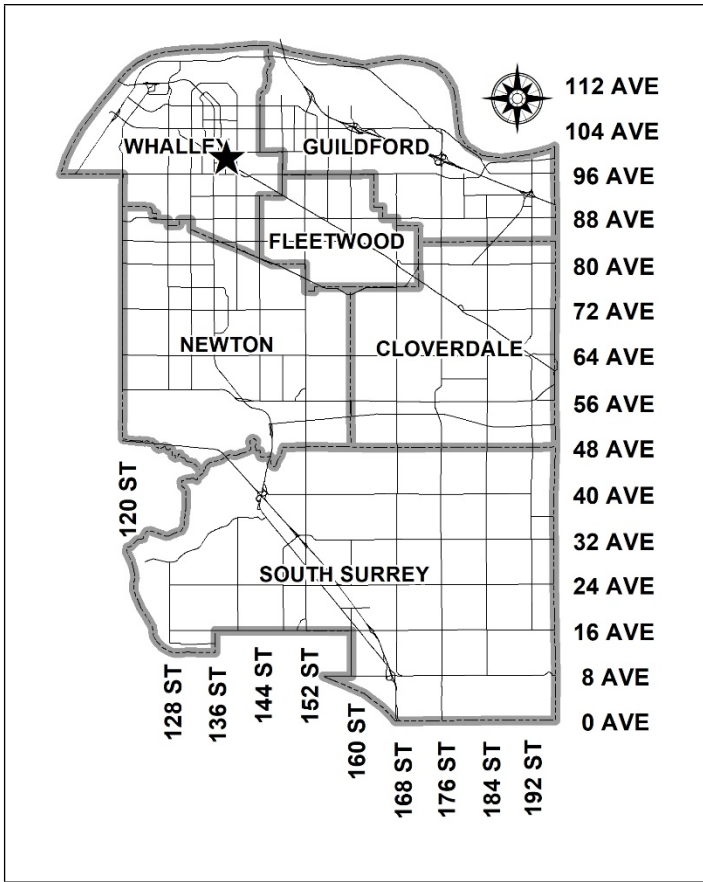


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0106-00

Planning Report Date: May 27, 2024



PROPOSAL:

- **OCP Amendment** to Figure 16: Downtown Densities from 3.5 FAR to 7.5 FAR
- **CCP Amendment** from Mid to High Rise Residential to High Rise Residential – Type II and to amend the road network on the subject site
- **Rezoning** from RF to CD (based on RM-135)
- **Development Permit**

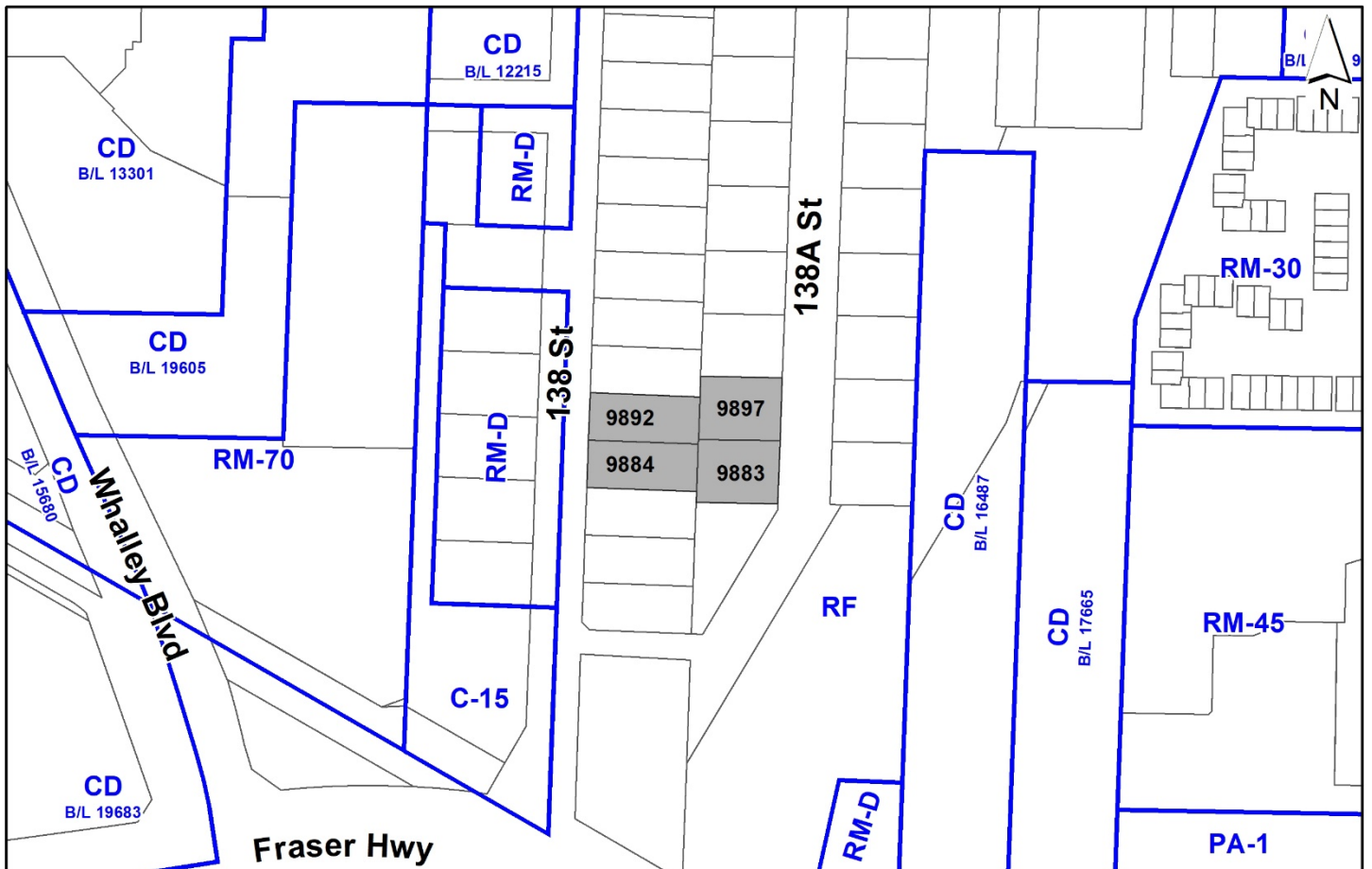
to permit the development of a 33-storey high-rise residential tower consisting of approximately 343 dwelling units.

LOCATION: 9884 & 9892 - 138 Street
 9883 & 9897 - 138A Street

ZONING: RF

OCP DESIGNATION: Downtown

CCP DESIGNATION: Mid to High Rise Residential



RECOMMENDATION SUMMARY

- Bylaw Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Requires an amendment to the Official Community Plan (OCP) Figure 16: Downtown Densities from 3.5 FAR to 7.5 FAR.
- Requires an amendment to the City Centre Plan to redesignate the subject site from Mid to High Rise Residential to High Rise Residential – Type II and to the road network for the relocation of the east-west green lane further south onto the subject site.

RATIONALE OF RECOMMENDATION

- Although the proposed density on the subject site is higher than that prescribed in the OCP and City Centre Plan, the proposed residential tower with apartment podium will support and complement the Green Timbers District of the City Centre.
- The proposed density and building form are appropriate for this part of Surrey City Centre, and forms part of an emerging high-density mixed-use and residential hub around the King George SkyTrain Station.
- The proposed development conforms to the goal of achieving high-rise, high-density development around the three SkyTrain Stations. The King George SkyTrain Station is located within a walking distance of 575 metres from the subject site.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the Surrey City Centre Plan and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials, and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A Bylaw be introduced to amend the OCP Figure 16: Downtown Densities for the subject site from 3.5 FAR to 7.5 FAR (Appendix V) and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A Bylaw be introduced to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)", and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7923-0106-00 generally in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (h) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-135 Zone, at the rate in effect at the time of Final Adoption;
 - (i) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (j) registration of a volumetric statutory right-of-way for public rights-of-passage along the north property line for a publicly accessible sidewalk; and

- (k) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services.
6. Council pass a resolution to amend the City Centre Plan to redesignate the subject site from Mid to High Rise Residential to High Rise Residential – Type II and to amend the road network for relocation of the east-west green lane onto the subject site, as shown in Appendix VIII, when the project is considered for Final Adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	CCP Designation	Existing Zone
Subject Site	Single family dwellings	Mid to High Rise Residential	RF
North:	Single family dwellings	Mid to High Rise Residential	RF
East (Across 138A Street):	Single family dwellings and BC Hydro corridor	Park	RF
South:	Single family dwellings and vacant City-owned lot	Mid to High Rise Residential	RF
West (Across 138 Street):	Duplex dwellings	Mid to High Rise Residential	RF

Context & Background

- The 0.76-acre subject site consists of four properties located midblock south of 100 Avenue between 138 Street and 138A Street in the Green Timbers District in City Centre.
- The site is designated Downtown in the Official Community Plan (OCP), Mid to High Rise Residential in the City Centre Plan (CCP) and is currently zoned Single Family Residential Zone (RF).

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing the following:
 - OCP and City Centre Plan amendments for higher density and to amend the road network for relocation of the east-west green lane;
 - Subdivision (consolidation) of the existing 4 lots into 1 development lot;
 - Rezoning from RF to a CD Zone based on the RM-135 Zone; and

- Detailed Development Permit for Form and Character

to permit the development of a 33-storey high-rise residential tower with a 5-storey apartment building podium consisting of approximately 343 dwelling units.

- The following table provides specific details on the proposal:

	Proposed
Lot Area	
Gross Site Area:	3,041 square metres
Road Dedication:	249 square metres
Net Site Area:	2,832 square metres
Number of Lots:	Existing – 4; Proposed - 1
Building Height:	110 metres / 33 storeys
Floor Area Ratio (FAR):	7.6 (gross) 8.3 (net)
Floor Area	
Residential:	23,446 square metres
Total:	23,446 square metres
Residential Units:	
1-Bedroom:	213
2-Bedroom:	128
3-Bedroom:	2 (townhouse)
Total:	343

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: The School District has advised that there will be approximately 12 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

7 Elementary students at Lena Shaw Elementary School
3 Secondary students at Guildford Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by August 2029.

Parks, Recreation & Culture:

City Tree OS₃ is identified as being retained as the proposed parkade outline shows excavation works outside the Tree Protection Zone. If this tree is determined to be impacted during construction, compensation based on appraised value may be required at that time.

The closest active park is Holland Park and is 685 metres away, and the closest natural area is Quibble Creek and is 415 metres away. Future parkland is proposed adjacent to the east of the subject site as part of the Surrey City Centre Plan.

Surrey Fire Department:

The Fire Department has no concerns with the proposed development application. However, there are some items which will be required to be addressed as part of the Building Permit application.

Advisory Design Panel:

The proposal was considered at the ADP meeting on January 25, 2024 and was supported. The applicant has agreed to resolve all of the outstanding items from the ADP review as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council's consideration of Final Adoption of the rezoning bylaw, to the satisfaction of the Planning and Development Department.

Transportation Considerations

Transit

- The subject site is located one block west of bus route #325 (Newton Exchange / Surrey Central Station) that runs along 140 Street.
- The subject site is located two blocks east of the Frequent Transit Network along King George Boulevard that serves bus routes #320 (Langley / Fleetwood / Surrey Central Station), #501 (Langley Centre / Surrey Central Station) and R1-King George Rapid Bus.
- King George SkyTrain Station and surrounding transit hub are approximately 575 metres (less than 10-minute walk) from the subject site. Planned redevelopment in the adjacent area will increase road network connections that reduce the walking distance between the SkyTrain station and this site.

Traffic Impacts

- The proposed development is anticipated to generate approximately one vehicle every one to two minutes, based on industry standard rates. As the anticipated number of trips is below the City's threshold, a transportation impact analysis was not required as part of the subject proposal.

Road Network and Infrastructure

- The applicant is required to provide the following road improvements:

- Construction of the east side of 138 Street to the City Centre local road standard;
 - Construction of the west side of 138A Street to the City Centre local road standard; and
 - Dedication and construction of an east-west lane along the north side of the subject site.
- An east-west lane was identified in the City Centre plan on the neighbouring properties to the north. The applicant is proposing to amend the City Centre plan road network by relocating a portion of the lane onto the subject site along the eastern most portion of the north property line.
 - The proposed lane relocation will not negatively impact the properties to the north as the required consolidation pattern remains similar under this alternative scenario.

Access and Parking

- Vehicle access to a five-level underground parking garage is through a single entry/exit along the north property line via the newly dedicated portion of east-west green lane.
- The proposed development includes a total of 343 parking spaces, meeting the Zoning Bylaw requirements.
- The applicant will be required to provide 1.2 bicycle parking spaces per unit, resulting in 412 residential bike parking spaces, in addition to a minimum of 6 visitor bike parking spaces near the building entrance.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist. This project will be required to meet a minimum of Step 3 of the BC Energy Step Code, and possibly higher based upon the date of Building Permit issuance.
- The building will be connected to the City's District Energy system.
- In addition, the applicant has highlighted the following additional sustainable features:
 - Construction waste to be categorized and recycled;
 - In proximity to King George SkyTrain station;
 - Electric charging stations for vehicles and bicycles provided;
 - Stormwater management plan to be developed;
 - Green space and pedestrian hardscape provided to reduce urban heat island effect;
 - Water saving plumbing fixtures and irrigation system installed; and
 - Drought tolerant plants to be planted.

School Capacity Considerations

- The School District has advised that the two schools (Lena Shaw Elementary School and Guildford Park Secondary School) in the catchment area of the subject site are at or over capacity, respectively.

- As part of the 2024/25 Five Year Capital Plan, the School District is seeking an 8-classroom addition at Lena Shaw Elementary School. The Ministry of Education has yet to approve funding for this project.
- In May 2023 the School District received Capital funding approval from the Ministry of Education for a 450-seat addition at Guildford Park Secondary School. The addition is projected to open Spring 2028 to help alleviate the over-capacity issue.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is designated General Urban in Metro Vancouver's Regional Growth Strategy (RGS). The proposed development complies with the RGS.

Official Community Plan

Land Use Designation

- The subject site is designated Downtown in the Official Community Plan, with a permitted maximum density of 3.5 FAR as noted in Figure 16 of the OCP.
- The applicant is proposing to amend Figure 16 for the proposed development from 3.5 FAR to 7.5 FAR.

Amendment Rationale

- Although the proposed density on the subject site is higher than that prescribed in the OCP and City Centre Plan, the proposed 33-storey residential tower with 5-storey apartment podium will support and complement the Green Timbers District of the City Centre.
- The proposed density and building form are appropriate for this part of Surrey City Centre, and forms part of an emerging high-density residential and mixed-use hub around the King George SkyTrain Station.
- The proposed development conforms to the goal of achieving high-rise, high-density development around the three SkyTrain Stations. The King George SkyTrain Station is located within a walking distance of 575 metres from the subject site.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation, as described in the Community Amenity Contribution section of this report.

Public Consultation for Proposed OCP Amendment

- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
 - Growth Management
 - Accommodating Higher Density: Direct higher-density development into Surrey's City Centre, through the development of a high-density development within City Centre.
 - Centres, Corridors and Neighbourhoods:
 - Dynamic City Centre: Strengthen Surrey's City Centre as a dynamic, attractive, and complete Metropolitan Core.
 - Transit Corridors: Support Transit Oriented Development along major corridors linking urban centres and employment areas, through the development of a high density development within walking distance to the SkyTrain and other transit infrastructure.
 - Healthy Neighbourhood: Plan and design urban neighbourhoods with sufficient densities to support a higher-quality transit system that is accessible to most residents.
 - Urban Design: Encourage beautiful and sustainable urban design, by promoting a vibrant, active, pedestrian-friendly environment.

Secondary Plans

Land Use Designation

- The subject site is designated Mid to High Rise Residential in the City Centre Plan (CCP).
- The applicant is proposing to amend the City Centre Plan from Mid to High Rise Residential to High Rise Residential – Type II and the road network to accommodate the proposed high-rise residential tower.

Amendment Rationale

- Although the proposed density on the subject site is higher than that prescribed in the City Centre Plan, the proposed high-rise residential tower with apartment podium will support and complement the Green Timbers District of the City Centre.
- The proposed density and building form are appropriate for this part of Surrey City Centre, and forms part of an emerging high-density residential hub around the King George SkyTrain Station.
- The proposed development conforms to the goal of achieving high-rise, high-density development around the three SkyTrain Stations. The King George SkyTrain Station is located within a walking distance of 575 metres from the subject site.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.

Themes/Objectives

- The proposed development is consistent with the following guiding principles:
 - Build Density, through the development of a high-density development close to the SkyTrain stations;
 - Encourage Housing Diversity, with a variety of unit types and sizes;
 - Create Vibrant Urban Space, with high quality architectural aesthetics and amenities such as plazas and street furniture to encourage people to interact with the public realm;
 - Green the Downtown, with appropriate new tree planting and landscaping treatments; and
 - Promote Identity and Sense of Place, with a blend of open landscaped spaces and enclosed residential spaces.

CD Bylaw

- The applicant proposes to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)".
- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed high-rise residential development on the subject site. The proposed CD Bylaw for the proposed development site identifies the uses, densities and setbacks proposed. The CD Bylaw will have provisions based on the "Multiple Residential 135 Zone (RM-135)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-135 Zone and the proposed CD Bylaw is illustrated in the following table:

Zoning	RM-135 Zone (Part 25)	Proposed CD Zone
Floor Area Ratio (net):	2.5	8.3
Lot Coverage:	33%	54%
Yards and Setbacks	50% of the height of the building	North: 6.0 metres South: 6.0 metres East: 4.5 metres West: 4.5 metres
Principal Building Height:	n/a	110 metres (33-storeys)
Permitted Uses:	<ul style="list-style-type: none"> • Multiple unit residential buildings. • Ground-oriented multiple residential buildings. • Child Care Centres. 	<ul style="list-style-type: none"> • Multiple unit residential buildings. • Ground-oriented multiple residential buildings.
Amenity Space		
Indoor Amenity:	714 square metres	The proposed 601 m ² does not meet the Zoning Bylaw requirement.
Outdoor Amenity:	1,029 square metres	The proposed 1,040 m ² exceeds the Zoning Bylaw requirement.
Parking (Part 5)	Required	Proposed

Zoning	RM-135 Zone (Part 25)	Proposed CD Zone
Number of Stalls		
Residential:	309	309
Residential Visitor:	34	34
Total:	343	343
Bicycle Spaces		
Residential Secure Parking:	412	415
Residential Visitor:	6	6

- The proposed CD Bylaw will incorporate similar uses as the RM-135 Zone.
- The proposed net floor area ratio (FAR) of the development will be 8.3, and the lot coverage is proposed to be 54%, which will exceed the maximum 2.5 FAR and 33% lot coverage permitted under the RM-135 Zone. The proposed density complies with the proposed 7.5 FAR designation in the Surrey City Centre Plan and the proposed lot coverage is appropriate for the proposed high-rise development.
- The RM-135 Zone requires the setbacks to be 7.5 metres or a minimum of 50% of the building height, whichever is greater. The applicant is proposing reductions for all setbacks in the CD Bylaw. The reduction in building setbacks is supportable as they allow for more active engagement of the streets, which is desirable for the City Centre area and consistent with the City Centre Plan design guidelines.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No.R037;2023.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit Issuance. The current rate is \$2,136 per unit.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the City Centre plan designation. The current rate is \$459.85 per sq. m for the Whalley Community Area.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,068 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.

- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on November 7, 2023, and the Development Proposal Signs were installed on February 8, 2024. Staff received one response from a neighbouring property owner with general questions regarding the surrounding neighbourhood.

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Surrey City Centre Plan.
- The proposed development complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Surrey City Centre Plan.
- The applicant has worked with staff to develop a design that incorporates City Centre urban design guidelines and principles through tower and podium refinement, public realm, and street interface. The applicant has continued to work with staff on an ongoing basis to resolve specific design-related concerns.
- The applicant and staff will continue to work on the following items prior to final adoption of the development:
 - Coordination and development of the public realm interface and resolution of site edges and grading, including the onsite sidewalk next to the lane;
 - Further development of the indoor-outdoor programming and providing accessible path from the sidewalk; and
 - General design refinements to address any remaining ADP and staff comments.
- The proposed development includes one 33-storey high-rise residential tower with 5-storey apartment podium with approximately 343 units and an overall gross density of 7.6 FAR.
- The proposed tower sits above a 5-storey podium fronting 138 Street. The 5-storey apartment podium provides a street wall along 138 Street and includes two ground-oriented townhouse units with individual patios and front door access directly from the street. The north lane elevation includes apartment units that are also ground-oriented with individual patios and front door access directly from the lane.

