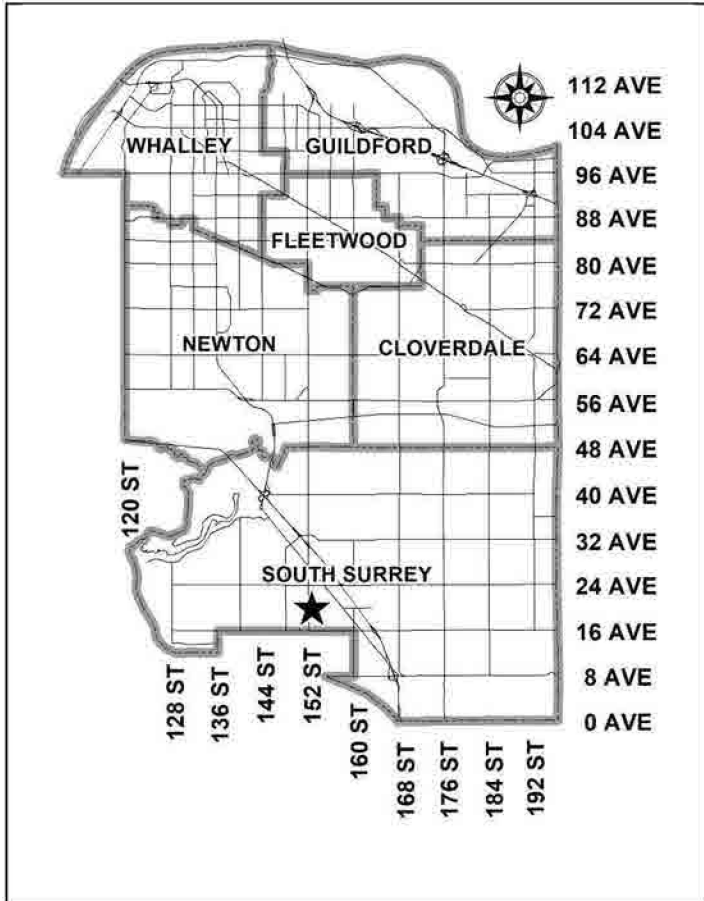


City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7923-0079-00

Planning Report Date: May 27, 2024



PROPOSAL:

- Rezoning from RF and RM-D to CD
- Development Permit
- Development Variance Permit

to permit the development of a 6-storey mixed-use building with 792 sq.m. of commercial floor area and a 6-storey residential apartment building, with a total of 356 dwelling units.

LOCATION:

2055 153 Street, 2049 153 Street, 15306 20A Avenue, 15295/97 20 Avenue, 15283 20 Avenue, 15231 20 Avenue

ZONING:

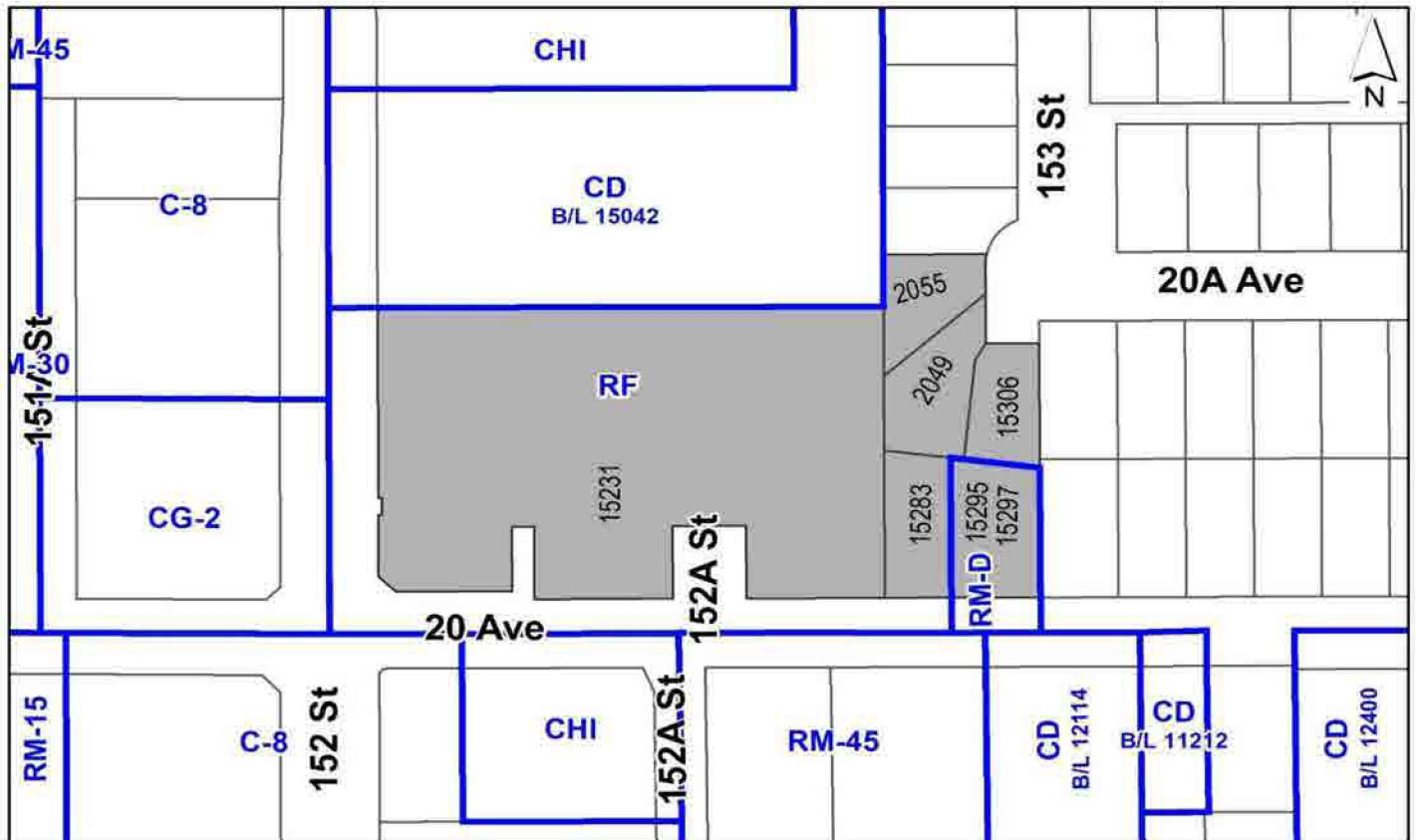
RF and RM-D

OCP DESIGNATION:

Town Centre and Multiple Residential

TCP DESIGNATION:

Low-Rise Mixed-Use and Low-Rise Residential



RECOMMENDATION SUMMARY

- Rezoning By-law to proceed to Public Notification. If supported the By-law will be brought forward for First, Second and Third Reading.
- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to vary the definition of "bond" in the Surrey Subdivision and Development Bylaw, 1986, No. 8830, as amended, to include the use of a Surety Bond for Servicing Agreement No. 7923-0079-00.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Town Centre and Multiple Residential designations in the Official Community Plan (OCP).
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- In accordance with changes to the Local Government Act, Section 464, under Bill 44 (2023) a Public Hearing is not required for the subject rezoning application as the proposed rezoning is consistent with the Official Community Plan (OCP). As such, Council is requested to endorse the Public Notification to proceed for the proposed Rezoning By-law. The Rezoning By-law will be presented to Council for consideration of First, Second, and Third Reading, after the required Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the By-law readings.
- The proposal complies with the Low-Rise Mixed-Use and Low-Rise Residential designations in the Semiahmoo Town Centre Plan (TCP).
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of the Semiahmoo Town Centre.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.

-
- The proposed building achieves an attractive architectural built form, which utilizes high quality materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
 - A pilot program was introduced in 2016 for the use of Surety Bonds as an alternate form of security for Servicing Agreements. A Surety Bond is a three-party agreement between the City, the Developer, and the Surety Bond Company, which obligates the Surety to pay the City if the Developer defaults in completing the off-site engineering servicing works for the land development project in the pilot program.
 - The Engineering Department supports the variance to include the use of a Surety Bond for Servicing Agreement No. 7923-0079-00.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a By-law to the rezone the properties at 15231 – 20 Avenue, 15283 – 20 Avenue, 15295/97 – 20 Avenue, 15306 – 20A Avenue, 2049 – 153 Street and the portions of the subject site shown as Blocks A, B, and C on the attached Survey Plan (Appendix I) from "Single Family Residential Zone (RF)" and "Duplex Residential Zone (RM-D)" to "Comprehensive Development Zone (CD)".
2. Council authorize staff to draft Development Permit No. 7923-0079-00 generally in accordance with the attached drawings (Appendix I).
3. Council approve Development Variance Permit No. 7923-0079-00 (Appendix V) to vary the definition of "Bond" in the Surrey Subdivision and Development Bylaw, 1986, No. 8830, as amended, to include the use of Surety Bond for Servicing Agreement No. 7923-0079-00, to proceed to Public Notification.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (h) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption;
 - (i) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (j) completion of the road closure and acquisition of portion of road allowance shown as Blocks A and B on the attached Survey Plan (Appendix I);

- (k) submission of an acoustical report for the units adjacent to 152 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
- (l) discharge of a 1986 Buffer Easement (Z50736) and an RC (BH178627) limiting lands to a duplex from the property located at 15295/97 – 20 Avenue; and
- (m) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	TCP Designation	Existing Zone
Subject Site	Single family residential	Low-Rise Mixed-Use and Low-Rise Residential	RF and RM-D
North:	Apartment building with ground floor commercial, and single family residential	Low-Rise Mixed-Use and Townhouse Residential	CD (Bylaw No. 15042) and RF
East:	Single family residential	Low-Rise Residential	RF
South (Across 20 Avenue):	Office/Commercial and apartment buildings	Low-Rise Mixed-Use and Low-Rise Residential	C-8, CHI, RM-45 and CD (Bylaw No. 12114)
West (Across 152 Street):	Gas Station and commercial buildings	Low-Rise Mixed-Use	CG-2 and C-8

Context & Background

- The subject site consists of six single-family properties with a combined area of 15,069 square metres (3.7 acres) which is located within the Semiahmoo Town Centre Plan area. The existing single family dwellings are proposed to be removed as part of the application.
- The western portion of the subject site is designated “Town Centre” in the Official Community Plan (OCP) and “Low-Rise Mixed-Use” in the Semiahmoo Town Centre Plan (TCP). The eastern portion of the site is designated “Multiple Residential” in the OCP and “Low-Rise Residential” in the Semiahmoo TCP.
- The applicant recently completed a Temporary Use Permit application (Application No. 7923-0237-00) to place a sales centre on the property at 15231 – 20 Avenue to provide sales for the applicant's nearby apartment project at 24 Avenue and 152A Street (Application No. 7922-0241-00), as well as for the subject proposal, once approvals are obtained on the subject site.

DEVELOPMENT PROPOSAL

Planning Considerations

- The subject application proposes a six-storey mixed use apartment building on the western portion of the site and a six-story apartment building on the east portion of the site. The proposal includes 792 square metres of ground floor commercial space and 356 apartment units in total. The application includes:
 - Rezoning from “Single Family Residential Zone (RF)” and “Duplex Residential Zone (RM-D)” to “Comprehensive Development Zone (CD)”;
 - Development Permit for Form and Character to construct one mixed use apartment building and one apartment building;
 - Development Variance Permit to vary the definition of "Bond" in the Surrey Subdivision and Development Bylaw, 1986, No. 8830, as amended, in order to include the use of Surety Bond for the Servicing Agreement; and
 - Subdivision to consolidate the properties into one development lot and one remnant lot.

	Proposed
Lot Area	
Gross Site Area:	15,070 sq.m.
Road Dedication Area:	4,501 sq.m.
Road Purchase Area:	306 sq.m.
Remnant Parcel Area:	270 sq.m.
Net Multi-family Site Area:	10,605 sq.m.
Number of Lots:	
	1 multi-family lot and 1 small remnant lot
Building Height:	
	22.7 m
Floor Area Ratio (FAR):	
	3.12 Net FAR; 2.20 Gross FAR
Floor Area	
Residential:	32,894 sq.m.
Commercial:	790 sq.m.
Total:	33,684 sq.m.
Residential Units:	
1-Bedroom:	157 (44%)
2-Bedroom:	171 (45%)
3-Bedroom:	38 (11%)
Total:	356

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 55 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

32 Elementary students at Jessie Lee Elementary School
14 Secondary students at Earl Marriott Secondary School

(Appendix IV)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring 2027.

Parks, Recreation & Culture: Bakerview Park is the closest active park with amenities including, a playground, soccer field, baseball diamonds, and is 300 metres walking distance from the development. Semiahmoo Trail is the closest park with natural area and is 260 metres walking distance from the development.

Surrey Fire Department: No concerns.

Advisory Design Panel: At the Regular Council – Land Use meeting on December 18, 2023, Council endorsed Corporate Report No. R214 (2023) which amended the Terms of Reference of the City's Advisory Design Panel (ADP) which permits multi-family proposals that are 6-storeys or less, and supported by City staff, to proceed to Council for By-law introduction, without review and/or comment from the ADP.

The subject development proposal is generally supported by City staff and the applicant has agreed to resolve any outstanding items, to the satisfaction of the Planning and Development Department, prior to consideration of Final Adoption of the Rezoning By-law as well as issuance of the Development Permit.

Transportation Considerations

Road Network and Infrastructure

- The applicant will be required to provide the following improvements:
 - Dedication along 152 Street to the City's arterial road standard and construction of a sidewalk;
 - Dedication and construction of the north side of 20 Avenue to the City's collector road standard;
 - Dedication and construction of a new 152A Street through the site to the City's local road standard;
 - Dedication and construction of a new east-west green lane, which will connect from 152 Street to 153 Street and 20A Avenue; and
 - Dedication and contribution towards the future 153 Street.

Traffic Impacts

- According to industry standard rates, the proposal is anticipated to generate approximately three vehicles per minute in the peak hour, based on industry standard rates.
- As part of the land use planning process for the Semiahmoo Town Centre Plan, an area-wide Transportation Impact Analysis ("TIA") was conducted to evaluate the overall traffic impacts of redevelopment throughout the Plan area and to inform the infrastructure improvements to support the planned growth. Overall, the road network and infrastructure improvements identified within the Plan are anticipated to adequately accommodate the projected growth associated with the subject development and land use intensification in the area.
- As the proposal is consistent with the Semiahmoo Town Centre Plan and is below the City's typical traffic generation threshold, a site-specific TIA was not required as part of the subject proposal.

Parking and Access

- The subject development is proposed to be accessed via two ramps to the underground parkades from the new green lane.
- According to the Zoning Bylaw, 597 parking spaces are required to be provided on site based on the proposed number and type of residential units and commercial space. The applicant is proposing to provide two parkades with a total of 665 parking spaces, exceeding the Zoning Bylaw requirement.
- According to the Zoning Bylaw, 427 secured bicycle parking spaces are required, plus an additional 12 visitor bicycle parking spaces. The applicant is proposing to provide 429 secured bicycle parking spaces, plus 12 visitor parking spaces, exceeding the Zoning Bylaw requirement.

Transit

- The subject site is located at a transit stop on 152 Street (which is also identified as a future rapid bus stop in the Semiahmoo Town Centre Plan) with the following services:
 - No. 321: Surrey Central Station/Newton/White Rock Centre
 - No. 345: King George Station/White Rock Centre
 - No. 351: White Rock Centre/Bridgeport Station
 - No. 375: White Rock/Guildford
 - No. 394: White Rock/King George Station Express

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is designated “General Urban” in the Metro Vancouver Regional Growth Strategy. The proposal complies with this designation.

Official Community Plan

Land Use Designation

- The subject site is designated “Town Centre” and “Multiple Residential” in the Official Community Plan. The proposal complies with these designations.

Themes/Policies

- The proposed development is consistent with several OCP Themes and Policies, including:
 - Growth Management:
 - *Growth Priorities*: Support compact and efficient land development that is consistent with the Metro Vancouver *Regional Growth Strategy* (RGS).
 - *Accommodating Higher Density*: Direct residential and mixed-use development into Surrey’s City Centre, Town Centres, and along Frequent Transit Corridors and in approved Secondary Plan areas, at densities sufficient to encourage commercial development and transit service expansion.
 - Centres, Corridors and Neighbourhoods:
 - *Distinctive Town Centres*: Plan Surrey’s Town Centres to accommodate a wide range of households.
 - *Transit Corridors*: Encourage development that supports increased transit, pedestrian, and cycle use along existing or planned Frequent Transit Corridors.

- *Healthy Neighbourhoods*: Plan and design urban neighbourhoods with sufficient densities to support a high-quality transit system that is accessible to most residents.
- *Urban Design*: Ensure new development responds to the existing architectural character and scale of its surroundings, creating compatibility between adjacent sites and within neighbourhoods.

Secondary Plans

Land Use Designation

- The subject site is designated and “Low-Rise Mixed-Use” on the western portion and “Low-Rise Residential” on the eastern portion in the Semiahmoo Town Centre Plan. These designations permit a base density of 2.25 Floor Area Ratio (FAR) and 2.00 FAR, respectively. The applicant proposes an overall gross density of 2.20 FAR, which complies with the designations, as density bonusing is permitted and also complies with the maximum 8-storey and 6-storey TCP building height strategy, as both buildings are proposed to be 6 storeys.
- The four eastern lots of subject land assembly are within a lot consolidation area, as outlined in the Semiahmoo TCP. The adjacent lands to the west are within a separate consolidation area. The parcel at 2055 -153 Street is part of a northerly lot consolidation area in the TCP but the applicant has included this parcel in the assembly to allow for the proposed east-west green lane to connect through to 153 Street. The small remnant piece of land will have a No-Build Restrictive Covenant registered to encourage future consolidation with the townhouse-designated lots to the north. The proposed development is consistent with the intent of the lot consolidation requirements of the Semiahmoo TCP.

Themes/Objectives

- The proposed development is consistent with several Semiahmoo TCP goals, policies, and design guidelines, including:
 - *Sensitive Interfaces*: The proposal provides a step back in massing at the sixth storey.
 - *Building Height*: While the building height marginally exceeds the 20 metres noted in the TCP, the buildings are six-storeys, in keeping with the Low-Rise Residential designation for the site.
 - *Family-Oriented Housing*: The applicant proposes approximately 42% of units as 2 or more bedrooms, including 10% as three or more bedrooms, exceeding the Family-Oriented Housing policy.
 - *Adaptable Housing Policy*: The applicant proposes 100% adaptable units to meet the British Columbia Building Code (BCBC) standards and meet the Adaptable Housing policy in the Semiahmoo TCP.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.

CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed mixed use apartment building and apartment building on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 70 Zone (RM-70)" and the "Neighbourhood Commercial Zone (C-5)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone, C-5 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	C-5 Zone (Part 35)	RM-70 Zone (Part 24)	Proposed CD Zone
Permitted Uses:	<p>Principle Uses</p> <ol style="list-style-type: none"> 1. Retail stores excluding adult entertainment store, secondhand stores and pawnshops. 2. Personal service uses limited to barbershops, beauty parlours, cleaning and repair of clothing and shoe repair shops. 3. General service uses excluding funeral parlours and drive-through banks. 4. Eating establishments excluding drive-through restaurants. 5. Neighbourhood pubs. 6. Office uses excluding social escort services and methadone clinics. 7. Indoor recreational facilities. 8. Community services. 9. Child care centres. <p>Accessory Uses:</p> <ol style="list-style-type: none"> 10. One caretaker unit per lot. 	<p>Principal Uses:</p> <ol style="list-style-type: none"> 1. Multi-unit residential buildings and ground-oriented multiple unit residential buildings. <p>Accessory Uses:</p> <ol style="list-style-type: none"> 2. Child care centres. 	<p>Principal Uses:</p> <ol style="list-style-type: none"> 1. Multi-unit residential buildings and ground-oriented multiple unit residential buildings. <p>Accessory Uses:</p> <ol style="list-style-type: none"> 2. Retail stores excluding adult entertainment stores, auction houses, second-hand stores and pawnshops. 3. Personal services uses, excluding body rub parlours. 4. Office uses excluding social escort services, methadone clinics and marijuana dispensaries. 5. General services uses excluding funeral parlours, drive-through banks and vehicle rentals. 6. Eating establishments excluding drive-through restaurants, provided that the maximum gross floor area of each individual business does not exceed 150 sq. m. 7. Liquor store. 8. Indoor recreational facilities, excluding a gymnasium. 9. Community services. 10. Child care centres. 11. Cultural uses.
Floor Area Ratio:	0.50	1.50	Block 1: 3.30 Block 2: 2.98
Lot Coverage:	50%	33%	Block 1: 67% Block 2: 67%
Yards and Setbacks	7.5 m	<p>7.5m for the principal building.</p> <p>An underground parking facility is not to be located within 2.0m of the front lot line.</p>	<p>Block 1: North/South/West – 3.0 m; East – 4.5 m</p> <p>Block 2: North/East/South/West – 4.5 m.</p> <p>Front patios and stairs are permitted to encroach within the setback area.</p> <p>Underground parking facility may be setback at 0.5 m from property line.</p>

Principal Building Height:	9 m	50 m	Block 1: 23.0m Block 2: 22.5m
Amenity Space			
Indoor Amenity:	n/a	3 m ² per unit; 4 m ² per micro unit	The proposed 1,004 m² + CIL meets the Zoning By-law requirement.
Outdoor Amenity:	n/a	3 m ² per unit; 4 m ² per micro unit	The proposed 1,362 sq.m. meets the Zoning By-law requirement.
Parking (Part 5)		Required	Proposed
Number of Stalls			
Commercial:		23	23
Residential and Residential Visitor:		574	642
Total:		597	665
Bicycle Spaces			
Residential Secure Parking:		427	429
Residential Visitor:		12	12

- The accessory commercial uses proposed in the CD Zone largely reflect the uses of the C-5 Zone with the main difference being that the neighbourhood pub use is not proposed in the CD Zone, and personal services are not limited as they are in the C-5 Zone. Liquor store use is added, and eating establishments are limited to a maximum floor area of 150 square metres.
- The CD Zone proposes a higher net floor area ratio (FAR) at 3.30 for Block 1 and 2.98 for Block 2, as compared to the 1.50 FAR permitted under the RM-70 Zone. As this is a Town Centre location, FAR is permitted to be measured on a gross basis for density bonus purposes, and the gross FAR of Block 1 is 2.32 and the gross FAR of Block 2 is 2.09. The proposed FAR is in keeping with the site's "Low-Rise Mixed-Use" and "Low-Rise Residential" designations in the Semiahmoo TCP, which allows bonus density, provided the project is within the designation's Development Parameters.
- The RM-70 Zone has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The proposed 67 % lot coverage for the site reflects the proposed buildings, which covers most of the small blocks that are being created through the proposed subdivision.
- The proposed 4.5-metre building setbacks for the residential components and 3.0-metre setback for commercial components are reflective of current urban design standards that creates a more urban pedestrian environment and enhances surveillance of the public realm along streets. A 3.0-meter building setback for the residential component is proposed along the northern green lane and this reflects the significant road dedication provided on the site.
- The CD Zone proposes a lower building height at a maximum of 23.0 metres relative to the 50 metre building height permitted by the RM-70 Zone. The proposed building height reflects the 6-storey proposal.

Variance to Definition of "Bond"

- The applicant is requesting to vary the definition of "Bond" in the Surrey Subdivision and Development Bylaw, 1986, No. 8830, as amended, to include the use of Surety Bond for Servicing Agreement No. 7923-0079-00.
- In 2016, Council approved Corporate Report No. R257:2016, which authorized a pilot program for the use of surety bonds as an alternate form of security for Servicing Agreements. Subsequently, in 2019, Council approved Corporate Report No. R227; 2019, which included a modification to the terms of the pilot program and increased the maximum number of eligible land development projects from 5 to 12. Under the Improvements to the Engineering Development Process outlined in the December 14, 2023 Corporate Report No. R222, Engineering is expanding the use of surety bonds as an alternate form of security for Servicing Agreements to reduce carrying costs to the developer.
- A Surety Bond is a three-party agreement between the City, the Developer, and the Surety Bond Company, which obligates the Surety Bond Company to pay the City if the Developer defaults in completing the off-site engineering servicing works for the land development projects in the pilot program.
- The Surety will be required to maintain a minimum A level rating from A.M. Best Rating Services.
- The Engineering Department supports the variance to include the use of a Surety Bond for Servicing Agreement No. 7923-0079-00.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No. R037;2023.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. The current rate is \$2,227.85 per new unit.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects. A fee updated was approved in April 2024, under Corporate Report No. Ro46; 2024, and the contribution is currently \$1,113.92 per unit.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant is proposing to place public art in the southwest corner plaza at the intersection of 152 Street and 20 Avenue, with the details to be confirmed prior to final adoption. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on October 5, 2023, and the Development Proposal Signs were installed on April 10, 2024. Staff received responses from 9 area residents. Eight of the callers were seeking general information and had no concerns. One caller indicated some concerns about construction impacts (*staff comments in italics*).

(The applicant was advised of the concern regarding construction impacts. Should the project be approved, the applicant will follow all the applicable construction bylaws.)

