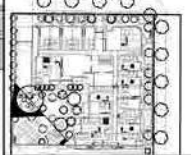


Drawing Title
SECTIONS

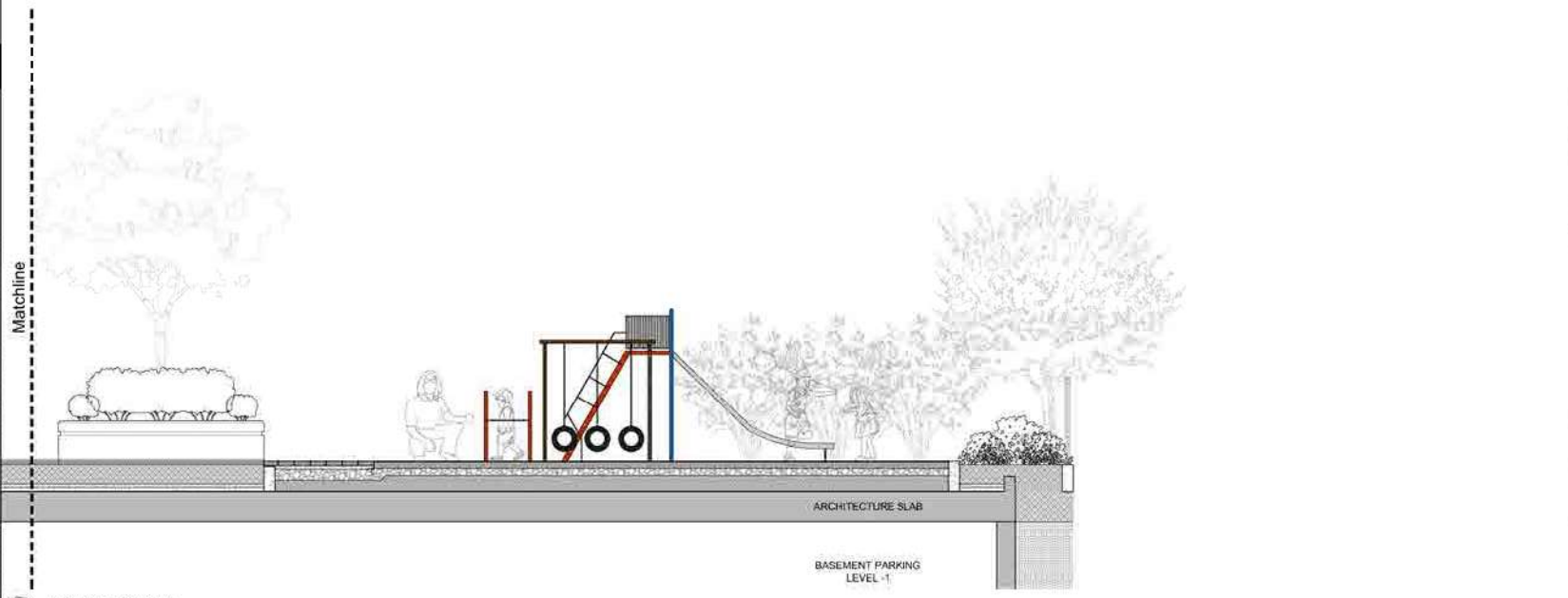
Drawing #
LS-03



Key Map (N/S)



5 SECTION - 5 (PART 1)
 Scale 1/30



5 SECTION - 5 (PART 2)
 Scale 1/30

No.	By	Description	Date
1	MM	Approved for CP	February 14, 2024
2	MM	Issued for Development Plans	July 13, 2023
3	MM	Issued for Review	May 19, 2022
4	MM	Issued for Review	Apr. 05, 2021

REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project:
GATEHOUSE 105A AVE. CONDOS

Location:
 14458, 14498, 14500 AND 14510
 - 105A AVENUE, SURREY, BC

Drawn: MM
 Checked: MM
 Approved: MM
 Scale: AS SHOWN

Stamp:

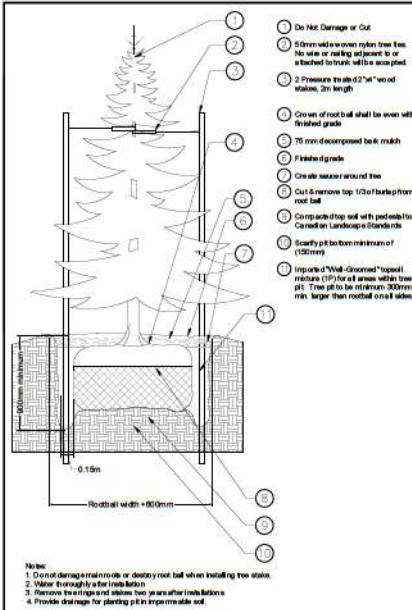
Drawing Title
SECTIONS



VDZ Project #
DP2023-22

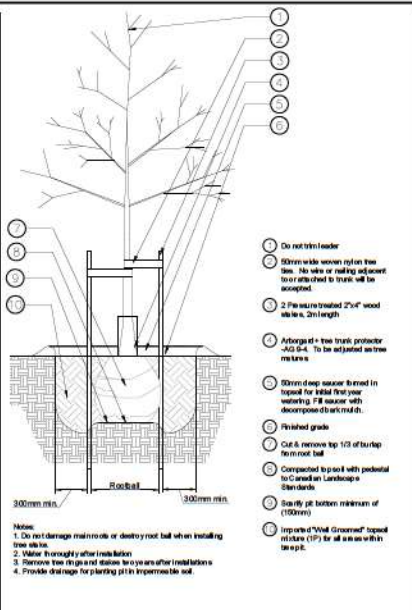
Drawing #
LS-04

A:\PROJECTS\2023\DP2023-22\GATEHOUSE_105A_AVE_CONDOS_2D_DRAWINGS\SECTION_5.DWG



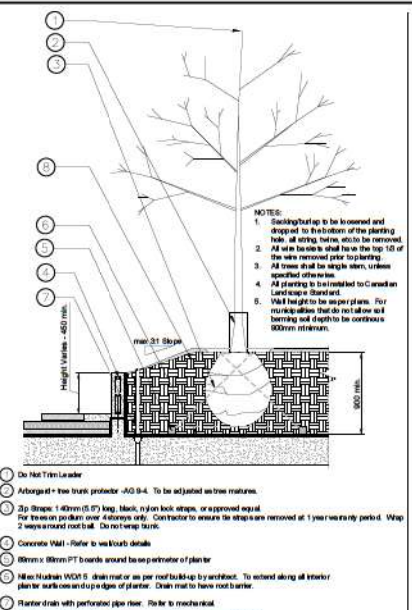
- 1 Do Not Damage or Cut
- 2 150mm wide woven nylon tree tie. No wire or railing adjacent to or attached to trunk will be accepted.
- 3 2 Pressure treated 2"x4" wood stakes, 2m length
- 4 Crown of root ball shall be even with finished grade
- 5 75mm decomposed bark mulch
- 6 Finished grade
- 7 Create sealer around tree
- 8 Cut & remove top 1/2 of bark from root ball
- 9 Compact top soil with pedotol to Canadian Landscape Standards
- 10 Scarify pit bottom minimum of (150mm)
- 11 Improved "Well-Groomed" topsoil mixture (1P) for all areas within tree pit. Tree pit to be minimum 300mm min. larger than rootball overall sides.