- The building incorporates a narrow, east-west rectangular tower floor plate to respond to the shape of the site. To address the tower separation guidelines for potential future development of the properties to the north and south, the tower massing has been located on the eastern portion of the subject site fronting 138A Street with the apartment podium extending to the west toward 138 Street.
- A large roof-top outdoor amenity space is proposed to be located atop the apartment podium on Level 6.
- The primary pedestrian building entrance is located on the east elevation from 138A Street through a large lobby entrance framed with bench seating and bike racks. A secondary pedestrian access is provided from 138 Street through an entrance corridor.
- A pair of continuous S-shaped frames are proposed to wrap around the podium and the tower to accentuate the main building entry and outdoor amenity located on the podium roof. This design feature is also included at the podium level, where smaller L-shaped frames accentuate each dwelling unit entrance to create a two-storey repetitive expression along north and south elevations.
- The building expression also includes two distinct patterns proposed for both the tower and the podium. Stacks of balconies and vertical strips of copper-colored metal panel span from the lobby glazing to the tower roof, emphasizing the verticality of the tower. The podium is defined by a checker pattern of balcony panels that wrap around north, west and south elevations.
- A 1.8-metre wide east-west sidewalk is proposed along the northern edge of the site along the green lane for public right-of-passage. When future redevelopment to the north proceeds and the remaining dedication is provided for the ultimate green lane, an additional sidewalk will be provided along the north side of the green lane. A volumetric statutory-right-of-way is required to be registered to ensure public accessibility of the sidewalk on the subject site.
- The applicant has agreed to address any outstanding post-ADP and staff comments to the satisfaction of the City Architect, prior to final adoption (Appendix VI).

Landscaping

- The landscape concept has been designed to respond to the urban nature of City Centre as an active, pedestrian-friendly space. The overall design considers site circulation, navigates the significant slope, and incorporates an inclusive interface between the public and private realm.
- Each ground floor unit includes a private patio space with soft landscape screening and private gate with layered planting consisting of a variety of shrubs.
- Additional landscaping is provided on the roof of the five-storey apartment podium and has been designed as a green outdoor area with both programmed and passive space.

Indoor Amenity

- Per the Indoor Amenity Space requirements of the Zoning By-law No. 12000, high-rise towers that are 25 storeys or higher must provide 3 square metres of indoor amenity space per unit up to 557 square metres per tower, which equates to 186 units, plus 1 square metre per unit above 557 square metres.
- Based upon the City's Zoning Bylaw requirement, the proposed development must provide a total of 714 square metres of indoor amenity space for the proposed 343 residential units (no micro units are proposed). Of that 714 square metres of indoor amenity space 372 square metres must be provided on site, and the remainder can be provided through a cash-in-lieu contribution.
- The applicant is proposing 601 square metres of indoor amenity space located throughout the development, which is below the total indoor amenity space required under the Zone.
- The applicant will be required to pay cash-in-lieu for the shortfall of 113 square metres of indoor amenity space prior to final adoption in accordance with City policy.
- Indoor amenity spaces are proposed on the ground level, upper ground level, Level 6 and Level 7. There are two separate indoor spaces at grade and consist of a party/dining room and a lounge with library and games room programming. At Level 6 an indoor kids' play area and party room are proposed. The indoor amenity space on Level 7 is proposed to accommodate a gym. The indoor spaces on the ground level and Level 6 are connected and open onto outdoor amenity spaces with their own programs/functions.

Outdoor Amenity

- Based upon the City's Zoning Bylaw requirement of 3 square metres per dwelling unit of outdoor amenity space, a total of 1,029 square metres of outdoor amenity space is required for the proposed development. There are no micro units.
- The applicant is proposing 1,040 square metres of outdoor amenity space, which exceeds the total indoor amenity space required under the Zone.
- The outdoor amenity space on the ground level consists of a mix of paved and deck areas, a turf dog run area with movable planters, an urban agriculture area with accessible community planters, separate dining areas with table and chairs and custom bench seating.
- Outdoor amenity space is also proposed on the apartment podium rooftop (Level 6) off the indoor amenity rooms and includes a children's play area with rubber and sod surfaces, lounge chairs, a deck area with outdoor kitchens, picnic tables and tables and chairs.

TREES

- Corey Plester Certified Arborist of Mike Fadum & Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Plum, purple leaf	3	3	0
Cherry	3	3	0
Poplar, Lombardy	1	1	0
Poplar, Trembling Aspen	1	1	0
Holly, English	4	4	0
Coniferous Trees			
Western Red Cedar	5	4	1
Deodar Cedar	1	1	0
Total (excluding Alder and Cottonwood Trees)	18	17	1
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		34	
Total Retained and Replacement Trees Proposed		35	
Estimated Contribution to the Green City Program		N/A	

- The Arborist Assessment states that there are a total of 18 mature trees on the site, excluding Alder and Cottonwood trees and including City trees. There are no Alder and Cottonwood trees. The applicant proposes to retain 1 tree as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a proposed total of 34 replacement trees on the site. The applicant is proposing 34 replacement trees, meeting City requirements.
- In addition to the replacement trees, boulevard street trees will be planted on all road frontages. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Seiryu Japanese Maple, Red Kousa Dogwood, Elizabeth Magnolia, Bruns Serbian Spruce, Shore Pine and Japanese Snowbell.
- In summary, a total of 35 trees are proposed to be retained or replaced on the site with no contribution to the Green City Program.

- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

CITY ENERGY

- The subject site is located within Service Area A, as defined in the "City Centre District Energy System By-law" (see Appendix VII for location). The District Energy System consists of three primary components:
 - community energy centres, City-operated facilities that generate thermal energy for distribution through a piped hot water network;
 - distribution piping that links the community energy centres with buildings connected to the system; and
 - City-owned energy transfer stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system, and is used to meter the amount of energy used.
- All new developments within Service Area A with a build-out density equal to or greater than a floor area ratio (FAR) of 1.0 will be required to provide hydronic thermal energy systems in support of the City's District Energy (DE) system including domestic hot water, make-up air units and in-suite hydronic space heating. The City is committed to having the DE system operational within the timeframe of this project. Therefore, the subject application will be required to connect to the City's DE system prior to occupancy.
- In order to avoid conflicts between the District Energy System and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for the following purposes:
 - City access to, and maintenance and operation of, the ETS within the building and any infrastructure between the building and the property line; and
 - to prevent conflicts with other utilities.
- Prior to the issuance of a building permit, the Engineering Department will confirm that the applicant has met the requirements of the "City Centre District Energy System By-law".

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix V.	OCP Redesignation Map
Appendix VI.	ADP Comments and Response
Appendix VII.	District Energy Map
Appendix VIII.	City Centre Plan Amendment

approved by Ron Gill

Don Luymes
General Manager
Planning and Development

9892, 9884 138 St, 9897, 9883 138a St, Surrey • Submission to Council

DF Architecture

Project Statistics

LOT INFO			
Civic Address	9892, 9884 138 St & 9897, 9883 138a St, Surrey BC		
Legal Description	LOT 12 BLOCK 5N SECTION 35 RANGE 2W PLAN NWP15725 NWD		
	LOT 13 BLOCK 5N SECTION 35 RANGE 2W PLAN NWP15725 NWD		
	LOT 17 BLOCK 5N SECTION 35 RANGE 2W PLAN NWP10377 NWD		
	LOT 20 SECTION 35 RANGE 2 PLAN NWP10377 NWD		
Gross Site Area	33,168 sf	3,081.40 sq m	
Dedications	2,685 sf	249.44 sq m	
Net Site Area	30,483 sf	2,831.94 sq m	
FAR Gross	7.6		
FAR Net	8.3		
Zoning			
Existing	RF		
Proposed	CD		
Height, Proposed	33F	110m	
Site Coverage, Gross	49.6%		
Site Coverage, Net	54.0%		
Proposed Setbacks			
	North	19.7 ft	6.00m
	East	14.8 ft	4.50m
	South	19.7 ft	6.00m
	West	14.8 ft	4.50m

Project Statistics

UNIT SCHEDULE							
Floor	UNIT TYPE				AREA		
	Studio/Micro	1Br	2Br	3Br	Residential	Amenity	
Lower Ground Level		3	1	2	10,495	2,037	
Upper Ground Level		0	0		4,350	735	
Level 02		8	1		7,932		
Level 03		12	6		13,079		
Level 04		12	6		13,079		
Level 05		12	6		13,079		
Level 06 (Amenity)		5	2		5,310	1,762	
Level 07 (Amenity)		5	2		5,121	1,951	
Level 08		6	4		7,072		
Level 09		6	4		7,072		
Level 10		6	4		7,072		
Level 11		6	4		7,072		
Level 12		6	4		7,072		
Level 13		6	4		7,072		
Level 14		6	4		7,072		
Level 15		6	4		7,072		
Level 16		6	4		7,072		
Level 17		6	4		7,072		
Level 18		6	4		7,072		
Level 19		6	4		7,072		
Level 20		6	4		7,072		
Level 21		6	4		7,072		
Level 22		6	4		7,072		
Level 23		6	4		7,072		
Level 24		6	4		7,072		
Level 25		6	4		7,072		
Level 26		6	4		7,072		
Level 27		6	4		7,072		
Level 28		6	4		7,072		
Level 29		6	4		7,072		
Level 30		6	4		7,072		
Level 31		6	4		7,072		
Level 32		6	4		7,072		
Level 33		6	4		7,072		
Total	0	213	128	2			
%	0%	60%	39%	1%			
Grand Total				343	Total	252,329 sf	
					FSR	7.6	
Typical Tower Floor							
	With Balconies	W/o Balconies					
Dimensions	34.24m x 24.71m	31.19m x 21.95m					
Area	733.83 sq m	657.25 sq m					

Project Statistics

Parking				
		Rate		
Units	343			
Resident stalls	309	0.9		
Visitor stalls	34	0.1		
Accessible required	7	2%		
Total, required	343			
Total, provided	343			
P1	60			
P2	72			
P3	73			
P4	73			
P5	65			
Accessible provided	7			
Proposed parking rate	0.90			
Amenity				
		Rate		
Units (up to 186)	186	3.00 sq m	32.00 sf	
Units (above 186)	157	1.00 sq m	10.76 sf	
Micro-units	0	4.00 sq m	43.00 sf	
Indoor, minimum		372.00 sq m	4,003 sf	52%
Indoor, required		715.00 sq m	7,641 sf	100%
Indoor, provided		602.70 sq m	6,485 sf	85%
Outdoor, required		1,029.00 sq m	11,072 sf	
Outdoor, provided		1,039.50 sq m	11,185 sf	101%
Bicycles				
Units	343			
Rate	1.2			
Total, required	412			
Total, proposed	416			

Massing and Uses



- Tower
- Outdoor Amenity
- Indoor Amenity
- Podium
- Lobby
- Indoor Amenity
- Outdoor Amenity