Public Information Meeting

- The applicant held a Public Information Meeting on November 27, 2023 at the HT Thrift Elementary School. According to the Summary Report submitted to the City, approximately 30-40 people attended the PIM and 9 comment cards were received. Four (4) of the comment cards indicate support for the proposal and mentioned no concerns. Two (2) comments cards provide some support, two (2) comment cards were neutral and three (3) comment card indicated opposition. Concerns included increased traffic, construction traffic and increased density.

(The applicant will be providing road dedication on 152 Street and 20 Avenue, an east-west green lane, and dedication for 152A Street and 153 Street. The density proposed is consistent with the Semiahmoo Town Centre Plan designations for the site.)

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Semiahmoo Town Centre Plan (TCP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Semiahmoo Town Centre Plan (TCP).
- The western mixed-use building contains ground floor commercial retail units (CRUs) along 152 Street and a portion of 20 Avenue. The residential unit mix consists of 82 one-bedroom units, 60 two-bedroom units, and 21 three-bedroom units, for a total of 163 units. The provision of 56% of units that are 2- or 3-bedrooms fulfills the unit mix requirements of the Semiahmoo TCP.
- A commercial elevator lobby (only for underground parking access) is proposed on the 152 Street elevation, and a residential lobby is proposed on the 20 Avenue elevation. The building is U-shaped with a ground floor outdoor amenity area open to the new proposed 152A Street. The building steps with the topography, as the site slopes from 152 Street downward to the east, resulting in staggered floor plates that enhances the building's articulation of massing.
- In accordance with the Semiahmoo TCP, a 200 square metre public plaza area is proposed at the southwest corner of the site, at the intersection of 152 Street and 20 Avenue. The plaza provides a public gathering area, with fixed seating, landscaping, hard-scaped plaza space and some weather protection. The applicant is also proposing to locate a public art piece in the plaza.
- The eastern building also steps with the topography, as the grade falls to the east, also resulting in staggered floor plates that enhances the building's articulation of massing. Its residential lobby is proposed on 20 Avenue, while a secondary lobby is proposed on 152A Street. The sixth floor is stepped back approximately 5 metres along the north, east and south elevations inkeeping with the Semiahmoo TC Plan guidelines. This building is also U-shaped, with the ground floor outdoor amenity space open to the green lane to the north of the site.
- The unit mix in the eastern residential building consists of 75 one-bedroom units, 101 two-bedroom units, and 17 three-bedroom units, for a total of 193 units. The provision of 61% of units that are 2- or 3-bedrooms fulfills the unit mix requirements of the Semiahmoo TCP.
- Both buildings have a strong interaction with the public realm, by having the ground floor commercial flush with grade, ample glazing facing the street and continuous weather protection canopies for pedestrians along the commercial frontages. Furthermore, ground oriented residential units interact with all the street frontages with raised patios comprised of rich landscaping. The parking ramps are oriented towards the green lane, innocuously integrated into the building envelope with habitable space above so that it blends into the building form.

- The design of the buildings mixes traditional urban materials and forms with contemporary materials, and through the extensive use of brick, rectilinear forms, strong base expression and a grid lattice fenestration pattern, topped with a flat roof design that has eave projections. A strong street-wall effect is established by its minimum setback to the street and planar envelope showing subtle depth via its brick pilaster, recessed window aprons and inset balconies, adding a rich texture to the streetscape that is subdued in its monochromatic colour palette.
- High quality materials, such as brick veneer and metal panel are carefully detailed to achieve a coordinated building character. The proposed exterior materials include brick (charcoal and white), fibre cement panel (light and dark gray), and extensive glazing for the commercial units. Painted steel canopies with glazing help define the ground floor commercial units. Metal and glass guardrails are proposed for the balconies.
- The courtyards that open up to the street have rich landscaping, using trees and shrubs and high quality retaining walls in concrete to address the street character with an animated frontage that is both soft and complementary to the buildings. In addition, each street intersection comes with publicly accessible open space that has generous seating and landscaping to contribute to the public realm.
- The applicant is proposing to provide two levels of underground parking, which will provide all of the required parking for the development. Each underground parkade is accessed via the proposed east-west green lane on the north elevation. No at-grade surface parking is proposed. The residential parkade will be secured by an overhead gate.

Landscaping

- The landscape plan proposes a total of 100 trees to be planted on the site and a significant number of shrubs and ground cover species. The landscaping concept will provide a safe pedestrian environment, attractive landscaping features, and a combination of plantings that will provide visual interest throughout the year.
- Landscaping is proposed along the street frontages and also within the interior courtyard space of both buildings. Benches, bike racks, seating cubes, and corner plazas are proposed along the street frontages.

Indoor Amenity

- The total required indoor amenity space is 1,068 square metres (3 square metres/unit) while the applicant is providing a total of 1,004 square metres. The cash-in-lieu of indoor amenity space must be provided at the rate in effect at the time of Final Adoption of the Rezoning By-law.
- The western building's indoor amenity space is located on ground floor, adjacent to the outdoor amenity space in the courtyard area. The indoor amenity space is divided into several areas and includes a large lounge area with kitchenette, several meeting rooms and a gym space.

- The eastern building's indoor amenity area is also on the ground floor, adjacent to the outdoor amenity area. The indoor amenity space also contains a large lounge area with kitchen facilities and a gym space.

Outdoor Amenity

- The total required outdoor amenity space is 1,068 square metres (3 square metres/unit) while the applicant is providing 1,362 square metres thereby exceeding the requirements of the Zoning Bylaw).
- Both the western and eastern buildings have an outdoor amenity space within the courtyard space created by the U-shaped buildings. The outdoor amenity areas contain patio space adjacent to the indoor amenity space, landscaped areas, children's play areas, lawn space, and seating areas.

Signage

- Signage for the commercial units is proposed channel letter fascia signage and also under-canopy signage (blade signage), in a design compatible with the architectural features of the building.
- The applicant is proposing to have a fascia sign identifying the building name near the main residential lobby entrance of each building.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
 - The provision of more design development on the roof fascial and upper storey columns;
 - Activation of the north green lane by modifying unit orientation; and
 - Enhancement of the southwest and northeast plaza spaces.
- The applicant has been provided a list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Sarah Bishop, ISA Certified Arborist of Koome Urban Forestry Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Cottonwood	5	5	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Big leaf maple	2	2	0
Flowering cherry	1	1	0
Crab apple	1	1	0
Japanese maple	1	1	0
Katsura	1	1	0
Red maple	1	1	0
Coniferous Trees			
Western red cedar	32	32	0
Douglas-fir	20	20	0
Western red cedar "Zebrina"	1	1	0
Lodgepole pine	1	1	0
False cypress	1	1	0
Total (excluding Alder and Cottonwood Trees)	67	67	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		102	
Total Retained and Replacement Trees Proposed		102	
Estimated Contribution to the Green City Program		\$22,000	

- The Arborist Assessment states that there are a total of 67 mature trees on the site, excluding Alder and Cottonwood trees. Five (5) existing trees, approximately 7% of the total trees on the site, are Alder and Cottonwood trees. The applicant proposes to retain no trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees that are outside the streamside protection area, and a 2 to 1 replacement ratio for all other trees, including Alder and Cottonwood that are within a streamside protection area. This will require a proposed total of 139 replacement trees on the site. Since the proposed 102 replacement trees can be accommodated on the site, the proposed deficit of 37 replacement trees will require an estimated cash-in-lieu payment of \$20,350, representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including maple, hornbeam, katsura, magnolia, spruce and pine.
- In summary, a total of 102 trees are proposed to be retained or replaced on the site with an estimated contribution of \$20,350 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Zoning Block Plans, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix V.	Development Variance Permit No. 7923-0079-00

approved by Shawn Low

Don Luymes
General Manager
Planning and Development

KB/ar

BLOCK SURVEY PLAN TO ACCOMPANY CITY OF SURREY
 REZONING BYLAW NO. _____ OF
 PART OF LOT 6 PLAN 71482 AND
 PARTS OF ROAD DEDICATED ON PLAN 20701
 ALL OF SECTION 14 TOWNSHIP 1 NEW WESTMINSTER DISTRICT



SCALE 1 : 500 DISTANCES ARE IN METRES
 INTEGRATED SURVEY AREA No. 1, SURREY

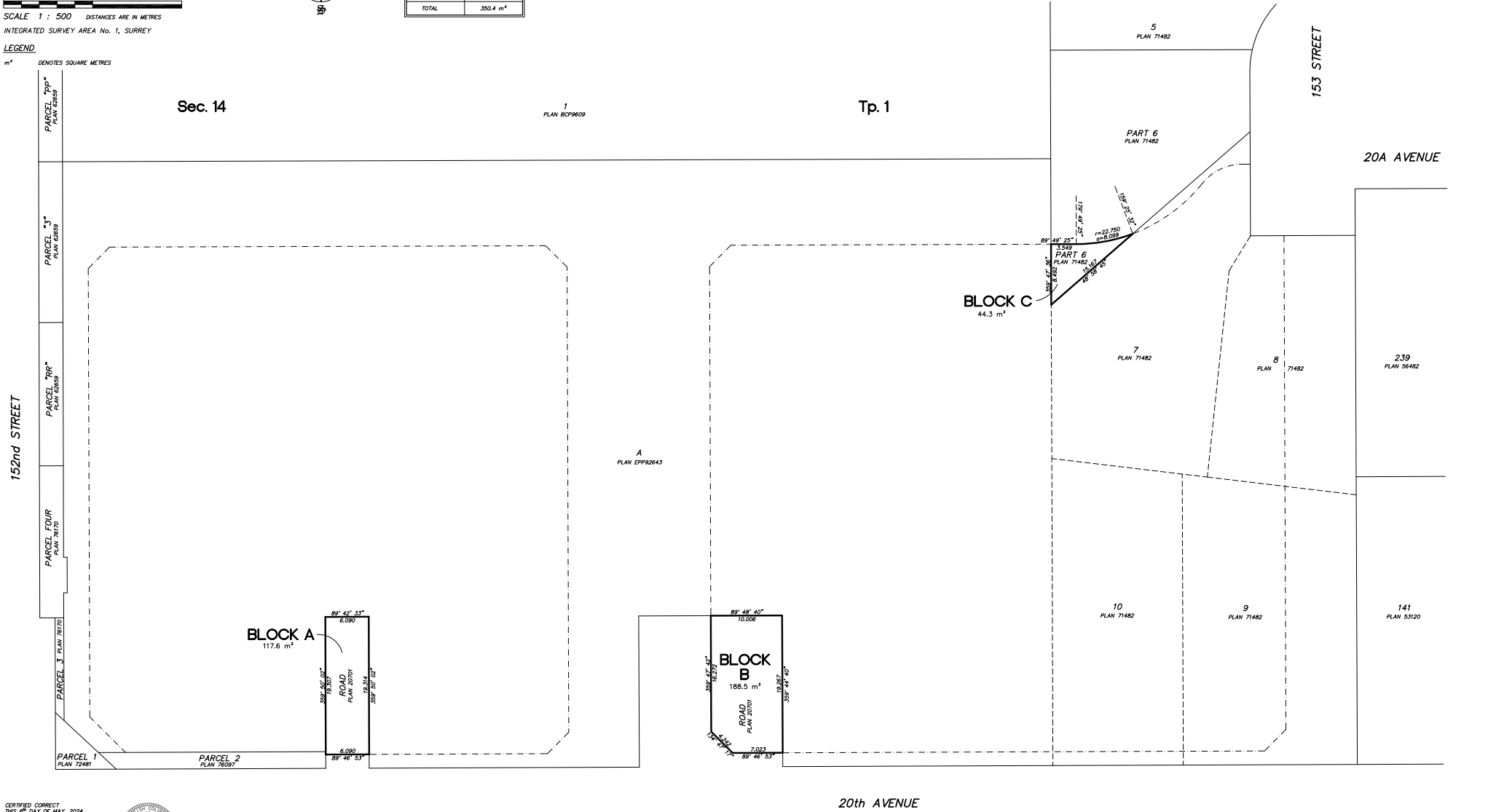
LEGEND

m² DENOTES SQUARE METRES



TABLE OF AREAS	
BLOCK A	117.6 m ²
BLOCK B	188.5 m ²
BLOCK C	44.3 m ²
TOTAL	350.4 m ²

Appendix I



CERTIFIED CORRECT
 THIS 6th DAY OF MAY, 2024



JESSE MORIN

20th AVENUE

- A.010 SITE PLAN
- A.020 SITE CONCEPT
- A.030 SUBMITTAL TO BYLAWS
- A.040 SITE PLAN - PRELIMINARY APPROVAL
- A.050 MATTERFIELD
- A.060 NEIGH. FRONTAGE
- A.070 BUILDING FORM & ORGANIZATION
- A.080 CONCEPT
- A.090 BUILDING DESIGN/FORM
- A.100 BASE PLAN
- A.110 SITE PLAN
- A.120 "STREET ENVELOPMENT" BYLAW REGULATIONS
- A.130 SHADOW STUDIES
- A.140 SITE - GENERAL PLANS
- A.150 PT - GENERAL PLANS
- A.160 LEVEL 1A-1B - GENERAL PLANS
- A.170A LEVEL 2A-1B - GENERAL PLANS
- A.170B LEVEL 2A-2B - GENERAL PLANS
- A.170C LEVEL 3A-1B - GENERAL PLANS
- A.170D LEVEL 3A-2B - GENERAL PLANS
- A.170E LEVEL 4A-1B - GENERAL PLANS
- A.170F LEVEL 4A-2B - GENERAL PLANS
- A.170G LEVEL 5A-1B - GENERAL PLANS
- A.170H LEVEL 5A-2B - GENERAL PLANS
- A.170I LEVEL 6A-1B - GENERAL PLANS
- A.170J LEVEL 6A-2B - GENERAL PLANS
- A.170K LEVEL 7A-1B - GENERAL PLANS
- A.170L LEVEL 7A-2B - GENERAL PLANS
- A.170M LEVEL 8A-1B - GENERAL PLANS
- A.170N LEVEL 8A-2B - GENERAL PLANS
- A.170O LEVEL 9A-1B - GENERAL PLANS
- A.170P LEVEL 9A-2B - GENERAL PLANS
- A.170Q LEVEL 10A-1B - GENERAL PLANS
- A.170R LEVEL 10A-2B - GENERAL PLANS
- A.170S LEVEL 11A-1B - GENERAL PLANS
- A.170T LEVEL 11A-2B - GENERAL PLANS
- A.170U LEVEL 12A-1B - GENERAL PLANS
- A.170V LEVEL 12A-2B - GENERAL PLANS
- A.170W LEVEL 13A-1B - GENERAL PLANS
- A.170X LEVEL 13A-2B - GENERAL PLANS
- A.170Y LEVEL 14A-1B - GENERAL PLANS
- A.170Z LEVEL 14A-2B - GENERAL PLANS
- A.170AA LEVEL 15A-1B - GENERAL PLANS
- A.170AB LEVEL 15A-2B - GENERAL PLANS
- A.170AC LEVEL 16A-1B - GENERAL PLANS
- A.170AD LEVEL 16A-2B - GENERAL PLANS
- A.170AE LEVEL 17A-1B - GENERAL PLANS
- A.170AF LEVEL 17A-2B - GENERAL PLANS
- A.170AG LEVEL 18A-1B - GENERAL PLANS
- A.170AH LEVEL 18A-2B - GENERAL PLANS
- A.170AI LEVEL 19A-1B - GENERAL PLANS
- A.170AJ LEVEL 19A-2B - GENERAL PLANS
- A.170AK LEVEL 20A-1B - GENERAL PLANS
- A.170AL LEVEL 20A-2B - GENERAL PLANS
- A.170AM LEVEL 21A-1B - GENERAL PLANS
- A.170AN LEVEL 21A-2B - GENERAL PLANS
- A.170AO LEVEL 22A-1B - GENERAL PLANS
- A.170AP LEVEL 22A-2B - GENERAL PLANS
- A.170AQ LEVEL 23A-1B - GENERAL PLANS
- A.170AR LEVEL 23A-2B - GENERAL PLANS
- A.170AS LEVEL 24A-1B - GENERAL PLANS
- A.170AT LEVEL 24A-2B - GENERAL PLANS
- A.170AU LEVEL 25A-1B - GENERAL PLANS
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- A.170AW LEVEL 26A-1B - GENERAL PLANS
- A.170AX LEVEL 26A-2B - GENERAL PLANS
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- A.170AZ LEVEL 27A-2B - GENERAL PLANS
- A.170BA LEVEL 28A-1B - GENERAL PLANS
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- A.170BI LEVEL 32A-1B - GENERAL PLANS
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- A.170BL LEVEL 33A-2B - GENERAL PLANS
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- A.170BV LEVEL 99A-2B - GENERAL PLANS
- A.170BU LEVEL 100A-1B - GENERAL PLANS
- A.170BV LEVEL 100A-2B - GENERAL PLANS

PROJECT TEAM

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MECHANICAL ENGINEER | Straiton
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 Satwinder Diogan | sdiogan@straitoneng.com

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 Jesse Morin | jmorin@butlersundvick.ca

ARBORIST | Koome Urban Forestry
 Kaily Koome | kaily.koome@koomeurbanforestry.ca
 Sarah Bishop | sarah.bishop@koomeurbanforestry.ca



MARQUETTE | 15281 20 Ave. + 152 St.
 SEMIAHMOO, SURREY
 DP RESUBMISSION | MAY 2024



4000 WESTERN AVE. SUITE 100
 VANCOUVER, BC CANADA V6V 1W6
 TEL: 604.778.1154
 FAX: 604.778.1155
 WWW.GBLINC.COM

NOTES

REVISION

NO.	DATE	DESCRIPTION
1	2023-05-18	Finality Schedule
2	2023-05-18	Finality Schedule
3	2023-05-18	DP Finalization
4	2023-05-18	DP Approval
5	2023-05-18	DP Approval
6	2023-05-18	DP Approval
7	2023-05-18	DP Approval
8	2023-05-18	DP Approval

REVISION

The Municipality Building is a Design Interim Approval of the said Municipality of the City of Vancouver, British Columbia, Canada. It is subject to the terms and conditions of the Interim Approval. It is subject to the terms and conditions of the Interim Approval. It is subject to the terms and conditions of the Interim Approval.

4000 WESTERN AVE. PLAN

Item	Area	Volume	Weight
1	1000 sq ft	1000 cu ft	1000 lbs
2	2000 sq ft	2000 cu ft	2000 lbs
3	3000 sq ft	3000 cu ft	3000 lbs
4	4000 sq ft	4000 cu ft	4000 lbs
5	5000 sq ft	5000 cu ft	5000 lbs

Building A Weight

Item	Area	Volume	Weight
1	1000 sq ft	1000 cu ft	1000 lbs
2	2000 sq ft	2000 cu ft	2000 lbs
3	3000 sq ft	3000 cu ft	3000 lbs
4	4000 sq ft	4000 cu ft	4000 lbs
5	5000 sq ft	5000 cu ft	5000 lbs

Building B Weight

Item	Area	Volume	Weight
1	1000 sq ft	1000 cu ft	1000 lbs
2	2000 sq ft	2000 cu ft	2000 lbs
3	3000 sq ft	3000 cu ft	3000 lbs
4	4000 sq ft	4000 cu ft	4000 lbs
5	5000 sq ft	5000 cu ft	5000 lbs

4000 WESTERN AVE. PLAN

Site Plan showing building footprints, setbacks, and surrounding streets. Includes a north arrow and scale.

4000 WESTERN AVE. PLAN

Site Plan showing building footprints, setbacks, and surrounding streets. Includes a north arrow and scale.

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2	2000 sq ft	2000 cu ft	2000 lbs
3	3000 sq ft	3000 cu ft	3000 lbs
4	4000 sq ft	4000 cu ft	4000 lbs
5	5000 sq ft	5000 cu ft	5000 lbs

Building B Weight

Item	Area	Volume	Weight
1	1000 sq ft	1000 cu ft	1000 lbs
2	2000 sq ft	2000 cu ft	2000 lbs
3	3000 sq ft	3000 cu ft	3000 lbs
4	4000 sq ft	4000 cu ft	4000 lbs
5	5000 sq ft	5000 cu ft	5000 lbs

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1	1000 sq ft	1000 cu ft	1000 lbs
2	2000 sq ft	2000 cu ft	2000 lbs
3	3000 sq ft	3000 cu ft	3000 lbs
4	4000 sq ft	4000 cu ft	4000 lbs
5	5000 sq ft	5000 cu ft	5000 lbs

Building B Weight

Item	Area	Volume	Weight
1	1000 sq ft	1000 cu ft	1000 lbs
2	2000 sq ft	2000 cu ft	2000 lbs
3	3000 sq ft	3000 cu ft	3000 lbs
4	4000 sq ft	4000 cu ft	4000 lbs
5	5000 sq ft	5000 cu ft	5000 lbs

4000 WESTERN AVE. PLAN

Site Plan showing building footprints, setbacks, and surrounding streets. Includes a north arrow and scale.

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Site Plan showing building footprints, setbacks, and surrounding streets. Includes a north arrow and scale.

MARQUETTE
 SEMIAHMOO 20TH AVE.
 DEVELOPMENT PERMIT
 STATISTICS

DATE: 2023-05-18
 CHECKED BY: [Name]
 SCALE: [Scale]
 JOB NUMBER: 21045

A-0.01

SUSTAINABILITY STRATEGIES



■ GBL ARCHITECTS INC.
100 EAST PINE AVENUE TEL: 403.733.1155
VANCOUVER BC CANADA V6T 1S6 FAX: 403.733.1219
1000 WEST 10TH STREET, SUITE 1000 VANCOUVER BC V6H 3G9
WWW.GBLARCHITECTS.COM

ENERGY EFFICIENCY & DURABILITY

- Materials will be durable, easy to maintain, and both locally-sourced and low emitting where possible.
- The building envelope will be thermally-efficient with low thermal bridging and have a good wall-to-window ratio.
- High efficiency boilers and heat pumps will minimize energy usage of building systems.
- Energized outlet capable of providing Level 2 charging with energy management system
- Electricity-based space heating systems throughout to minimize greenhouse gas emissions. Where natural gas is to be used for domestic water heating and corridor pressurization, high-efficiency condensing equipment will be installed.
- Low-flow plumbing fixtures will also be used to reduce domestic hot water consumption below BC Building Code levels and further reduce natural gas consumption and greenhouse gas emissions.
- Energy star appliances or equal.

ENVIRONMENTAL IMPACT

- Trees and shrubs will create a canopy, providing privacy, shade, a reduced heat island effect, enhance water retention on site, and provide a home for pollinators.
- Landscaping will comprise drought-tolerant species.
- Large landscaped courtyard and water retention on site through LIDS and stormwater detention tank to manage rainwater runoff
- Moisture sensors for irrigation.
- Building material recycling reviewed during demolition of existing structures.

COMMUNITY HEALTH & WELLNESS

Community Health & Wellness

- Mid-block public dedicated road connection through site and a green lane extension to 20A Avenue to promote walkability through town centre.
- Drinking fountain/bottle filling station in common area to promote water drinking and for resiliency.
- Bike facilities will include storage and a bike tuning area with bike wash that doubles as dog wash.

SOCIAL SUSTAINABILITY

- Over 300 new housing units in proximity to transit in Semiahmoo Town Centre.
- 50% of units will be family units with a wide range of housing types from efficient two bedroom suites to large 3-bed units
- Over 9,000 sf of pedestrian oriented new commercial space in Semiahmoo Town Centre.
- 615 m of new public sidewalks
- Public plaza with a proposed piece of public art of the developed in tandem with the application.
- Outdoor gardens, tree canopied seating area, and fire pit and lounge.
- The programming for indoor amenity spaces will include a gym, and boardroom/meeting room.
- All common areas will be fully accessible.

NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	2024-09-25	Final Site Scheme
2	2024-10-15	Final Site Scheme
3	2024-10-15	Final Application
4	2024-10-17	Final Application
5	2024-10-17	Final Application
6	2024-10-17	Final Application
7	2024-10-17	Final Application

MARQUETTE
SEMAHMOO 20TH AVE.

DEVELOPMENT PERMIT
SUSTAINABILITY
STRATEGIES

DATE: 2024-09-25
DRAWN BY: Author
CHECKED BY: Checker
SCALE:
JOB NUMBER: 21045



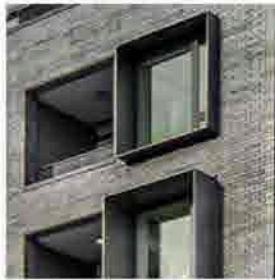
NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	2023-02-28	Final Design
2	2023-03-15	Final Design
3	2023-03-15	Final Design
4	2023-03-15	Final Design
5	2023-03-15	Final Design
6	2023-03-15	Final Design



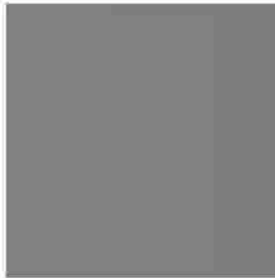
A1: Brick
White



A2: Brick
Charcoal



B1: Fiber Cement (Hardie Panel)
'Arctic White' w/
Colour Matched Reveals



B2: Fiber Cement (Hardie Panel)
'Gray Slate' w/
Colour Matched Reveals



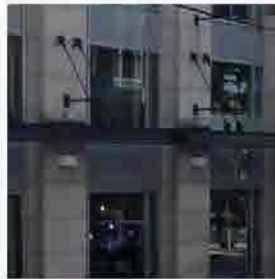
B3: Fiber Cement (Hardie Panel)
'Iron Gray' w/
Colour Matched Reveals



G1: Alum. Picket Guard
Charcoal Railings



G2: Alum. Glass Guard
Charcoal Railings



H: Painted Steel Canopy
Charcoal



MARQUETTE
SEMAHMOO 20TH AVE.