1 TREE PLANTING - CONIFEROUS TREE



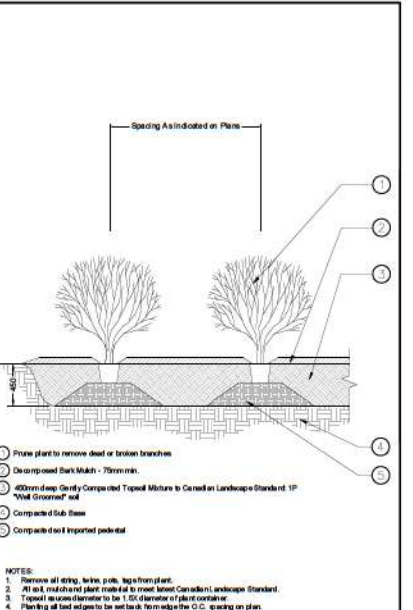
- 1 Do not trim leader
- 2 30mm wide woven nylon tree tie. No wire or railing adjacent to or attached to trunk will be accepted.
- 3 2 Pressure treated 2"x4" wood stakes, 2m length
- 4 Advage + the trunk protector -40-9-4. To be adjusted as below notes
- 5 40mm deep sealer formed in topsoil for table that over watering PB cause with decomposed bark mulch.
- 6 Finished grade
- 7 Cut & remove top 1/2 of bark from root ball
- 8 Compacted top soil with pedotol to Canadian Landscape Standards
- 9 Scarify pit bottom minimum of (150mm)
- 10 Improved "Well-Groomed" topsoil mixture (1P) for all areas within tree pit.

2 TREE PLANTING - DECIDUOUS TREE



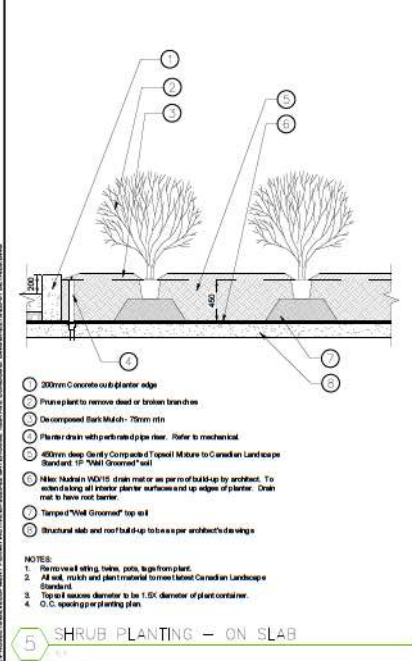
- 1 Do Not Trim Leader
- 2 Advage + the trunk protector -40-9-4. To be adjusted as below notes.
- 3 Slo Slope: 1:4mm (5:07) long, black, nylon lock strips, or approved equal. For trees on product over 4 always only. Contractor to ensure 90 degree removed at 1 year maturity period. Strip 2 sepa around root ball. Do not wrap trunk.
- 4 Concrete Wall - Refer to wall curb details
- 5 30mm x 30mm PT boards around base perimeter of planter
- 6 New Hudson WOOD 15 drain mat or as per root build-up by architect. To extend along all interior planter surfaces and up edge of planter. Drain mat to have root barrier.
- 7 Header drain with perforated pipe min. Refer to mechanical
- 8 "Well Groomed" topsoil mixture (1P) as per Canadian Landscape Standard

3 TREE PLANTING - ON SLAB



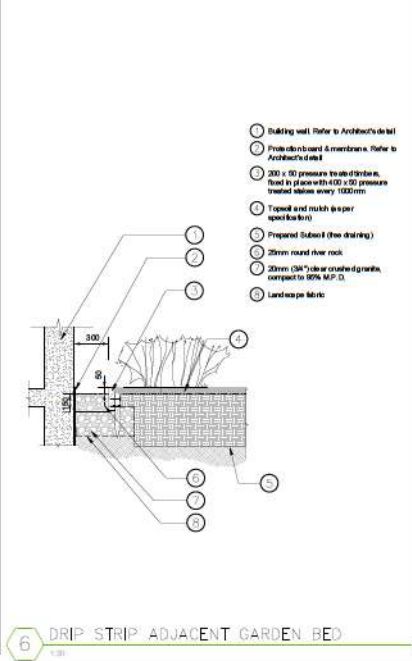
- 1 Prune plant to remove dead or broken branches
- 2 Decomposed Dark Mulch - 75mm min.
- 3 400mm deep Geotextile Compacted Mixture to Canadian Landscape Standards 1P "Well Groomed" soil
- 4 Compacted Sub Base
- 5 Compacted Soil Impacted pedotol

4 SHRUB PLANTING

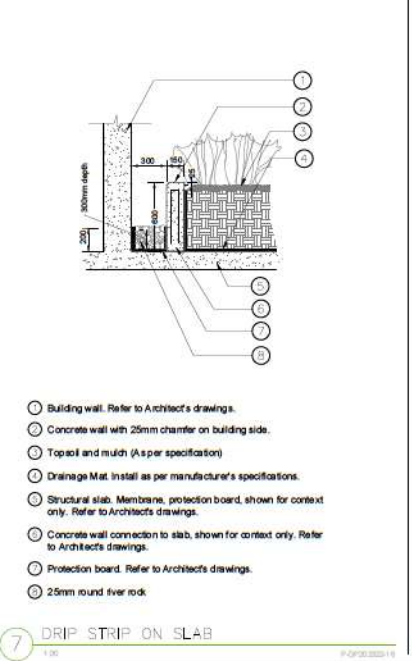


- 1 Building wall. Refer to Architect's detail
- 2 Provide curb and 4 membrane. Refer to Architect's detail
- 3 200 x 40 pressure treated timbers, fixed in place with 400 x 50 pressure treated stakes every 1000mm
- 4 Topsoil and mulch (as per specification)
- 5 Prepared Subsoil (see drawing)
- 6 25mm round river rock
- 7 20mm (3/4") clear crushed granite, compact to 95% M.P.D.
- 8 Landscape fabric
- 9 Growing medium to BC Landscape Standard, tested soil free
- 10 25mm chamfer
- 11 250mm reveal
- 12 1.0M rebar @ 300mm O.C. each way
- 13 New MDO in PO-20 drain mat
- 14 Concrete wall, light weight best finish
- 15 Finished grade, refer to site plan
- 16 1.0M drains
- 17 Structural slabs, refer to Architects drawing
- 18 Waterstop of membrane, by Architect
- 19 Rebar area drain, HDPE 3200-PA or approved alternate