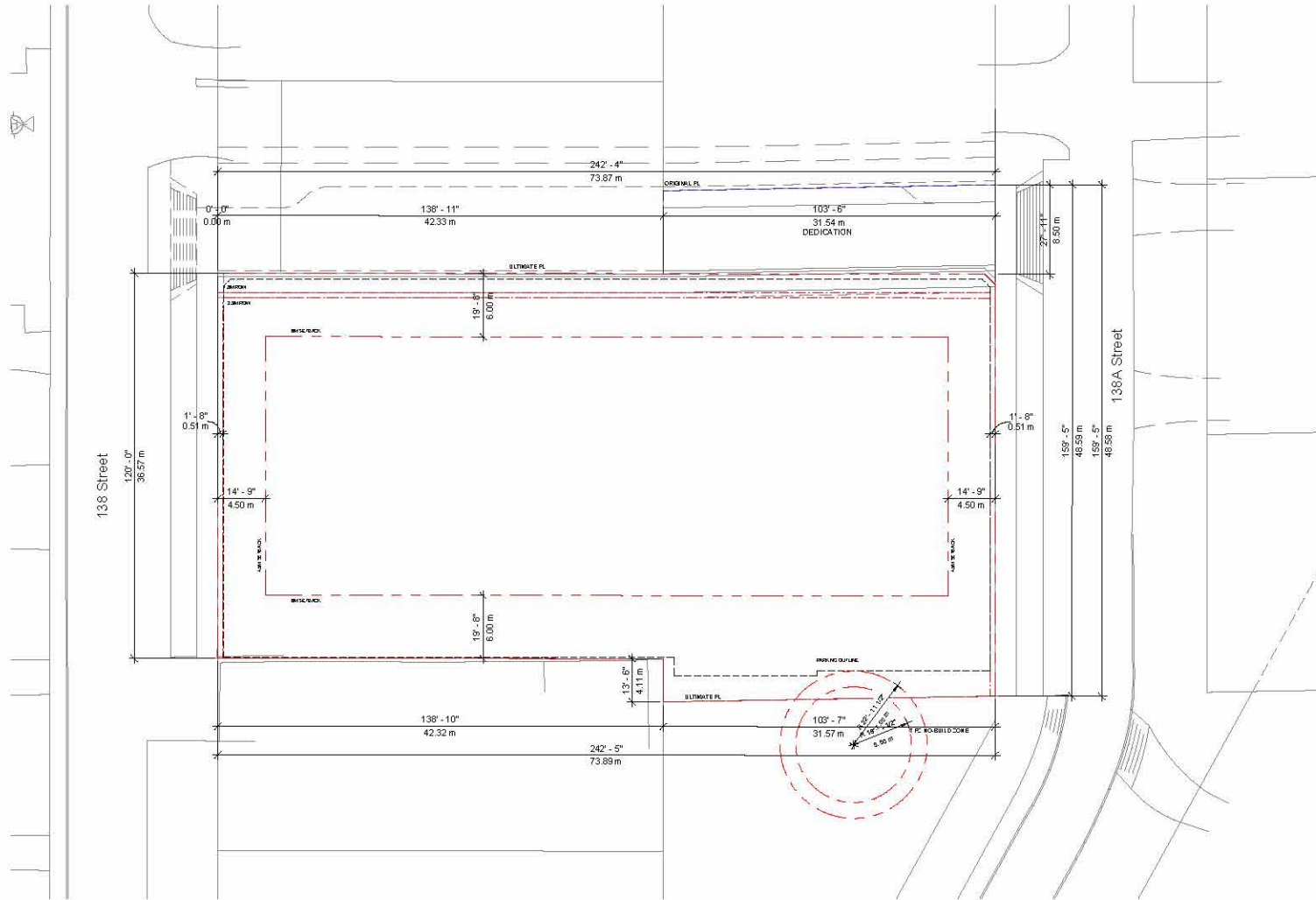








Base Plan



Tower Separation Plan



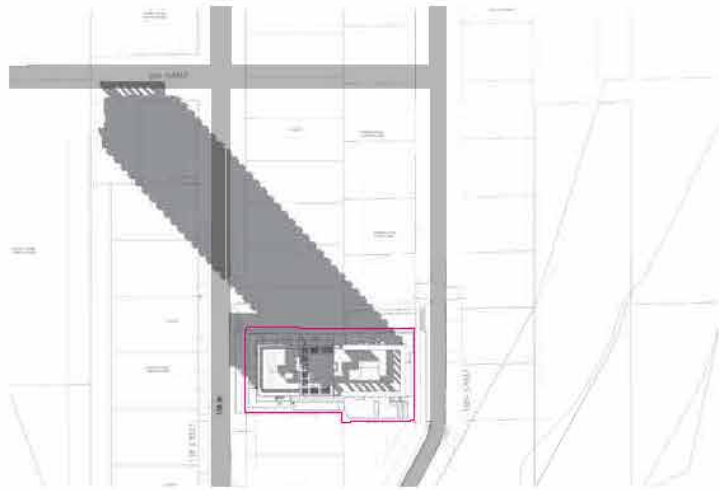
13919

40.86

Shadow Study



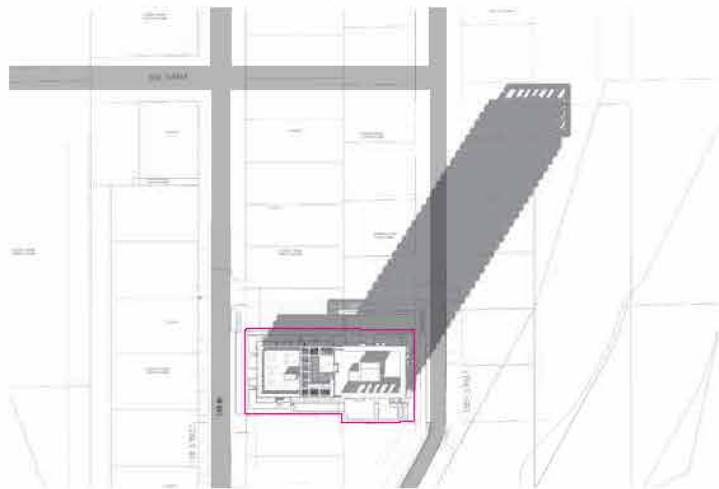
Spring Equinox



10AM



12PM



2PM



4PM

Shadow Study



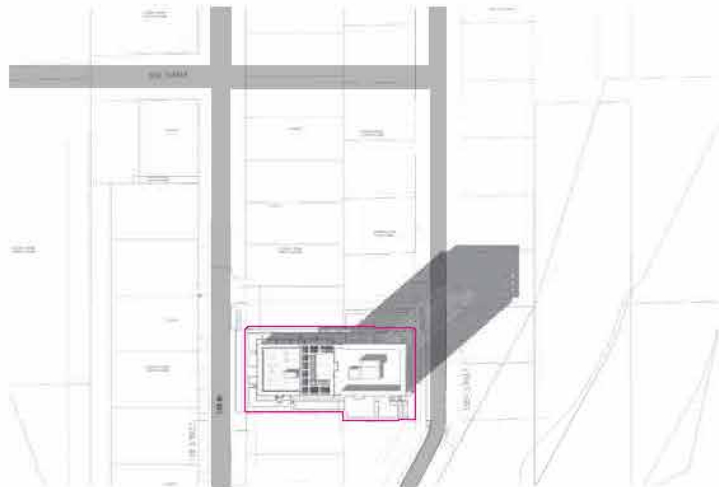
Summer Solstice



10AM



12PM

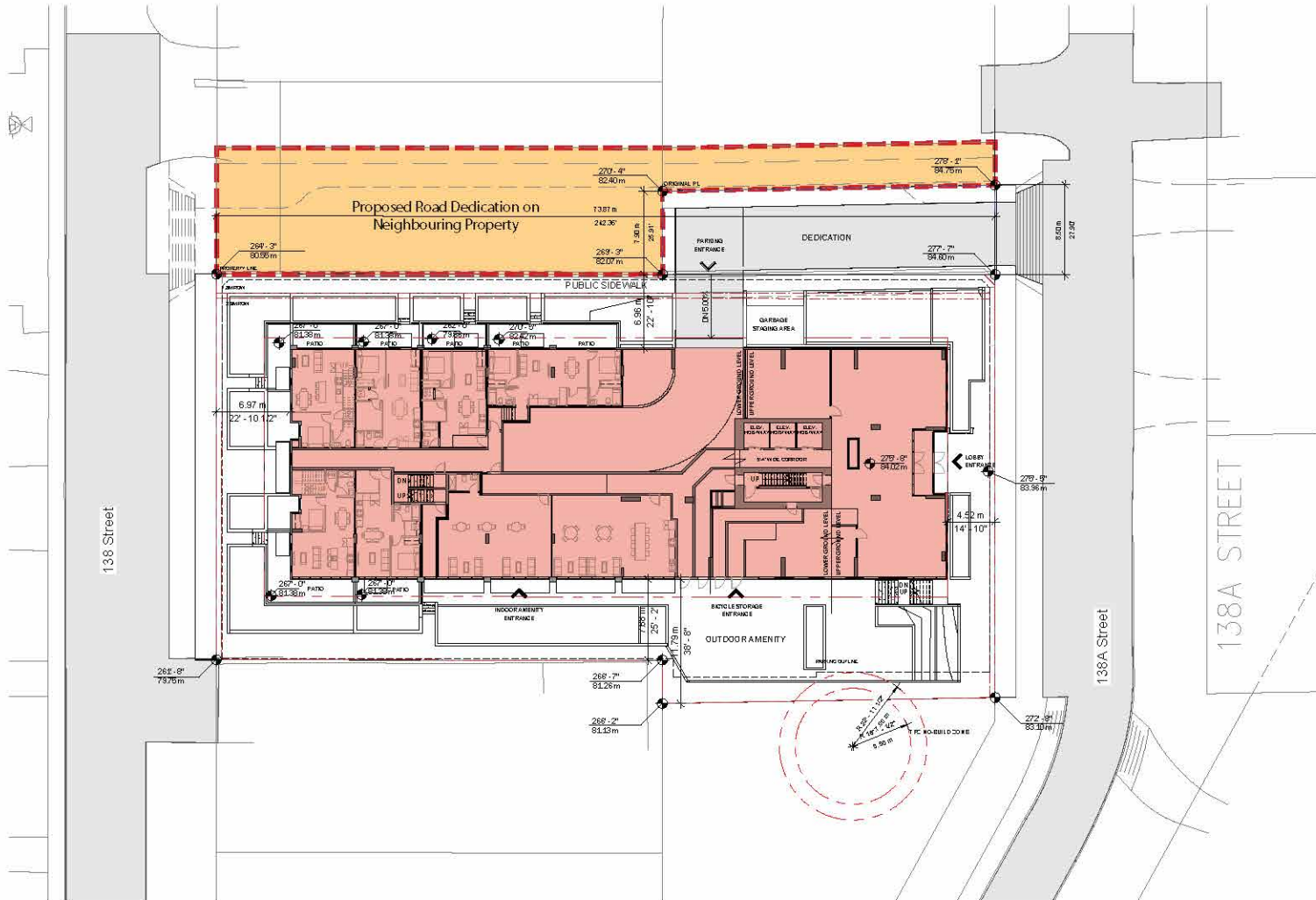


2PM

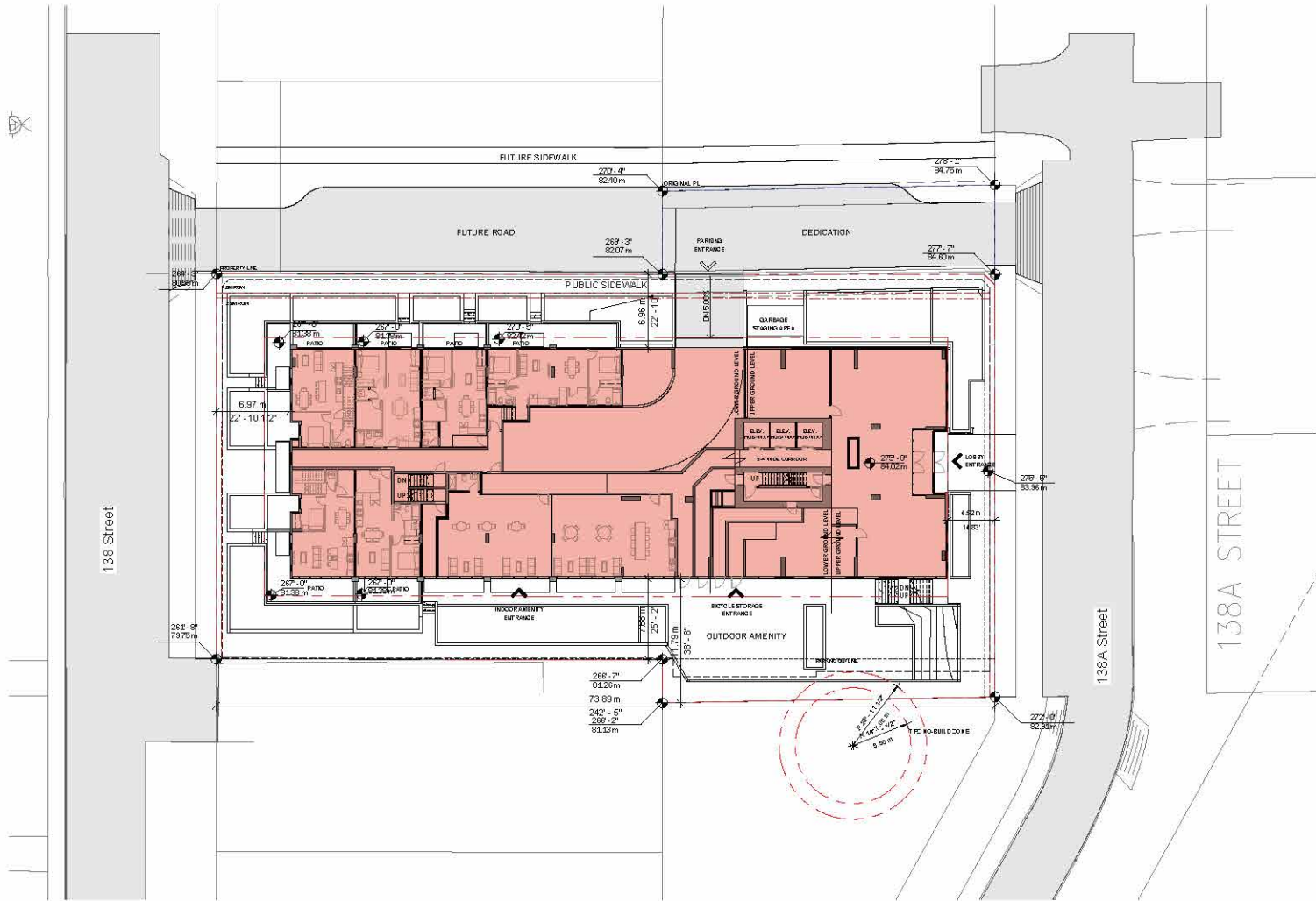


4PM

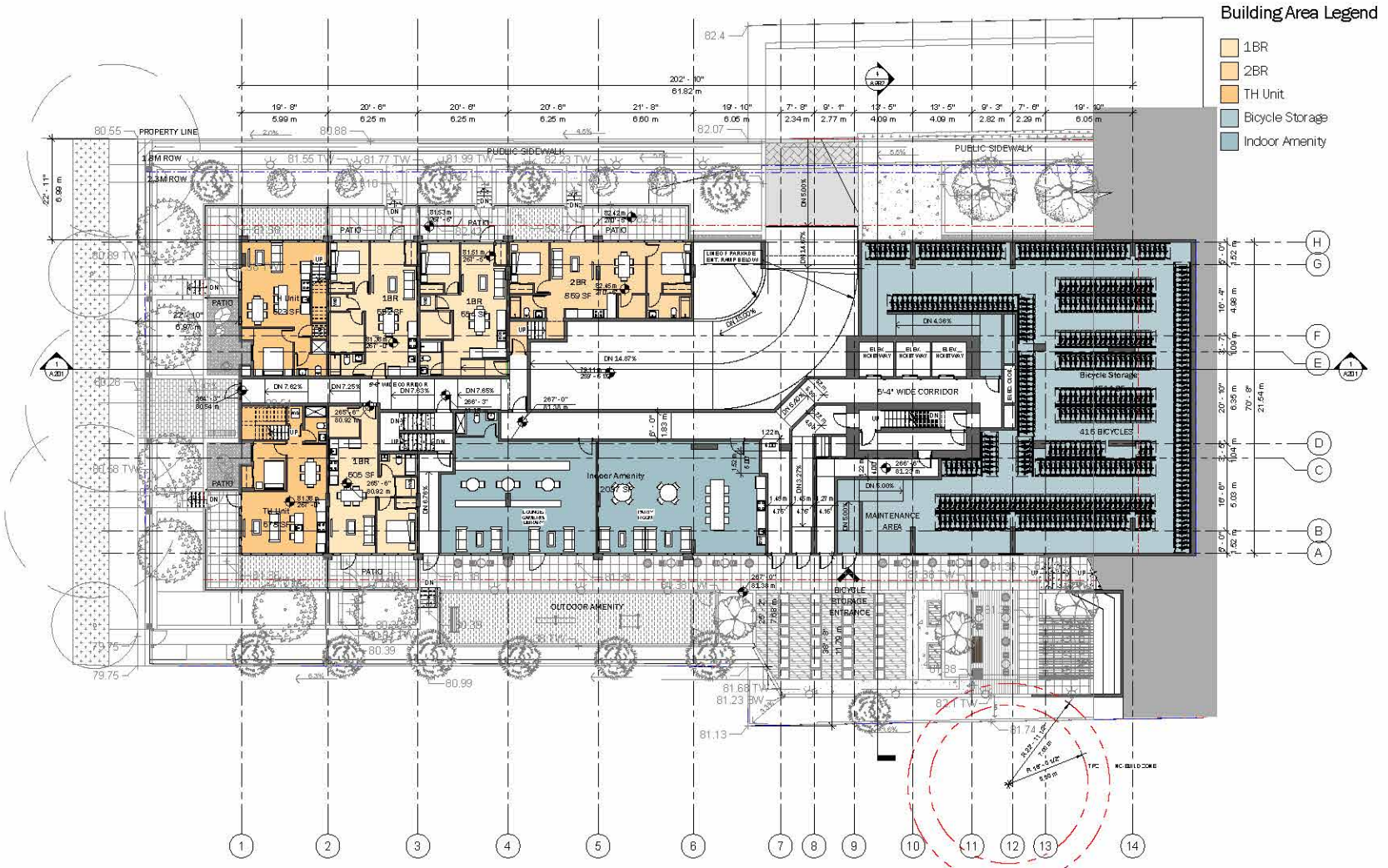
Site Plan



Ultimate Site Plan



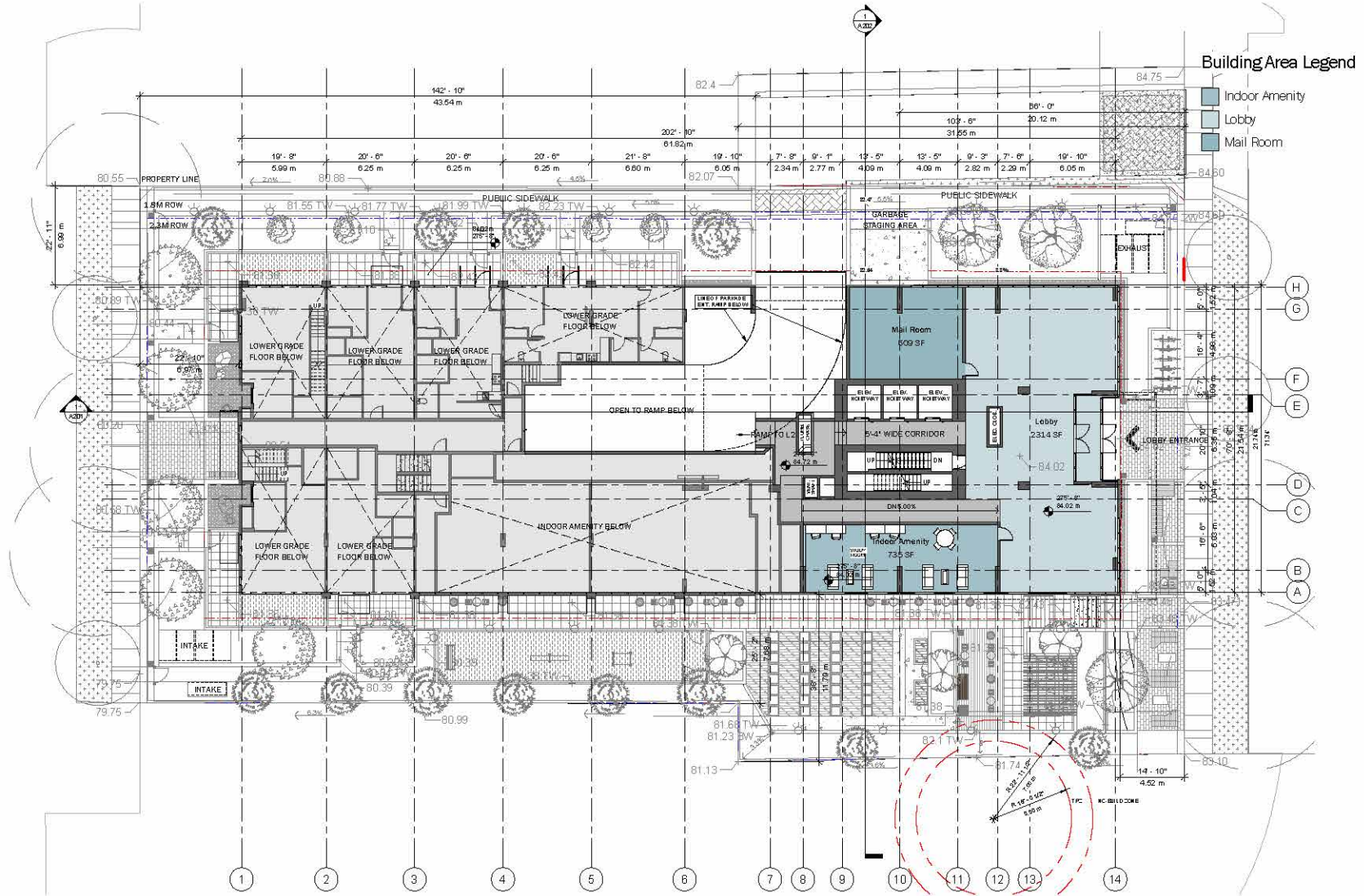
Lower Ground Level Plan



Building Area Legend

- 1BR
- 2BR
- TH Unit
- Bicycle Storage
- Indoor Amenity

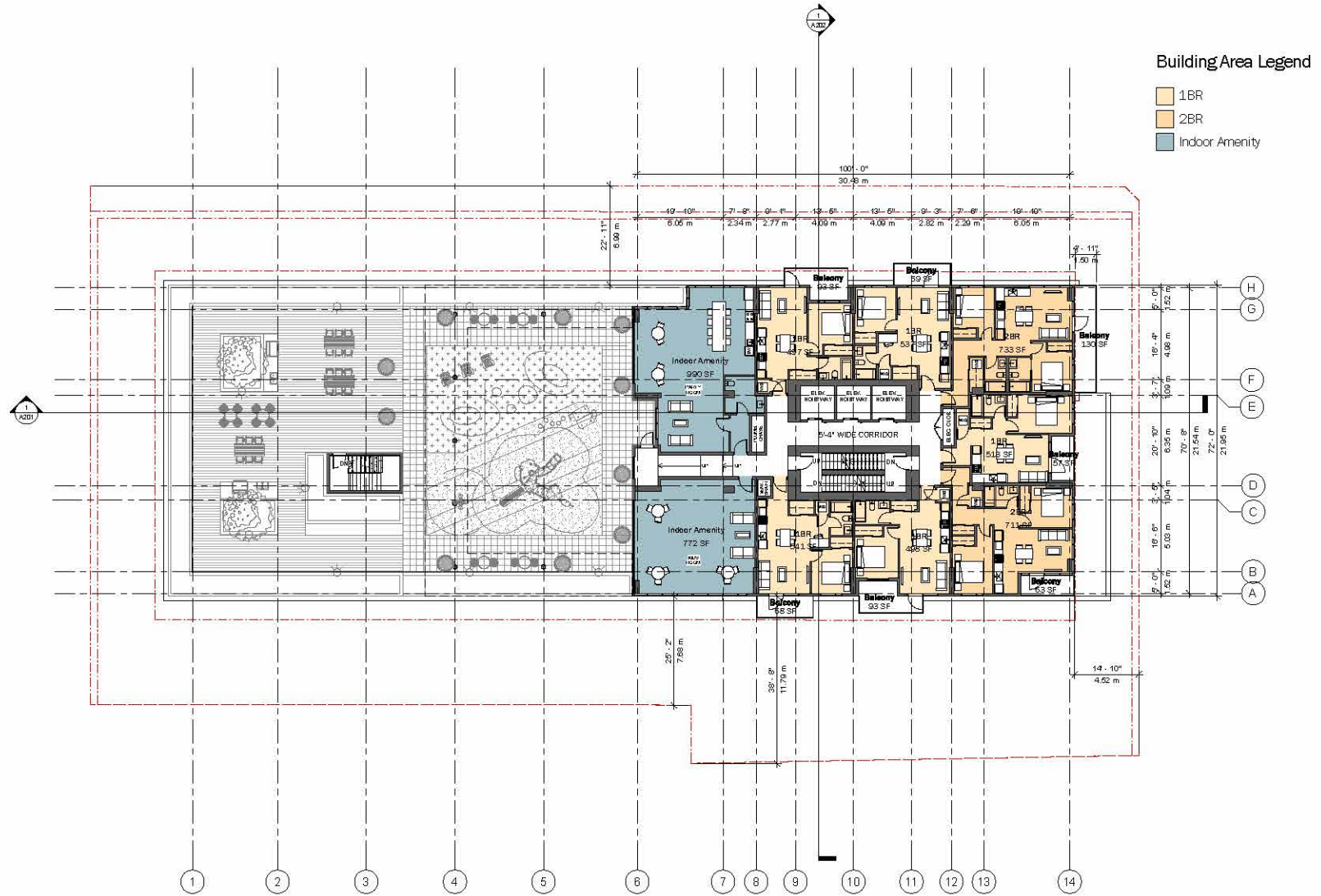
Upper Ground Level Plan



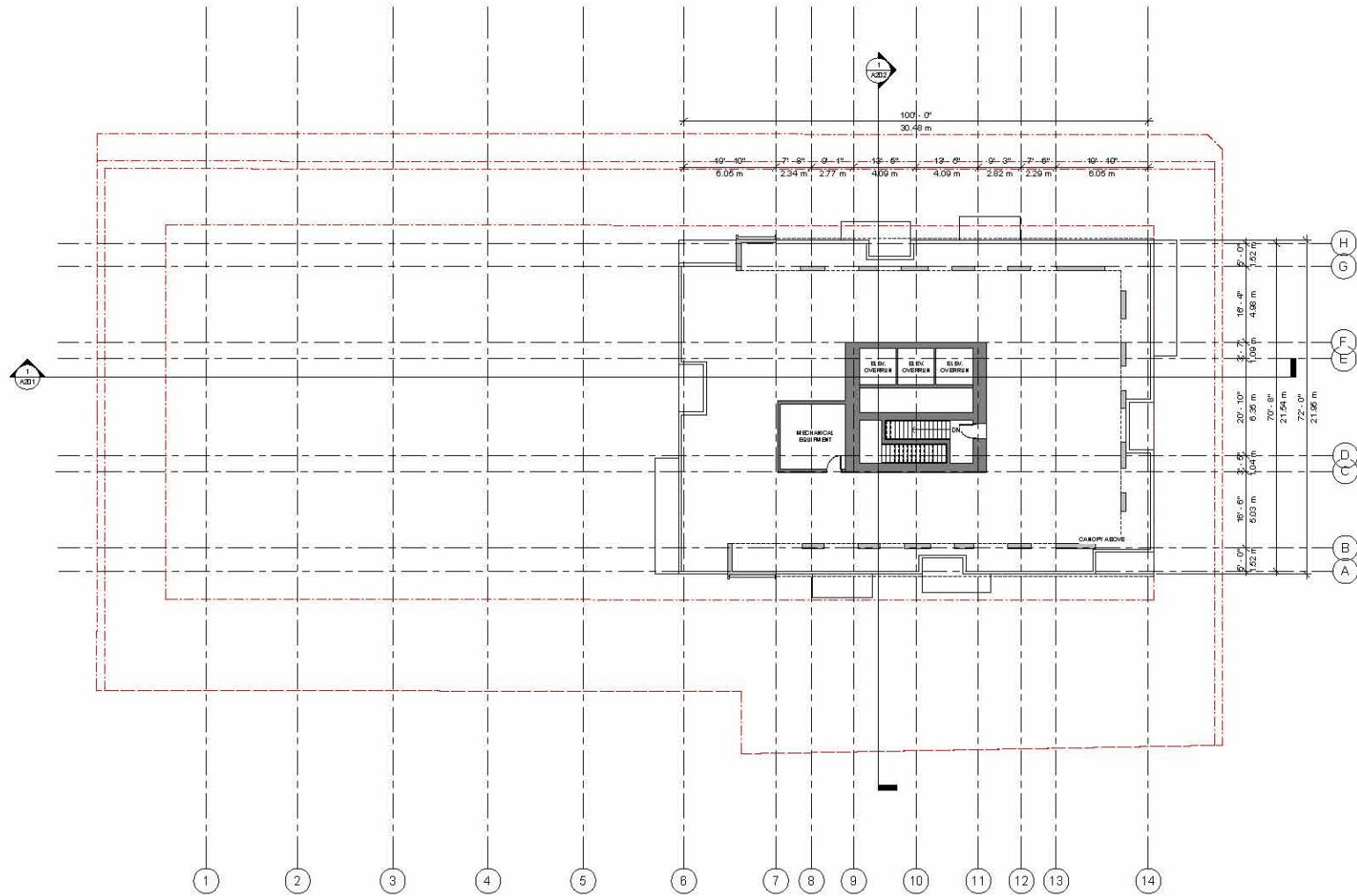
Building Area Legend

- Indoor Amenity
- Lobby
- Mail Room

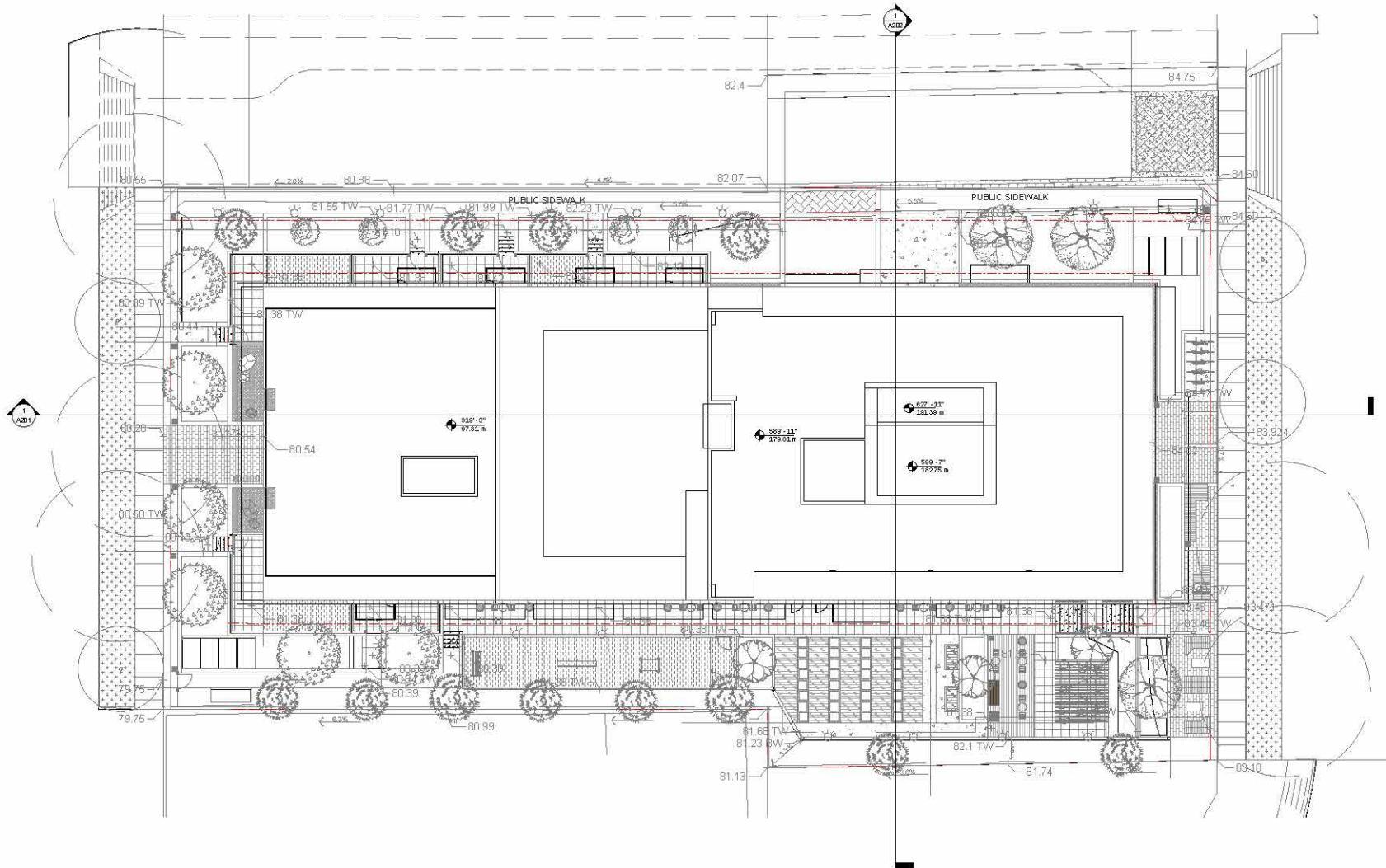
L6 Plan



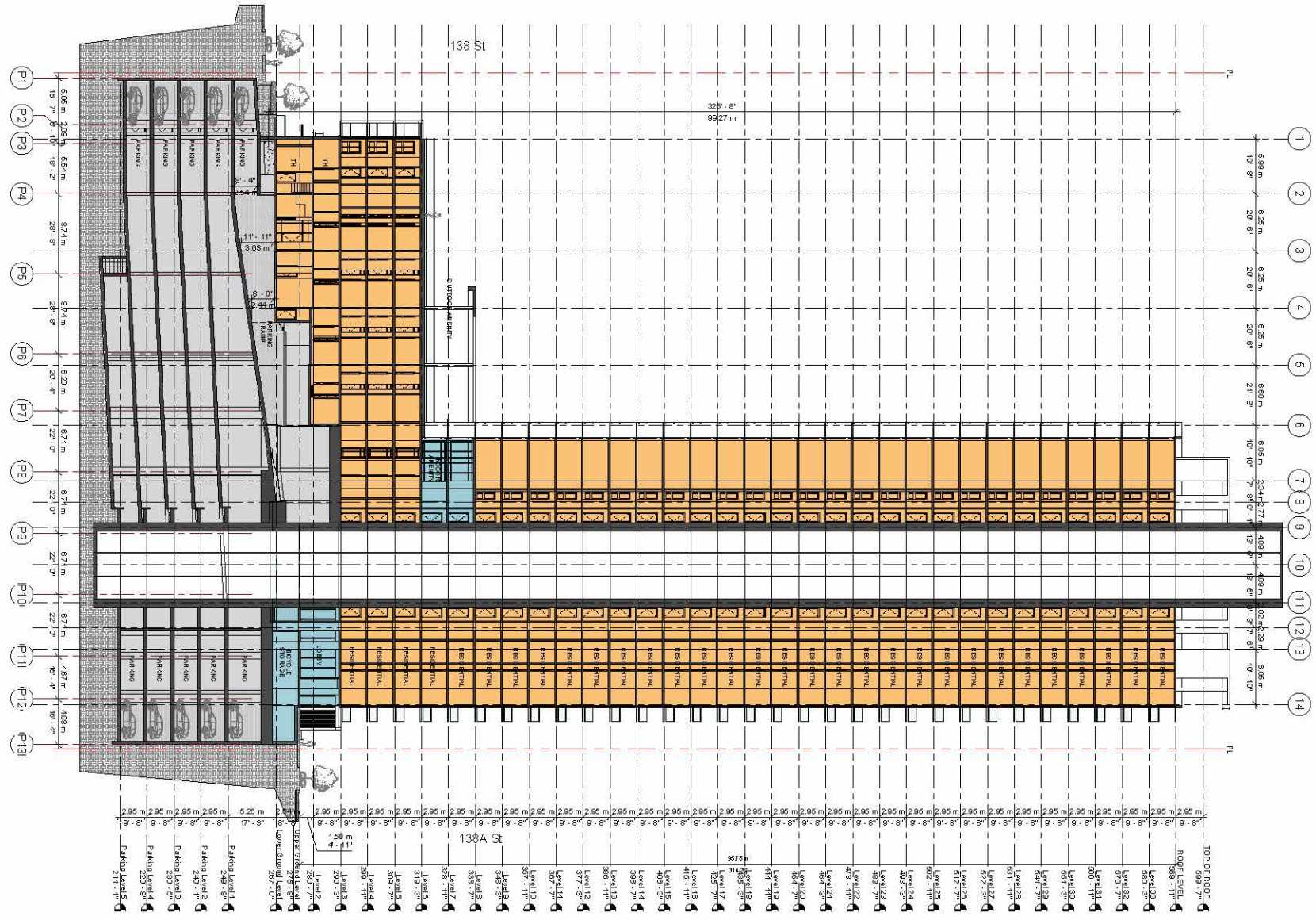
Roof Plan



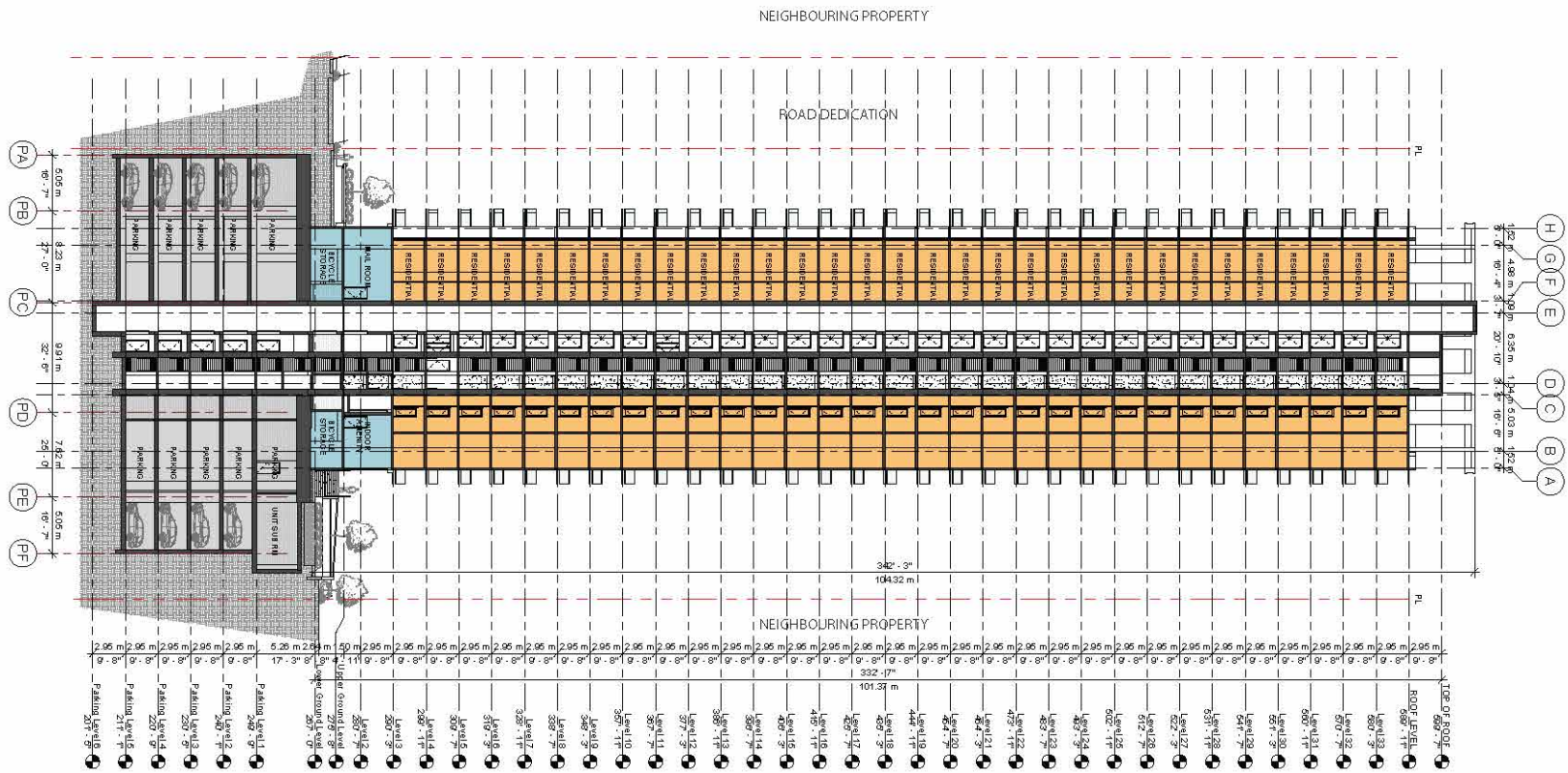
Top of Roof Plan



Section 1



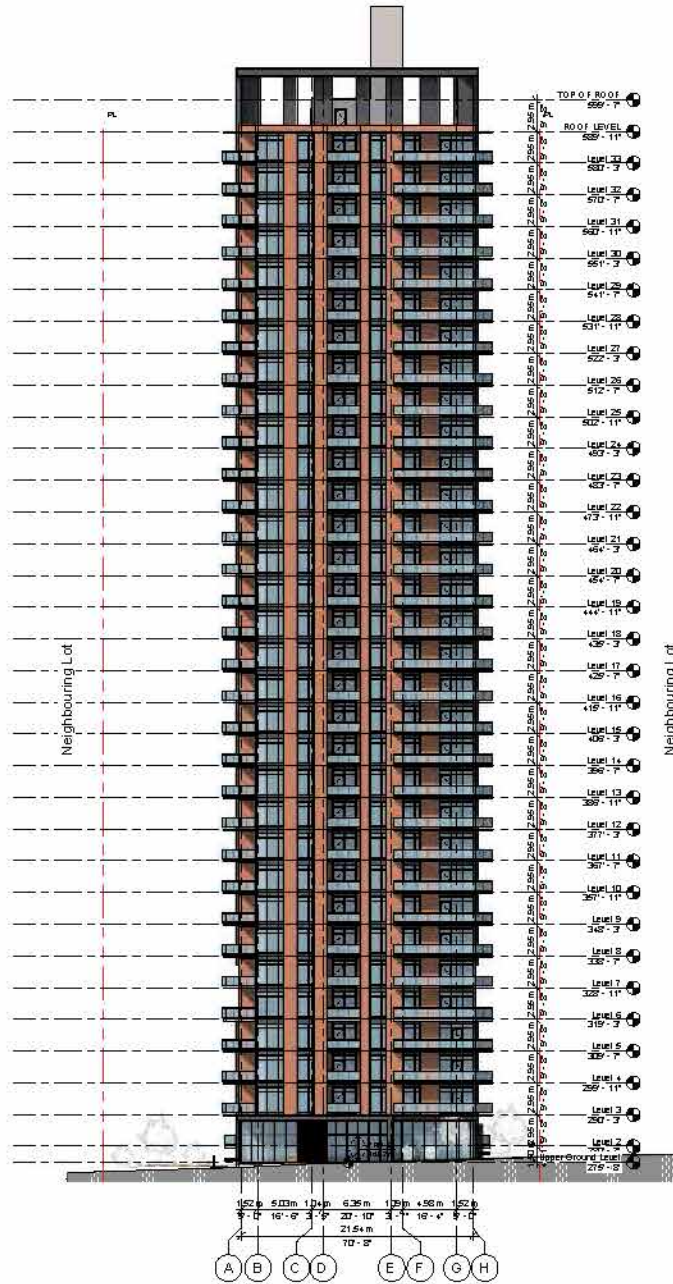
Section 2