DEVELOPMENT PERMIT

MATERIALS

DATE: 2023-03-15
 DRAWN BY: JACOB
 CHECKED BY: THOMAS
 SCALE: 1/8"=1'-0"
 21045

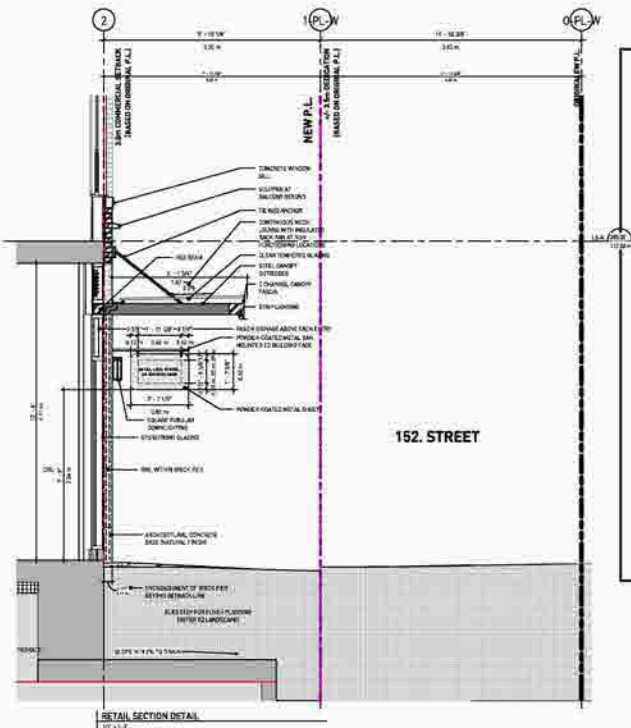
NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	2023-02-08	Preliminary Scheme
2	2023-03-11	Feasibility Studies
3	2023-03-06	DP Preparation
4	2023-03-09	DP Application
5	2023-03-09	DP Application Refinement
6	2024-02-27	DP Application Re-submission
7	2024-02-27	DP Application Re-submission



152 STREET FRONTAGE



152 STREET



VIEW FROM 152ND STREET

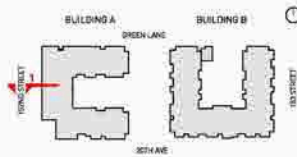
152ND STREET FRONTAGE

The retail frontage along 152nd Street consists of fascia signage integrated within an opaque metal spandrel panel as part of the glazing system.

This is in addition to one blade sign per retail unit, mounted to brick piers that delineate each retail unit

A continuous 1.8m glazed canopy provides weather protection.

Lighting is located as a downlight wall sconce on each brick pier in addition to a strip located integrally within the canopy.



MARQUETTE SEMIAHMOO 20TH AVE.

DEVELOPMENT PERMIT

RETAIL FRONTAGE

DATE: 2024-01-10
 DRAWN BY: Author
 CHECKED BY: Designer
 SCALE: As shown
 JOB NUMBER: 21045

2061 153 ST.

LOT 2 2055 153 ST.

FORMERLY
 LOT A
 SECTION 54
 TOWNSHIP 1 PLAN
 MAP 7548
 TOTAL LOT 2
 SUBDIVISION
 RETENTION
 2,100.00 SQ. FT.

NOTES
 INDICATION
 INDICATION
 SITE AREA RECONFIGURATION

LET'S BUILDING OR RETAIN

BASE PLAN LEGEND

153 - F-F

SECTION PROPERTY LINE

PROPOSED PROPERTY LINE

AS-BUILT

OFFICER

PL-SHOW-Setback Legend

153 - F-F

REVISIONS

NO. DATE DESCRIPTION

1 2023-02-08 Feasibility Studies

2 2023-02-08 Feasibility Studies

3 2023-02-08 SP Preparation

4 2023-02-08 SP Application

5 2023-02-08 SP Application Building

6 2023-02-08 SP Application Building/Trade

7 2023-02-08 SP Building/Trade/Trade

8 2023-02-08 SP Application Building/Trade

9 2023-02-08 SP Application Building/Trade

10 2023-02-08 SP Application Building/Trade

11 2023-02-08 SP Application Building/Trade

12 2023-02-08 SP Application Building/Trade

13 2023-02-08 SP Application Building/Trade

14 2023-02-08 SP Application Building/Trade

15 2023-02-08 SP Application Building/Trade

16 2023-02-08 SP Application Building/Trade

17 2023-02-08 SP Application Building/Trade

18 2023-02-08 SP Application Building/Trade

19 2023-02-08 SP Application Building/Trade

20 2023-02-08 SP Application Building/Trade

21 2023-02-08 SP Application Building/Trade

22 2023-02-08 SP Application Building/Trade

23 2023-02-08 SP Application Building/Trade

24 2023-02-08 SP Application Building/Trade

25 2023-02-08 SP Application Building/Trade

26 2023-02-08 SP Application Building/Trade

27 2023-02-08 SP Application Building/Trade

28 2023-02-08 SP Application Building/Trade

29 2023-02-08 SP Application Building/Trade

30 2023-02-08 SP Application Building/Trade

31 2023-02-08 SP Application Building/Trade

32 2023-02-08 SP Application Building/Trade

33 2023-02-08 SP Application Building/Trade

34 2023-02-08 SP Application Building/Trade

35 2023-02-08 SP Application Building/Trade

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37 2023-02-08 SP Application Building/Trade

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42 2023-02-08 SP Application Building/Trade

43 2023-02-08 SP Application Building/Trade

44 2023-02-08 SP Application Building/Trade

45 2023-02-08 SP Application Building/Trade

46 2023-02-08 SP Application Building/Trade

47 2023-02-08 SP Application Building/Trade

48 2023-02-08 SP Application Building/Trade

49 2023-02-08 SP Application Building/Trade

50 2023-02-08 SP Application Building/Trade

51 2023-02-08 SP Application Building/Trade

52 2023-02-08 SP Application Building/Trade

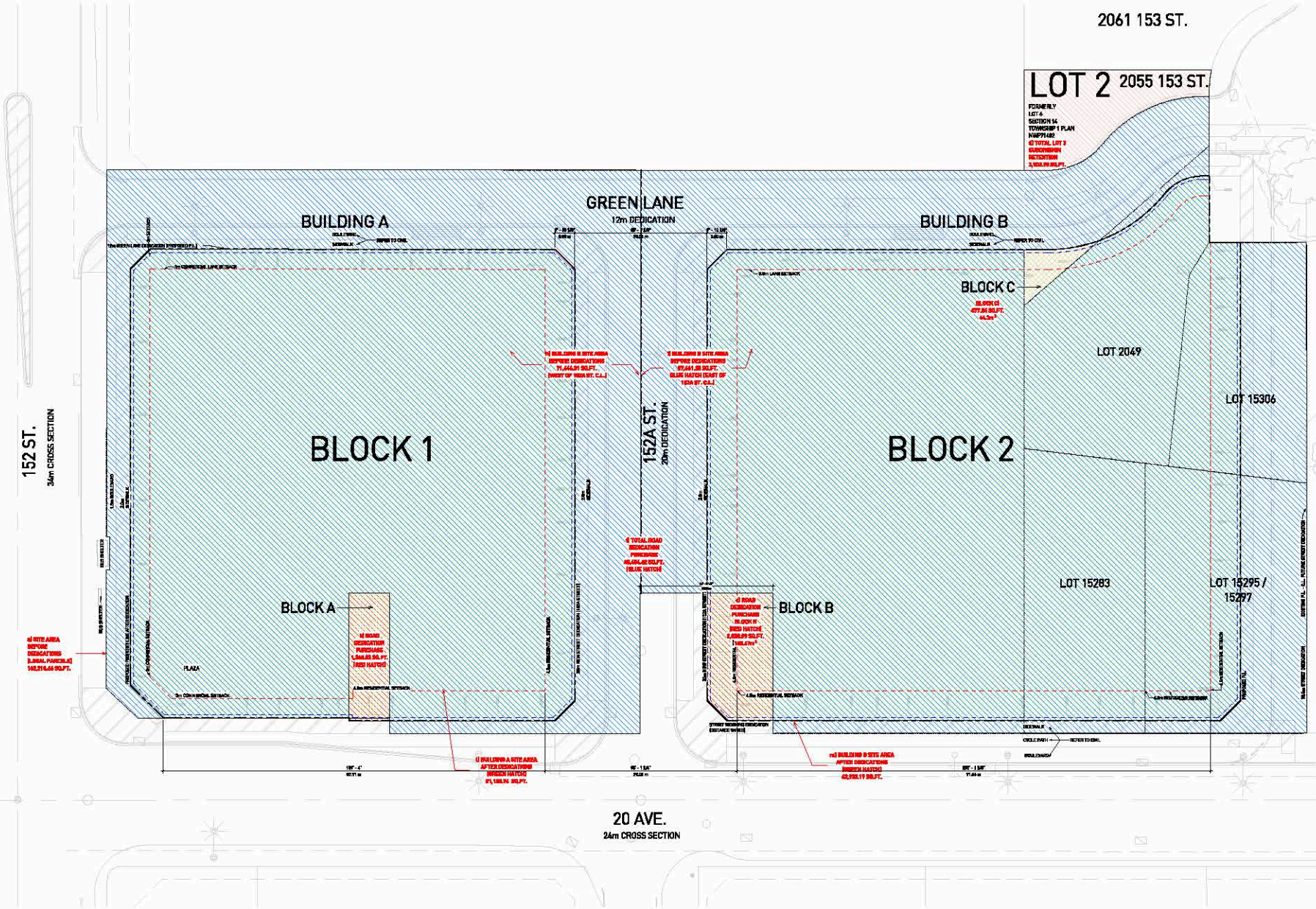
MARQUETTE
 SEMIAHMOO 20TH AVE.

DEVELOPMENT PERMIT

BASE PLAN - DEDICATIONS

DATE: 2024-02-28
 DRAWN BY: MS
 CHECKED BY: MS
 SCALE: 1/8"=1'-0"
 JOB NUMBER: 21045

A-0.30.



2061 153 ST.

LOT 2 2055 153 ST.

GREEN LANE
 12m DEDICATION

152A ST.
 20m DEDICATION

153 ST.
 20m ULT. ROAD DEDICATION

BLOCK 1

BLOCK 2

20 AVE.

152 ST.

NOTES

EXISTING PROPERTY LINE
 PROPOSED PROPERTY LINE
 A/R
 B/R
 PL-SRW-Setback Legend
 UAF - F-F

REV.	DATE	DESCRIPTION
1	2023-02-08	Finality Changes
2	2023-02-11	Finality Changes
3	2023-02-01	DP Programming Draft
4	2023-02-08	DP Programming
5	2023-02-02	DP Architecture
6	2023-02-02	DP Architecture Building
7	2023-02-14	DP Architecture Building Draft
8	2023-02-22	DP Architecture Building
9	2023-02-22	DP Architecture Building
10	2023-02-22	DP Architecture Building
11	2023-02-22	DP Architecture Building
12	2023-02-22	DP Architecture Building

MARQUETTE
 SEMIAHMOO 20TH AVE.
 DEVELOPMENT PERMIT
 BASE PLAN

DATE: 2024-09-23
 DRAWN BY: ADR
 CHECKED BY: ADR
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 21045

A-0.31.

NOTES



KEYWORDS

NO.	SYMBOL	DESCRIPTION
1	RES-01-01	Residential Corridor
2	RES-01-02	Residential Unit
3	RES-01-03	Residential Unit
4	RES-01-04	Residential Unit
5	RES-01-05	Residential Unit
6	RES-01-06	Residential Unit
7	RES-01-07	Residential Unit
8	RES-01-08	Residential Unit
9	RES-01-09	Residential Unit
10	RES-01-10	Residential Unit

UNIT COLOR LEGEND

UNIT COLOR	LEGEND
Blue	RESIDENTIAL UNITS
Light Blue	CIRCULATION
Purple	EXIT
Orange	COMMERCIAL RETAIL UNITS
Teal	AMENITY
Yellow	PARKING

UNIT COLOR LEGEND

UNIT COLOR	LEGEND
A	1 BED
B	2 BED 1 BATH
C	2 BED 2 BATH (SIDE BY SIDE)
D	2 BED 2 BATH (WING IN)
E	2 BED 2 BATH (CORNER CORNER)
F	3 BED

PROPERTY LINE

PROPERTY LINE	DESCRIPTION
Solid Line	EXISTING PROPERTY LINE
Dashed Line	PROPOSED PROPERTY LINE
Dotted Line	SETBACK

PL-SYM: Outline & Legend
 1/2" = 1'-0"

MARQUETTE
 SEMIAHMOO 20TH AVE.
 DEVELOPMENT PERMIT
 SITE PLAN

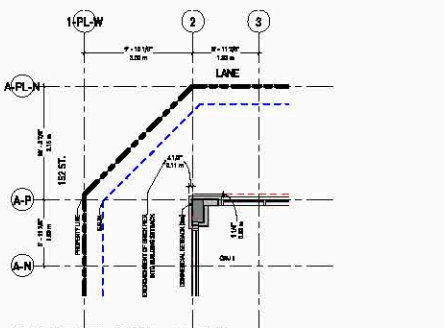
DATE: 02/16/21
 DRAWN BY: MS
 CHECKED BY: MW
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 21045

NOTES

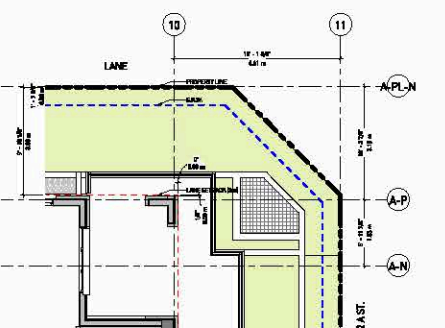
- 1. EXISTING PROPOSED L.P.E.
- 2. PROPOSED ENCROACHMENT L.P.E.
- 3. SETBACK
- 4. PL-SRW-Setback Legend
- 5. 1/4" = 1'-0"

REVISIONS

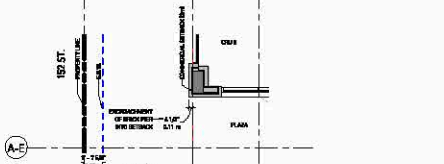
NO.	DATE	DESCRIPTION
1	08/12/15	1. 0P Application Submittal



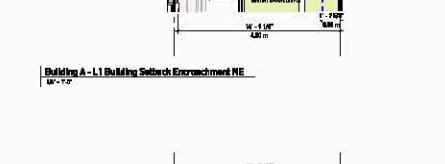
Building A-L1 Building Setback Encroachment NW
1/4" = 1'-0"



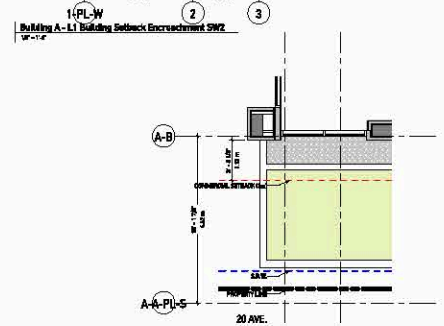
Building A-L1 Building Setback Encroachment NE
1/4" = 1'-0"



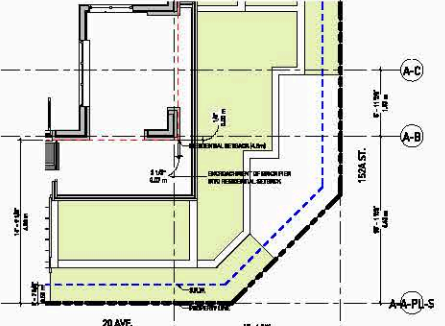
Building A-L1 Building Setback Encroachment SW2
1/4" = 1'-0"



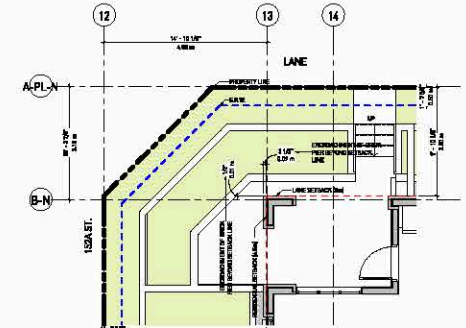
Building A-L1 Building Setback Encroachment SE
1/4" = 1'-0"



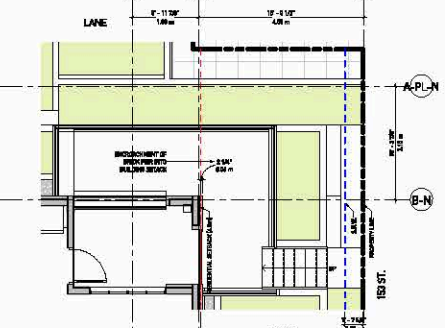
Building A-L1 Building Setback Encroachment SW1
1/4" = 1'-0"



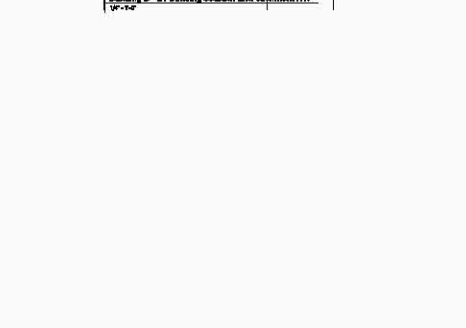
Building A-L1 Building Setback Encroachment SW
1/4" = 1'-0"



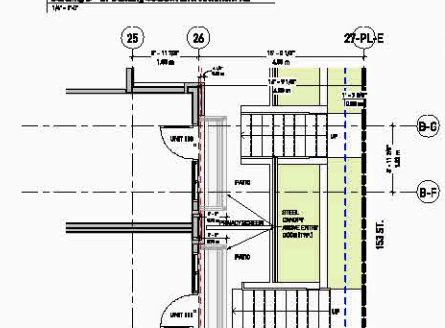
Building B-L1 Building Setback Encroachment NW
1/4" = 1'-0"



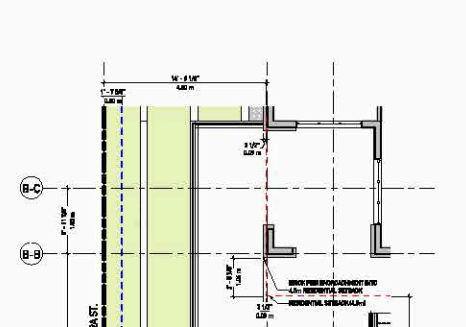
Building B-L1 Building Setback Encroachment NE
1/4" = 1'-0"



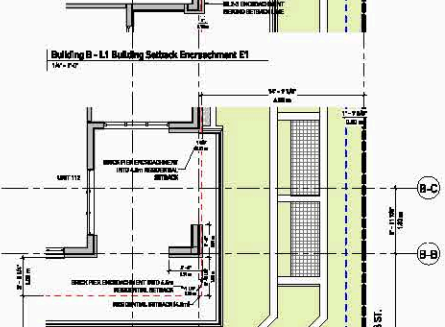
Building B-L1 Building Setback Encroachment E1
1/4" = 1'-0"



Building B-L1 Building Setback Encroachment SE
1/4" = 1'-0"



Building B-L1 Building Setback Encroachment SW
1/4" = 1'-0"



Building B-L1 Building Setback Encroachment SW
1/4" = 1'-0"

MARQUETTE
SEMAHMOO 20TH AVE.

DEVELOPMENT PERMIT
SETBACK ENCROACHMENT
AT GRADE REQUESTS

DATE: 08/12/15
 DRAWN BY: Adam
 CHECKED BY: J. Schaefer
 SCALE: As Shown
 JOB NUMBER: 21045

NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	2023-02-28	Final Design
2	2023-03-15	Final Design
3	2023-03-15	Final Design
4	2023-03-15	Final Design
5	2023-03-15	Final Design
6	2023-03-15	Final Design



SPRING / FALL EQUINOX - SHADOW 10 AM



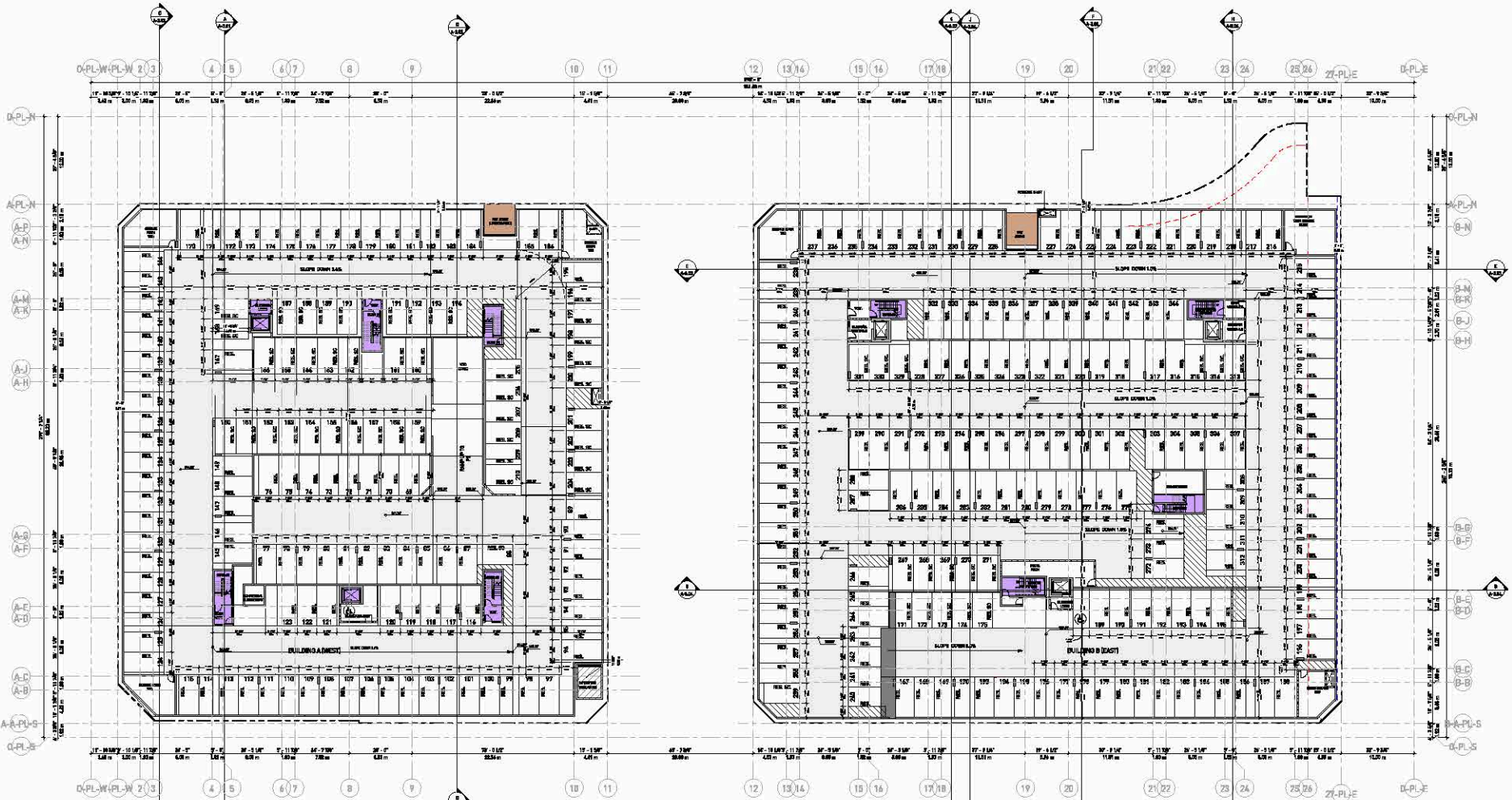
SPRING / FALL EQUINOX - SHADOW 12 PM



SPRING / FALL EQUINOX - SHADOW 2 PM

MARQUETTE
 SEMIAHMOO 20TH AVE.
 DEVELOPMENT PERMIT
 SHADOW STUDIES

DATE: 03-15-23
 DRAWN BY: JH
 CHECKED BY: JH
 SCALE: 1/8" = 1'-0"
 21045



- NOTES**
1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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- REVISIONS**
- | NO. | DATE | DESCRIPTION |
|-----|----------|--------------|
| 1 | 08/03/20 | Final/Issued |
| 2 | 08/03/20 | Final/Issued |
| 3 | 08/03/20 | Final/Issued |
| 4 | 08/03/20 | Final/Issued |
| 5 | 08/03/20 | Final/Issued |
| 6 | 08/03/20 | Final/Issued |
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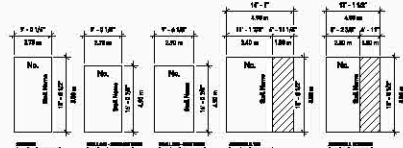
- EXISTING PROPERTY LINE**
PROPOSED PROPERTY LINE
GRID
SETBACK
PL-SEW-Subsack Legend
1/4" = 1'-0"