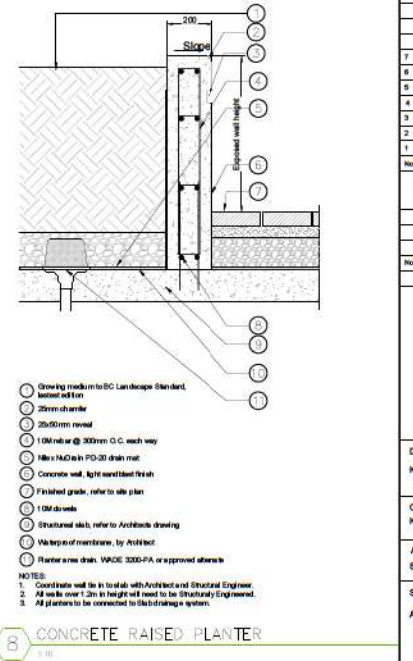
5 SHRUB PLANTING - ON SLAB



6 DRIP STRIP ADJACENT GARDEN BED



7 DRIP STRIP ON SLAB

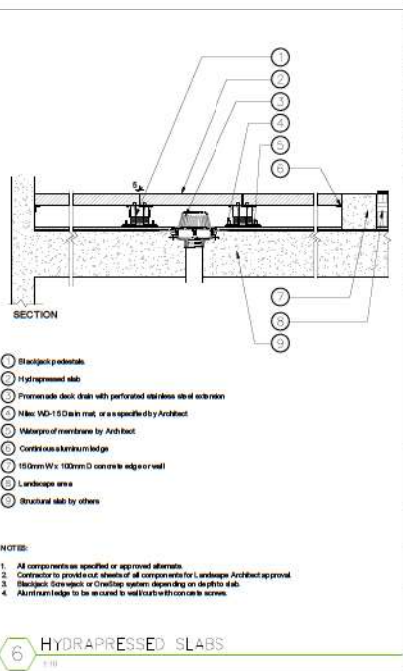
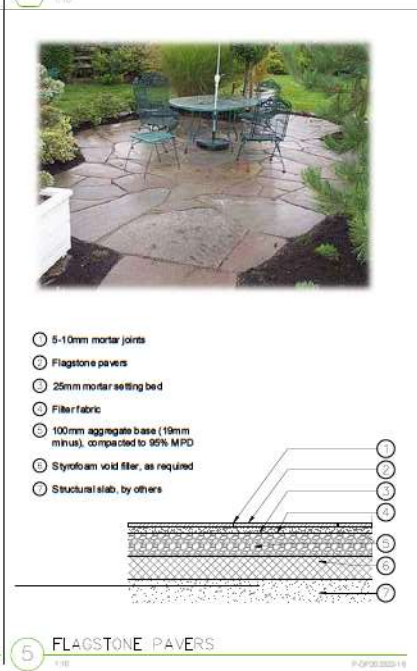
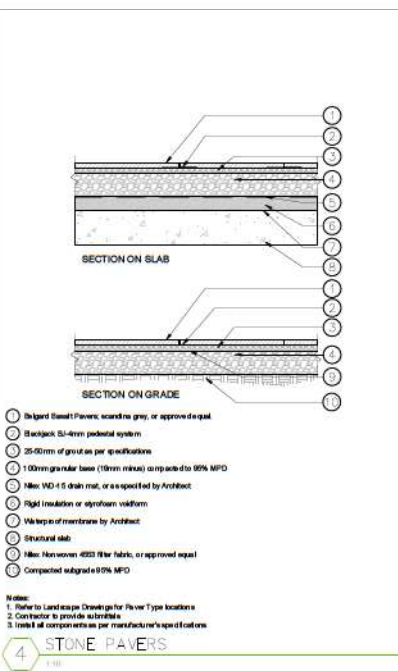
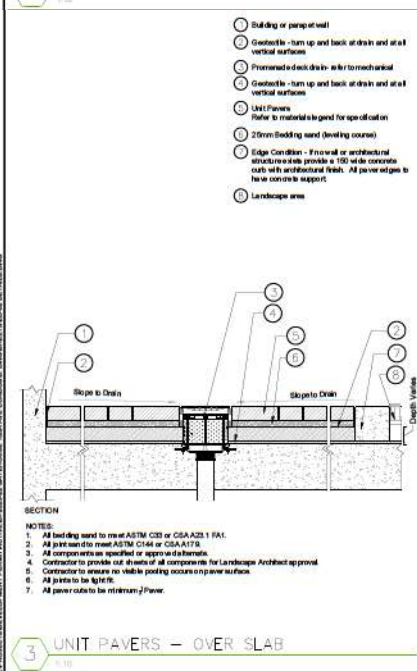
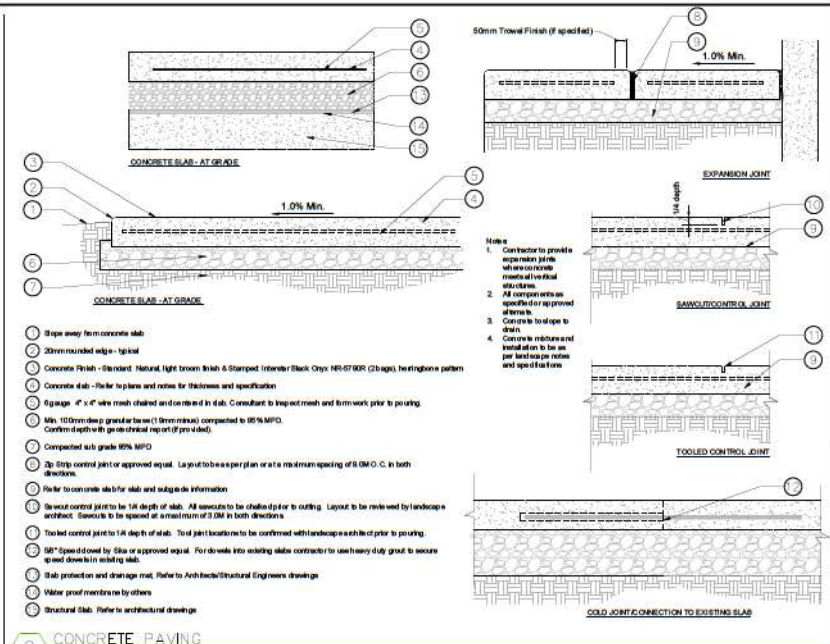
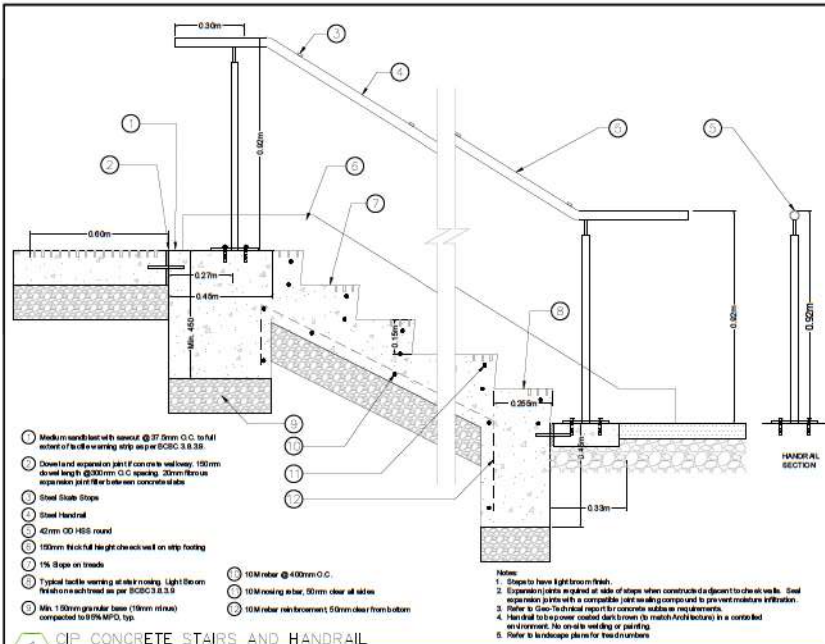