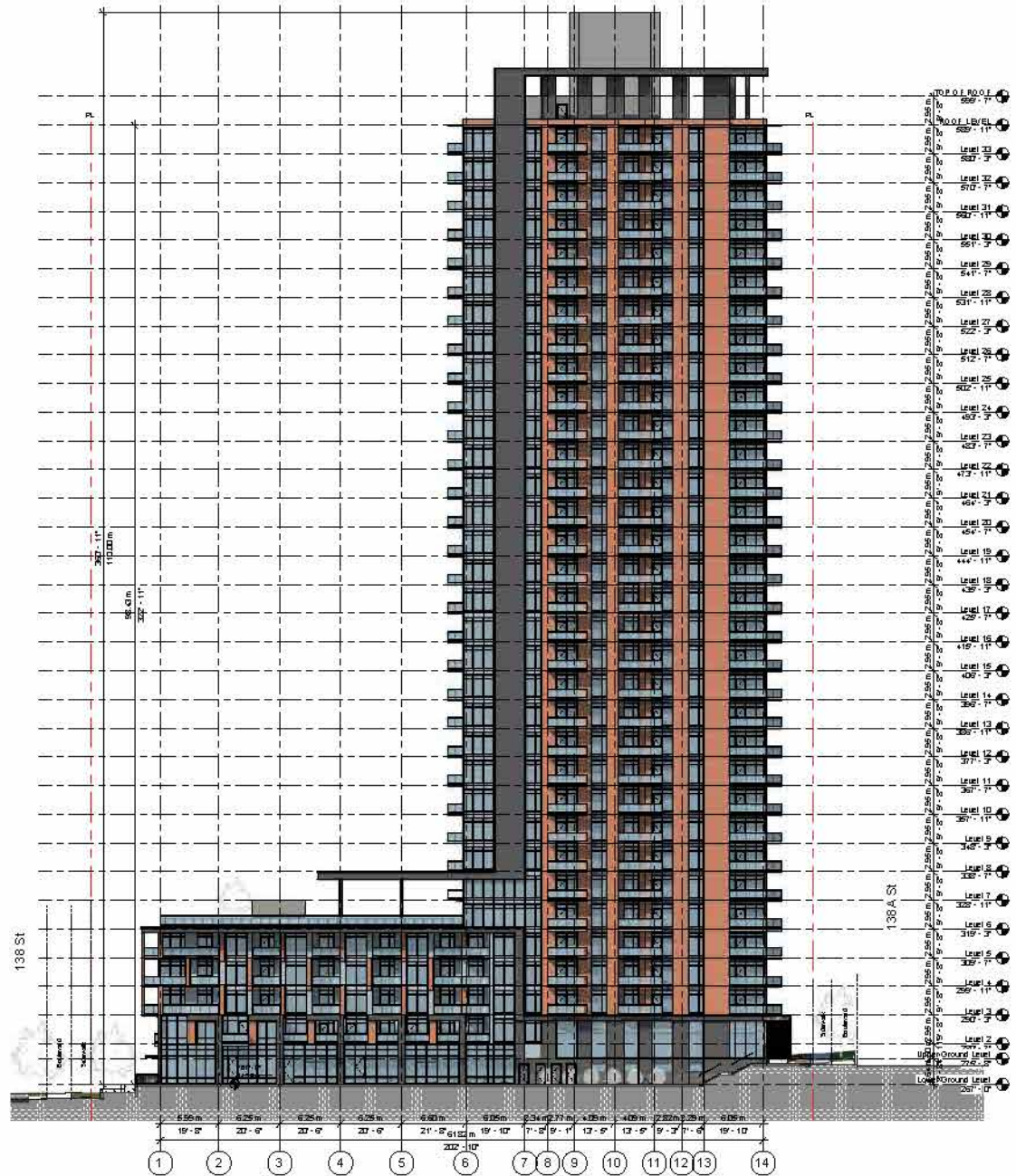
North Elevation



East Elevation



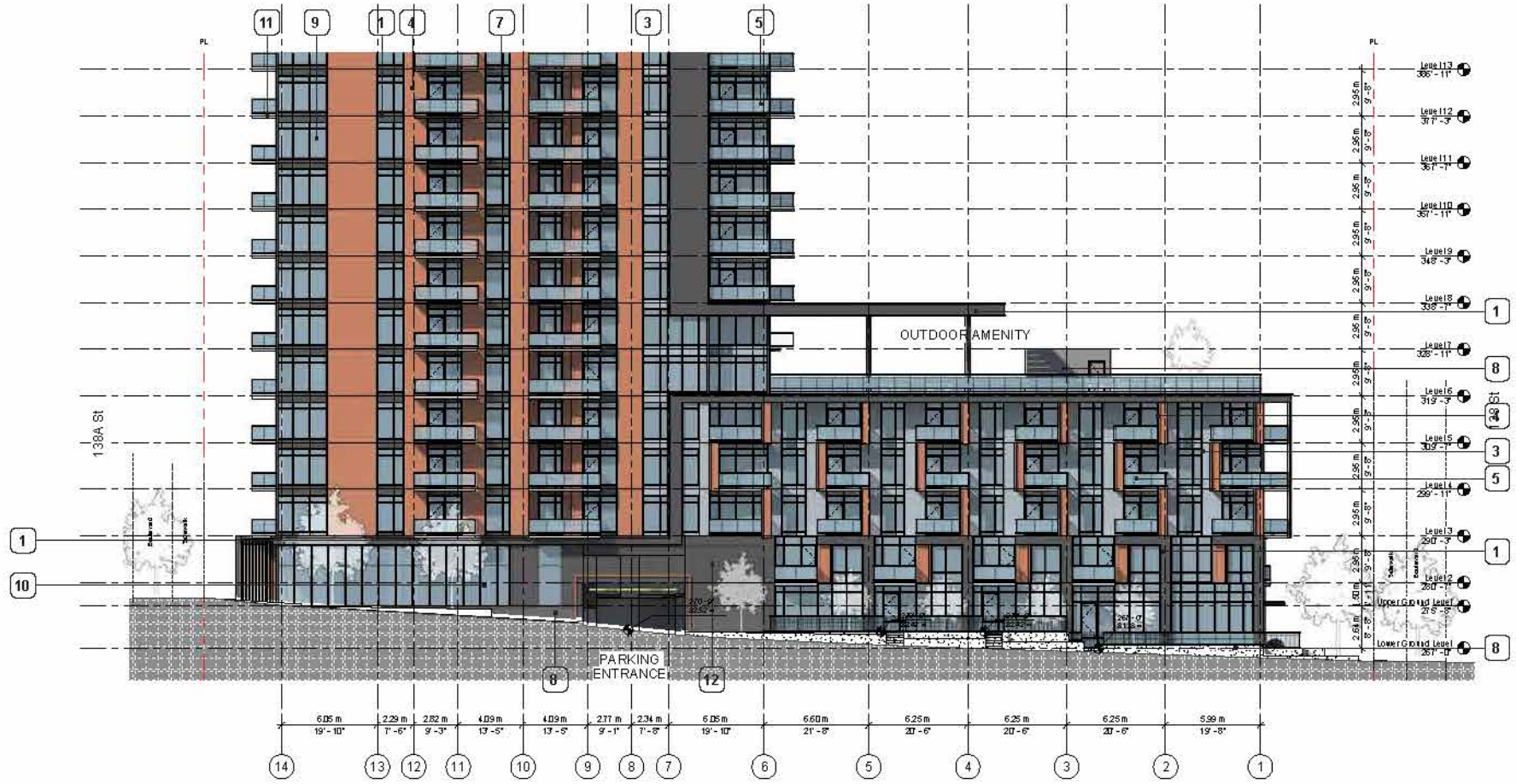
South Elevation



West Elevation



Enlarged North Elevation



MATERIAL LEGEND:

- | | | |
|----------------------------|--|------------------------------|
| 1. Dark Grey Metal Panel | 5. Glass Guardrail | 9. Double-Glazed Window Wall |
| 2. Medium Grey Metal Panel | 6. Laminated Glass Canopy with Steel Frame | 10. Double-Glazed Storefront |
| 3. Light Grey Metal Panel | 7. Dark Grey Aluminium Frame | 11. White Painted Concrete |
| 4. Copper Metal Panel | 8. Concrete Wall | 12. Brick Wall Cladding |

Enlarged East Elevation



MATERIAL LEGEND:

- | | | |
|----------------------------|--|--|
| 1. Dark Grey Metal Panel | 5. Glass Guardrail | 9. Double-Glazed Window Wall |
| 2. Medium Grey Metal Panel | 6. Laminated Glass Canopy with Steel Frame | 10. Double-Glazed Storefront |
| 3. Light Grey Metal Panel | 7. Dark Grey Aluminium Frame | 11. White Painted Concrete |
| 4. Copper Metal Panel | 8. Concrete Wall | 12. Coated Steel Louvres, Copper Color |