PARKING PROVIDED BY BUILDING

STALL TYPE	COUNT
A	
Commercial	
Commercial - Full Stall 2.75m x 5.5m	32
Commercial - Small Car 2.75m x 4.9m	1
B	
Residential	
Residential - Accessible Standard Stall 2.5m x 5.5m	1
Residential - Accessible Van Stall 3.4m x 5.5m	3
Residential - Full Stall 2.75m x 5.5m	138
Residential - Small Car 2.75m x 4.9m	49
Residential - Small Car 2.75m x 4.9m	17
Motor	
Motor - Full Stall 2.75m x 5.5m	33
Motor - Small Car 2.75m x 4.9m	3
Motor - Accessible - Full Stall	2
TOTAL	397
B	
Residential	
Residential - Accessible Standard Stall 2.5m x 5.5m	3
Residential - Accessible Van Stall 3.4m x 5.5m	3
Residential - Full Stall 2.75m x 5.5m	10
Residential - Full Stall 2.75m x 5.5m	211
Residential - Small Car 2.75m x 4.9m	12
Residential - Small Car 2.75m x 4.9m	30
Motor	
Motor - Full Stall 2.75m x 5.5m	27
Motor - Small Car 2.75m x 4.9m	3
Motor - Accessible - Full Stall	1
TOTAL	664

CLASS A BICYCLE PARKING PROVIDED

TYPE	COUNT
A	
P1-A	
BICYCLE - CLASS A - HEAVY	37
BICYCLE - CLASS A - VEH	162
A: 100	199
B	
L1-B	
BICYCLE - CLASS A - HEAVY	141
BICYCLE - CLASS A - VEH	133
B: 261	261
TOTAL	460



PARKING STALL SIZES
 1/4" = 1'-0"

- EXIST/CECULATION**
- EXIST/CECULATION
 - COMMERCIAL PARKING
 - RESIDENTIAL PARKING
 - COMMERCIAL CIRCULATION
 - PMT

PARKING LEGEND
 1/4" = 1'-0"

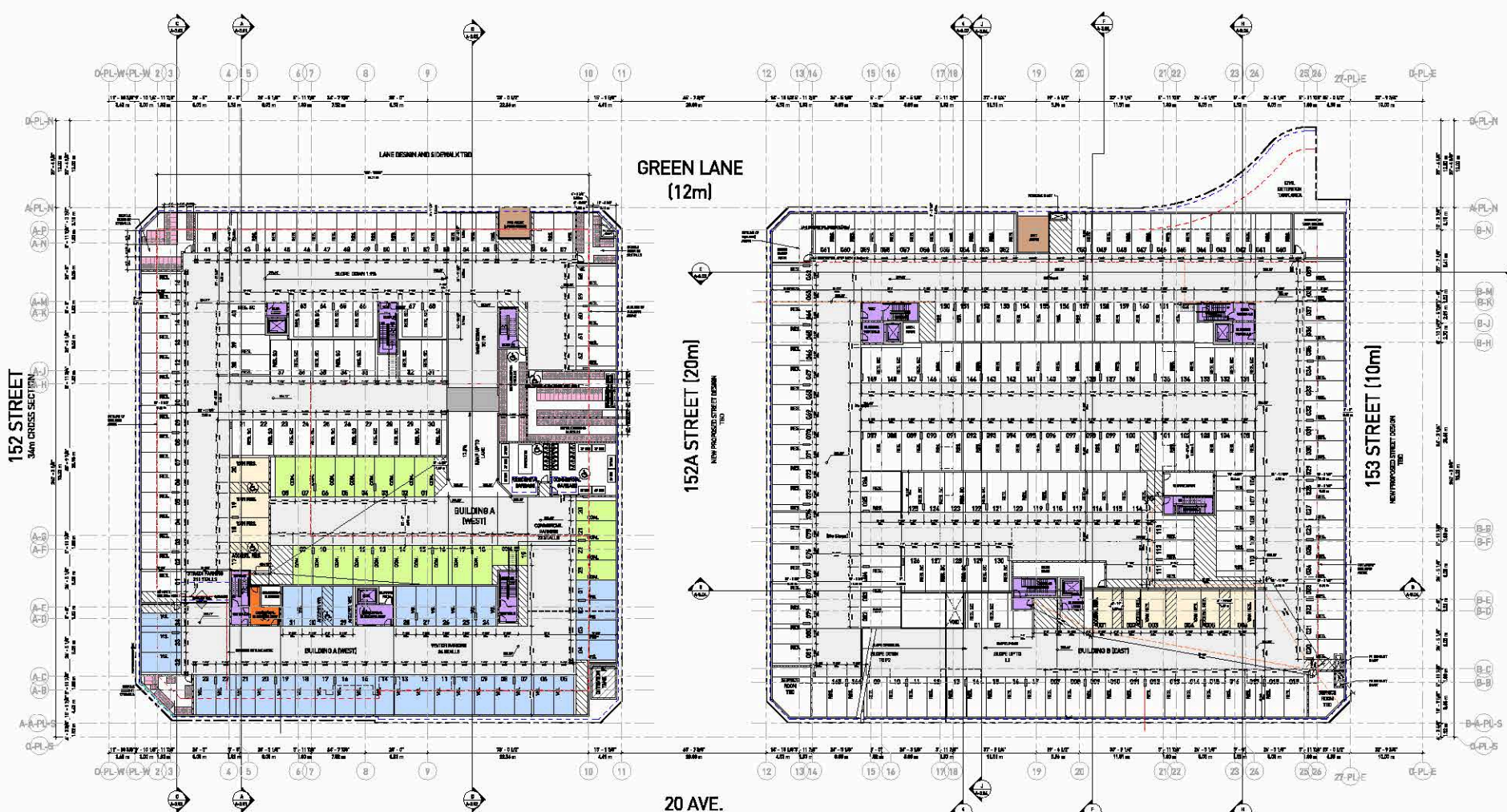
GENERAL REQUIREMENTS FOR UNDERGROUND PARKING
 THE FOLLOWING IS A SUMMARY OF CODED REQUIREMENTS FOR THE UNDERGROUND PARKING AS RECOMMENDED BY SURVEY TECH:

1. FURNISH THE UNDERGROUND PARKING WITH A LIGHT FIXTURE.
2. INSTALL LIGHT FIXTURES WITH SHIELDING TO PREVENT LIGHT POLLUTION.
3. PROVIDE VENTILATION AND MECHANICAL EXHAUST SYSTEMS AS REQUIRED IN ALL PARKING AREAS AND EXITS.
4. PROVIDE VENTILATION AND MECHANICAL EXHAUST SYSTEMS AS REQUIRED IN ALL PARKING AREAS AND EXITS.
5. EXITS TO UNDERGROUND PARKING AREAS SHOULD BE SIZED TO PERMIT NORMAL EVACUATION.
6. PROVIDE SMOKE EXHAUST THROUGH THE EXITS.
7. PROVIDE SMOKE EXHAUST THROUGH THE EXITS.

- CONSULT AND REVIEW THE EXISTING RESIDENTIAL BUILDING SPACES AND/OR OTHER PARKING SPACES AS REQUIRED TO DETERMINE THE NUMBER OF PARKING SPACES TO BE PROVIDED IN COMPLIANCE WITH THE CITY OF DENVER, COLORADO, AND THE STATE OF COLORADO.
- PROVIDE CLEAR HEIGHTS OF 8'-0" TO ACCESSIBLE STALLS AND OTHER AREAS AND 7'-0" MINIMUM.

MARQUETTE
SEMAHMOO 20TH AVE.
DEVELOPMENT PERMIT
P2 - OVERALL PLANS

SHEET 204-01
DRAWN BY [Name]
CHECKED BY [Name]
SCALE As Shown
JOB NUMBER 21045



- NOTES**
1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
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 25. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 26. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.

- FINISHINGS**
- | NO. | FINISHING | DESCRIPTION |
|-----|-----------|-----------------|
| 1 | 300-01-01 | Finish Concrete |
| 2 | 300-01-02 | Finish Concrete |
| 3 | 300-01-03 | CP Asphalt |
| 4 | 300-01-04 | CP Asphalt |
| 5 | 300-01-05 | CP Asphalt |
| 6 | 300-01-06 | CP Asphalt |
| 7 | 300-01-07 | CP Asphalt |
| 8 | 300-01-08 | CP Asphalt |
| 9 | 300-01-09 | CP Asphalt |
| 10 | 300-01-10 | CP Asphalt |

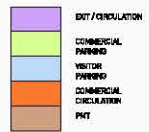
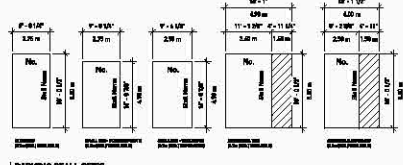
- EXISTING PROPERTY LINE**
PROPOSED PROPERTY LINE
SETBACK
PL - SPW - Subtask Legend
CV - V-P

PARKING PROVIDED BY BUILDING

STALL TYPE	COUNT
Overhead	22
Overhead - Full Stall 2.75m x 5.6m	1
Overhead - Small Car 2.75m x 4.9m	23
Handicapped - Accessible Standard Stall 2.8m x 5.8m	1
Handicapped - Accessible Van Stall 2.6m x 5.6m	2
Handicapped - Full Stall 2.75m x 5.6m	138
Handicapped - Small Car 2.75m x 4.9m	49
Handicapped - Small Car 2.75m x 4.9m	19
Multi	210
Multi - Full Stall 2.75m x 5.6m	22
Multi - Accessible - Full Stall	2
A	247
B	40
TOTAL	287

CLASS A BICYCLE STALLS PROVIDED BY BUILDING

STALL TYPE	COUNT
BICYCLE - CLASS A - NEK	192
BICYCLE - CLASS A - BOB	37
A-189	199
BICYCLE - CLASS A - NEK	192
BICYCLE - CLASS A - BOB	141
B-241	241
TOTAL	439



- GENERAL REQUIREMENTS FOR UNDERGROUND PARKING**
 THE FOLLOWING IS A SUMMARY OF CODE REQUIREMENTS FOR THE UNDERGROUND PARKING AS RECOMMENDED BY SURVEY FCMP:
1. PAINT THE UNFINISHED INTERIOR WALLS & CEILING WHITE.
 2. INSTALL LIGHT FIXTURES WITH SHIELDED LAMPS (SEE SPEC) FOR EVEN LIGHTING.
 3. PROVIDE SMOKE EXHAUST AND MECH. EXHAUST SYSTEMS AS REQUIRED IN ALL PARKING AND DRIVEWAYS.
 4. PROVIDE SMOKE EXHAUST AS REQUIRED IN ALL PARKING AND DRIVEWAYS.
 5. EXISTING CURB CUT AND PARKING AREA SHOULD BE CLOSED TO PREVENT NATURAL DRAINAGE.
 6. PROVIDE SMOKE EXHAUST THROUGH THE CURB CUTS.
 7. PROVIDE SMOKE EXHAUST THROUGH CHIMNEYS TO EXIST BUILDINGS.
- CONTRACTOR AND MECHANICAL CONTRACTOR SHALL PROVIDE AND INSTALL WATER PROOFING SYSTEMS, AN ENGINEERED SELECTION, OUTLET DRAINAGE SYSTEMS, LEVEL DRAINAGE SYSTEMS, SMOKE EXHAUST SYSTEMS, AS SPECIFIED IN THIS CONTRACT, IN ALL PARKING AREAS, DRIVEWAYS AND RELATED FROM THE TIME FOR EACH SUCH PARKING SPACE.
- REMOVE CLASS A BICYCLE STALLS FROM THE EXISTING AREAS AND RE-INSTALL IN NEW AREAS.

MARQUETTE
 SEMIAHMOO 20TH AVE.
 DEVELOPMENT PERMIT
 P1 - OVERALL PLANS

DATE: 03/04/24
 DRAWN BY: MS
 CHECKED BY: MS
 SCALE: As Indicated
 JOB NUMBER: 21045

NOTES

- REVISIONS**
- | NO. | DATE | DESCRIPTION |
|-----|------------|--------------|
| 1 | 2008-02-08 | Final Design |
| 2 | 2008-02-08 | Final Design |
| 3 | 2008-02-08 | Final Design |
| 4 | 2008-02-08 | Final Design |
| 5 | 2008-02-08 | Final Design |
| 6 | 2008-02-08 | Final Design |

- UNIT COLOUR LEGEND**
- | | |
|----------------|-------------------------|
| [Light Blue] | RESIDENTIAL UNITS |
| [Light Green] | CIRCULATION |
| [Light Purple] | EXIT |
| [Light Orange] | COMMERCIAL RETAIL UNITS |
| [Light Yellow] | JANETRY |
| [Light Cyan] | PARKING |

- UNIT COLOUR LEGEND**
- | | |
|---|-----------------------------|
| A | 1 BED |
| B | 2 BED 1 BATH |
| C | 2 BED 2 BATH (OFF CORNER) |
| D | 2 BED 2 BATH (INSIDE) |
| E | 2 BED 2 BATH OUTSIDE CORNER |
| F | 3 BED |

- Site Plan Legend**
- | | |
|---------------|------------------------|
| [Solid Line] | ROUTINE PROPERTY LINE |
| [Dashed Line] | PROPOSED PROPERTY LINE |
| [Dotted Line] | SETBACK |

- PL-SHA-Subtask Legend**
- | | |
|----------------|------------------------|
| [Light Purple] | EXIT / CIRCULATION |
| [Light Green] | COMMERCIAL PARKING |
| [Light Blue] | VISION PARKING |
| [Light Orange] | COMMERCIAL CIRCULATION |
| [Light Yellow] | PMT |

- PARKING LEGEND**
- | | |
|----------------|----|
| [Light Blue] | VA |
| [Light Green] | VP |
| [Light Orange] | VC |
| [Light Yellow] | VP |

- PARKING LEGEND**
- | | |
|----------------|----|
| [Light Blue] | VA |
| [Light Green] | VP |
| [Light Orange] | VC |
| [Light Yellow] | VP |

- PARKING LEGEND**
- | | |
|----------------|----|
| [Light Blue] | VA |
| [Light Green] | VP |
| [Light Orange] | VC |
| [Light Yellow] | VP |

- MARQUETTE SEMIAHMOO 20TH AVE.**
- DEVELOPMENT PERMIT
 LEVEL 1A-1B - OVERALL PLANS

- DATE: 2008-02-08
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1/8"=1'-0"
 JOB NUMBER: 21045



NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	2008-02-26	Final/As-Built
2	2008-02-26	Final/As-Built
3	2008-02-26	Final/As-Built
4	2008-02-26	Final/As-Built
5	2008-02-26	Final/As-Built
6	2008-02-26	Final/As-Built
7	2008-02-26	Final/As-Built



MARQUETTE
 SEMIAHMOO 20TH AVE.

DEVELOPMENT PERMIT
 LEVEL 2A-2B - OVERALL
 PLANS

DATE: 2008-02-26
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 SCALE: 1/8"=1'-0"
 REV NUMBER: 21045

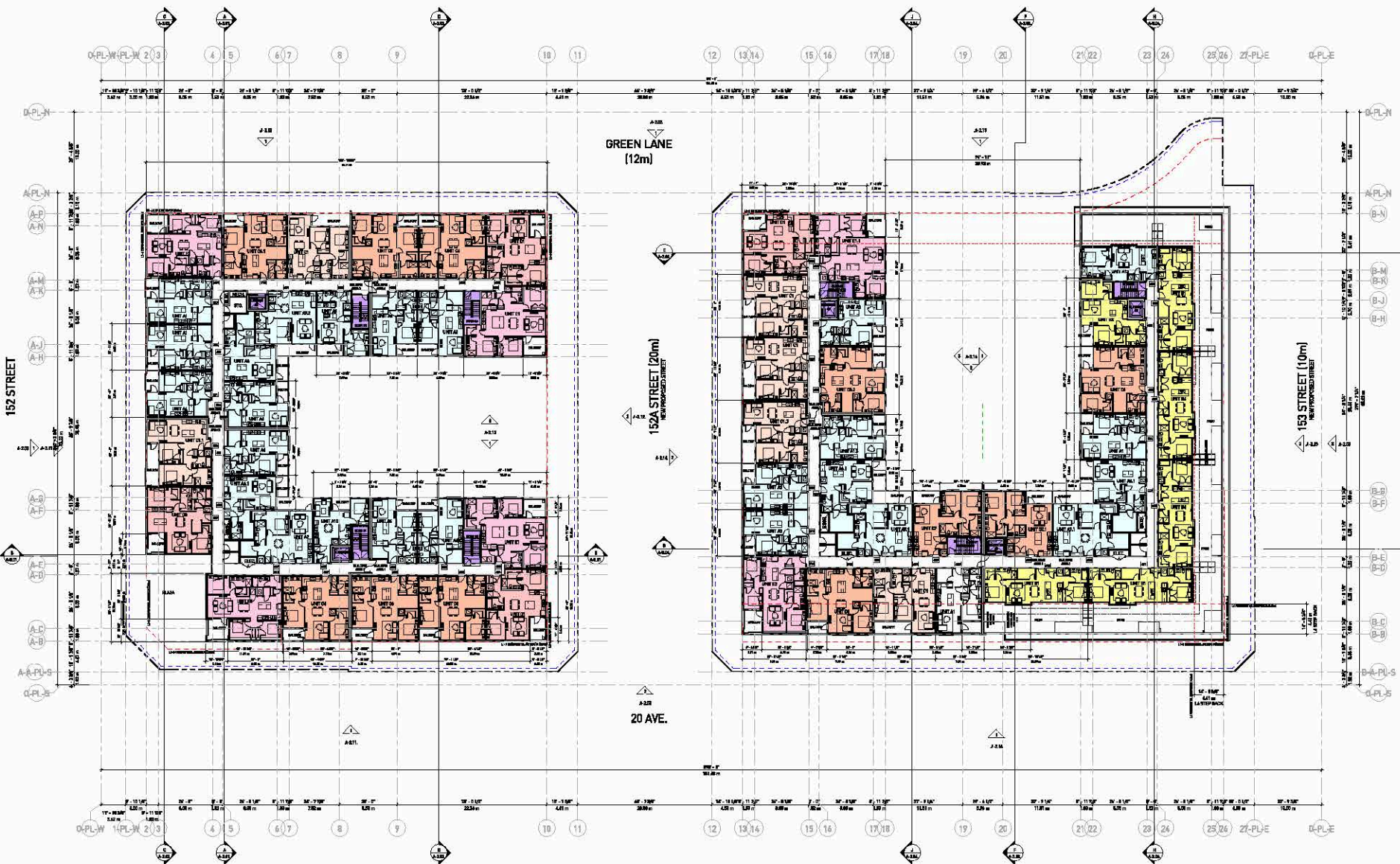
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REVISIONS

NO.	DATE	DESCRIPTION
1	2023-02-08	Final Design
2	2023-02-08	Final Design
3	2023-02-08	Final Design
4	2023-02-08	Final Design
5	2023-02-08	Final Design
6	2023-02-08	Final Design
7	2023-02-08	Final Design

RESIDENTIAL UNITS
CELEBRATION
EXIT
COMMERCIAL RETAIL UNITS
AMENITY
PARKING

UNIT COLOUR LEGEND	1 BED
A	2 BED 1 BATH
B	2 BED 2 BATH / SUITE OFFICED
C	2 BED 2 BATH (3 BDRM) 2
D	2 BED 2 BATH (OUTSIDE CORNER)
E	2 BED 2



MARQUETTE
 SEMIAHMOO 20TH AVE.

DEVELOPMENT PERMIT
 LEVEL 6A-6B - OVERALL
 PLANS

DATE: 2023-02-08
 DRAWN BY: MS
 CHECKED BY: MS
 SCALE: 1/8"=1'-0"
 JOB NUMBER: 21045

NOTES

REVISIONS

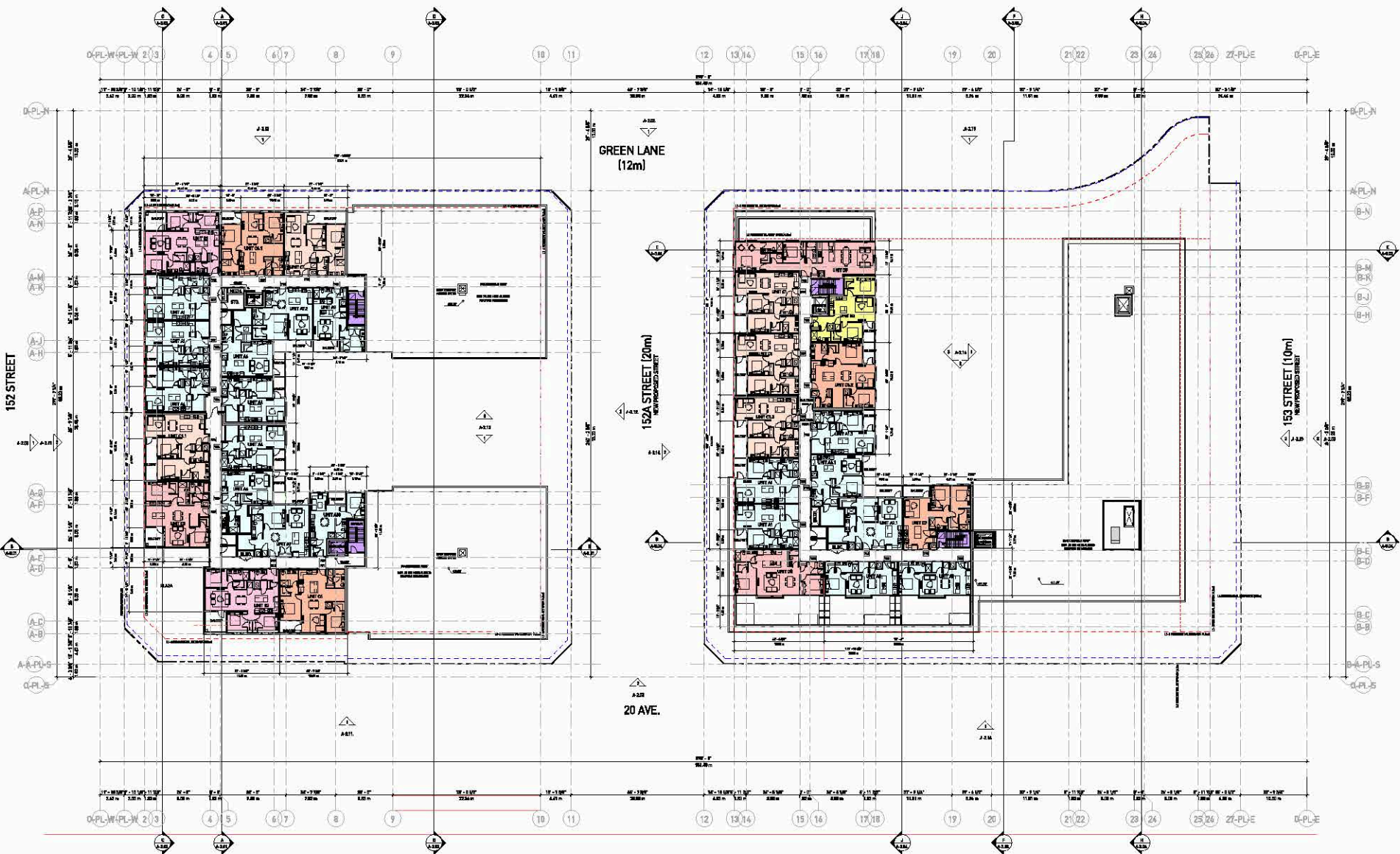
NO.	DATE	DESCRIPTION
1	2023-02-08	Finality Review
2	2023-02-08	Finality Review
3	2023-02-08	DP Programming
4	2023-02-08	DP Application
5	2023-02-08	DP Application Building
6	2023-02-08	DP Application Building
7	2023-02-08	DP Application Building

RESIDENTIAL UNITS

Blue	RESIDENTIAL UNITS
Light Blue	CELEBRATION
Purple	EXIT
Orange	COMMERCIAL RETAIL UNITS
Yellow	AMENITY
Light Green	PAVING

UNIT COLOUR LEGEND

A	1 BED
B	2 BED 1 BATH
C	2 BED 2 BATH / SUITE OFFICED
C	2 BED 2 BATH (3300 SQ FT)
D	2 BED 2 BATH / OUTSIDE CORNER
E	2 BED 3



