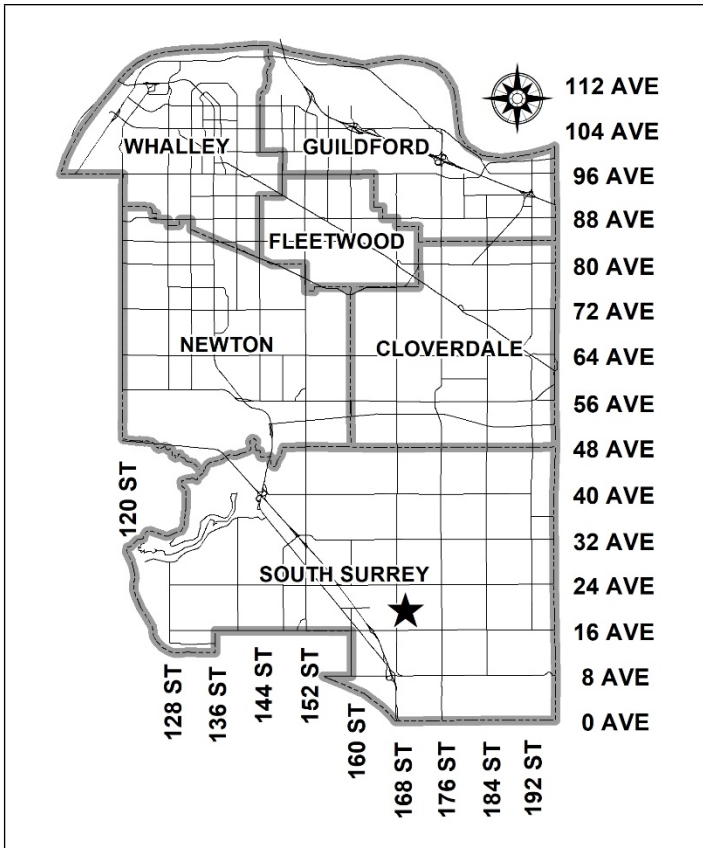


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

Application No.: 7923-0024-00

Planning Report Date: July 8, 2024



**PROPOSAL:**

- **Rezoning** from RA to CD
- **Development Permit**
- **Development Variance Permit**

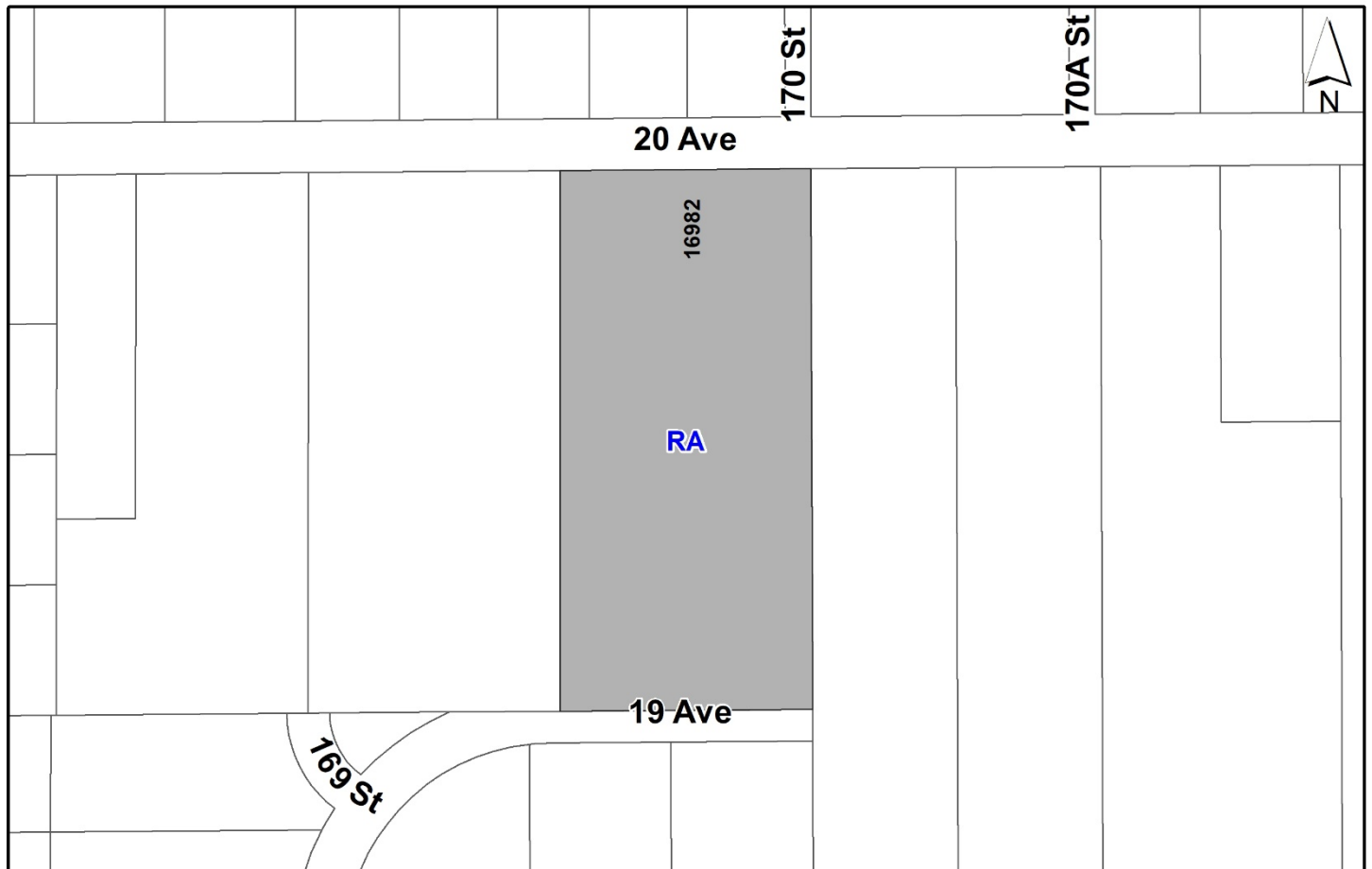
to permit the development of 94 townhouse units.

**LOCATION:** 16982 - 20 Avenue

**ZONING:** RA

**OCP DESIGNATION:** Urban

**NCP DESIGNATION:** Live/Work Townhouse, High Density Townhouse, Medium Density Townhouse, and Riparian Area



## RECOMMENDATION SUMMARY

- Rezoning By-law to proceed to Public Notification. If supported the By-law will be brought forward for First, Second and Third Reading.
- Approval to draft Development Permit for Form and Character and Sensitive Ecosystems.
- Approval for Development Variance Permit to proceed to Public Notification.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to reduce the minimum streamside setback for a Class B (yellow-coded) watercourse from 7 metres to a minimum of 2 metres, as measured from top-of-bank.

## RATIONALE OF RECOMMENDATION

- The proposal complies with the Urban designation in the Official Community Plan (OCP).
- The proposal complies with the Live/Work Townhouse, High Density Townhouse, Medium Density Townhouse, and Riparian Area designations in the Darts Hill Neighbourhood Concept Plan (NCP)
- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of Darts Hill.
- The proposal complies with the Development Permit requirements in the OCP for Sensitive Ecosystems (Streamside Areas).
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed buildings achieve an attractive architectural built form, which utilize high quality, natural materials and contemporary lines. The street interfaces has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposed reduction of the streamside setback from 7 metres to a minimum of 2 metres as measured from top of bank complies with the Riparian Areas Protection Regulation (RAPR) setback.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a By-law to rezone the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)".
2. Council approve Development Variance Permit No. 7923-0024-00 (Appendix V) varying the following, to proceed to Public Notification:
  - (a) In Subsection B1. Streamside Setbacks Areas, of Part 7A Streamside Protection, the minimum setback from the top of bank of a Class B Ditch is varied from 7 metres to 2 metres for the East Ditch.
3. Council authorize staff to draft Development Permit No. 7923-0024-00 generally in accordance with the attached drawings (Appendix I) and the finalized Ecosystem Development Plan.
4. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
  - (g) submission of a finalized Ecosystem Development Plan to the satisfaction of City staff;
  - (h) a P-15 and voluntary conveyance of the riparian area around the East Ditch to the City, as proposed by the applicant;
  - (i) final approval from Riparian Areas Riparian Regulation (RAPR) for the proposed setbacks;
  - (j) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;

- (k) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department; and
- (l) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services.

## SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Vacant lot	Urban / Live/Work Townhouse, High Density Townhouse, Medium Density Townhouse, and Riparian Area	RA
North (Across 20 Avenue):	Single family residential	Suburban – Urban Reserve	RA
East:	Single family residential	Urban / Community Commercial, Live/Work, High Density Townhouse, Medium Density Townhouse, Wetlands, and Riparian Area	RA
South (Across 19 Avenue):	Single family residential	Urban / Detached Residential	RA
West:	Single family residential	Urban / Live/Work, High Density Townhouse, and Detached Residential	RA

### Context & Background

- The subject site is 2.02 hectare in size and is currently zoned "One Acre Residential Zone (RA)". The site is designated Urban in the Official Community Plan (OCP), and Live/Work Townhouse, High Density Townhouse, Medium Density Townhouse, and Riparian Area in the Darts Hill Neighbourhood Concept Plan (NCP).
- The site slopes downward approximately 8 metres from north to south.
- There are ditches along the east and south property lines of the site. The Class B ditch along the east property line (East Ditch) is designated as "Riparian Area" in the NCP and the applicant has voluntarily agreed to convey this area to the city at no cost for preservation purposes. A P-15 will be required for this.

- Lot 1 (north) is designated High Density Townhouse and Live/Work in the Darts Hill NCP, with a base density of 25 upa.
- Lot 2 (south) is designated Medium Density Residential in the Darts Hill NCP, with a base density of up to 20 units per acre and an option to increase the density to 24 units per acre if using the Zero Carbon Initiative where the units are not connected to any fossil fuel for appliances or for heat, or where Tier 2 Community Amenity Contribution fees are provided. The applicant is proposing to provide a Tier 2 contribution for the proposed increased density up to 24 units per acre.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The application proposes rezoning the subject site from "One Acre Residential Zone (RA)" to "Comprehensive Development (CD) based on "Multiple Residential 30 Zone (RM-30)", subdivision into two (2) lots and a Development Permit for Form and Character and Sensitive Ecosystems, in order to redevelop into two townhouse sites with a combined 94 townhouse units, including 13 live/work units.
- The subject property is located within the Hazelmere Estates Petition Area, as identified in the Darts Hill NCP, with a petitioning requirement, in which a supportive petition of property owners from this area is required before the first rezoning application can be received by the City. This requirement was completed under Development Application No. 7921-0174-00, which received Third Reading on November 28, 2022.
- The proposed development will consist of 94 townhouse units in 23 buildings, ranging from 3 to 5 units per building. All units are proposed with side-by-side double-garages and three bedrooms.
- The proposed net density for Lot 1 is 0.96 FAR and 25 units per acre (upa), which complies with the base density permitted in the Darts Hill NCP.

The proposed net density for Lot 2 is 0.82 FAR and 24 units per acre (upa). The Medium Density Residential designation in the NCP allows a base density of up to 20 upa and an option to increase the density to 24 upa if using the Zero Carbon Initiative. The applicant is not proposing the Zero Carbon Initiative, but has agreed to provide Tier 2 Community Amenity Contribution fees (CACs) to support the increase in density above the allowable base density.

- The applicant is proposing maximum safeguarding by voluntarily conveying the riparian area around the East Ditch to the City at no cost.
- The proposal complies with the Urban designation in the OCP, which permits a maximum density of 30 units per acre for sites within a Secondary Land Use Plan.

	Proposed
<b>Lot Area</b>	
Gross Site Area:	2.02 Hectares
Road Dedication / Undevelopable Area:	0.49 Hectares
Net Site Area:	1.53 Hectares
<b>Number of Lots:</b>	2
<b>Building Height:</b>	13 metres
<b>Unit Density:</b>	25 upa Lot 1 / 24 upa Lot 2
<b>Floor Area Ratio (FAR):</b>	0.96 Lot 1 / 0.82 Lot 2
<b>Floor Area</b>	
Residential:	6,822 sq. m. Lot 1 / 6,703 sq. m. Lot 2
<b>Residential Units:</b>	
3-Bedroom:	94

### Referrals

**Engineering:** The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

**School District:** The School District has advised that there will be approximately 83 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

45 students at Edgewood Elementary School  
24 students at Grandview Heights Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

**Parks, Recreation & Culture:** Future active parkland is proposed within 200 metres walking distance of the development as part of the Darts Hill Neighbourhood Concept Plan (NCP).

**Surrey Fire Department:** No concerns.

**Advisory Design Panel:** The application was not referred to the ADP but was reviewed by staff and found satisfactory.

### **Transportation Considerations**

- The applicant is required to provide local road dedication for the east-west future 19A Avenue that will bisect the site and a portion of a new north-south road along the west property line and 19 Avenue along the south property line.
- Access to both lots is proposed from future 19A Avenue.
- The closest transit route is the 531 White Rock Centre/Willowbrook, located over 1 kilometre away on 24 Avenue to the north, with stops at 168 Street and 172 Street.
- Visitor bike racks will be located outside the indoor amenity buildings on each lot.

### **Parkland and/or Natural Area Considerations**

- Under the Sensitive Ecosystem Development Permit Guidelines, applicants have the choice of protecting the riparian streamside setback area through a combined statutory right-of-way/restrictive covenant or by conveying the land to the City for conservation purposes in perpetuity.
- The applicant has chosen to voluntarily convey approximately 900 square metres of riparian streamside setback area around the East Ditch to the City. This land will be protected with a 1.2-metre high split-rail wooden fence and will be the responsibility of the City to maintain in perpetuity. A P-15 will be required, as well as removal of invasive species and restoration/enhancement.

### **Sustainability Considerations**

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

## **POLICY & BY-LAW CONSIDERATIONS**

### **Regional Growth Strategy**

- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).

### **Official Community Plan**

#### Land Use Designation

- The proposal complies with the Urban designation in the Official Community Plan (OCP).

## Secondary Plans

### Land Use Designation

- The proposal complies with the Live/Work Townhouse, High Density Townhouse, Medium Density Townhouse, and Riparian Area designations in the Darts Hill Neighbourhood Concept Plan (NCP).

### Themes/Objectives

- 4.1 General Design Principles:
  - A. Foster cohesive neighbourhood design through integration of common design styles and complementary transitional scales.
  - B. Architectural design should reflect the natural heritage of Darts Hill by using natural materials such as wood, brick and stone as principal components.
  - C. Visual interest along streets should be provided with active building frontages, landscaping, and with high quality building details.
  - E. Development should orient itself towards views of parks and natural areas. Wherever possible, connectivity should also be provided.
  - G. Provide generous landscaping along public realm frontages.
  - Building Siting, Height, & Massing
    - A. Provide generous setbacks (minimum 5.0 m) to include natural features, landscaping and trees.
    - B. Buildings should optimize views towards streets, public spaces and natural areas.
    - C. Create enjoyable, functional open spaces that take advantage of natural light and contributes to a pleasant micro climate.
    - D. Promote neighbourhood safety and sociability by designing for overlook and activity along streets, pathways, and natural areas.
  - Building Materials
    - B. Avoid the use of vinyl siding and fibre cement panels.
    - C. Use materials that make the building energy efficient and maximize the life of the building.
  - Landscaping
    - D. Landscape design should provide soft transitions between built and natural environment.
    - E. Express architecture and landscape design with clear and cohesive organizing concept.
  - View Corridors: The preservation of these views will result in a shared community benefit enjoyed by residents and visitors of Darts Hill.

*(The proposal generally complies with the design guidelines and principles of the Darts Hill NCP.)*

### CD By-law

- The applicant proposes to rezone the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)".



- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate live/work units in accordance with the Live/Work Townhouse designation in the Darts Hill NCP, for the 13 units located along 20 Avenue. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 30 Zone (RM-30)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-30 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-30 Zone (Part 22)	Proposed CD Zone
<b>Unit Density:</b>	75 uph	75 uph
<b>Floor Area Ratio:</b>	1.0	1.0
<b>Lot Coverage:</b>	45%	45%
<b>Yards and Setbacks:</b>		
<b>Block A:</b>		
Front (North):	4.5 metres	3.5 metres (live/work)
Side (East):	6.0 metres	3.0 metres
Side (West):	6.0 metres	4.5 metres
<b>Block B:</b>		
Front	4.5 metres	5.0 metres (per NCP)
Side (West)	6.0 metres	3.0 metres
Street Side (Lot 1: South; Lot 2: North)	4.5 metres	6.0 metres
Street Side (Lot 2: South)	4.5 metres	4.0 metres
<b>Principal Building Height:</b>	13 metres	13 metres
<b>Permitted Uses:</b>	<p><u>Principal Uses:</u></p> <ol style="list-style-type: none"> <li>Multiple unit residential buildings, ground-oriented multiple unit residential buildings and ground-oriented back-to-back multiple unit residential buildings.</li> </ol> <p><u>Accessory Uses:</u></p> <ol style="list-style-type: none"> <li>Child care centres, provided that such centres:                     <ol style="list-style-type: none"> <li>Do not constitute a singular use on the lot; and</li> <li>Are regulated by the Community Care and Assisted Living Act, as amended, and the Child Care Licensing Regulation, as amended.</li> </ol> </li> <li>Short-Term Rental in accordance with Section B.7 of Part 4 General Provisions.</li> </ol>	<p><b>Block A:</b></p> <p><u>Principal Uses:</u></p> <ol style="list-style-type: none"> <li>Ground-oriented multiple unit residential buildings.</li> </ol> <p><u>Accessory Uses:</u></p> <ol style="list-style-type: none"> <li>The following <i>accessory uses</i> may be permitted, provided that such uses are located on the ground level within a <i>ground-oriented dwelling unit</i> and occupy no more than 30% of the floor area of the <i>dwelling unit</i>, and further provided that such use shall be operated by the occupant of the <i>dwelling unit</i> in which they are located:                     <ol style="list-style-type: none"> <li><i>Personal service uses</i> excluding <i>body rub parlours</i>.</li> <li>Office uses excluding <i>social escort services</i> and <i>methadone clinics</i>.</li> <li><i>General service uses</i> excluding funeral parlours, banks and <i>drive-through banks</i>, veterinary clinics, <i>adult educational institutions</i>, vehicle rentals, and appliance repair shops.</li> <li><i>Retail stores</i> excluding <i>adult entertainment stores</i>, <i>secondhand stores</i> and <i>pawnshops</i>, <i>convenience stores</i>, <i>retail warehouses</i>, flea markets, and auction houses.</li> <li><i>Eating establishments</i> excluding <i>drive-through restaurant</i>, and <i>eating establishments</i> regulated under the Liquor Control and Licensing Act, as amended.</li> </ol> </li> </ol> <p><b>Block B:</b></p> <p>All permitted uses under the RM-30 Zone.</p>
Indoor Amenity:	<p>Lot 1: 3 m<sup>2</sup> per unit = 135 m<sup>2</sup></p> <p>Lot 2: 3 m<sup>2</sup> per unit = 147 m<sup>2</sup></p>	The proposed 93 m <sup>2</sup> per lot plus CIL of \$96,000, calculated on

Outdoor Amenity:	Lot 1: 3 m <sup>2</sup> per unit = 135 m <sup>2</sup> Lot 2: 3 m <sup>2</sup> per unit = 147 m <sup>2</sup>	shortfall of 32 units, meets the Zoning By-law requirement.  The proposed 158 m <sup>2</sup> for Lot 1 and 172 m <sup>2</sup> for Lot 2 meets the Zoning By-law requirement.
<b>Parking (Part 5)</b>		<b>Proposed</b>
<b>Lot 1:</b>		
Residential Ground-Oriented:		90
Residential Visitor:		9
Total:		99
<b>Lot 2:</b>		
Residential Ground-Oriented:		98
Residential Visitor:		10
Total:		108

- The proposed CD bylaw deviates from the base RM-30 Zone in that it will allow commercial units in the 13 townhouses fronting onto 20 Avenue (Block A) and changes to the setbacks.

Streamside Variance

- The applicant is requesting the following streamside setback variance, to reduce the minimum setback from the top of bank of a Class B Ditch from 7 metres to minimum 2 metres for the east ditch.
- The applicant is seeking a variance to reduce the streamside setback from 7 metres to a minimum of 2.0 metres for the Class B (yellow-coded) ditch along the east property line (east ditch) to align with the expected 2.0 metre Streamside Protection and Enhancement Area (SPEA) under the Provincial Riparian Areas Protection Regulation (RAPR). This condition will need to be confirmed and have final approval from the Province prior to the subject application being considered for Final Adoption. Should the setback not be confirmed the applicant would be required to make changes to meet any provincial requirements prior to the subject application being considered for Final Adoption.
- Himalayan blackberry, which is a invasive species, exists in the SPEA area. This will be removed and monitored for one year. As the setback area is currently vegetated with native species in addition to blackberry planting is not anticipated to be required, but restoration and enhancement may be needed as part of the P-15.
- Staff support the requested variances to proceed for consideration.

**Capital Projects Community Amenity Contributions (CACs)**

- On December 16, 2019, Council approved the City’s Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City’s Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No.R037;2023.

- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit issuance. The current rate is \$2,227.85 per new unit.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan base density for Lot 2.
- The applicant will be required to provide the per unit flat rate for the number of units above the base density allowed in the Darts Hill NCP. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption. The current fee is \$22,278.48 per unit for townhouses.

### **Affordable Housing Strategy**

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 (now \$1,113.92) per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

### **Public Art Policy**

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

### **PUBLIC ENGAGEMENT**

- Pre-notification letters were sent on December 5, 2023 and the Development Proposal Signs were installed on December 5, 2023. Staff received one response from a neighbouring property owner concerned with a townhouse development adjacent to their property, in particular building height/overlook concerns and school capacity (*staff comments are provided in italics*):

*(Staff responded with background information on the NCP consultation process, land use designations, school site location within the NCP, and confirmed that the maximum permitted building height for the proposed townhouses is 13 metres. Staff provided the resident with a copy of the proposed site plan for information.)*

## DEVELOPMENT PERMITS

### Sensitive Ecosystems (Streamside Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of an existing Class B (yellow-coded) watercourse which flows along the east property line (“east ditch”). The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a Class B (yellow-coded) watercourse requires a minimum streamside setback of 7 metres, as measured from the top of bank. The proposed setback of 2 metres does not comply with the requirements outlined in the Zoning By-law. The application is proposing a variance to reduce the streamside setbacks from 7 metres to a minimum of 2 metres, as measured from top of bank. Under the Provincial Riparian Areas Protection Regulation, the watercourse has a 2 metre Streamside Protection and Enhancement Area (SPEA). The applicant will be required to submit a revised RAPR report to the Province for approval to confirm this setback.
- The riparian area is proposed to be voluntarily conveyed to the City as a lot for conservation purposes as a condition of rezoning approval, as allowed under the OCP.
- An Ecosystem Development Plan, prepared by Remi Masson, *R.P. Bio.*, of Redcedar Environmental Consulting Inc. and dated June 27, 2024 was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required, including final Provincial approval for RAPR. The finalized report and recommendations will be incorporated into the Development Permit.

### Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Darts Hill Neighbourhood Concept Plan (NCP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Darts Hill Neighbourhood Concept Plan (NCP).
- The applicant has worked with staff to achieve the objectives of the design guidelines in the Darts Hill NCP including the commercial frontages for the live/work units along 20 Avenue, increased setbacks along some of the public frontages (roads and parks pathway), eliminating back-to-back and tandem units, and meeting the fire access criteria along the drive aisles.
- The application proposes subdivision into two (2) townhouse development lots.
- Lot 1 (north) proposes 45 townhouse units in 11 buildings, all of which will have 3 or 4 bedrooms. The buildings each have groupings of 3-5 townhouse units, which all feature two-car side-by-side garages. The 13 units fronting onto 20 Avenue will be designed as live/work units, with a small commercial space on the ground floor with direct access to the street.

- Along 20 Avenue, the application proposes 3.5 m front yard setbacks, which is supported by staff, to provide a more pedestrian-oriented and urban street interface for the ground floor commercial in the live/work units.
- Lot 2 (south) proposes 49 townhouse units in 12 buildings, grouped in 3-5 units per building, which also feature 3-4 bedrooms per unit.
- For both development lots, the buildings along the perimeter are oriented towards the streets, and/or towards the riparian area along the east property line, to enhance the connection with the public realm and environmental features, as well as improving visibility and CPTED aspects.
- Building materials include hardie panel cladding in a variety of colours, including light gray, brown and white, with brick and dark grey accents.

### Landscaping

- All street fronting units will have front yard landscaping and patios, with trees planted at each unit, to provide an attractive public realm interface.
- Decorative paving is proposed as well as additional landscaping at the driveway entrances to the sites, located along 19A Avenue.
- All non-hard surfaces are proposed to be covered by vegetation to maximize biodiversity, and substantial landscaping will be planted along the front yard patios facing onto the public realm.
- The planting design includes a large variety of trees and shrubs. Tree species include: Japanese Maple, Armstrong Maple, European Hornbeam, Rising Sun Redbud, Hinoki False Cypress, Lavalle Hawthorn, Handkerchief Tree, Princeton Sentry Maidenhair, Kentucky Coffee Bean Tree, Golden Rain Tree, Slender Silhouette Sweetgum, Columnar Tulip Tree, Ruby Vase Persian Ironwood, Bruns Serbian Spruce, Japanese Stewartia, and Green Vase Zelkova.

### Indoor Amenity

- The Zoning By-law requires that 135 square metres for Lot 1 and 147 square metres for Lot 2 of both indoor and outdoor amenity space be provided, based on the requirement of 3 square metres per dwelling unit.
- The proposed 93 square metres per lot of physical indoor amenity plus a cash-in-lieu contribution of \$96,000 (based on a shortfall of 32 units: 14 for Lot 1 and 18 for Lot 2) for each of Lots 1 and 2 meets the minimum required under the Zoning By-law. The shortfall is of
- For Lot 1, the indoor amenity space is proposed as a stand-alone building, located close to the entrance to the site, along the main drive aisle.
- For Lot 2, the indoor amenity space will also be in a stand-alone building, , close to the entrance to the site, along the main drive aisle.

- The indoor amenity space is proposed to be programmed with a lobby, two multi-purpose rooms, and two meeting rooms. Stairs and an elevator are provided, as well as washrooms. There are visitor parking spaces directly adjacent to the indoor amenity building.

### Outdoor Amenity

- The proposed 158 square metres for Lot 1 and 172 square metres for Lot 2 of outdoor amenity space meets the minimum required under the Zoning By-law.
- Both development lots will locate the outdoor amenity areas adjacent to the indoor amenity buildings, in central locations close to the entrances to the site.
- The outdoor amenity areas will include planted trees, paved surfaces, picnic tables and benches, a children's play area with a rubber surface and a small amount of playground equipment.

### Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include providing floor plans and elevations for the amenity buildings, elevations and perspectives for the live/work units along 20 Avenue, and confirming details of patios and grading at entryways.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

## TREES

- Tim Vandenberg, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

**Table 1: Summary of Proposed Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder/Cottonwood	114	113	1
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Apple	1	1	0
Big Leaf Maple	1	1	0
Cherry	1	1	0
Lombardy Poplar	3	3	0
Paper Bark Birch	1	1	0
Plum	1	1	0
Sweetgum	1	1	0
<b>Coniferous Trees</b>			
Austrian Pine	14	14	0

Blue Spruce	1	1	0
Douglas Fir	15	15	0
Falsecypress	1	1	0
Lawson Falsecypress	2	2	0
Sawara Falsecypress	11	11	0
Western Red Cedar	9	8	1
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>62</b>	<b>61</b>	<b>1</b>
<hr/>			
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>	<b>113</b>		
<b>Total Retained and Replacement Trees Proposed</b>	<b>114</b>		
<b>Estimated Contribution to the Green City Program</b>	<b>\$67,100</b>		

- The Arborist Assessment states that there are a total of 62 mature trees on the site, excluding Alder and Cottonwood trees. 113 existing trees, 48% of the total trees on the site, are Alder and Cottonwood trees. The applicant proposes to retain 2 tree as part of this development proposal. One off-site Alder/Cotton is proposed to be removed. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees that are outside the streamside protection area, and a 2 to 1 replacement ratio for all other trees, including Alder and Cottonwood that are within a streamside protection area. This will require a proposed total of 235 replacement trees on the site. Since the proposed 113 replacement trees can be accommodated on the site, the proposed deficit of 122 replacement trees will require an estimated cash-in-lieu payment of \$67,100 representing \$550 per tree the Green City Program, in accordance with the City’s Tree Protection By-law.
- The new trees on the site will consist of a variety including Japanese Maple, Armstrong Maple, European Hornbeam, Rising Sun Redbud, Hinoki False Cypress, Lavalle Hawthorn, Handkerchief Tree, Princeton Sentry Maidenhair, Kentucky Coffee Bean Tree, Golden Rain Tree, Slender Silhouette Sweetgum, Columnar Tulip Tree, Ruby Vase Persian Ironwood, Bruns Serbian Spruce, Japanese Stewartia, and Green Vase Zelkova.
- In summary, a total of 114 trees are proposed to be retained or replaced on the site with an estimated contribution of \$67,100 to the Green City Program.



**INFORMATION ATTACHED TO THIS REPORT**

The following information is attached to this Report:

- Appendix I. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix V. Development Variance Permit No. 7923-0024-00

*approved by Shawn Low*

Don Luymes  
General Manager  
Planning and Development

EM/ar

## DRAWING LIST

• COVER	A-0.1
• PROJECT SUMMARY	A-0.2, 03, 04
• BASE PLAN	A-0.5
• SITE PLAN	A-1.0
• SITE PLAN(LOT-A)	A-1.1
• SITE PLAN(LOT-B)	A-1.2
• FLOOR PLANS	A-2.0
• RENDERINGS	A-3.0
• ELEVATIONS	A-3.5
• SECTIONS	A-4.0
• UNIT PLANS	A-5.0

## PROJECT TEAM

**ARCHITECT- PARAMORPH ARCHITECTURE INC.**  
 308-9639 137A STREET  
 SURREY BC. V3T 0M1  
 (604) 608-0161  
 info@paramorph.com

**SURVEYOR- SOUTH FRASER LAND SURVEYING LTD.**  
 PROFESSIONAL B.C. LAND SURVEYORS  
 #202-19292 60 AVENUE,  
 SURREY, BC V3S 3M2  
 (604)599-1886  
 kuljinder@southfrasersurvey.ca

**LANDSCAPE- PMG LANDSCAPE ARCHITECTS**  
 4185 STILL CREEK DR C100,  
 BURNABY, BC V5C 6G9  
 (604)294-0011  
 caelan@pmglandscape.com

**ARBORIST- MIKE FADUM & ASSOCIATES**  
 105-8277 129 St, Surrey, BC V3W 0A6  
 (778)593-0300  
 office@fadum.ca

**CIVIL- HUB ENGINEERING INC.**  
 212- 12992- 76 AVE. SURREY, BC V3W 2V6  
 (604)572-4328  
 mgk@hub-inc.com

## LOCATION



## APPENDIX I



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### Issues / Revisions

Seal

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA**

Drawn By GG	Date 2022-09-17
Checked By JV	Project ID SU_1982

Sheet Title  
**PROGRAM SUMMARY**

Scale

Sheet No.  
**A-0.2**

# LOT-1



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Issues / Revisions

Seal
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Project Title  
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BRITISH COLUMBIA**

Drawn By  
GG Date  
2023-09-17

Checked By  
JV Project ID  
SU\_1982

Sheet Title  
**PROGRAM SUMMARY**

Scale

Sheet No.