Enlarged South Elevation



MATERIAL LEGEND:

- | | | |
|----------------------------|--|------------------------------|
| 1. Dark Grey Metal Panel | 5. Glass Guardrail | 9. Double-Glazed Window Wall |
| 2. Medium Grey Metal Panel | 6. Laminated Glass Canopy with Steel Frame | 10. Double-Glazed Storefront |
| 3. Light Grey Metal Panel | 7. Dark Grey Aluminium Frame | 11. White Painted Concrete |
| 4. Copper Metal Panel | 8. Concrete Wall | 12. Brick Wall Cladding |

Enlarged West Elevation



MATERIAL LEGEND:

- | | | |
|----------------------------|--|--|
| 1. Dark Grey Metal Panel | 5. Glass Guardrail | 9. Double-Glazed Window Wall |
| 2. Medium Grey Metal Panel | 6. Laminated Glass Canopy with Steel Frame | 10. Double-Glazed Storefront |
| 3. Light Grey Metal Panel | 7. Dark Grey Aluminium Frame | 11. White Painted Concrete |
| 4. Copper Metal Panel | 8. Concrete Wall | 12. Coated Steel Louvres, Copper Color |

Material Board



Dark Grey Metal Panel:

Alucobond Graphite Mica Composite Panel



Medium Grey Metal Panel:

Anodic Clear Mica Composite Panel



Light Grey Metal Panel:

Alucobond Anodized Clear Composite Panel



Copper Metal Panel:

Alucobond Native Copper Mica Composite Panel



Dark Grey Aluminum Frame:

Starline Windows Charcoal Grey Powder Coat



Architectural Concrete:

Seattle Gray Benjamin Moore



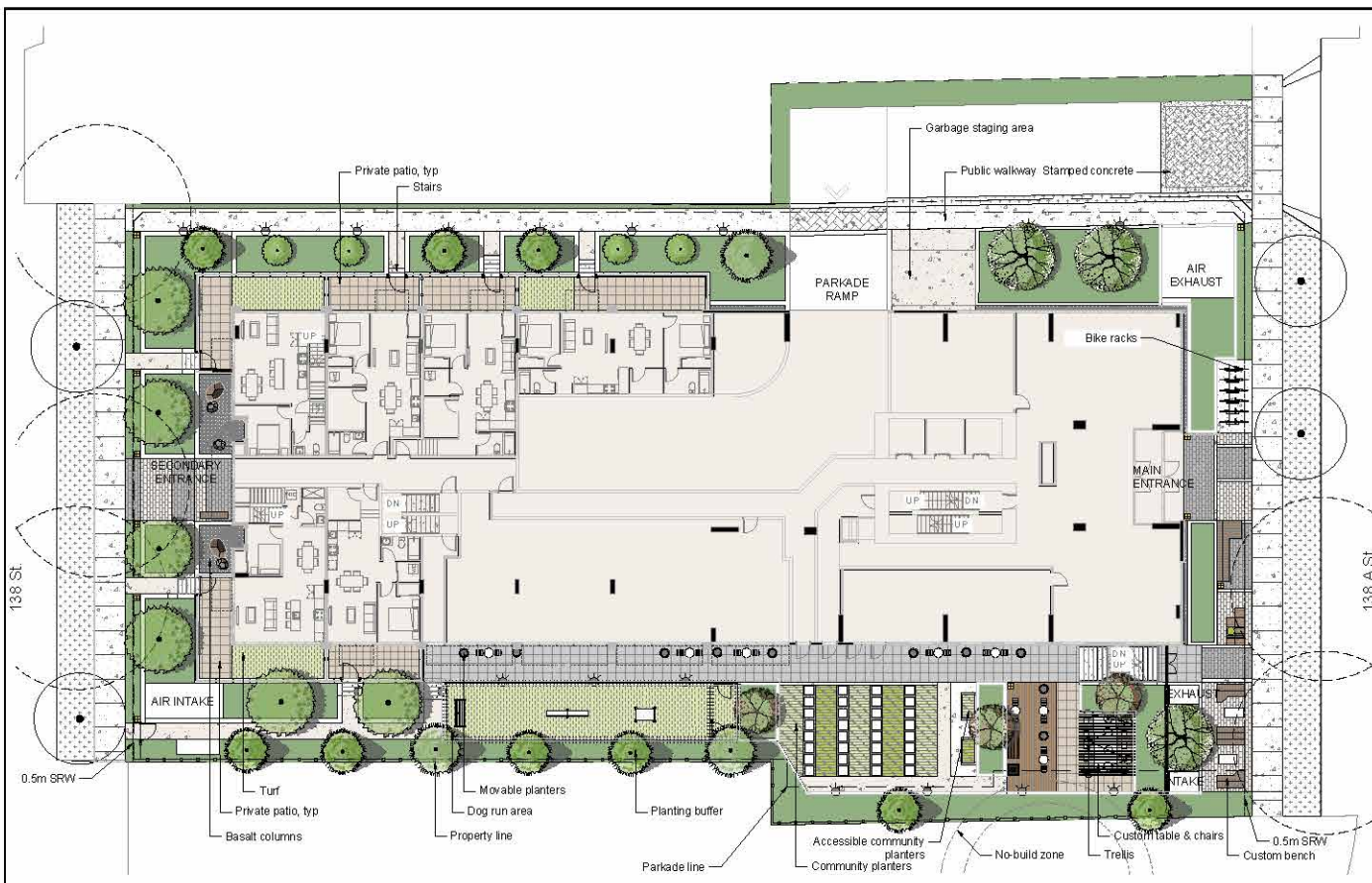
Glass:

Vitro Architectural Glass



Brick:

Mora Face Brick, Color: Nero



LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
[Symbol]	(5,6,7) LD-01	CONCRETE SIDEWALK
[Symbol]	6 LD-02	DRIP STRIP
[Symbol]	4 LD-04	HYDRA PRESSED SLAB Type: 400mm x 400mm x 40mm Fabric: 500g SPC Color: Grey (Standard) Manufacturer: Belgard paver
[Symbol]	1,2 LD-02	CONCRETE UNIT PAVING Type: 400mm x 400mm x 40mm Color: Tan (Standard) Manufacturer: Belgard paver
[Symbol]	5 LD-01	CONCRETE PAVING
[Symbol]	3 LD-05	PLANTING POT
[Symbol]	8 LD-04	BENCH Model: 4000 Series Bench (table and chairs) Colour: Powder Coated Steel 14 with Inlaywood Manufacturer: Hign
[Symbol]	7 LD-04	BIKE RACKS
[Symbol]	3,4 LD-01	SHRUB PLANTING
[Symbol]		URBAN AGRICULTURE
[Symbol]	5 LD-02	CUSTOM BENCH
[Symbol]	2 LD-04	TABLE AND CHAIRS Model: 4000 Series Material: powder coated steel 14 with Inlaywood Manufacturer: Hign
[Symbol]	1 LD-04	CUSTOM SEATING
[Symbol]	1 LD-03	TURF
[Symbol]		STAMPED CONCRETE
[Symbol]	3 LD-02	DECKING

REVISIONS TABLE FOR DRAWINGS

NO.	BY	DESCRIPTION	DATE
2	PC	Issued for RFP	Aug 18, 2022
1	PC	Issued for RFO	Mar 16, 2022
			DATE

REVISIONS TABLE FOR SHEET

NO.	BY	DESCRIPTION	DATE

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE	QTY
[Symbol]	Acer palmatum 'Seiryu' / Seiryu Japanese Maple	B&B	60m cal.		4
[Symbol]	Cornus kousa 'Satomi' / Red Kousa Dogwood	B&B	60m		3
[Symbol]	Magnolia x 'Elizabeth' / Elizabeth Magnolia	B&B	60m cal.		6
[Symbol]	Picea omorika 'Bruno' / Bruno Serbian Spruce	B&B	2.5mht.		9
[Symbol]	Pinus contorta / Shore Pine	B&B	3.0mht.		3
[Symbol]	Styrax japonicus / Japanese Snowbell	B&B	60m cal.		3
STREET TREE	BOTANICAL / COMMON NAME	CONT.	CAL.	SIZE	QTY
[Symbol]	Street Tree	B&B	60m cal.		4



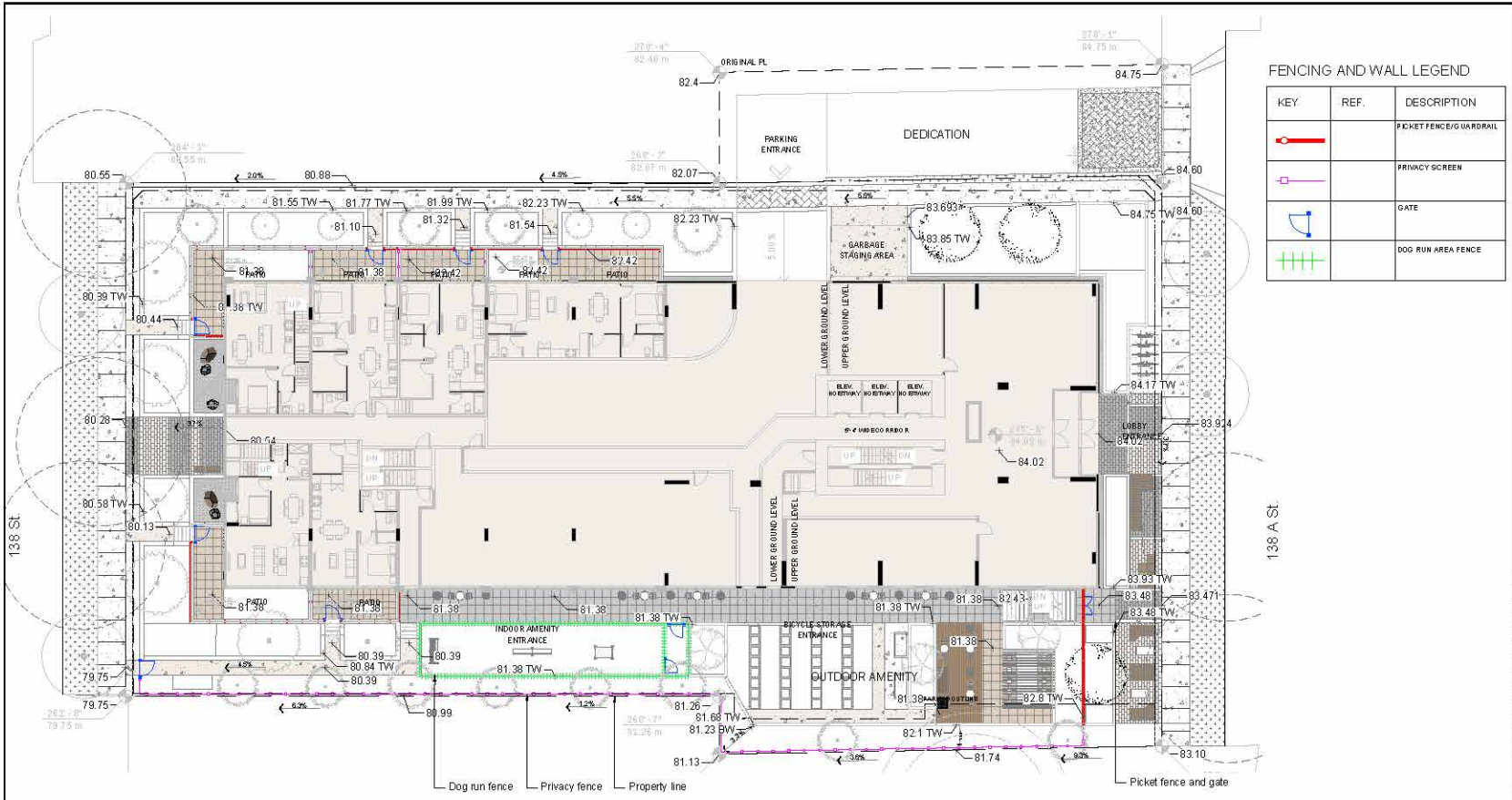
Drawing Title: LANDSCAPE SITE PLAN



V&Z Project #: DP2022-47

Drawing #: L-02A

DRAWING PREPARED BY: VAN DER ZALM + ASSOCIATES INC. DATE: 08/18/2022. DRAWING CHECKED BY: VAN DER ZALM + ASSOCIATES INC. DATE: 08/18/2022.



FENCING AND WALL LEGEND

KEY	REF.	DESCRIPTION
		PICKET FENCE/GUARDRAIL
		PRIVACY SCREEN
		GATE
		DOG RUN AREA FENCE

van der Zalm + associates inc.
 Planning + Architecture + Civil Engineering
 Urban Design + Landscape Architecture
 Suite 1, 3011 9th Avenue
 Surrey, British Columbia
 V4W 2E5
 P: 604-263-2804
 F: 604-263-2802
 info@vzai.com



NO.	BY	DESCRIPTION	DATE
2	PC	Issued for RFP	Aug 18, 2022
1	PC	Issued for RFO	Mar 16, 2022
0	PC	Issued for RFP	Jul 16, 2021

REVISIONS TABLE FOR DRAWINGS:
 • Copyright reserved. This drawing and design shall be the property of van der Zalm + associates inc. and shall not be reproduced or used for other projects without permission.

FENCING AND GRADING PLAN



Project:
138 A Street Tower

Location:
9892, 9894 - 138 St & 9897, 9893
Surrey, BC

Drawn:
LD

Checked:
PC

Approved:
MYDZ

Stamp:
Original Sheet Size:
24"x36"

Scale:
1:150



PHOTO COURTESY OF VAN DER ZALM + ASSOCIATES INC. FOR THE 138 A STREET TOWER. DRAWING COURTESY OF VAN DER ZALM + ASSOCIATES INC.

VOZ Project #
DP2022-47

Drawing #
L-02B

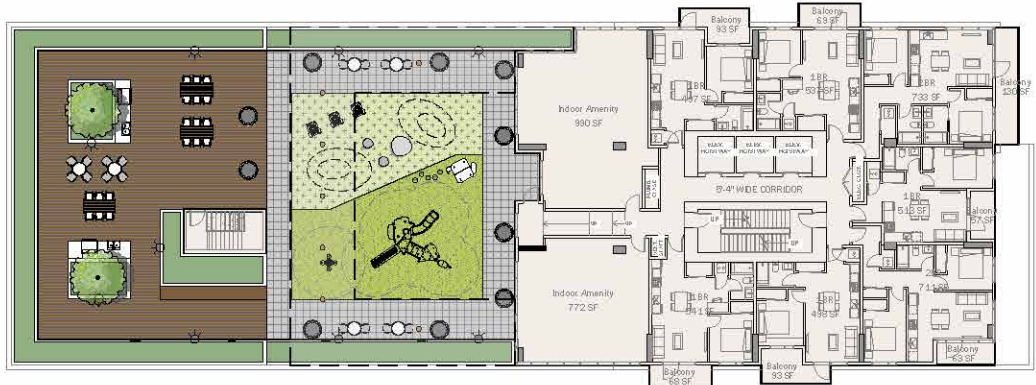
3/24/2022 10:00 AM VZ Project # DP2022-47 - 138A Street Tower - Landscape Plan 030

van der Zalm + associates inc.
 2000-2000
 Suite 1, 2011 9th Avenue
 Surrey, British Columbia
 V4A 4E1



LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	4 LD-04	HYD RAP REGGED SLAB 5/8" REINFORCING + 1/2" FIBER PATTERN: 1800 X 870 COLOR: BROWN CONCRETE MANUFACTURE: BENTON PAPER
	3 LD-02	DECKING
	8 LD-01	GRASS
	3 LD-05	PLANTING POT
	5 LD-02	SEAT WALL
	2 LD-04	TABLE AND CHAIRS Modern outdoor dining Material: powder coated steel with UPVC Seating: Mesh TABLE: 60" X 60"
	4 LD-04	LOUNGER CHAIR
	1 LD-04	FEATURE SEATING
	5 LD-04	FEATURE SEATING
	2.3 LD-03	RUBBER



PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	Styax japonicus 'Pink Chimes' / Japanese Pink Shoebill Dwarf	B88	6cm cal	2



NO.	BY	DESCRIPTION	DATE
2	PC	Issued for RFP	Aug 18, 2022
1	PC	Issued for RFO	Mar 16, 2022
0	BY	Preparation	NA

REVISIONS TABLE FOR DRAWINGS

• Changes to scope, quantities, and design shall be approved by van der Zalm + associates, and may not be implemented without the approval of the client.

NO.	BY	DESCRIPTION	DATE

Project:
 138A Street Tower
 Location:
 9892, 9894 - 138 St & 9897, 9893
 Surrey, BC

Drawn: LD
 Stamp:
 Checked: PC
 Approved: MYDZ
 Original Sheet Size:
 24"x36"

Scale:
 1:150

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE DRAWINGS AND SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTS AND TREES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MATERIALS AND FINISHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MATERIALS AND FINISHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AND UTILITIES.

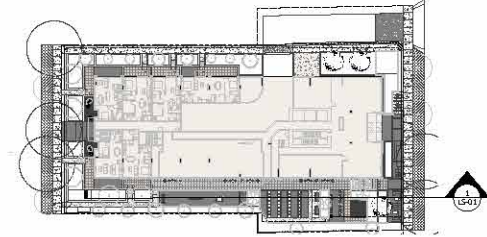
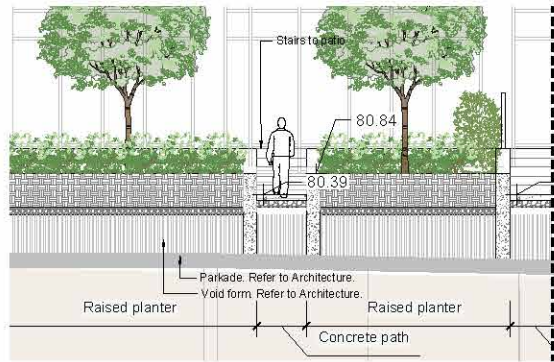


Drawing Title: L7 LANDSCAPE PLAN

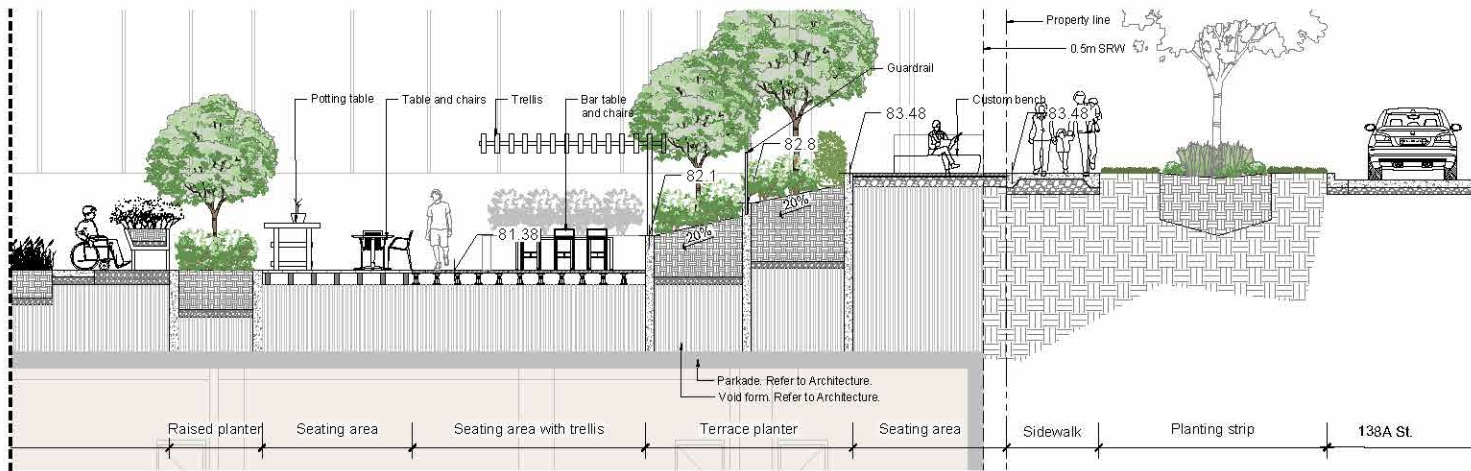
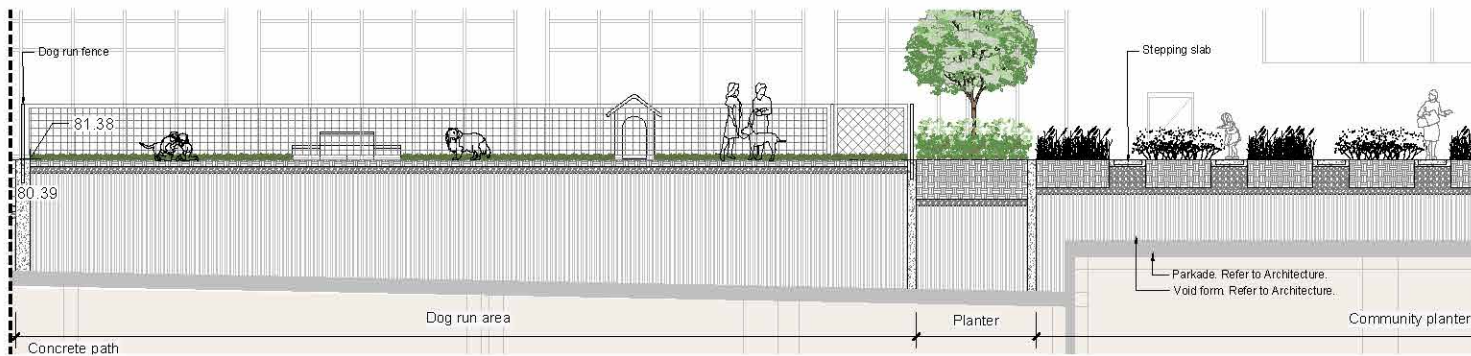


V&Z Project # DP2022-47

Drawing # L-03A



SITE PLAN KEY MAP
Scale: 1:500



1 AMENITY SPACE AND 138A ST
Scale: 1:50

van der Zalm + associates inc.
 Paul J. Macdonald + Paul Engineering
 Brian Design + Landscape Architecture
 Suite 1, 2011 9th Avenue
 Coquitlam, British Columbia
 V3K 4E5
 P: 604-283-2884
 F: 604-283-2882
 info@vzai.com



No.	By	Description	Date
2	PC	Issued for RFP	Aug 18, 2023
1	PC	Issued for RFO	Mar 16, 2023

REVISIONS TABLE FOR DRAWINGS:
 • Copyright reserved. Planning and design shall be the property of van der Zalm + associates, and may not be reproduced or used for other projects without permission.