8 CONCRETE RAISED PLANTER

No.	By	Description	Date
7	JM	Revised for DP	May 24, 2024
6	JM	Revised for DP	May 17, 2024
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4	JM	Revised for DP	February 14, 2024
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2	AD	Issued for Review	May 19, 2023
1	AD	Issued for Review	Apr. 30, 2023

REVISIONS TABLE FOR SHEET	
Project: GATEHOUSE 105A AVE. COND OS	
Location: 14488, 14498, 14500 AND 14510 - 105A AVENUE, SURREY, BC	

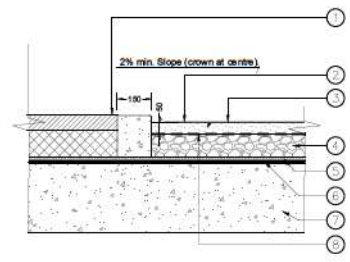
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Checked: KM	Stamp: [Professional Engineer Stamp]
Approved: SH	Original Sheet Size: 24"x36"
Scale: AS SHOWN	Notes: [Project Notes]



No.	By	Description	Date
7	JM	Released for DP	May 24, 2024
6	JM	Released for DP	May 17, 2024
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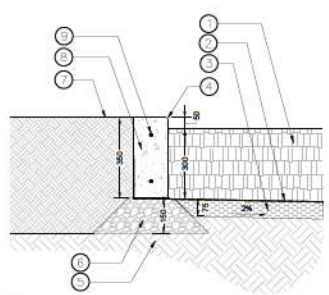
No.	By	Description	Date
REVISIONS TABLE FOR SHEET			
Project			
GATEHOUSE 105A AVE. COND OS			
Location:			
14488, 14498, 14500 AND 14510			
- 105A AVENUE, SURREY, BC			
Drawn:	KM	Stamp:	Stamp: 300
Checked:	KM	Stamp:	Stamp: 300
Approved:	SH	Original Sheet Size:	24" x 36"
Scale:	AS SHOWN	Contractor shall check all dimensions on the field and verify any discrepancies to the consultant immediately. All dimensions are the exclusive property of the consultant and shall be verified at the construction site. All dimensions shall be in accordance with the project construction (unless otherwise noted).	



- ① Finished grade adjacent to paving. Condition may vary, refer to plans
- ② 7mm minus crushed granite, Lefarge or approved equal.
- ③ Finished grade. Adjacent condition may vary, refer to plans.
- ④ Compacted granular base
- ⑤ Drain mat, J-Drain GRS or approved equal.
- ⑥ Waterproof membrane with protection, refer to arch. dwgs
- ⑦ Structural slab, by others
- ⑧ Non-woven landscape filter fabric

NOTES:
 1. Contractor to provide 1L sample of crushed granite material for approval by landscape architect prior to installation.
 2. Minimum 2% cross slope.
 3. Growing medium to be 25mm below top of edger board.

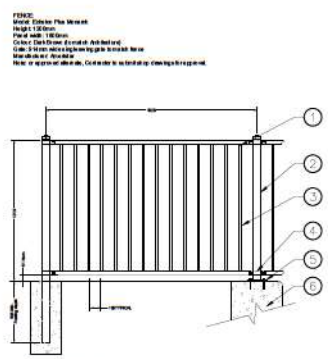
1 GRANULAR PAVING 1:10



- ① Engineered Wood Fiber
- ② Landscape Fabric
- ③ 75mm depth of 25mm Clear Crush
- ④ 10mmØ beveled edger
- ⑤ Approved structural fill to a depth of 1.52.0m below existing grade as per geotechnical report. Approved structural fill compacted to 95% MPO
- ⑥ 100mm granular base (5mm minus) compacted to 95% MPO
- ⑦ Landscape as per plan
- ⑧ Concrete
- ⑨ 10M Fiber

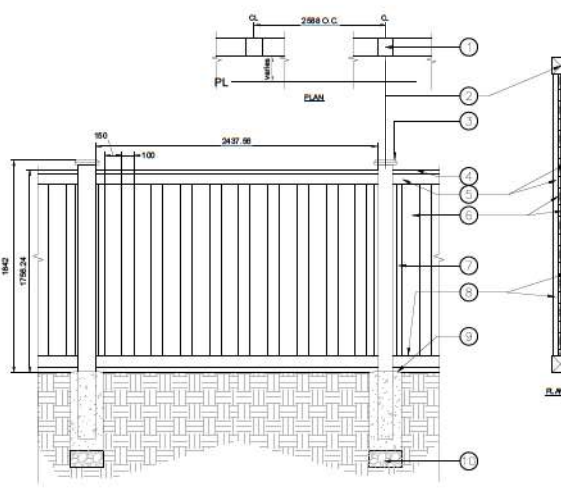
Note:
 1. Engineered wood fiber to meet CSA M1 equivalence.