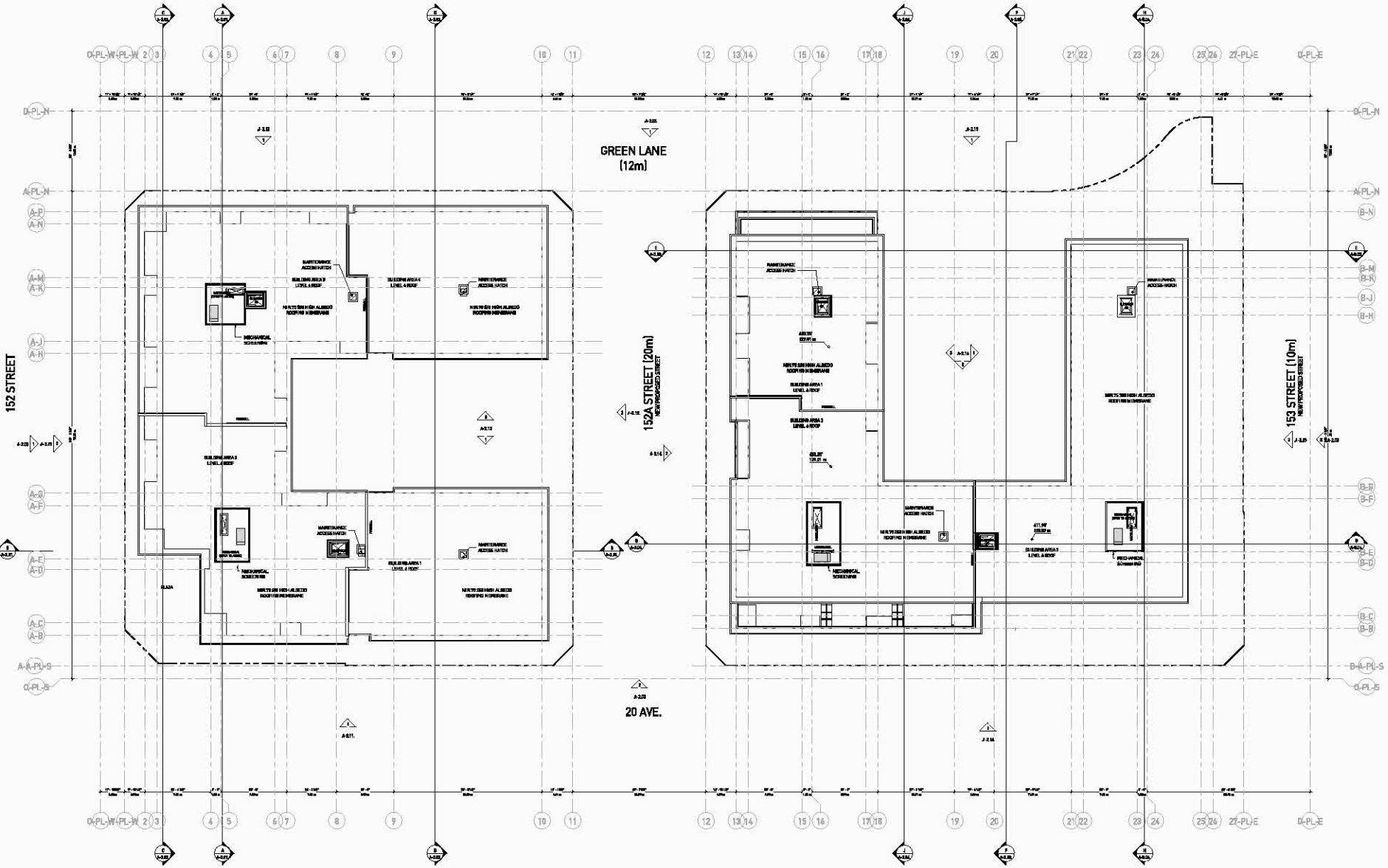
MARQUETTE
 SEMIAHMOO 20TH AVE.
 DEVELOPMENT PERMIT
 LEVEL 7A-7B - OVERALL
 PLANS

DATE: 2023-02-08
 DRAWN BY: MS
 CHECKED BY: N
 SCALE: 1/8"=1'-0"
 JOB NUMBER: 21045

NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	2023-02-08	Finality/Comments
2	2023-02-08	Finality/Comments
3	2023-02-08	DP Programming
4	2023-02-08	DP Application
5	2023-02-08	DP Application Building
6	2023-02-08	DP Application Building
7	2023-02-08	DP Application Building
8	2023-02-08	DP Application Building

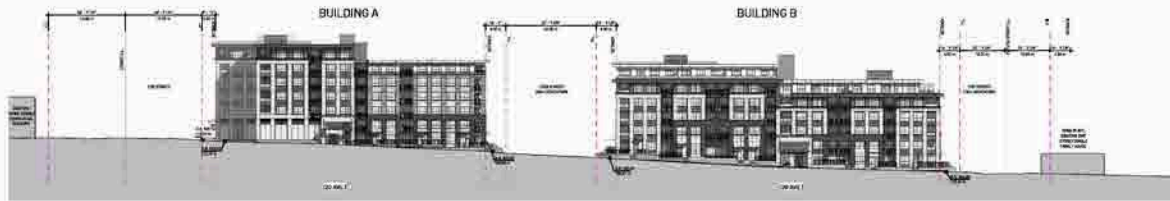


MARQUETTE
 SEMIAHMOO 20TH AVE.
 DEVELOPMENT PERMIT
 ROOF - OVERALL PLANS

DATE: 2023-02-08
 DRAWN BY: MS
 CHECKED BY: MN
 SCALE: 1/8"=1'-0"
 JOB NUMBER: 21045



Street Elevation - North 1/32" = 1'-0"



Street Elevation - South 1/32" = 1'-0"

NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	2021-02-08	Preliminary Scheme
2	2021-05-11	Finality Scheme
3	2021-05-06	DP Preparation
4	2021-05-08	DP Approval
5	2021-05-08	DP Application Refinement
6	2021-05-12	DP Application Resubmission
7	2021-05-12	DP Application Resubmission

MARQUETTE
SEMAHMOO 20TH AVE.

DEVELOPMENT PERMIT

STREET ELEVATIONS -
SOUTH + NORTH
1/32" = 1'-0"

DATE: 2021-05-12
 DRAWN BY: Aclor
 CHECKED BY: Dwyer
 SCALE: As shown
 JOB NUMBER: 21045



NOTES

REVISIONS

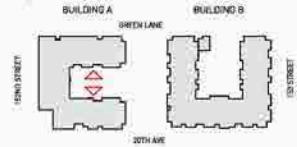
NO.	DATE	DESCRIPTION
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2	2023-01-11	Finality Scheme
3	2023-01-06	DP Finality Scheme
4	2023-01-05	DP Application
5	2023-01-05	DP Application Revisions
6	2023-01-02	DP Application Revisions
7	2023-01-02	DP Application Revisions



Building A - Courtyard South Elevation
 19-11-2



Building A - Courtyard North Elevation
 19-11-2

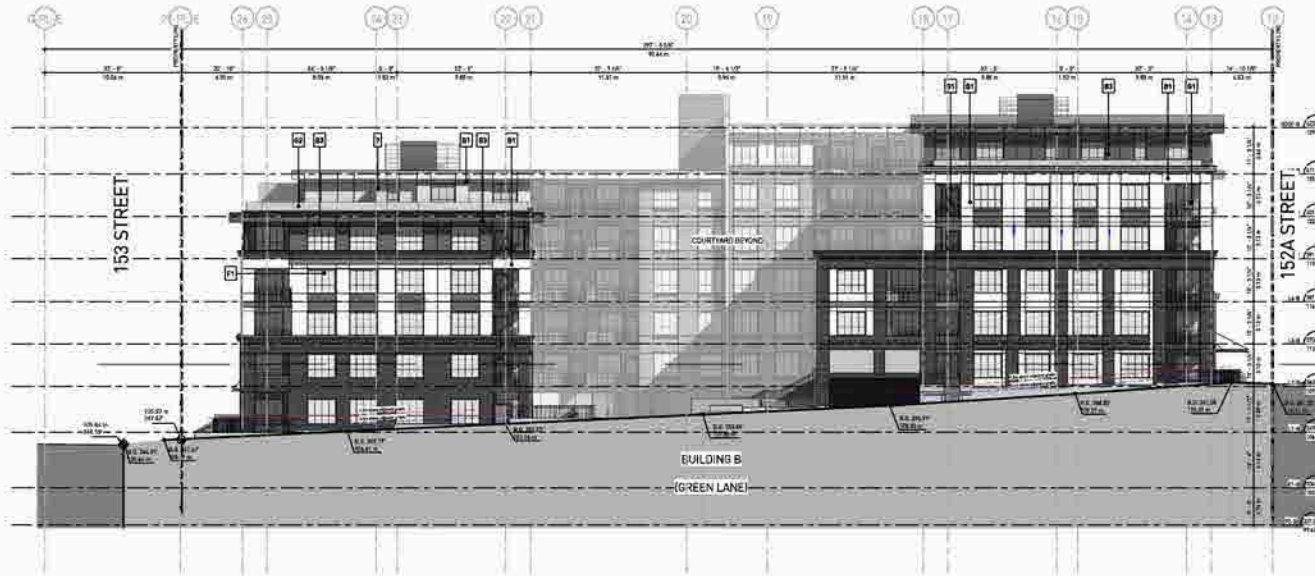


MATERIAL LEGEND			
SYMBOL	DESCRIPTION	COLOR	COMMENTS
01	Brick (Solid)	Brick	
02	Brick (Glazed)	Brick	
03	Brick (Glazed) - Random Pattern	Brick	
04	Brick (Glazed) - Random Pattern - Darker	Brick	
05	Brick (Glazed) - Random Pattern - Lighter	Brick	
06	Brick (Glazed) - Random Pattern - Darker	Brick	
07	Brick (Glazed) - Random Pattern - Lighter	Brick	
08	Brick (Glazed) - Random Pattern - Darker	Brick	
09	Brick (Glazed) - Random Pattern - Lighter	Brick	
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59	Brick (Glazed) - Random Pattern - Lighter	Brick	
60	Brick (Glazed) - Random Pattern - Darker	Brick	
61	Brick (Glazed) - Random Pattern - Lighter	Brick	
62	Brick (Glazed) - Random Pattern - Darker	Brick	
63	Brick (Glazed) - Random Pattern - Lighter	Brick	
64	Brick (Glazed) - Random Pattern - Darker	Brick	
65	Brick (Glazed) - Random Pattern - Lighter	Brick	
66	Brick (Glazed) - Random Pattern - Darker	Brick	
67	Brick (Glazed) - Random Pattern - Lighter	Brick	
68	Brick (Glazed) - Random Pattern - Darker	Brick	
69	Brick (Glazed) - Random Pattern - Lighter	Brick	
70	Brick (Glazed) - Random Pattern - Darker	Brick	
71	Brick (Glazed) - Random Pattern - Lighter	Brick	
72	Brick (Glazed) - Random Pattern - Darker	Brick	
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74	Brick (Glazed) - Random Pattern - Darker	Brick	
75	Brick (Glazed) - Random Pattern - Lighter	Brick	
76	Brick (Glazed) - Random Pattern - Darker	Brick	
77	Brick (Glazed) - Random Pattern - Lighter	Brick	
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81	Brick (Glazed) - Random Pattern - Lighter	Brick	
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83	Brick (Glazed) - Random Pattern - Lighter	Brick	
84	Brick (Glazed) - Random Pattern - Darker	Brick	
85	Brick (Glazed) - Random Pattern - Lighter	Brick	
86	Brick (Glazed) - Random Pattern - Darker	Brick	
87	Brick (Glazed) - Random Pattern - Lighter	Brick	
88	Brick (Glazed) - Random Pattern - Darker	Brick	
89	Brick (Glazed) - Random Pattern - Lighter	Brick	
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91	Brick (Glazed) - Random Pattern - Lighter	Brick	
92	Brick (Glazed) - Random Pattern - Darker	Brick	
93	Brick (Glazed) - Random Pattern - Lighter	Brick	
94	Brick (Glazed) - Random Pattern - Darker	Brick	
95	Brick (Glazed) - Random Pattern - Lighter	Brick	
96	Brick (Glazed) - Random Pattern - Darker	Brick	
97	Brick (Glazed) - Random Pattern - Lighter	Brick	
98	Brick (Glazed) - Random Pattern - Darker	Brick	
99	Brick (Glazed) - Random Pattern - Lighter	Brick	
100	Brick (Glazed) - Random Pattern - Darker	Brick	

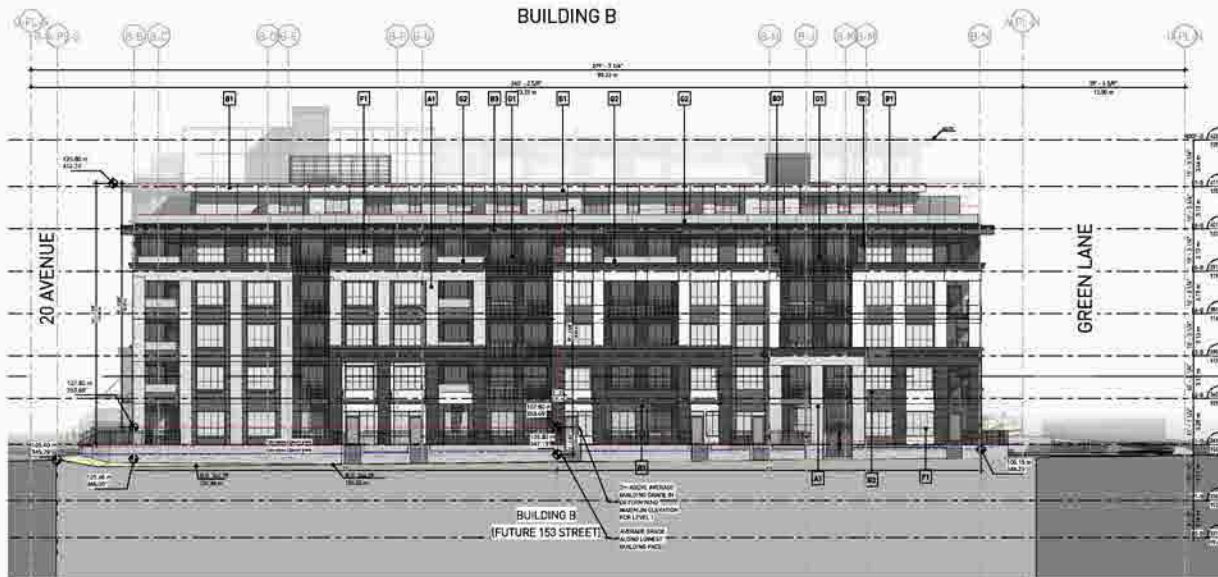
MARQUETTE
 SEMIAHMOO 20TH AVE.
 DEVELOPMENT PERMIT
 ELEVATIONS BUILDING A -
 INTERIOR COURTYARD

DATE: 2023-01-11
 DRAWN BY: J. [Name]
 CHECKED BY: [Name]
 SCALE: As shown
 JOB NUMBER: 21045

BUILDING B



Building B - North Elevation
2021-11-17



Building B - East Elevation
2021-11-17



MATERIAL LEGEND			
REV.	DESCRIPTION	SYMBOL	COMMENTS
01	Brick Glazing	Brick	
02	Brick Cladding	Brick	
03	Brick Cladding - Window Sill	Brick	
04	Brick Cladding - Window Sill	Brick	
05	Brick Cladding - Window Sill	Brick	
06	Brick Cladding - Window Sill	Brick	
07	Brick Cladding - Window Sill	Brick	
08	Brick Cladding - Window Sill	Brick	
09	Brick Cladding - Window Sill	Brick	
10	Brick Cladding - Window Sill	Brick	
11	Brick Cladding - Window Sill	Brick	
12	Brick Cladding - Window Sill	Brick	
13	Brick Cladding - Window Sill	Brick	
14	Brick Cladding - Window Sill	Brick	
15	Brick Cladding - Window Sill	Brick	
16	Brick Cladding - Window Sill	Brick	
17	Brick Cladding - Window Sill	Brick	
18	Brick Cladding - Window Sill	Brick	
19	Brick Cladding - Window Sill	Brick	
20	Brick Cladding - Window Sill	Brick	
21	Brick Cladding - Window Sill	Brick	
22	Brick Cladding - Window Sill	Brick	
23	Brick Cladding - Window Sill	Brick	
24	Brick Cladding - Window Sill	Brick	
25	Brick Cladding - Window Sill	Brick	



gbl ARCHITECTS INC.
100 EAST 8TH AVENUE TEL: 404 724 1144
ANNEXVILLE, GA 30304 FAX: 404 724 1145
www.gblarchitects.com

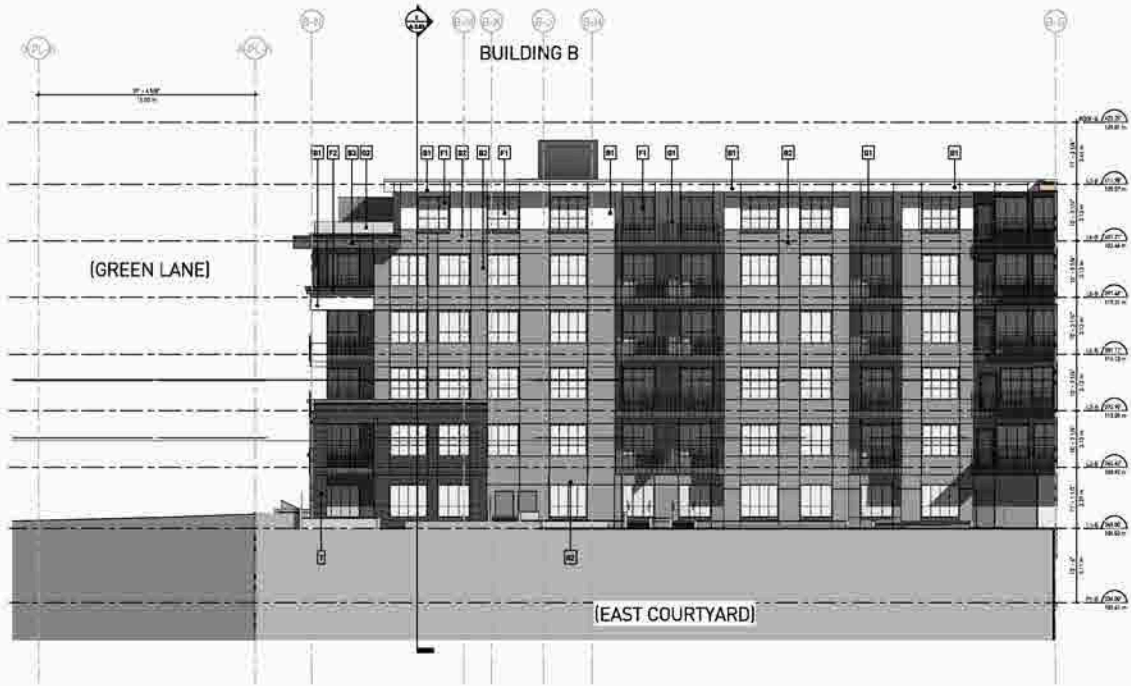
NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	2021-02-26	Final Schematic
2	2021-03-11	Final Schematic
3	2021-03-18	Final Schematic
4	2021-03-25	Final Schematic
5	2021-04-08	Final Schematic
6	2021-04-22	Final Schematic
7	2021-05-12	Final Schematic

MARQUETTE
SEMAHMOO 20TH AVE.
DEVELOPMENT PERMIT
ELEVATIONS BUILDING B -
NORTH-EAST

DATE: 2021-11-17
DRAWN BY: JCH
CHECKED BY: JCH
SCALE: AS SHOWN
JOB NUMBER: 21045



Building B - Courtyard West Elevation
12-17-12



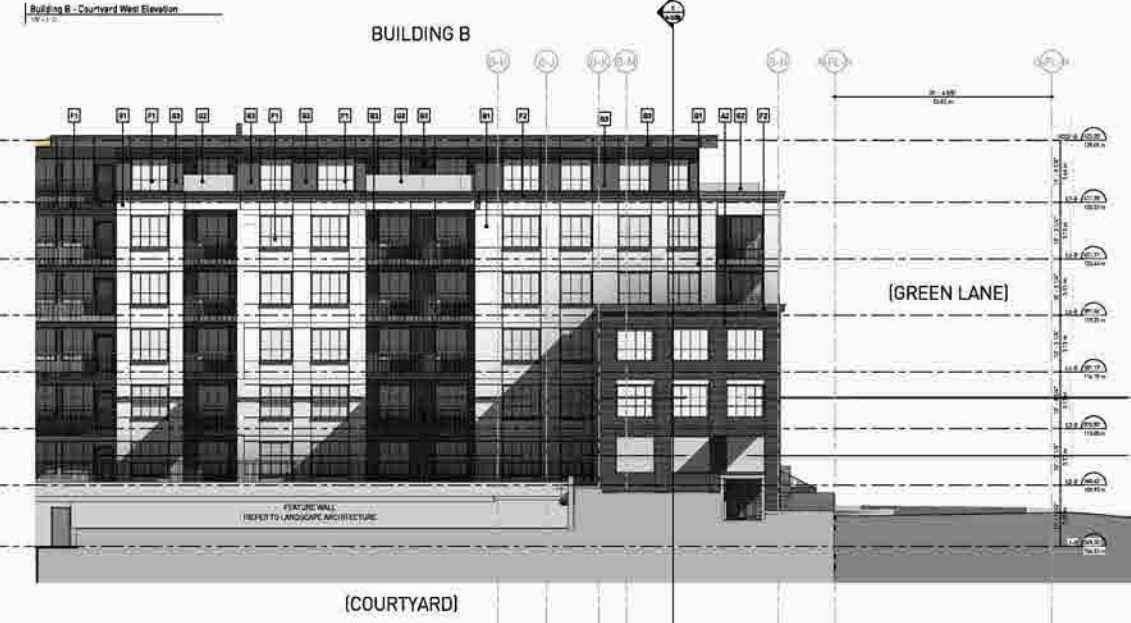
Building B - Courtyard North Elevation
12-17-12

NOTES

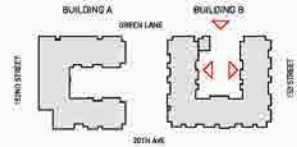
1. SEE 2003
2. SEE 2003
3. SEE 2003
4. SEE 2003
5. SEE 2003
6. SEE 2003
7. SEE 2003
8. SEE 2003
9. SEE 2003
10. SEE 2003
11. SEE 2003
12. SEE 2003
13. SEE 2003
14. SEE 2003
15. SEE 2003
16. SEE 2003
17. SEE 2003
18. SEE 2003
19. SEE 2003
20. SEE 2003
21. SEE 2003
22. SEE 2003
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25. SEE 2003
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27. SEE 2003
28. SEE 2003
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30. SEE 2003
31. SEE 2003
32. SEE 2003
33. SEE 2003
34. SEE 2003
35. SEE 2003
36. SEE 2003
37. SEE 2003
38. SEE 2003
39. SEE 2003
40. SEE 2003
41. SEE 2003
42. SEE 2003
43. SEE 2003
44. SEE 2003
45. SEE 2003
46. SEE 2003
47. SEE 2003
48. SEE 2003
49. SEE 2003
50. SEE 2003

REVISIONS

NO.	DATE	DESCRIPTION
1	2003-02-05	Final Schematic
2	2003-02-11	Final Schematic
3	2003-02-18	Final Schematic
4	2003-02-25	Final Schematic
5	2003-03-04	Final Schematic
6	2003-03-11	Final Schematic
7	2003-03-18	Final Schematic
8	2003-03-25	Final Schematic
9	2003-04-01	Final Schematic
10	2003-04-08	Final Schematic
11	2003-04-15	Final Schematic
12	2003-04-22	Final Schematic
13	2003-04-29	Final Schematic
14	2003-05-06	Final Schematic
15	2003-05-13	Final Schematic
16	2003-05-20	Final Schematic
17	2003-05-27	Final Schematic
18	2003-06-03	Final Schematic
19	2003-06-10	Final Schematic
20	2003-06-17	Final Schematic
21	2003-06-24	Final Schematic
22	2003-07-01	Final Schematic
23	2003-07-08	Final Schematic
24	2003-07-15	Final Schematic
25	2003-07-22	Final Schematic
26	2003-07-29	Final Schematic
27	2003-08-05	Final Schematic
28	2003-08-12	Final Schematic
29	2003-08-19	Final Schematic
30	2003-08-26	Final Schematic
31	2003-09-02	Final Schematic
32	2003-09-09	Final Schematic
33	2003-09-16	Final Schematic
34	2003-09-23	Final Schematic
35	2003-09-30	Final Schematic
36	2003-10-07	Final Schematic
37	2003-10-14	Final Schematic
38	2003-10-21	Final Schematic
39	2003-10-28	Final Schematic
40	2003-11-04	Final Schematic
41	2003-11-11	Final Schematic
42	2003-11-18	Final Schematic
43	2003-11-25	Final Schematic
44	2003-12-02	Final Schematic
45	2003-12-09	Final Schematic
46	2003-12-16	Final Schematic
47	2003-12-23	Final Schematic
48	2004-01-06	Final Schematic
49	2004-01-13	Final Schematic
50	2004-01-20	Final Schematic