No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
138A Street Tower
 Location:
9892, 9884 - 138 St & 9897, 9883
Surrey, BC

Drawn:
SZ
LD
 Checked:
PC
 Approved:
MVYZ
 Scale:
AS SHOWN

Stamp:
Original Sheet Size:
24"x36"

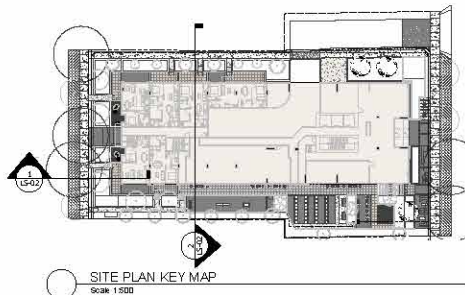
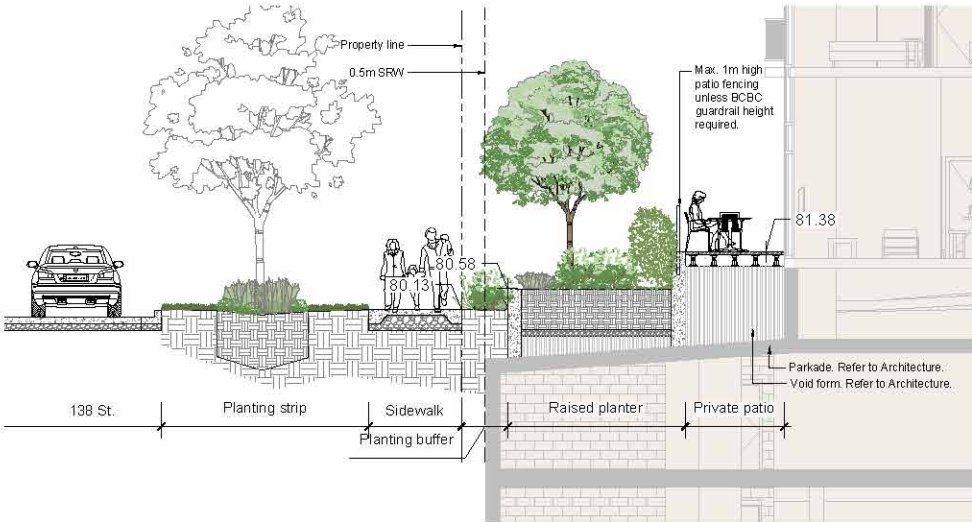
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE DRAWINGS AND BE RESPONSIBLE FOR THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CURBS AND SIDEWALKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING DRIVEWAYS AND PATHS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FENCES AND WALLS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SIGNAGE AND MARKINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND LANDSCAPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CURBS AND SIDEWALKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING DRIVEWAYS AND PATHS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FENCES AND WALLS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SIGNAGE AND MARKINGS.

Drawing Title:
SECTION

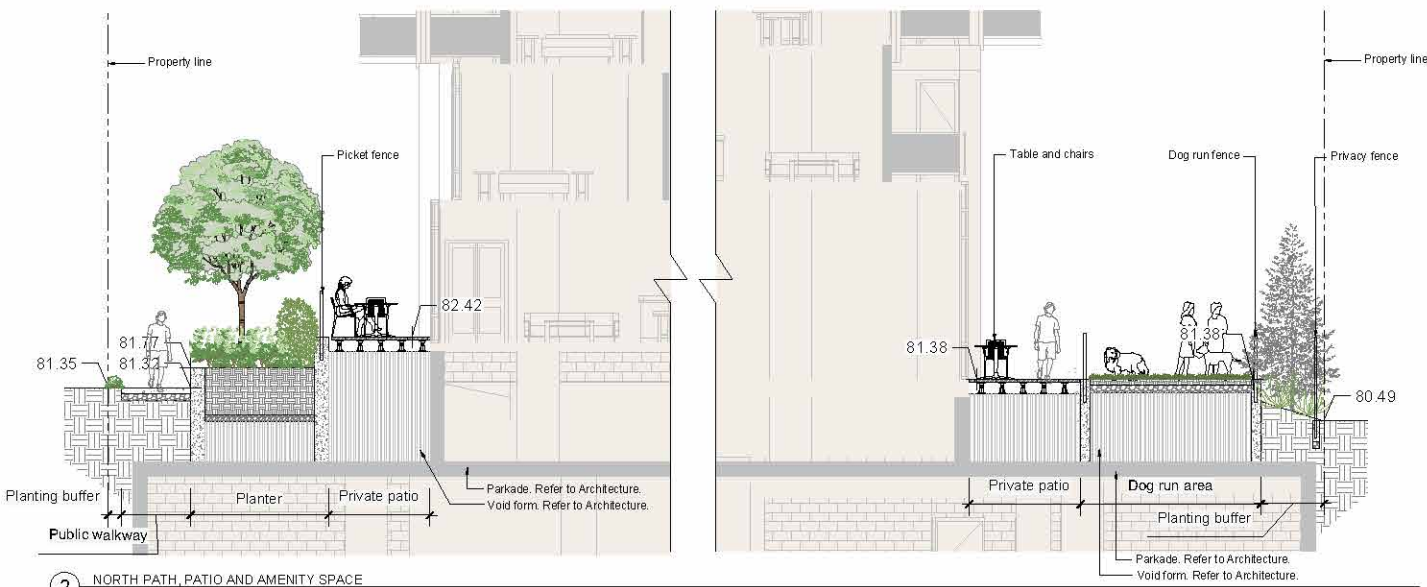


VOZ Project #
DP2022-47

Drawing #
LS-01



1 138 ST FRONTAGE WITH PATIO
 Scale: 1:50



2 NORTH PATH, PATIO AND AMENITY SPACE
 Scale: 1:50

No.	By:	Description	Date
2	PC	Issued for RFP	Aug. 18, 2023
1	PC	Issued for RFO	Mar. 16, 2023

REVISIONS TABLE FOR DRAWINGS
 • Copyright reserved. Planning and design are the property of van der Zalm + associates inc. and cannot be reproduced or used for other projects without permission.

No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
 138A Street Tower
 Location:
 9892, 9894 - 138 St & 9897, 9883
 Surrey, BC

Drawn: SZ LD	Stamp:
Checked: PC	
Approved: MVZ	Original Sheet Size: 24"x36"

Scale:
 AS SHOWN
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE DRAWINGS AND BE RESPONSIBLE FOR THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

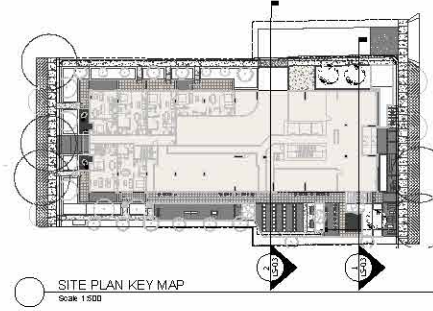
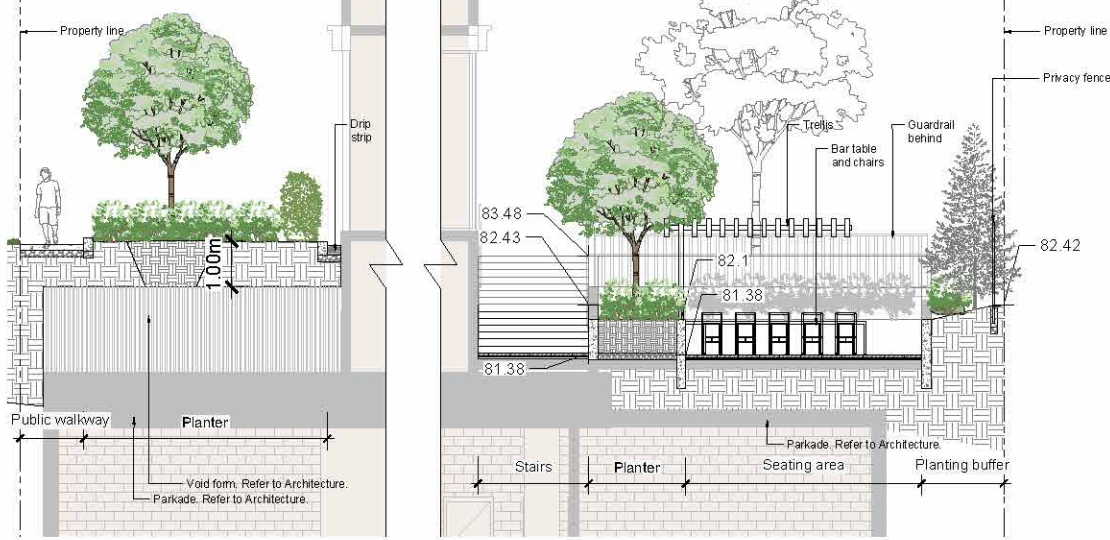
Drawing Title:
SECTION



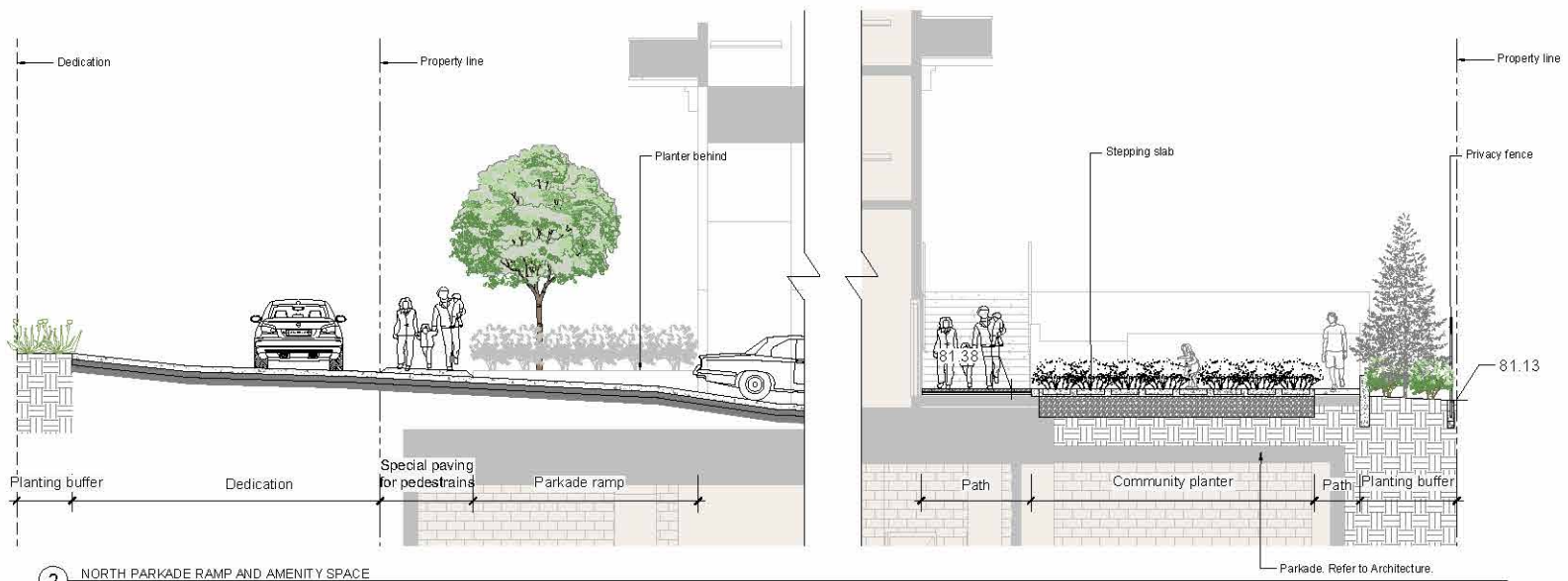
VOZ Project #
DP2022-47

Drawing #
LS-02

DATE PLOTTED: 2023/08/18 10:15:00 AM. PLOTTER: HP DesignJet T1100PS. PLOTTING METHOD: HP DesignJet T1100PS. PLOTTING DRIVER: HP-GL/PS-LE. PLOTTING LANGUAGE: HP-GL/PS-LE. PLOTTING SCALE: 1:1. PLOTTING SHEET: 1 OF 1. PLOTTING STATUS: SUCCESS.



1 NORTH PATH AND AMENITY SPACE
 Scale: 1:50



2 NORTH PARKADE RAMP AND AMENITY SPACE
 Scale: 1:50

No.	By	Description	Date
2	PC	Issued for RFP	Aug 18, 2023
1	PC	Issued for RFO	Mar 16, 2023

REVISIONS TABLE FOR DRAWINGS

• Changes in scope, quantities, and design shall be approved by the Client. It is recommended that changes be indicated in a separate sheet to avoid confusion.

No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project: 138A Street Tower
 Location: 9892, 9894 - 138 St & 9897, 9893 Surrey, BC

Drawn: LD	Stamp:
Checked: PC	
Approved: M.V.Z.	Original Sheet Size: 24"x36"

Scale: AS SHOWN

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE DRAWINGS AND SHALL BE RESPONSIBLE FOR THE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

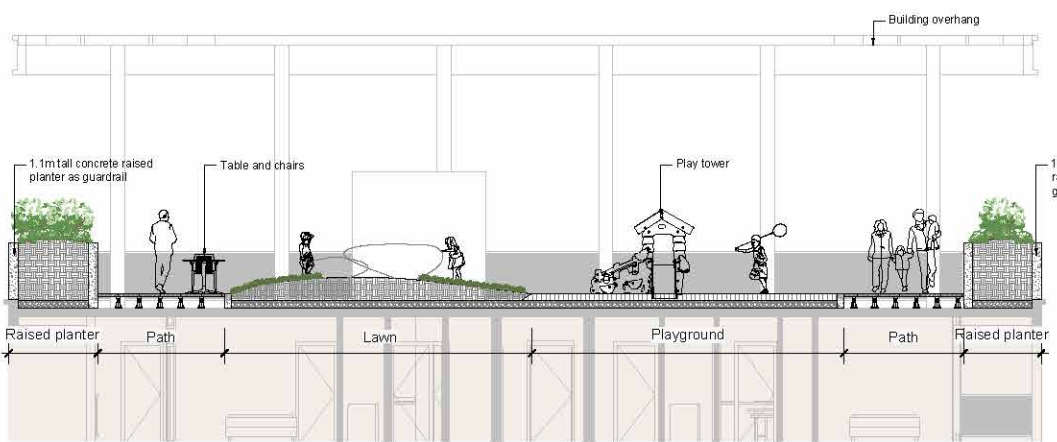
Drawing Title: SECTION



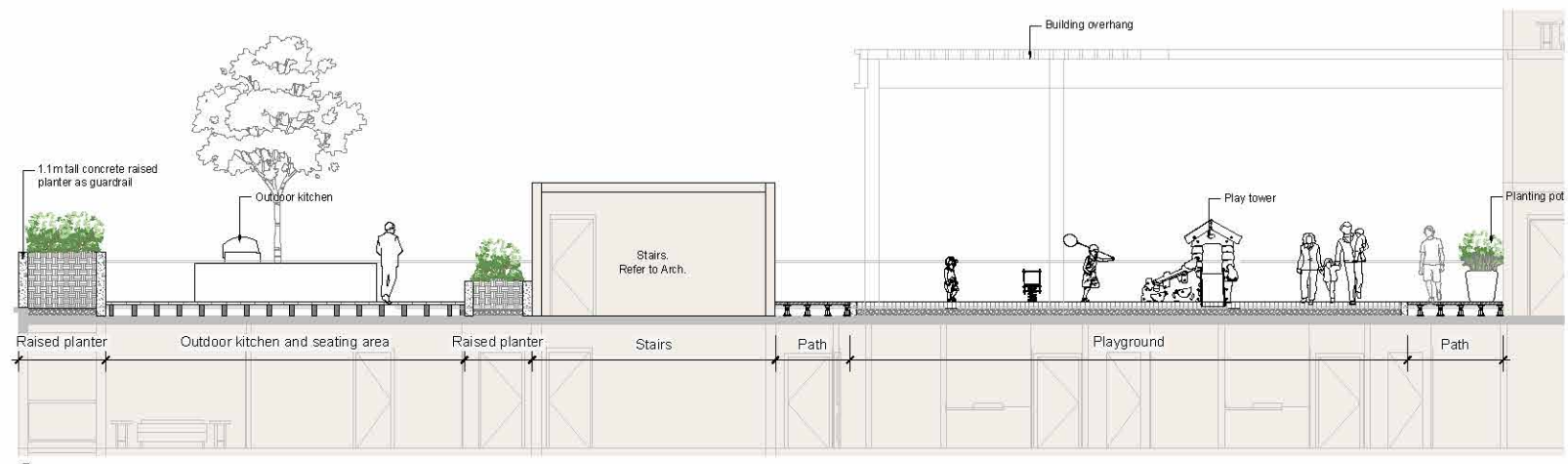
Project #: DP2022-47

Drawing #: LS-03

DRAWING TITLE: SECTION



1 L7 AMENITY SPACE
Scale: 1:50



2 L7 AMENITY SPACE
Scale: 1:50

NO.	BY	DESCRIPTION	DATE
2	PC	Issued for RFP	Aug. 18, 2022
1	PC	Issued for RFO	Mar. 16, 2022

REVISIONS TABLE FOR DRAWINGS
 • Copyright reserved. The drawings and design are the property of van der Zalm + associates inc. and must not be reproduced or used for other projects without permission.

NO.	BY	DESCRIPTION	DATE

REVISIONS TABLE FOR SHEET

Project:
138A Street Tower
 Location:
9892, 9884 - 138 St & 9897, 9883
Surrey, BC

Drawn: SZ LD	Stamp:
Checked: PC	
Approved: M.V.E.Z.	Original Sheet Size: 24"x36"

Scale:
AS SHOWN
 CONTAINED HEREIN IS A PROFESSIONAL ENGINEERING DESIGN OR PROFESSIONAL LANDSCAPE ARCHITECTURE DESIGN. IT IS THE PROPERTY OF VAN DER ZALM + ASSOCIATES INC. AND IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF VAN DER ZALM + ASSOCIATES INC.

