

PROPOSAL:

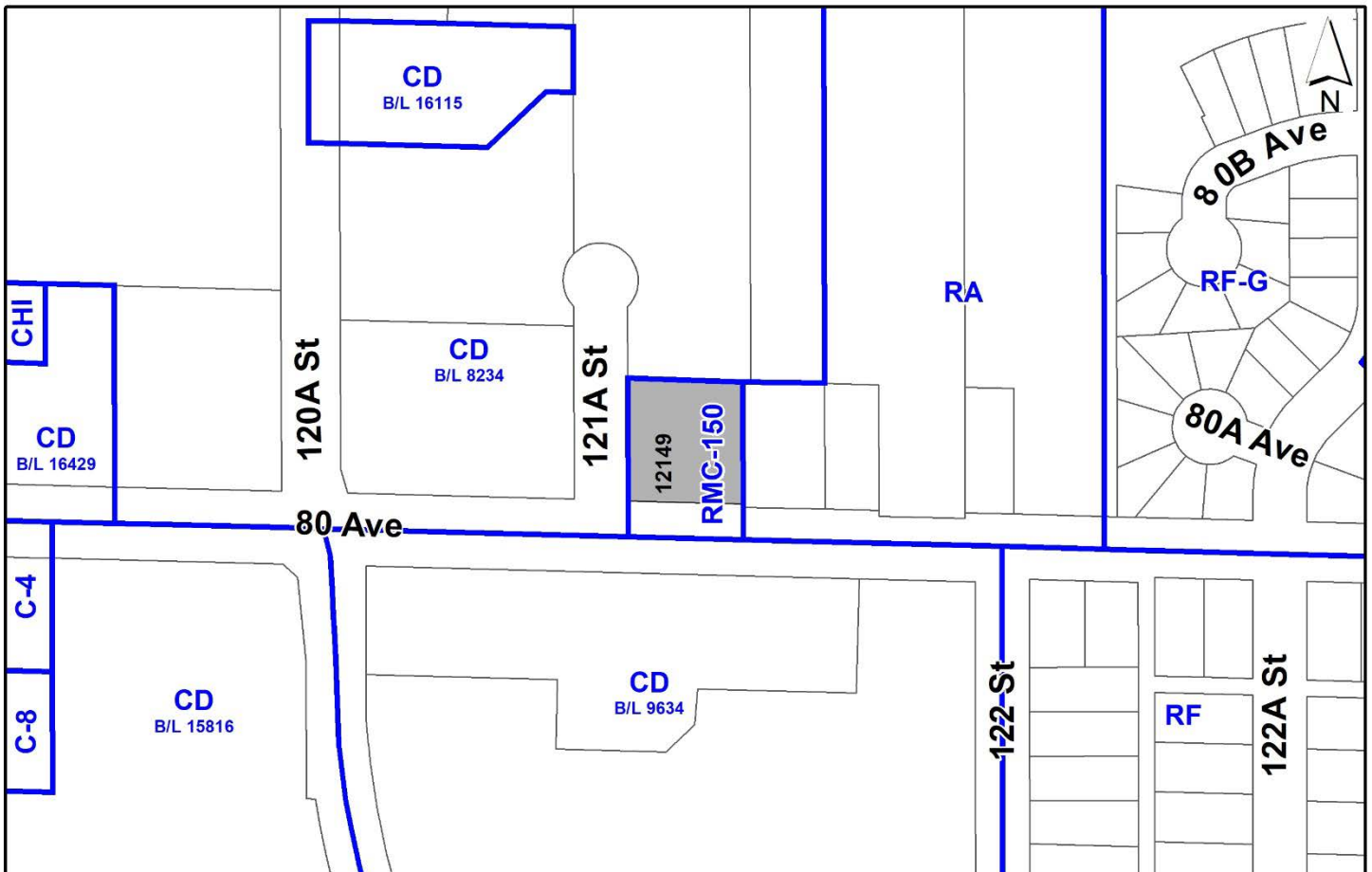
- **OCP Amendment** to allow for a density of 2.02 FAR within the Multiple Residential designation
- **Rezoning** from RMC-150 to CD
- **Development Permit**

to permit the development of a 6-storey mixed use building.

LOCATION: 12149 - 80 Avenue

ZONING: RMC-150

OCP DESIGNATION: Multiple Residential



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing an amendment to the Official Community Plan (OCP) to allow for a density of 2.02 FAR within the Multiple Residential designation.

RATIONALE OF RECOMMENDATION

- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed OCP amendment to allow for a density of 2.02 Floor Area Ratio (FAR) within the Multiple Residential designation is reasonable given the site's location on an arterial road and the site's existing RMC-150 zoning, which allows for an FAR of 3.50.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the Development Permit (Form and Character) design guidelines in the OCP.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs), in support of the requested increased density.
- The proposed building achieves an attractive architectural built form, which utilizes high quality materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm. Upper storey stepbacks are provided to create sensitive interfaces with adjacent buildings.

RECOMMENDATION

The Planning & Development Department recommends that:

1. An OCP Bylaw be introduced to amend Table 7a: Land Use Designation Exceptions by adding the following site specific notation:

"Bylaw No.	Land Use Designation	Site Specific Property	Site Specific Permission
Bylaw # xxxxx	Multiple Residential	12149 – 80 Avenue PID: 000-524-425 Lot 175 Except: Parcel “B” (Bylaw Plan 71289), Section 30, Township 2, NWD Plan 60960	Density permitted up to 2.02 FAR.

and a date be set for Public Hearing.

2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A By-law be introduced to rezone the subject site from "Multiple Residential Commercial 150 Zone (RMC-150)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. Council authorize staff to draft Development Permit No. 7922-0266-00 generally in accordance with the attached drawings (Appendix I).
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;

- (f) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
- (g) submission of an acoustical report for the units adjacent to 80 Avenue and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures; and
- (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Vacant lot	Multiple Residential	RMC-150
North:	Townhouse complex	Multiple Residential	CD (Bylaw No. 8234)
East:	Single family residential	Multiple Residential	RA
South (Across 80 Avenue):	4-storey apartment	Multiple Residential	CD (Bylaw No. 9634)
West (Across 121A Street):	4-storey apartment	Multiple Residential	CD (Bylaw No. 8234)

Context & Background

- The subject site is located at 12149 – 80 Avenue and has an area of 1,935 square metres. The site is flat and is vacant.
- The site is currently zoned "Multiple Residential Commercial 150 Zone" (RMC-150) and is designated "Multiple Residential" in the Official Community Plan (OCP).
- The site's RMC-150 zoning is unusual and allows for high density development up to 3.50 FAR. The site's zoning arises from a large scale Land Use Contract (LUC) application (Development Application No. 587-1) in the area from the late 1970s, which included high rise residential uses with ground oriented commercial spaces, a retail shopping centre, and a movie theatre. LUC No. 587 was partially discharged on a majority of the original LUC area in 1986, but the subject site was not included in the discharge. In 2017, as part of the City's work to discharge LUCs in response to Provincial legislation, the LUC was discharged on the subject site under Development Application No. 7917-0373-00, and the underlying RMC-150 Zone came into effect.

- The subject site is bordered to the north by a 3 storey townhouse complex and to the east by a single family dwelling. To the south across 80 Avenue is a 4-storey apartment and to the west across 121A Street is also a 4-storey apartment building.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing:
 - An amendment to the Official Community Plan (OCP) to allow higher floor area ratio (FAR) within the Multiple Residential designation;
 - A rezoning from "Multiple Residential Commercial 150 Zone" (RMC-150) to "Comprehensive Development Zone" (CD); and
 - A Form and Character Development Permit to allow for a 6-storey mixed use apartment building.

	Proposed
Lot Area	
Gross Site Area:	1,935 sq.m.
Road Dedication:	86 sq.m.
Net Site Area:	1,849 sq.m.
Number of Lots:	1
Building Height:	6 storeys (23 metres)
Floor Area Ratio (FAR):	2.02
Floor Area	
Residential:	3,422 sq.m.
Commercial:	301 sq.m.
Total:	3,723 sq.m.
Residential Units:	
Studio:	7
1-Bedroom:	23
2-Bedroom:	16
3-Bedroom:	2
Total:	48

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 7 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

4 Elementary students at Kennedy Trail Elementary School
2 Secondary students at LA Matheson Secondary School

(Appendix II)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by 2028.

Parks, Recreation & Culture: No concerns. Kennedy Trail Park is the closest active park with amenities including a playground and trails and is 630 metres walking distance from the development. Peter Pan Park is the closest park with natural area and is 130 metres walking distance from the development.

Surrey Fire Department: No concerns.

Advisory Design Panel: At the Regular Council – Land Use meeting on December 18, 2023, Council endorsed Corporate Report No. R214 (2023) which amended the Terms of Reference of the City’s Advisory Design Panel (ADP) which permits multi-family proposals that are 6-storeys or less, and supported by City staff, to proceed to Council for By-law introduction, without review and/or comment from the ADP.

The subject development proposal is generally supported by City staff and the applicant has agreed to resolve any outstanding items, to the satisfaction of the Planning and Development Department, prior to consideration of Final Adoption of the Rezoning By-law as well as issuance of the Development Permit.

Transportation Considerations

Road Network and Infrastructure

- The applicant is required to provide a 2.0-metre wide road dedication along 80 Avenue to the City’s arterial road standard and construction of a sidewalk.

Traffic Impacts

- As the proposal is below the City’s typical traffic generation threshold, a site-specific TIA was not required as part of the subject proposal.

Parking and Access

- The subject development is proposed to be accessed from 121A Street to the west. As the subject site was not able to consolidate with the parcel abutting to the east at 12161/63 – 80 Avenue, the subject site is required to provide an access easement along the north property line to the parcel at 12161/63 – 80 Avenue. As 80 Avenue is an arterial, the access easement will provide the parcel at 12161/63 – 80 Avenue with access when that parcel redevelops, while adhering to the City’s policy of restricting access/egress on arterial roads.
- According to the Zoning Bylaw, 86 parking spaces are required to be provided on site based on the proposed number and type of residential units and commercial space. The applicant is proposing to provide 86 parking spaces, meeting the Zoning Bylaw requirement.
- According to the Zoning Bylaw, 58 secured bicycle parking spaces are required, plus an additional 6 visitor bicycle parking spaces. The applicant is proposing to provide 59 secured bicycle parking spaces, plus 6 visitor parking spaces, meeting the Zoning Bylaw requirement.

Transit

- The subject site is located approximately 275 metres from Scott Road which has extensive bus service, including the R6 Rapid Bus line.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject site is designated “General Urban” in the Metro Vancouver Regional Growth Strategy. The proposal complies with this designation.

Official Community Plan

Land Use Designation

- The proposed land use mostly complies with the subject site’s Multiple Residential designation in the Official Community Plan (OCP). However, an OCP amendment for increased density within the Multiple Residential designation from 1.5 FAR to 2.02 FAR is proposed.

Amendment Rationale

- The proposed OCP amendment to allow for a density of 2.02 FAR within the Multiple Residential designation is reasonable given the site's location on an arterial road (80 Avenue) and the site's proximity to frequent transit service on nearby Scott Road, and the site's existing RMC-150 zoning, which allows for an FAR of 3.50.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation, as described in the Community Amenity Contribution section of this report.
- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate a proposed mixed use apartment building on the subject site. The proposed CD By-law for the development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 70 Zone (RM-70)" and the "Neighbourhood Commercial Zone (C-5)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone, C-5 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	C-5 Zone (Part 35)	RM-70 Zone (Part 24)	Proposed CD Zone
Permitted Uses:	<p>Principle Uses</p> <ol style="list-style-type: none"> 1. Retail stores excluding adult entertainment store, secondhand stores and pawnshops. 2. Personal service uses limited to barbershops, beauty parlours, cleaning and repair of clothing and shoe repair shops. 3. General service uses excluding funeral parlours and drive-through banks. 4. Eating establishments excluding drive-through restaurants. 5. Neighbourhood pubs. 6. Office uses excluding social escort services and methadone clinics. 7. Indoor recreational facilities. 8. Community services. 9. Child care centres. <p>Accessory Uses:</p> <ol style="list-style-type: none"> 10. One caretaker unit per lot. 	<p>Principal Uses:</p> <ol style="list-style-type: none"> 1. Multi-unit residential buildings and ground-oriented multiple unit residential buildings. <p>Accessory Uses:</p> <ol style="list-style-type: none"> 2. Child care centres. 	<p>Principal Uses:</p> <ol style="list-style-type: none"> 1. Multi-unit residential buildings and ground-oriented multiple unit residential buildings. <p>Accessory Uses:</p> <ol style="list-style-type: none"> 2. Retail stores excluding adult entertainment stores, auction houses, second-hand stores and pawnshops. 3. Personal services uses, excluding body rub parlours. 4. Office uses excluding social escort services, methadone clinics and marijuana dispensaries. 5. General services uses excluding funeral parlours, drive-through banks and vehicle rentals. 6. Eating establishments excluding drive-through restaurants, provided that the maximum gross floor area of each individual business does not exceed 150 sq. m. 7. Liquor store. 8. Indoor recreational facilities, excluding a gymnasium. 9. Community services. 10. Child care centres. 11. Cultural uses.
Floor Area Ratio:	0.50	1.50	2.02
Lot Coverage:	50%	33%	48%
Yards and Setbacks	7.5 m	<p>7.5m for the principal building.</p> <p>An underground parking facility is not to be located within 2.0m of the front lot line.</p>	<p>North – 10.0m; East – 7.0m; South (80 Avenue) – 4.0m; West (121 Street) – 4.0m.</p> <p>Stairs are permitted to encroach within the setback area.</p> <p>Underground parking facility may be setback at 0.3 from property line.</p>