2 SAFETY SURFACE WITH CONCRETE CURB 1:10



- FENCE PANEL - SECTION
- ① 32x37mm Fencing rail
 - ② Metal post
 - ③ 18mmØ x 2mm plate
 - ④ Bracket
 - ⑤ Base plate welded to bottom of post. Attach to top of wall with 4 bolt per plate
 - ⑥ Concrete wall
 - ⑦ Gate latch
 - ⑧ Self-closing hinge (non spring loaded) - 180 degree swing

3 ALUMINUM PICKET FENCE 1:20



- ① 2x4 (20x140mm) cedar cap
- ② 2x4 (20 x 140mm) cedar post
- ③ 2x8 (20 x 40mm) w/c cedar cap with 4 sided 41° bevels @ top to adhere to pavement & drain rot
- ④ 2x4 (20x140mm) cedar top rail
- ⑤ 2x4 (20x90mm) cedar support rails
- ⑥ 1x6 (19x140mm) rough cut cedar boards. Alternate end overlap 25mm
- ⑦ 1x1 (19x180mm) cedar quarter
- ⑧ 2x4 (20x90mm) cedar bottom rails centered on posts
- ⑨ 300mmØ concrete footing to extend 400mm below grade
- ⑩ 100mm granular subbase (10mm minus) compacted to 95% MPO

Note:
 1. Fence to be constructed in conformance with the Morgan Creek Design Guidelines part 3.12.
 2. Ensure all fasteners exposed to weather are hot-dipped galvanized to prevent staining.

4 WOOD FENCE 1:20

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7	JM	Released for DP	May 24, 2024
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No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
GATEHOUSE 105A AVE. COND OS

Location:
 14488, 14498, 14500 AND 14510
 - 105A AVENUE, SURREY, BC

Drawn: KM	Stamp: REVISIONS SCALE Mark van der Zalm 30%
Checked: KM	
Approved: SH	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE DRAWING BEFORE ANY CONSTRUCTION TO THE CONTRACTOR'S RESPONSIBILITY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER/ARCHITECT BE REFERRED AT THE COMPLETION OF THE WORK. ALL NECESSARY PERMITS OR APPROVALS MUST BE THE RESPONSIBILITY OF THE CONTRACTOR (UNLESS OTHERWISE NOTED FOR THE PROJECT OR CONSTRUCTION (UNLESS OTHERWISE NOTED FOR THE CONSTRUCTION).

Drawing Title:
DETAILS

VDZ Project #:
DP2023-22

Drawing #:
LD-03



Bench Pipeline Backless Bench
 Supplier: Wishbone Site Furnishings
 Model Number: PLS5-6(S)
 Finish: Textured black powder coat with walnut slats
 Mount: Surface mount

1 BENCH



BIKE Rack
 Supplier: Wishbone Site Furnishings
 Model: SFBRP3 (3 Space Aluminum), SFBRP6 (6 Space Aluminum), SFBRP7 (7 Space Aluminum)
 Finish: Textured black powder coat
 Mount: Surface Mount

2 BIKE RACK



Pipeline Picnic Table
 Supplier: Wishbone Site Furnishings
 Model Number: PLPT-610 (2x10 Boards) PLPT-66 (2x6 Boards)
 Finish: Textured black powder coat with walnut slats
 Mount: Surface mount

3 PICNIC TABLE



Picnic Table Single Pedestal Picnic Table
 Game Top: Two-Sided Aluminum Checkers Board
 Supplier: Wishbone Site Furnishings
 Model: (1) SPP10-46 (1) SPP10VC-46 (2) GBP3-16
 Finish: Black powder coat
 Mount: Surface Mount

4 PICNIC TABLE WITH GAME TOP



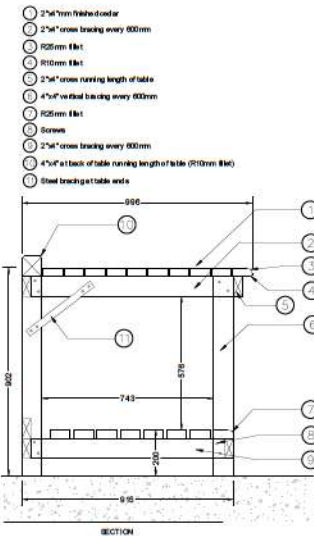
Moderna Curved Top Waste Receptacle
 Supplier: Wishbone Site Furnishings
 Model: MCR201
 Finish: Textured black powder coat with walnut slats
 Mount: Surface Mount

5 WASTE RECEPTACLE



Planter Artico Soil Washing Planter
 Supplier: Life Space Gardens
 Size: 3' x 6' x 6"
 Finish: Modern Clear

6 COMMUNITY GARDEN PLANTER



Notes:
 1. Contractor to provide shop drawings
 2. Apply Gloucsa's Cedar SPO Wall Cedar decking and cladding. Color: Cedar

7 POTTING TABLE



Supplier: Cedarland Canada
 Model: Garden Shed with Cedar Roof
 Size: 6' ft x 8' ft
 or approved equal

8 GARDEN SHED

No.	By	Description	Date
7	JM	Re-issued for DP	May 24, 2024
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Checked: KM	
Approved: SH	Original Sheet Size: 24"x36"
Scale: AS SHOWN	

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2:PROJECT/3:CONCRETE/4:PERMANENT/5:CONCRETE/6:GATEHOUSE/7:105A AVE CONDOS/8:DESIGN/9:DETAILING



Outdoor Sofa: Haveli Luxwood
 Supplier: CabanaCoast
 Finish: Grey Frame
 Ash Quilt-Cry Cushions
 or approved equal



GAZEBO



TRELLIS

2 GAZEBO/TRELLIS

Specification Sheet

Product Details:
 Name: BOLLARD LIGHT
 Type: Elongated Bollard
 Colour: Black
 Manufacturer: Lumempulse
 Supplier: Muegler Boyd
 Finish: Powder Coat
 Material: Steel
 Height: 480mm
 Weight: 10kg
 Dimensions: 100mm x 100mm x 480mm
 Installation: 100mm x 100mm x 480mm
 Notes: See technical drawing for details.