Drawing Title: SECTION



Project #:
DP2022-47

Drawing #:
LS-04

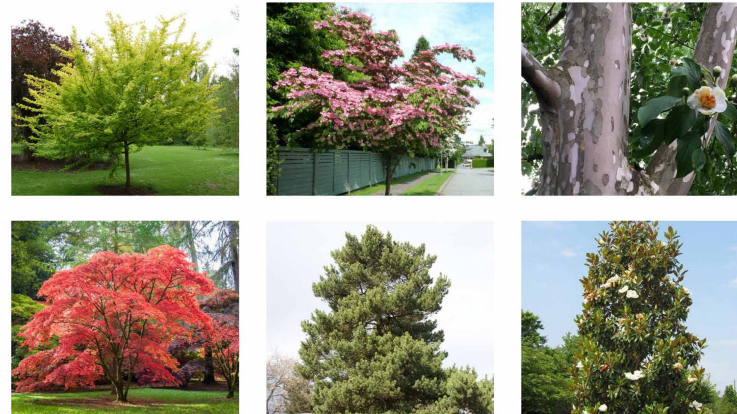
2024/08/01 10:00 AM 138A STREET TOWER - L7 AMENITY SPACE - SECTION 1 AND 2



Trees

PLANT SCHEDULE

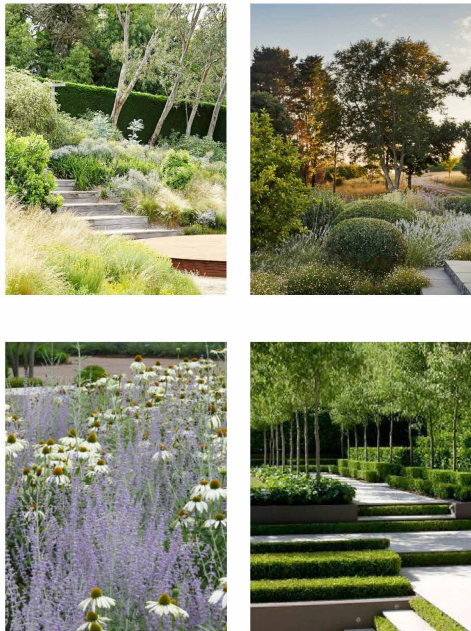
TREES	BOTANICAL / COMMON NAME	CONT	SIZE
AK	Acer campestre / Field Maple	B&B	7 cm cal.
AG	Acer griseum / Paperbark Maple	B&B	7 cm cal.
AP	Acer palmatum 'Sakuyi' / Sakuyi Japanese Maple	B&B	3.0m Ht
Cs	Cornus kousa 'Satonii' / Red Kousa Dogwood	B&B	6cm cal.
SG	Magnolia grandiflora / Southern Magnolia	B&B	7 cm cal.
Pc	Pinus contorta 'Contorta' / Shore Pine	B&B	2m Ht
Ql	Quercus X 'Skinny Jeans' / Columnar Oak	B&B	7 cm cal.
SP	Stewartia pseudocamellia / Japanese Stewartia	B&B	7 cm cal.
STREET TREES	BOTANICAL / COMMON NAME	CONT	SIZE
ST	STREET TREE	B&B	7 cm cal.
SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING
Ac	Arbutus unedo 'Compacta' / Dwarf Strawberry Tree	#3	0.50m
Aj	Aucuba japonica 'Serratafolia' / Japanese Laurel	#3	0.75m
Be	Berberis thunbergii 'Aurea Nana' / Japanese Barberry	#2	0.45m
Cp	Caryopteris x clandonensis / Bluebeard	#2	0.75m
Ci	Choisyia ternata / Mexican Orange	#2	0.50m
Lo	Lonicera pileata / Privet Honeysuckle	#2	0.50m
Rw	Ribes sanguineum 'White Icicle' / White Flowering Currant	#2	0.75m
Ra	Rosa x 'Amber' / Flower Carpet Amber Rose	#2	0.75m
St	Spiraea betulifolia 'Tor' / Birchleaf Spirea	#2	0.75m
Th	Taxus x media 'Hilli' / Yew	1.2m Ht.	0.45m
GRASSES	BOTANICAL / COMMON NAME	CONT	SPACING
Ca	Carex testacea / Carex	#1	0.45m
PERENNIALS	BOTANICAL / COMMON NAME	CONT	SPACING
Am	Anemone major 'Star of Bolinas' / Greater Masterwort	#1	0.45m
Ew	Echinacea purpurea 'White Swan' / Purple Coneflower	#1	0.45m
lc	Lis alba 'Caesar's Brother' / Caesar's Brother Siberian Iris	#1	0.50m
Ln	Lavandula x intermedia 'Phenomenal' / Lavender	#1	0.45m
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING
Av	Arctostaphylos uva-ursi / Vancouver Jade Bearberry	#1	300mm
hc	Hebe sempervirens / Candytuft	#1	300mm
Sa	Sedum x 'Angelica' / Angelina Sedum	#1	300mm



Low mounding plantings in amenity spaces, mixed drifts in landscape buffers and clipped broadleaf evergreens to delineate private and public space.

Drought tolerant species. Identified as regionally available and to be laid in large drifts, anchored by broadleaf evergreen shrubs and low maintenance ground covers. Much of this palette is evergreen as well pollinator friendly.

Precedent Images



Shrubs



No.	By	Description	Date
2	PC	Issued for DP	Aug 18, 2023
1	PC	Issued for DRG	Mar 16, 2023

REVISIONS TABLE FOR DRAWINGS

* Copyright reserved. This drawing and design is the property of van der Zalm + associates inc. and may not be reproduced or used for other projects without permission.

No.	By	Description	Date

Project:
 138A Street Tower
 Location:
 9892, 9884 - 138 St & 9897, 9883
 Surrey, BC

Drawn: SZ	Stamp:
Checked: PC	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: NTS	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS ARE TO FACE UNLESS SPECIFICALLY PROVIDED BY THE OWNER AND SHALL BE RESPONSIBLE TO THE CONTRACTOR. THE OWNER, ALL DIMENSIONS OF ANY DIMENSIONS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION UNLESS LABELED AS PER THESE CONSTRUCTIONS.

Drawing Title
PLANTING PALETTE



Drawing #:
DP2022-47

Drawing #:
LP-01

TO: **Director, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Manager, Development Services, Engineering Department**

DATE: **February 15, 2024** PROJECT FILE: **7823-0106-00**

RE: **Engineering Requirements
Location: 9892 138 St**

CCP AMENDMENT

The following issues are to be addressed as a condition of the CCP Amendment:

The applicant is required to complete a sanitary sewer capacity analysis downstream of the subject application due to the proposed Land use plan amendment which will result in increased population and subsequent sanitary demand. The applicant will be required to resolve any downstream pipe capacity constraints.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- No additional dedication required along 138 Street or 138A Street; However, a 0.5 m statutory right-of-way is required to be registered on both;
- Dedicate 7.89 m along a portion of the Northern property line for a Green Lane (ultimate 12.0 m) along 9897 138A Street;

Works and Services

- Construct the east side of 138 Street.
- Construct the west side of 138A Street.
- Construct the south side of the Green Lane.
- Construct adequately-sized service connections (drainage, water and sanitary), complete with inspection chambers/water meter, to the lot.
- Construct/upgrade frontage mains required to service the development site.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Jeff Pang, P.Eng.
Manager, Development Services
M51



Department: **Planning and Demographics**
 Date: **November 3, 2023**
 Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **23 0106 00**

The proposed development of **346** High Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	12
---	----

Projected Number of Students From This Development In:	
Elementary School =	7
Secondary School =	3
Total Students =	10

Current Enrolment and Capacities:	
Lena Shaw Elementary	
Enrolment	664
Operating Capacity	569
# of Portables	5
Guildford Park Secondary	
Enrolment	1390
Operating Capacity	1050
# of Portables	11

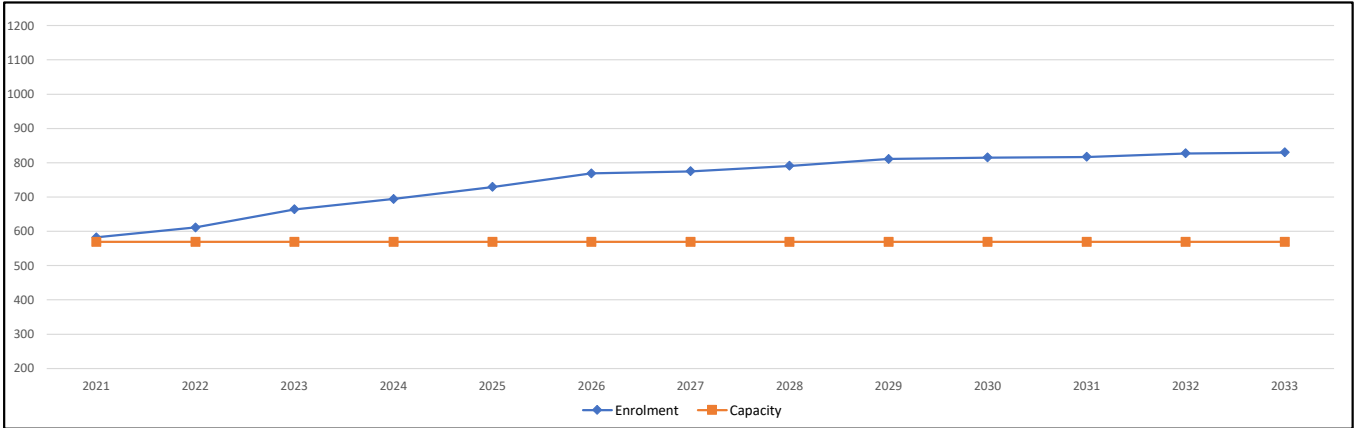
Summary of Impact and Commentary
 The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

The NCP for the area calls for significant redevelopment located along King George Boulevard and 104th Avenue with the current building form changing into mid to high-rise residential development and mixed use. The timing of these future high-rise developments, with good market conditions could impact the enrolment growth upwards even more from the projections below.

Lena Shaw operates at or slightly above the school's capacity. Post 2023, the projected growth trend begins to get stronger finishing at end of the decade to around 830 students. As part of the District's 2024/2025 Five Year Capital Plan, the district has requested an 8-classroom addition. The Ministry of Education and Child Care has not approved funding for this project.

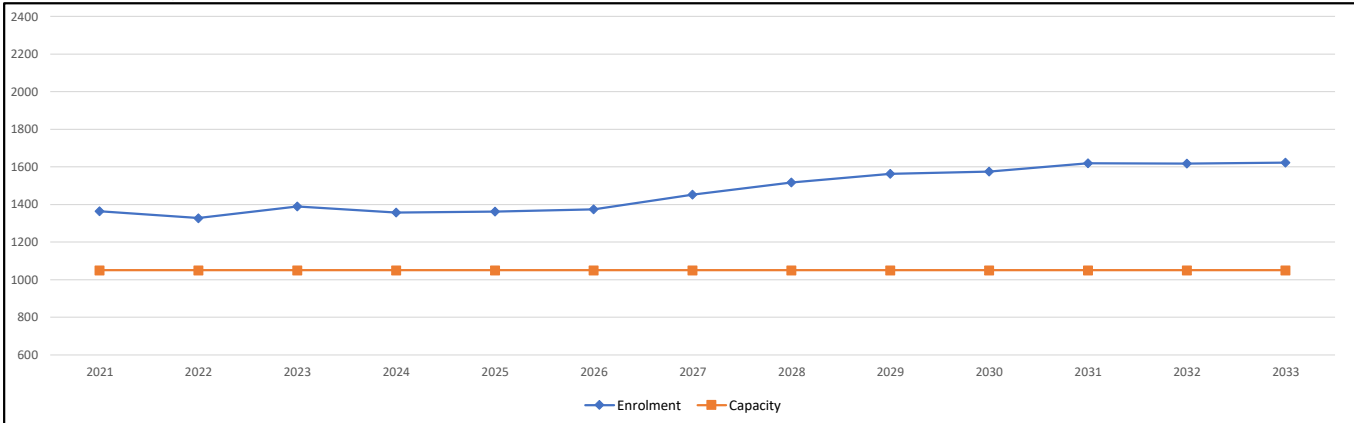
Guildford Park Secondary is currently operating at 132% and is projected to minimally grow. This school will be impacted by development along the Guildford 104th Ave Corridor when that NCP has been adopted. The impact of this plan will not be included in this projection until the plan has been approved. In May 2023, the District received capital funding approval from the Ministry to build a 450-capacity addition, targeted to open in the spring of 2028.

Lena Shaw Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Guildford Park Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population : The projected population of children aged 0-17 impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: TBD


Address: 9892 9884 138 Street, 9897 9883 138A Street, Surrey, BC

Registered Arborist: Corey Plester #PN-8523A

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	18
Protected Trees to be Removed	17
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	1
Total Replacement Trees Required: <div style="text-align: center;"> Red Alder/ Black Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = <u>0</u> </div> <div style="text-align: center;"> - All other Trees Requiring 2 to 1 Replacement Ratio 17 X two (2) = <u>34</u> </div>	34
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	N/A

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	2
Total Replacement Trees Required: <div style="text-align: center;"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 </div> <div style="text-align: center;"> - All other Trees Requiring 2 to 1 Replacement Ratio 2 X two (2) = 4 </div>	4
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

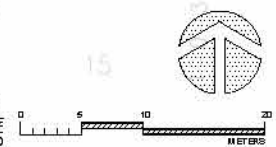
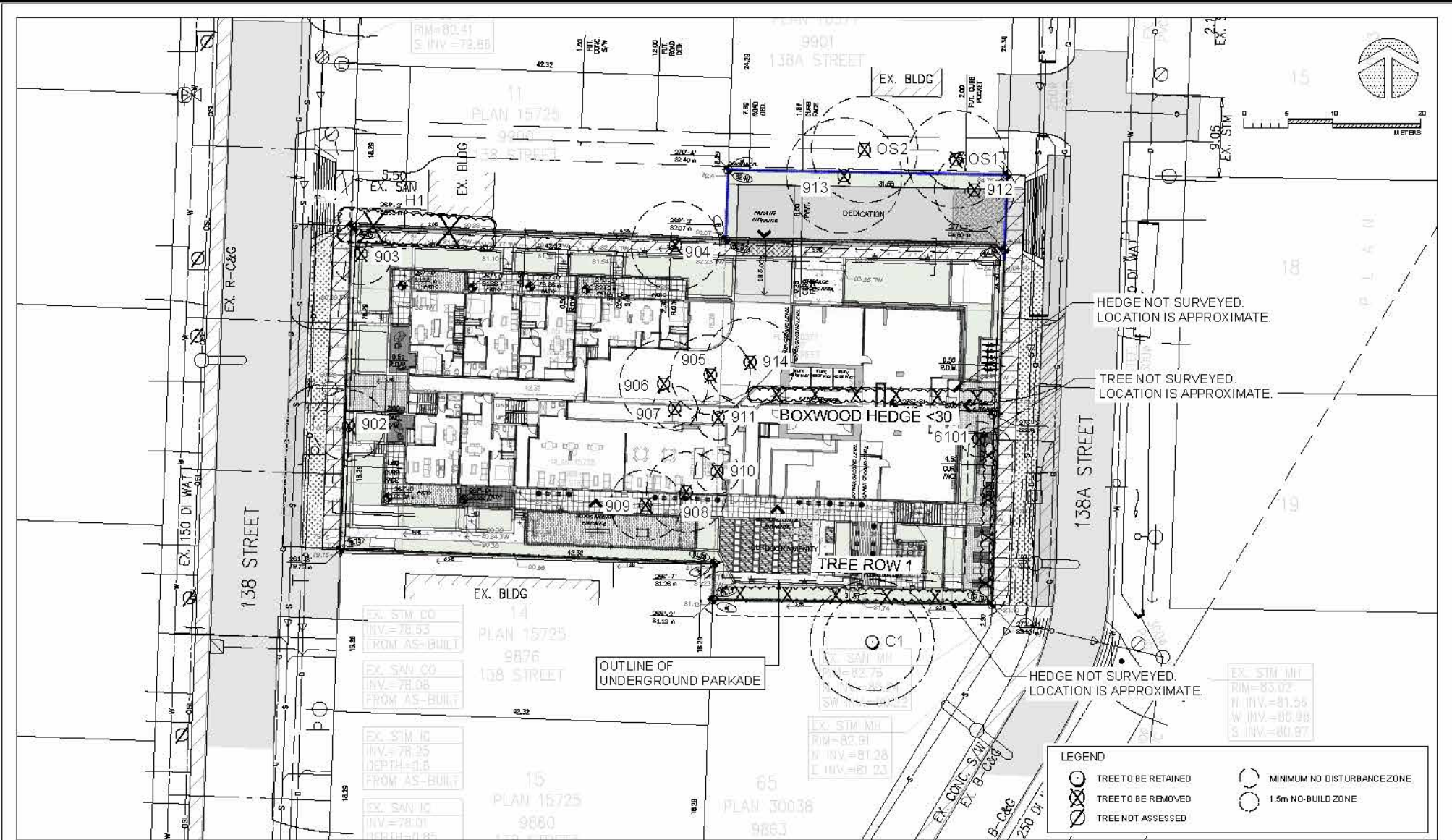
Signature of Arborist: 

Date: February 21, 2024



Mike Fadum and Associates Ltd.
#105, 8277-129 Street, Surrey, BC, V3W 0A6
Phone 778-593-0300 Fax 778-593-0302





LEGEND

	TREE TO BE REMOVED		MINIMUM NO-DISTURBANCE ZONE
	TREE TO BE RETAINED		1.5m NO-BUILD ZONE
	TREE NOT ASSESSED		

NO.	DATE	BY	REV. & ON
1	FEB 2024	MK	SPECIFIC LANDSCAPE PLAN

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3W 0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0302
 Email: mifadum@fadum.ca

© Copyright Reserved.
 This drawing and design is the property of Mike Fadum and Associates Ltd. and may not be reproduced or used for other projects without their permission.

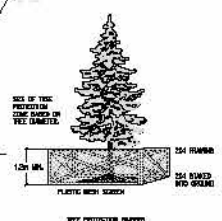
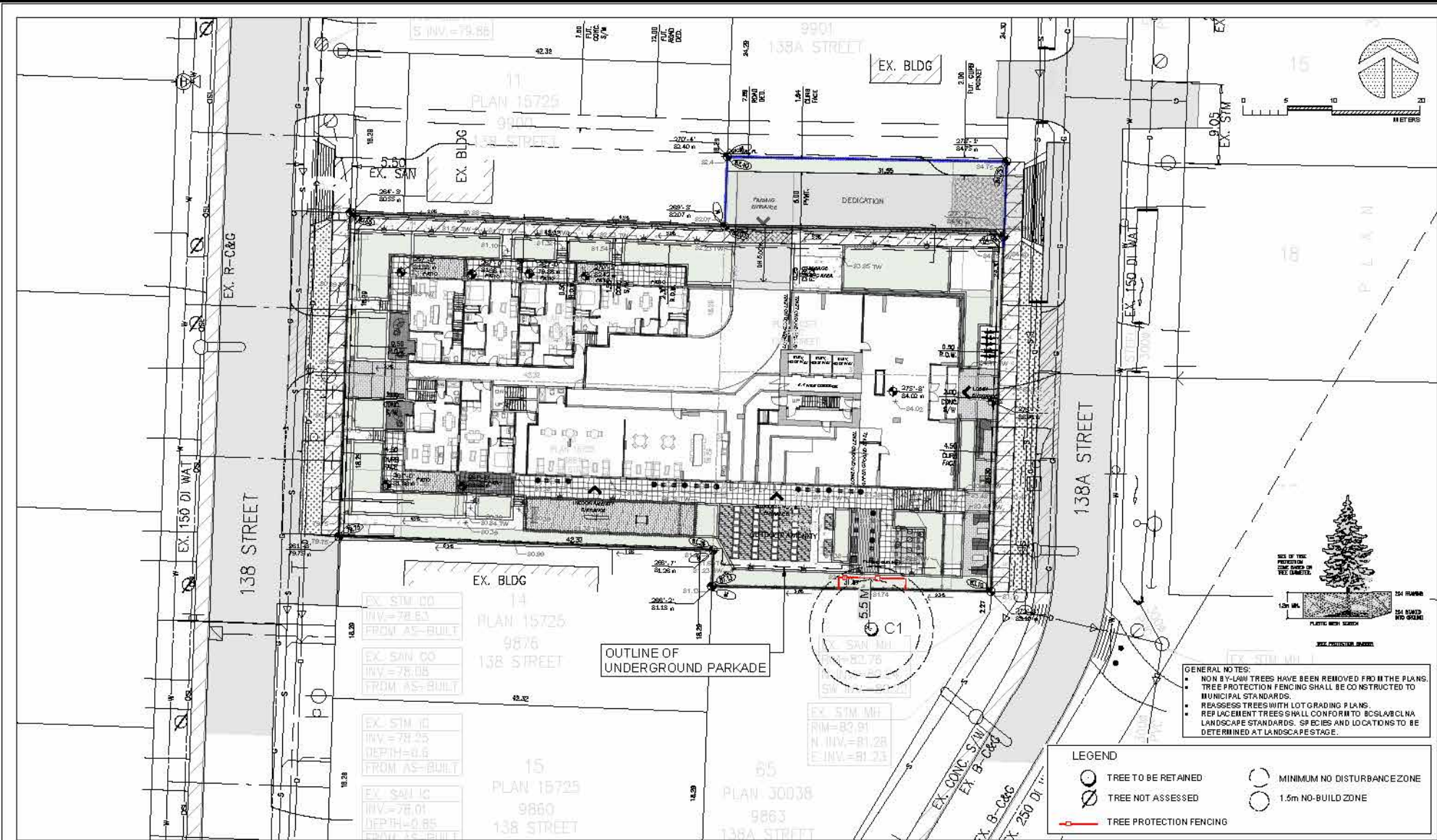
PROJECT TITLE
 9892 9884 138 STREET
 9897 9883 138A STREET
 SURREY, B.C.

SHEET TITLE
 T1 - TREE REMOVAL AND PRESERVATION PLAN
 CLIENT

 DATE
 MAY 13, 2022

DRAWN
 MK
 SCALE
 AS SHOWN
 DATE
 MAY 13, 2022

T-1
 SHEET 1 OF 2



GENERAL NOTES:

- NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS.
- TREE PROTECTION FENCING SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS.
- RE-ASSESS TREES WITH LOT GRADING PLANS.
- REPLACEMENT TREES SHALL CONFORM TO BC SLAB/CLNA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.