Principal Building Height:	9 m	50 m	23.0 m
Amenity Space			
Indoor Amenity:	n/a	144 sq.m.	The proposed 165 sq.m. exceeds the Zoning By-law requirement.
Outdoor Amenity:	n/a	144 sq.m.	The proposed 335 sq.m. exceeds the Zoning By-law requirement.
Parking (Part 5)		Required	Proposed
Number of Stalls			
Commercial:		10	10
Residential and Residential Visitor:		76	76
Total:		83	86
Bicycle Spaces			
Residential Secure Parking:		58	59
Residential Visitor:		6	6

- The accessory commercial uses proposed in the CD Zone largely reflect the uses of the C-5 Zone with the main difference being that the neighbourhood pub use is not proposed in the CD Zone, and personal services are not limited as under the C-5 Zone. Liquor store use is added, and eating establishments are limited to a maximum floor area of 150 square metres.
- The CD Zone proposes a higher net floor area ratio (FAR) at 2.02, above the 1.50 FAR permitted under the RM-70 Zone. The proposed FAR partially reflects the site's existing RMC-150 zoning, which permits an FAR of 3.50. The proposed FAR of 2.02 allows for a 6-storey building which is appropriate along this arterial location.
- The RM-70 Zone has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The proposed 48 % lot coverage for the site reflects the proposed building, which has significant north and east setback areas.
- The proposed 4.0-metre building setbacks for street-facing south and west property lines allows the commercial units and lobby to interact with the public realm. The 7.0-metre east setback allows for some building distance between a potential future new building on the lot to the east at 12161/63 – 80 Avenue. The 12.0-metre north setback allows for a drive-aisle along the northern property line and for landscaping.
- The CD Zone proposes a lower building height at a maximum of 23.0 metres relative to the 50-metre building height permitted by the RM-70 Zone. The proposed building height reflects the 6-storey proposal.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2023, under Corporate Report No.R037;2023.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be \$4,455.70 payable at the rate applicable at the time of Final Subdivision Approval.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation. The current rate is \$11.14 per square foot.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,113.92 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on June 6, 2024, and the Development Proposal Signs were installed on June 17, 2024. Staff received responses from 5 area residents. One (1) of the respondents had no concerns with the proposed development. Four (4) respondents expressed concerns about the proposal, including traffic congestion and lack of parking in the area (*staff comments in italics*).

(The proposal is meeting the parking requirements of the Zoning Bylaw. The vacant site is designated "Multiple Residential" in the Official Community Plan and the proposed development's built form and height is reasonable given the context of the area and its adjacency to the Scott Road corridor.)

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character. The proposed development generally complies with the Form and Character Development Permit guidelines in the Official Community Plan (OCP).
- The mixed use building has a total floor area of 3,723 square metres. The ground floor is proposed to consist of commercial retail units (CRUs) along the 80 Avenue frontage, with the residential lobby and apartment units occupying the rest of the ground floor. A residential lobby is proposed on the west elevation (121A Street) and a commercial lobby is proposed on the south elevation (80 Avenue). The residential unit mix consists of 7 studio units, 23 one-bedroom units, 16 two-bedroom units, and 2 three-bedroom units, for a total of 48 units.
- The building was sited to allow for interaction with the public realm on the south and west sides, to provide building separation on the east side with a potential future building at 12161/63 – 80 Avenue and to allow for a drive-aisle access easement along the north property line.
- The applicant has stepped back the fifth floor massing to reduce the overall massing effect. The indoor amenity space on the top sixth floor is further stepped back, which further reduces the massing. There are no residential units on the sixth floor, just an indoor amenity room.
- The building has a strong interaction with the public realm, with the ground floor commercial and lobbies interacting with the street frontages. Weather protection is provided for pedestrians along the south commercial frontage through the provision of a canopy.
- Two levels of underground parking are proposed, with a “knock-out” panel on parkade level P1 to allow for access to a future potential parkade at 12161/63 – 80 Avenue to the east. No at-grade surface parking is proposed.
- The design of the building is contemporary. This is exemplified by its rectilinear geometry delimited into multiple components, flat roofs and generous amount of retail glazing at street-level. A strong street-wall is established on 80 Avenue with an arrangement of varied planes that modulate the rhythm of the building proportions.
- The proposed exterior materials include prefinished metal cladding (dark gray, light gray), fibre cement panel cladding (white) and glazing. Metal and glass roof canopies help define the ground floor units. Metal guardrails with transparent glazing are proposed for the balconies.

Landscaping

- The landscaping includes a mix of trees, shrubs, and ground cover. The landscaping concept will provide a safe pedestrian environment, attractive landscaping features, and a combination of plantings that will provide visual interest throughout the year.

- Landscaping islands are proposed along the commercial frontage (80 Avenue). Benches and chairs are provided along the commercial frontage. Some plaza space with seating is proposed at the southwest corner of the site.

Indoor Amenity

- The Zoning By-law requires that 144 square metres of both indoor and outdoor amenity space be provided for the residential units in the proposed project, based on the requirement of 3 square metres per dwelling unit. The proposed 165 square metres of indoor amenity meets the minimum required under the Zoning By-law.
- The indoor amenity space is located on the sixth floor, and is surrounded by the outdoor roof top amenity area. The indoor amenity area contains a lounge area with a kitchen, a meeting room and work space, and a washroom.

Outdoor Amenity

- The applicant is proposing a total of 335 square metres of residential outdoor amenity space, which exceeds the requirements in the Zoning By-Law (144 square metres). The outdoor amenity space is located on the sixth floor, adjacent to the indoor amenity space.
- The outdoor amenity contains seating areas, a fire pit, a barbeque station, community gardens, and landscaping.

TREES

- Rylan McIlroy, ISA Certified Arborist of South Coast Arborist Service prepared an Arborist Assessment for the subject site. The table below provides a summary of the proposed tree retention and removal. A detailed list of the proposed tree retention and removal by tree species can be found in (Appendix IV):
- All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

Table 1: Summary of Proposed Onsite Tree Preservation by Tree Species:

	Existing	Remove	Retain
Deciduous Trees	4	4	0
Coniferous Trees	3	3	0
Onsite Tree Totals	7	7	0
Onsite Replacement Trees Proposed	19		
Total Onsite Retained and Replacement Trees	19		

- The Arborist Assessment states that there are a total of 7 bylaw protected trees on the site. The applicant proposes to retain no onsite trees as part of this development proposal.
- For those trees that cannot be retained, the applicant will be required to plant trees on 2 to 1 replacement ratio for all other trees. This will require a proposed total of 14 replacement trees on the site. The applicant is proposing 19 replacement trees, exceeding City requirements.

- The new trees on the site will consist of a variety of trees including vine maple, scarlet maple, sumac, and Serbian spruce.
- In summary, a total of 19 trees are proposed to be retained or replaced on the site.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey, Tree Preservation and Tree Plans

approved by Shawn Low

Ron Gill
Acting General Manager
Planning and Development

KB/cm



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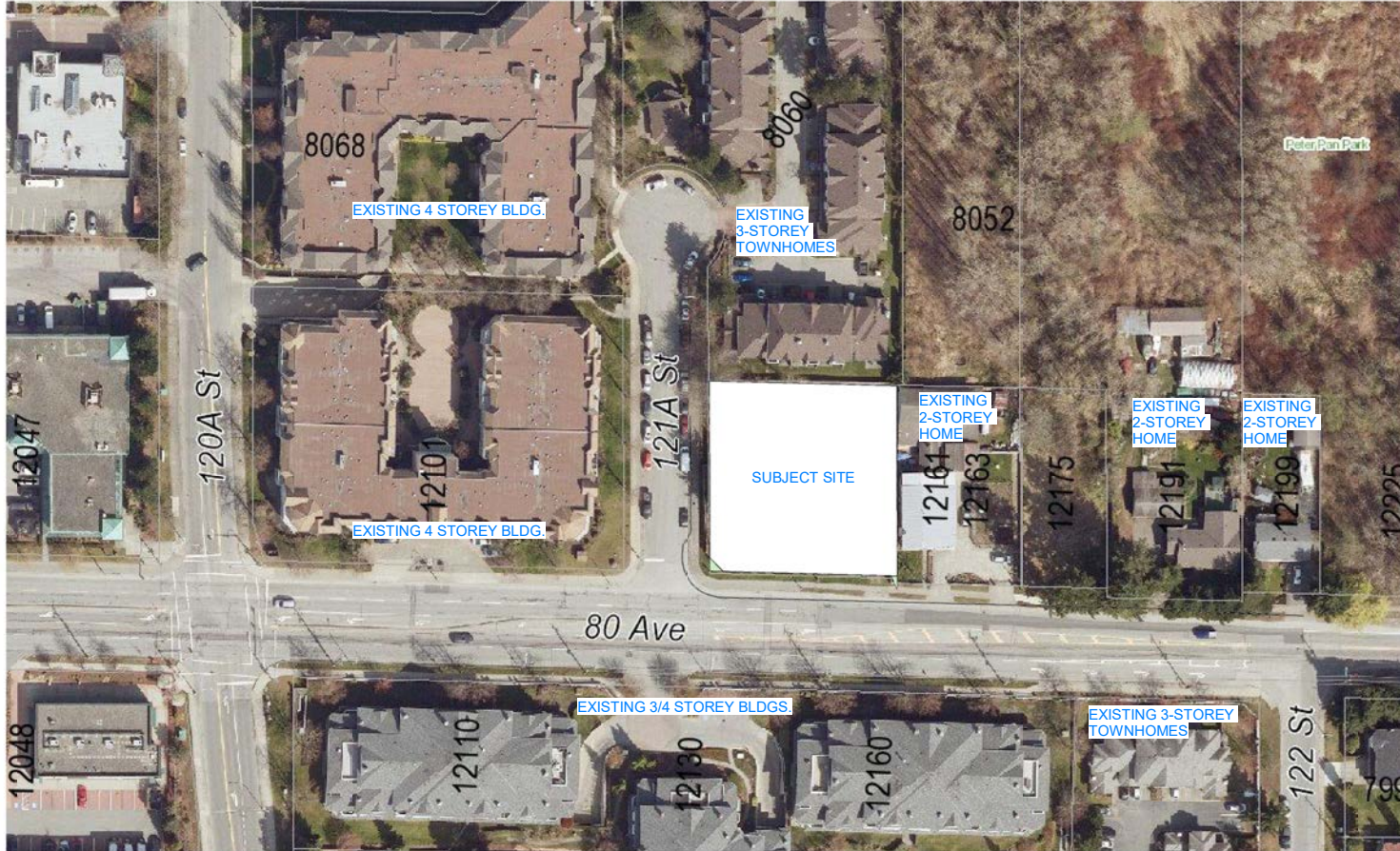
12149 80TH AVE, SURREY
 Development For 661068BC LTD.

RENDERING
 2310

REV	DATE	DESCRIPTION	BY
B	2024-07-30	FOR COORDINATION REV. PER CITY COMMENTS	
A	2024-05-09	RESUBMITTED FOR DP	

SCALE:
 AUGUST 23, 2024

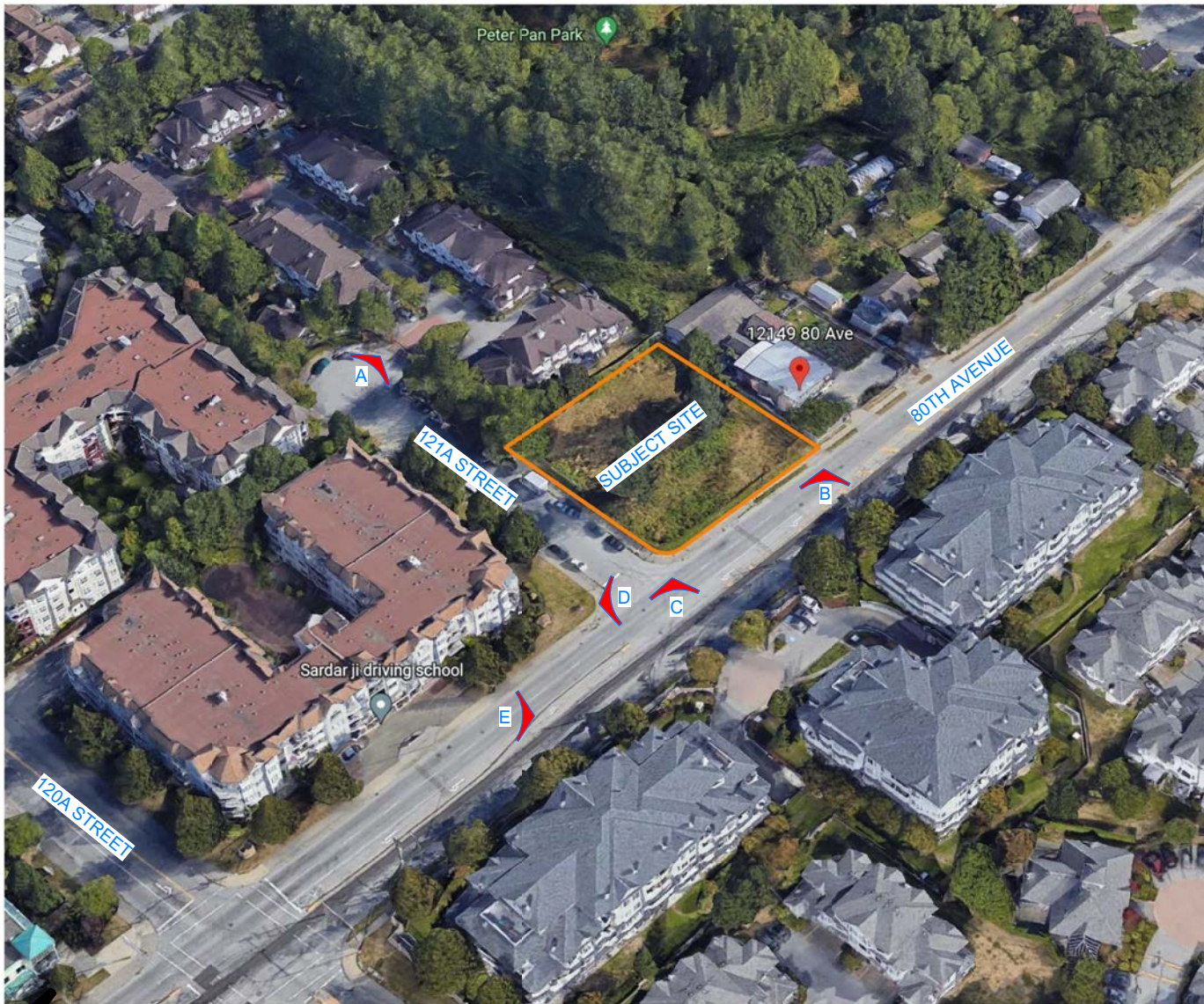
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B	2024-07-30	FOR COORDINATION REV. PER CITY COMMENTS
A	2024-05-09	RESUBMITTED FOR DP
REV	DATE	DESCRIPTION