Technical specifications:
 Voltage: 120V AC
 Power: 10W
 Lumens: 1000lm
 Beam Angle: 30°
 Color Temperature: 3000K
 Life Span: 50,000 hours
 Warranty: 5 years

6 BOLLARD LIGHT



Play Structure
 Manufacturer: Jambetta
 Model: JS-22285-1A
 or approved equal

3 PLAY STRUCTURE

Specification Sheet

Product Details:
 Name: PLAY STRUCTURE
 Type: Multi-Function
 Manufacturer: Jambetta
 Supplier: Muegler Boyd
 Finish: Powder Coat
 Material: Steel
 Height: 2200mm
 Weight: 1000kg
 Dimensions: 2200mm x 2200mm x 2200mm
 Installation: 2200mm x 2200mm x 2200mm
 Notes: See technical drawing for details.

Technical specifications:
 Voltage: 120V AC
 Power: 1000W
 Lumens: 10000lm
 Beam Angle: 30°
 Color Temperature: 3000K
 Life Span: 50,000 hours
 Warranty: 5 years

7 AREA LIGHT



Play Panel 1
 Manufacturer: Jambetta
 Model: J13008-A
 or approved equal

4 PLAY PANEL 1

Specification Sheet

Product Details:
 Name: WALL LIGHT
 Type: Elongated
 Manufacturer: Muegler Boyd
 Supplier: Muegler Boyd
 Finish: Powder Coat
 Material: Steel
 Height: 100mm
 Weight: 1kg
 Dimensions: 100mm x 100mm x 100mm
 Installation: 100mm x 100mm x 100mm
 Notes: See technical drawing for details.

Technical specifications:
 Voltage: 120V AC
 Power: 10W
 Lumens: 1000lm
 Beam Angle: 30°
 Color Temperature: 3000K
 Life Span: 50,000 hours
 Warranty: 5 years

8 WALL LIGHT



Play Panel 2
 Model: L-180-49-A
 Manufacturer: Jambetta
 or approved equal

5 PLAY PANEL 2

No.	By	Description	Date
7	KM	Revised for DP	May 24, 2024
6	KM	Revised for DP	May 17, 2024
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REVISIONS TABLE FOR SHEET

Project:
 GATEHOUSE 105A AVE. COND OS

Location:
 14498, 14499, 14500 AND 14510
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Drawn: KM
 Checked: KM
 Approved: SH
 Scale: AS SHOWN

Stamp: 300
 Mark van der Zalm
 Original Sheet Size: 24"x36"

INTER-OFFICE MEMO

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Development Process Manager, Engineering Department**

DATE: **June 17, 2024**

PROJECT FILE: **7823-0109-00**

RE: **Engineering Requirements**

Location: 14488 / 14498 / 14500 / 14510 - 105A Ave

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 11.5 m towards 145 Street;
- Dedicate 3.0 m x 3.0 m corner at 105A Avenue and 145 Street; and
- Register 0.5 m statutory right-of-way (SRW) along all road frontages.

Works and Services

- Construct the south side of 105A Avenue;
- Construct the west side of 145 Street;
- Construct/upgrade frontage mains to service the development site;
- Construct adequately-sized storm, sanitary and water service connections, complete with inspection chambers/water meters;
- Provide sanitary and storm catchment plans and resolve downstream constraints.
- Implement on-lot stormwater mitigation features; and
- Register applicable legal documents as determined through detailed design.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Daniel Sohn, P.Eng.
Development Process Manager

M51

Department: **Planning and Demographics**
Date: **May 1, 2024**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **23-0109**

The proposed development of **141** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	23
---	----

Projected Number of Students From This Development In:	
Elementary School =	13
Secondary School =	6
Total Students =	19

Current Enrolment and Capacities:	
Hjorth Road Elementary	
Enrolment	327
Operating Capacity	229
# of Portables	5
Guildford Park Secondary	
Enrolment	1390
Operating Capacity	1050
# of Portables	11

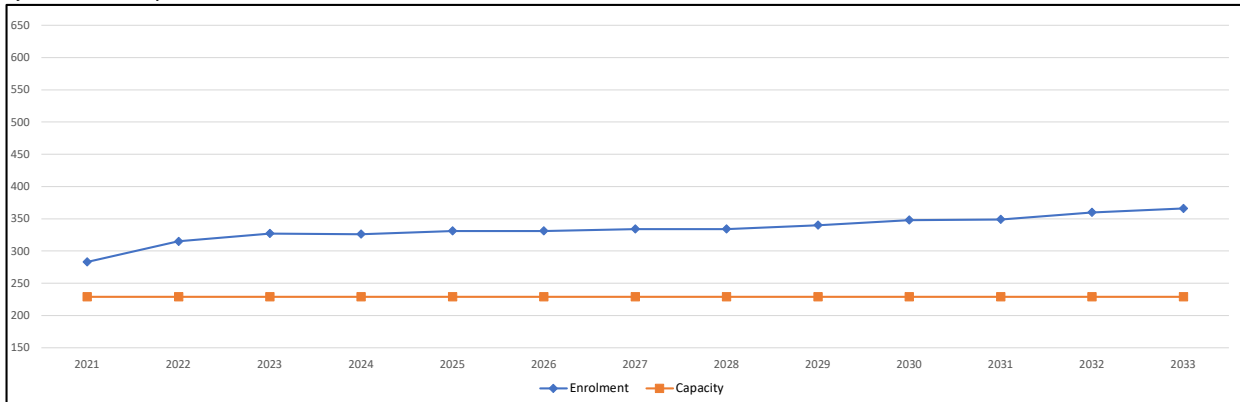
Summary of Impact and Commentary

The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

The NCP for the area calls for significant redevelopment located along 104th Avenue with the current building form changing into mid to high-rise residential development and mixed use. The timing of these future high-rise developments, with good market conditions could impact the enrolment growth upwards even more from the projections below.