**A-0.3**

LOT INFO	ADDRESS	16982 20 AVENUE, SURREY BC			
	LEGAL DESCRIPTION	LOT 4 SECTION 18 TOWNSHIP 7 PLAN NWP5951 NWD			
	SITE AREA	(Sqft)	(Sqm)	(Acre)	(Ha)
	GROSS AREA	217,715	20,226	5.00	2.02
	DEDICATION, UNDEVELOPABLE AREA	53,133	4,936	1.22	0.49
	NEW GROSS AREA (Refer Base Plan A-0.4)				
	LOT-1 (Subdivided)	76,891	7,143	1.77	0.71
LOT-2 (Subdivided)	87,691	8,146	2.01	0.81	
NET AREA (Lot 1 & Lot 2)	164,582	15,290	3.78	1.53	

ZONING	LOT-1	
	ZONING	CURRENT: RA, PROPOSED: CD BASED ON RM30
	SETBACKS	PERMITTED: , PROPOSED:
	NORTH (ALONG 20 AVENUE)	3.5m
	SOUTH (ALONG 19A AVENUE)	5.0m
	EAST (ALONG 170 STREET)	5.0m
EAST (ALONG 170 STREET)	5.0m	
WEST (ALONG NEIGHBOURING LOT)	6.0m	
BLDG HEIGHT	PERMITTED: , PROPOSED: 3 STOREY	
DENSITY	PERMITTED: , PROPOSED:	
UPA (UNITS PER ACRE)	25.4	
TOWNHOUSE DWELLING UNITS	45	

PROPOSED FLOOR AREA SUMMARY	SITE COVERAGE (NET)	(Sqft)	(Sqm)	(%age)	REMARKS
	PROPOSED	3 1025	2,882	40.35%	

PROPOSED FLOOR AREA SUMMARY	FAR CALCULATION									
	GROSS AREA (EXCLUDING GARAGE & AMENITY)	GARAGE	LVL-1	TOTAL LVL-1	LVL-2	LVL-3	ROOF TOP	TOTAL	NO. OF UNITS	TOTAL FLOOR AREA
	UNIT-A	416	213	629	600	637		1,450	9	13,050
	UNIT-B	416	186	602	607	660		1,453	23	33,419
	UNIT-C (LIVE WORK)	420	423	843	805	846		2,074	13	26,962
									45	73,431
								<b>TOTAL FAR (NET)</b>		<b>0.96</b>

OFF STREET PARKING	PARKING REQUIREMENTS BREAKDOWN				
	RESIDENTIAL	NO. OF UNITS	PERMITTED	REQUIRED STALLS	PROVIDED STALLS
	TOWNHOUSE	45	2 CAR / UNIT	90	90
	VISITORS	45	0.2 CAR / UNIT	9.0	9
	TOTAL			99	99

AMENITY CALCULATIONS	AMENITY			
	INDOOR AMENITY	Sqft	Sqm	REMARKS
	REQUIRED	1,453	135	3 Sqm / UNIT AT GRADE
	PROPOSED	1,000	93	
	OUTDOOR AMENITY			REMARKS
FOR OTHER TOWNHOUSE	1,453	135	3 Sqm / UNIT AT GRADE	
PROPOSED	1,700	158		

# LOT-2

ZONING	<b>ZONING</b>	<b>CURRENT</b>	<b>PROPOSED</b>
		RA	CD
	<b>SETBACKS</b>	<b>PERMITTED</b>	<b>PROPOSED</b>
	NORTH (ALONG 19A AVENUE)		5.0m
	SOUTH (ALONG 19 AVENUE)		5.0 m
EAST		5.0m	
WEST (ALONG STREET)		5.0m	
<b>BLDG HEIGHT</b>	<b>PERMITTED</b>	<b>PROPOSED</b>	
		3 STOREY	
<b>DENSITY</b>	<b>PERMITTED</b>	<b>PROPOSED</b>	
UPA (UNITS PER ACRE)		24.3	
TOWNHOUSE DWELLING UNITS		49	

<b>SITE COVERAGE (NET)</b>	<b>(Sqft)</b>	<b>(Sqm)</b>	<b>(%age)</b>	<b>REMARKS</b>
PROPOSED	31916	2,965	36.40%	

PROPOSED FLOOR AREA SUMMARY	<b>FAR CALCULATION</b>									
	<b>GROSS AREA (EXCLUDING GARAGE &amp; AMENITY)</b>	<b>GARAGE (Sqft)</b>	<b>LVL-1 (Sqft)</b>	<b>TOTAL LVL-1 (Sqft)</b>	<b>LVL-2 (Sqft)</b>	<b>LVL-3 (Sqft)</b>	<b>ROOF TOP (Sqft.)</b>	<b>TOTAL (Sqft)</b>	<b>NO. OF UNITS</b>	<b>TOTAL FLOOR AREA (Sqft)</b>
	UNIT-A	416	213	629	583	657	1,433	37	55,021	
	UNIT-B	415	225	640	625	675	1,525	9	13,725	
	UNIT-C	415	322	737	708	770	1,800	3	5,400	
									49	72,146
									<b>TOTAL FAR (NET)</b>	<b>0.82</b>

OFF STREET PARKING	<b>PARKING REQUIREMENTS BREAKDOWN</b>				
	<b>RESIDENTIAL</b>	<b>NO. OF UNITS</b>	<b>PERMITTED</b>	<b>REQUIRED STALLS</b>	<b>PROVIDED STALLS</b>
	TOWHOUSE	49	2 CAR / UNIT	98	90
	VISITORS	49	0.2 CAR / UNIT	10	10
	<b>TOTAL</b>			<b>108</b>	<b>108</b>

AMENITY CALCULATIONS	<b>AMENITY</b>			
	<b>INDOOR AMENITY</b>	<b>Sqft</b>	<b>Sqm</b>	<b>REMARKS</b>
	REQUIRED	1,582	147	3 Sqm / UNIT AT GRADE
	PROPOSED	100	9	
	<b>OUTDOOR AMENITY</b>			<b>REMARKS</b>
FOR OTHER TOWNHOUSE	1,582	147	3 Sqm / UNIT AT GRADE	
PROPOSED @ GRADE	1,850	172		



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Date	Description

Issues / Revisions

Seal

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 A AVENUE SURREY, BRITISH COLUMBIA**

Drawn By GG	Date 2022-09-17
Checked By PV	Project ID SU_1982

Sheet Title  
**PROGRAM SUMMARY**

Scale

Sheet No.

**A-0.4**

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Issues / Revisions

Seal

Project Title  
**TOWNHOUSE DEVELOPMENT**

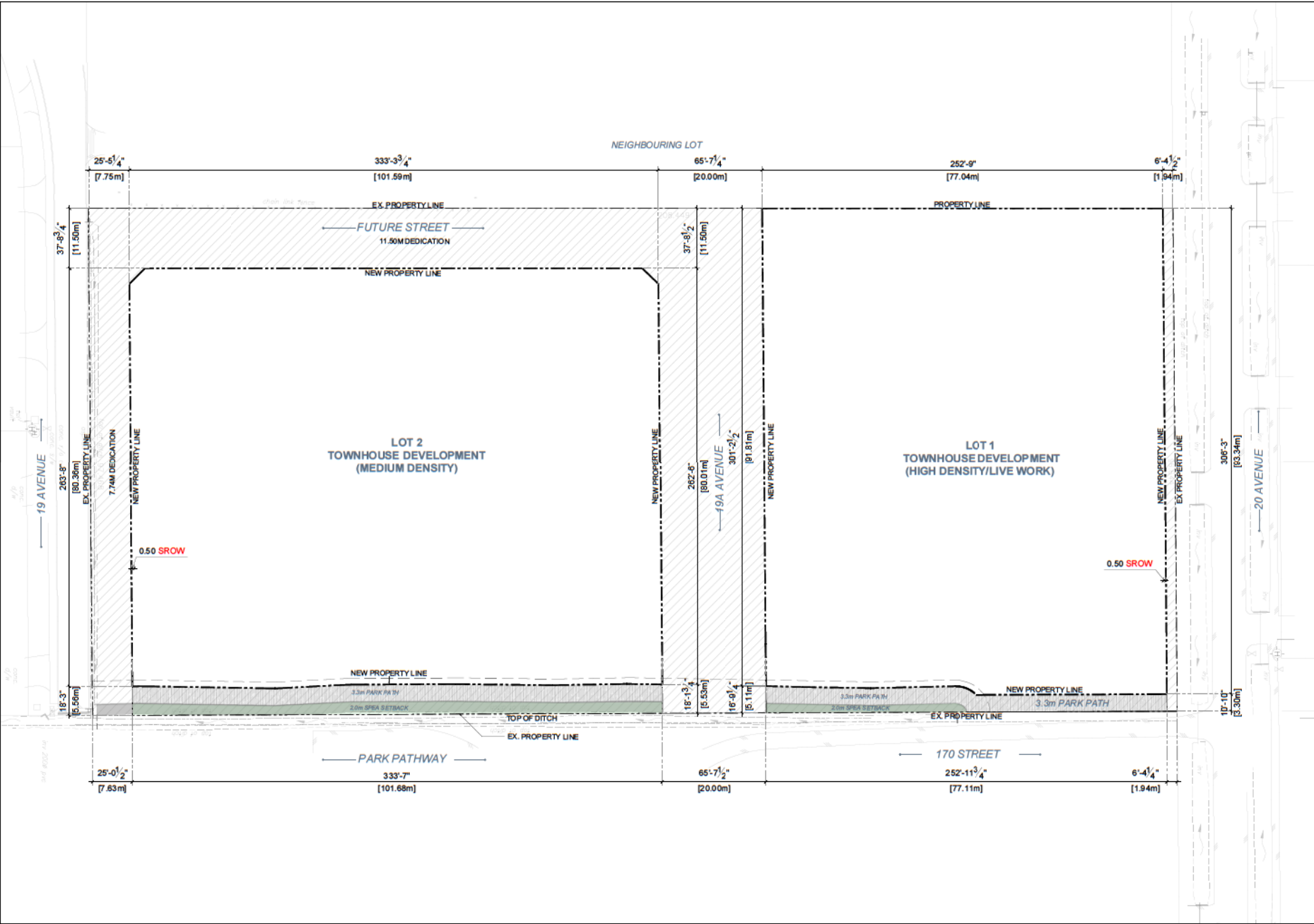
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**16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA**

Drawn By GG	Date 2022-09-17
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Sheet Title  
**BASE PLAN**

Scale

Sheet No.  
**A-0.5**



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**TOWNHOUSE DEVELOPMENT**

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Drawn By	Date
GG	2022-09-17

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JV	SL11982

Sheet Title  
**SITE PLAN**

Scale  
**NTS**

Sheet No.  
**A-1.0**

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2022-05-20	Reviewed/ comments
2022-08-17	Reviewed/Comments
2022-10-14	Reviewed/Comments
2022-01-24	DP Application
2022-07-20	Reviewed/Comments
2023-05-16	DP Application
2023-12-05	Reviewed/Comments

Issues / Revisions

Date	Description

Project Title

**TOWNHOUSE DEVELOPMENT**  
 Project Address  
**16982 20 AVENUE  
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Drawn By GG	Date 2023-09-17
Checked By PV	Project ID SU_16982

Sheet Title

**SITE PLAN  
 (LOT-1)**

Scale  
**NTS**

Sheet No.  
**A-1.1**



JUNE 25, 2024



**PMA**  
 ParaMorph  
 Architecture Inc  
 308-8088 17th Street, Surrey BC V3T 0R1  
 1600 West 2nd Avenue, Vancouver, BC V6L 1Y4  
 604-605-0118 | www.paramorph.com

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Issues / Revisions	
Date	Description

Project Title	
<b>TOWNHOUSE DEVELOPMENT</b>	
Project Address	
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Drawn By	Date
GG	2022-09-17
Checked By	Project ID
PV	SLU19882
Sheet Title	
<b>SITE PLAN (LOT-2)</b>	
Scale	
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<b>A-1.2</b>	



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2022-08-17	Revised/Comments
2022-05-20	Revised/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions

Seal

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
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 GG Date  
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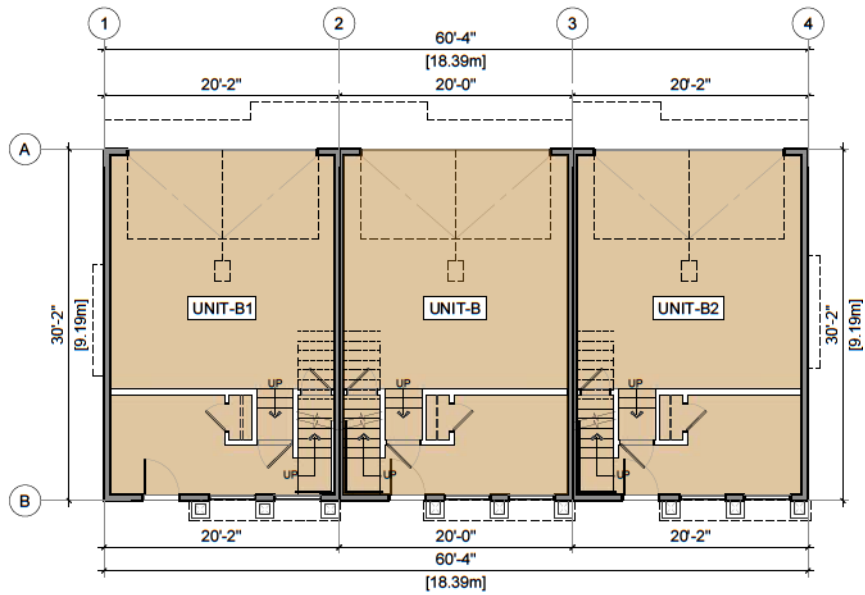
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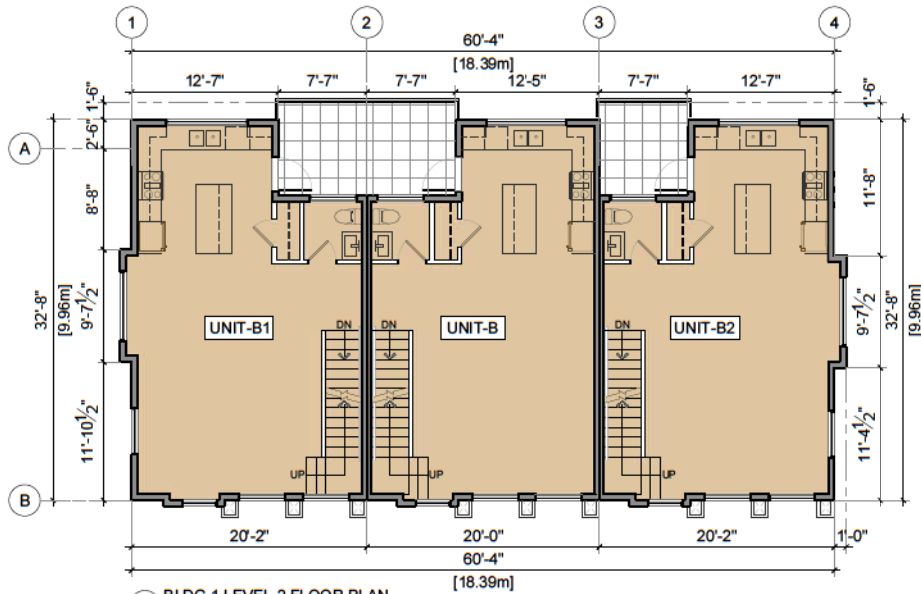
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**A-1.3**





1 BLDG 1 LEVEL 1 FLOOR PLAN



2 BLDG 1 LEVEL 2 FLOOR PLAN

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Issue No.	Description

**Project Title**  
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**Drawn By**  
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**Date**  
 2023-09-17

**Checked By**  
 JLV  
**Project ID**  
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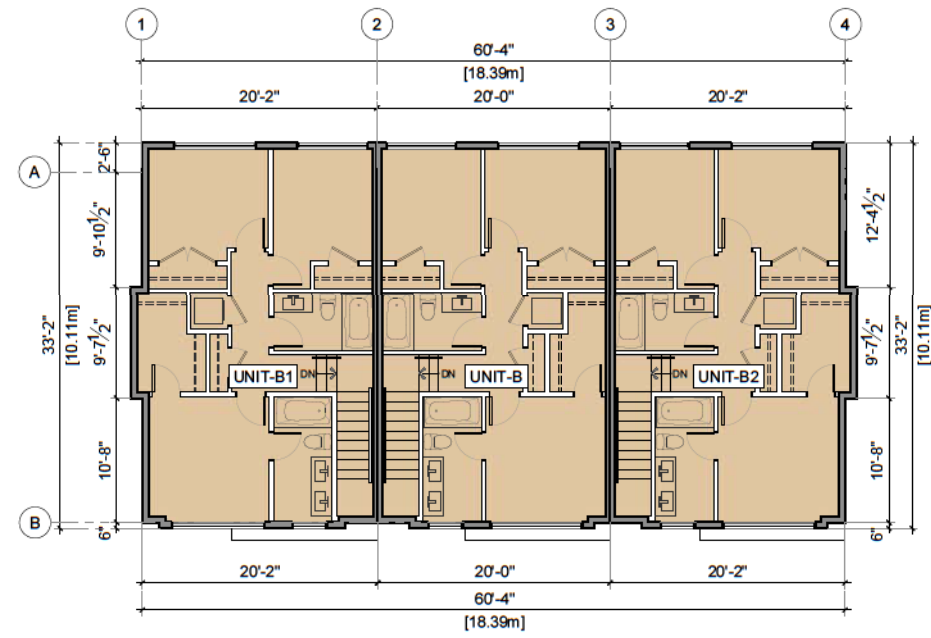
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 (LOT-1)

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 3/32" = 1'-0"

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**KEY PLAN**



3 BLDG 1 LEVEL 3 FLOOR PLAN

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**Issues / Revisions**

Issue / Revision	Date

**Project Title**  
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Drawn By GG	Date 2022-09-17
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**Sheet Title**  
 FLOOR PLANS  
 (LOT-1)

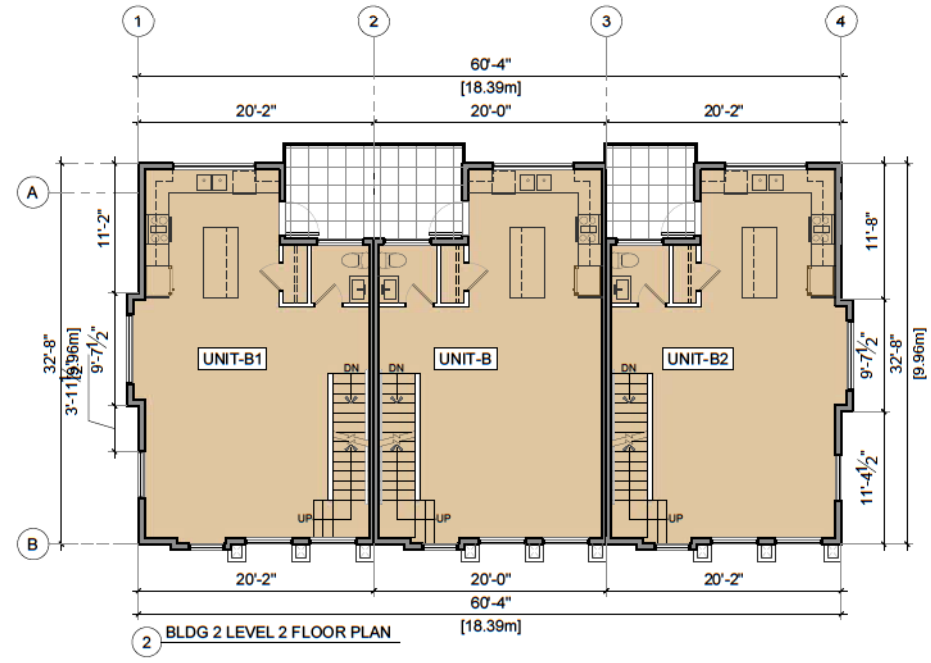
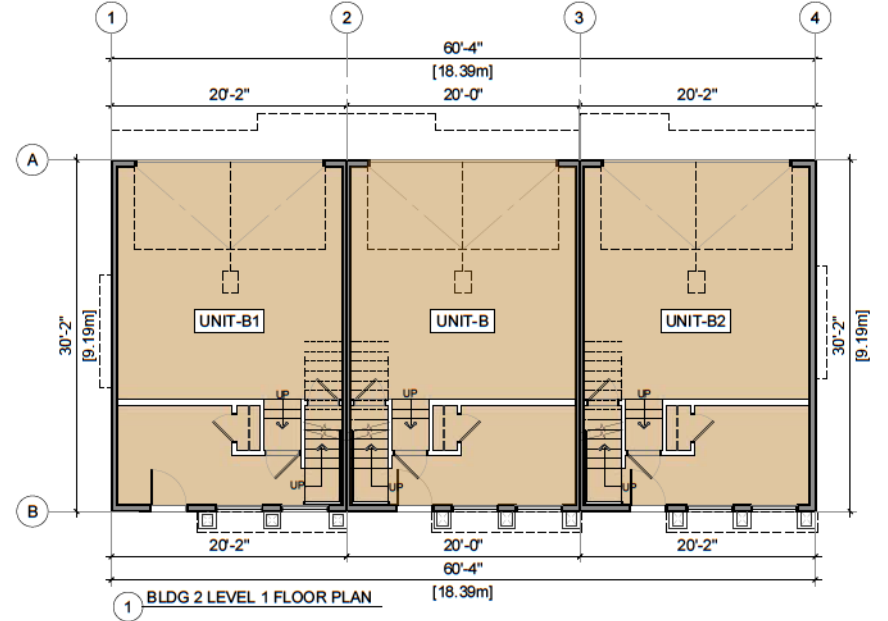
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Issues / Revisions

Seal

Project Title  
**TOWNHOUSE DEVELOPMENT**

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Drawn By  
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 2022-09-17

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Project ID  
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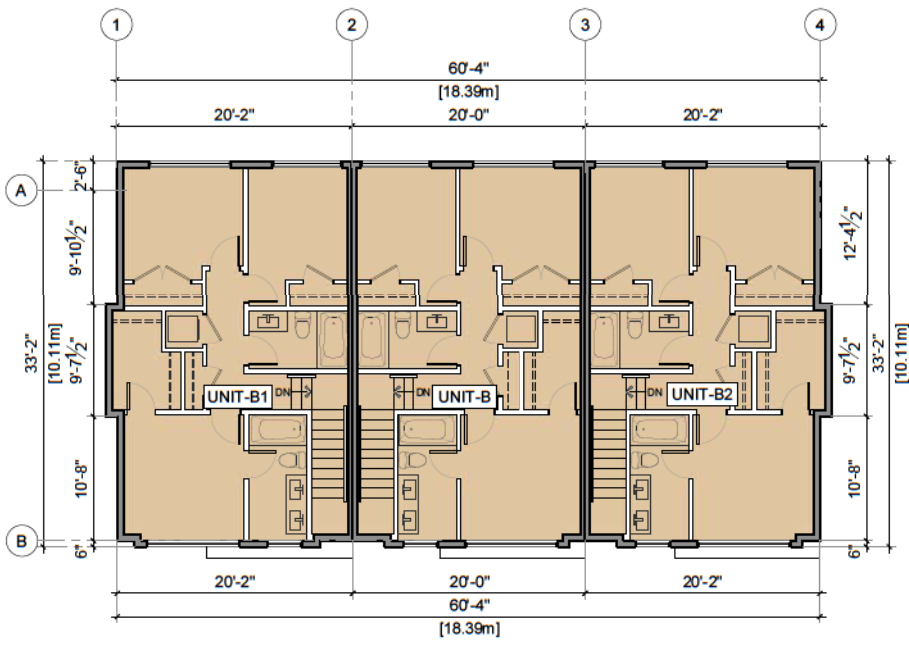
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 (LOT 1)**

Scale  
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**KEY PLAN**



3 BLDG 2 LEVEL 3 FLOOR PLAN

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**Issues / Revisions**

Issue No.	Description

**Project Title**  
TOWNHOUSE DEVELOPMENT

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Drawn By GG	Date 2022-09-17
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FLOOR PLANS  
(LOT 1)

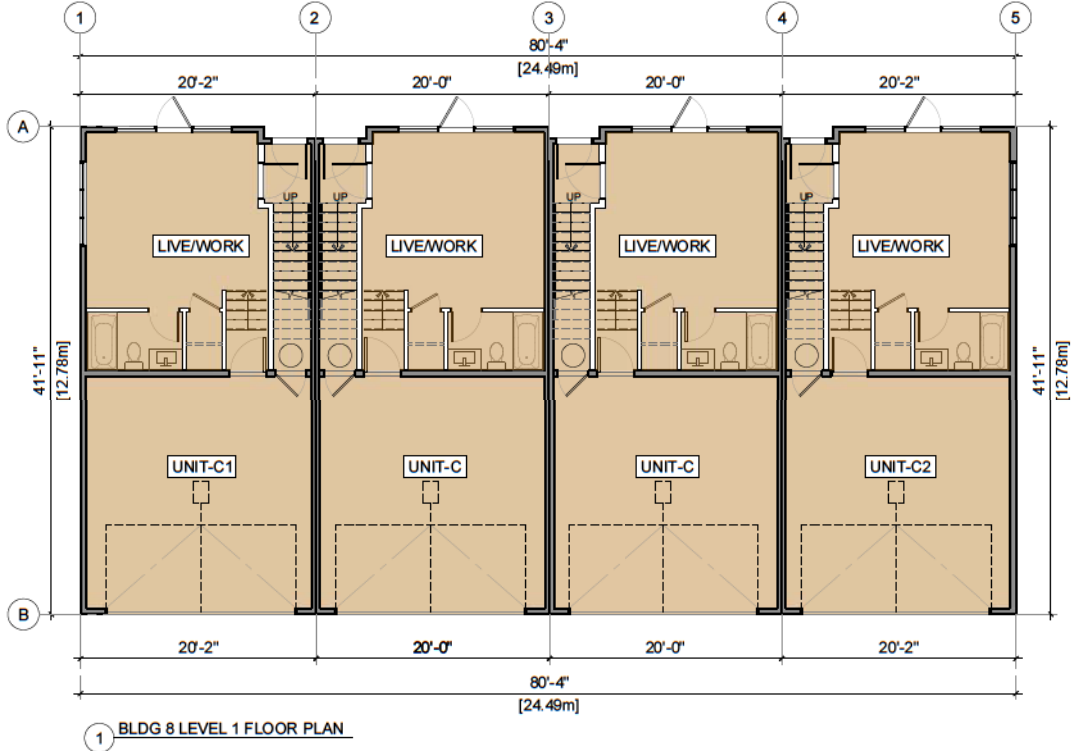
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**A-2.3**

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2022-01-24	DP Application
2023-07-20	Reviewed/Comments
2023-08-16	DP Application
2023-12-06	Reviewed/Comments

**Issues / Revisions**

Date	Description

**Project Title**  
 TOWNHOUSE DEVELOPMENT

**Project Address**  
 16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA

<b>Drawn By</b> GG	<b>Date</b> 2022-09-17
<b>Checked By</b> JV	<b>Project ID</b> SU_19842

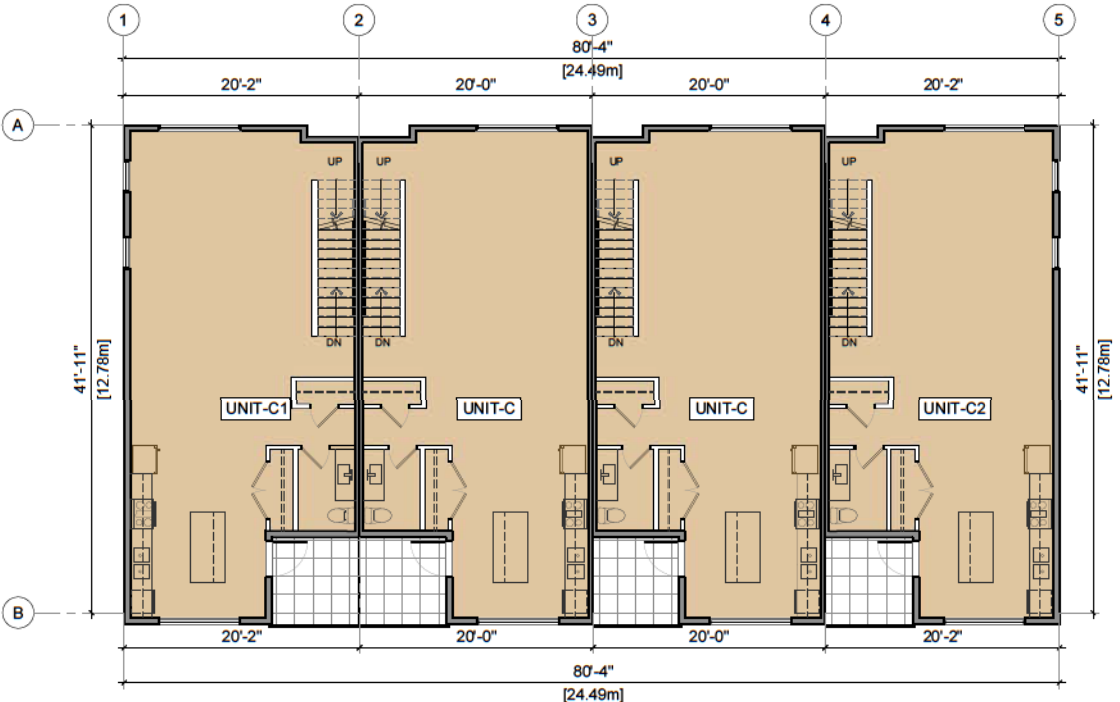
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 FLOOR PLANS  
 (LOT 1)

**Scale**  
 3/32" = 1'-0"

**Sheet No.**  
 A-2.4

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**KEY PLAN**



1 **BLDG 8 LEVEL 2 FLOOR PLAN**

Date	Description
2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

**Issues / Revisions**

Issue / Revision	Date	Description

**Project Title**  
 TOWNHOUSE DEVELOPMENT

**Project Address**  
 16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA

Drawn By GG	Date 2022-09-17
Checked By JV	Project ID SU_19842

**Sheet Title**  
 FLOOR PLANS  
 (LOT 1)

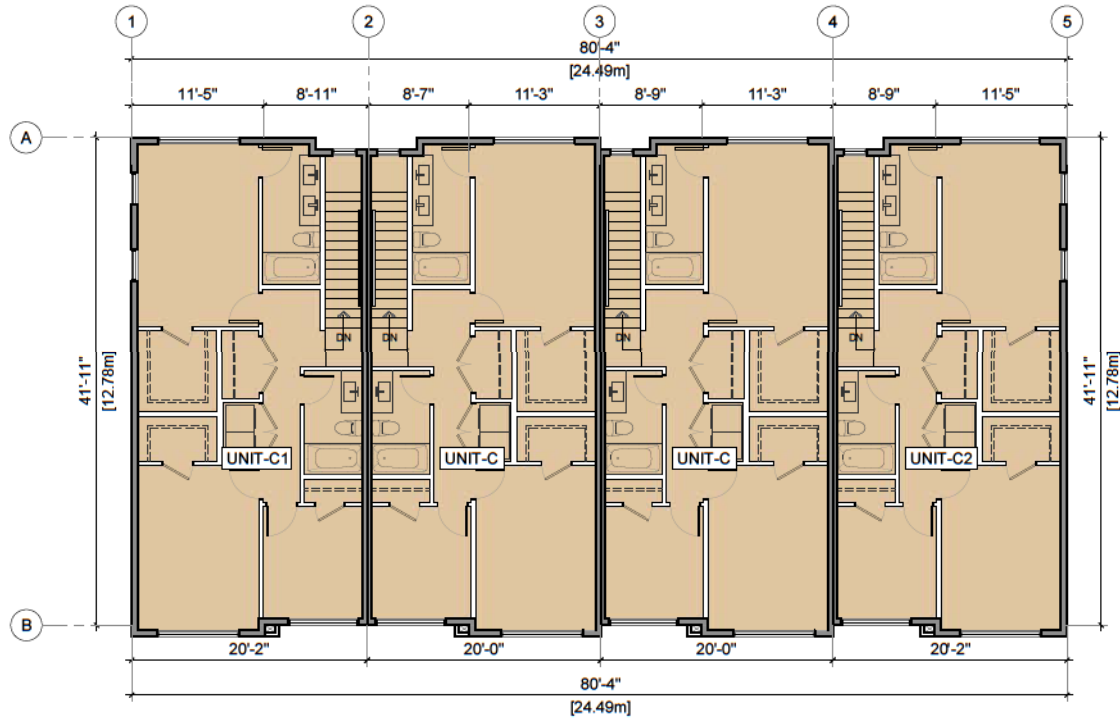
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 3/32" = 1'-0"

**Sheet No.**

**A-2.5**

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**KEY PLAN**



**3 BLDG 8 LEVEL 3 FLOOR PLAN**

Date	Description
2023-12-05	Revised/Comments
2023-08-16	DP Application
2023-07-20	Revised/Comments
2022-01-24	DP Application
2022-10-14	Revised/Comments
2022-08-17	Revised/Comments
2022-05-20	Revised/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