SCALE: 1 : 500
 AUGUST 23, 2024





SITE CONTEXT - 3D GOOGLE EARTH VIEW



A. EXISTING MULTIFAMILY - NORTH OF SITE



B. EXISTING SINGLE FAMILY - EAST OF SITE



C. EXISTING SITE FROM SOUTHWEST CORNER



D. EXISTING MULTIFAMILY - WEST OF SITE



E. EXISTING MULTIFAMILY - SOUTH OF SITE

REV	DATE	DESCRIPTION	BY
B	2024-07-30	FOR COORDINATION REV. PER CITY COMMENTS	
A	2024-05-09	RESUBMITTED FOR DP	



SYNOPSIS

ZONING: RMC-150

SITE AREA: **1935.19 m²** (GROSS)

DEDICATION: 85.35 m²
 CORNER CUT: 4.50 m²
 NET: 1845.34 m²

SITE COVERAGE PROVIDED: 863.25 m² / 1845.34 m² = **46.8%**

SETBACKS:

NORTH 10.1m (3m TO ACCESS EASEMENT)
 EAST 7.0m (10m FOR EAST FACING UNITS)
 SOUTH 4.0m
 WEST 4.0m

FLOOR AREA (EXCLD INDOOR AMENITY/A):

	RESIDENTIAL	COMMERCIAL
LEVEL 1:	478.96 m ² (5,155.53 ft ²)	300.98 m ² (3,239.76 ft ²)
LEVEL 2:	780.26 m ² (8,398.69 ft ²)	
LEVEL 3:	780.26 m ² (8,398.69 ft ²)	
LEVEL 4:	780.26 m ² (8,398.69 ft ²)	
LEVEL 5:	561.95 m ² (6,048.82 ft ²)	
TOTAL	3,421.69 m ² (36,830.98 ft ²)	300.98 m ² (3,239.76 ft ²)
TOTAL AREA	3,722.67 m ² (40,070.74 ft ²)	

F.A.R.: 3,722.67 m² / 1,845.34 m² = **2.02**
 NET (EXCLD IA) BASED ON NET SITE AREA

MAX. BUILDING HEIGHT PROVIDED (TAKEN FROM AVERAGE FINISHED GRADE)

MAX. BUILDING HEIGHT: <23.0 m TO ROOF PARAPET

UNIT BREAKDOWN:

STUDIO: 7
 1 BED: 7 (INCL. 4 ADAPTABLE UNITS - 8.3%)
 1 BED+DEN: 16
 2 BED+DEN: 16
 3 BED+DEN: 2
 TOTAL UNITS: 48

OUTDOOR AMENITY: REQUIRED PROVIDED
 48 x 3.0 = **144 m²** **334.51 m²** (3600.64 ft²)
 LEVEL 6

INDOOR AMENITY: REQUIRED PROVIDED
 48 x 3.0 = **144 m²** **165.19 m²** (1778.09 ft²)
 LEVEL 6

PARKING (L1+L2 U/G)*: REQUIRED PROVIDED
 COMMERCIAL: 3.5/100 10.3 10 (INCL. 2 SMALL CARS)

VISITOR: 0.2 x 48 = 9.6 10 (INCL. 2 SMALL CARS)

RESIDENTIAL: 1.3 x 30 + 1.5 x 18 = 66.0 66 (INCL. 5 SMALL CARS)
TOTAL: 85.9 86 (INCL. 9 SMALL CARS) + 1

*INCL. WITHIN TOTAL: 1 VAN ACCESS STALL; 1 ACCESSIBLE STALL;
 ALL RES. STALLS W/LEVEL 2 CHARGING OUTLET PER BYLAW

BICYCLE PARKING REQUIRED PROVIDED
 RESIDENT: 1.2 x 48 = 57.6 58 + 1 (P1 U/G SECURED)
 VISITOR: 6 6 (SURFACE WEST OF RES. LOBBY)

SITE PLAN
 T: 100



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SITE PLAN

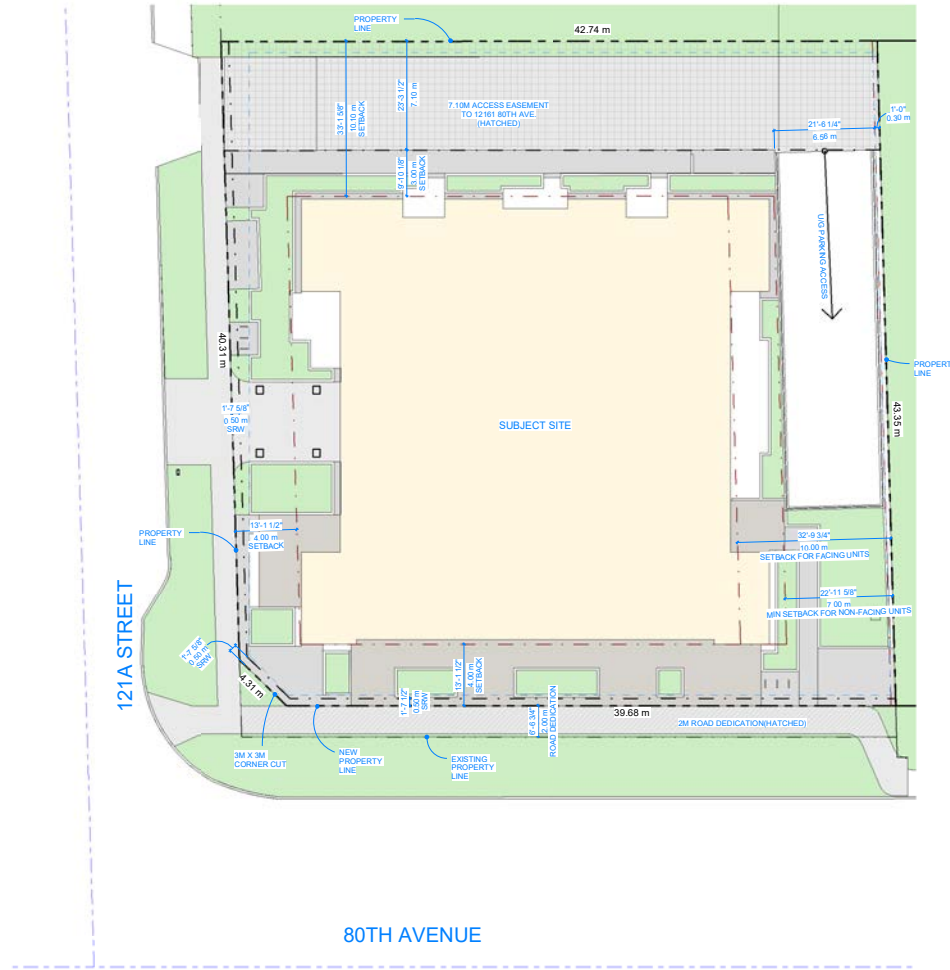
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SCALE: As indicated
 AUGUST 23, 2024

REV	DATE	DESCRIPTION
C	2024-07-30	FOR COORDINATION REV. PER CITY COMMENTS
B	2024-06-17	REV. PER CITY COMMENTS
A	2024-05-09	RESUBMITTED FOR DP
REV	DATE	DESCRIPTION



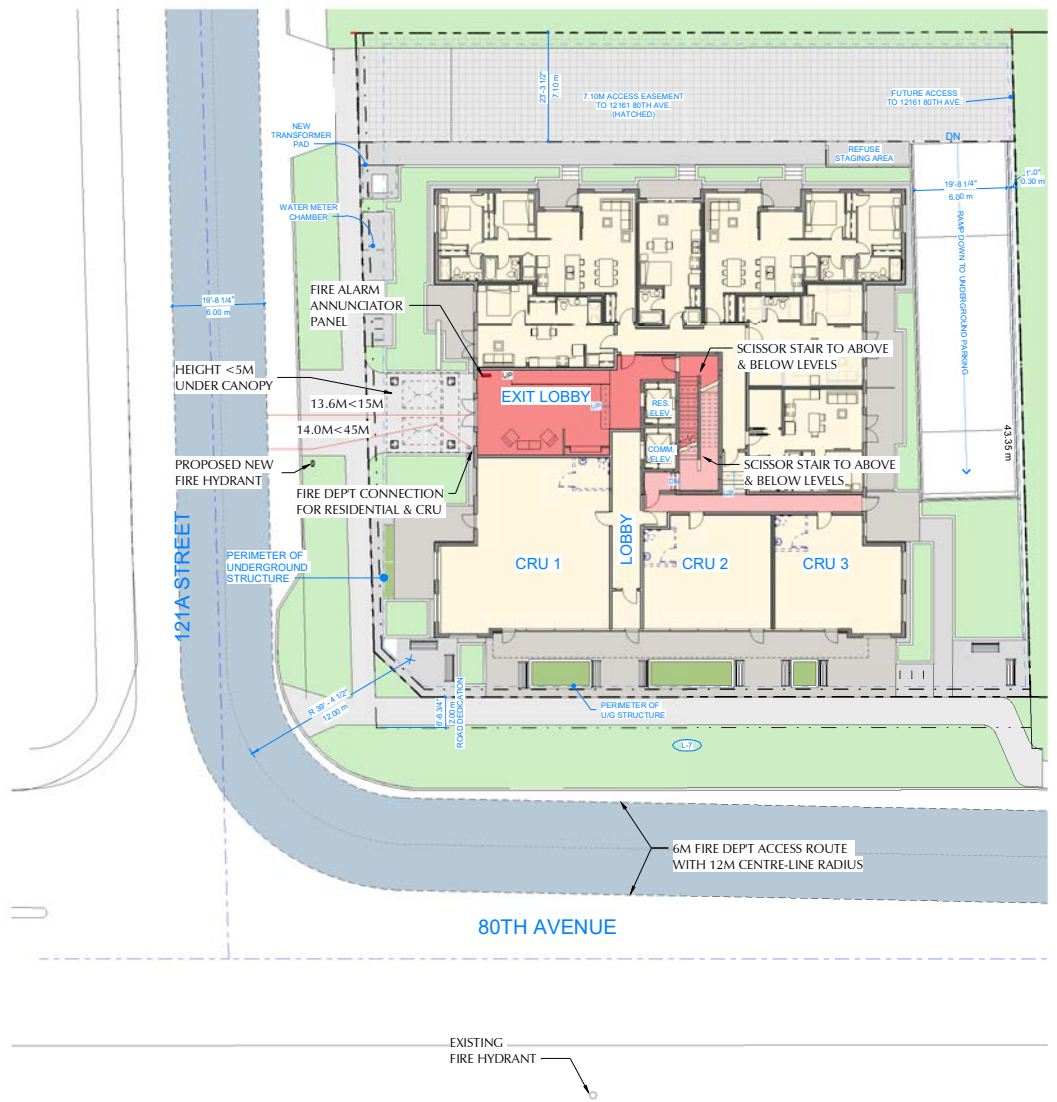
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BASE PLAN
1:125