Building B - Courtyard East Elevation
12-17-12



MATERIAL LEGEND			
SYMBOL	DESCRIPTION	COLOR	COMMENTS
1	Brick (Solid)	Red	
2	Brick (Glazed)	Black	
3	Brick (Glazed) - Random Pattern	Black	
4	Brick (Glazed) - Random Pattern	Black	
5	Brick (Glazed) - Random Pattern	Black	
6	Brick (Glazed) - Random Pattern	Black	
7	Brick (Glazed) - Random Pattern	Black	
8	Brick (Glazed) - Random Pattern	Black	
9	Brick (Glazed) - Random Pattern	Black	
10	Brick (Glazed) - Random Pattern	Black	
11	Brick (Glazed) - Random Pattern	Black	
12	Brick (Glazed) - Random Pattern	Black	
13	Brick (Glazed) - Random Pattern	Black	
14	Brick (Glazed) - Random Pattern	Black	
15	Brick (Glazed) - Random Pattern	Black	
16	Brick (Glazed) - Random Pattern	Black	
17	Brick (Glazed) - Random Pattern	Black	
18	Brick (Glazed) - Random Pattern	Black	
19	Brick (Glazed) - Random Pattern	Black	
20	Brick (Glazed) - Random Pattern	Black	
21	Brick (Glazed) - Random Pattern	Black	
22	Brick (Glazed) - Random Pattern	Black	
23	Brick (Glazed) - Random Pattern	Black	
24	Brick (Glazed) - Random Pattern	Black	
25	Brick (Glazed) - Random Pattern	Black	
26	Brick (Glazed) - Random Pattern	Black	
27	Brick (Glazed) - Random Pattern	Black	
28	Brick (Glazed) - Random Pattern	Black	
29	Brick (Glazed) - Random Pattern	Black	
30	Brick (Glazed) - Random Pattern	Black	
31	Brick (Glazed) - Random Pattern	Black	
32	Brick (Glazed) - Random Pattern	Black	
33	Brick (Glazed) - Random Pattern	Black	
34	Brick (Glazed) - Random Pattern	Black	
35	Brick (Glazed) - Random Pattern	Black	
36	Brick (Glazed) - Random Pattern	Black	
37	Brick (Glazed) - Random Pattern	Black	
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39	Brick (Glazed) - Random Pattern	Black	
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41	Brick (Glazed) - Random Pattern	Black	
42	Brick (Glazed) - Random Pattern	Black	
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44	Brick (Glazed) - Random Pattern	Black	
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46	Brick (Glazed) - Random Pattern	Black	
47	Brick (Glazed) - Random Pattern	Black	
48	Brick (Glazed) - Random Pattern	Black	
49	Brick (Glazed) - Random Pattern	Black	
50	Brick (Glazed) - Random Pattern	Black	

MARQUETTE
 SEMIAHMOO 20TH AVE.
 DEVELOPMENT PERMIT
 ELEVATIONS BUILDING B -
 INTERIOR COURTYARD

DATE: 2012-11-15
 DRAWN BY: JCH
 CHECKED BY: JCH
 SCALE: AS SHOWN
 JOB NUMBER: 21045

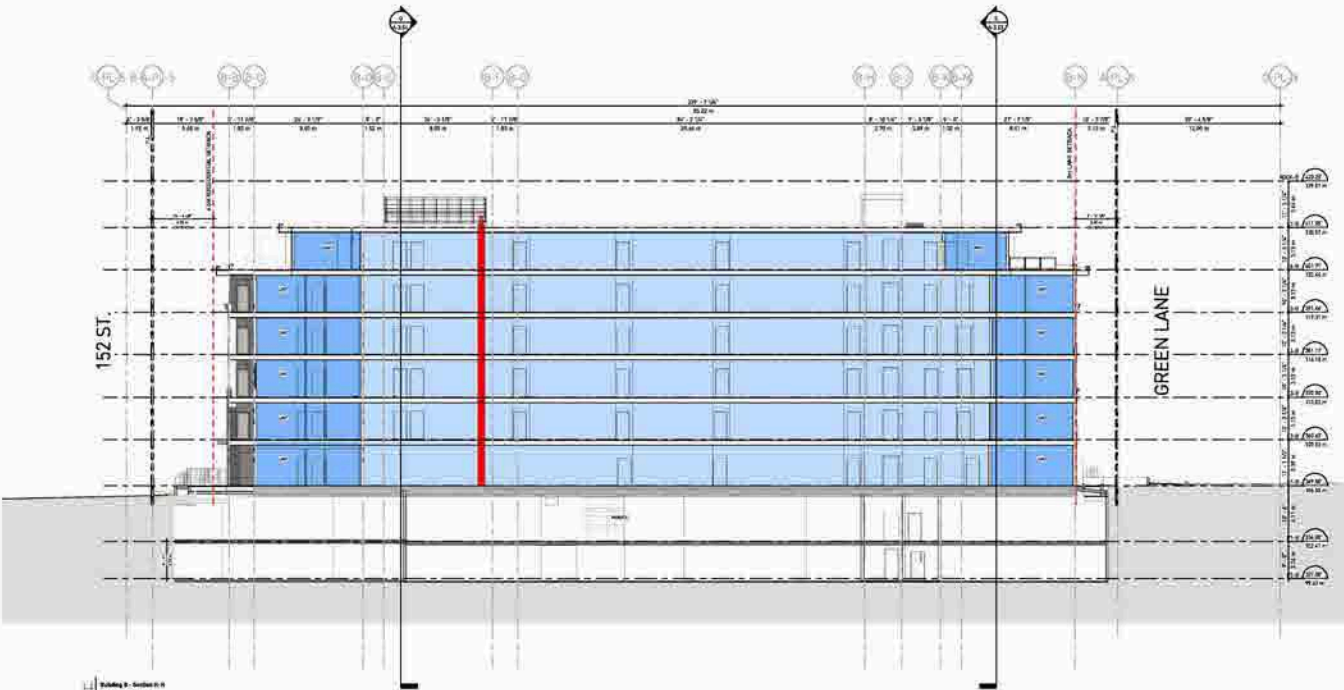
NOTES

REVISIONS

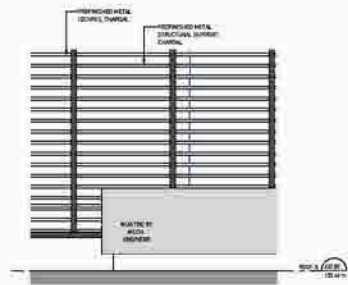
NO.	DATE	DESCRIPTION
1	2003-02-26	Preliminary Scheme
2	2003-05-11	Finality Scheme
3	2003-05-06	DP Finalization
4	2003-05-09	DP Application
5	2003-05-08	DP Application Revisions
6	2004-02-27	DP Application Revisions
7	2004-12-12	DP Application Revisions



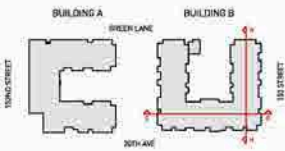
Building - Section B



Building - Section B



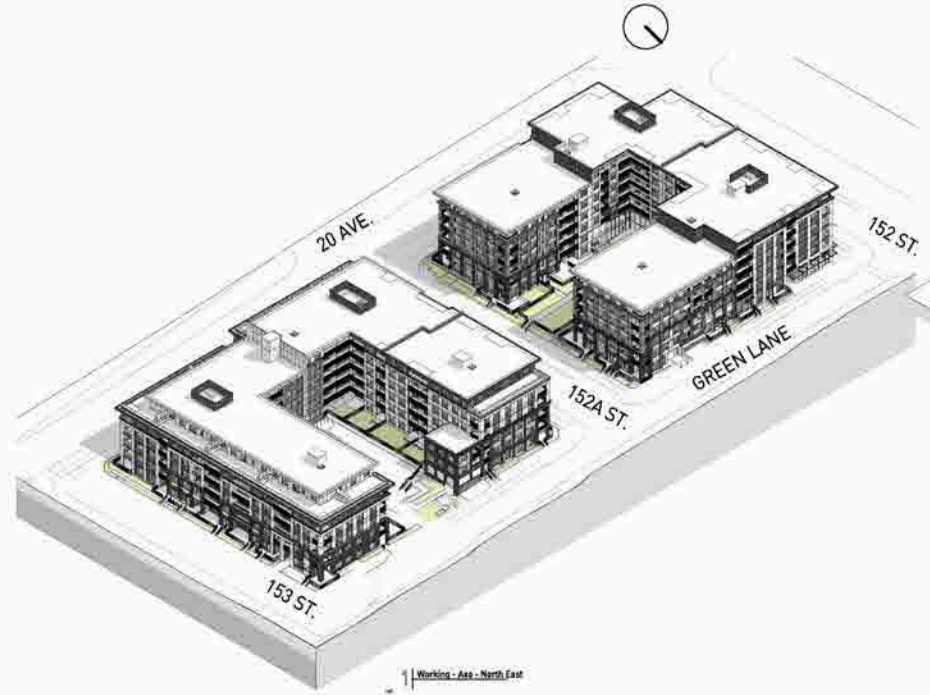
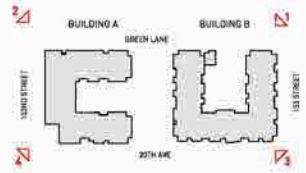
MECH SCREEN SECTION



MARQUETTE
 SEMIAHMOO 20TH AVE.

DEVELOPMENT PERMIT
 SECTIONS BUILDING B -
 GG+ HH

DATE: 2004-01-15
 DRAWN BY: JCH
 CHECKED BY: JCH
 SCALE: AS SHOWN
 JOB NUMBER: 21045



1 Working - Axa - North East



2 Working - Axa - North West



3 Working - Axa - South East



4 Working - Axa - South West

NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	2023-02-28	Final Design
2	2023-03-15	Final Design
3	2023-03-28	Final Design
4	2023-04-05	Final Design
5	2023-04-20	Final Design
6	2023-05-02	Final Design

MARQUETTE
 SEMIAHMOO 20TH AVE.
 DEVELOPMENT PERMIT
 3D VIEWS - AXONOMETRIC

DATE: 2024-04-22
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1" = 40'-0"
 JOB NUMBER: 21045

BUILDING A



VIEW LOOKING NORTH EAST TOWARDS PLAZA AT INTERSECTION OF 152 ST. AND 20 AVE.



VIEW LOOKING SOUTH WEST TOWARDS BUILDING A PARKING ENTRY FROM INTERSECTION OF GREEN LANE AND 152A ST.



VIEW LOOKING WEST TOWARDS COURTYARD OF BUILDING A.



VIEW LOOKING NORTH WEST TOWARDS RESIDENTIAL ENTRANCE AT INTERSECTION OF 20 AVE. AND 152A ST.



VIEW LOOKING SOUTH EAST FROM INTERSECTION OF GREEN LANE AND 152 ST.



MAIN RESIDENTIAL ENTRY - BUILDING A

BUILDING B



VIEW LOOKING SOUTH WEST FROM 153 STREET SHOWING BUILDING STEPPING AT L4



VIEW LOOKING SOUTH EAST FROM INTERSECTION OF GREEN LANE AND 152A STREET



VIEW LOOKING SOUTH TOWARDS COURTYARD OF BUILDING B



VIEW LOOKING NORTH EAST FROM INTERSECTION OF 20 AVE. AND 152A ST.



VIEW LOOKING NORTH WEST FROM INTERSECTION OF 20 AVE. AND 153 ST.



MAIN RESIDENTIAL ENTRY - BUILDING B



gbl ARCHITECTS INC.
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 CHICAGO, IL 60604 FAX: 402.481.1717
 WWW.GBLARCHITECTS.COM
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NOTES

REVISIONS

NO.	DATE	DESCRIPTION
1	2013-02-28	Final Design
2	2013-03-15	Final Design
3	2013-03-28	Final Design
4	2013-04-05	Final Design
5	2013-04-05	Final Design
6	2013-04-05	Final Design

MARQUETTE
 SEMIAHMOO 20TH AVE.
 DEVELOPMENT PERMIT
 3D VIEWS

DATE: 03/10/14
 DRAWN BY: JH
 CHECKED BY: JH
 SCALE: 1" = 40' 0"
 JOB NUMBER: 21045

NOTES

REVISIONS

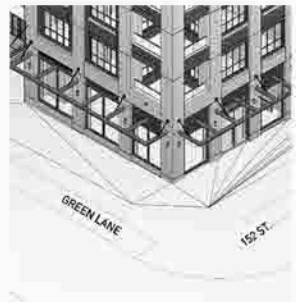
NO.	DATE	DESCRIPTION
1	2023-02-08	Initial Scheme
2	2023-03-15	Final Scheme
3	2023-03-28	Final Presentation
4	2023-04-05	Final Approval
5	2023-04-08	Final Approval Revision
6	2023-04-12	Final Approval Revision



3 | Presentation - Axx - Building A - South East



4 | Presentation - Axx - Building A - South West



2 | Presentation - Axx - Building A - North West



1 | Presentation - Axx - Building A - North East

SPACE USES

3m² per DU REQUIRED
BUILDING A: 171 UNITS = 523m²
BUILDING B: 186 UNITS = 558m²

- OUTDOOR AMENITY SPACE
- PLAZA SPACE/PUBLICLY ACCESSIBLE OPEN SPACE



NOT FOR CONSTRUCTION



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MARQUETTE

15851 20 Avenue TSD Sheet
Sunny, British Columbia

Scale	1:200
Drawn	PM
Reviewed	JL
Project No.	22-213

SPACE USE DIAGRAM

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LAYOUT AND MATERIALS LEGEND

SYMBOL	DESCRIPTION
	PROPOSED STREET TREES TO BE PLANTED BY THE CITY OF SUMMIT
	PAVING TYPE 1: PLAZA FEATURE PAVING PER PLANS AND DETAILS
	PAVING TYPE 2: PLAZA FEATURE PAVING PER PLANS AND DETAILS
	PAVING TYPE 3: FEATURE PAVING PER PLANS AND DETAILS
	PAVING TYPE 4: COMPOSITE WOOD DECKING PER PLANS AND DETAILS
	PAVING TYPE 5: PATIO PAVERS PER PLANS AND DETAILS
	PAVING TYPE 6: AMENITY PAVERS PER PLANS AND DETAILS
	PAVING TYPE 7: CURB CONCRETE PAVING PER PLANS AND DETAILS
	PAVING TYPE 8: LINEAR PAVERS PER PLANS AND DETAILS
	PAVING TYPE 9: PERMEABLE PAVING PER PLANS AND DETAILS
	CONCRETE SIDEWALK
	ROUND WATER ROCK
	TREE PLANS AND DETAILS
	GRAVEL
	PROPOSED POLLINATOR PLANTING (REFER TO PLANT LIST)
	PROPOSED PLANTING (REFER TO PLANTING LIST)
	SOIL
	GRASS
	BIKE RACK (8 FLAG & LEACH)
	SMALL BOULDERS AND LOGS (PER PLANS AND DETAILS)
	BENCHES (PER PLANS AND DETAILS)
	SEATING CLUSTERS (PER PLANS AND DETAILS)
	ACCESSIBLE ROUTE



1	1581 20 AVENUE EAST	1581.00
2	1581 20 AVENUE EAST	1581.00
3	1581 20 AVENUE EAST	1581.00
4	1581 20 AVENUE EAST	1581.00
5	1581 20 AVENUE EAST	1581.00
6	1581 20 AVENUE EAST	1581.00
7	1581 20 AVENUE EAST	1581.00
8	1581 20 AVENUE EAST	1581.00
9	1581 20 AVENUE EAST	1581.00
10	1581 20 AVENUE EAST	1581.00
11	1581 20 AVENUE EAST	1581.00
12	1581 20 AVENUE EAST	1581.00
13	1581 20 AVENUE EAST	1581.00
14	1581 20 AVENUE EAST	1581.00
15	1581 20 AVENUE EAST	1581.00
16	1581 20 AVENUE EAST	1581.00
17	1581 20 AVENUE EAST	1581.00
18	1581 20 AVENUE EAST	1581.00
19	1581 20 AVENUE EAST	1581.00
20	1581 20 AVENUE EAST	1581.00

MARQUETTE
1581 20 Avenue East
Summit, British Columbia

Scale: 1:200
Drawn: PM
Reviewed: JS
Project No: 22-219

LANDSCAPE SITE PLAN



GREEN LANE

152 STREET

MARQUETTE WEST (BUILDING A)

20 AVENUE

152-A STREET

2A STREET (20m)

Judy Stoyko
Landscape Architecture

NOT FOR CONSTRUCTION



LAYOUT AND MATERIALS LEGEND

SYMBOL	DESCRIPTION
	PROPOSED STREET TREES TO BE PLANTED BY THE CITY OF EDMONTON
	PAVING TYPE 1: PLAZA FEATURE PAVING PER PLANS AND DETAILS
	PAVING TYPE 2: PLAZA FEATURE PAVING PER PLANS AND DETAILS
	PAVING TYPE 3: FEATURE PAVING PER PLANS AND DETAILS
	PAVING TYPE 4: COMPOSITE WOOD DECKING PER PLANS AND DETAILS
	PAVING TYPE 5: PATIO PAVERS PER PLANS AND DETAILS
	PAVING TYPE 6: AMENITY PAVERS PER PLANS AND DETAILS
	PAVING TYPE 7: CIP CONCRETE PAVING PER PLANS AND DETAILS
	PAVING TYPE 8: UNPAVED PER PLANS AND DETAILS
	PAVING TYPE 9: PERMEABLE PAVERS PER PLANS AND DETAILS
	CONCRETE SIDEWALK
	ROUND RIVER ROCK PER PLANS AND DETAILS
	GRAVEL PER PLANS AND DETAILS
	PROPOSED POLLINATOR PLANTING REFER TO PLANT LIST
	PROPOSED PLANTING REFER TO PLANTING LOG
	SOD
	OFFSITE SOD
	BIKE RACK (3 CLASS B EACH)
	SMALL BOULDERS AND LOGS PER PLANS AND DETAILS
	BENCHES PER PLANS AND DETAILS
	SEATING CUBES PER PLANS AND DETAILS
	ACCESSIBLE ROUTE

MARQUETTE

15811 20 Avenue S
Sunny, British Columbia

Scale	1:100
Drawn	PM
Reviewed	JL
Project No.	22-013

LANDSCAPE PLAN - LEVEL 1
(WEST)



L1.1

GREEN LANE

THIS LAYOUT AND MATERIALS LEGEND IS PROVIDED FOR INFORMATION ONLY. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF VANCOUVER AND THE BC LAND TITLE OFFICE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF VANCOUVER AND THE BC LAND TITLE OFFICE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF VANCOUVER AND THE BC LAND TITLE OFFICE.

NOT FOR CONSTRUCTION



LAYOUT AND MATERIALS LEGEND

SYMBOL	DESCRIPTION
	PROPOSED STREET TREES TO BE PLANTED BY THE CITY OF BURNIE
	PAVING TYPE 1: PLAZA FEATURE PAVING PER PLANS AND DETAILS
	PAVING TYPE 2: PLAZA FEATURE PAVING PER PLANS AND DETAILS
	PAVING TYPE 3: FEATURE PAVING PER PLANS AND DETAILS
	PAVING TYPE 4: COMPOSITE WOOD DECKING PER PLANS AND DETAILS
	PAVING TYPE 5: PATIO PAVERS PER PLANS AND DETAILS
	PAVING TYPE 6: ANDHRY PAVERS PER PLANS AND DETAILS
	PAVING TYPE 7: TOP CONCRETE PAVING PER PLANS AND DETAILS
	PAVING TYPE 8: LINER PAVERS PER PLANS AND DETAILS
	PAVING TYPE 9: PERMEABLE PAVERS PER PLANS AND DETAILS
	CONCRETE SIDEWALK PER PLANS AND DETAILS
	ROUND RIVER ROCK PER PLANS AND DETAILS
	GRAVEL PER PLANS AND DETAILS
	PROPOSED POLLINATOR PLANTING REFER TO PLANT LIST
	PROPOSED PLANTING REFER TO PLANTING LIST
	SOIL
	OFFSITE SOIL
	BIKE RACK 7 CAPACITY EACH
	SMALL BOULDERS AND LOGS PER PLANS AND DETAILS
	BENCHES PER PLANS AND DETAILS
	SEATING CUBES PER PLANS AND DETAILS
	ACCESSIBLE ROUTE



MARQUETTE EAST
(BUILDING B)

153 STREET

20 AVENUE

NO.	REVISIONS	DATE
1	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2024.04
2	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2024.02
3	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2024.01
4	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2023.24
5	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2023.24
6	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2023.24
7	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2023.24
8	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2023.24
9	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2023.24
10	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2023.24
11	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2023.24
12	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2023.24

MARQUETTE

13281 20 Avenue + 152 Street
Surrey, British Columbia

Scale:	1:100
Drawn:	PM
Reviewed:	JS
Project No.:	22-010

LANDSCAPE PLAN - LEVEL 1
(EAST)



L1.2

THIS LAYOUT IS A
PRELIMINARY DESIGN
FOR REFERENCE ONLY

THIS LAYOUT IS A PRELIMINARY DESIGN FOR REFERENCE ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THIS LAYOUT SHALL BE MADE BY THE ARCHITECT AND LANDSCAPE ARCHITECT IN WRITING. THE ARCHITECT AND LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SUMMERS. THE ARCHITECT AND LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SUMMERS. THE ARCHITECT AND LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SUMMERS.

NOT FOR CONSTRUCTION



LAYOUT AND MATERIALS LEGEND

SYMBOL	DESCRIPTION
	PROPOSED STREET TREES (TO BE PLANTED BY THE CITY OF SUMMERS)
	PAVING TYPE 1: PLAZA FEATURE PAVING PER PLANS AND DETAILS
	PAVING TYPE 2: PLAZA FEATURE PAVING PER PLANS AND DETAILS
	PAVING TYPE 3: FEATURE PAVING PER PLANS AND DETAILS
	PAVING TYPE 4: COMPOSITE WOOD DECKING PER PLANS AND DETAILS
	PAVING TYPE 5: PATIO PAVERS PER PLANS AND DETAILS
	PAVING TYPE 6: AMENITY PAVERS PER PLANS AND DETAILS
	PAVING TYPE 7: OP CONCRETE PAVING PER PLANS AND DETAILS
	PAVING TYPE 8: LINEAR PAVERS PER PLANS AND DETAILS
	PAVING TYPE 9: PERMEABLE PAVERS PER PLANS AND DETAILS
	CONCRETE SIDEWALK
	ROUND RIVER ROCK PER PLANS AND DETAILS
	GRAVEL PER PLANS AND DETAILS
	PROPOSED POLLINATOR PLANTING REFER TO PLANTING LIST
	PROPOSED PLANTING REFER TO PLANTING LIST
	SOD
	GRASS SOD
	BIKE RACK 2 CLAS'S EACH
	SMALL BOULDERS AND LOGS PER PLANS AND DETAILS
	BENCHES PER PLANS AND DETAILS
	SEATING CUBES PER PLANS AND DETAILS
	ACCESSIBLE ROUTE

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MARQUETTE

15811 20 Avenue, T32 Street
Sunny, British Columbia

Scale	1:100
Drawn	PM
Reviewed	JL
Project No.	22-013

LANDSCAPE PLAN - LEVEL 1
(EAST)



THIS LAYOUT AND MATERIALS LEGEND DOCUMENT SUBMITTER THE SERVICES LOCATION AND SCOPE OF WORK AND IS THE PROPERTY OF THE CLIENT. ANY REVISIONS MUST BE APPROVED BY THE CLIENT. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PERMITS AND REGULATIONS AND OBTAINING ALL NECESSARY PERMITS BEFORE CONSTRUCTION.