**Issues / Revisions**

Date	Description

**Project Title**  
 TOWNHOUSE DEVELOPMENT

**Project Address**  
 16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA

Drawn By GG	Date 2022-09-17
Checked By JV	Project ID SL_19842

**Sheet Title**  
 FLOOR PLANS  
 (LOT 1)

**Scale**  
 3/32" = 1'-0"

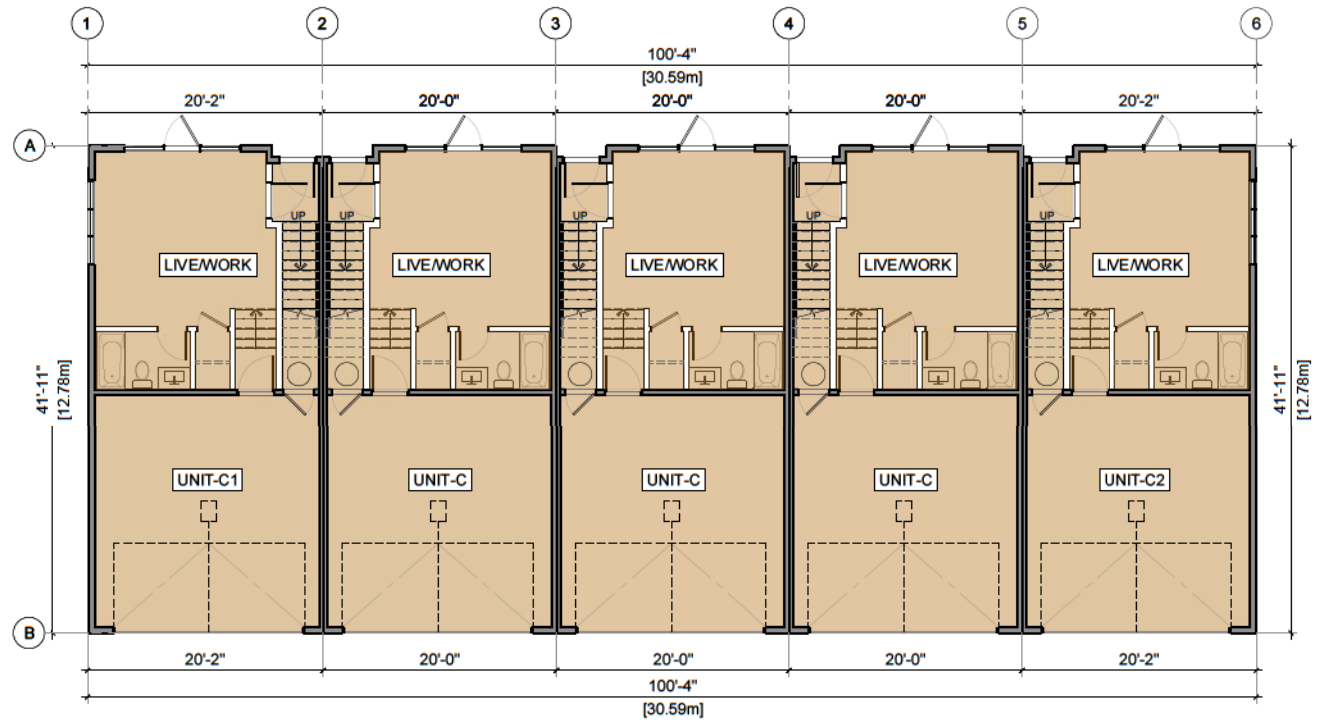
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**A-2.6**



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**KEY PLAN**



1 BLDG 9 LEVEL 1 FLOOR PLAN

Date	Description
2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions

Date	Description

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA**

Drawn By GG	Date 2022-09-17
Checked By JV	Project ID SU_16982

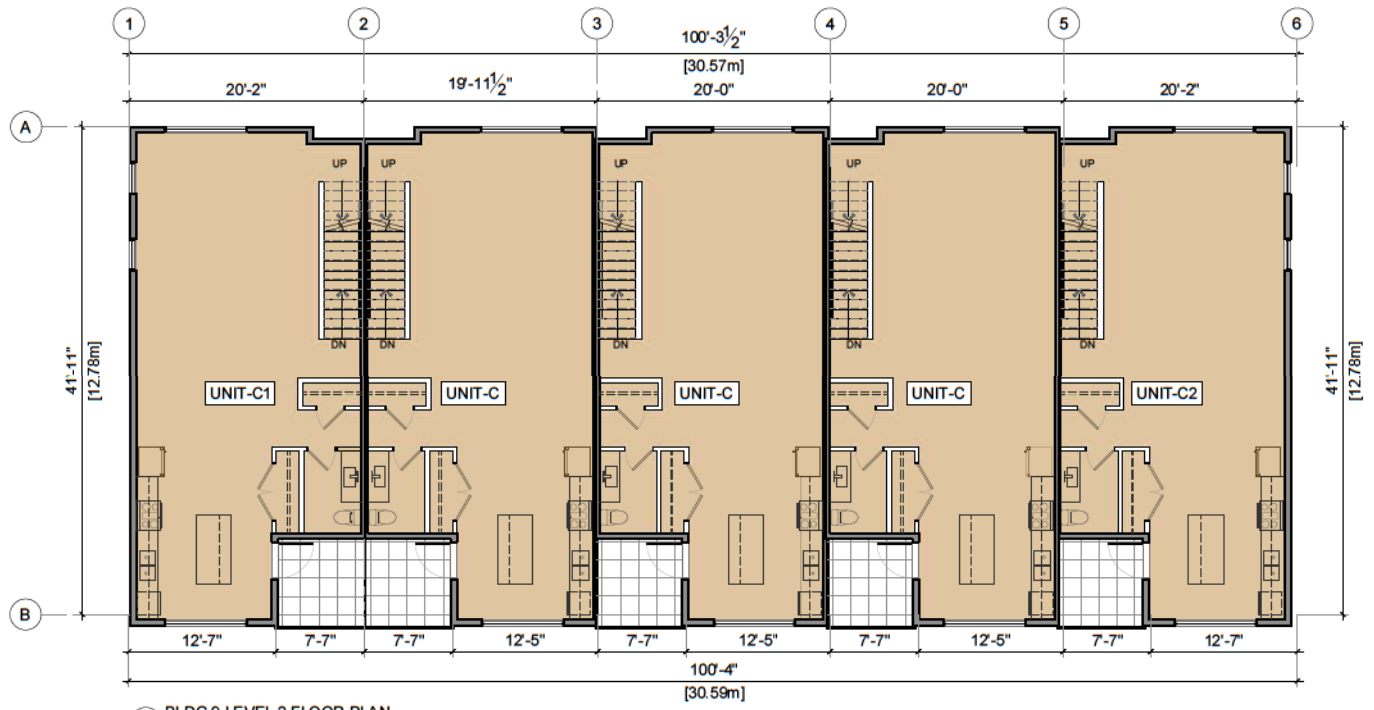
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 (LOT 1)**

Scale  
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Sheet No.  
**A-2.7**

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**KEY PLAN**



2 BLDG 9 LEVEL 2 FLOOR PLAN

Date	Description
2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions

Seal

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA**

Drawn By  
 GG Date  
 2022-09-17

Checked By  
 JV Project ID  
 SL\_19482

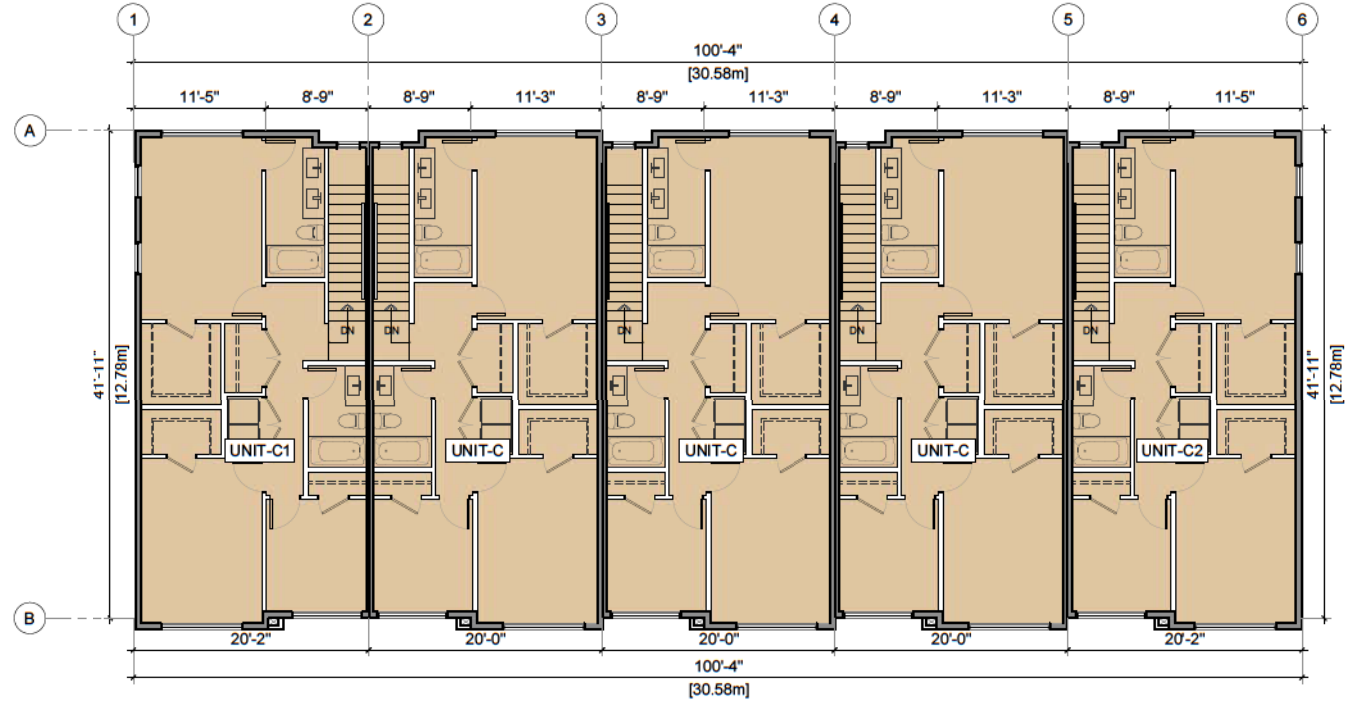
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 (LOT 1)**

Scale  
 3/32" = 1'-0"

Sheet No.  
**A-2.8**

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**KEY PLAN**



3 BLDG 9 LEVEL 3 FLOOR PLAN

Date	Description
2023-12-05	Revised/Comments
2023-08-16	DP Application
2023-07-20	Revised/Comments
2022-01-24	DP Application
2022-10-14	Revised/Comments
2022-08-17	Revised/Comments
2022-05-20	Revised/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

**Issues / Revisions**

Seal

**Project Title**  
 TOWNHOUSE DEVELOPMENT

**Project Address**  
 16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA

Drawn By GG	Date 2022-09-17
Checked By JV	Project ID SU_19842

**Sheet Title**  
 FLOOR PLANS  
 (LOT 1)

**Scale**  
 3/32" = 1'-0"

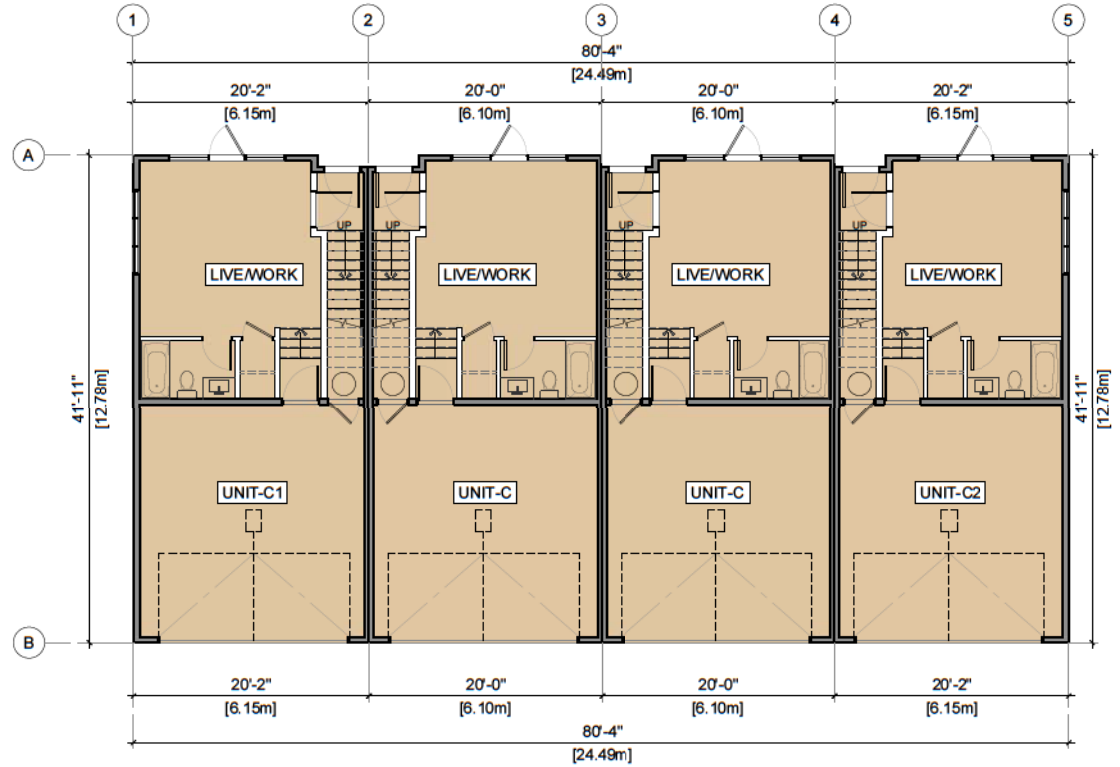
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**A-2.9**

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**KEY PLAN**

North arrow pointing up.



1 BLDG 10 LEVEL 1 FLOOR PLAN

Date	Description
2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions

Seal

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA**

Drawn By  
 GG Date  
 2022-09-17

Checked By  
 JY Project ID  
 SL\_19842

Sheet Title  
**SITE PLAN  
 (LOT 1)**

Scale  
 3/32" = 1'-0"

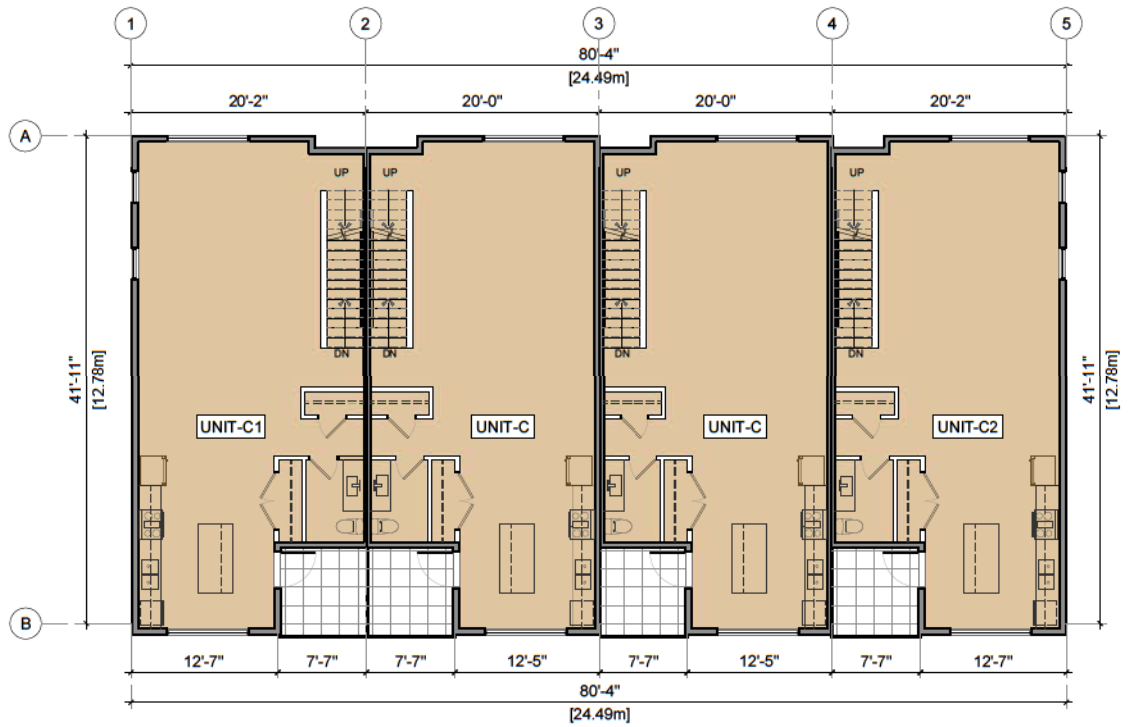
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**A-2.10**

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**KEY PLAN**

North arrow pointing up.



2 BLDG 10 LEVEL 2 FLOOR PLAN

Date	Description
2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions	
Date	Description

**Project Title**  
**TOWNHOUSE DEVELOPMENT**

**Project Address**  
**16982 20 AVENUE**  
**SURREY,**  
**BRITISH COLUMBIA**

Drawn By GG	Date 2022-09-17
Checked By JV	Project ID SU_19482

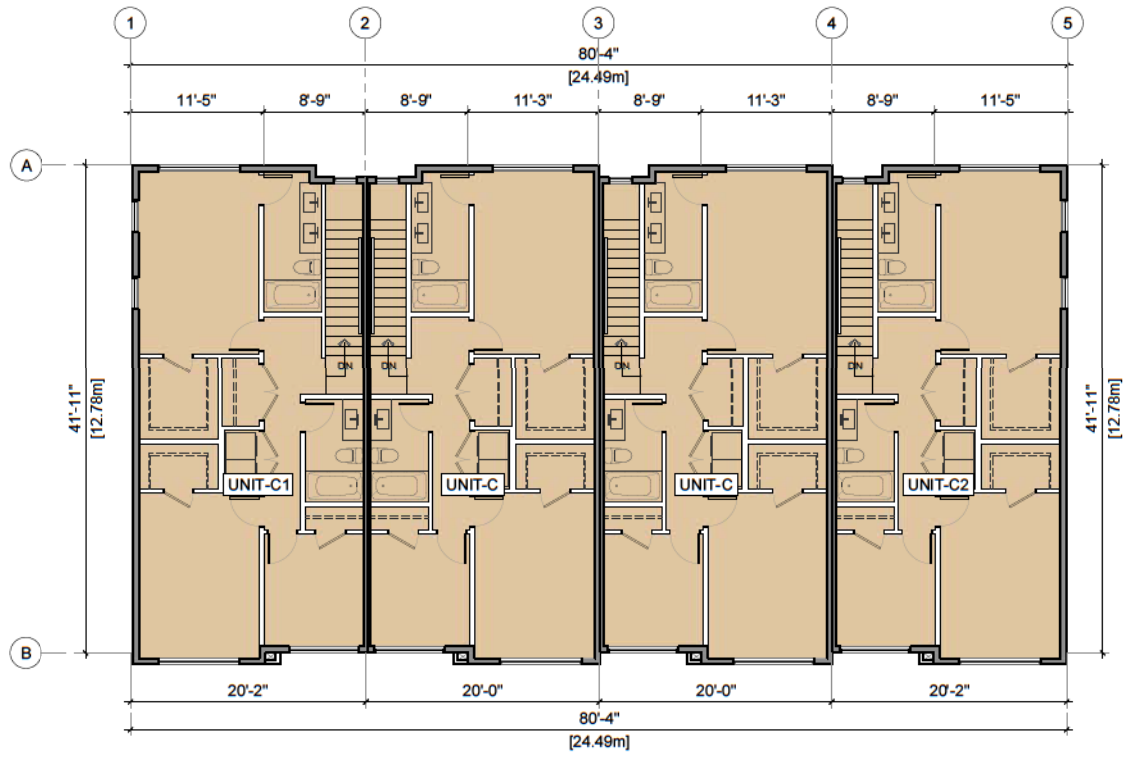
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**SITE PLAN**  
**(LOT 1)**

**Scale**  
 3/32" = 1'-0"

**Sheet No.**

**A-2.11**

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3 BLDG 10 LEVEL 3 FLOOR PLAN

Date	Description
2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

**Issues / Revisions**

Issue / Revision	Date

**Project Title**  
 TOWNHOUSE DEVELOPMENT

**Project Address**  
 16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA

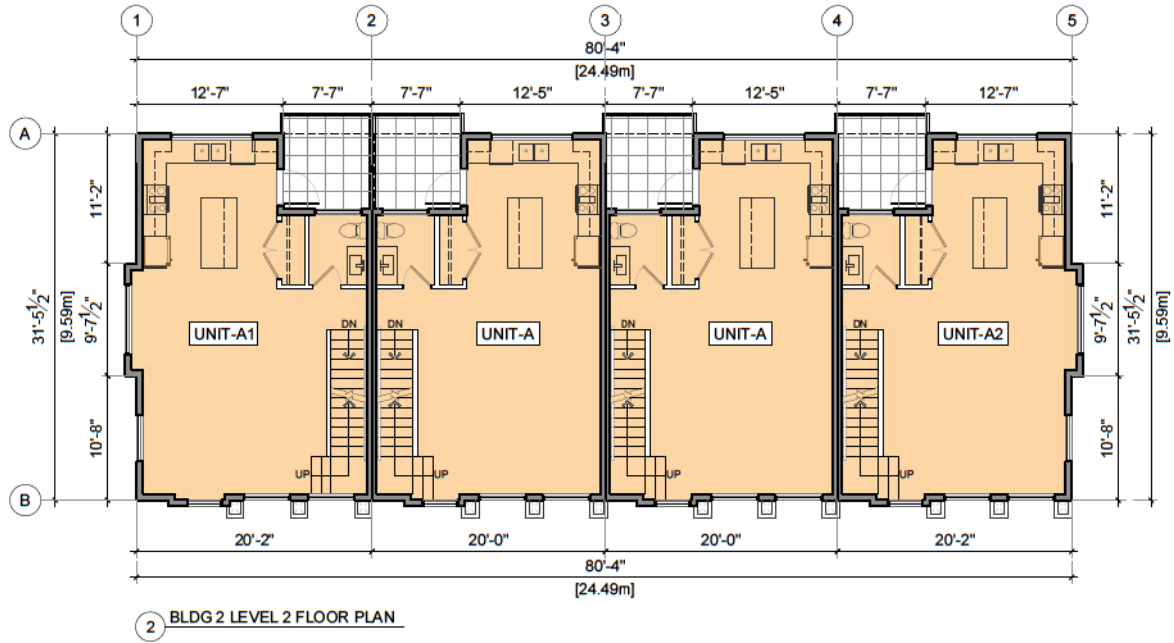
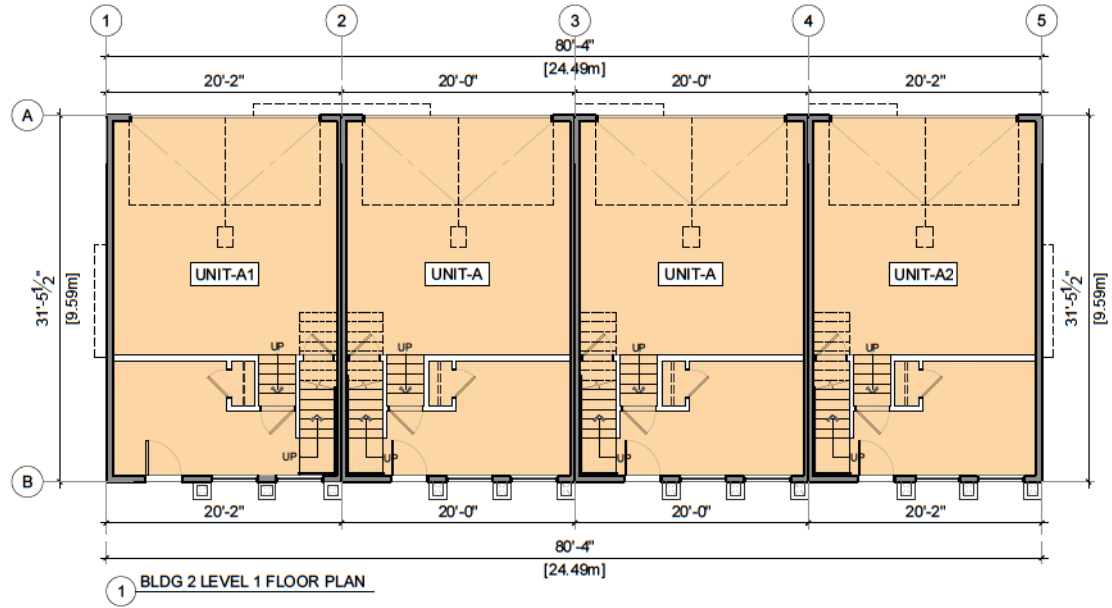
Drawn By GG	Date 2023-09-17
Checked By JV	Project ID SU_19842

**Sheet Title**  
 SITE PLAN  
 (LOT 1)

**Scale**  
 3/32" = 1'-0"

**Sheet No.**

**A-2.12**



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**KEY PLAN**

North Arrow: N

Date	Description
2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

**Issues / Revisions**

Date	Description

**Project Title**  
 TOWNHOUSE DEVELOPMENT

**Project Address**  
 16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA

**Drawn By**  
 GG

**Date**  
 2023-09-17

**Checked By**  
 JY

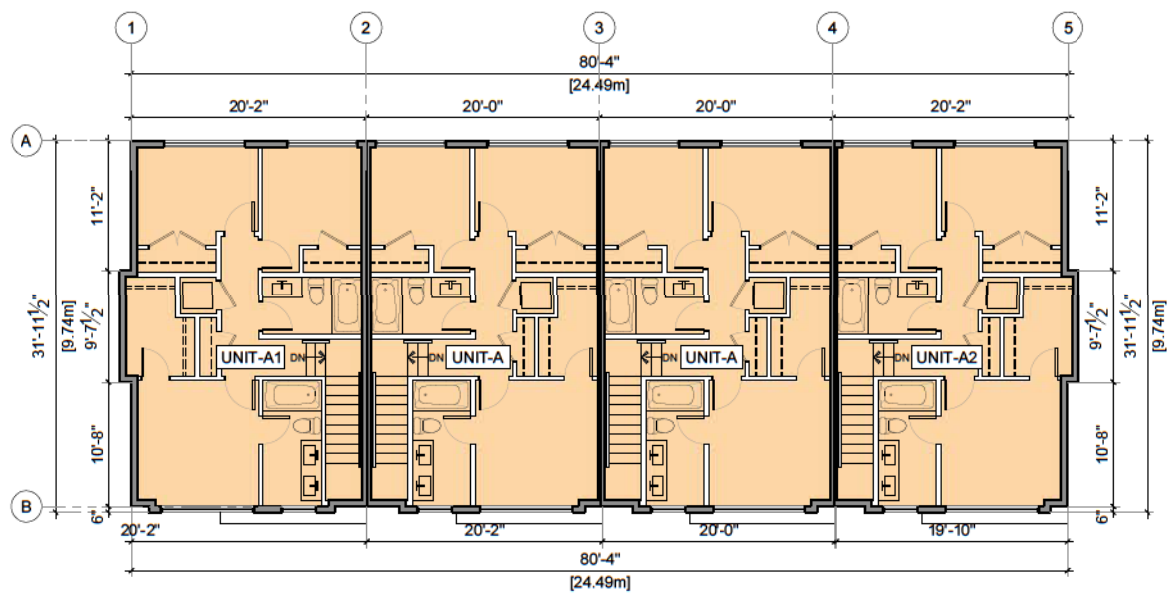
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 SL\_19482

**Sheet Title**  
 FLOOR PLANS  
 (LOT 2)

**Scale**  
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**Sheet No.**  
 A-2.13

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3 BLDG 2 LEVEL 3 FLOOR PLAN

Date	Description
2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions

Seal

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA**

Drawn By GG	Date 2023-09-17
Checked By JV	Project ID SL_19842

Sheet Title  
**FLOOR PLANS  
 (LOT 2)**

Scale  
 3/32" = 1'-0"

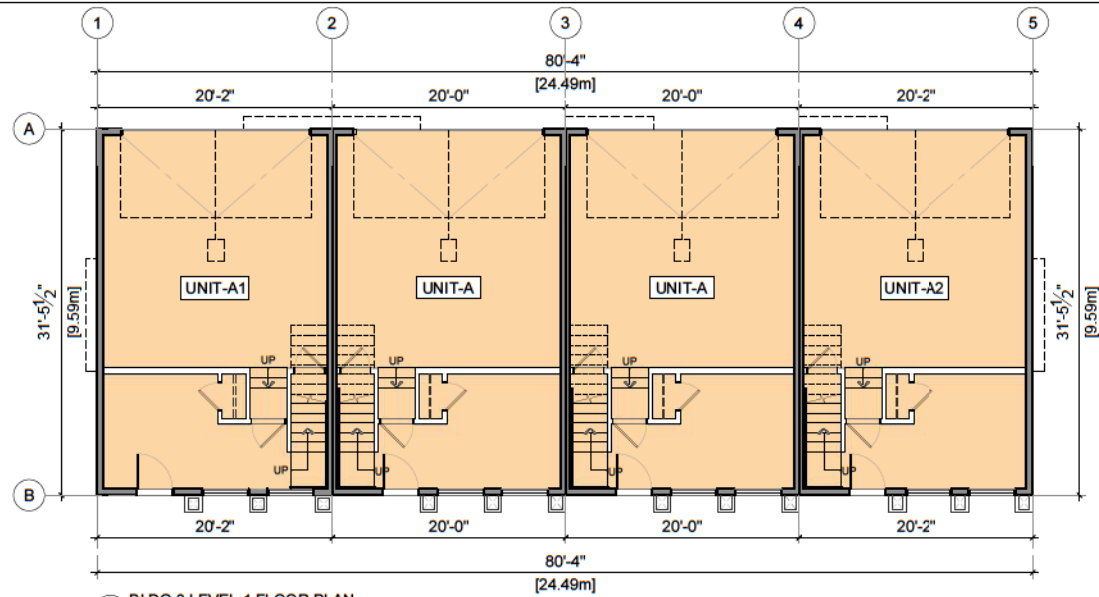
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**A-2.14**

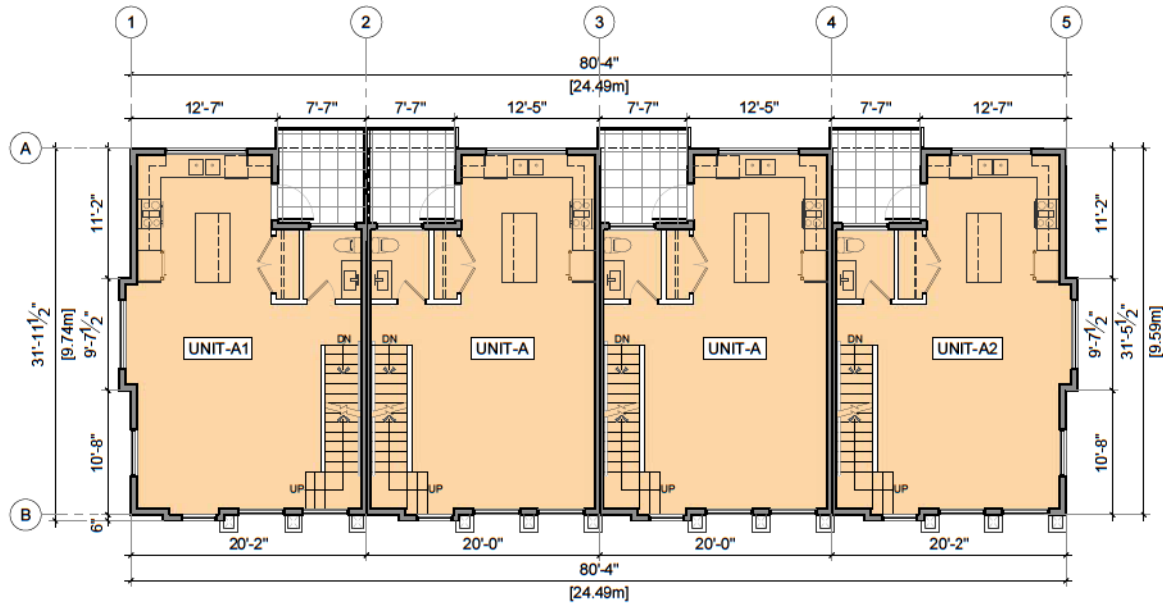


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**KEY PLAN**



1 BLDG 3 LEVEL 1 FLOOR PLAN



2 BLDG 3 LEVEL 2 FLOOR PLAN

Date	Description
2023-12-05	Revised/Comments
2023-08-16	DP Application
2023-07-20	Revised/Comments
2022-01-24	DP Application
2022-10-14	Revised/Comments
2022-08-17	Revised/Comments
2022-05-20	Revised/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions

Seal

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA**

Drawn By  
 GG Date  
 2022-09-17

Checked By  
 JV Project ID  
 24\_1982

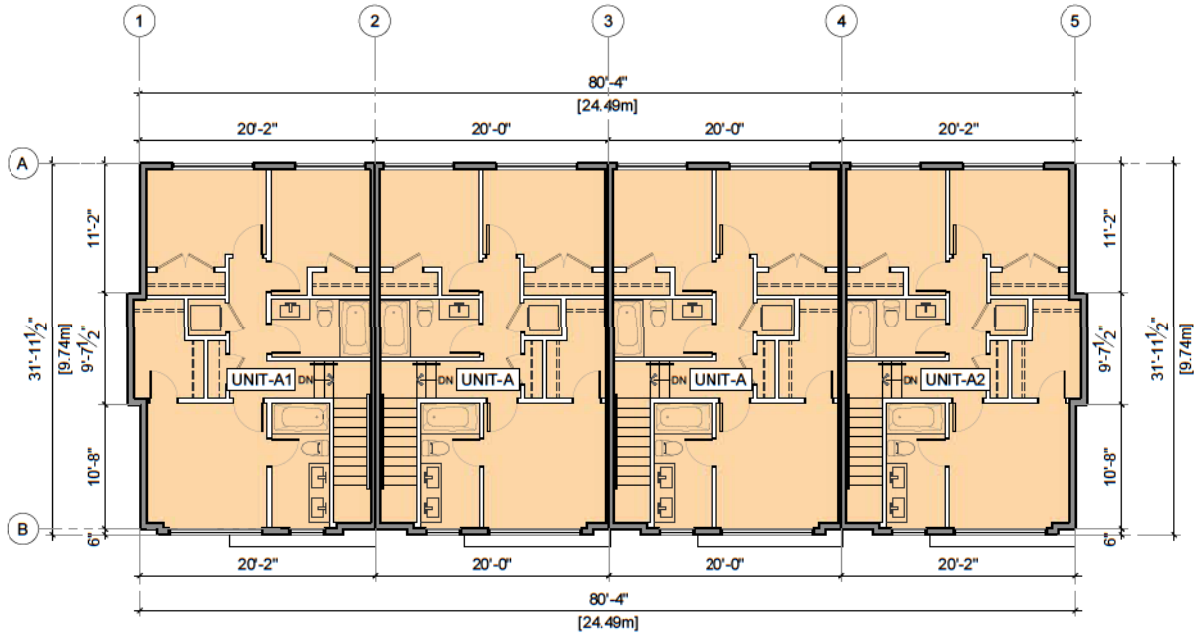
Sheet Title  
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 (LOT 2)**

Scale  
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Sheet No.  
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**KEY PLAN**



3 BLDG 3 LEVEL 3 FLOOR PLAN

Date	Description
2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

**Issues / Revisions**

Issue No.	Description

**Project Title**  
 TOWNHOUSE DEVELOPMENT

**Project Address**  
 16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA

Drawn By GG	Date 2022-09-17
Checked By JV	Project ID SU_16982

**Sheet Title**  
 FLOOR PLANS  
 (LOT 2)

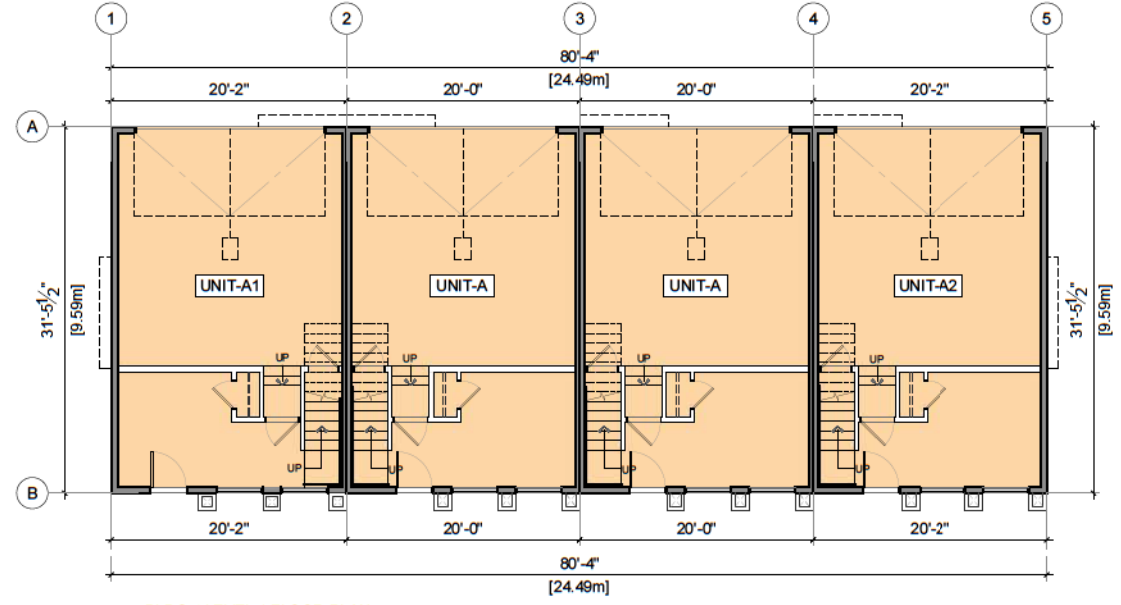
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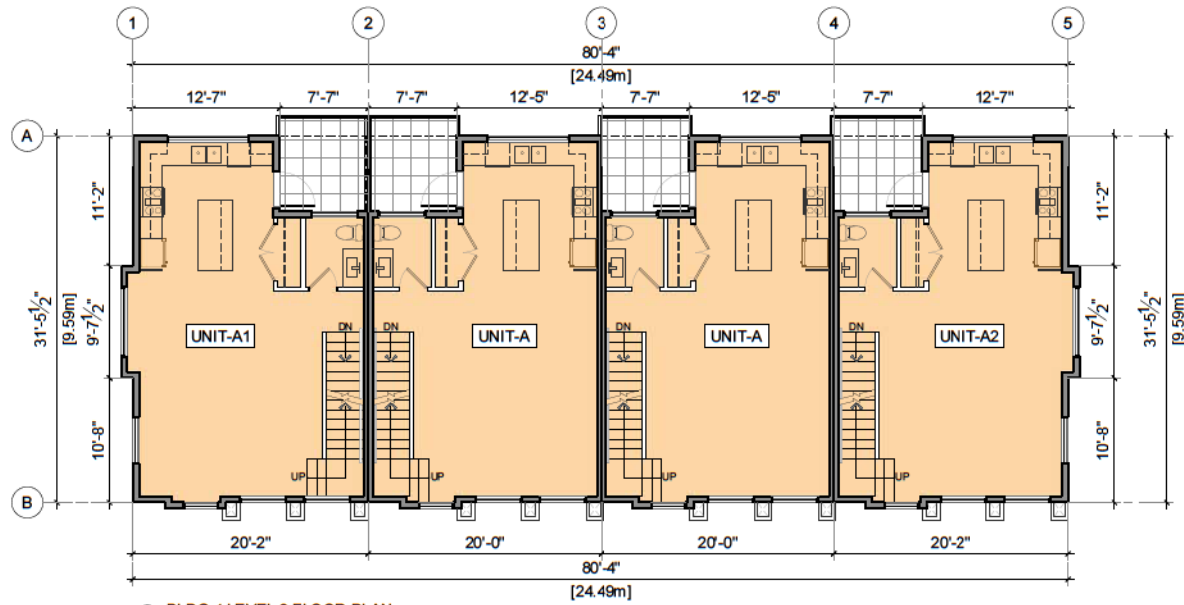
**A-2.16**

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**KEY PLAN**



1 BLDG 4 LEVEL 1 FLOOR PLAN



2 BLDG 4 LEVEL 2 FLOOR PLAN

Date	Description
2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2021-01-10	Preliminary Application
2021-11-30	Preliminary Application

**Issues / Revisions**

Seal

**Project Title**  
 TOWNHOUSE DEVELOPMENT

**Project Address**  
 16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA

**Drawn By**  
 GG

**Date**  
 2023-09-17

**Checked By**  
 JV

**Project ID**  
 SU\_19482

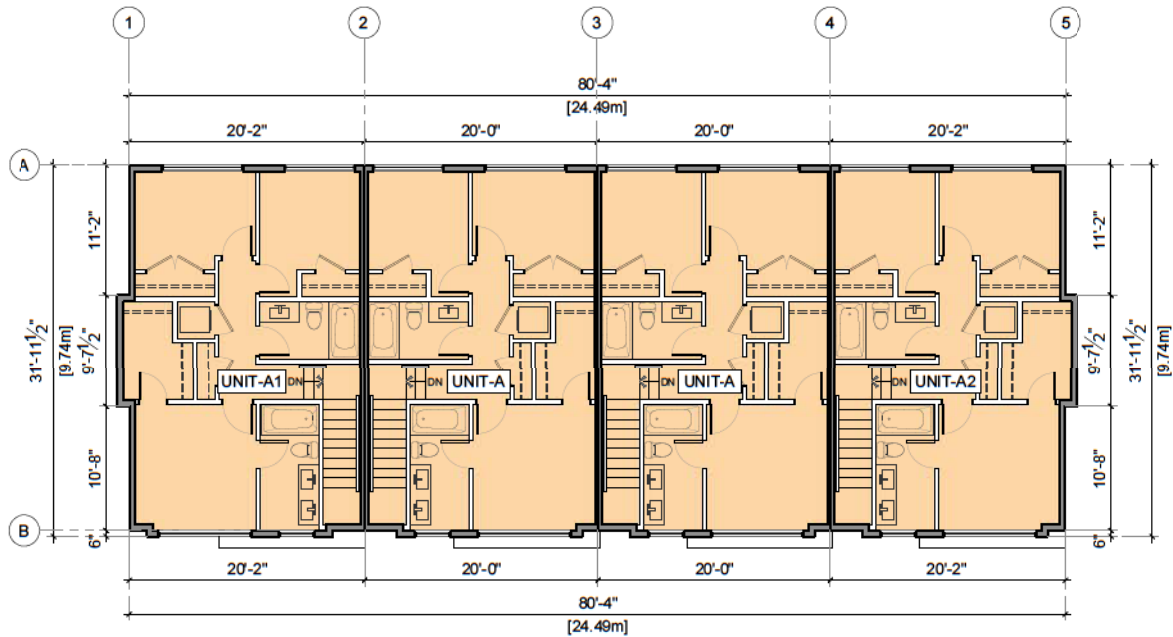
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 FLOOR PLANS  
 (LOT 2)

**Scale**  
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**Sheet No.**  
 A-2.17

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**KEY PLAN**



3 BLDG 4 LEVEL 3 FLOOR PLAN

Date	Description
2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

**Issues / Revisions**

Issue / Revision	Date	Description

**Project Title**  
 TOWNHOUSE DEVELOPMENT

**Project Address**  
 16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA

Drawn By GG	Date 2022-09-17
Checked By JV	Project ID SU_19842

**Sheet Title**  
 FLOOR PLANS  
 (LOT 2)

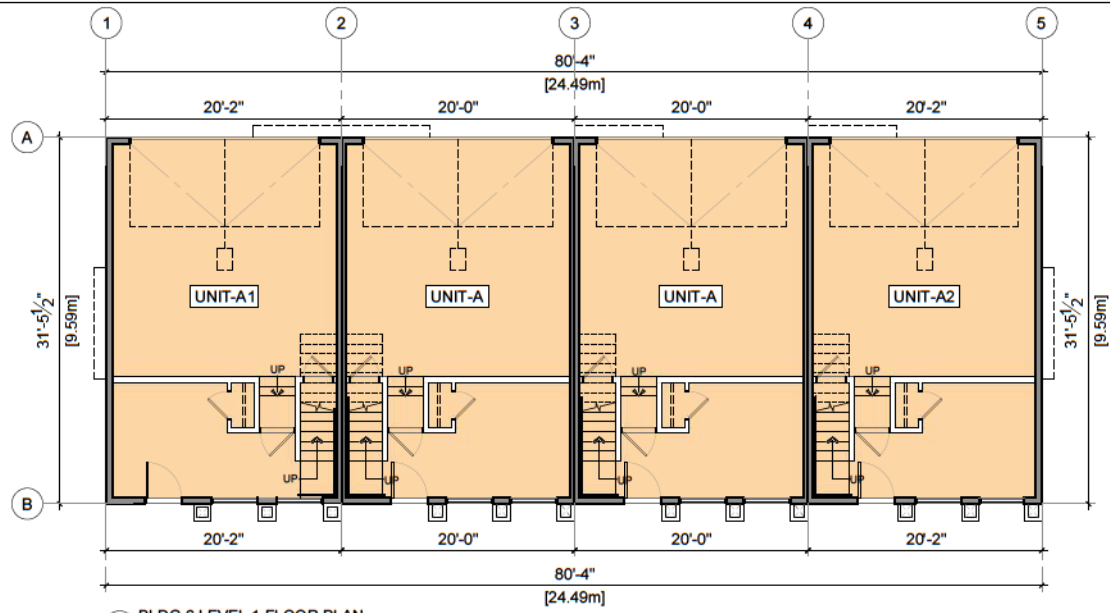
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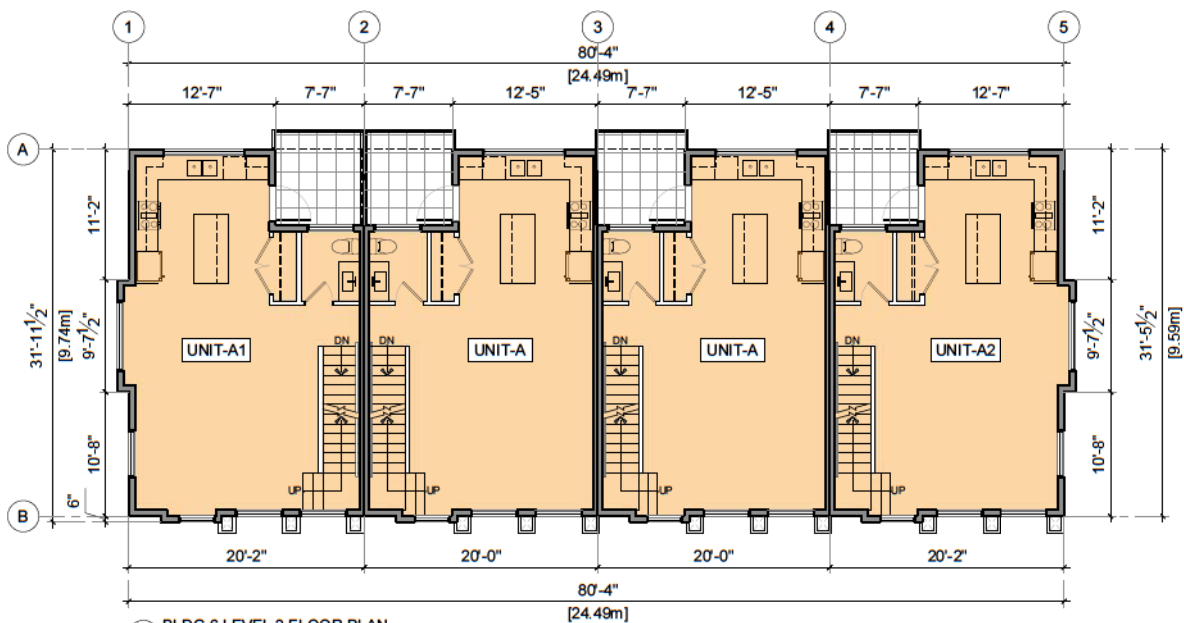
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**KEY PLAN**



1 BLDG 6 LEVEL 1 FLOOR PLAN



2 BLDG 6 LEVEL 2 FLOOR PLAN

Date	Description
2023-12-06	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2021-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions

Seal

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA**

Drawn By  
 GG Date  
 2022-09-17

Checked By  
 JV Project ID  
 24\_16982

Sheet Title  
**FLOOR PLANS  
 (LOT 2)**

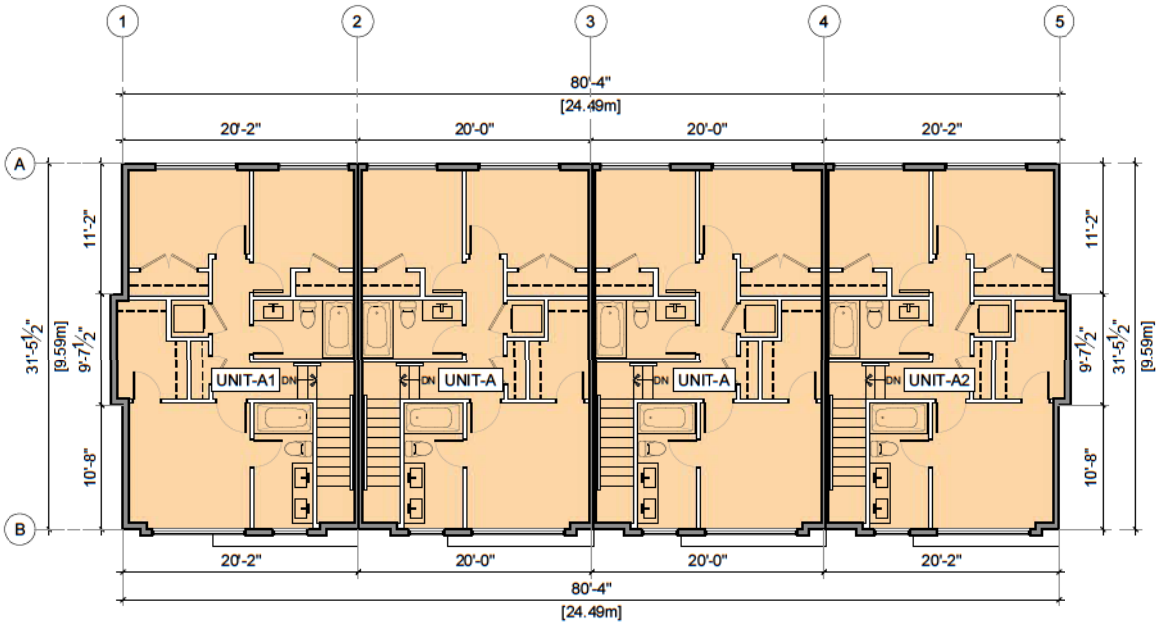
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Sheet No.

**A-2.19**

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**KEY PLAN**



3 BLDG 6 LEVEL 3 FLOOR PLAN

Date	Description
2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

**Issues / Revisions**

Issue / Revision	Date	Description

**Project Title**  
 TOWNHOUSE DEVELOPMENT

**Project Address**  
 16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA

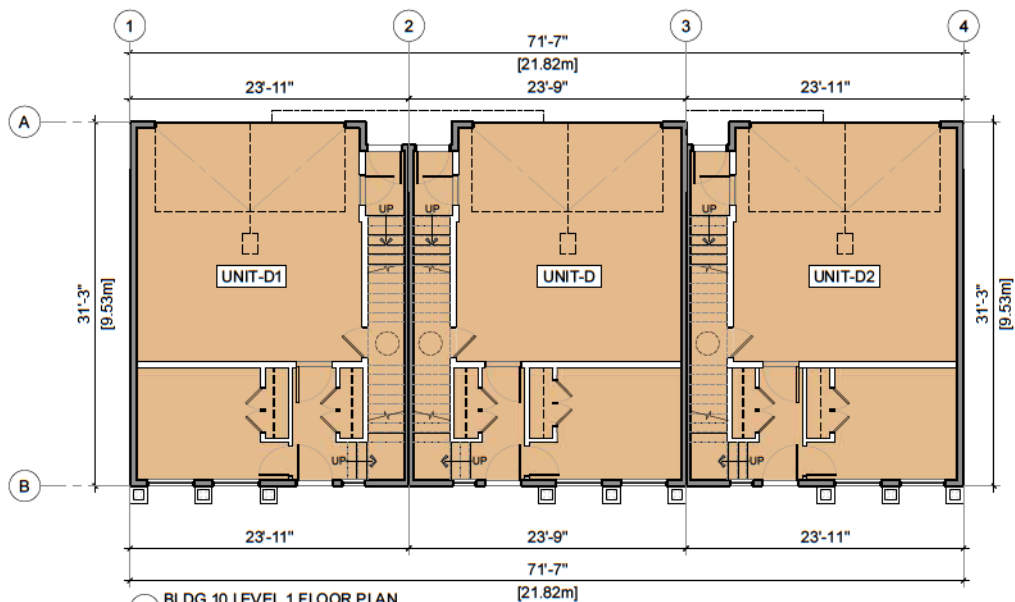
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Checked By JV	Project ID SL_1982

**Sheet Title**  
 FLOOR PLANS  
 (LOT 2)

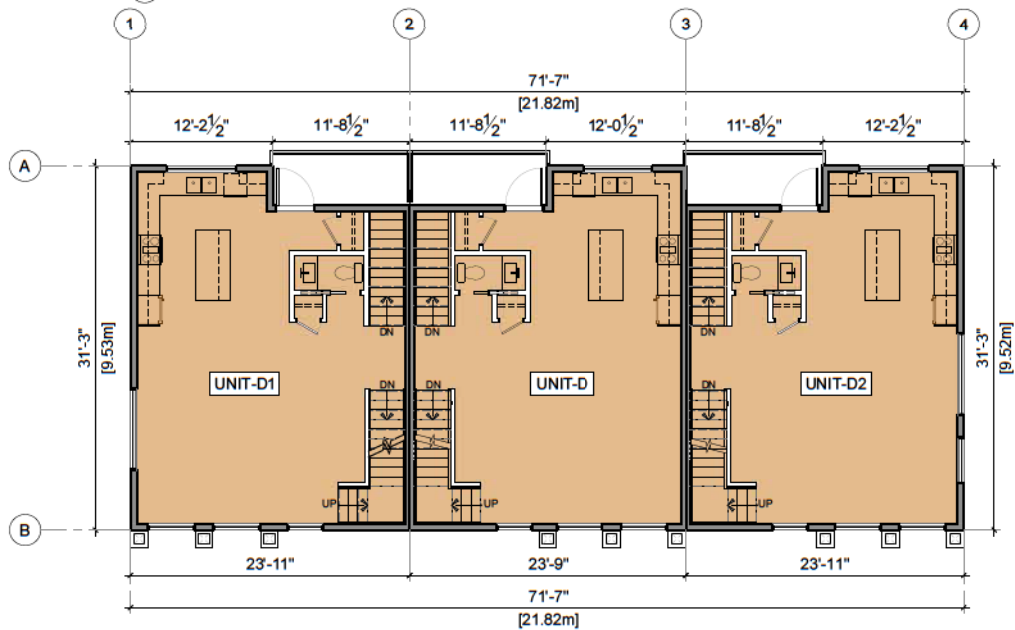
**Scale**  
 3/32" = 1'-0"

**Sheet No.**

**A-2.20**



1 BLDG 10 LEVEL 1 FLOOR PLAN



2 BLDG 10 LEVEL 2 FLOOR PLAN

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**KEY PLAN**



Date	Description
2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

**Issues / Revisions**

Issue / Revision	Date

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
SURREY,  
BRITISH COLUMBIA**

Drawn By  
GG  
Date  
2023-09-17

Checked By  
JV  
Project ID  
SL\_16982

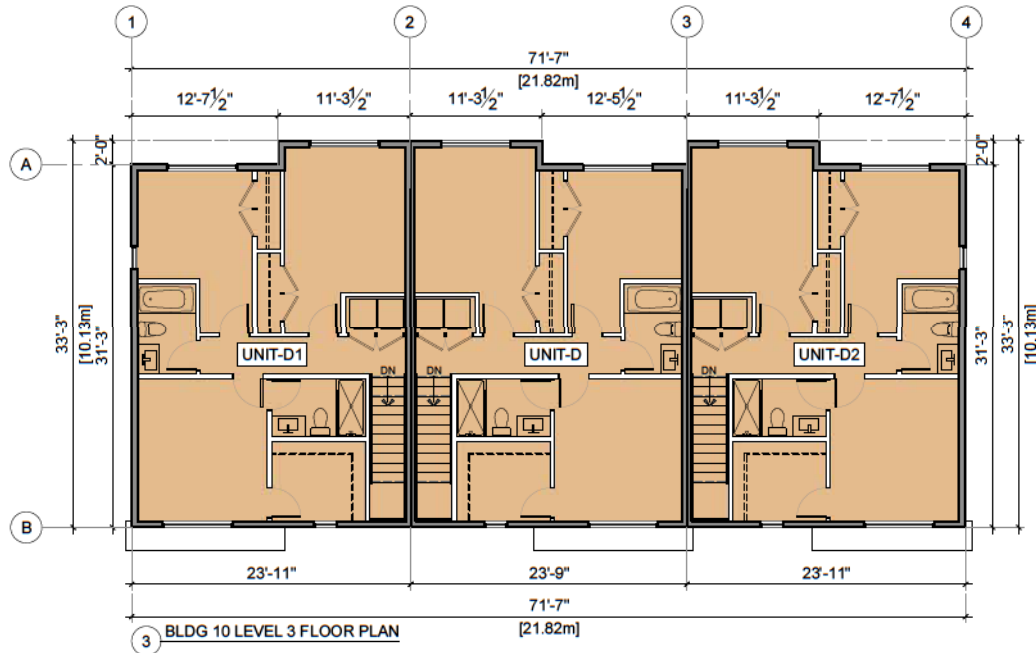
Sheet Title  
**FLOOR PLANS  
(LOT 2)**

Scale  
3/32" = 1'-0"

Sheet No.

**A-2.21**

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Date	Description
2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

**Issues / Revisions**

Date	Description

**Project Title**  
 TOWNHOUSE DEVELOPMENT

**Project Address**  
 16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA

Drawn By GG	Date 2022-09-17
Checked By JV	Project ID SU_19842

**Sheet Title**  
 FLOOR PLANS  
 (LOT 2)

**Scale**  
 3/32" = 1'-0"

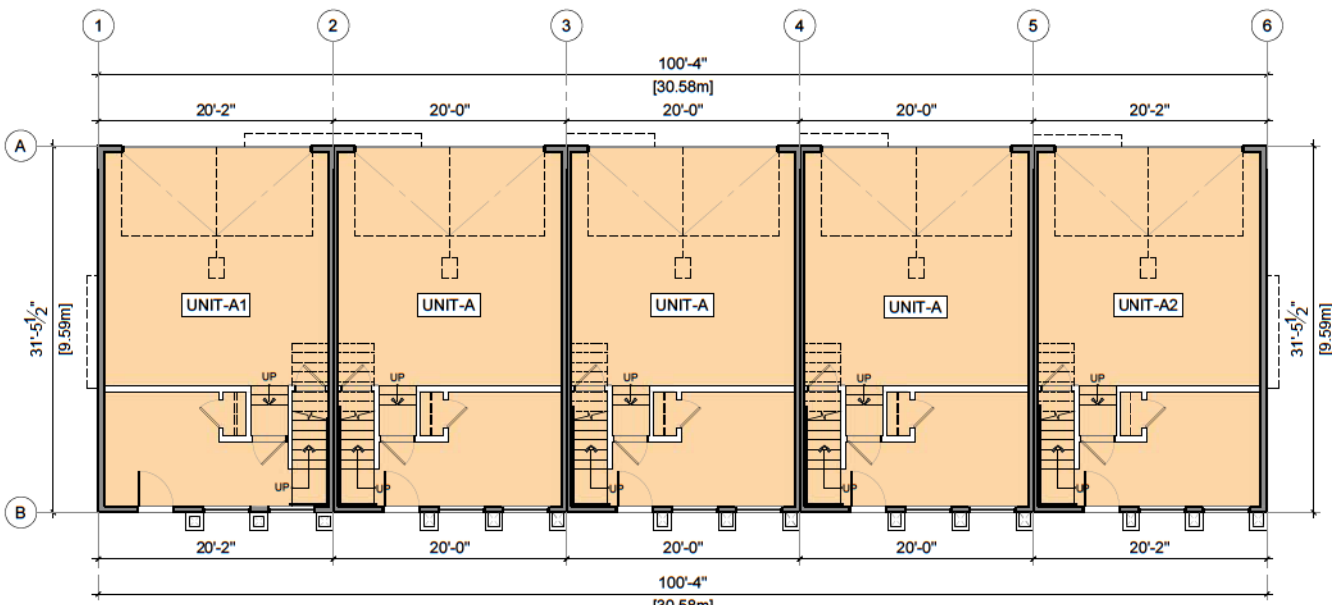
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**A-2.22**

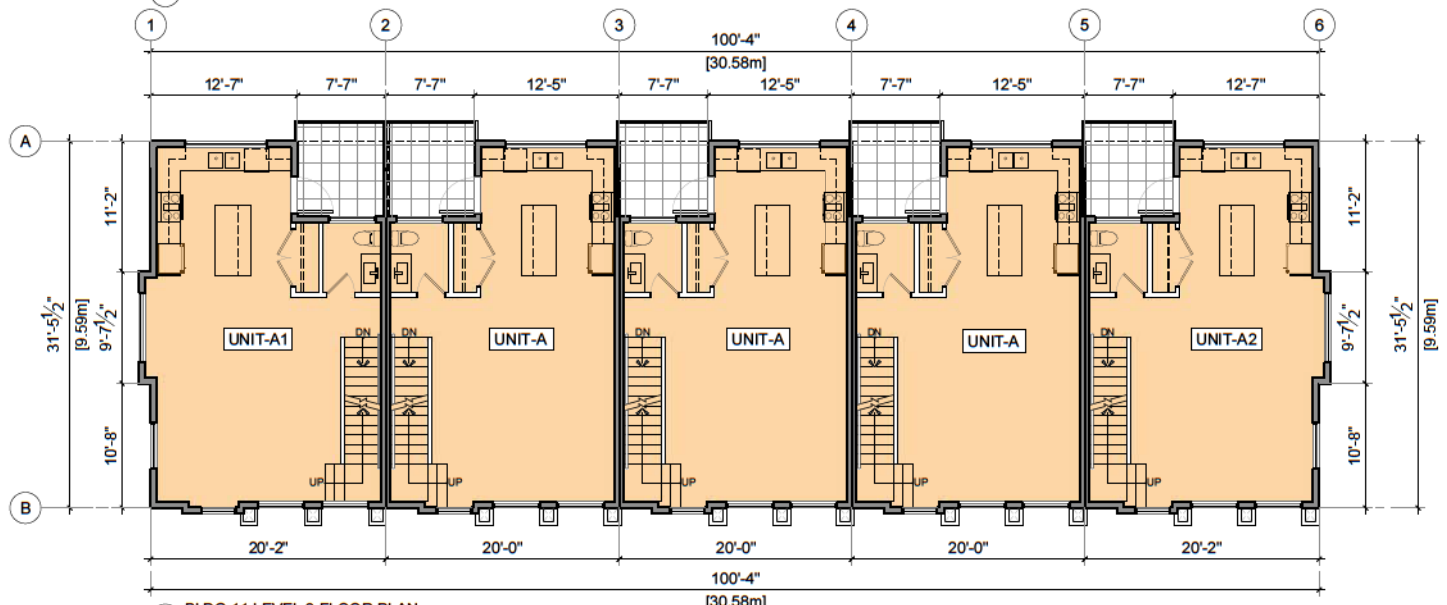


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**KEY PLAN**



1 BLDG 11 LEVEL 1 FLOOR PLAN



2 BLDG 11 LEVEL 2 FLOOR PLAN

Date	Description
2023-12-05	Revised/Comments
2023-08-16	DP Application
2023-07-20	Revised/Comments
2022-01-24	DP Application
2022-10-14	Revised/Comments
2022-08-17	Revised/Comments
2022-05-20	Revised/Comments
2022-03-21	Preliminary Application
2021-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions

Seal

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA**

Drawn By  
 GG Date  
 2023-09-17

Checked By  
 JYV Project ID  
 SL\_16982

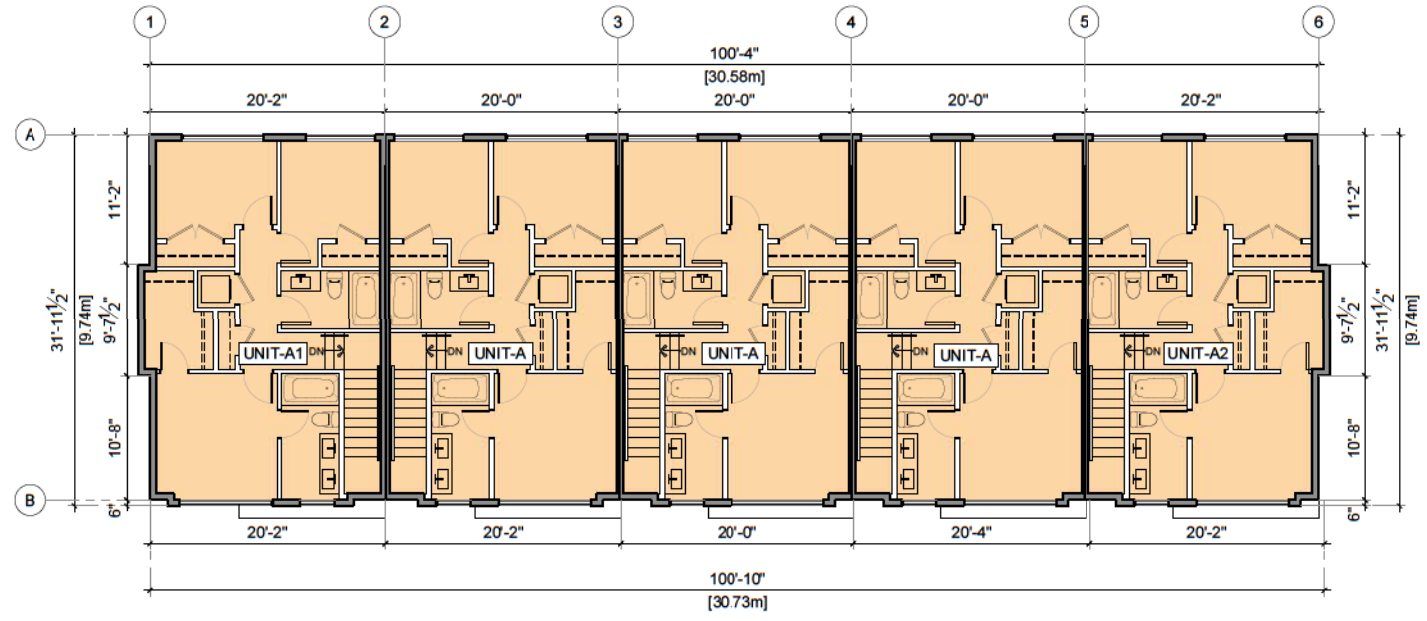
Sheet Title  
**FLOOR PLANS  
 (LOT 2)**

Scale  
 3/32" = 1'-0"

Sheet No.