REV	DATE	DESCRIPTION	BY
B	2024-07-30	FOR COORDINATION REV. PER CITY COMMENTS	
A	2024-05-09	RESSESUED FOR DP	





FIRE DEPT SITE PLAN
1:150



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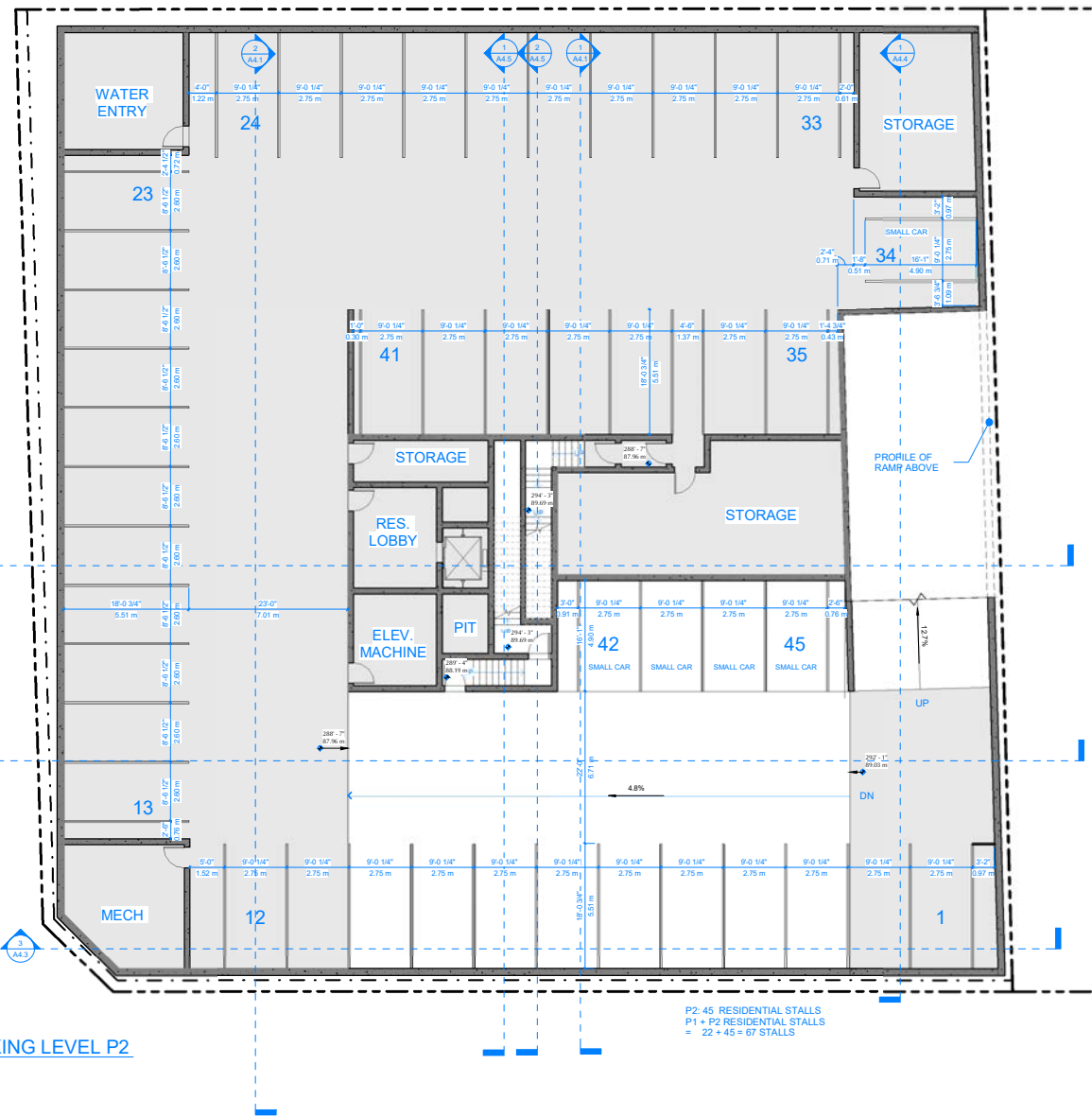
FIRE DEPT SITE PLAN
2310

REV	DATE	DESCRIPTION	BY
B	2024-07-30	FOR COORDINATION REV. PER CITY COMMENTS	
A	2024-05-09	RESUBMITTED FOR DP	

SCALE: 1:150
AUGUST 23, 2024



A1.4



UNIT TYPE	AREA	# OF UNITS
UNIT A - 1BDRM-ADAPT	497.72 ft ² 46.24 m ²	4 = 8.3%
UNIT B - 2BDRM+DEN	913.32 ft ² 84.85 m ²	8 = 16.7%
UNIT B+ - 2BDRM+DEN	906.64 ft ² 84.23 m ²	6 = 12.5%
UNIT C - STUDIO	381.37 ft ² 35.43 m ²	7 = 14.6%
UNIT D - 1BDRM+DEN	549.07 ft ² 51.01 m ²	1 = 2.1%
UNIT E - 1BDRM+DEN	566.18 ft ² 52.60 m ²	1 = 2.1%
UNIT F - 1BDRM	455.42 ft ² 42.31 m ²	3 = 6.3%
UNIT G - 1BDRM+DEN	593.84 ft ² 55.17 m ²	3 = 6.3%
UNIT H - 1BDRM+DEN	504.11 ft ² 46.83 m ²	6 = 12.5%
UNIT J - 1BDRM+DEN	558.54 ft ² 51.89 m ²	3 = 6.3%
UNIT K - 3BDRM+DEN	1091.46 ft ² 101.40 m ²	2 = 4.2%
UNIT L - 1BDRM+DEN	559.08 ft ² 51.94 m ²	2 = 4.2%
UNIT M - 2BDRM+DEN	967.35 ft ² 89.87 m ²	2 = 4.2%
TOTAL		48

PARKING REQ'D
 30 STUDIOS + 1 BED = 30 x 1.3 = 39 STALLS
 18 2BED + 3BED = 18 x 1.5 = 27
 VISITORS = 48 x 0.2 = 10
PARKING PROVID 76 STALLS
 76 + 1+77 (9 SMALL CARS @ 2)

ELECTRICAL VEHICLE CHARGING NOTE:
 ALL RESIDENTIAL PARKING STALLS ARE TO BE PROVIDED WITH AN ENERGIZED OUTLET FOR ELECTRICAL VEHICLE LEVEL 2 CHARGING STATIONS

P2: 45 RESIDENTIAL STALLS
 P1 + P2 RESIDENTIAL STALLS
 = 22 + 45 = 67 STALLS

UNDERGROUND PARKING LEVEL P2
 1/8" = 1'-0"



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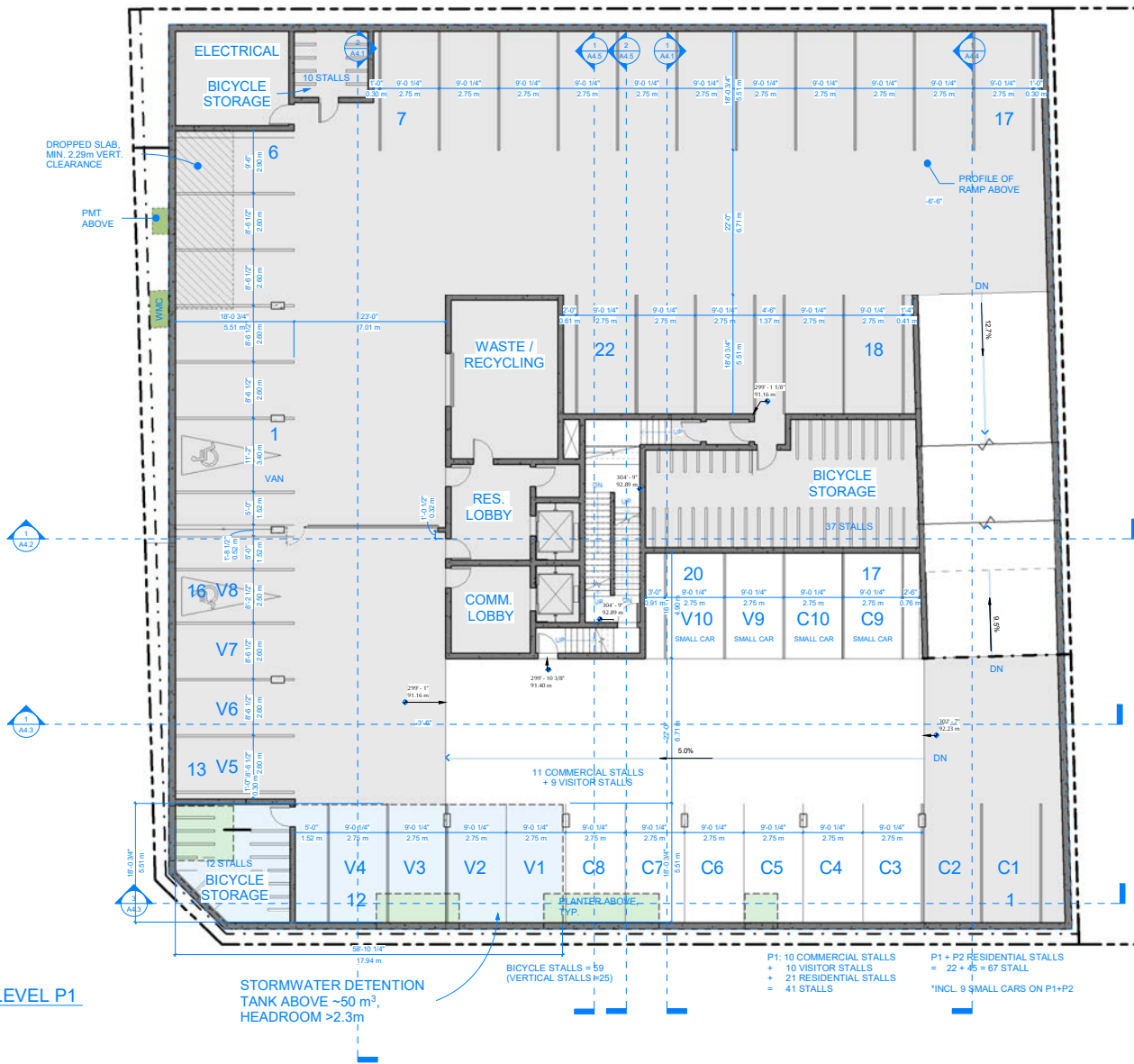
U/G PARKING LEVEL P2
 2310

REV	DATE	DESCRIPTION
B	2024-07-30	FOR COORDINATION REV. PER CITY COMMENT
A	2024-05-09	RESUBMITTED FOR DP
REV	DATE	DESCRIPTION

SCALE: As indicated
 AUGUST 23, 2024



A2.1



UNIT TYPE	AREA	# OF UNITS
UNIT A - 1BDRM-ADAPT	497.72 ft ² 46.24 m ²	4 = 8.3%
UNIT B - 2BDRM+DEN	913.32 ft ² 84.85 m ²	8 = 16.7%
UNIT B1 - 2BDRM+DEN	906.64 ft ² 84.23 m ²	6 = 12.5%
UNIT C - STUDIO	381.37 ft ² 35.43 m ²	7 = 14.6%
UNIT D - 1BDRM+DEN	549.07 ft ² 51.01 m ²	1 = 2.1%
UNIT E - 1BDRM+DEN	566.18 ft ² 52.60 m ²	1 = 2.1%
UNIT F - 1BDRM	455.42 ft ² 42.31 m ²	3 = 6.3%
UNIT G - 1BDRM+DEN	593.84 ft ² 55.17 m ²	3 = 6.3%
UNIT H - 1BDRM+DEN	504.11 ft ² 46.83 m ²	6 = 12.5%
UNIT J - 1BDRM+DEN	558.54 ft ² 51.89 m ²	3 = 6.3%
UNIT K - 3BDRM+DEN	1091.46 ft ² 101.40 m ²	2 = 4.2%
UNIT L - 1BDRM+DEN	559.08 ft ² 51.94 m ²	2 = 4.2%
UNIT M - 2BDRM+DEN	967.35 ft ² 89.87 m ²	2 = 4.2%
TOTAL		48

PARKING REQ'D
 30 STUDIOS + 1 BED = 30 x 1.3 = 39 STALLS
 18 2BED + 3BED = 18 x 1.5 = 27
 VISITORS = 48 x 0.2 = 10
PARKING PROVID 76 STALLS
 76 + 1+77 (9 SMALL CARS DN)

ELECTRICAL VEHICLE CHARGING NOTE:
 ALL RESIDENTIAL PARKING STALLS ARE TO BE PROVIDED WITH AN ENERGIZED OUTLET FOR ELECTRICAL VEHICLE LEVEL 2 CHARGING STATIONS

UNDERGROUND PARKING LEVEL P1
 1/8" = 1'-0"

STORMWATER DETENTION TANK ABOVE ~50 m³, HEADROOM >2.3m

BICYCLE STALLS = 59 (VERTICAL STALLS = 25)

P1: 10 COMMERCIAL STALLS + 10 VISITOR STALLS + 21 RESIDENTIAL STALLS = 41 STALLS

P1 + P2 RESIDENTIAL STALLS = 22 + 45 = 67 STALL
 *INCL 9 SMALL CARS ON P1+P2



12149 80TH AVE, SURREY

U/G PARKING LEVEL P1

Development For 661068BC LTD.

2310

SCALE: As indicated
 AUGUST 23, 2024

REV	DATE	DESCRIPTION
B	2024-07-30	FOR COORDINATION REV. PER CITY COMMENT
A	2024-05-09	RESUBMITTED FOR DP
REV	DATE	DESCRIPTION



A2.2



UNIT TYPE	AREA	# OF UNITS
UNIT A - 1BDRM-ADAPT	497.72 ft ² 46.24 m ²	4 = 8.3%
UNIT B- 2BDRM+DEN	913.32 ft ² 84.85 m ²	8 = 16.7%
UNIT B- 2BDRM+DEN	906.64 ft ² 84.23 m ²	6 = 12.5%
UNIT C - STUDIO	381.37 ft ² 35.43 m ²	7 = 14.6%
UNIT D - 1BDRM+DEN	549.07 ft ² 51.01 m ²	1 = 2.1%
UNIT E - 1BDRM+DEN	566.18 ft ² 52.60 m ²	1 = 2.1%
UNIT F - 1BDRM	455.42 ft ² 42.31 m ²	3 = 6.3%
UNIT G - 1BDRM+DEN	593.84 ft ² 55.17 m ²	3 = 6.3%
UNIT H - 1BDRM+DEN	504.11 ft ² 46.83 m ²	6 = 12.5%
UNIT J - 1BDRM+DEN	558.54 ft ² 51.89 m ²	3 = 6.3%
UNIT K - 3BDRM+DEN	1091.46 ft ² 101.40 m ²	2 = 4.2%
UNIT L - 1BDRM+DEN	559.08 ft ² 51.94 m ²	2 = 4.2%
UNIT M - 2BDRM+DEN	867.35 ft ² 89.87 m ²	2 = 4.2%
TOTAL		48

PARKING REQ'D
 30 STUDIOS + 1 BED = 30 x 1.3 = 39 STALLS
 18 2BED + 3BED = 18 x 1.5 = 27
VISITORS = 48 x 0.2 = 10
 76 STALLS
PARKING PROVIDED 76 + 1=77 (9 SMALL CARS 12%)

LEGEND

MAIN FLOOR LEVEL
 1/8" = 1'-0"