NOT FOR CONSTRUCTION



LAYOUT AND MATERIALS LEGEND

SYMBOL	DESCRIPTION
	PROPOSED STREET TREES TO BE PLANTED BY THE CITY OF SURREY.
	PAVING TYPE 1: PLAZA FEATURE PAVING PER PLANS AND DETAILS.
	PAVING TYPE 2: PLAZA FEATURE PAVING PER PLANS AND DETAILS.
	PAVING TYPE 3: FEATURE PAVING PER PLANS AND DETAILS.
	PAVING TYPE 4: COMPOSITE WOOD DECKING PER PLANS AND DETAILS.
	PAVING TYPE 5: PAVING PER PLANS AND DETAILS.
	PAVING TYPE 6: AMENITY PAVING PER PLANS AND DETAILS.
	PAVING TYPE 7: CIP CONCRETE PAVING PER PLANS AND DETAILS.
	PAVING TYPE 8: LINEAR PAVING PER PLANS AND DETAILS.
	PAVING TYPE 9: PERMEABLE PAVING PER PLANS AND DETAILS.
	CONCRETE SIDEWALK PER PLANS AND DETAILS.
	SOUND RIVER ROCK PER PLANS AND DETAILS.
	GRAVEL PER PLANS AND DETAILS.
	PROPOSED POLLINATOR PLANTING REFER TO PLANT LIST.
	PROPOSED PLANTING REFER TO PLANTING LIST.
	SOIL
	OFFSITE SOIL
	BIKE RACK 2 CLASS B EACH
	SMALL BOULDERS AND LOGS PER PLANS AND DETAILS.
	BENCHES PER PLANS AND DETAILS.
	SKATING CURBS PER PLANS AND DETAILS.
	ACCESSIBLE ROUTE

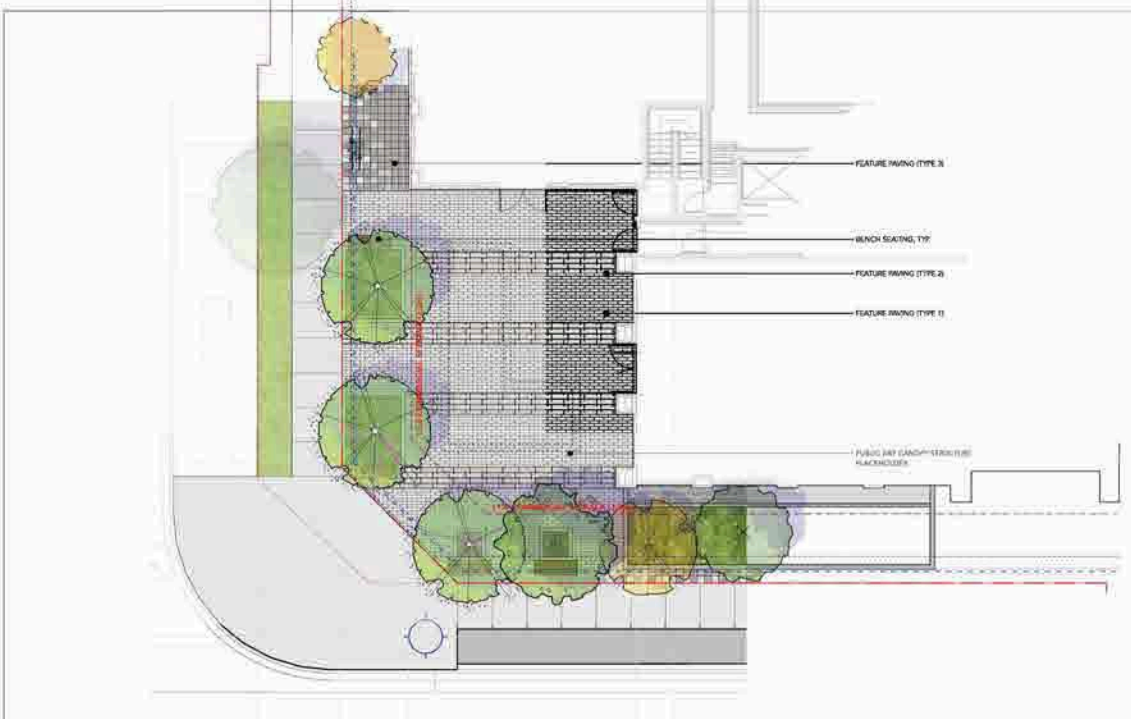
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5	REVISION FOR DEVELOPMENT PERMIT APPLICATION 24-03-22
4	REVISION FOR DEVELOPMENT PERMIT APPLICATION 23-09-21
3	REVISION FOR DEVELOPMENT PERMIT APPLICATION 23-03-24
2	REVISION FOR REVIEW 23-05-22
1	REVISION FOR REVIEW 22-01-25

MARQUETTE

13281 20 Avenue + 152 Street
Surrey, British Columbia

Scale:	1:75
Drawn:	PM
Reviewed:	JS
Project No.:	22-010

LANDSCAPE ENLARGEMENTS



1 Building A (West) - Corner Plaza
Scale: 1:75



2 Building B (East) - Parquette
Scale: 1:75

THIS PLAN IS THE PROPERTY OF JUDY STOYKO LANDSCAPE ARCHITECTURE. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JUDY STOYKO LANDSCAPE ARCHITECTURE.

NOT FOR CONSTRUCTION



LAYOUT AND MATERIALS LEGEND

SYMBOL	DESCRIPTION
	PROPOSED STREET TREES TO BE PLANTED BY THE CITY OF SUREY
	PAVING TYPE 1: PLAZA FEATURE PAVING SEE PLANS AND DETAILS
	PAVING TYPE 2: PLAZA FEATURE PAVING SEE PLANS AND DETAILS
	PAVING TYPE 3: FEATURE PAVING SEE PLANS AND DETAILS
	PAVING TYPE 4: COMPOSITE WOOD DECKING SEE PLANS AND DETAILS
	PAVING TYPE 5: PATIO PAVING SEE PLANS AND DETAILS
	PAVING TYPE 6: ADAMANT PAVING SEE PLANS AND DETAILS
	PAVING TYPE 7: 2" CP CONCRETE PAVING SEE PLANS AND DETAILS
	PAVING TYPE 8: LINEAR PAVING SEE PLANS AND DETAILS
	PAVING TYPE 9: PERMEABLE PAVING SEE PLANS AND DETAILS
	CONCRETE SIDEWALK SEE PLANS AND DETAILS
	ROUND RIVER ROCK SEE PLANS AND DETAILS
	GRAVEL SEE PLANS AND DETAILS
	PROPOSED POLLINATOR PLANTING REFER TO PLANT LIST
	PROPOSED PLANTING REFER TO PLANTING SET
	SOD
	OFFSITE SOD
	BIKE RACK 2 CLAMPS PER BICYCLE
	SMALL BOULDERS AND LOGS SEE PLANS AND DETAILS
	BENCHES SEE PLANS AND DETAILS
	SEATING CUBES SEE PLANS AND DETAILS
	ACCESSIBLE ROUTE



1 Building A (West) - Courtyard
Scale: 1/8" = 1'-0"

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MARQUETTE

15811 26 Avenue - 132 Street
Sunny, British Columbia

Scale	1/8" = 1'-0"
Drawn	PM
Reviewed	JS
Project No.	22-219

LANDSCAPE ENLARGEMENTS

THIS LAYOUT AND MATERIALS LEGEND DOES NOT GUARANTEE THE ACCURACY OF THE LOCATION AND DIMENSIONS OF ANY ELEMENTS OF THE PROJECT OR THE QUALITY OF THE CONSTRUCTION OR THE COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS AS SHOWN ON THIS DRAWING AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

NOT FOR CONSTRUCTION



LAYOUT AND MATERIALS LEGEND

SYMBOL	DESCRIPTION
	PROPOSED STREET TREES TO BE PLANTED BY THE CITY OF SURREY
	PAVING TYPE 1: PLAZA FEATURE PAVING PER PLANS AND DETAILS
	PAVING TYPE 2: PLAZA FEATURE PAVING PER PLANS AND DETAILS
	PAVING TYPE 3: FEATURE PAVING PER PLANS AND DETAILS
	PAVING TYPE 4: COMPOSITE WOOD DECKING PER PLANS AND DETAILS
	PAVING TYPE 5: PAVING PER PLANS AND DETAILS
	PAVING TYPE 6: AMENITY PAVING PER PLANS AND DETAILS
	PAVING TYPE 7: CIP CONCRETE PAVING PER PLANS AND DETAILS
	PAVING TYPE 8: LINEAR PAVING PER PLANS AND DETAILS
	PAVING TYPE 9: PERMEABLE PAVING PER PLANS AND DETAILS
	CONCRETE SIDEWALK
	SOUND RIVER ROCK PER PLANS AND DETAILS
	GRAVEL PER PLANS AND DETAILS
	PROPOSED POLLINATOR PLANTING REFER TO PLANT LIST
	PROPOSED PLANTING REFER TO PLANTING LIST
	SOIL
	OFFSITE SOIL
	BIKE RACK 2 CLASS B EACH
	SMALL BOULDERS AND LOGS PER PLANS AND DETAILS
	BENCHES PER PLANS AND DETAILS
	SKATING CURBS PER PLANS AND DETAILS
	ACCESSIBLE ROUTE

GREEN LANE



1 Building B (East) - Courtyard
Scale: 1:75

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REVISIONS

MARQUETTE

13281 20 Avenue + 152 Street
Surrey, British Columbia

Scale:	1:75
Drawn:	PM
Reviewed:	JS
Project No.:	22-010

LANDSCAPE ENLARGEMENTS



L1.6

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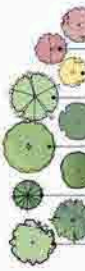
NOT FOR CONSTRUCTION



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PLANT LIST - ONSITE

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
TREES					
10	Aspen	European Larch	30m x 10cm DBH	10' x 10m	Small (under 10m in maturity)
1	Alar Elm	Thornless Maple	50m x 10cm DBH	10' x 10m	Small (under 10m in maturity)
16	Common Elm	Common Hornbeam	30m x 10cm DBH	10' x 10m	Medium
30	Canadian Red Spruce	Native Tree	15m x 10cm DBH	10' x 10m	Large
1	Canada's White Birch	Canada's White Birch Dogwood	30m x 10cm DBH	10' x 10m	Medium
6	Western Red Cedar	Redwood	15m x 10cm DBH	10' x 10m	Large
33	Maple	Common Maple	30m x 10cm DBH	10' x 10m	Small (under 10m in maturity)
33	Flax	Flax	4.5m x 10cm DBH	10' x 10m	Small (under 10m in maturity)
2	Flax	Flax	10m x 20cm DBH	10' x 10m	Large
6	Stone Pine	Japanese Stone Pine	30m x 10cm DBH	10' x 10m	Small (under 10m in maturity)
100	Total Trees				



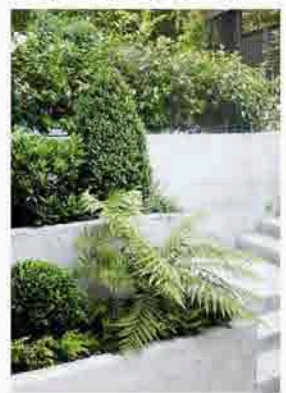
PLANTING NOTES

- 1) In case of discrepancy between plant quantities on the site plan and the plan, the latter shall prevail.
- 2) All planting shall be in accordance with the Landmarks Department's latest edition.
- 3) All planting shall be in accordance with the City of Vancouver's "Native Planting" or approved species.
- 4) All trees shall be in accordance with the City of Vancouver's "Native Planting" or approved species.
- 5) All proposed irrigation, tree communication, water, and utility, communication systems are shown as filed in the City of Vancouver.
- 6) Planting shall be in accordance with the City of Vancouver's "Native Planting" or approved species.
- 7) All aspects of plant care and maintenance shall be in accordance with the City of Vancouver's "Native Planting" or approved species.
- 8) All plant care and maintenance shall be in accordance with the City of Vancouver's "Native Planting" or approved species.

PLANTING PALETTE



EVERGREEN AND SHADE - NATIVE CHARACTER



MIXED PLANTINGS - NATURAL ARRANGEMENTS



EVERGREEN AND SHADE - NATIVE CHARACTER



MIXED PLANTINGS - NATURAL ARRANGEMENTS

SHRUBS, GROUNDCOVERS & PERENNIALS

LARGE FEATURE SHRUBS					
10	Aspen	Red Spruce	30m x 10cm DBH	10' x 10m	Multi-stemmed shrub
14	Common Elm	Common Elm Dogwood	30m x 10cm DBH	10' x 10m	Multi-stemmed shrub
HEDGE					
30	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
SUN FEATURE PLANTS					
20	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
30	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
45	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
80	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
90	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
SHADE FEATURE PLANTS					
10	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
40	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
50	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
70	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
SUN SCREENING PLANTS					
100	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
40	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
50	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
50	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
SUN LOW PLANTS					
50	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
70	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
40	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
250	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
100	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
SHADE SCREENING PLANTS					
30	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
150	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
180	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
150	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
250	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
SHADE LOW PLANTS					
30	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
200	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
100	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m
100	Flax	Flax	1.5m x 10cm DBH	10' x 10m	10' x 10m

POLLINATOR GARDEN

10m x 10m	Flax	Flax
10m x 10m	Flax	Flax
10m x 10m	Flax	Flax
10m x 10m	Flax	Flax
10m x 10m	Flax	Flax
10m x 10m	Flax	Flax
10m x 10m	Flax	Flax
10m x 10m	Flax	Flax
10m x 10m	Flax	Flax
10m x 10m	Flax	Flax

LAWN

100	Flax	Flax
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OFFSITE TREES

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
10	Flax	Flax	1.5m x 10cm DBH	10' x 10m	Small (under 10m in maturity)

COLOUR AND TEXTURE
ATTRACTIVE FOLIAGE TYPES, INTERESTING PLANT FORMS, AND ALL-SEASON COLOUR INTEREST



MARQUETTE

15811 20 Avenue • Suite 100	NTS
Sunny, British Columbia	PM
Scale	1:50
Drawn	PM
Reviewed	JS
Project No.	20-010

PLANTING PALETTE

NOT FOR CONSTRUCTION



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1	WALKWAY FOR ORNAMENTAL TREES - 10' x 10' (C) (M)	100.00
2	WALKWAY FOR ORNAMENTAL TREES - 10' x 10' (C) (M)	100.00
3	WALKWAY FOR ORNAMENTAL TREES - 10' x 10' (C) (M)	100.00
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23	WALKWAY FOR ORNAMENTAL TREES - 10' x 10' (C) (M)	100.00
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26	WALKWAY FOR ORNAMENTAL TREES - 10' x 10' (C) (M)	100.00
27	WALKWAY FOR ORNAMENTAL TREES - 10' x 10' (C) (M)	100.00
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29	WALKWAY FOR ORNAMENTAL TREES - 10' x 10' (C) (M)	100.00
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33	WALKWAY FOR ORNAMENTAL TREES - 10' x 10' (C) (M)	100.00
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39	WALKWAY FOR ORNAMENTAL TREES - 10' x 10' (C) (M)	100.00
40	WALKWAY FOR ORNAMENTAL TREES - 10' x 10' (C) (M)	100.00
41	WALKWAY FOR ORNAMENTAL TREES - 10' x 10' (C) (M)	100.00
42	WALKWAY FOR ORNAMENTAL TREES - 10' x 10' (C) (M)	100.00
43	WALKWAY FOR ORNAMENTAL TREES - 10' x 10' (C) (M)	100.00
44	WALKWAY FOR ORNAMENTAL TREES - 10' x 10' (C) (M)	100.00
45	WALKWAY FOR ORNAMENTAL TREES - 10' x 10' (C) (M)	100.00
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49	WALKWAY FOR ORNAMENTAL TREES - 10' x 10' (C) (M)	100.00
50	WALKWAY FOR ORNAMENTAL TREES - 10' x 10' (C) (M)	100.00

MARQUETTE

15811 20th Avenue T32 Street
Sunny, British Columbia

Scale	1:100
Drawn	PM
Reviewed	JL
Project No.	22-013

PLANTING PLAN - LEVEL 1 (WEST)



THIS LANDSCAPE ARCHITECTURE PROJECT SUBMITS THE SERVICE LOCATION, AND QUALITY OF WORKMANSHIP OF THE PROJECT TO THE LOCAL AUTHORITY AND/OR COMPASS STRUCTURE ON THE ASSUMPTION THAT THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECT.

NOT FOR CONSTRUCTION



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MARQUETTE

13281 20 Avenue + 152 Street
Surrey, British Columbia

Scale:	1:100
Drawn:	PM
Reviewed:	JS
Project No.:	22-010

PLANTING PLAN - LEVEL 1 (EAST)



1 Landscape Plan - Building B (East)
Scale: 1:100

SEE DRAWING 2 / L2.2
FOR NORTH-EAST PLAZA

2 Building B (East) - Planting Plan North-East Plaza

MARQUETTE EAST
(BUILDING B)

MARQUETTE EAST
(BUILDING B)

GREEN LANE

152 STREET

MARQUETTE WEST (BUILDING A)

SOIL VOLUME LEGEND

FINISH D+3
TIME PLAYING MINIMUM DEPTH

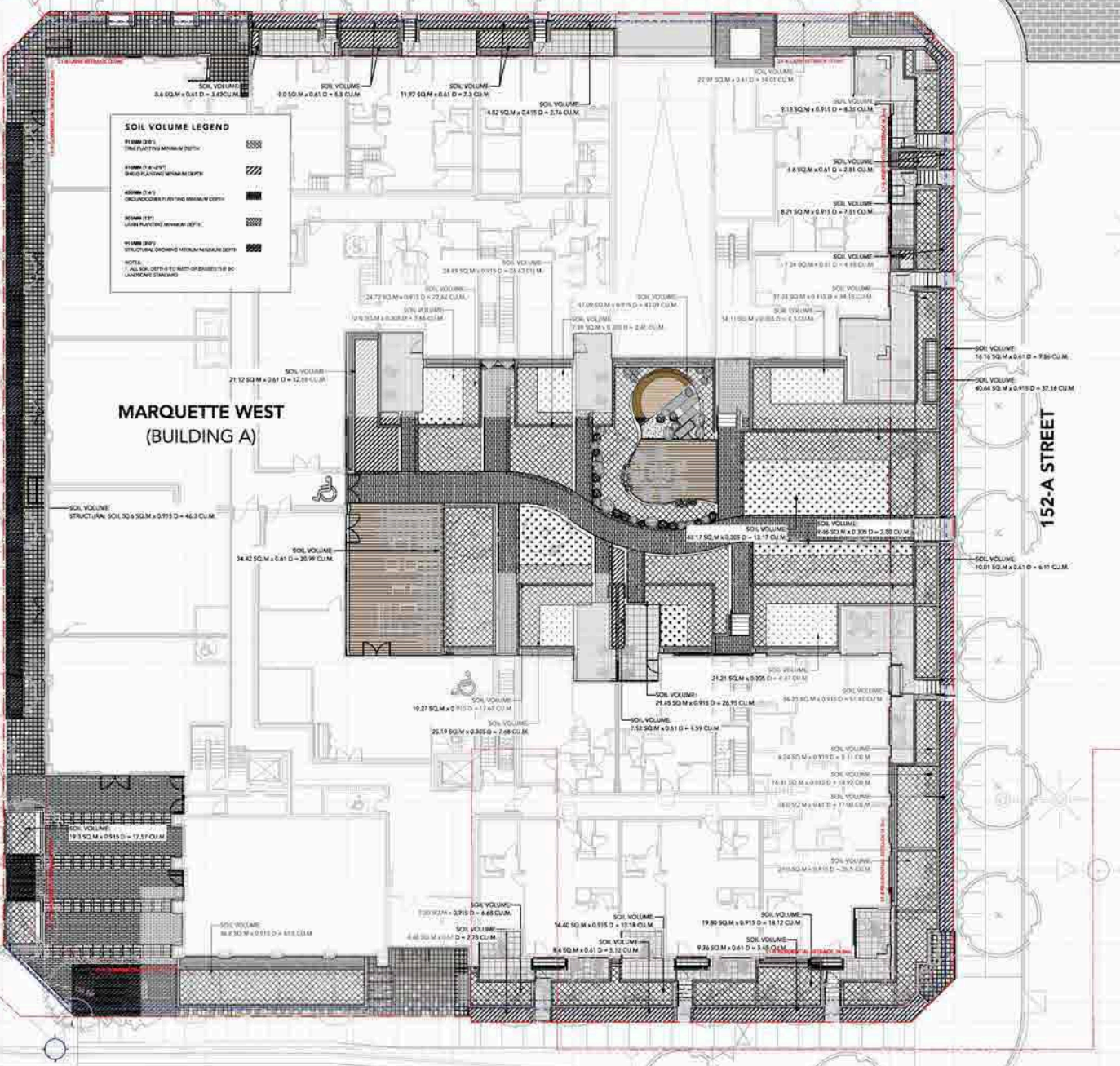
FINISH D+0.45 FT
BASE PLAYING MINIMUM DEPTH

FINISH D+0
CONCRETE PLAYING MINIMUM DEPTH

FINISH D-1 FT
LAWN PLAYING MINIMUM DEPTH

FINISH D-1 FT
STRUCTURE DOMING MINIMUM DEPTH

NOTES:
1. ALL SOIL DEPTHS TO MATCH OR EXCEED THE BC LANDSCAPE STANDARD



20 AVENUE

DATE: 2024.06.14
PROJECT NO: 22-010

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NOT FOR CONSTRUCTION



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MARQUETTE

13281 20 Avenue + 152 Street
Surrey, British Columbia

Scale: 1/100
Drawn: PM
Reviewed: JS
Project No: 22-010

SOIL DEPTH DIAGRAM - LEVEL 1 (WEST)

THIS LAYOUT ARCHITECTURE DOCUMENT SUBMITS THE PROPOSED LOCATION, SCOPE AND QUANTITY OF LANDSCAPE AND PLANTING TO BE PROVIDED FOR THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL MATERIALS AND LABOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT.

NOT FOR CONSTRUCTION



GREEN LANE

152 STREET

152-A STREET

MARQUETTE WEST
(BUILDING A)

GRADING LEGEND

SYMBOL	DESCRIPTION
— TW 129.240 124.01	LANDSCAPE GRADES
— 90.427 11.7	ARCHITECTURAL / BUILDING GRADES

NO.	REVISION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2016.10
2	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2016.12
3	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2017.01
4	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2017.02
5	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2017.03
6	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2017.04
7	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2017.05
8	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2017.06
9	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2017.07
10	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2017.08
11	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2017.09
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13	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2017.11
14	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2017.12
15	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2018.01
16	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2018.02
17	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2018.03
18	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2018.04
19	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2018.05
20	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2018.06
21	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2018.07
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25	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2018.11
26	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2018.12
27	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2019.01
28	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2019.02
29	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2019.03
30	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2019.04
31	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2019.05
32	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2019.06
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100	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	2025.02

MARQUETTE

15281 20 Avenue + 152 Street
Surrey, British Columbia

Scale:	1:100
Drawn:	JM
Reviewed:	JS
Project No.:	22-010

GRADING PLAN - LEVEL 1
(WEST)



GREEN LANE

SEE DRAWING 2 / L3.1
FOR NORTH-EAST PLAZA

GRADING LEGEND

SYMBOL	DESCRIPTION
▲ 101/20 Ave (104.0)	LANDSCAPE GRADES
— 10' 0"	ARCHITECTURAL / BUILDING GRADES

**MARQUETTE EAST
(BUILDING B)**

2 Building B (East) Grading Plan North East Plaza

1 Landscape Plan - Building A (West)
Scale: 1/100

Judy Stoyko
Landscape Architecture

DATE: 01/20/2018
PROJECT: 153 STREET
DRAWING: L3.1

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NOT FOR CONSTRUCTION



POLYGON

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MARQUETTE

13281 20 Avenue + 153 Street
Surrey, British Columbia

Scale: 1/100
Drawn: PM
Reviewed: JS
Project No.: 22-010

GRADING PLAN - LEVEL 1
(EAST)



L3.1

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1 Section Through Courtyard Looking West
Scale: 1/100



2 Section Through Courtyard Looking South
Scale: 1/100

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MARQUETTE

13291 20 Avenue + 152 Street
Surrey, British Columbia

Scale:	1/100
Drawn:	PM
Reviewed:	JS
Project No.:	22-010

SECTIONS - WEST
(BUILDING A)

DATE: 01/20/2024
PROJECT NO: 22-010

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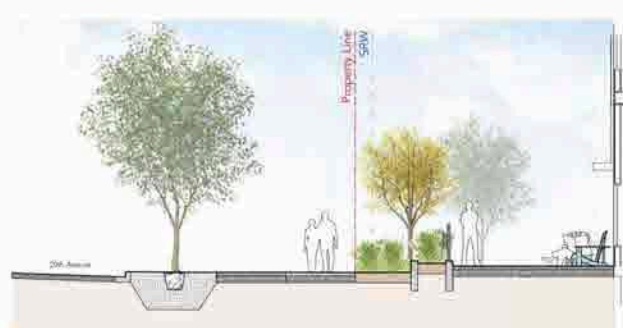
NOT FOR CONSTRUCTION



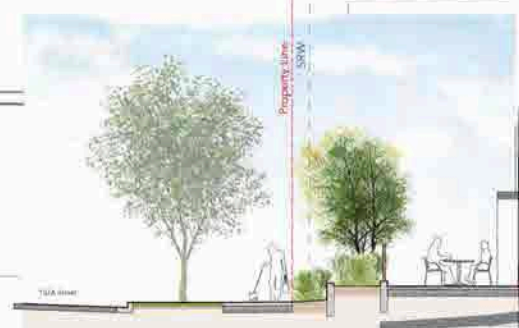
1 Section Through Courtyard Looking South
Sheet 1 of 3



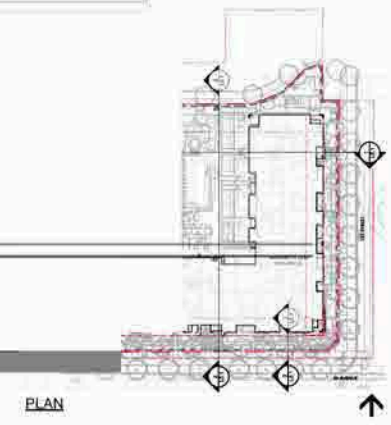
2 Section Through Courtyard Looking West
Sheet 2 of 3



3 Plan - 20th Avenue
Sheet 3 of 3



4 Plan - 152a Street
Sheet 3 of 3



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A	ACCESS FOR DEVELOPMENT PERMIT APPLICATION	2024.03
B	ACCESS FOR DEVELOPMENT PERMIT APPLICATION	2024.02
C	ACCESS FOR DEVELOPMENT PERMIT APPLICATION	2024.01
D	PERMIT FOR DEVELOPMENT PERMIT APPLICATION	2023.24
E	PERMIT FOR REVIEW	2023.12
F	PERMIT FOR REVIEW	2023.11

REVISIONS:

MARQUETTE

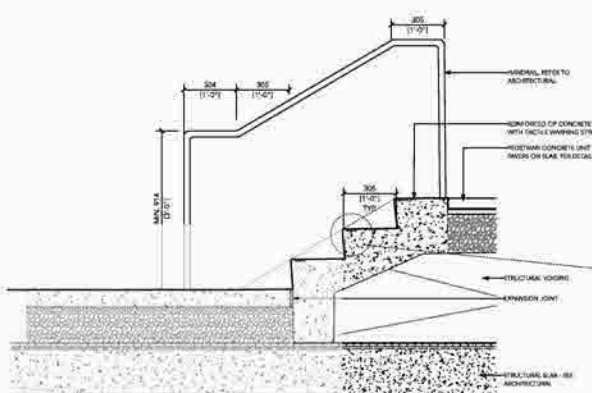
13281 20 Avenue + 152 Street
Surrey, British Columbia

Scale:	1/100
Drawn:	PM
Reviewed:	JS
Project No.:	22-010

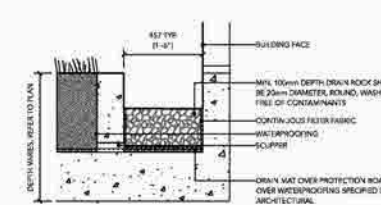
**SECTIONS - EAST
(BUILDING B)**

ALL HARDWARE SHALL BE 304 STAINLESS STEEL UNLESS OTHERWISE SPECIFIED.
CONCRETE SHALL BE 25MPA (3600 PSI) UNLESS OTHERWISE SPECIFIED.
ALL FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED.
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE PRIOR TO CONSTRUCTION.
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.