**A-2.23**

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3 BLDG 11 LEVEL 3 FLOOR PLAN

Date	Description
2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions

Seal

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA**

Drawn By GG	Date 2022-09-17
Checked By JV	Project ID SU_19842

Sheet Title  
**FLOOR PLANS  
 (LOT 2)**

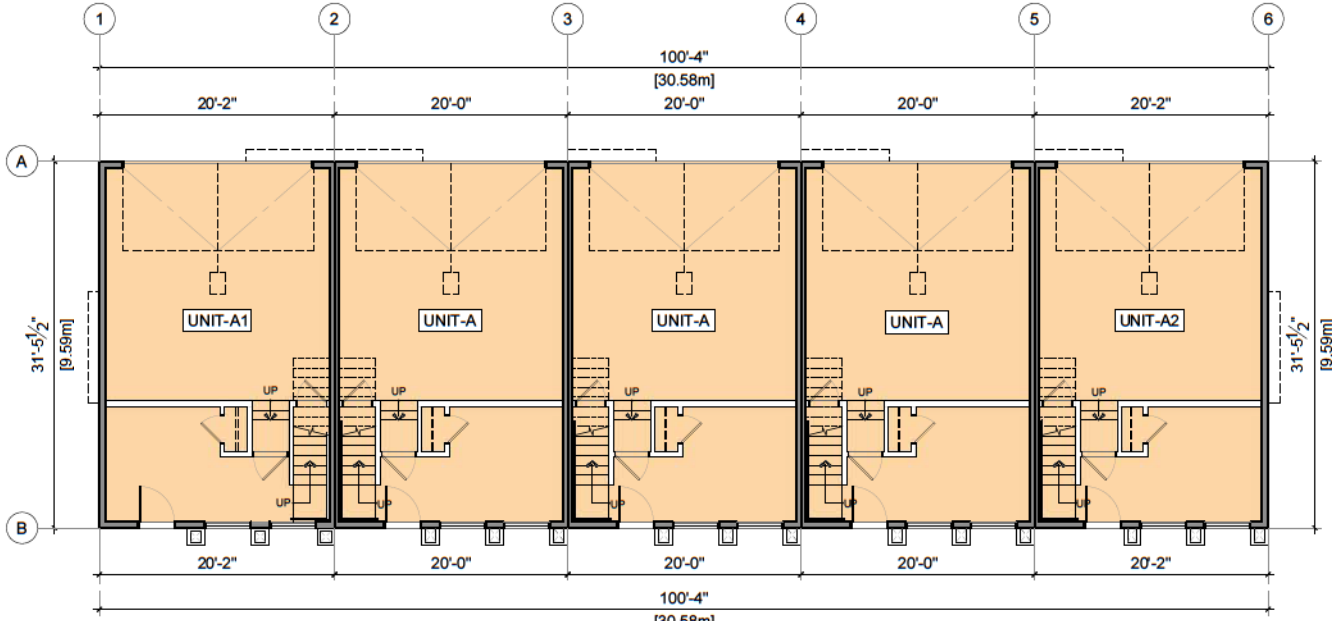
Scale  
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Sheet No.

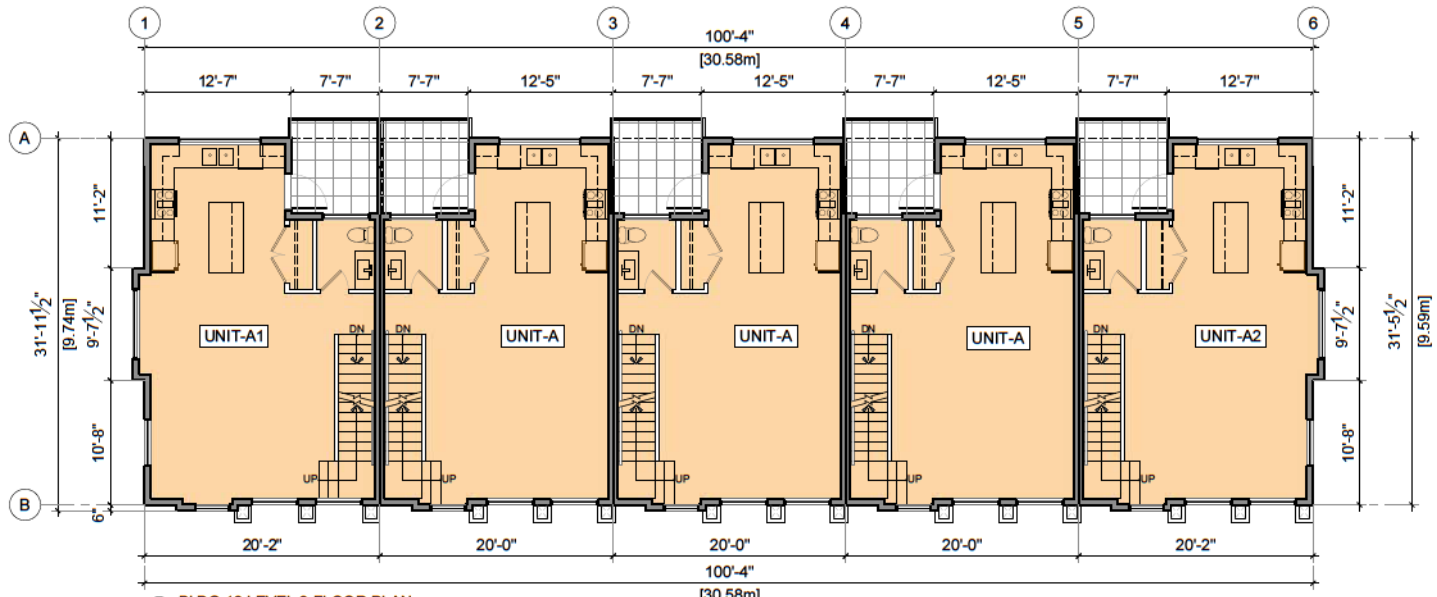
**A-2.24**

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**KEY PLAN**



1 BLDG 12 LEVEL 1 FLOOR PLAN



2 BLDG 12 LEVEL 2 FLOOR PLAN

Date	Description
2023-12-05	Revised/Comments
2023-08-16	DP Application
2023-07-20	Revised/Comments
2022-01-24	DP Application
2022-10-14	Revised/Comments
2022-08-17	Revised/Comments
2022-05-20	Revised/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

**Issues / Revisions**

Seal

**Project Title**  
 TOWNHOUSE DEVELOPMENT

**Project Address**  
 16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA

**Drawn By**  
 GG

**Date**  
 2022-09-17

**Checked By**  
 JLV

**Project ID**  
 SU\_1982

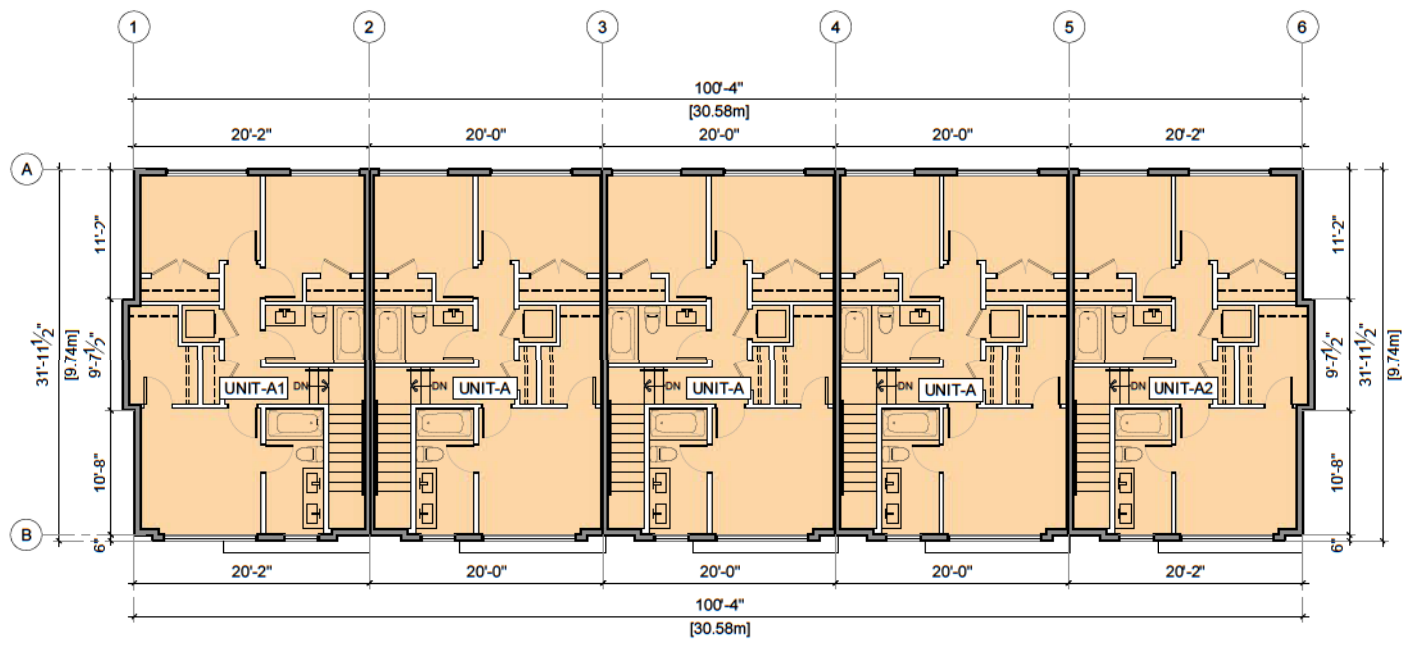
**Sheet Title**  
 FLOOR PLANS  
 (LOT 2)

**Scale**  
 3/32" = 1'-0"

**Sheet No.**  
 A-2.25

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**KEY PLAN**



3 BLDG 12 LEVEL 3 FLOOR PLAN

Date	Description
2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

**Issues / Revisions**

Issue No.	Description

**Project Title**  
**TOWNHOUSE DEVELOPMENT**

**Project Address**  
**16982 20 AVENUE**  
**SURREY,**  
**BRITISH COLUMBIA**

<b>Drawn By</b> GG	<b>Date</b> 2022-09-17
<b>Checked By</b> JV	<b>Project ID</b> SL_19482

**Sheet Title**  
**FLOOR PLANS**  
**(LOT 2)**

**Scale**  
 3/32" = 1'-0"

**Sheet No.**

**A-2.26**



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2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2021-11-30	Preliminary Application

Date	Description
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Issues / Revisions

Issued  
 Project Title  
**TOWNHOUSE DEVELOPMENT**  
 Project Address  
**16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA**

Drawn By GG	Date 2022-09-17
Checked By JV	Project ID SU_19842

Sheet Title  
**PERSPECTIVES**

Scale  
 Sheet No.  
**A-3.01**

1 PERSPECTIVE ALONG 19A AVENUE  
 BUILDING-2

December 7, 2023



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2023-12-05	Revised/Comments
2023-08-16	DP Application
2023-07-20	Revised/Comments
2022-01-24	DP Application
2022-10-14	Revised/Comments
2022-08-17	Revised/Comments
2022-05-20	Revised/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

**Issues / Revisions**

Date	Description

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA**

Drawn By GG	Date 2022-09-17
Checked By JV	Project ID SU_19A02

Sheet Title  
**PERSPECTIVES**

Scale  
 Sheet No.

**A-3.02**

1 **PERSPECTIVE 2 ALONG 19A AVENUE**  
**BUILDING 2**

December 7, 2023



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2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2021-11-30	Preliminary Application

Date	Description
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Issues / Revisions

Issue

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA**

Drawn By GG	Date 2023-09-17
Checked By JV	Project ID SU_19842

Sheet Title  
**PERSPECTIVES**

Scale

Sheet No.  
**A-3.03**

1 **PERSPECTIVE FROM INTERNAL DRIVE AISLE  
 BUILDING 2**



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2023-12-06	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-08-20	Reviewed/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Date Description

Issues / Revisions

Seal

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA**

Drawn By GG	Date 2023-09-17
Checked By JV	Project ID SU_19842

Sheet Title  
**PERSPECTIVES**

Scale

Sheet No.  
**A-3.04**

1 **PERSPECTIVE ALONG FUTURE STREET**  
**BUILDING 3**





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2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Date	Description
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Issues / Revisions

Set

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA**

Drawn By GG	Date 2022-09-17
Checked By JV	Project ID SU_19482

Sheet Title  
**PERSPECTIVES**

Scale

Sheet No.

**A-3.05**

1 **PERSPECTIVE 2 ALONG FUTURE STREET**  
 BUILDING 3

December 7, 2023



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2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2021-11-30	Preliminary Application

Date	Description
------	-------------

Issues / Revisions

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA**

Drawn By GG	Date 2023-09-17
Checked By JV	Project ID SU_16982

Sheet Title  
**PERSPECTIVES**

Scale

Sheet No.

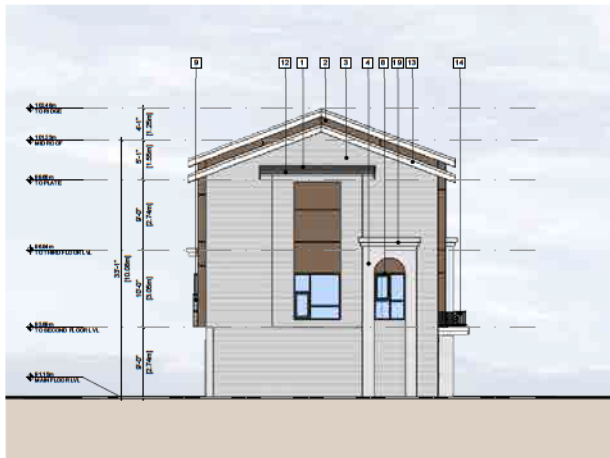
**A-3.06**

1 **PERSPECTIVE FROM INTERNAL DRIVE AISLE**  
**BUILDING 3**

December 7, 2023



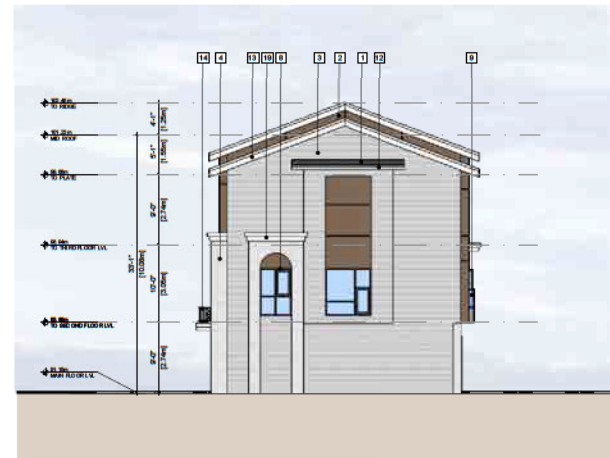
1 EAST ELEVATION  
BUILDING 1



3 NORTH ELEVATION  
BUILDING 1



2 WEST ELEVATION  
BUILDING 1



4 SOUTH ELEVATION  
BUILDING 1

SCHEDULE OF FINISHES		
1. ASPHALT SHINGLE ROOF COLOR: BLACK	8. VINYL WINDOWS COLOR: BLACK	15. HARDBOARD REVEAL PANEL COLOR: BM 212448 WROUGHT IRON
2. HARDBOARD REVEAL PANEL COLOR: BM HC-05 (WOODGRAIN BROWN)	9. POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT) COLOR: BLACK	16. GARAGE DOOR COLOR: BM OC-05 CHANTILLY LACE
3. HARDBOARD LAP SIDING COLOR: BM HC-05 COVENTRY GRAY	10. TRIM COLOR: BM OC-05 CHANTILLY LACE	17. FOOT RAILING COLOR: BLACK
4. INTERMEDIATE BRICK COLOR: ANTRC. WHITE	11. HARDBOARD REVEAL PANEL COLOR: BM OC-05 CHANTILLY LACE	18. INTERMEDIATE BRICK COLOR: TERRA COTTA
5. GARAGE DOOR COLOR: BM 212448 WROUGHT IRON	12. IF ALUMINUM POWDER COATED (GUTTERS) COLOR: WHITE	19. DECORATIVE CORNICE COLOR: BM OC-05 CHANTILLY LACE
6. WOOD GRAIN FINISH BOLD CORE WOOD DOORS COLOR: BM 2124-10 WROUGHT IRON	13. 1312 PANGLA W/ 1/2" TRIM COLOR: BM OC-05 CHANTILLY LACE	20. MUTUAL MAT BRICK COLOR: COAL GREY
7. FLASHING CAP COLOR: BM 1805 GRAPHITE	14. DECORATIVE RAILING COLOR: BLACK	21. HARDBOARD REVEAL PANEL COLOR: BM 212128 ST BEL WOOD

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Date	Description
2023-12-05	Revised/Comments
2023-08-16	DP Application
2023-07-20	Revised/Comments
2022-01-24	DP Application
2022-10-14	Revised/Comments
2022-08-17	Revised/Comments
2022-05-20	Revised/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions

See

Project Title  
**TOWNHOUSE  
DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
SURREY,  
BRITISH COLUMBIA**

Drawn By  
GG

Date  
2023-09-17

Checked By  
JV

Project ID  
SU\_19182

Sheet Title  
**ELEVATIONS  
(LOT 1)**

Scale

Sheet No.

**A-3.07**



1 EAST ELEVATION  
BUILDING 2



2 WEST ELEVATION  
BUILDING 2



3 NORTH ELEVATION  
BUILDING 2



4 SOUTH ELEVATION  
BUILDING 2

SCHEDULE OF FINISHES			
1. ASPHALT SHINGLE ROOF   COLOR: BLACK	8. VINYL WINDOWS   COLOR: BLACK	15. HARDBOARD REVEAL PANEL   COLOR: BM 21244B WROUGHT IRON	20. MUTUAL MAT BRICK   COLOR: COAL GREY
2. HARDBOARD REVEAL PANEL   COLOR: BM HC-65 (WOODGRAIN BROWN)	9. POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT)   COLOR: BLACK	16. GARAGE DOOR   COLOR: BM OC-85 CHANTILLY LACE	21. HARDBOARD REVEAL PANEL   COLOR: BM 21212B STEEL WOOD
3. HARDBOARD FLASH BANDING   COLOR: BM HC-65B COVENTRY GRAY	10. TRIM   COLOR: BM OC-85 CHANTILLY LACE	17. FOOT RAILING   COLOR: BLACK	
4. INTERMEDIATE BRICK   COLOR: ANCTC WHITE	11. HARDBOARD REVEAL PANEL   COLOR: BM OC-85 CHANTILLY LACE	18. INTERMEDIATE BRICK   COLOR: TERRA COTTA	
5. GARAGE DOOR   COLOR: BM 21244B WROUGHT IRON	12. IF ALUMINUM POWDER COATED (WHITE)   COLOR: WHITE	19. DECORATIVE CORNICE   COLOR: BM OC-85 CHANTILLY LACE	
6. WOOD GRAIN FINISH BOLD CORE WOOD DOORS   COLOR: BM 2124-10 WROUGHT IRON	13. 1X2 PANDA W 1/4 TRIM   COLOR: BM OC-85 CHANTILLY LACE		
7. FLASHING CAP   COLOR: BM 1805 GRAPHITE	14. DECORATIVE RAILING   COLOR: BLACK		

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Date	Description
2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions  
Seal

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
SURREY,  
BRITISH COLUMBIA**

Drawn By  
GG

Checkd By  
JV

Date  
2023-09-17

Project ID  
SU\_1982

Sheet Title  
**ELEVATIONS  
(LOT 1)**

Scale

Sheet No.  
**A-3.08**



1 NORTH ELEVATION  
BUILDING 8



2 SOUTH ELEVATION  
BUILDING 8



3 EAST ELEVATION  
BUILDING 8



4 WEST ELEVATION  
BUILDING 8

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Date	Description
2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions	

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
SURREY,  
BRITISH COLUMBIA**

Drawn By GG	Date 2023-09-17
Checked By JV	Project ID SU_1982

Sheet Title  
**ELEVATIONS  
(LOT 1)**

Scale

Sheet No.  
**A-3.09**

SCHEDULE OF FINISHES		
1. ASPHALT SHINGLE ROOF   COLOR: BLACK	8. VINYL WINDOWS	15. HARDE REVEAL PANEL   COLOR: BLACK
2. HARDE REVEAL PANEL   COLOR: BM HC-05 (MOULDERY BROWN)	9. POWDER COATED ALUMINUM RAILING WITH SHIRT GLASS (CLEAR AND TRANSLUCENT)   COLOR: BLACK	16. GARAGE DOOR   COLOR: BM OC-05 CHANTILLY LACE
3. HARDE REVEAL PANEL   COLOR: BM HC-09 COVENTRY GRAY	10. TRIM   COLOR: BM OC-05 CHANTILLY LACE	17. FOOT RAILING   COLOR: BLACK
4. INTERMATE BRICK   COLOR: ARCTIC WHITE	11. HARDE REVEAL PANEL   COLOR: BM OC-09 CHANTILLY LACE	18. INTERMATE BRICK   COLOR: TERRA COTTA
5. GARAGE DOOR   COLOR: BM 2104-10 WOODGRain	12. IF ALUMINUM POWDER COATED (GUTTERS)   COLOR: WHITE	19. 12" DECORATIVE CORNICE   COLOR: BM OC-09 CHANTILLY LACE
6. WOOD GRAIN FINISH SOLID CORE WOOD DOORS   COLOR: BM 2104-10 WOODGRain	13. 1312 PANGLIA W/ 1/4" TRIM   COLOR: BM OC-05 CHANTILLY LACE	20. MUTUAL MAT BRICK   COLOR: COAL GREY
7. FLASHING CAP   COLOR: BM 1803 GRAPHITE	14. DECORATIVE RAILING   COLOR: BLACK	21. HARDE REVEAL PANEL   COLOR: BM 2121-09 STEEL WOOD



1 NORTH ELEVATION  
BUILDING 9



2 EAST ELEVATION  
BUILDING 9



3 SOUTH ELEVATION  
BUILDING 9



4 WEST ELEVATION  
BUILDING 9

SCHEDULE OF FINISHES			
1. ASPHALT SHINGLE ROOF   COLOR: BLACK	8. VINYL WINDOWS   COLOR: BLACK	15. HARDBOARD REVELAL PANEL   COLOR: BM 2124-10 WROUGHT IRON	
2. HARDBOARD REVELAL PANEL   COLOR: BM HC-05 (WOODGRAIN BROWN)	9. POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS CLEAR AND TRANSLUCENT   COLOR: BLACK	16. GARAGE DOOR   COLOR: BM OC-05 CHANTILLY LACE	
3. HARDBOARD REVELAL PANEL   COLOR: BM HC-09 COVENTRY GRAY	10. TRIM   COLOR: BM OC-05 CHANTILLY LACE	17. FROST RAILING   COLOR: BLACK	
4. INTERMEDIATE BRICK   COLOR: ANTOC WHITE	11. HARDBOARD REVELAL PANEL   COLOR: BM OC-09 CHANTILLY LACE	18. INTERMEDIATE BRICK   COLOR: TERRA COTTA	
5. GARAGE DOOR   COLOR: BM 2104-10 WROUGHT IRON	12. IF ALUMINUM POWDER COATED GUTTERS   COLOR: WHITE	19. 12" DECORATIVE CORNICE   COLOR: BM OC-09 CHANTILLY LACE	
6. WOOD GRAIN FINISH SOLID CORE WOOD DOORS   COLOR: BM 2104-10 WROUGHT IRON	13. 1312 PANGLA W/ 1/2" TRIM   COLOR: BM OC-05 CHANTILLY LACE	20. MUTUAL MAT BRICK   COLOR: COAL GREY	
7. FLASHING CAP   COLOR: BM 1805 GRAPHITE	14. DECORATIVE RAILING   COLOR: BLACK	21. HARDBOARD REVELAL PANEL   COLOR: BM 2121-09 STEEL WOOD	

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Date	Description
2023-12-05	Revised/Comments
2023-08-16	DP Application
2023-07-20	Revised/Comments
2022-01-24	DP Application
2022-10-14	Revised/Comments
2022-08-17	Revised/Comments
2022-05-20	Revised/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions

See

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
SURREY,  
BRITISH COLUMBIA**

Drawn By  
GG

Checked By  
JW

Date  
2023-09-17

Project ID  
SU\_1982

Sheet Title  
**ELEVATIONS (LOT 1)**

Scale

Sheet No.

**A-3.10**



1 NORTH ELEVATION  
BUILDING 10



2 SOUTH ELEVATION  
BUILDING 10



3 EAST ELEVATION  
BUILDING 10



4 WEST ELEVATION  
BUILDING 10

**SCHEDULE OF FINISHES**

1. ASPHALT SHINGLE ROOF   COLOR: BLACK	8. VINYL WINDOWS   COLOR: BLACK	15. HARDBOARD REVELAL PANEL   COLOR: BM 2124-10 WROUGHT IRON
2. HARDBOARD REVELAL PANEL   COLOR: BM HC-05 (MOODSURY) BROWN	9. POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT)   COLOR: BLACK	16. GARAGE DOOR   COLOR: BM OC-05 CHANTILLY LACE
3. HARDBOARD REVELAL PANEL   COLOR: BM HC-09 COVENTRY GRAY	10. TRIM   COLOR: BM OC-05 CHANTILLY LACE	17. FOOT RAILING   COLOR: BLACK
4. INTERMEDIATE BRICK   COLOR: ARCTIC WHITE	11. HARDBOARD REVELAL PANEL   COLOR: BM OC-09 CHANTILLY LACE	18. INTERMEDIATE BRICK   COLOR: TERRA COTTA
5. GARAGE DOOR   COLOR: BM 2124-10 WROUGHT IRON	12. IF ALUMINUM POWDER COATED (GUTTERS)   COLOR: WHITE	19. 12" DECORATIVE CORNICE   COLOR: BM OC-09 CHANTILLY LACE
6. WOOD GRAB FINISH BOLD CORE WOOD DOORS   COLOR: BM 2124-10 WROUGHT IRON	13. 1312 PANGLA W/ 1/2" TRIM   COLOR: BM OC-05 CHANTILLY LACE	20. MUTUAL MAT BRICK   COLOR: COAL GREY
7. FLASHING CAP   COLOR: BM 1803 GRAPHITE	14. DECORATIVE RAILING   COLOR: BLACK	21. HARDBOARD REVELAL PANEL   COLOR: BM 2121-09 STEEL WOOD

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Date	Description
2023-12-05	Revised/Comments
2023-08-16	DP Application
2023-07-20	Revised/Comments
2022-01-24	DP Application
2022-10-14	Revised/Comments
2022-08-17	Revised/Comments
2022-05-20	Revised/Comments
2022-03-21	Preliminary Application
2021-10-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions

Seal

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
SURREY,  
BRITISH COLUMBIA**

Drawn By  
GG

Checked By  
JV

Date  
2023-09-17

Project ID  
SU\_1982

Sheet Title  
**ELEVATIONS  
(LOT 1)**

Scale

Sheet No.  
**A-3.11**

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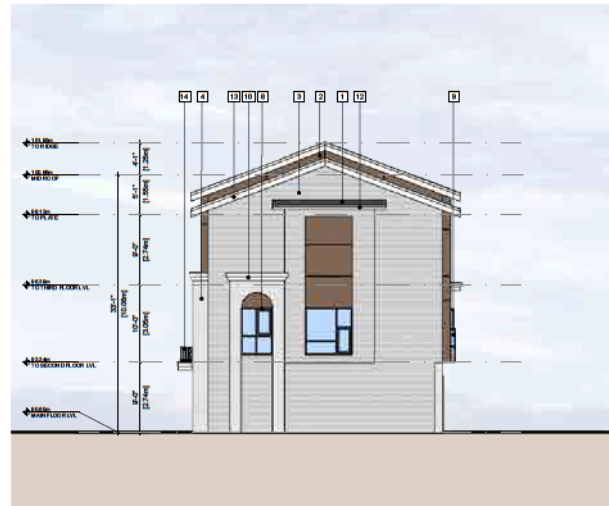
1 NORTH ELEVATION  
 BUILDING 2



2 SOUTH ELEVATION  
 BUILDING 2



3 EAST ELEVATION  
 BUILDING 2



4 WEST ELEVATION  
 BUILDING 2

SCHEDULE OF FINISHES			
1 ASPHALT SHINGLE ROOF   COLOR: BLACK	8 VINYL WINDOWS   COLOR: BLACK	15 HARDBRICK REVEAL PANEL   COLOR: BM 21244B WROUGHT IRON	
2 HARDBRICK REVEAL PANEL   COLOR: BM HC-03 (WOODGRAIN BROWN)	9 POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT)   COLOR: BLACK	16 GARAGE DOOR   COLOR: BM OC-05 CHANTILLY LACE	
3 HORIZONTAL LAP SIDING   COLOR: BM HC-03 COVENTRY GRAY	10 TRIM   COLOR: BM OC-05 CHANTILLY LACE	17 FOOTER RAILING   COLOR: BLACK	
4 INTERMEDIATE BRICK   COLOR: ARCTIC WHITE	11 HARDBRICK REVEAL PANEL   COLOR: BM OC-10 CHANTILLY LACE	18 INTERMEDIATE BRICK   COLOR: TERRA COTTA	
5 GARAGE DOOR   COLOR: BM 21244B WROUGHT IRON	12 IF ALUMINUM POWDER COATED (GUTTERS)   COLOR: WHITE	19 DECORATIVE CORNICE   COLOR: BM OC-09 CHANTILLY LACE	
6 WOOD GRAIN FINISH SOLID CORE WOOD DOORS   COLOR: BM 2124-10 WROUGHT IRON	13 1X2 PANDA W/ 1/4" TRIM   COLOR: BM OC-05 CHANTILLY LACE	20 MUTUAL MAT BRICK   COLOR: COAL GREY	
7 FLASHING CAP   COLOR: BM 1803 GRAPHITE	14 DECORATIVE RAILING   COLOR: BLACK	21 HARDBRICK REVEAL PANEL   COLOR: BM 21212B STEEL WOOD	

Date	Description
2023-12-05	Revised/Comments
2023-08-16	DP Application
2023-07-20	Revised/Comments
2022-01-24	DP Application
2022-10-14	Revised/Comments
2022-08-17	Revised/Comments
2022-05-20	Revised/Comments
2022-03-21	Preliminary Application
2021-11-10	Preliminary Application

Issues / Revisions	
Issue	Revision

**Project Title**  
 TOWNHOUSE DEVELOPMENT

**Project Address**  
 16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA

**Drawn By**  
 GG

**Checked By**  
 JPV

**Date**  
 2023-09-17

**Project ID**  
 SU\_19842

**Sheet Title**  
 ELEVATIONS  
 (LOT 2)

**Scale**

**Sheet No.**  
 A-3.12



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1 WEST ELEVATION  
 BUILDING 3



2 EAST ELEVATION  
 BUILDING 3



3 NORTH ELEVATION  
 BUILDING 3



4 SOUTH ELEVATION  
 BUILDING 3

SCHEDULE OF FINISHS		
1 ASPHALT SHINGLE ROOF   COLOR: BLACK	8 VINYL WINDOWS   COLOR: BLACK	15 HARDBOARD REVEAL PANEL   COLOR: BM 21244B WROUGHT IRON
2 HARDBOARD REVEAL PANEL   COLOR: BM HC-05 (MOULDERY) BROWN	9 POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT)   COLOR: BLACK	16 GARAGE DOOR   COLOR: BM OC-05 CHANTILLY LACE
3 HARDBOARD FLAP SIDING   COLOR: BM HC-09 COVENTRY GRAY	10 TRIM   COLOR: BM OC-05 CHANTILLY LACE	17 FOOTER RAILING   COLOR: BLACK
4 INTERMEDIATE BRICK   COLOR: ANCTIC WHITE	11 HARDBOARD REVEAL PANEL   COLOR: BM OC-09 CHANTILLY LACE	18 INTERMEDIATE BRICK   COLOR: TERRA COTTA
5 GARAGE DOOR   COLOR: BM 21244B WROUGHT IRON	12 1/2" ALUMINUM POWDER COATED GUTTER   COLOR: WHITE	19 DECORATIVE CORNICE   COLOR: BM OC-09 CHANTILLY LACE
6 WOOD GRAB FINISH BOLD CORE WOOD DOORS   COLOR: BM 2124-10 WROUGHT IRON	13 1/2" PARGLA W/ 1/4" TRIM   COLOR: BM OC-05 CHANTILLY LACE	20 MUTUAL MAT BRICKS BRICK   COLOR: COAL GREY
7 FLASHING CAP   COLOR: BM 1805 GRAPHITE	14 DECORATIVE RAILING   COLOR: BLACK	21 HARDBOARD REVEAL PANEL   COLOR: BM 21212B STEEL WOOD

Date	Description
2023-12-05	Revised/Comments
2023-08-16	DP Application
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2022-01-24	DP Application
2022-10-14	Revised/Comments
2022-08-17	Revised/Comments
2022-05-20	Revised/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions	
Issue	Revision

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE SURREY, BRITISH COLUMBIA**

Drawn By  
 GG

Checked By  
 JPV

Date  
 2023-09-17

Project ID  
 SU\_1982

Sheet Title  
**ELEVATIONS (LOT 2)**

Scale

Sheet No.  
**A-3.13**

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1 WEST ELEVATION  
 BUILDING 4



2 EAST ELEVATION  
 BUILDING 4



3 NORTH ELEVATION  
 BUILDING 4



4 SOUTH ELEVATION  
 BUILDING 4

SCHEDULE OF FINISHES			
1 ASPHALT SHINGLE ROOF COLOR: BLACK	8 VINYL WINDOWS COLOR: BLACK	15 HARDBOARD REVEAL PANEL COLOR: BM 2124-10 WROUGHT IRON	
2 HARDBOARD REVEAL PANEL COLOR: BM HC-05 (WOODGRAIN) BROWN	9 POWDER COATED ALUMINUM RAILING WITH SHIRT GLASS (CLEAR AND TRANSLUCENT) COLOR: BLACK	16 GARAGE DOOR COLOR: BM OC-05 CHWITLY LACE	
3 HARDBOARD LAP SIDING COLOR: BM HC-09 COVENTRY GRAY	10 TRIM COLOR: BM OC-05 CHWITLY LACE	17 FOOTER RAILING COLOR: BLACK	
4 INTERMEDIATE BRICK COLOR: ANTRC WHITE	11 HARDBOARD REVEAL PANEL COLOR: BM OC-10 CHWITLY LACE	18 INTERMEDIATE BRICK COLOR: TERRA COTTA	
5 GARAGE DOOR COLOR: BM 2124-10 WROUGHT IRON	12 IF ALUMINUM POWDER COATED (GUTTER) COLOR: WHITE	19 1"X7" DECORATIVE CORNICE COLOR: BM OC-09 CHWITLY LACE	
6 WOOD GRAIN FINISH BOLD CORE WOOD DOORS COLOR: BM 2124-10 WROUGHT IRON	13 1"X2 PANDA W/ 1/4" TRIM COLOR: BM OC-05 CHWITLY LACE	20 MUTUAL MAT BRICK COLOR: COAL GREY	
7 FLASHING CAP COLOR: BM 1803 GRAPHITE	14 DECORATIVE RAILING COLOR: BLACK	21 HARDBOARD REVEAL PANEL COLOR: BM 2121-03 STEL WOOD	

Date	Description
2023-12-05	Revised/Comments
2023-08-16	DP Application
2023-07-20	Revised/Comments
2022-01-24	DP Application
2022-10-14	Revised/Comments
2022-08-17	Revised/Comments
2022-05-20	Revised/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions	
Issue	Revision

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA**

Drawn By  
 GG

Checked By  
 JIV

Date  
 2023-09-17

Project ID  
 SU\_1982

Sheet Title  
**ELEVATIONS  
 (LOT 2)**

Scale

Sheet No.