THE NEST

80TH AVENUE

12149 80TH AVE, SURREY

MAIN LEVEL

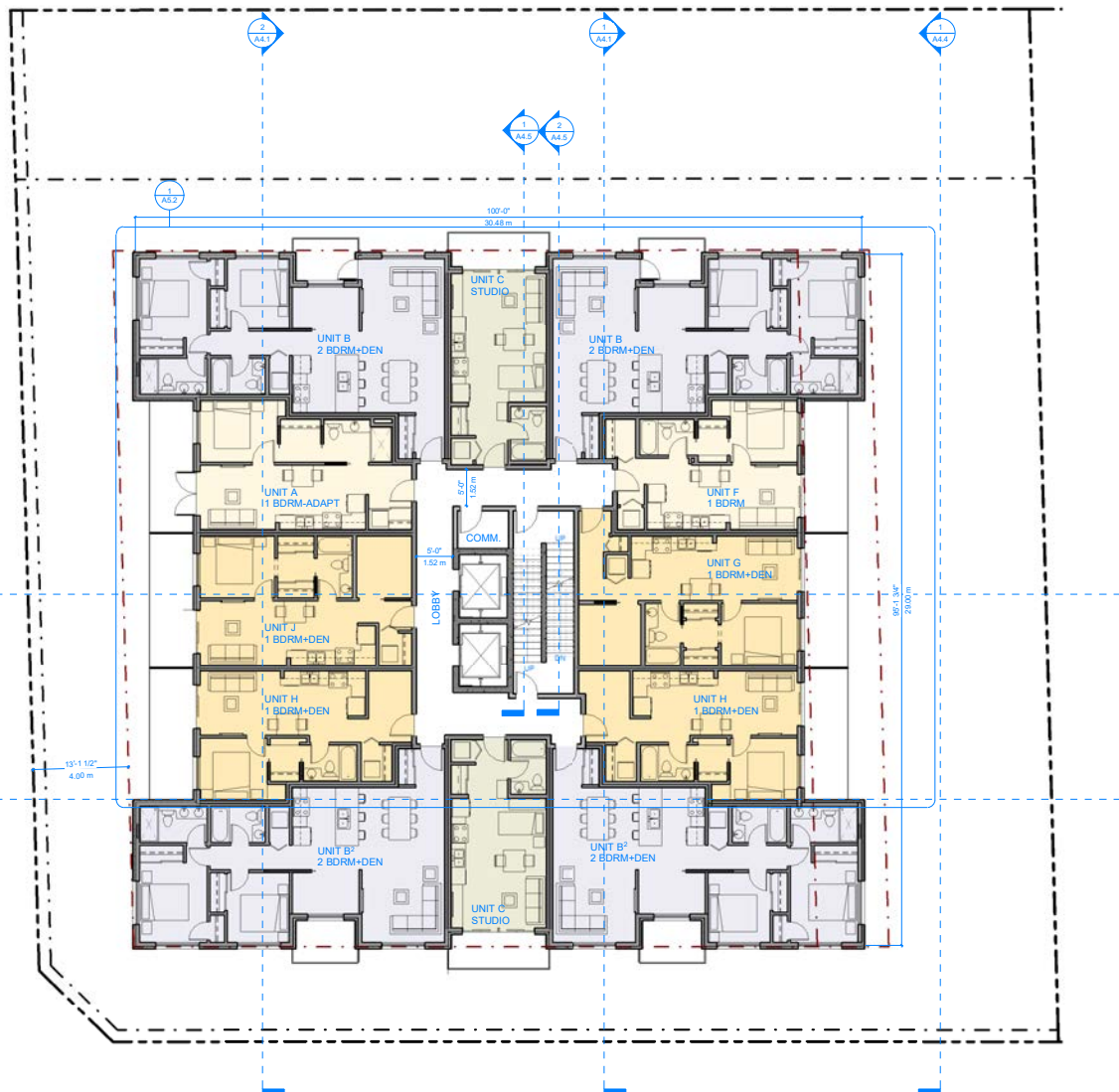
2310

C	2024-07-30	FOR COORDINATION REV. PER CITY COMMENTS
B	2024-06-17	REV. PER CITY COMMENTS
A	2024-05-09	RESUBMITTED FOR DP
REV	DATE	DESCRIPTION

SCALE: As indicated
 AUGUST 23, 2024



A2.3



UNIT TYPE	AREA	# OF UNITS
UNIT A - 1BD RM-ADAPT	497.72 ft ² 46.24 m ²	4 = 8.3%
UNIT B - 2BD RM+DEN	913.32 ft ² 84.85 m ²	8 = 16.7%
UNIT B ² - 2BD RM+DEN	906.64 ft ² 84.23 m ²	6 = 12.5%
UNIT C - STUDIO	381.37 ft ² 35.43 m ²	7 = 14.6%
UNIT D - 1BD RM+DEN	549.07 ft ² 51.01 m ²	1 = 2.1%
UNIT E - 1BD RM+DEN	566.18 ft ² 52.60 m ²	1 = 2.1%
UNIT F - 1BD RM	455.42 ft ² 42.31 m ²	3 = 6.3%
UNIT G - 1BD RM+DEN	593.84 ft ² 55.17 m ²	3 = 6.3%
UNIT H - 1BD RM+DEN	504.11 ft ² 46.83 m ²	6 = 12.5%
UNIT J - 1BD RM+DEN	558.54 ft ² 51.89 m ²	3 = 6.3%
UNIT K - 3BD RM+DEN	1091.46 ft ² 101.40 m ²	2 = 4.2%
UNIT L - 1BD RM+DEN	559.08 ft ² 51.94 m ²	2 = 4.2%
UNIT M - 2BD RM+DEN	967.35 ft ² 89.87 m ²	2 = 4.2%
TOTAL		48

PARKING REQ'D
 30 STUDIOS + 1 BED = 30 x 1.3 = 39 STALLS
 18 2BED + 3BED = 18 x 1.5 = 27
 VISITORS = 48 x 0.2 = 10
PARKING PROVID 76 STALLS
 76 + 1+77 (9 SMALL CARS (2%))

LEGEND	
	CRU
	STUDIO
	STUDIO + DEN
	1 BD RM
	1 BD RM + DEN
	2 BD RM
	2 BD RM + DEN
	3 BD RM
	AMENITY INDOOR
	AMENITY OUTDOOR

SECOND LEVEL (TYPICAL THRU FOURTH LEVEL)
 1/8" = 1'-0"

SECOND LEVEL (TYPICAL THRU LEVEL 4)



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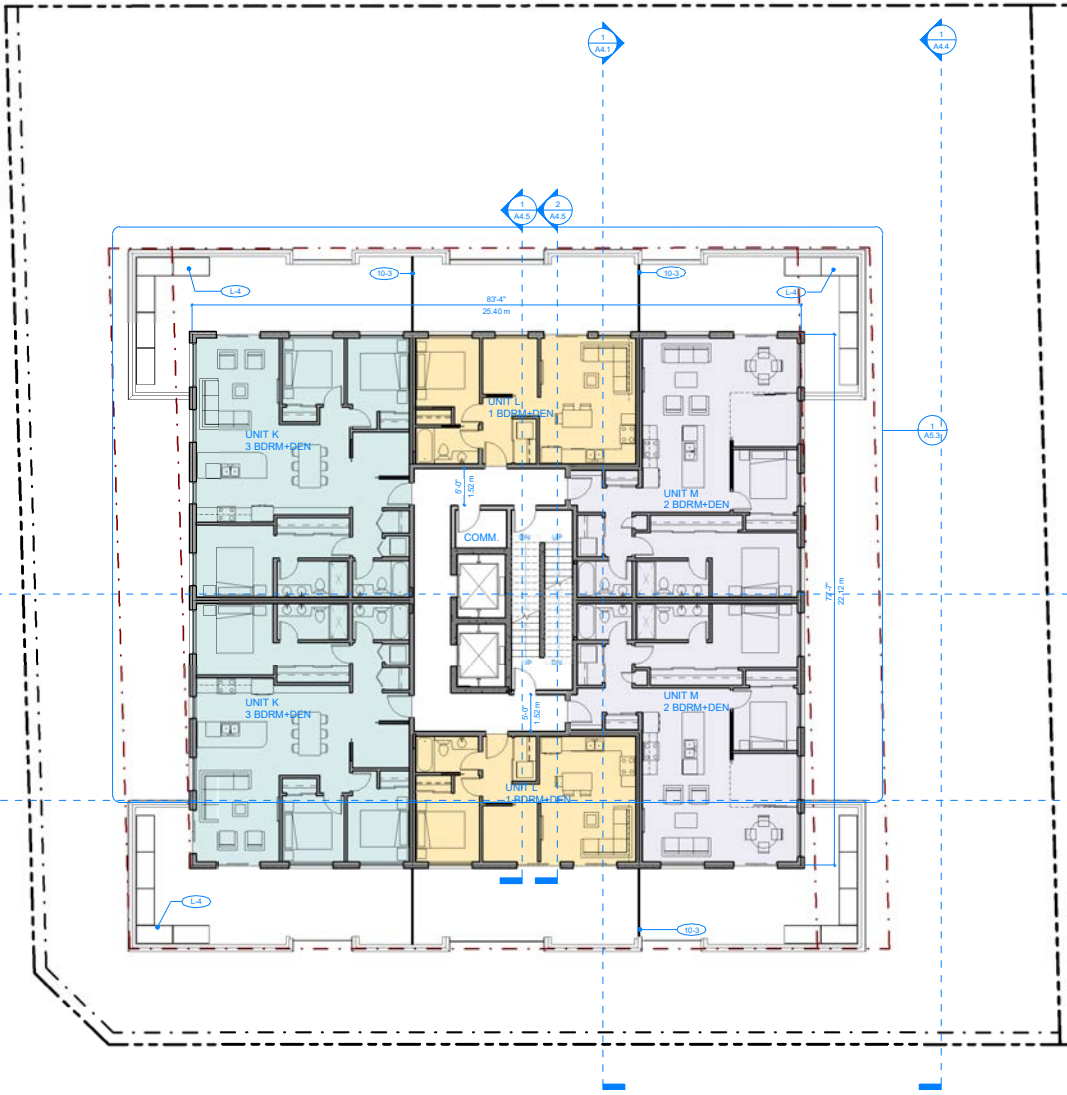
2310

SCALE: As indicated
 AUGUST 23, 2024

REV	DATE	DESCRIPTION
B	2024-07-30	FOR COORDINATION REV. PER CITY COMMENT
A	2024-05-09	RESUBMITTED FOR DP
REV	DATE	DESCRIPTION



A2.4



KEYNOTES	
No.	DESCRIPTION
10.3	PRE-FINISHED METAL SLAT PRIVACY PARTITION, MANUFACTURER LONGBOARD, COLOUR ULTRA WHITE
L-4	42" HIGH FIBERGLASS LANDSCAPE PLANTER, COLOUR 'SNOW' - REFER TO LANDSCAPE FOR SPECIFICATIONS AND PLANTING

UNIT TYPE	AREA	# OF UNITS
UNIT A - 1BDRM-ADAPT	497.72 R ² 46.24 M ²	4 = 8.3%
UNIT B - 2BDRM+DEN	913.32 R ² 84.85 M ²	8 = 16.7%
UNIT B ² - 2BDRM+DEN	906.64 R ² 84.23 M ²	6 = 12.5%
UNIT C - STUDIO	381.37 R ² 35.43 M ²	7 = 14.6%
UNIT D - 1BDRM+DEN	549.07 R ² 51.01 M ²	1 = 2.1%
UNIT E - 1BDRM+DEN	566.18 R ² 52.60 M ²	1 = 2.1%
UNIT F - 1BDRM	455.42 R ² 42.31 M ²	3 = 6.3%
UNIT G - 1BDRM+DEN	593.84 R ² 55.17 M ²	3 = 6.3%
UNIT H - 1BDRM+DEN	504.11 R ² 46.83 M ²	6 = 12.5%
UNIT J - 1BDRM+DEN	558.54 R ² 51.89 M ²	3 = 6.3%
UNIT K - 3BDRM+DEN	1091.46 R ² 101.40 M ²	2 = 4.2%
UNIT L - 1BDRM+DEN	559.08 R ² 51.94 M ²	2 = 4.2%
UNIT M - 2BDRM+DEN	967.35 R ² 89.87 M ²	2 = 4.2%
TOTAL		46

PARKING REQ'D
 30 STUDIOS + 1 BED = 30 x 1.3 = 39 STALLS
 18 2BED + 3BED = 18 x 1.5 = 27
 VISITORS = 48 x 0.2 = 10
PARKING PROVIDED 76 STALLS
 76 + 1 = 77 (9 SMALL CARS (9%))

LEGEND	
CRU	2 BDRM
STUDIO	2 BDRM + DEN
STUDIO + DEN	3 BDRM
1 BDRM	AMENITY INDOOR
1 BDRM + DEN	AMENITY OUTDOOR

FIFTH LEVEL
 1/8" = 1'-0"