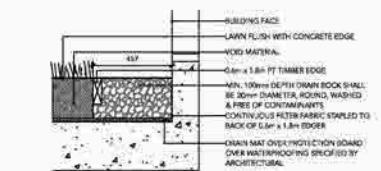
NOT FOR CONSTRUCTION



1 CP STAIR ON SLAB
Scale: 1/8"



2 GRAVEL DRAIN STRIP - ON SLAB
Scale: 1/8"



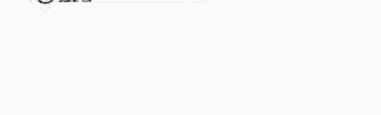
3 GRAVEL DRAIN STRIP - ON SLAB
Scale: 1/8"



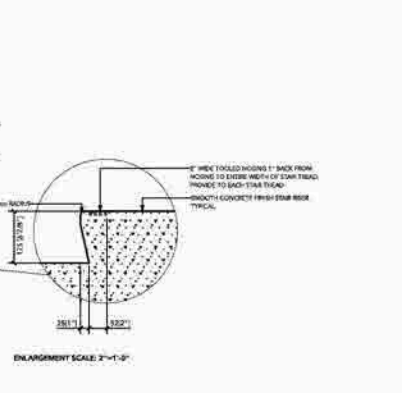
4 GRAVEL DRAIN STRIP - ON SLAB
Scale: 1/8"



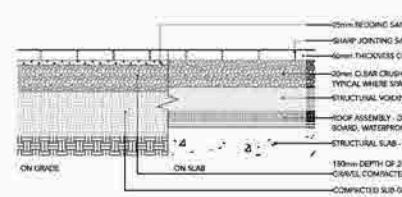
5 CP CONCRETE PAVING JOINTS, TYP.
Scale: 1/8"



6 CP CONCRETE PAVING JOINTS, TYP.
Scale: 1/8"

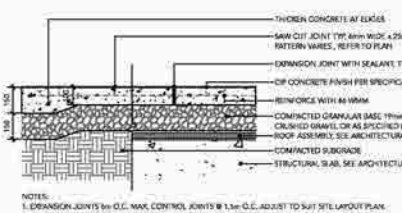


7 TYPICAL RETAINING WALL ON SLAB
Scale: 1/8"

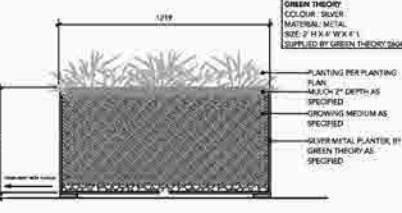


8 PEDESTRIAN / PATIO UNIT PAVING
Scale: 1/8"

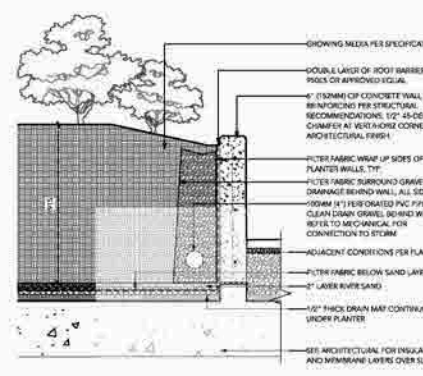
CP CONCRETE PAVING NOTES:
1. SCHEDULE FINISH;
2. SEE LAYOUT PLAN FOR SAWCUT JOINT PATTERN AND BAND WIDTH;
3. JOINTS @ 1.8M (6' 0") MAX PLUMB, STRAIGHT AND SQUARE;
(AT CHANGES IN MATERIALS, FINISHINGS, CURB EDGES - SPRING TO CONFORM WITH PATTERNS)
4. CONTROL JOINTS @ 1.8M (6' 0") O.C. MAX PLUMB, STRAIGHT AND SQUARE;
5. FINAL LOCATION FOR JOINTS AND SAW CUTS TO BE CONFIRMED ON SITE WITH LANDSCAPE ARCHITECT & REFER TO CIVIL PLANS FOR VERTICAL CONCRETE PAVING;
7. FOR ALL HC ACCESSIBLE ROUTES ENSURE SAW CUT JOINTS RATHER THAN COMB TOOLED JOINTS;
8. ALL ON-SITE WORKS TO MEET CITY STANDARDS AND SPECIFICATIONS.



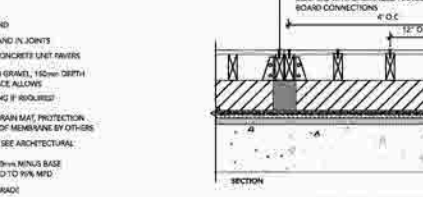
9 CONCRETE PAVING
Scale: 1/8"



10 GREEN THEORY METAL PLANTER
Scale: 1/8"



11 RAISED WOOD COMPOSITE DECK - ON SLAB
Scale: 1/8"



12 RAISED WOOD COMPOSITE DECK - ON SLAB
Scale: 1/8"

COMPOSITE WOOD DECKING
COLOUR: SILVER (OR FINISHES ALTERNATIVE FINISHES OFFERED BY MANUFACTURER)
SEE 11, 13, 14 & 15

NOTE:
CONTRACTOR TO PREPARE SHOP DRAWINGS
ALL FASTENERS TO BE HOT-DIP GALVANIZED
ALL DIMENSIONS ARE ACTUAL, NOT NOMINAL
WARRING WHERE REQUIRED TO ENSURE A-LEVEL SURFACE.

13 RAISED WOOD COMPOSITE DECK - ON SLAB
Scale: 1/8"



14 RAISED WOOD COMPOSITE DECK - ON SLAB
Scale: 1/8"

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MARQUETTE

15281 20 Avenue + 152 Street
Surrey, British Columbia

Scale:	AS NOTED
Drawn:	JP
Reviewed:	JLS
Project No:	22-010

HARDSCAPE DETAILS

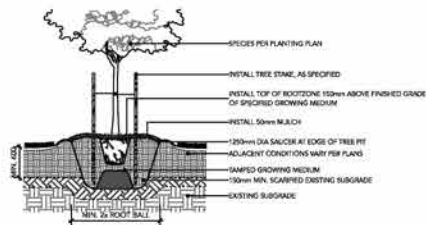
LANDSCAPE ARCHITECTURE DOES NOT GUARANTEE THE LOCATION, LOCATION AND EXISTENCE OF ANY ELEMENT OF THE PROJECT OR INCLUDING UTILITIES AND/OR CONCEALED STRUCTURES OR THE ACCURACY OF ANY INFORMATION PROVIDED FROM OTHER CONSULTANTS OR SOURCES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS.

THESE DRAWINGS HAVE BEEN PREPARED FOR THE CLIENT FOR THIS PROJECT AND SHOULD NOT BE USED OTHERWISE WITHOUT PERMISSION.
DO NOT SCALE OFF OF THESE DRAWINGS. NO RESPONSIBILITY CAN BE TAKEN WITH ANY ERRORS OR OMISSIONS OF UP TO 100% OF THE DRAWING.

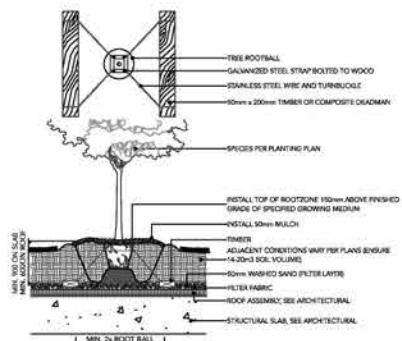
NOT FOR CONSTRUCTION



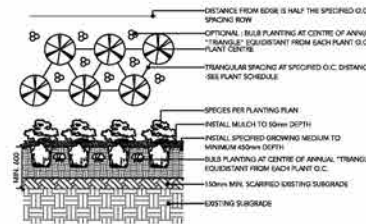
POLYGON



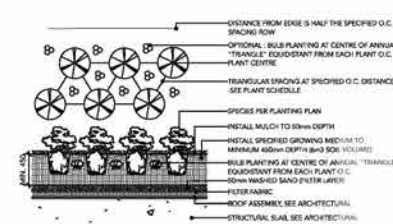
1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:25



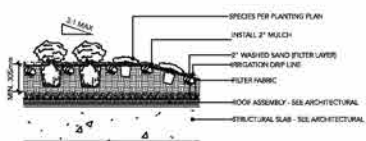
2 DECIDUOUS TREE PLANTING ON SLAB (TYPICAL)
Scale: 1:25



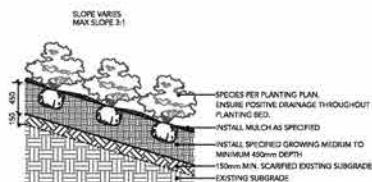
3 PLANTING ON GRADE (TYPICAL)
Scale: 1:25



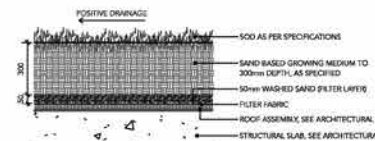
4 PLANTING ON SLAB (TYPICAL)
Scale: 1:25



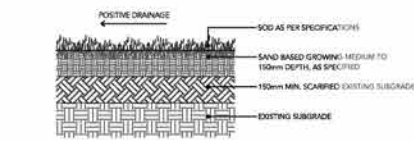
5 SLOPED PLANTING ON SLAB
Scale: 1:25



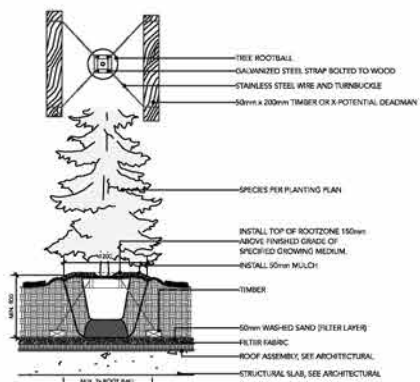
6 PLANTING ON SLOPE (TYPICAL)
Scale: 1:25



7 SOD LAWN ON SLAB (TYPICAL)
Scale: 1:10



8 SOD LAWN (TYPICAL)
Scale: 1:10



9 CONIFER TREE PLANTING ON SLAB (TYPICAL)
Scale: 1:25

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1	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	24.05.13
2	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	24.05.13
3	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	23.08.30
4	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	23.08.30
5	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	23.08.30
6	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	23.08.30
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50	ISSUED FOR DEVELOPMENT PERMIT APPLICATION	23.08.30

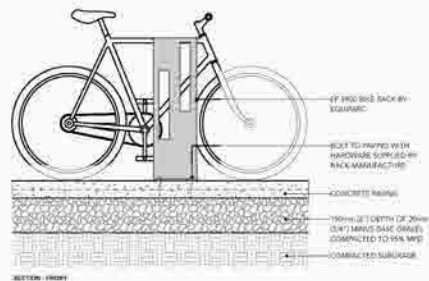
REVISIONS

MARQUETTE	
15281 20 Avenue + 152 Street Survey, British Columbia	
Scale:	AS NOTED
Drawn:	PP
Reviewed:	JS
Project No.:	22-010

SOFTSCAPE DETAILS

ANY TECHNICAL INFORMATION PROVIDED HEREIN IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

NOT FOR CONSTRUCTION

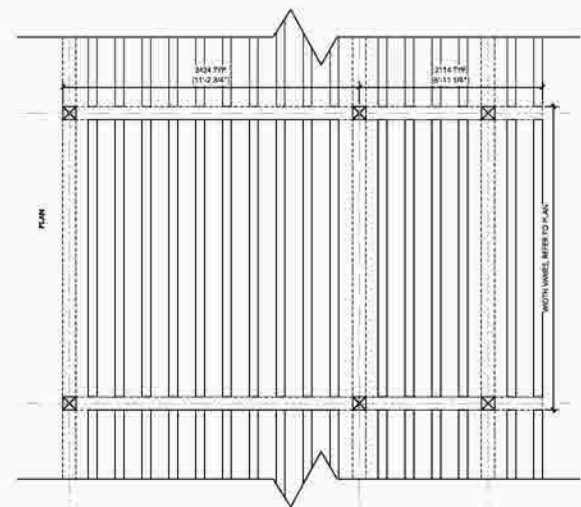


PROMENADE BIKE RACK
MODEL: EP 3000
SIZE: D 117mm x L 230mm x H 82mm
COLOR: POWDERCOAT METEOR GREY
SCREWED BY: SQUARE (1.000.33.0006)



FIRE BOWL
MANUFACTURER: PALDFORM
MODEL: BOWL-4P-486-110-00116
SIZE: 63"

1 **FIRE BOWL**
Scale: NTS



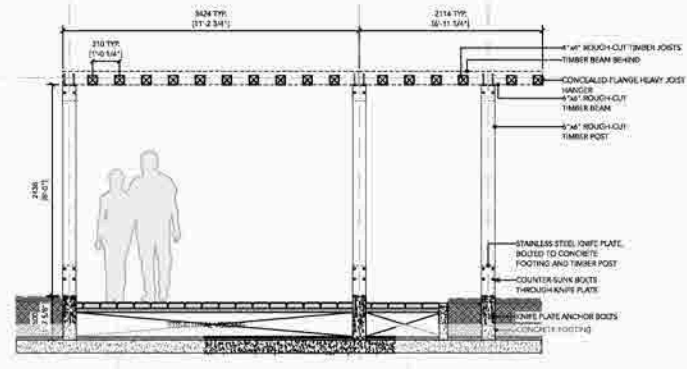
2 **BIKE RACK**
Scale: 1/8"



AMENITY BENCH - BACKLESS
MANUFACTURER: MANUFLUX
MODEL: 129 BACKLESS BENCH
SIZE: 70" (177.8cm)
MATERIAL: THERMALLY MODIFIED ASH

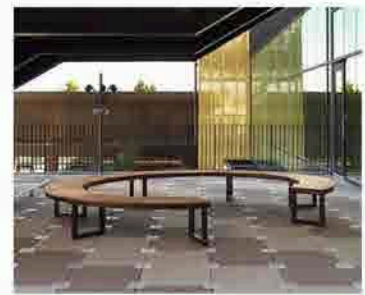


PLAZA BENCH BACKLESS
MANUFACTURER: MANUFLUX
MODEL: 129 BACKLESS BENCH
SIZE: 70" (177.8cm)
MATERIAL: THERMALLY MODIFIED ASH



SIDE SECTION

13:	
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1:	
A:	REVISION FOR DEVELOPMENT PERMIT APPLICATION 24.05.18
B:	REVISION FOR DEVELOPMENT PERMIT APPLICATION 16.03.18
C:	REVISION FOR DEVELOPMENT PERMIT APPLICATION 15.03.18
D:	REVISION FOR REVIEW 13.02.18
E:	REVISION FOR REVIEW 23.01.18



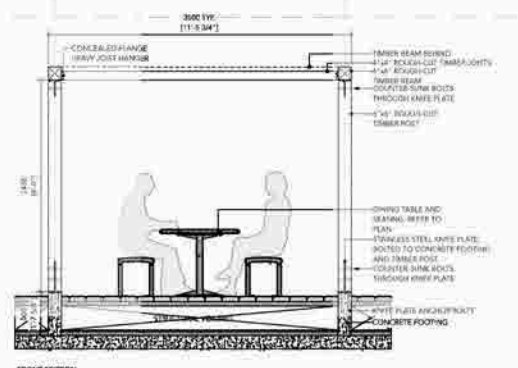
CIRCULAR BENCH - BACKLESS
MANUFACTURER: MANUFLUX
MODEL: 0204IN BACKLESS BENCH
MATERIAL: THERMALLY MODIFIED ASH

3 **BENCHES**
Scale: NTS



SEATING CUBES - BACKLESS
MANUFACTURER: MARCON ART&DESIGN URBAN FURNITURE LINE
MODEL: SC-10-1010
MATERIAL: THERMALLY MODIFIED ASH AND POWDER COATED METAL

4 **SEATING CUBES**
Scale: NTS



FRONT SECTION

5 **TABLE & BENCH**
Scale: 1/8"

MARQUETTE

15281 20 Avenue + 152 Street
Surrey, British Columbia

Scale:	AS NOTED
Drawn:	JP
Reviewed:	JS
Project No.:	22-010

FURNISHING DETAILS

TO: **Director, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Manager, Development Services, Engineering Department**

DATE: **April 26, 2024**

PROJECT FILE: **7823-0079-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 15231 20 Avenue**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate Bylaw Roads on 152 Street and 20 Avenue.
- Dedicate 3.7 m on 152 Street.
- Dedicate 1.942 m on 20 Avenue.
- Dedicate 20.0 m for 152A Street.
- Dedicate 10.0 m for 153 Street.
- Dedicate 12.0 m for the Green Lane.
- Dedicate required corner cuts.
- Register 0.5 m SRW along all frontage roads.

Works and Services

- Construct sidewalk on the east side of 152 Street.
- Construct north side of 20 Avenue.
- Construct 152A Street and East-West Green Lane.
- Construct west half of 153 Street.
- Construct storm system for the proposed development, including 153 Street and Green Lane.
- Provide SWCP to confirm downstream capacity up to the nearest trunk storm sewer. Upgrade any deficiencies in the system, as required.
- Provide onsite sustainable drainage and water quality treatment for impervious areas.
- Construct 250 mm water main along 153 Street.
- Construct 300 mm sanitary sewers on 152 Street and 20 Avenue.
- Construct adequately-sized metered water service connection with backflow preventer; and construct sanitary and storm service connections to service the proposed development.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit except for the requirements listed above.



Jeff Pang, P.Eng.
Manager, Development Services
IKi

NOTE: Detailed Land Development Engineering Review available on file

Department: **Planning and Demographics**
Date: **April 12, 2024**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **23 0079 00 (update April 2024)**

The proposed development of **356** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	55
---	----

Projected Number of Students From This Development In:	
Elementary School =	32
Secondary School =	14
Total Students =	46

Current Enrolment and Capacities:	
Jessie Lee Elementary	
Enrolment	401
Operating Capacity	411
# of Portables	1
Earl Marriott Secondary	
Enrolment	1398
Operating Capacity	1500
# of Portables	4

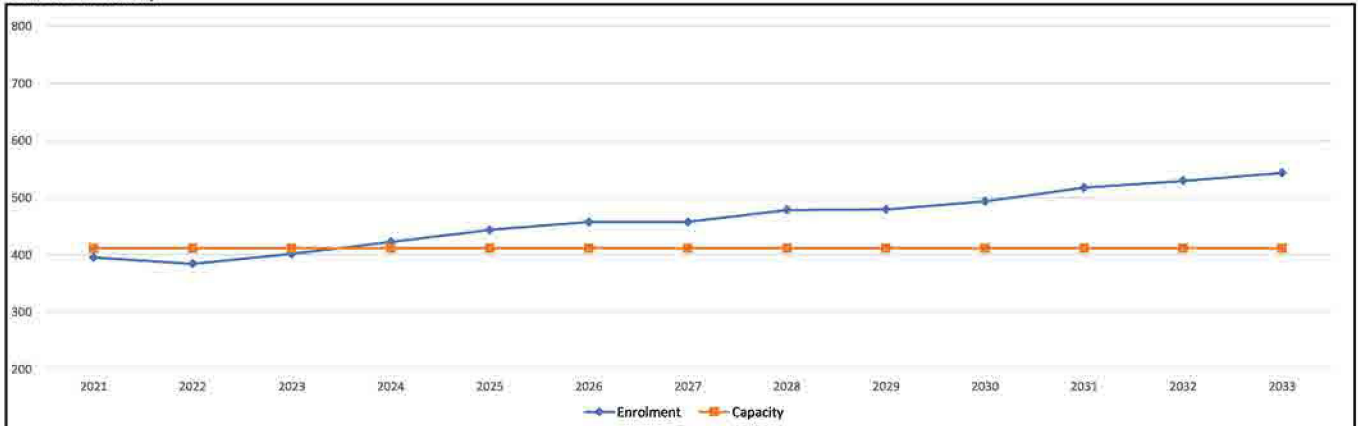
Summary of Impact and Commentary

The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

Actual enrollment at Jessie Lee Elementary has grown modestly the past five years which also has one portable. The 10-year projections support continuing growth at a similar modest pace. Currently there are no capital expansion requests for Jessie Lee Elementary.

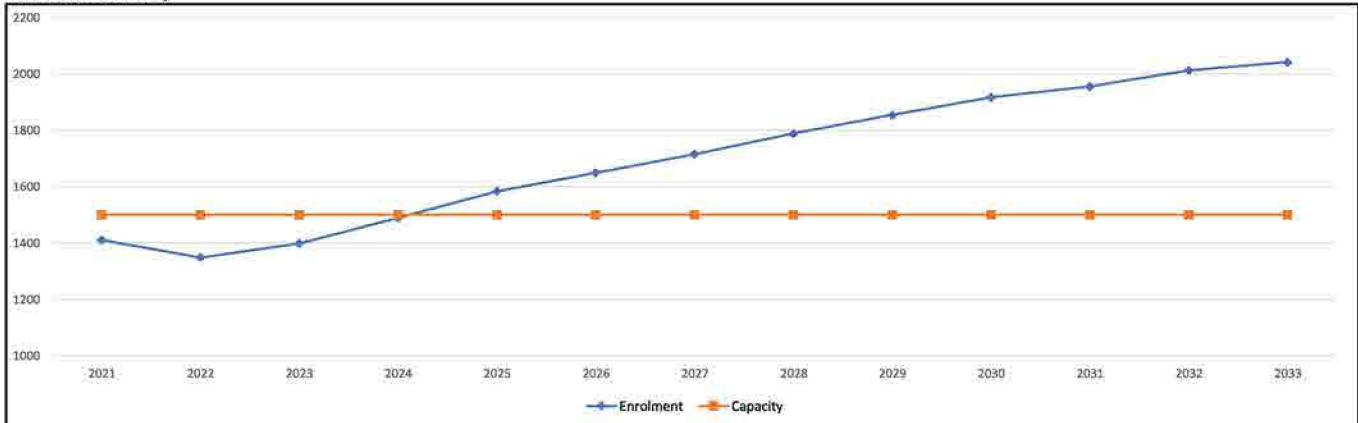
Earl Marriott Secondary experience some relief with the opening of Grandview Secondary in 2021. However, enrolment growth at Earl Marriott Secondary is expected to continue. As part of the District's 2024/2025 Five Year Capital Plan, the district has requested a 500 capacity addition at Earl Marriott. The Ministry of Education and Child Care has not approved funding for this project.

Jessie Lee Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Earl Marriott Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population: The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

3.3 Replacement Tree Requirements

Tree Preservation Summary

Address: 15231 20th Ave., 2055 153 St., 2049 153 St.,
 15306 20A Ave., 15295/15297 20th Ave., 15283 20th Ave.

Registered Arborist: Kelly Koome, ISA Certified Arborist, PN-5962A

On-Site Trees	Number of Trees
Protected Trees Identified (>=30cm) (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	72
Protected Trees to be Removed	72
Protected Trees to be Retained (Excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u> 5 </u> X one (1) = 5 All other Trees Requiring 2 to 1 Replacement Ratio <u> 67 </u> X two (2) = 134	139
Replacement Trees Proposed	102
Replacement Trees in Deficit	37
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	N/A
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u> 0 </u> X one (1) = 0 All other Trees Requiring 2 to 1 Replacement Ratio <u> 0 </u> X two (2) = 0	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary, report, and plan prepared and submitted by:



Kelly Koome, PN-5962A

May 21, 2024

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7923-0079-00

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 003-804-411

Lot 6 Section 14 Township 1 New Westminster District Plan 71482
2055 - 153 Street

Parcel Identifier: 003-804-429

Lot 7 Section 14 Township 1 New Westminster District Plan 71482
2049 - 153 Street

Parcel Identifier: 003-804-437

Lot 8 Section 14 Township 1 New Westminster District Plan 71482
15306 - 20A Avenue

Parcel Identifier: 003-804-461

Lot 9 Section 14 Township 1 New Westminster District Plan 71482
15295 - 20 Avenue

Parcel Identifier: 003-804-470

Lot 10 Section 14 Township 1 New Westminster District Plan 71482
15283 - 20 Avenue

Parcel Identifier: 030-850-401

Lot A Section 14 Township 1 New Westminster District Plan Epp92643
15231 - 20 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Subdivision and Development By-law, 1986, No. 8830, as amended is varied as follows:
- (a) In Part 1 – Interpretation – Definitions, "Bond" means cash, an irrevocable Letter of Credit, or a Surety Bond in favour of the City.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and Director of Legislative
Services – Jennifer Ficocelli