LEGEND

	TREE TO BE RETAINED		MINIMUM NO-DISTURBANCE ZONE
	TREE NOT ASSESSED		1.5m NO-BUILD ZONE
	TREE PROTECTION FENCING		

NO.	DATE	BY	REV. & DIS.
1	FEB 2024	MK	SITE CIVIL LANDSCAPE PLAN

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3W 0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0302
 Email: mfadum@fadum.ca

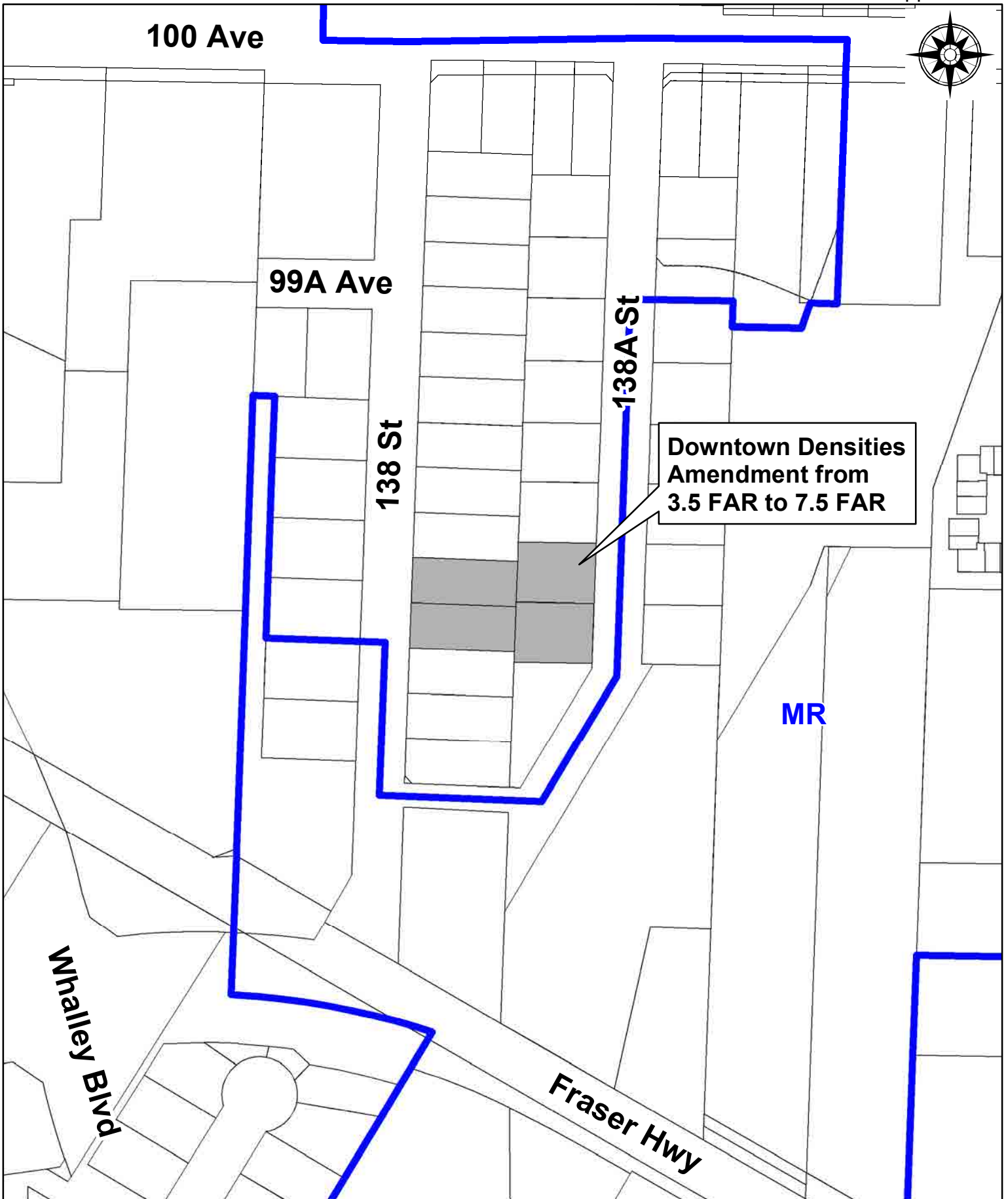
© Copyright Reserved.
 This drawing and design is the property of Mike Fadum and Associates Ltd. and may not be reproduced or used for other projects without their permission.

PROJECT TITLE
 9892 9884 138 STREET
 9897 9883 138A STREET
 SURREY, B.C.

SHEET TITLE
 T2 - TREE PROTECTION PLAN
 CLIENT

DESIGNER
 MK
 SCALE
 AS SHOWN
 DATE
 MAY 13, 2022

T-2
 SHEET 12 OF 2





Advisory Design Panel Minutes

Location: Virtual
THURSDAY, JANUARY 25, 2024
Time: 4:00 p.m.

Present:

Panel Members:
M. Cheung, Chair
G. Brumpton
C. Cuthbert
D. Dilts
M. Krivolutskaya
B. McGinn
J. Packer
S. Salcido

Guests:

Karan Katyal, KIG Properties Inc
Zubin Billimoria, DF Architecture Inc.
Deepinder Singh, DF Architecture Inc.
Travis Martin, Van Der Zalm + Associates
Zeeshan Wahla, EMEC Design
Kevin Shoemaker, Polygon Homes
Peter Fodor, NSDA Architects

Staff Present:

A. McLean, City Architect
N. Chow, Urban Design Planner
A. Yahav, Clerk 3

B. NEW SUBMISSIONS

1. 4:18 p.m.

File No.:	7923-0106-00
New or Resubmit:	New
Last Submission Date:	N/A
Description:	OCP Amendment and CCP Amendment to allow higher density and amendment to road network (relocation of green lane), Rezoning from RF to CD based on RM-135 and Development Permit to allow for one 33-storey residential tower with a 6-storey podium, consisting of 343 dwelling units with an overall gross FAR of 7.6 (8.3 FAR net).
Address:	9884 & 9892 - 138 Street and 9883 & 9897 - 138A Street
Developer:	Karan Katyal, KIG Properties Inc
Architect:	Deepinder Singh, DF Architecture Inc.
Landscape Architect:	Travis Martin, Van Der Zalm + Associates
Planner:	Jennifer McLean
Urban Design Planner:	Sam Maleknia

The City Architect presented the area and policy context, noting that that staff generally support the siting and form of the project.

The Panel was asked to comment on the general massing of the proposal, the public realm interface and contribution, and the proposed architectural expression.

Zubin Billimoria, DF Architecture presented an overview of the site planning, streetscapes, building concept, and 3D Views.

The Landscape Architect presented an overview of the general concept for the Landscape design.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by J. Packer
Seconded by C. Cuthbert
That the Advisory Design Panel (ADP)
SUPPORT the project and recommends that the applicant address the following issues
to the satisfaction of the Planning & Development Department.

Carried

Team responses are as follows:

DFA (Architecture) responses in Red

VDZ (Landscape) responses in Green

Key Points

- Consider strategies to improve the access of bicycles to the bicycle storage room.
DFA: Bicycle storage room has multiple access ways to serve a wide range of users. The level it is located on is connected with the residential tower above with three elevators through an elevator lobby directly adjacent to the storage room. There is a direct connection from the storage room to the outside, and then through a short stair with a track for bicycles onto a pathway and 138 Street. An alternative accessible path is provided through an internal corridor that connects bicycle storage with the secondary lobby at 138 Street.
- Reconsider the indoor-outdoor programming and connection at the ground floor for a spill-out layout.
VDZ: An alternative outdoor amenity layout is proposed with the gathering and dining areas across from indoor amenity, which will allow spill-out indoor activity. Dog play area is proposed to be relocated onto the east side.
- Reconsider the design of the outdoor canopy at the podium rooftop garden (Level seven).
DFA: The canopy roof has been redesigned to make it visually lighter: its width has been reduced and the pattern has been adjusted to make it less heavy but still maintain its function as sun shading structure. Outdoor amenity design has been adjusted to create a better connection between the structure and the function underneath that it supports.
- Reconsider the design of the parkade entrance.
DFA: The parkade entrance has been modified to make it more cohesive with overall building character.
- Reconsider the design of the building entries.
DFA: Noted and updated.
- Consider strategies to improve the overall accessibility of suites and amenity spaces for people with limited mobility.

DFA: All indoor amenities are accessible for people with different mobilities, as well as immediately adjacent outdoor amenities. The number of units that require internal stair to resolve the challenges posed by site topography has been reduced by 56%.

Site

- No specific issues were identified.
DFA: Noted.

Form and Character

- Consider adding textured materials at grade in lieu of the metal panels in public facing areas.
DFA: Textured materials that support overall color scheme and design character are being proposed around entrances and outdoor amenity at grade where building façade is interfacing the public.
- Reconsider the overall design of the parking entrance so that it is more-easily recognizable and easy to find.
DFA: The parkade entrance has been modified to make it more cohesive with overall building character by adjusting the gateway proportions, frame redesign and addition of accent colors.
- Reconsider the scale and height of the canopy at podium rooftop garden to create a more human scale.
DFA: The canopy roof has been redesigned to make it visually lighter: its width has been reduced and the pattern has been adjusted to make it less heavy but still maintain its function as sun shading structure. Outdoor amenity design has been adjusted to create a better connection between the structure and the function underneath that it supports. The height of the canopy has been maintained to preserve overall proportions within the building elevation and to provide sufficient separation from the rooftop outdoor amenity.
- Reconsider the design of the building entries so that they feel more open.
DFA: Current design of building entries is establishing a clear hierarchy of the primary entry facing 138a St and the secondary entry facing 138 St. Primary entry is using extensive glazing, which differentiates it from the secondary one. It establishes a visual connection between a residential lobby and a public realm outside, and creates an open and inviting character. Floor-to-floor height of this entrance is 1.5 times greater than typical floor and helps to create a prominent entry point. Secondary entry is utilizing less glazing, yet it relies on contrasting materials to make it visible on the west façade. To make entries more open and inviting, warm tactile materials have been applied more extensively.

Landscape

- Provide the landscape screening and garbage standby area.
VDZ: Updated and provided.

- Consider changing the location of the pet relief area to permit the indoor amenity space to spill-out into the outdoor amenity space.
VDZ: Dog run area relocated to the east side to allow indoor amenity to spill-out into the outdoor amenity space.
- Recommend relocating some of the outdoor eating areas to grade.
VDZ: Ground level amenity space provided outdoor dining area that closed to the indoor amenity space.
- Reconsider the proportion of plant to open space on level seven to create the intimate gathering spaces suggested by the precedent photos.
VDZ: Noted and updated.
- Consider the addition of covered amenity space for year-round use.
VDZ: Building canopy provided cover for the amenity space for year-round use. Landscape program revised to provide better special experience.

CPTED

- No specific issues were identified.
DFA: Noted.

Sustainability

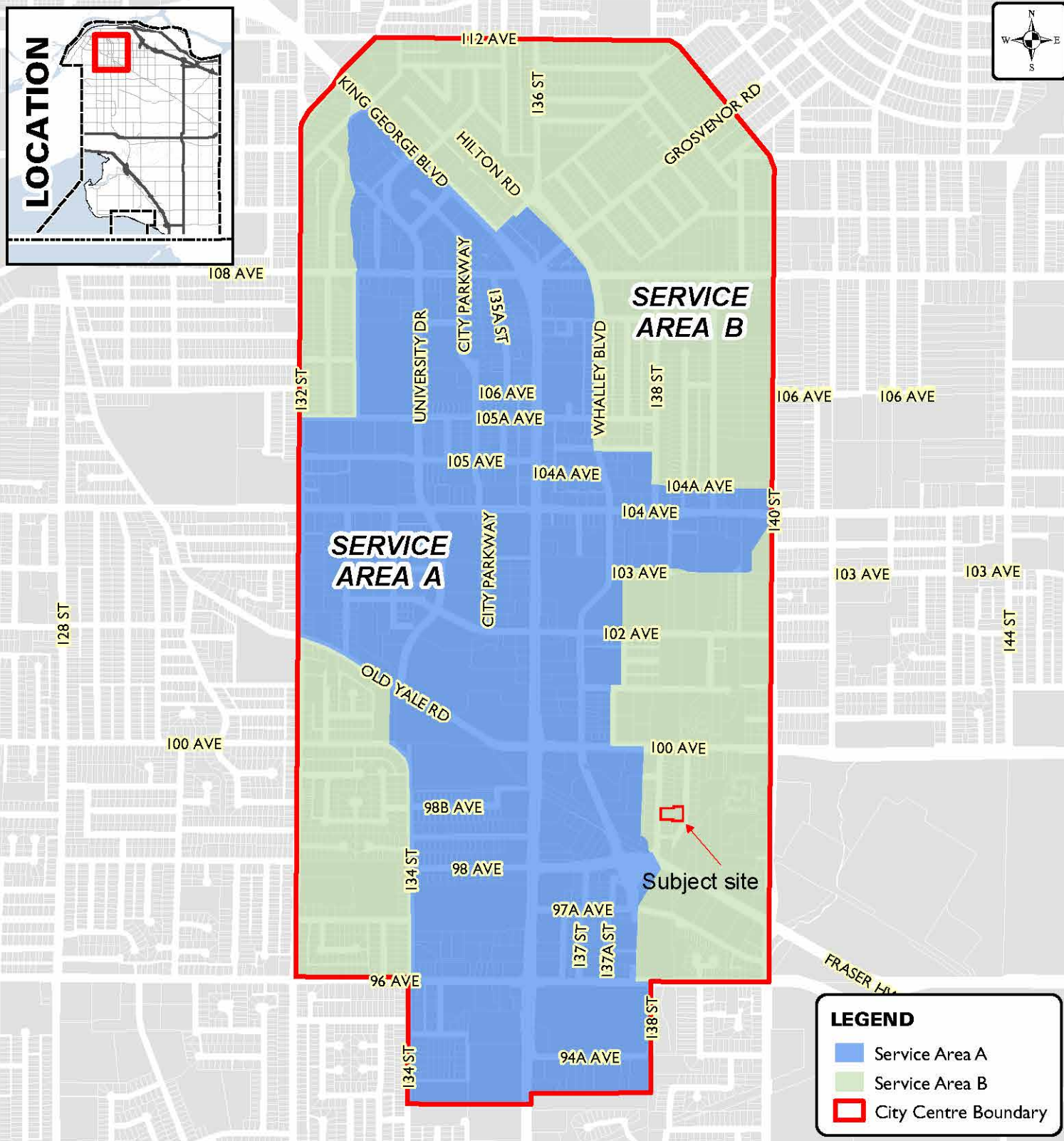
- Consider using future climate files for thermal comfort modelling to test resiliency and to ensure livability in the future.
DFA: Energy modelling uses design temperatures and weather files dictated by the BC Building Code and is compared against performance targets that were established using the same. Future climate files for thermal comfort modeling will be considered.
- Consider the location of energy recovery ventilators in the early stages of the design development, with a goal of keeping duct runs short and simple.
DFA: Noted. Future mechanical system design in subsequent design phases will prioritize overall efficiency and optimization of mechanical equipment location.
- Consider high quality bike amenities including good wayfinding for bicyclists, automatic door operators to ease entry and exit, ample room for cargo bikes and trailers, and electric bike charging.
DFA: Additional bike amenity design features will be considered.
- Consider how best to encourage waste management with three-stream-systems in suites, and central recycling rooms that are well lit, include sorting tables, and pictograms to address language barriers.
DFA: Enhanced garbage/recycling room design will be considered.
- Consider options to avoid Ipe or other tropical hardwoods in outdoor furniture.
VDZ: Noted and revised. Outdoor furniture from Ipe material revised to thermally modified ash.

- Consider including slag or fly ash into the structural concrete to reduce embodied carbon due to cement content. The best opportunity to achieve lower carbon is to talk to your concrete supplier early and establish a goal based on greenhouse gas emissions rather than a goal based on supplementary cementitious materials.
DFA: Noted. Concrete mix design will be selected based on structural acceptance, availability, and economics at the construction stage of the project.

Accessibility

- Recommend creating a barrier-free access to the outdoor amenity area from the south walkway.
DFA: The south walkway is primarily designed as an egress path from one of the parking stairs to the street. An accessible path is provided through an internal corridor that connects outdoor amenity with the secondary lobby at 138 Street.
- Reconsider the design of the ground-oriented units so that they are barrier-free and are visitable by those with mobility limitations.
DFA: Due to the challenges posed by the site topography, requirements to provide separation between levels of patio and adjacent sidewalk, maintain residential frontage along east-west local road, necessity to provide sufficient clearance for the parking ramp and maintain internal hallways barrier-free, it is not possible to eliminate all stairs from ground-oriented units. Three of four units in question have been redesigned to allow barrier-free access from internal corridor.
- Consider removing stairs from some residential units.
DFA: The number of units that require internal stair to resolve the challenges posed by site topography has been reduced by 56%.

FIGURE 1



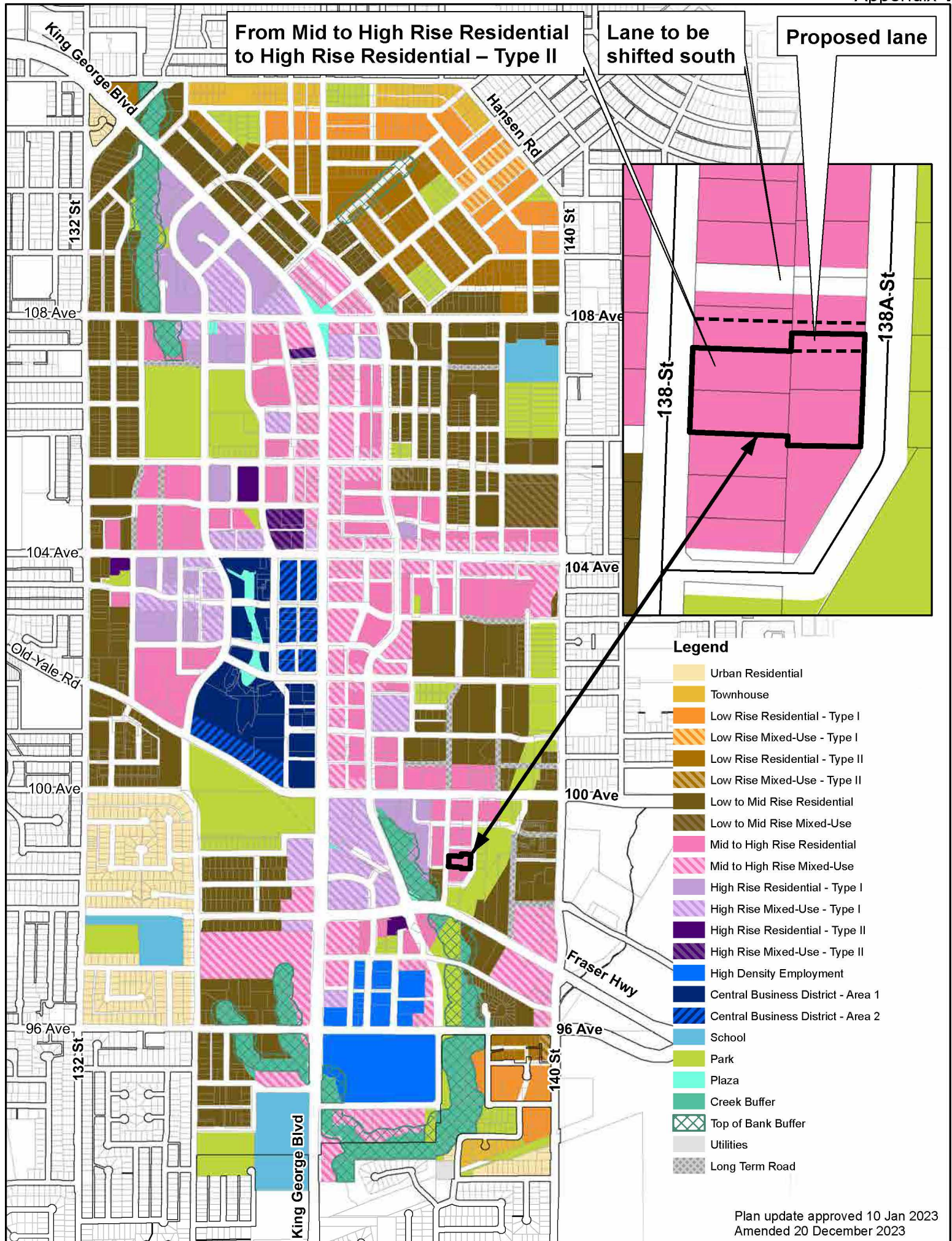
Produced by GIS Section: May 31, 2012, CS/AW8



DISTRICT ENERGY SERVICE AREA (SERVICE AREA A & SERVICE AREA B)

ENGINEERING DEPARTMENT

The data provided is compiled from various sources and IS NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, Legal descriptions and encumbrances must be confirmed at the Land Title Office.



From Mid to High Rise Residential to High Rise Residential – Type II

Lane to be shifted south

Proposed lane

Legend

- Urban Residential
- Townhouse
- Low Rise Residential - Type I
- Low Rise Mixed-Use - Type I
- Low Rise Residential - Type II
- Low Rise Mixed-Use - Type II
- Low to Mid Rise Residential
- Low to Mid Rise Mixed-Use
- Mid to High Rise Residential
- Mid to High Rise Mixed-Use
- High Rise Residential - Type I
- High Rise Mixed-Use - Type I
- High Rise Residential - Type II
- High Rise Mixed-Use - Type II
- High Density Employment
- Central Business District - Area 1
- Central Business District - Area 2
- School
- Park
- Plaza
- Creek Buffer
- Top of Bank Buffer
- Utilities
- Long Term Road