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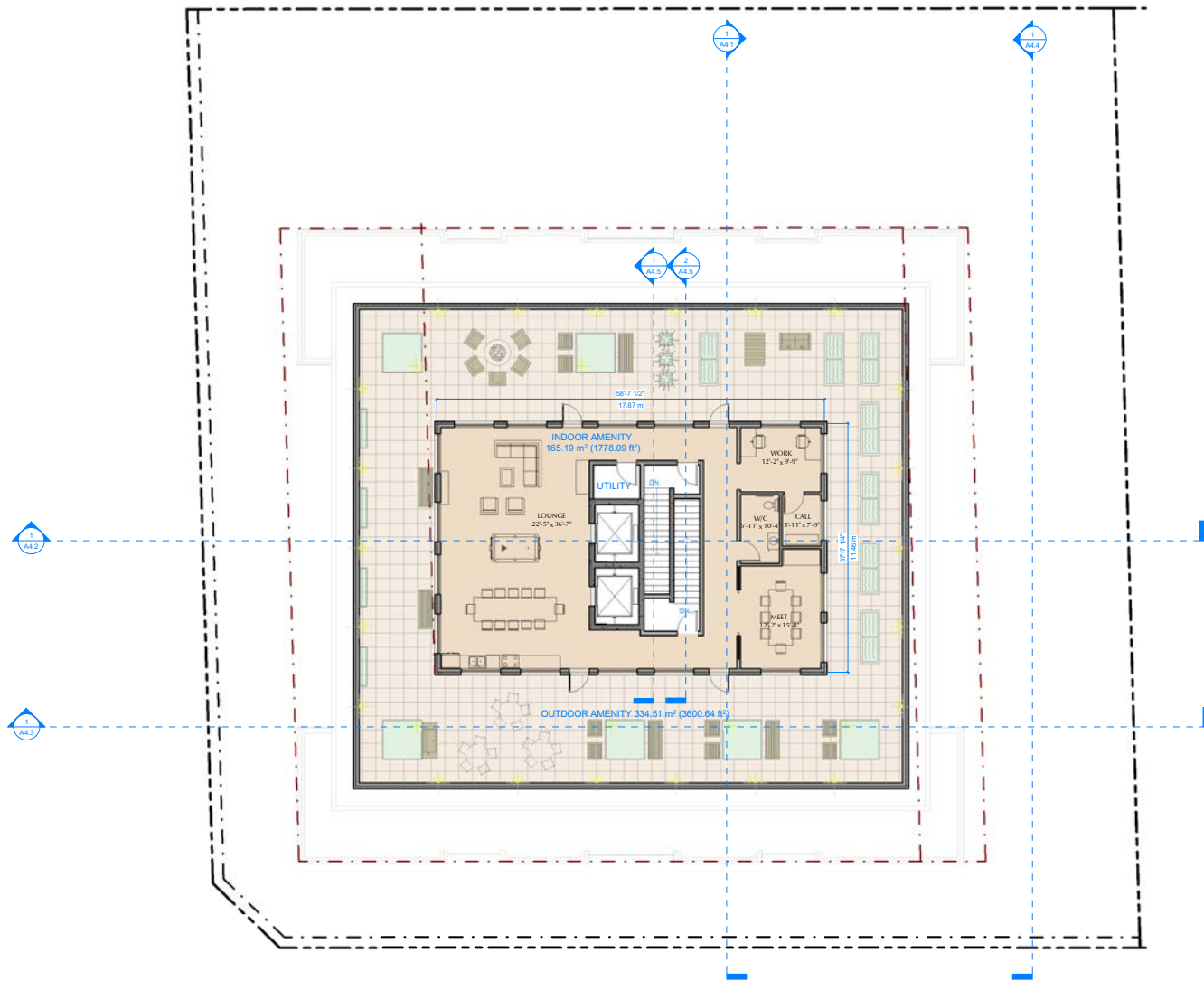
FIFTH LEVEL
 2310

REV	DATE	DESCRIPTION
B	2024-07-30	FOR COORDINATION REV. PER CITY COMMENTS
A	2024-05-09	RESUBMITTED FOR DP
REV	DATE	DESCRIPTION

SCALE: As indicated
 AUGUST 23, 2024



A2.5



LEGEND

	CRU		2 BDRM
	STUDIO		2 BDRM + DEN
	STUDIO + DEN		3 BDRM
	1 BDRM		AMENITY INDOOR
	1 BDRM + DEN		AMENITY OUTDOOR

AMENITY LEVEL
1/8" = 1'-0"



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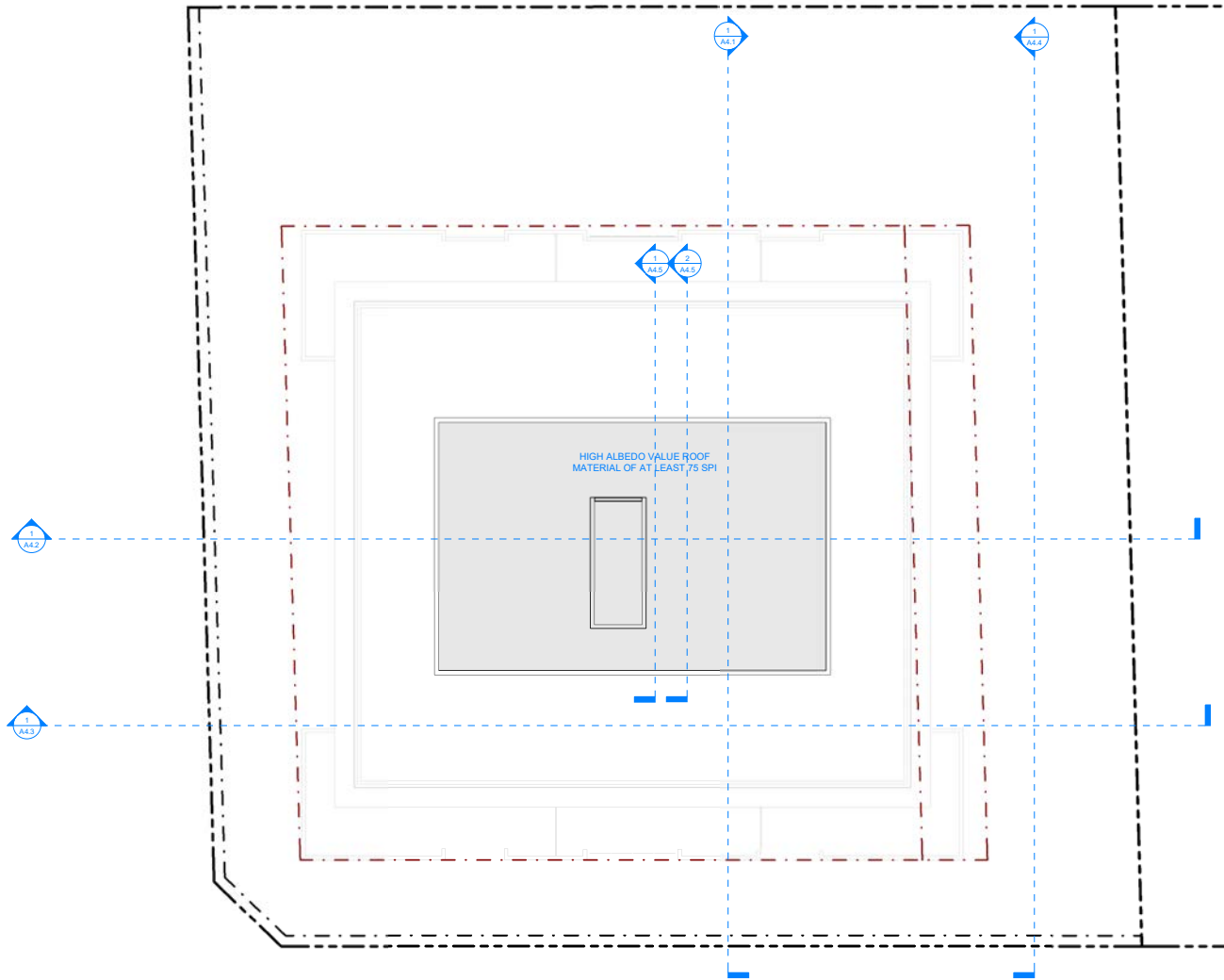
AMENITY LEVEL
2310

REV	DATE	DESCRIPTION	BY
B	2024-07-30	FOR COORDINATION REV. PER CITY COMMENTS	
A	2024-05-09	RES-SUED FOR DP	

SCALE: As indicated
AUGUST 23, 2024



A2.6



ROOF LEVEL
1:100

REV	DATE	DESCRIPTION	BY
B	2024-07-30	FOR COORDINATION REV. PER CITY COMMENTS	
A	2024-05-09	RES-SUED FOR DP	





KEYNOTES	
No.	DESCRIPTION
05-1	STEEL 6x6 HSS CANOPY COLUMNS, PAINTED TO MATCH JAMES HARDIE ARCTIC WHITE
07-30	PREFINISHED METAL CLADDING: MAC METALS, POLYMAC 20' HIGH PANEL PROFILE, COLOUR: ANTHRACITE
07-71	PREFINISHED METAL CLADDING: MAC METALS, METAL BLOCK PROFILE, COLOUR: METALLIC GREY
07-72	CEMENTITIOUS PANEL CLADDING COMPLETE WITH COLOUR MATCHED REVEALS WHERE INDICATED, COLOUR: JAMES HARDIE ARCTIC WHITE
07-74	PREFINISHED METAL FLASHING FASCIA: TO MATCH JAMES HARDIE ARCTIC WHITE
07-75	PREFINISHED METAL CAP FLASHING: TO MATCH JAMES HARDIE ARCTIC WHITE
07-76	PREFINISHED METAL CAP FLASHING: TO MATCH MAC METALS' METALLIC GEV
08-2	THERMALLY BROKEN STOREFRONT SYSTEM: MILLION COLOR TO MATCH BENJAMIN MOORE, #200-30, SWITCHING HOUR
08-3	INSULATED GLAZED UNIT VINYL WINDOWS, FRAME COLOUR TO MATCH BENJAMIN MOORE #200-30 SWITCHING HOUR
10-3	PREFINISHED METAL SLAT PRIVACY PARTITION, MANUFACTURER LONGBOARD, COLOUR ULTRA WHITE
10-4	CRU LAMBERING, ACRYLIC FILM ADHERED TO CRU STOREFRONT GLAZING, 6" HIGH ARIAL FONT

SOUTH ELEVATION (80TH AVENUE)
1:75

REV	DATE	DESCRIPTION
B	2024-07-30	FOR COORDINATION REV. PER CITY COMMENTS
A	2024-05-09	RESUBMITTED FOR DP
REV	DATE	DESCRIPTION

SCALE: 1 : 75
 AUGUST 23, 2024



KEYNOTES	
No.	DESCRIPTION
06-1	STEEL 6x6 HSS CANOPY COLUMNS, PAINTED TO MATCH JAMES HARDIE ARCTIC WHITE
07-30	PREFINISHED METAL CLADDING: MAC METALS, POLYMAC 207 HIGH PANEL PROFILE, COLOUR: ANTHRACITE
07-72	CEMENTITIOUS PANEL CLADDING COMPLETE WITH COLOUR MATCHED REVEALS WHERE INDICATED. COLOUR: JAMES HARDIE ARCTIC WHITE
07-74	PREFINISHED METAL FLASHING FASCIA: TO MATCH JAMES HARDIE ARCTIC WHITE
07-75	PREFINISHED METAL CAP FLASHING: TO MATCH JAMES HARDIE ARCTIC WHITE
07-76	PREFINISHED METAL CAP FLASHING: TO MATCH MAC METALS METALLIC GREY
08-3	INSULATED GLAZED UNIT VINYL WINDOWS, FRAME COLOUR TO MATCH BENJAMIN MOORE 2120-30 WITCHING HOUR
10-3	PREFINISHED METAL SLAT PRIVACY PARTITION, MANUFACTURER LONGBOARDS, COLOUR: ULTRA WHITE
10-4	42" HIGH ARCHITECTURAL FRAMELESS TEMPERED GLASS GUARDRAIL, BOTTOM GLAZING TROTTED CERAMIC FROST, UPPER GLAZING CLEAR
10-5	BUILDING RESIDENTIAL ADDRESS (121A STREET), PREFINISHED ALUMINUM FINISHED NUMBERS, 12" HIGH, FONT ARIAL, PAINTED TO MATCH BENJAMIN MOORE 2120-30 WITCHING HOUR, MOUNTED ON 1/2" ACRYLIC STANDOFFS WITH ALUMINUM PINS - REFER TO ELEVATIONS FOR LOCATION

WEST ELEVATION (121A STREET)

1:75

REV	DATE	DESCRIPTION	BY
B	2024-07-30	FOR COORDINATION REV. PER CITY COMMENTS	
A	2024-05-09	RESUBMITTED FOR DP	

SCALE: 1 : 75
 AUGUST 23, 2024



KEYNOTES	
No.	DESCRIPTION
07-70	PREFINISHED METAL CLADDING: MAC METALS, POLYMAC 20" HIGH PANEL PROFILE, COLOUR: ANTHRACITE
07-72	CERAMITIC GLAZED VINYL WINDOWS, COMPLETE WITH COLOUR MATCHED REVEALS WHERE INDICATED, COLOUR: JAMES HARDIE 'ARCTIC WHITE'
07-74	PREFINISHED METAL FLASHING FASCIA: TO MATCH JAMES HARDIE 'ARCTIC WHITE'
07-75	PREFINISHED METAL CAP FLASHING: TO MATCH JAMES HARDIE 'ARCTIC WHITE'
07-76	PREFINISHED METAL CAP FLASHING: TO MATCH MAC METALS 'METALLIC SET'
08-3	INSULATED GLAZED UNIT VINYL WINDOWS, FRAME COLOUR TO MATCH BENJAMIN MOORE '2120-30 WITTING HOUR'
10-3	PRE-FINISHED METAL 'SLAT PRIVACY PARTITION, MANUFACTURER LONGBOARD, COLOUR ULTRA WHITE
EE-1	PAD MOUNTED ELECTRICAL TRANSFORMER

NORTH ELEVATION

1 : 75

REV	DATE	DESCRIPTION	BY
C	2024-07-30	FOR COORDINATION REV. PER CITY COMMENTS	
B	2024-06-17	REV. PER CITY COMMENTS	
A	2024-05-09	RE-ISSUED FOR DP	



KEYNOTES	
No.	DESCRIPTION
07-70	PREFINISHED METAL CLADDING: MAC METALS, POLYMAC 20' HIGH PANEL PROFILE, COLOUR: ANTHRACITE
07-72	CEMENTITIOUS PANEL CLADDING COMPLETE WITH COLOUR MATCHED REVEALS WHERE INDICATED, COLOUR: JAMES HARDIE ARCTIC WHITE
07-74	PREFINISHED METAL FLASHING FASCIA: TO MATCH JAMES HARDIE ARCTIC WHITE
07-76	PREFINISHED METAL CAP FLASHING: TO MATCH MAC METALS 'METALLIC SE7'
08-3	INSULATED GLAZED UNIT VINYL WINDOWS, FRAME COLOUR TO MATCH BENJAMIN MOORE 'E120-30' 'WITCHING HOUR'
10-1	PREFINISHED 4\"/>