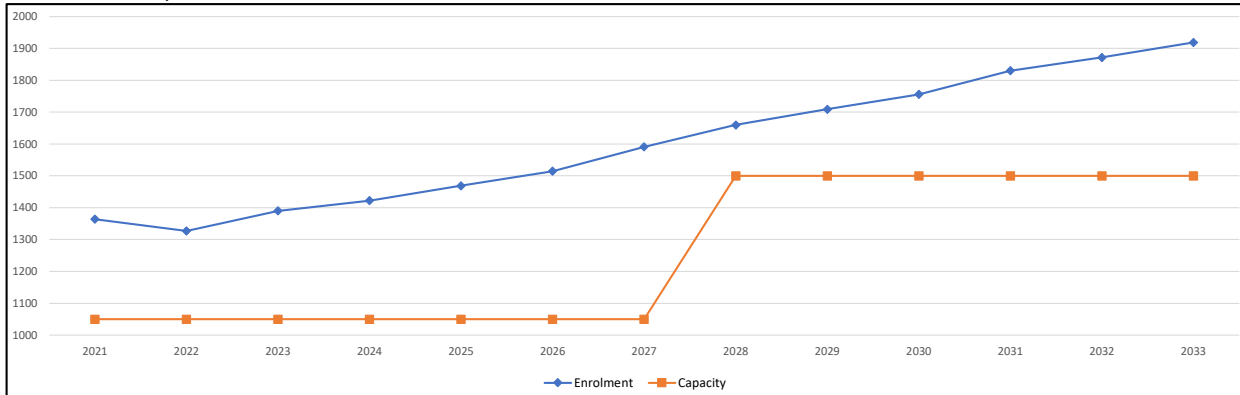
Total enrolment for Hjorth Road elementary has exceeded the school capacity over the last 5 years. The school is currently operating at 143% capacity. In the District's 2024/2025 Five Year Capital Plan, a new request for a 17-classroom addition to Hjorth Road Elementary has been included. The Ministry of Education and Child Care has not approved funding for this request. Guildford Park Secondary is currently operating at 132% and is projected to grow consistently. The development within the now approved NCP will likely change projections in the future. In May 2023, the District received capital funding approval from the Ministry of Education and Child Care to build a 450-capacity addition, targeted to open in the spring of 2028.

Hjorth Road Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Guildford Park Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

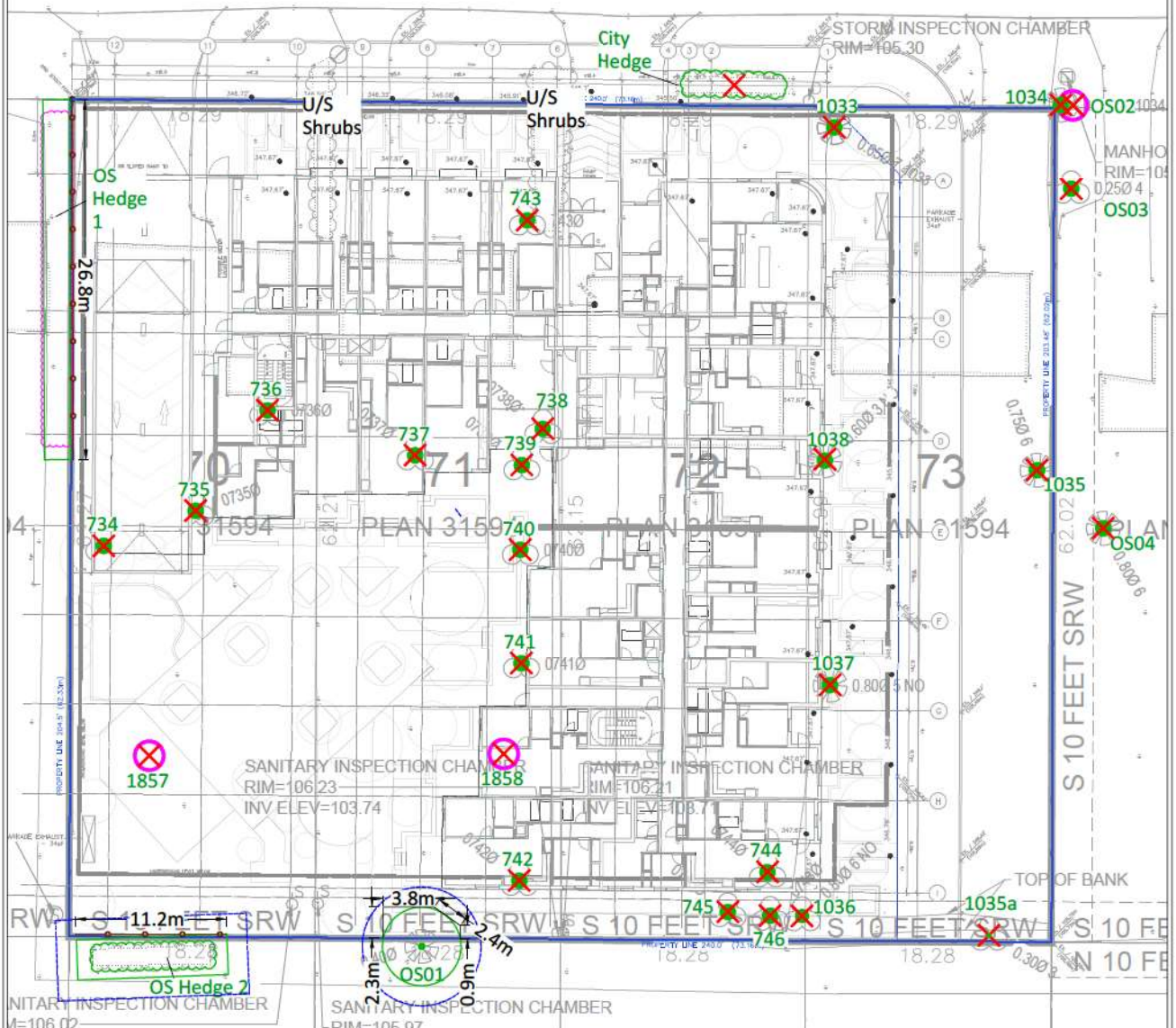
Population: The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

ENV=104.91 ±300mm Ø CONCRETE
W INV=104.41 ±300mm Ø CONCRETE

WIN
N IN

105A AVENUE



Arborist Notes for OS01:

- any works within 2 m of the TPZ must be conducted under arborist supervision.



LEGEND	— CRITICAL ROOT ZONE	— NO BUILD ZONE	○ UN-SURVEYED TREE TO BE RETAINED (MUST BE SURVEYED)	REFERENCE DRAWINGS
	○ TREE PROTECTION ZONE AND FENCING	● SURVEYED TREE TO BE RETAINED	✗ TREE TO BE REMOVED	1. Base Survey by: McEhanney Associates Land Surveying
				U/S UNDERSIZED (NON BY-LAW)