**A-3.14**

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1 SOUTH ELEVATION  
 BUILDING 6



2 NORTH ELEVATION  
 BUILDING 6



3 EAST ELEVATION  
 BUILDING 6



4 WEST ELEVATION  
 BUILDING 6

SCHEDULE OF FINISHS			
1. ASPHALT SHINGLE ROOF   COLOR: BLACK	8. VINYL WINDOWS   COLOR: BLACK	15. HARDBOARD REVEAL PANEL   COLOR: BM 212448 WROUGHT IRON	
2. HARDBOARD REVEAL PANEL   COLOR: BM HC-03 (WOODGRAIN BROWN)	9. POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT)   COLOR: BLACK	16. GARAGE DOOR   COLOR: BM OC-05 CHANTILLY LACE	
3. HARDBOARD (LAP SIDING)   COLOR: BM HC-09 COVENTRY GRAY	10. TRIM   COLOR: BM OC-05 CHANTILLY LACE	17. FOOTER RAILING   COLOR: BLACK	
4. INTERMEDIATE BRICK   COLOR: ANCTIC WHITE	11. HARDBOARD REVEAL PANEL   COLOR: BM OC-05 CHANTILLY LACE	18. INTERMEDIATE BRICK   COLOR: TERRA COTTA	
5. GARAGE DOOR   COLOR: BM 212448 WROUGHT IRON	12. IF ALUMINUM POWDER COATED (GUTTERS)   COLOR: WHITE	19. DECORATIVE CORNICE   COLOR: BM OC-09 CHANTILLY LACE	
6. WOOD GRAIN FINISH BOLD CORE WOOD DOORS   COLOR: BM 2124-10 WROUGHT IRON	13. 1312 PANGLA W/ 1/4" TRIM   COLOR: BM OC-05 CHANTILLY LACE	20. MUTUAL MAT BRICK   COLOR: COAL GREY	
7. FLASHING CAP   COLOR: BM 1805 GRAPHITE	14. DECORATIVE RAILING   COLOR: BLACK	21. HARDBOARD REVEAL PANEL   COLOR: BM 212128 STEEL WOOD	

Date	Description
2023-12-05	Revised/Comments
2023-08-16	DP Application
2023-07-20	Revised/Comments
2022-01-24	DP Application
2022-10-14	Revised/Comments
2022-08-17	Revised/Comments
2022-05-20	Revised/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions

Project Title
TOWNHOUSE DEVELOPMENT

Project Address
16982 20 AVENUE SURREY, BRITISH COLUMBIA

Drawn By	Date
GG	2022-09-17

Checked By	Project ID
JV	SL_1982

Sheet Title
ELEVATIONS (LOT 2)

Scale

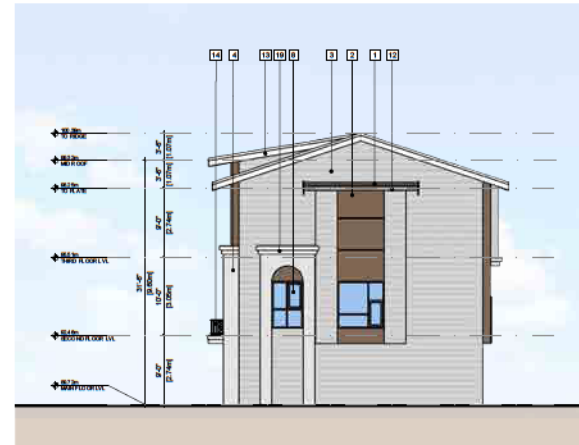
Sheet No.
A-3.15



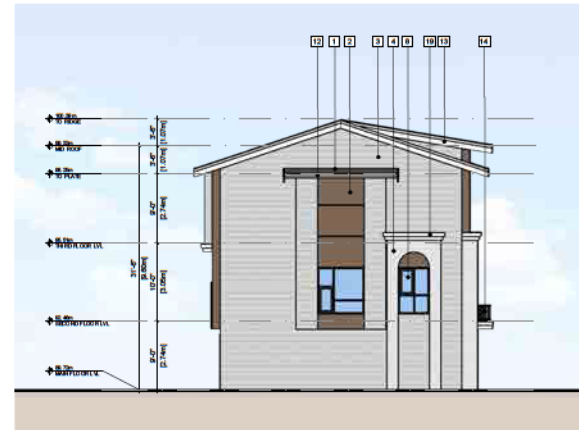
1 EAST ELEVATION  
BUILDING 10



3 WEST ELEVATION  
BUILDING 10



2 NORTH ELEVATION  
BUILDING 10



4 SOUTH ELEVATION  
BUILDING 10

SCHEDULE OF FINISHES			
1 ASPHALT SHINGLE ROOF COLOR: BLACK	8 VINYL WINDOWS COLOR: BLACK	15 HARDBRICK REVEAL PANEL COLOR: BM 21244B WROUGHT IRON	20 MUTUAL MAT BRICK COLOR: COAL GREY
2 HARDBRICK REVEAL PANEL COLOR: BM HC-03 (WOODGRAIN) BROWN	9 POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS CLEAR AND TRANSLUCENT COLOR: BLACK	16 GARAGE DOOR COLOR: BM OC-05 CHWITLY LACE	21 HARDBRICK REVEAL PANEL COLOR: BM 21212B SET BACK
3 HORIZONTAL LAP SIDING COLOR: BM HC-09 COVENTRY GRAY	10 TRIM COLOR: BM OC-05 CHWITLY LACE	17 FOOT RAILING COLOR: BLACK	
4 INTERMEDIATE BRICK COLOR: ANTRC WHITE	11 HARDBRICK REVEAL PANEL COLOR: BM OC-10 CHWITLY LACE	18 INTERMEDIATE BRICK COLOR: TERRA COTTA	
5 GARAGE DOOR COLOR: BM 212410 WROUGHT IRON	12 #4 ALUMINUM POWDER COATED GUTTER COLOR: WHITE	19 DECORATIVE CORNICE COLOR: BM OC-09 CHWITLY LACE	
6 WOOD GRAIN FINISH SOLID CORE WOOD DOOR COLOR: BM 2124-10 WROUGHT IRON	13 1312 PANGLA W/ 1/2" TRIM COLOR: BM OC-05 CHWITLY LACE		
7 FLASHING CAP COLOR: BM 1805 GRAPHITE	14 DECORATIVE RAILING COLOR: BLACK		

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Date	Description
2023-12-05	Revised/Comments
2023-08-16	DP Application
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2022-01-24	DP Application
2022-10-14	Revised/Comments
2022-08-17	Revised/Comments
2022-05-20	Revised/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions	
Issue	Revision

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
SURREY,  
BRITISH COLUMBIA**

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GG

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JV

Date  
2023-09-17

Project ID  
SU\_1982

Sheet Title  
**ELEVATIONS  
(LOT 2)**

Scale

Sheet No.

**A-3.16**



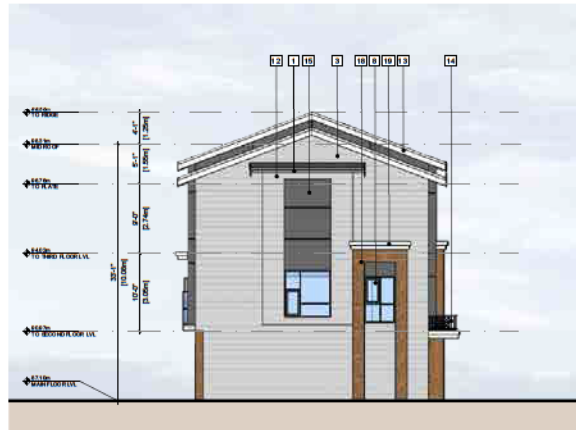
1 EAST ELEVATION  
BUILDING 11



3 WEST ELEVATION  
BUILDING 11



2 NORTH ELEVATION  
BUILDING 11



4 SOUTH ELEVATION  
BUILDING 11

SCHEDULE OF FINISHES			
1. ASPHALT SHINGLE ROOF   COLOR: BLACK	8. VINYL WINDOWS   COLOR: BLACK	15. HARDBOARD REVEAL PANEL   COLOR: BM 21244B WROUGHT IRON	22. MUTUAL MAT BRICK   COLOR: COAL GREY
2. HARDBOARD REVEAL PANEL   COLOR: BM HC-05 (WOODGRAIN BROWN)	9. POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS (CLEAR AND TRANSLUCENT)   COLOR: BLACK	16. GARAGE DOOR   COLOR: BM OC-05 CHANTILLY LACE	23. HARDBOARD REVEAL PANEL   COLOR: BM 21214B STEEL WOOD.
3. HARDBOARD LAP SIDING   COLOR: BM HC-09 COVENTRY GRAY	10. TRIM   COLOR: BM OC-05 CHANTILLY LACE	17. FOOT RAILING   COLOR: BLACK	
4. INTERMATE BRICK   COLOR: ANTRACITE WHITE	11. HARDBOARD REVEAL PANEL   COLOR: BM OC-05 CHANTILLY LACE	18. INTERMATE BRICK   COLOR: TERRA COTTA	
5. GARAGE DOOR   COLOR: BM 21244B WROUGHT IRON	12. ALUMINUM POWDER COATED GUTTER   COLOR: WHITE	19. DECORATIVE CORNICE   COLOR: BM OC-05 CHANTILLY LACE	
6. WOODGRAIN FINISH SOLID CORE WOOD DOORS   COLOR: BM 2124-10 WROUGHT IRON	13. 1X2 PANDA W/ 1/2" TRIM   COLOR: BM OC-05 CHANTILLY LACE	20. DECORATIVE RAILING   COLOR: BLACK	
7. FLASHING CAP   COLOR: BM 1805 GRAPHITE	14. DECORATIVE RAILING   COLOR: BLACK		

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Date	Description
2023-12-05	Revised/Comments
2023-08-16	DP Application
2023-07-20	Revised/Comments
2022-01-24	DP Application
2022-10-14	Revised/Comments
2022-08-17	Revised/Comments
2022-05-20	Revised/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions

Issue

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
SURREY,  
BRITISH COLUMBIA**

Drawn By  
GG

Date  
2023-09-17

Checked By  
JW

Project ID  
SU\_1982

Sheet Title

**ELEVATIONS  
(LOT 2)**

Scale

Sheet No.

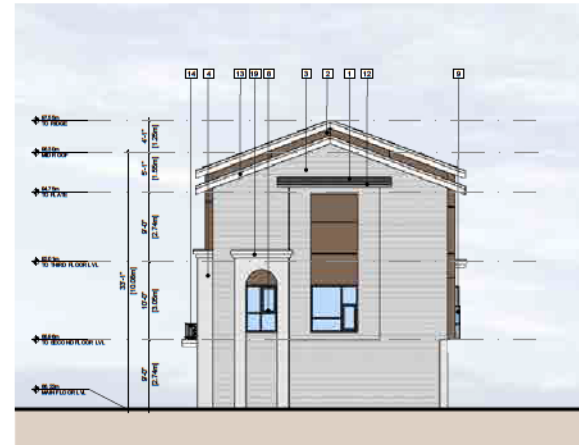
**A-3.17**



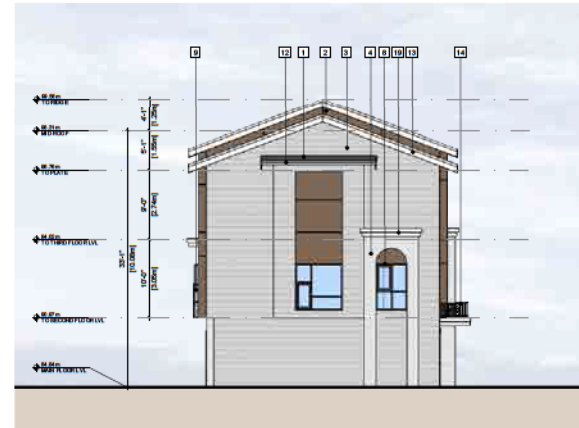
1 EAST ELEVATION  
BUILDING 11



3 WEST ELEVATION  
BUILDING 11



2 NORTH ELEVATION  
BUILDING 11



4 SOUTH ELEVATION  
BUILDING 11

SCHEDULE OF FINISHES		
1. ASPHALT SHINGLE ROOF   COLOR: BLACK	8. VINYL WINDOWS   COLOR: BLACK	15. HARDBR REVEAL PANEL   COLOR: BM 21244B WROUGHT IRON
2. HARDBR REVEAL PANEL   COLOR: BM HC-60 (WOODGRAIN BROWN)	9. POWDER COATED ALUMINUM RAILING WITH SAFETY GLASS CLEAR AND TRANSLUCENT   COLOR: BLACK	16. GARAGE DOOR   COLOR: BM OC-65 CHANTILLY LACE
3. HARDBR PANEL LAP BEING   COVENTRY GRAY	10. TRIM   COLOR: BM OC-65 CHANTILLY LACE	17. FOOT RAILING   COLOR: BLACK
4. INTERMEDIATE BRICK   COLOR: ANCTC WHITE	11. HARDBR REVEAL PANEL   COLOR: BM OC-10 CHANTILLY LACE	18. INTERMEDIATE BRICK   COLOR: TERRA COTTA
5. GARAGE DOOR   COLOR: BM 21244B WROUGHT IRON	12. IF ALUMINUM POWDER COATED (GUTTERS)   COLOR: WHITE	19. 12" DECORATIVE CORNICE   COLOR: BM OC-69 CHANTILLY LACE
6. WOODGRAIN FINISH BOLD CORE WOODCORES   COLOR: BM 2124-10 WROUGHT IRON	13. 13/2 PANGLA W/ 1/2" TRIM   COLOR: BM OC-65 CHANTILLY LACE	20. MUTUAL MAT BRICK   COLOR: COAL GREY
7. FLASHING CAP   COLOR: BM 1805 GRAPHITE	14. DECORATIVE RAILING   COLOR: BLACK	21. HARDBR REVEAL PANEL   COLOR: BM 21214B STEEL WOOD.

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Date	Description
2023-12-06	Revised/Comments
2023-08-16	DP Application
2023-07-20	Revised/Comments
2022-01-24	DP Application
2022-10-14	Revised/Comments
2022-08-17	Revised/Comments
2022-05-20	Revised/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions

Issue	Revisions

Project Title  
**TOWNHOUSE DEVELOPMENT**

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**16982 20 AVENUE  
SURREY,  
BRITISH COLUMBIA**

Drawn By  
GG

Checked By  
JV

Date  
2023-09-17

Project ID  
SU\_1982

Sheet Title  
**ELEVATIONS  
(LOT 2)**

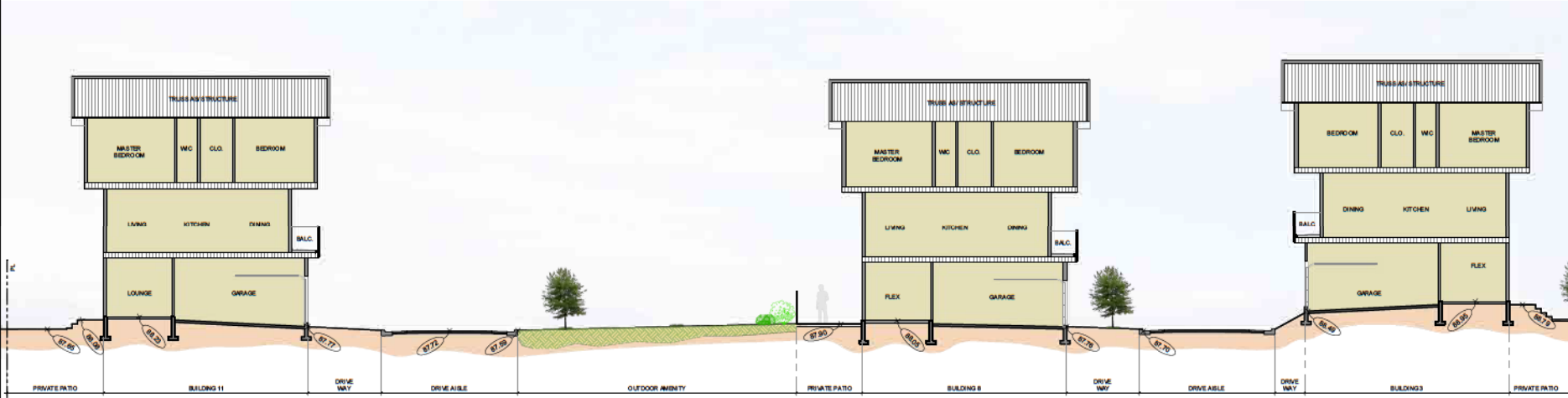
Scale

Sheet No.

**A-3.18**

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**KEY PLAN**



2 SECTION C-C  
 Scale: N.T.S

Date	Description
2023-12-05	Revised/Comments
2023-08-16	DP Application
2023-07-20	Revised/Comments
2022-01-24	DP Application
2022-10-14	Revised/Comments
2022-08-17	Revised/Comments
2022-05-20	Revised/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

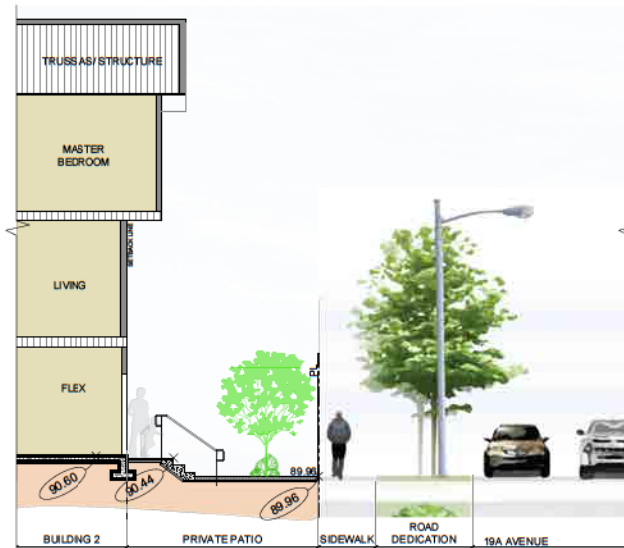
Issues / Revisions

**Project Title**  
 TOWNHOUSE DEVELOPMENT  
**Project Address**  
 16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA

Drawn By GG	Date 2023-09-17
Checked By JV	Project ID SU_19842

**Sheet Title**  
 SITE PLAN  
 (LOT-1)

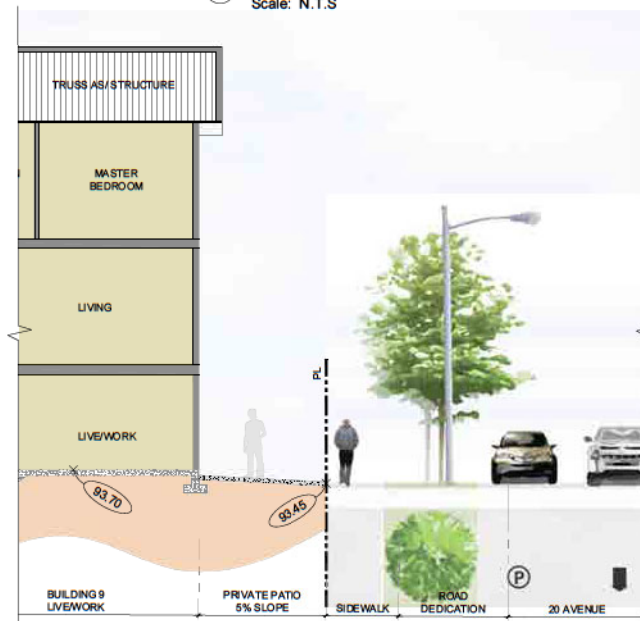
**Scale**  
 N.T.S.  
**Sheet No.**



1 CROSS SECTION - PATIO THRO' STEPS  
Scale: N.T.S



2 CROSS SECTION - PATIO THRO' STEPS  
Scale: N.T.S



3 CROSS SECTION - PATIO THRO' STEPS (20 AVE)  
Scale: N.T.S

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KEY PLAN



Date	Description
2023-12-05	Revised/Comments
2023-08-16	DP Application
2023-07-20	Revised/Comments
2022-01-24	DP Application
2022-10-14	Revised/Comments
2022-08-17	Revised/Comments
2022-05-20	Revised/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions

Issue / Revision	Date

Project Title  
**TOWNHOUSE DEVELOPMENT**

Project Address  
**16982 20 AVENUE  
SURREY,  
BRITISH COLUMBIA**

Drawn By	Date
GG	2022-09-17

Checked By	Project ID
JV	SL_19482

Sheet Title  
**SITE PLAN  
(LOT-2)**

Scale  
N.T.S.

Sheet No.



**SITE FURNISHINGS**



VICTOR STANLEY CAMILLE TABLE - GREEN



VICTOR STANLEY PRS-10 BENCH



VICTOR STANLEY BRG-105 BIKE RACK GREEN C.OLOUR



LIFESPACE HEIRLOOM SELF-WATERING PLANTER



ELKAY L4660 WATER FOUNTAIN

**PLAY EQUIPMENT**



KOMPAN TODDLER DRIBY DECK



KOMPAN MINI CLOVER



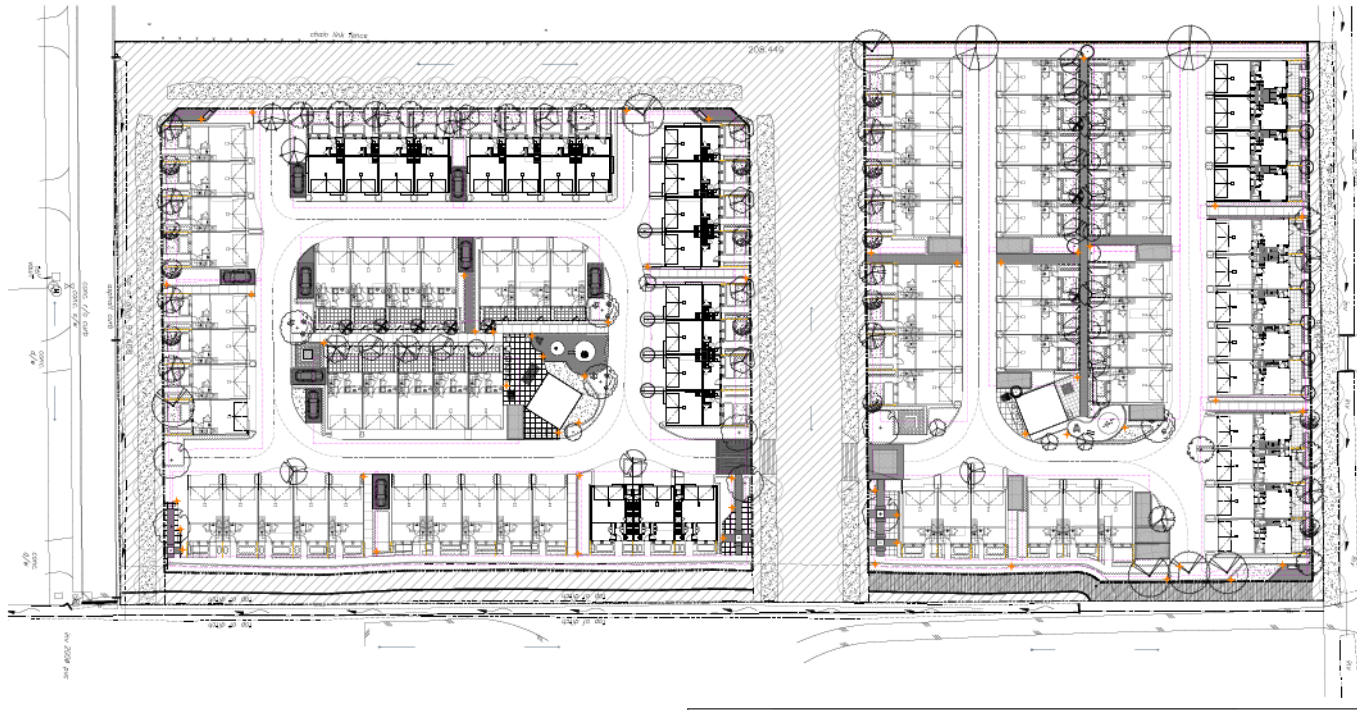
KOMPAN STEEP SLOPE GREEN C.OLOUR



KOMPAN CLOVER SPCA



KOMPAN MINI TWISTER MOSS GREEN C.OLOUR



**TREES**



ACER PALMATUM 'TWOBMLY'S RED SENTINEL'



ACER RUBRUM 'ARMSTRONG'



CARPINUS BETULUS 'FRANS FONTAINE'



CERCIS CANADENSIS 'THE RISING SUN'



OSTRYA VIRGINICA 'OBTUSA'



CRATAEGUS LAEVIGATA



LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'



DAVIDIA INVOLUCRATA



GINKGO BILoba 'PRINCETON SENTRY'



GYMNOCLADUS DIOICIS 'SHINY LATITE'



KOELERIA PANICEOLATA



LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'



LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'



LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'



LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'



LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'



LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'



LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'



LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'

**TREE SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE/ REMARKS
8	8	ACER PALMATUM 'TWOBMLY'S RED SENTINEL'	COLUMNAR RED JAPANESE MAPLE	30M CAL; 2.9M HT; BAB (CLIMATE RESILIENT MOST CONDITIONS)
12	12	ACER RUBRUM 'ARMSTRONG'	COLUMNAR ARMSTRONG MAPLE	30M CAL; 2M STD; BAB (CLIMATE RESILIENT)
8	8	CARPINUS BETULUS 'FRANS FONTAINE'	COLUMNAR EUROPEAN HORNBARK	30M CAL; BAB (CLIMATE RESILIENT)
8	8	CERCIS CANADENSIS 'THE RISING SUN'	THE RISING SUN REDBUD	30M CAL; BAB (CLIMATE RESILIENT)
3	3	Ostrya virginica 'Obtusa'	HICKORY FALSE CYPRESS	3.0M HT; BAB (CLIMATE RESILIENT)
4	4	Crataegus laevigata	LAVALLEE HAWTHORN	30M CAL; 1.8M STD; BAB (CLIMATE RESILIENT)
2	2	DAVIDIA INVOLUCRATA	HANDKERCHIEF (OR DOVE) TREE	30M CAL; BAB (CLIMATE RESILIENT)
6	6	GINKGO BILoba 'PRINCETON SENTRY'	PRINCETON SENTRY MAD ENIGMA	30M CAL; 2M STD; BAB (CLIMATE RESILIENT)
2	2	Gymnocladus dioica 'Shiny Latite'	KENTUCKY COFFEE TREE	30M CAL; BAB (CLIMATE RESILIENT)
2	2	Koeleria paniceolata	GOLDEN RAIN TREE	30M CAL; 2M STD; BAB (CLIMATE RESILIENT)
12	12	Liquidambar styraciflua 'Slender Silhouette'	SLENDER SILHOUETTE SWEETGUM	30M CAL; 1.8M STD; BAB (CLIMATE RESILIENT)
4	4	Liquidambar styraciflua 'Slender Silhouette'	SLENDER SILHOUETTE SWEETGUM	30M CAL; 2M STD; BAB (CLIMATE RESILIENT)
14	14	Parrotia persica 'Ruby Vase'	RUBY VASE PERSIAN BIRCHWOOD	30M CAL; 1.8M STD; BAB (CLIMATE RESILIENT)
2	2	Picea omorika 'Spruce'	BRUN'S SERBIAN SPRUCE	3.0M HT; BAB (CLIMATE RESILIENT)
1	1	Pinus nigra 'Arnold Sentinel'	ARNOLD SENTINEL AUSTRIAN BLACK PINE	3.0M HT; BAB (CLIMATE RESILIENT)
13	13	Stewartia pseudocamellia	JAPANESE STEWARTIA	30M CAL; 1.8M STD; BAB (CLIMATE RESILIENT)
6	6	Zelkova serrata 'Green Vase'	GREEN VASE ZELKOVA	30M CAL; 1.9M STD; BAB (CLIMATE RESILIENT)

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER OLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \*\* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \*\*\* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \*\* SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY: \*\* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \*\* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \*\* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