EAST ELEVATION
1:75

REV	DATE	DESCRIPTION	BY
B	2024-07-30	FOR COORDINATION REV. PER CITY COMMENTS	
A	2024-05-09	RESUBMITTED FOR DP	

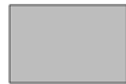
SCALE: 1 : 75
 AUGUST 23, 2024



E1 MATERIAL: CEMENTITIOUS PANEL CLADDING C/W
COLOUR MATCHED REVEALS
COLOUR: JAMES HARDIE 'ARCTIC WHITE'



E2 MATERIAL: PREFINISHED METAL CLADDING
20" HIGH PANEL PROFILE
COLOUR: MAC METALS POLYMAC 'ANTHRACITE'



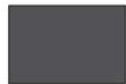
E3 MATERIAL: PREFINISHED METAL CLADDING
METAL BLOCK PROFILE
COLOUR: MAC METALS 'METALIC GREY'



E4 MATERIAL: PREFINISHED METAL FLASHING FASCIA
COLOUR: TO MATCH JAMES HARDIE 'ARCTIC WHITE'



E5 MATERIAL: 42" HIGH ARCHITECTURAL 'FRAMELESS'
TEMPERED GLASS GUARDRAIL
COLOUR: BOTTOM GLAZING 'FROSTED' CERAMIC FRIT
UPPER GLAZING 'CLEAR'



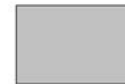
E6 MATERIAL: VINYL WINDOW FRAMES
COLOUR: DARK GREY



E7 MATERIAL: THERMALLY BROKEN STOREFRONT SYSTEM
WITH ALUMINUM METAL LOUVRES
COLOUR: DARK GREY



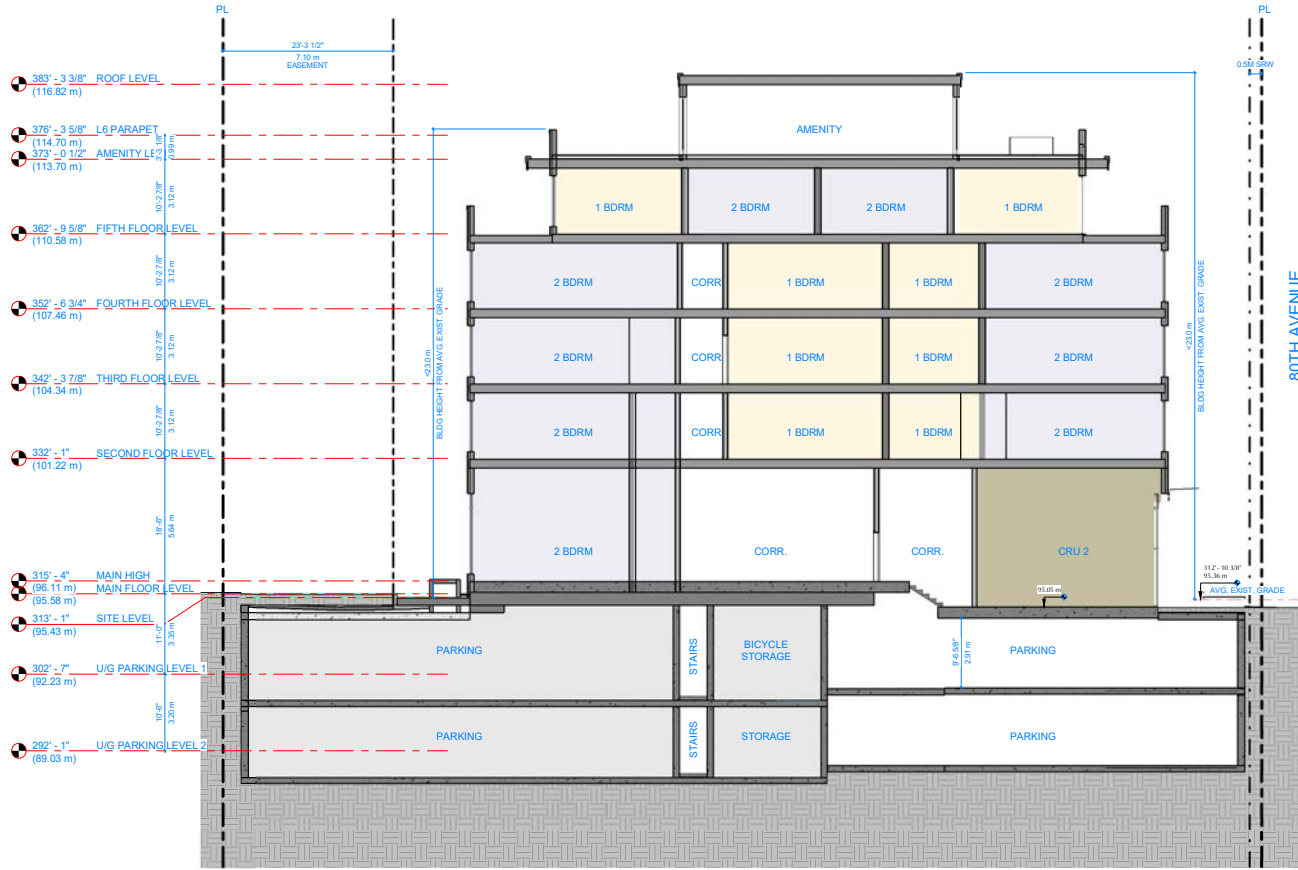
E8 MATERIAL: STEEL ENTRY TRELLIS
COLOUR: PAINTED WHITE



E9 MATERIAL: PRECAST CONCRETE LANDSCAPE PLANTER
COLOUR: REFER TO LANDSCAPE DRAWINGS

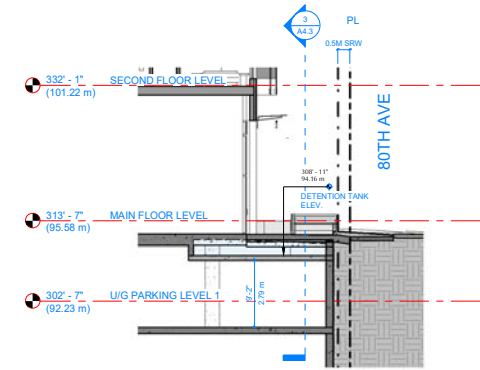


E10 MATERIAL: SIGNAGE BY OTHERS MOUNTED TO UNDERSIDE
OF STEEL FRAME/GLAZED CANOPY
COLOUR: ALUMINUM CHANNEL LETTERS

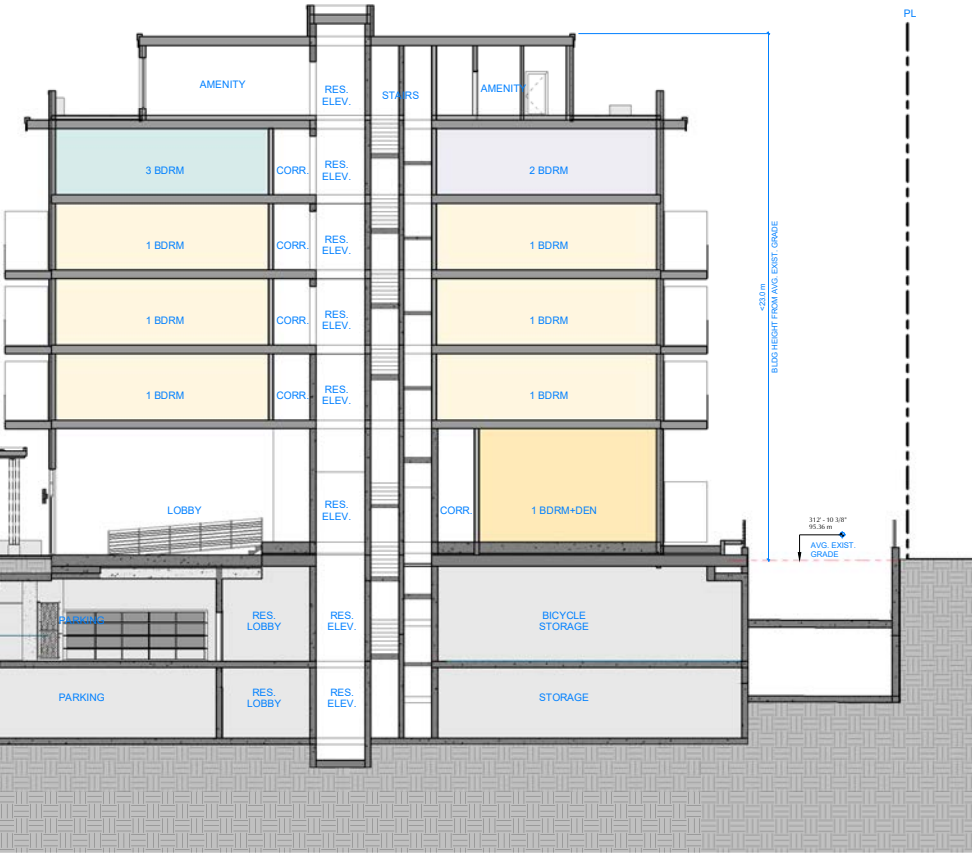
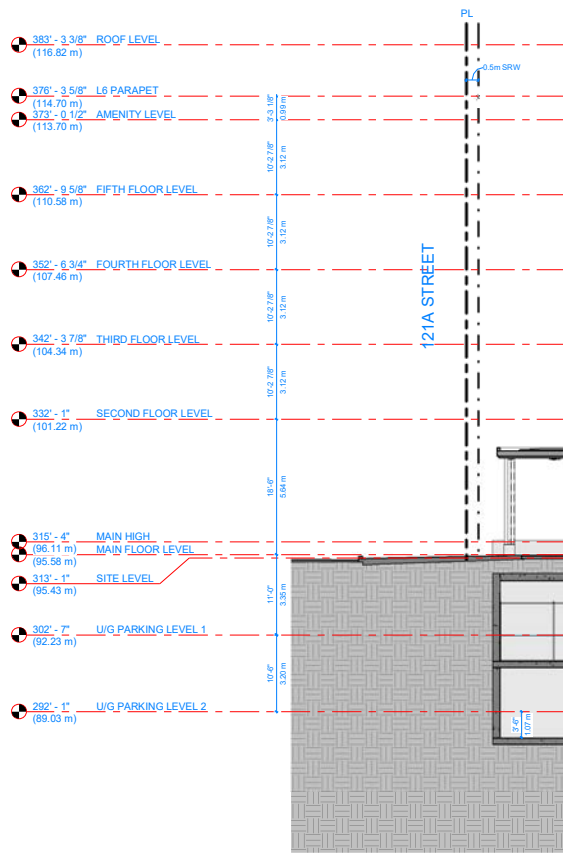


1 SECTION 1 (NORTH - SOUTH)
A1.1 1/8" = 1'-0"

- LEGEND
- CRU
 - STUDIO
 - STUDIO + DEN
 - 1 BDRM
 - 1 BDRM + DEN
 - 2 BDRM
 - 2 BDRM + DEN
 - 3 BDRM
 - AMENITY INDOOR
 - AMENITY OUTDOOR



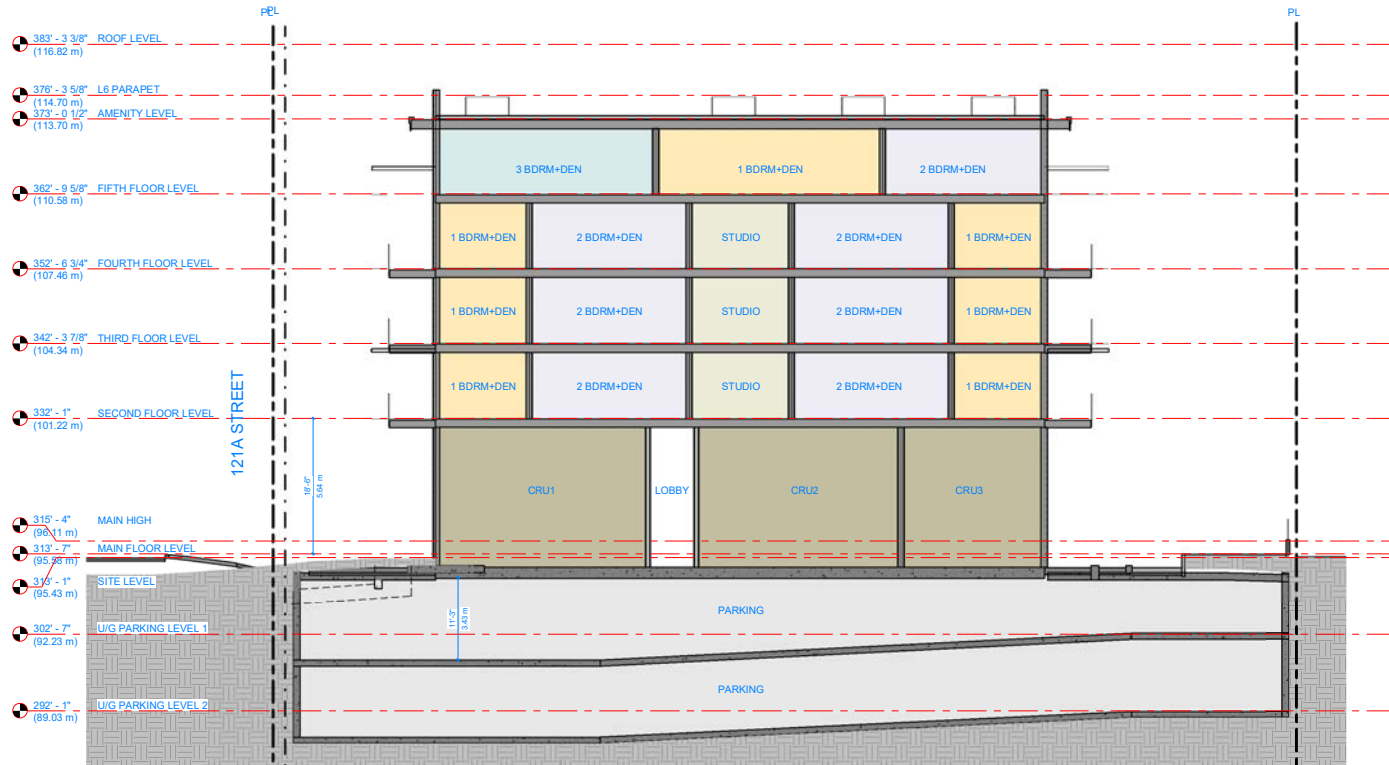
2 SECTION 2 (THRU STORMWATER DET. TANK)
A1.1 1/8" = 1'-0"