NOTES	<p>1. The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.</p> <p>2. All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.</p> <p>3. The tree protection zone shown is a graphical representation of the critical root zone, measured from the</p>	<p>outer edge of the stem of the tree. (If the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)</p> <p>4. No work is permitted within the Tree Protection Zone with the exception of swales. Swale construction is only permitted under the direct supervision of an arborist.</p> <p>5. The 1.5m area No Build Zone does not allow for any building foundation wall encroachment. Excavation is permitted within this area under the direct supervision of an arborist.</p>	<p>6. Drainage works such as lawn basins, associated piping or services are permitted within the No Build Zone under the direct supervision of an arborist.</p> <p>7. This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).</p> <p>8. This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.</p>
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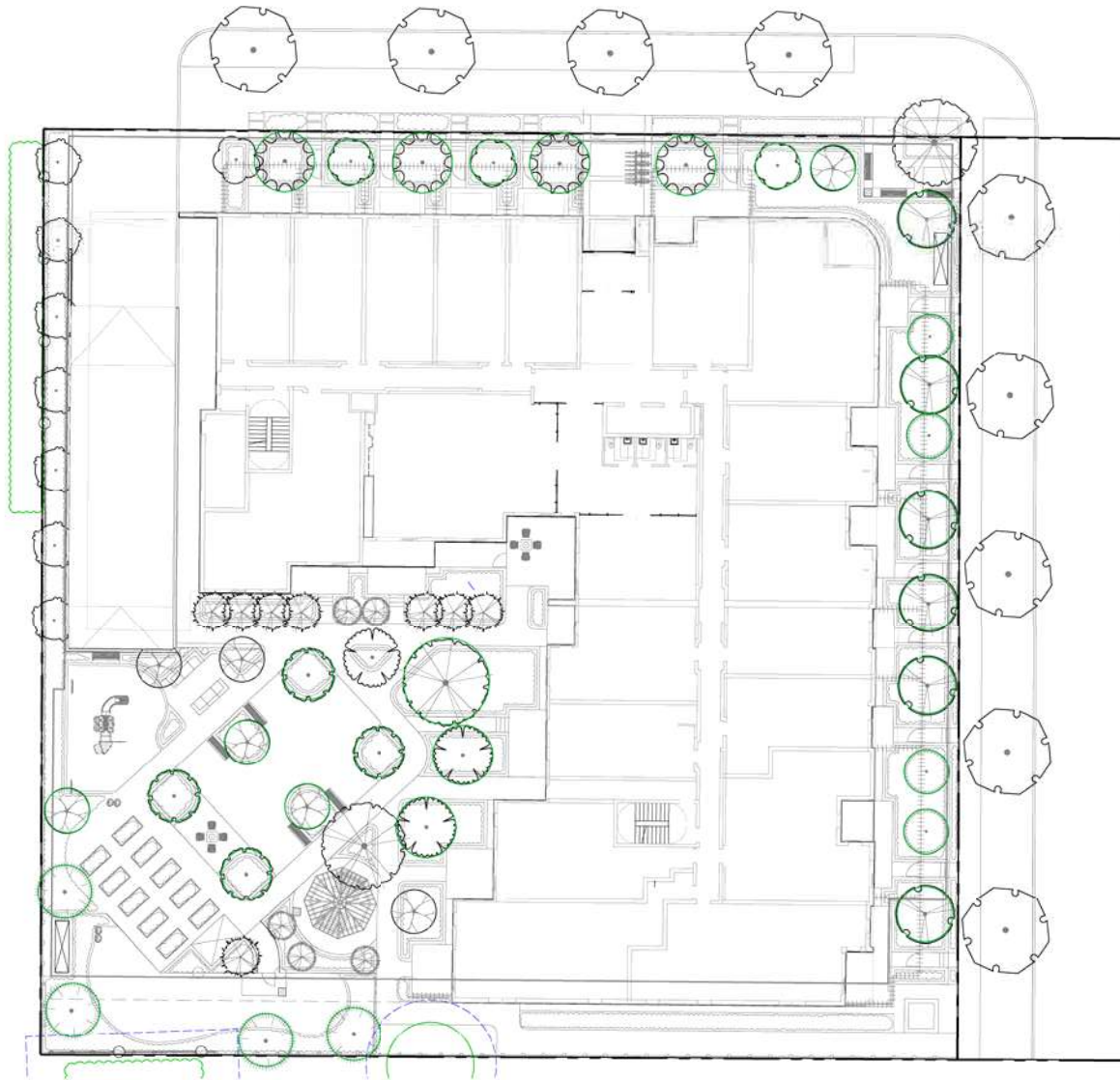
3559 COMMERCIAL STREET
VANCOUVER BC V6N 4E8
T 604.733.4886

Drawing title: Tree Management Plan
Project address: 14488, 14498, 14500 and 14510 - 105A Ave, Surrey
Client: Gatehouse

Drawing No: 005
Date: 2024/03/19
Drawn by: JB
Page Size: TABLOID 11"x17"

Page #
1 of 1

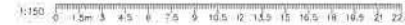
7. ARCHITECTURAL LAYOUT DRAWING: GATEHOUSE 105A AVE CONDOS. PROGRESSIVE SITE PLAN/DRG



LEGEND

KEY	DESCRIPTION
	REPLACEMENT TREE *Refer to site plan for species and size information

Total Quantity of Replacement Trees = 32



VDZ+A
LANDSCAPE ARCHITECTURE • PLANNING • DESIGN
FORE LANGLEY STUDIO: MOUNT PLEASANT STUDIO
 300-1231 Church St | 302-355 Kingston
 Fort Langley, BC | Vancouver, BC
 V3M 2H6 | VST 137
 www.vdz.ca 604-862-0024

No.	By	Description	Date
7	KM	Re-issued for DP	May 24, 2024
6	KM	Re-issued for DP	May 17, 2024
5	KM	Re-issued for DP	March 28, 2024
4	KM	Re-issued for DP	February 14, 2024
3	KM	Issued for Development Permit	July 13, 2023
2	AD	Issued for Review	May 19, 2023
1	AD	Issued for Review	Apr. 30, 2021

REVISIONS TABLE FOR DRAWINGS
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No.	By	Description	Date
1	DC	Replacement Tree Adjustment	March 3, 2024

REVISIONS TABLE FOR SHEET

Project:
GATEHOUSE 105A AVE. CONDOS

Location:
14488, 14498, 14500 AND 14510
- 105A AVENUE, SURREY, BC

Drawn: AD	
Checked: AD	
Approved: MvZ	

Scale:
1:150

CONTRACTOR SHALL CHECK ALL DIMENSIONS, PERMITS AND REGULATIONS FOR ACCURACY. V&Z+A SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. V&Z+A SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CONTRACTOR DUE TO OMISSIONS OR ERRORS IN THE CONTRACT DOCUMENTS. V&Z+A SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE CONTRACTOR DUE TO OMISSIONS OR ERRORS IN THE CONTRACT DOCUMENTS.

Drawing Title: **TREE REPLACEMENT PLAN**
 Drawing #: **L-02B**
 Project #: **DP2023-22**
 Orientation: **NORTH**