1:13 BYLAW SIZED REPLACEMENT TREES PROPOSED  
ALL SOFT LANDSCAPE AREAS TO BE AUTOMATICALLY IRRIGATED. PROVIDE DESIGN-BUILD EFFICIENT UNDERGROUND SYSTEM. DESIGN AND INSTALLATION TO I.A.B.C. STANDARDS. SHOP DRAWINGS TO BE REVIEWED FOR SUBMITTAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

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SCALE:



NO.	DATE	REVISION DESCRIPTION	DR.
1	24.08.24	ISSUE FOR PERMIT	CLG
2	24.08.24	ISSUE FOR PERMIT	CLG
1	23.08.24	PLANNING REVIEW (P1)	CLG

CLIENT:

PROJECT:

**TOWNHOUSE DEVELOPMENT**

16982 20 AVE  
SURREY

**LANDSCAPE  
KEY PLAN**

DATE: 23.AUG.08 DRAWING NUMBER:  
SCALE: 1:400  
DRAWN: CLG  
DESIGN: CLG  
CHK'D: OW OF 11

PMG PROJECT NUMBER: 23-180

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SCALE:



NO.	DATE	REVISION DESCRIPTION	DR.
1	24.08.08	1. URBAN FRESH PLAN	CLG
2	25.02.07	2. URBAN FRESH PLAN	CLG
3	23.01.03	3. PLANNING REV. MATERIALS (03)	Q

CLIENT:

PROJECT:

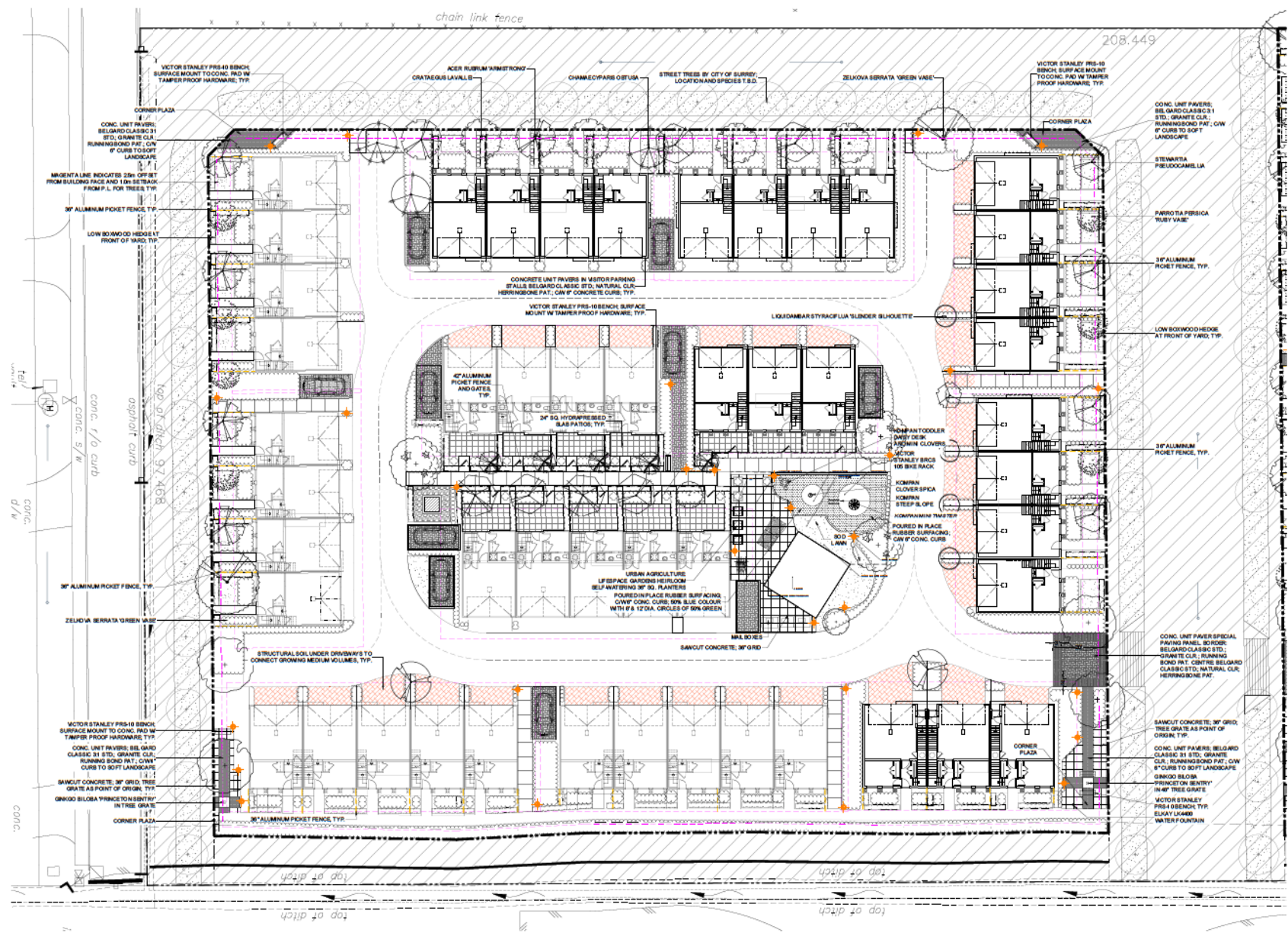
**TOWNHOUSE DEVELOPMENT**

16982 20 AVE  
SURREY

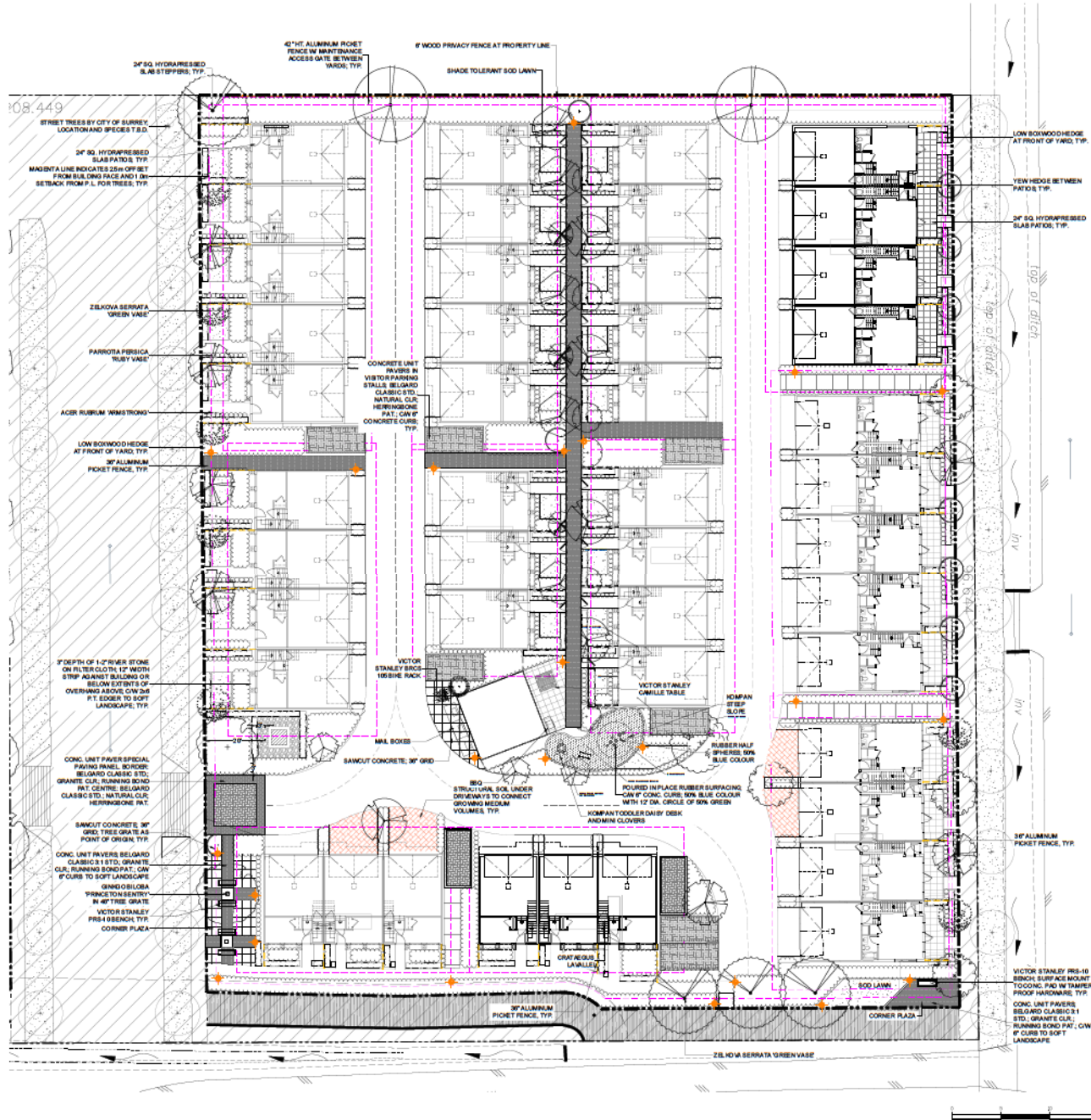
LANDSCAPE PLAN - SOUTH

DATE: 23.AUG.08 DRAWING NUMBER:  
SCALE: 1:200  
DRAWN: CLG  
DESIGN: CLG  
CHK'D: OW OF 11

PMG PROJECT NUMBER: 23-150



2310-42P



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p: 604-294-0011 • f: 604-294-0022

SCALE:



1	24 AUG 08	URBATPARK REVIEW	CLG
2	23 SEP 07	URBATPARK REVIEW	CLG
3	23 SEP 07	PLANTING REV. MATERIALS DETAILED	CLG

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

**TOWNHOUSE DEVELOPMENT**  
16982 20 AVE  
SURREY

DRAWING TITLE:  
**LANDSCAPE PLAN - NORTH**

DATE: 23 AUG 08 DRAWING NUMBER:  
SCALE: 1:200  
DRAWN: CLG  
DESIGN: CLG  
CHK'D: OW OF 11

**L3**

33130-42P PMG PROJECT NUMBER: 23-150

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SCALE:



NO.	DATE	REVISION DESCRIPTION	DR.
1	23.08.08	ISSUE FOR NEW DESIGN	CG
2	23.08.07	ISSUE FOR NEW DESIGN	CG
3	23.08.01	PLANTING REV. MATERIALS DETAIL	CG

CLIENT:

PROJECT:

**TOWNHOUSE DEVELOPMENT**  
 16982 20 AVE  
 SURREY

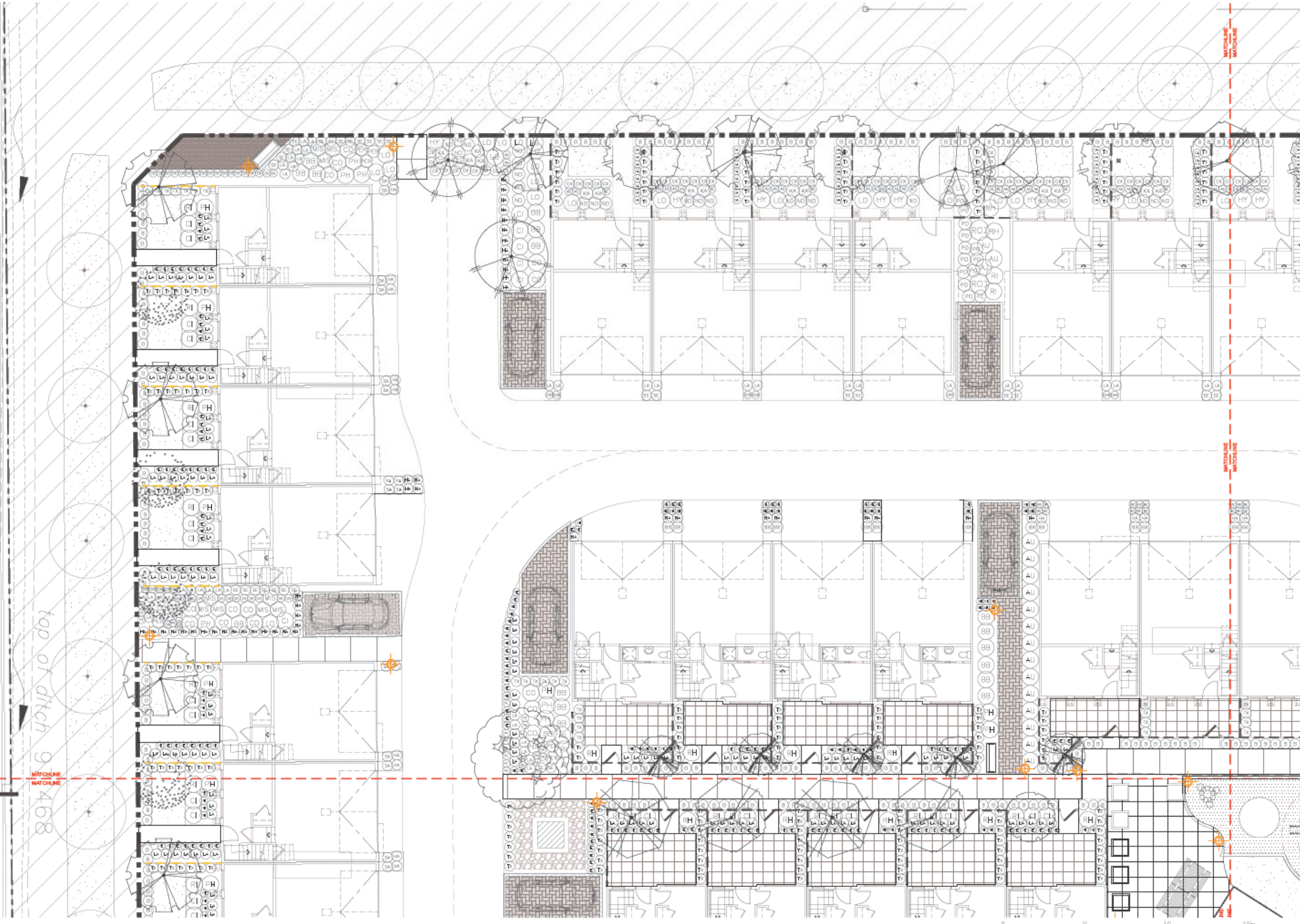
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 PLANTING PLAN**

DATE: 23.AUG.08 DRAWING NUMBER:  
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 DRAWN: CG  
 DESIGN: CG  
 CHECK'D: CW

**L4**

OF 11

PMG PROJECT NUMBER: 23-150



FULL PLANT SCHEDULE ON L4



23-150-42P

SCALE:



NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

PROJECT:

**TOWNHOUSE DEVELOPMENT**

16982 20 AVE  
SURREY

DRAWING TITLE:  
**LANDSCAPE - SOUTH PLANTING PLAN**

DATE: 23.AUG.08 DRAWING NUMBER:

SCALE: 1:500

DRAWN: C.L.G.

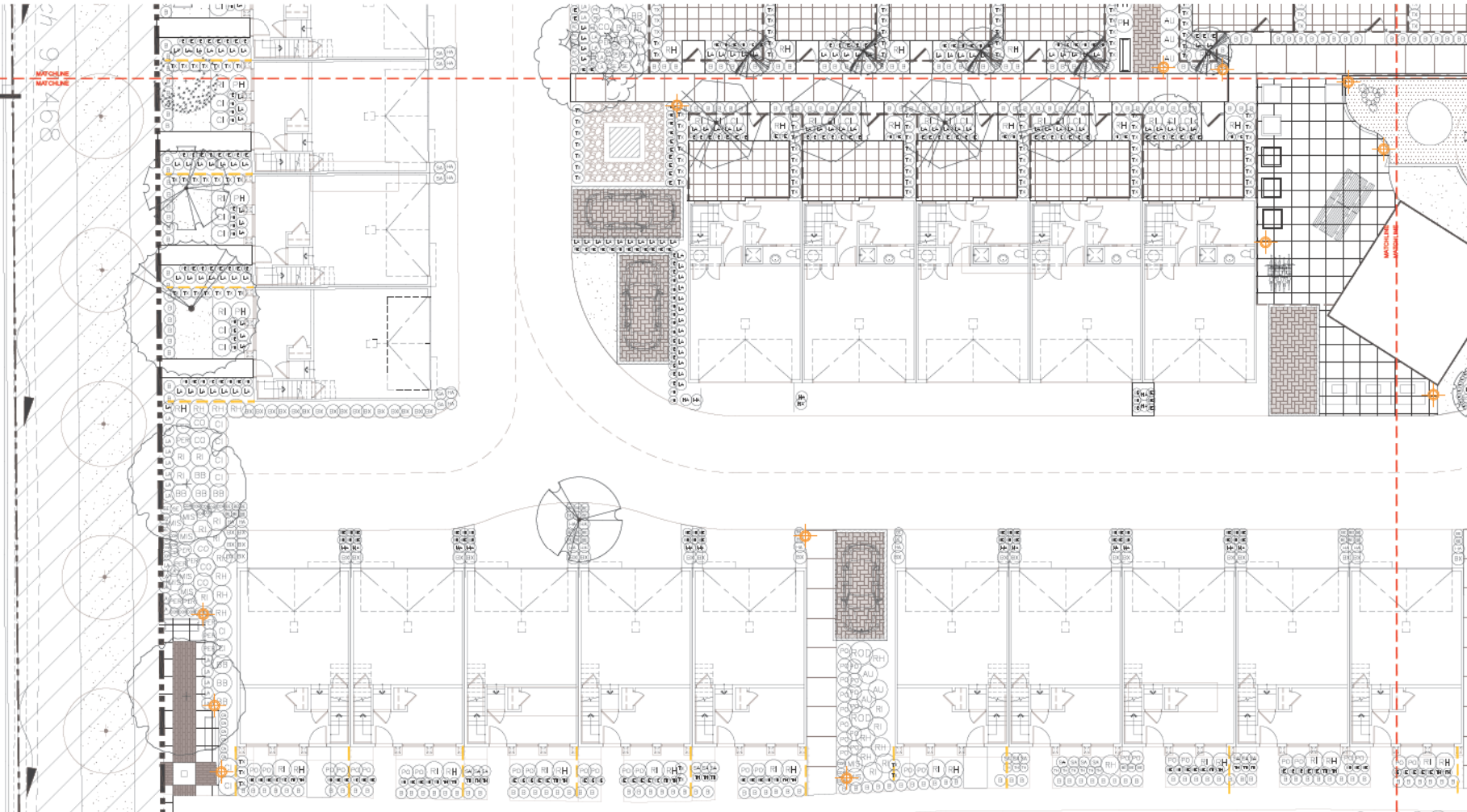
DESIGN: C.L.G.

CHECKED: C.W.

**L5**

OF 11

PROJECT NUMBER: 23-150

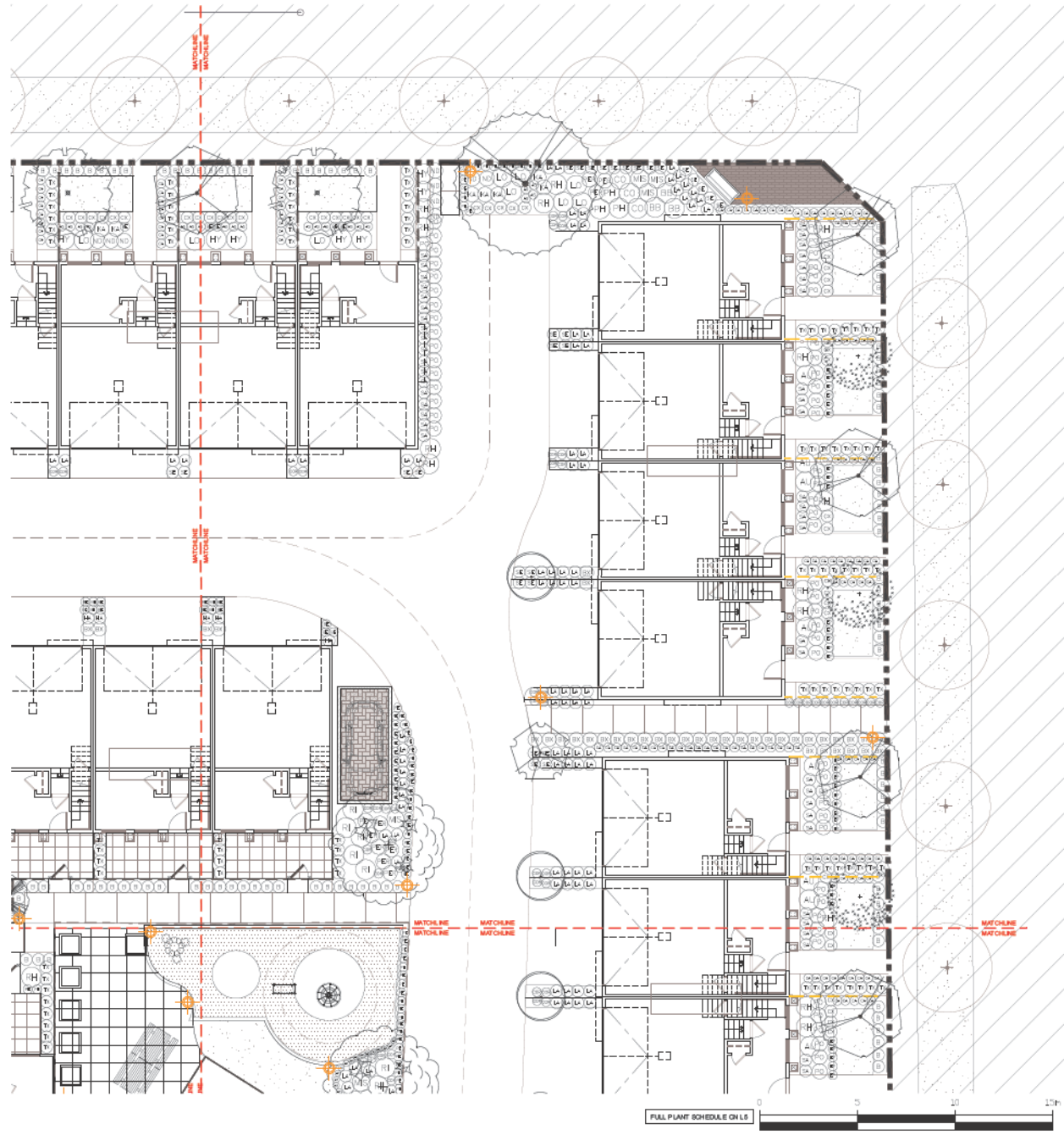


**PLANT SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
64		AUCUBA JAPONICA 'SERRATIFOLIA'	SAWTOOTHED JAPANESE AUCUBA	#3 POT, 30CM	615		CALLAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
57		BERBERIS THUNBERGII 'ROSE OLV'	ROSE PURPLE FOLIAGE BARBERY	#3 POT, 40CM	264		CAREX ELATA 'MUREX'	BOWLER'S GOLDEN SEDGE	#1 POT
78		BUJUBUJUBU 'PHYLLOA WINTER DEW'	LITTLE LEAF BOX	#2 POT, 20CM	178		HAKONECHLOA MACRURA 'AUREOLA'	GOLD VAREGATED JAPANESE FOREST GRASS	#1 POT
262		SILVUS SEMPERVIRENS 'SILVATICUS'	DWARF ENGLISH BOXWOOD	#3 POT, 40CM	45		MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAP SILVER GRASS	#1 POT
44		CISTUS x HYBRIDUS	ROCK ROSE	#2 POT, 30CM	528		PENNSETUM ORIENTALE 'KARLEY ROSE'	ORIENTAL FOUNTAIN GRASS	#1 POT
96		COTYLIUS COOBYORNA 'WINECRAFT GOLD'	GOLDEN SMOKE BUSH	#3 POT, 30CM	PERENNIAL				
13		HYDRANGEA FRANKLINIA 'LIME LIGHT'	LIME LIGHT HYDRANGEA; LIMELIGHT PINK	#3 POT, 30CM	60		ARMERIA MARTIMA	COMMON THRIFT	5CM POT
74		LONICERA ANTHEDA 'SAGESSEN'S GOLD'	SOUL LEAF HONEY SUCKLE, GOLD	#3 POT, 30CM	49		ASTRANTIA MAJOR 'ROMA'	MASTER WORT	15CM POT
31		NAVADINA DOMESTICA 'SULF STREAM'	HEAVENLY BAMBOO; DWARF	#2 POT, 40CM	237		BERGENIA CONFORTIA	HEART LEAF BERGENIA, ROSE PINK	10CM POT
72		PHYDOCARPUS QUILICULUS 'SUNSHINY'	PURPLE LEAF BUSH	#3 POT, 30CM	261		COROPHOS VERTICILLATA 'MOONBEAM'	THREADED COROPHOS; YELLOW	10CM POT
44		PIERS JAPONICUS 'CAVATINE'	DWARF L.L.Y.-OF-THE-WALLEY BUSH	#2 POT, 30CM	507		LAVALICIA ANGLUSTICOLA 'MUNSTEAD'	ENGLISH LAVENDER; COMPACT, VIOLET-BLUE	10CM POT
190		RHODOCHRONON 'P.J.M.'	RHODOCHRONON LIGHT PURPLE, E. MAY	#3 POT, 30CM	85		PEROVSKIA ATRIPURICOLA	RUSSIAN BASS	10CM POT
88		REIS SANDERHEIM	RED FLOWERING CURRANT	#3 POT, 30CM	4		RODOBERIA ASSOLUTIFOLIA	RUSSET LEAF RODOBERIA	#1 POT
161		SARCOCOCOA HOOKERIANA VAR. HUMILIS	HIMALAYAN SWEET BOX	#2 POT, 20CM	126		SEDUM TELEPHUM 'HERBSTRUDE'	AUTUMN JOY STONECROP	5CM POT
582		TAXUS MEDIA 'HOOPS'	HOCKS YEW	1.5M BAB	88		THALICTRUM AQUELEGIFOLIUM	MEADOW RUE	5CM POT
					159		EPIMEDIUM X RUSRUM	BARRENWORT	#1 POT, 20CM
					238		POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT, 30CM

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SCALE:



NO.	DATE	REVISION DESCRIPTION	DR.
1	24.08.08	UNAPPROVED STAFF	CG
2	25.04.07	UNAPPROVED STAFF	CG
1	23.01.01	PLANTING REV. MATERIALS DETAIL	CG

NO.	DATE	REVISION DESCRIPTION	DR.
1	24.08.08	UNAPPROVED STAFF	CG
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PROJECT:

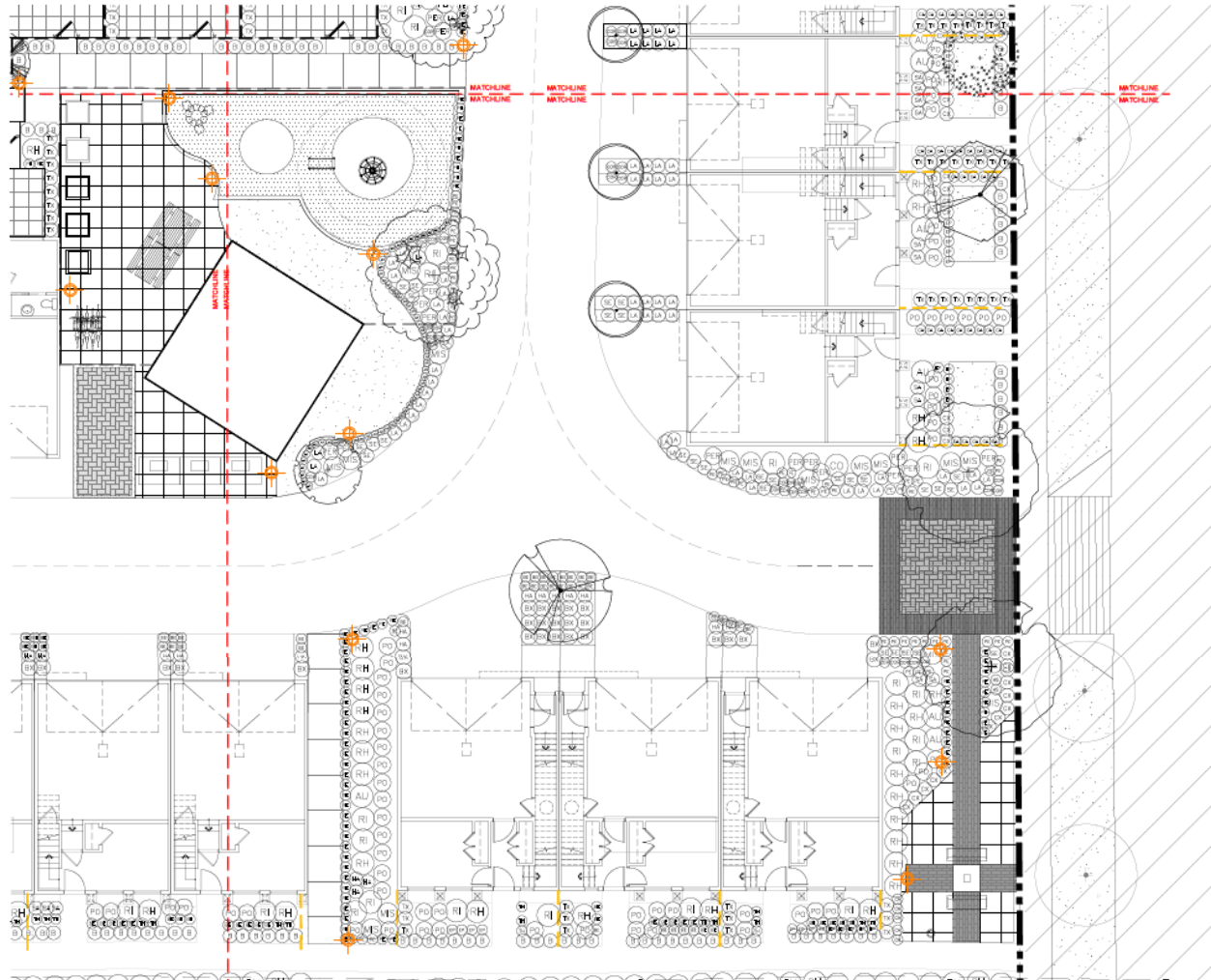
**TOWNHOUSE DEVELOPMENT**

16982 20 AVE  
 SURREY

DRAWING TITLE:  
**LANDSCAPE - SOUTH  
 PLANTING PLAN**

DATE: 23.AUG.08 DRAWING NUMBER:  
 SCALE: 1:50 **L6**  
 DRAWN: CG  
 DESIGN: CG  
 CHK'D: CW OF 11

PMG PROJECT NUMBER: 23-150



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SCALE:



NO.	DATE	REVISION DESCRIPTION	DR.
1	23.AUG.08	1.00 SITEWORK PREPAR	CLG
2	23.AUG.07	1.00 SITEWORK PREPAR	CLG
3	13.MAR.03	PLANTING REV. MATERIALS DETAIL	CLG

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PROJECT:

**TOWNHOUSE DEVELOPMENT**

16982 20 AVE  
SURREY

DRAWING TITLE:  
**LANDSCAPE - SOUTH  
PLANTING PLAN**

DATE: 23.AUG.08 DRAWING NUMBER:  
SCALE: 1:500  
DRAWN: CLG  
DESIGN: CLG  
CHK'D: CW **L7**  
OF 11

FULL PLANT SCHEDULE ON L5



23-150-42P

PMG PROJECT NUMBER: 23-150

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SEAL:




NO.	DATE	REVISION DESCRIPTION	DR.
1	24.08.20	ISSUE FOR NEW DESIGN	CG
2	23.04.27	ISSUE FOR NEW DESIGN	CG
1	23.01.01	PLANTING REV. MATERIALS DETAIL	CG

CLIENT:

PROJECT:  
**TOWNHOUSE DEVELOPMENT**  
 16982 20 AVE  
 SURREY

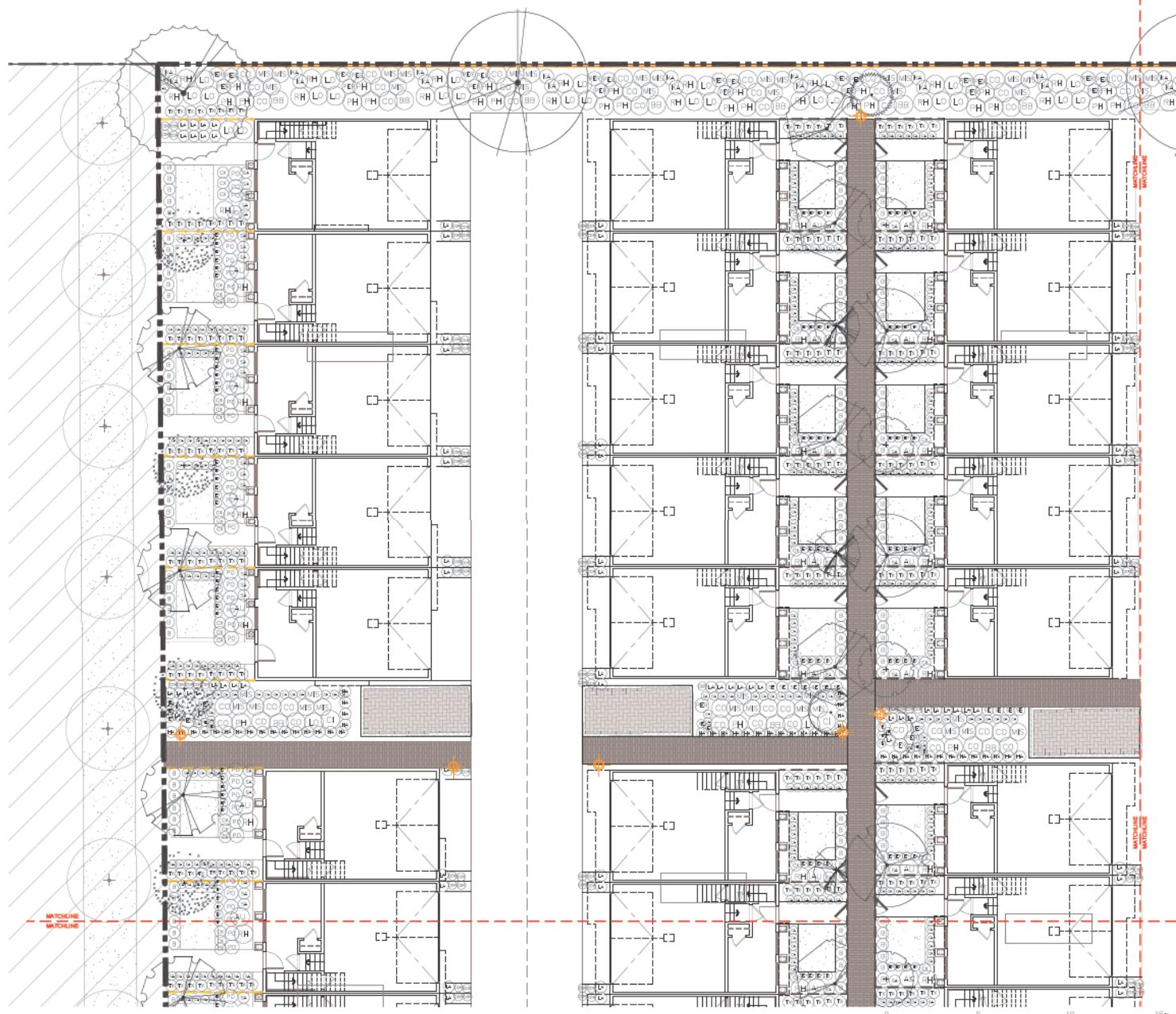
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DATE: 23.AUG.08 DRAWING NUMBER:  
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 CHK'D: CW

**L8**

OF 11

PMG PROJECT NUMBER: 23-150

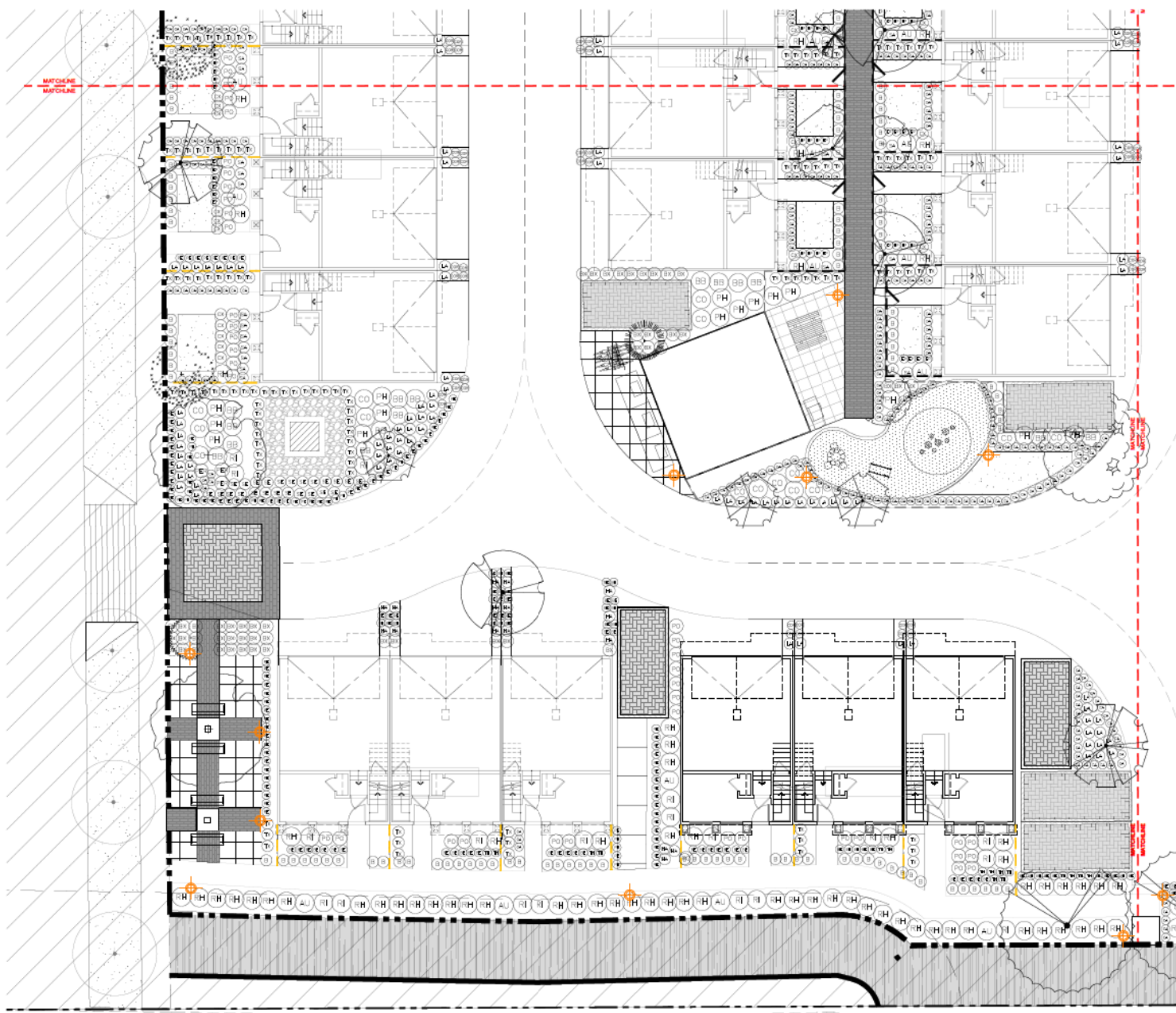


FULL PLANT SCHEDULE ON L8



23-150-42P





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1	24.08.08	1.00 SITEWORK PREPAR	CLG
2	25.08.07	1.00 SITEWORK PREPAR	CLG
3	23.08.05	PLANTING REV. MATERIAL DETAIL	CLG

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

**TOWNHOUSE DEVELOPMENT**

16982 20 AVE  
 SURREY

DRAWING TITLE:  
**LANDSCAPE - NORTH  
 PLANTING PLAN**

DATE: 23.AUG.08 DRAWING NUMBER:  
 SCALE: 1:500  
 DRAWN: CLG  
 DESIGN: CLG  
 CHECK'D: CW

**L9**

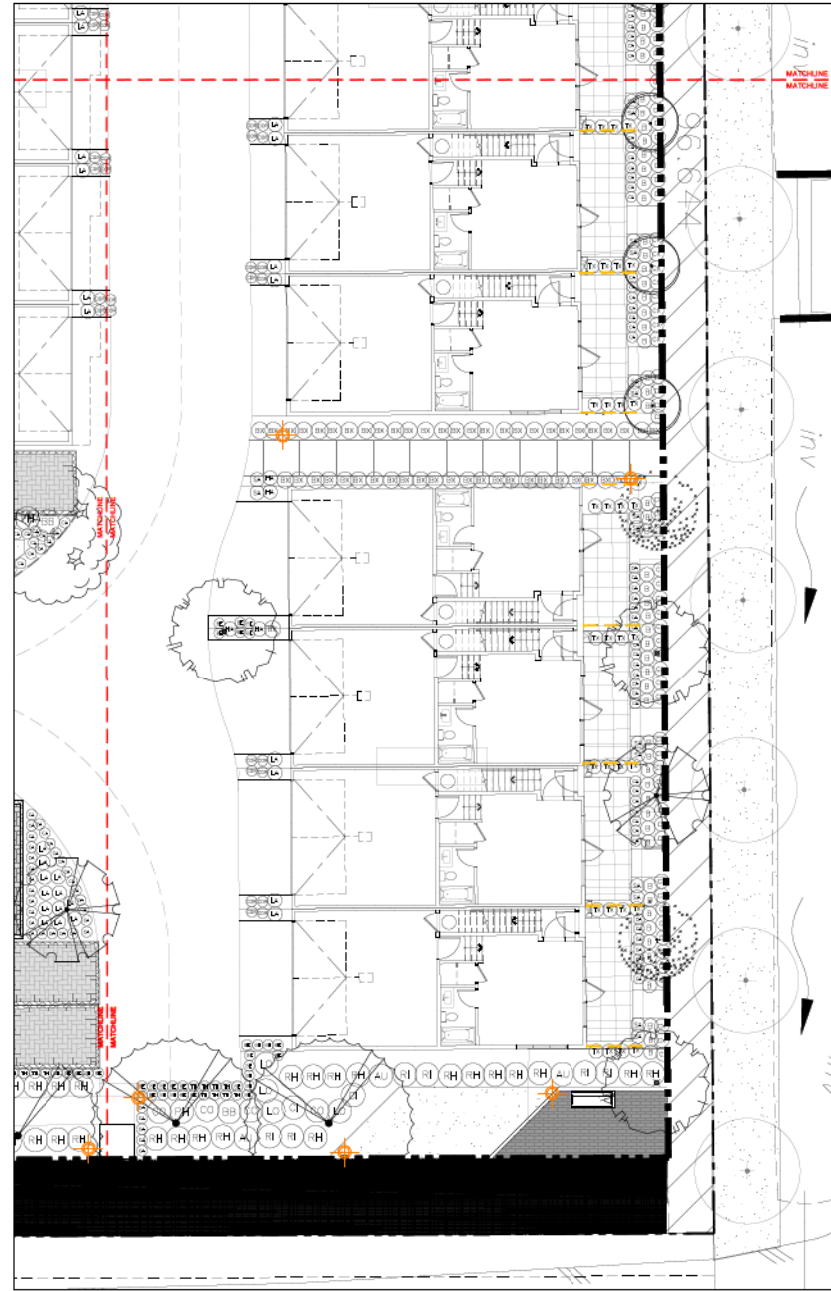
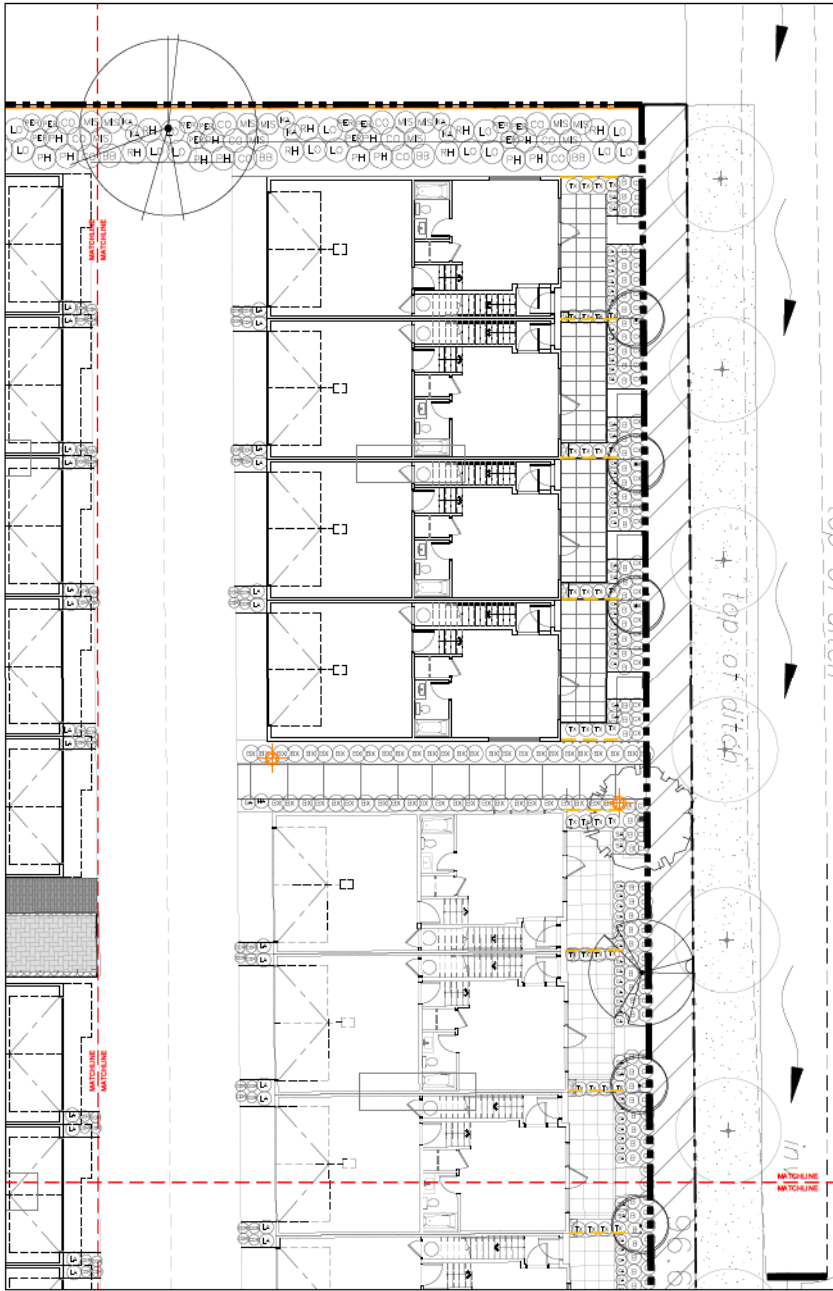
OF 11

FULL PLANT SCHEDULE ON L5



23150-42P

PMG PROJECT NUMBER: 23-150



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**pmg**  
LANDSCAPE ARCHITECTS  
Suite C100 - 4185 9th Q west Drive  
Burnaby, British Columbia, V5C 6G9  
p: 604 294-0011 • f: 604 294-0022

SCALE:



NO.	DATE	REVISION DESCRIPTION	DR.
1	23.08.08	URGENT PERFORM REPAIR	CLG
2	23.08.07	URGENT PERFORM REPAIR	CLG
3	23.08.03	PLANTING REV. MATERIALS OF GRASS	CLG

CLIENT:

PROJECT:

**TOWNHOUSE DEVELOPMENT**  
16982 20 AVE  
SURREY

DRAWING TITLE:  
**LANDSCAPE - NORTH PLANTING PLAN**

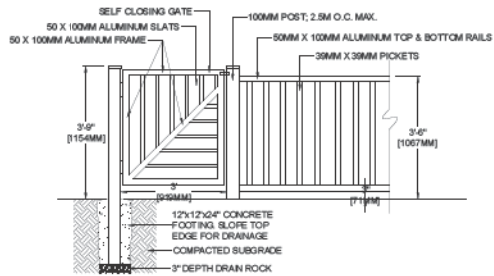
DATE: 23.AUG.08 DRAWING NUMBER:  
SCALE: 1:500 **L10**  
DRAWN: CLG  
DESIGN: CLG  
CHK'D: CW OF 11

FULL PLANT SCHEDULE ON L15



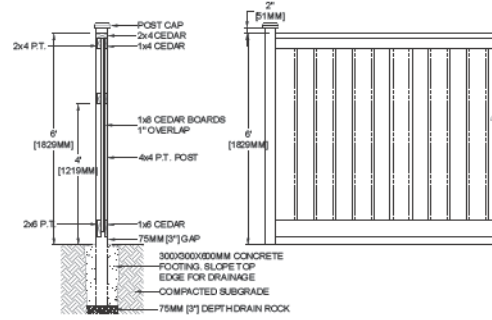
23-150-42.P

PMG PROJECT NUMBER: 23-150



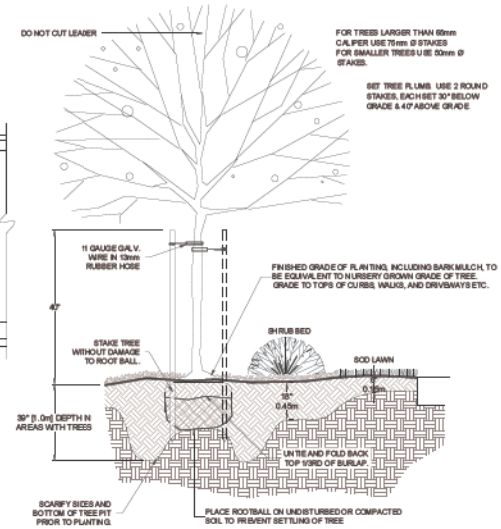
- NOTES:
1. ALUMINUM TO BE POWDER COATED GLOSS BLACK, TWO COATS.
  2. ALL HARDWARE TO BE HOT DIPPED GALVANIZED, MEDIUM GAUGE.
  3. GATE HARDWARE TO BE CHOSEN BY OWNER. INSTALL PER MANUFACTURER'S INSTRUCTIONS.

**1** 42" ALUMINUM FENCE WITH GATE  
1/2"=1'-0"

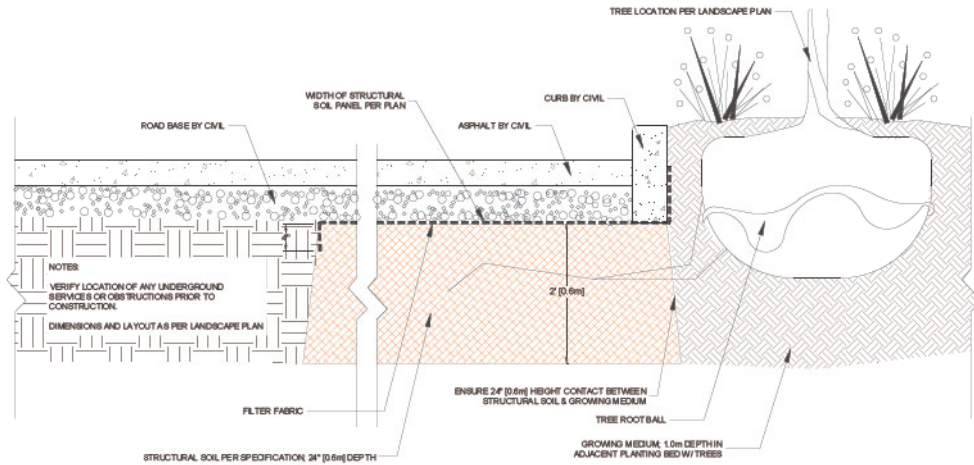


- NOTES:
1. ALL POST TO BE PRESSURE TREATED TO CSA STANDARDS. ALL OTHER MEMBERS TO BE MINIMUM #2 CONSTRUCTION GRADE UNLESS OTHERWISE SPECIFIED.
  2. APPLY TWO COATS PRESERVATIVE TO ALL END CUTS.
  3. ALL HARDWARE TO BE HOT DIPPED GALVANIZED.
  4. APPLY TWO COATS OF STAIN ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND IN A COLOUR TO MATCH BUILDING AS APPROVED BY THE PROJECT ARCHITECT.

**2** 6' HT. WOOD PRIVACY FENCE  
1/2"=1'-0"

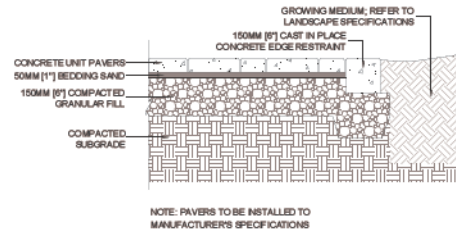


**3** PLANTING DETAIL  
N.T.S.



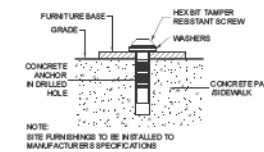
- NOTES:
1. VERIFY LOCATION OF ANY UNDERGROUND SERVICES OR OBSTRUCTIONS PRIOR TO CONSTRUCTION.
  2. DIMENSIONS AND LAYOUT AS PER LANDSCAPE PLAN.

**4** STRUCTURAL SOIL ADJACENT ASPHALT  
1"=1'-0"



NOTE: PAVERS TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS

**5** PAVERS ON GRADE  
1"=1'-0"



NOTE: SITE FURNISHINGS TO BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS

**6** SITE FURNITURE MOUNTING  
N.T.S.

SCALE:

NO.	DATE	REVISION DESCRIPTION	DR.
1	23.AUG.23	ISSUE FOR BIDDING	CLS
2	23.OCT.23	ISSUE FOR BIDDING	CLS
3	23.NOV.23	PLANTING REV. MATERIALS	CLS

CLIENT:

PROJECT:

TOWNHOUSE DEVELOPMENT

16982 20 AVE  
SURREY

DRAWING TITLE:  
**LANDSCAPE  
DETAILS**

DATE: 23.AUG.23 DRAWING NUMBER:

SCALE: AS NOTED

DRAWN: CLS

DESIGN: CLS

CHECKED: CW

**L11**

OF 11

## INTER-OFFICE MEMO

---

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Manager, Development Services, Engineering Department**

DATE: **July 02, 2024** PROJECT FILE: **7823-0024-00**

---

RE: **Engineering Requirements (Commercial/Industrial)**  
**Location: 16982 20 Avenue**

### REZONE/SUBDIVISION

#### *Property and Right-of-Way Requirements*

- Dedicate 1.942 m on 20 Avenue.
- Dedicate 7.75 m on 19 Avenue.
- Dedicate 20.0 m for 19A Avenue.
- Dedicate 11.5 m for 169A Street.
- Dedicate corner cuts as required.
- Register 0.5 m Statutory Right of Way (SRW) along all frontage roads.

#### *Works and Services*

- Confirm Darts Hill Garden Park Drainage Pond (Pond a) and Water Feeder mains servicing the high pressure water system have been constructed by others prior to proceeding for Council's Final approval.
- Construct south side of 20 Avenue.
- Construct north side of 19 Avenue, west half of 169A Street and 19A Avenue.
- Provide storm water catchment plan and resolve any capacity constraints.
- Provide onsite sustainable storm mitigation works to meet the NCP requirements.
- Provide water quality treatment prior to discharging off-site.
- Construct water, drainage, and sanitary mains as required in the NCP.
- Construct adequately-sized sanitary, storm and metered water service connections.

A Servicing Agreement is required prior to Rezone/Subdivision.

### DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no additional engineering requirements related to the proposed Development Permit and Development Variance Permit.



Jeff Pang, P.Eng.  
Manager, Development Services

IK1



Department: **Planning and Demographics**  
 Date: **July 3, 2024**  
 Report For: **City of Surrey**

**Development Impact Analysis on Schools For:**

Application #: **23-0024**

The proposed development of **94** Townhouse units are estimated to have the following impact on elementary and secondary schools within the school regions.

<b>School-aged children population projection</b>	83
---	----

<b>Projected Number of Students From This Development In:</b>	
Elementary School =	45
Secondary School =	24
Total Students =	69

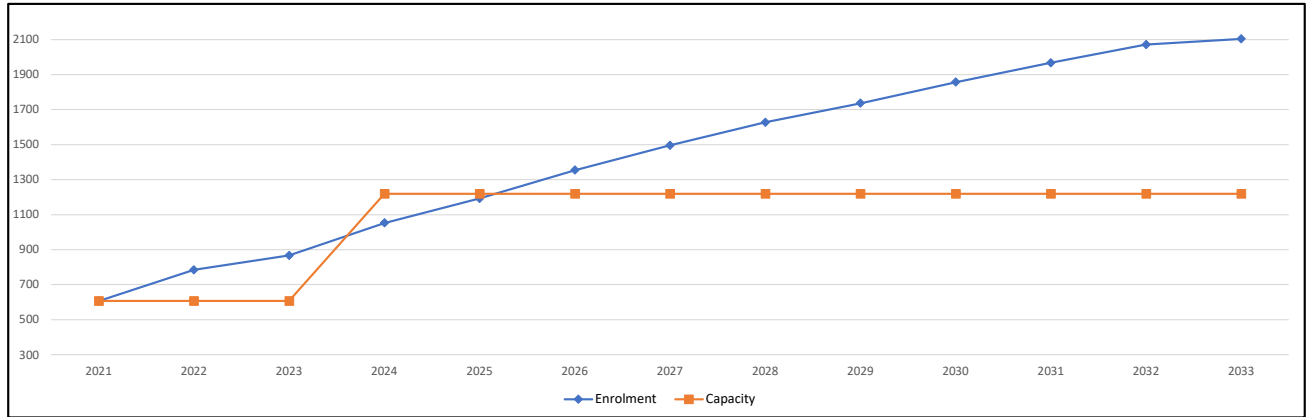
<b>Current Enrolment and Capacities:</b>	
<b>Edgewood /Ta'talu Elementary</b>	
Enrolment	867
Operating Capacity	607
# of Portables	13
<b>Earl Marriott Secondary</b>	
Enrolment	1398
Operating Capacity	1500
# of Portables	4

**Summary of Impact and Commentary**  
 The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

As of September 2023, Edgewood is at 143% capacity. To support further enrolment growth in this area, a new 27- classroom Ta'talu Elementary school, is targeted to open January 2025. Until then, the district will rely on portables to make up the seat shortfall and possible boundary changes. Another elementary is approved for the Darts Hill neighbourhood in support of planned growth in the area.

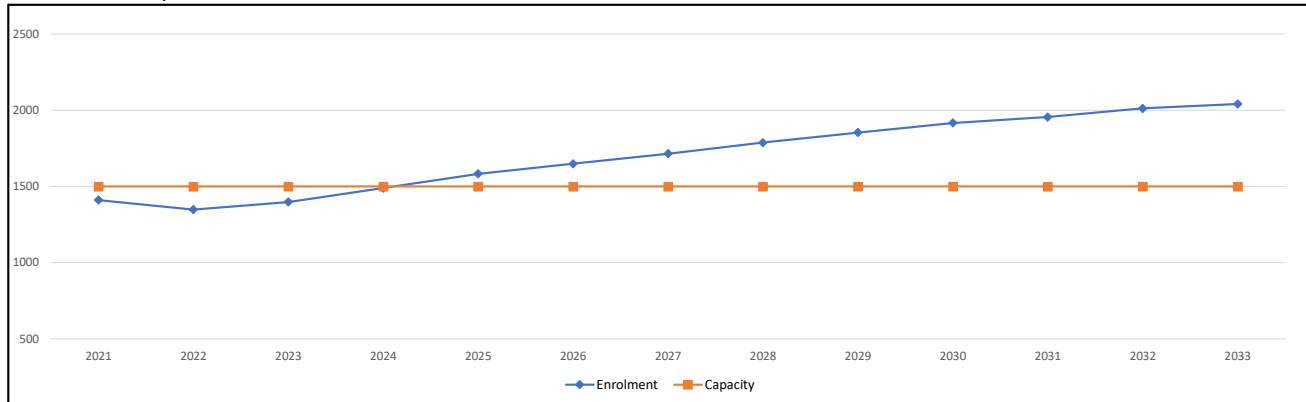
As of September 2023, Earl Marriott is at 93% capacity. The opening of Grandview Heights Secondary, a new 1500 capacity high school in September 2021 has relieved pressure in the short term. Despite this, Earl Marriott continues to trend over capacity into the future and a 500 capacity addition is identified on the District's Capital Plan. This addition has not yet been funded by the Ministry.

**Edgewood /Ta'talu Elementary**



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

**Earl Marriott Secondary**



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

**Population:** The projected population of children aged 0-17 impacted by the development.

**Enrolment:** The number of students projected to attend the Surrey School District ONLY.

MIKE FADUM AND ASSOCIATES LTD.  
VEGETATION CONSULTANTS

---

## Tree Preservation Summary

Surrey Project No: TBD


Address: 16892 20 Avenue

Registered Arborist: Tim Vandenberg

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	176
<b>Protected Trees to be Removed</b>	175
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	1
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 113 X one (1) = <u>113</u></li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 61 X two (2) = <u>122</u></li> </ul>	235
<b>Replacement Trees Proposed</b>	TBD
<b>Replacement Trees in Deficit</b>	TBD
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	NA

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	1
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 1 X one (1) = 1</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0</li> </ul>	1
<b>Replacement Trees Proposed</b>	NA
<b>Replacement Trees in Deficit</b>	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 

Date: June 27, 2024



Mike Fadum and Associates Ltd.  
#105, 8277-129 Street, Surrey, BC, V3W 0A6  
Phone 778-593-0300 Fax 778-593-0302



**MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS**

#105, 8277 129 St.  
Surrey, British Columbia  
V3W 0A6  
Ph: (778) 593-0300  
Fax: (778) 593-0302  
Email: mfadum@fadum.ca

CLIENT

FILE NO.

PROJECT TITLE  
**TREE PRESERVATION AND PROTECTION PLAN**

16982 20 AVENUE  
SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	JUL05/23	MK	SITE PLAN
2	DEC05/23	MK	SITE PLAN
3	JUN27/24	MK	SITE PLAN

SHEET TITLE

**T1 - TREE PRESERVATION AND REMOVAL PLAN**

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DRAWN

AA

SCALE

AS SHOWN

DATE

NOVEMBER 16, 2021

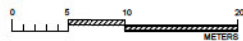
**T - 1**

SHEET 1 OF 2



**LEGEND**

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- MINIMUM NO DISTURBANCE ZONE
- 1.5m NO-BUILD ZONE
- COTTONWOOD TREE TO BE RETAINED
- COTTONWOOD TREE TO BE REMOVED
- ALDER TREE TO BE RETAINED
- ALDER TREE TO BE REMOVED



**MIKE FADUM AND ASSOCIATES LTD. VEGETATION CONSULTANTS**

#105, 8277 129 St.  
Surrey, British Columbia  
V3W 0A6  
Ph: (778) 593-0300  
Fax: (778) 593-0302  
Email: mfadum@fadum.ca

CLIENT

FILE NO.

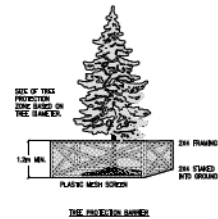
PROJECT TITLE  
**TREE PRESERVATION AND PROTECTION PLAN**

16982 20 AVENUE  
SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	JUL05/23	MK	SITE PLAN
2	DEC05/23	MK	SITE PLAN
3	JUN27/24	MK	SITE PLAN

- GENERAL NOTES:
- NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS.
  - TREE PROTECTION FENCING SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS.
  - REASSESS TREES WITH LOT GRADING PLANS.
  - REPLACEMENT TREES SHALL CONFORM TO BC SLAB/CLNA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.



SHEET TITLE

**T2 - TREE PROTECTION PLAN**

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DRAWN

AA

SCALE

AS SHOWN

DATE

NOVEMBER 16, 2021

**T-2**

SHEET 2 OF 2





CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7923-0024-00

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 001-044-613  
Lot 4 Section 18 Township 7 New Westminster District Plan 5951  
16982 - 20 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

\_\_\_\_\_

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

\_\_\_\_\_

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Subsection B1. Streamside Setbacks Areas, of Part 7A Streamside Protection, the minimum setback from the top of bank of a Class B Ditch is varied from 7 metres to 2 metres for the East Ditch.
5. This development variance permit applies to only the Land shown on Schedule A, which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
  6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
  7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
  8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE  
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

---

Mayor – Brenda Locke

---

City Clerk and  
Director Legislative Services  
Jennifer Ficocelli

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Minimum setback from the top of bank of a Class B Ditch is varied from 7 metres to 2 metres for the East Ditch.

Date	Description
2023-12-05	Reviewed/Comments
2023-08-16	DP Application
2023-07-20	Reviewed/Comments
2022-01-24	DP Application
2022-10-14	Reviewed/Comments
2022-08-17	Reviewed/Comments
2022-05-20	Reviewed/Comments
2022-03-21	Preliminary Application
2022-01-10	Preliminary Application
2021-11-30	Preliminary Application

Issues / Revisions
See

**Project Title**  
 TOWNHOUSE DEVELOPMENT

**Project Address**  
 16982 20 AVENUE  
 SURREY,  
 BRITISH COLUMBIA

Drawn By GG	Date 2022-09-17
Checked By JW	Project ID SU_16982

Sheet Title  
**SITE PLAN**

Scale  
 NTS

Sheet No.  
**A-1.0**