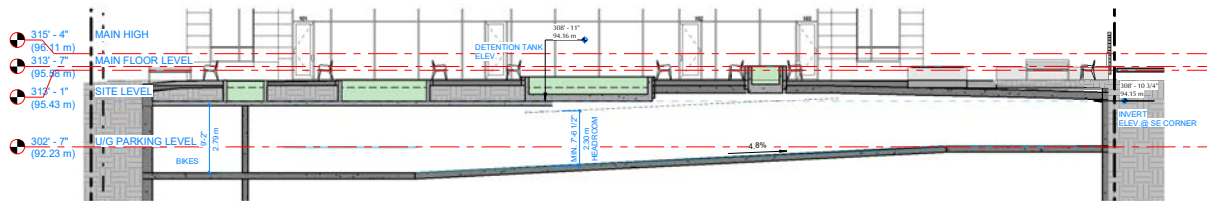
LEGEND

	CRU		2 BDRM
	STUDIO		2 BDRM + DEN
	STUDIO + DEN		3 BDRM
	1 BDRM		AMENITY INDOOR
	1 BDRM + DEN		AMENITY OUTDOOR

1 SECTION 1 (EAST - WEST)
A1.1 1/8" = 1'-0"



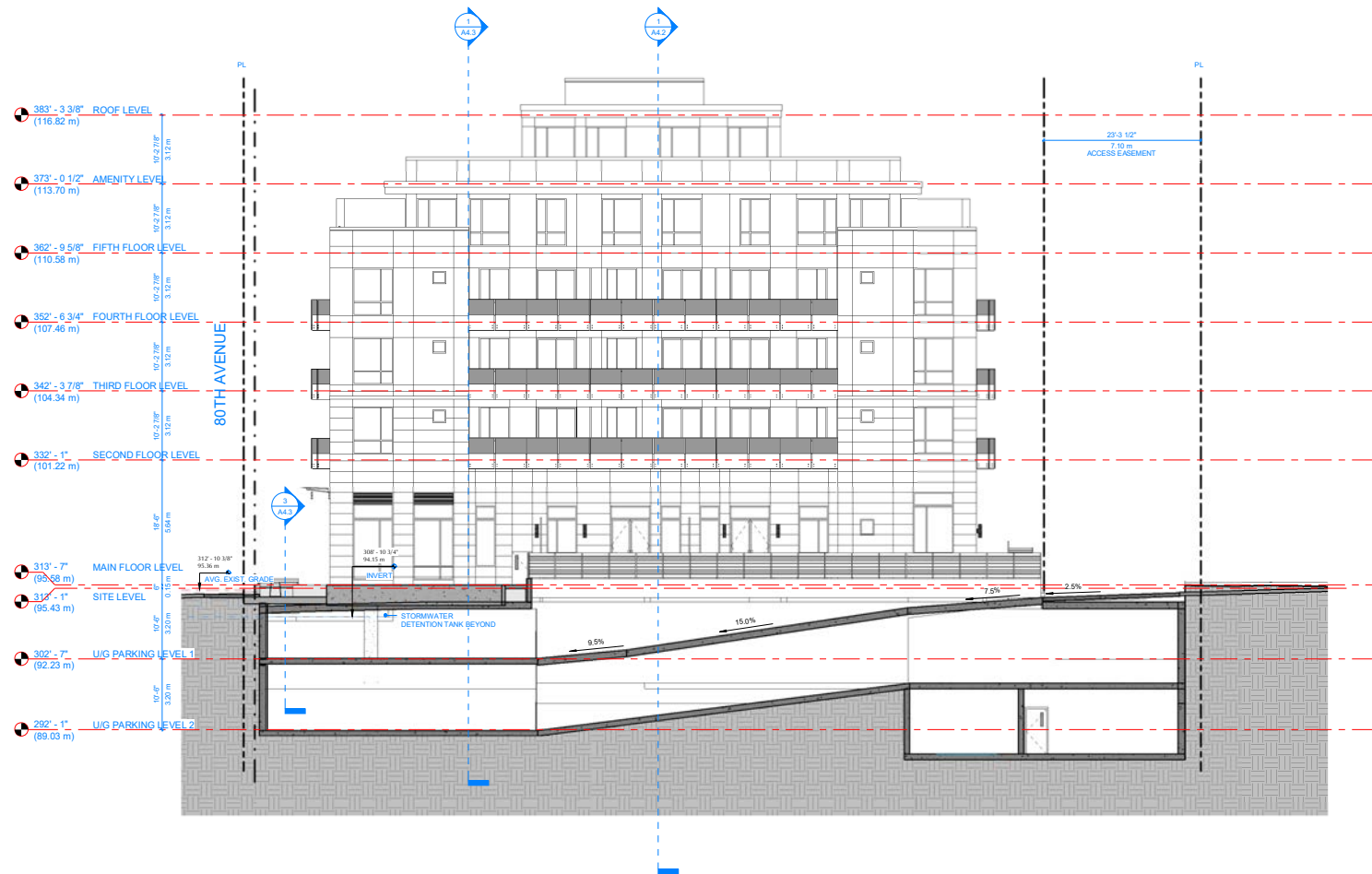
1 SECTION 1 (EAST - WEST)
A1.1 1/8" = 1'-0"



3 SECTION 3 (THRU STORMWATER DET. TANK)
A1.1 1/8" = 1'-0"

REV	DATE	DESCRIPTION	BY
B	2024-07-30	FOR COORDINATION REV. PER CITY COMMENTS	
A	2024-05-09	RESUBMITTED FOR DP	
REV	DATE	DESCRIPTION	BY

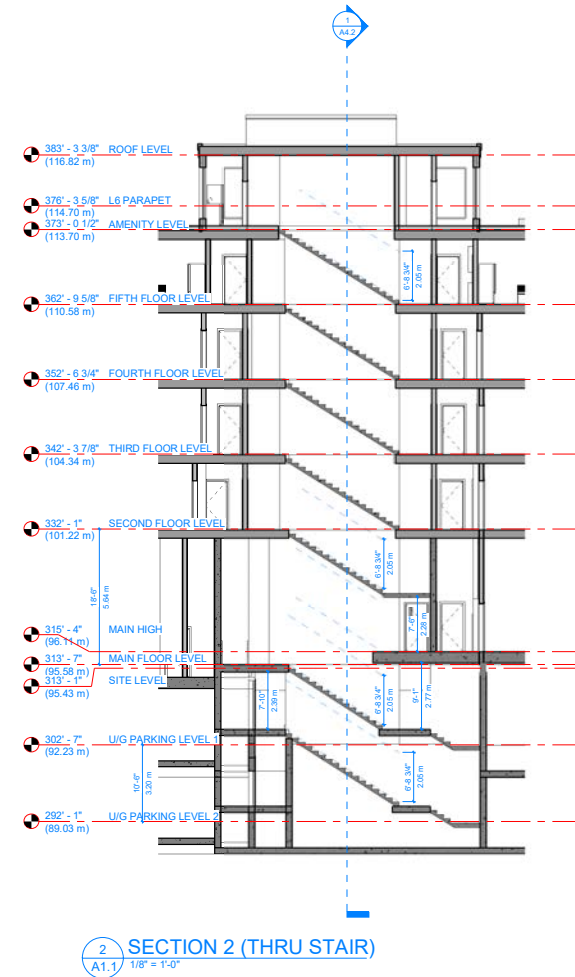
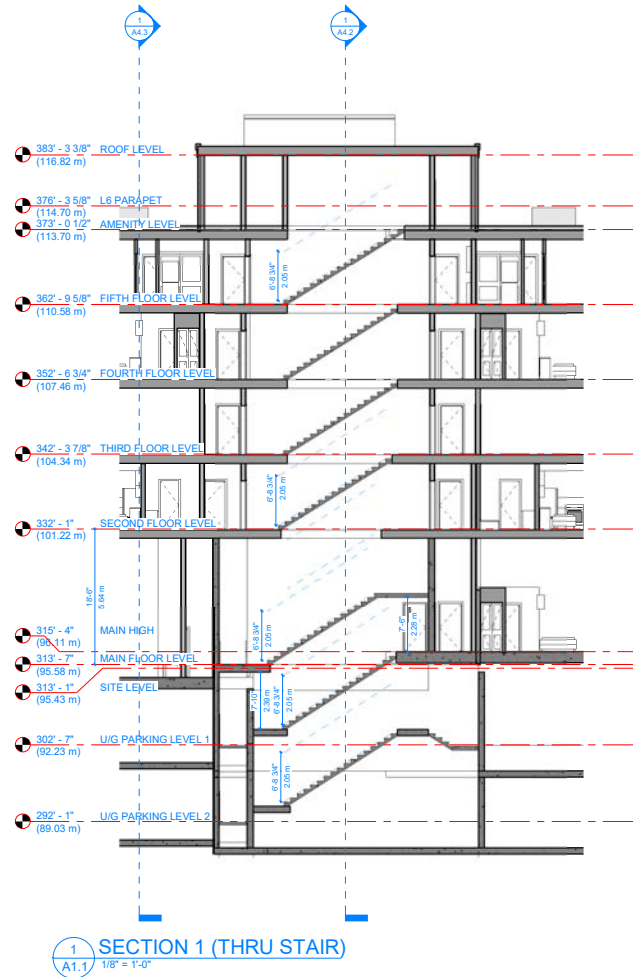
SCALE: 1/8" = 1'-0"
AUGUST 23, 2024



1 SECTION 1 (THRU RAMP)
A1.1 1/8" = 1'-0"

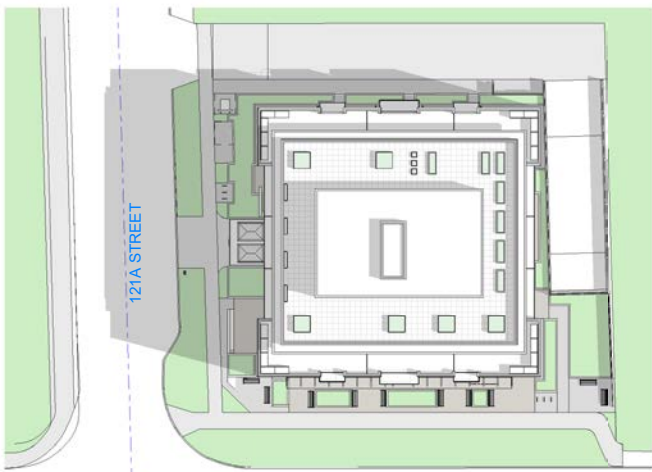
REV	DATE	DESCRIPTION	BY
B	2024-07-30	FOR COORDINATION REV. PER CITY COMMENTS	
A	2024-05-09	RES-SUED FOR DP	

SCALE: 1/8" = 1'-0"
AUGUST 23, 2024



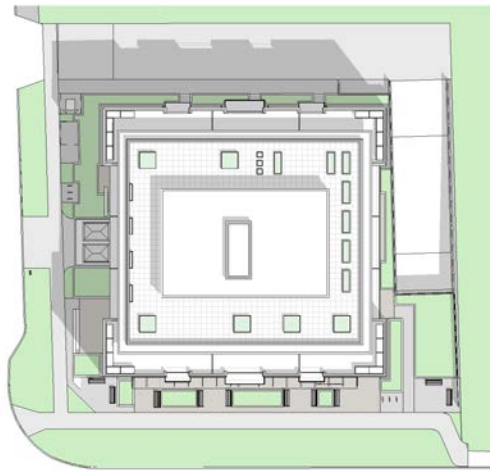
REV	DATE	DESCRIPTION	BY
B	2024-07-30	FOR COORDINATION REV. PER CITY COMMENTS	
A	2024-05-09	RESUBMITTED FOR DP	

SCALE: 1/8" = 1'-0"
 AUGUST 23, 2024



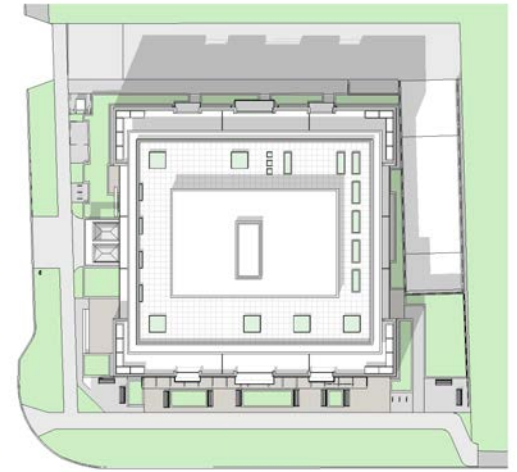
80TH AVENUE

SHADOW STUDY - JUNE 21 10AM



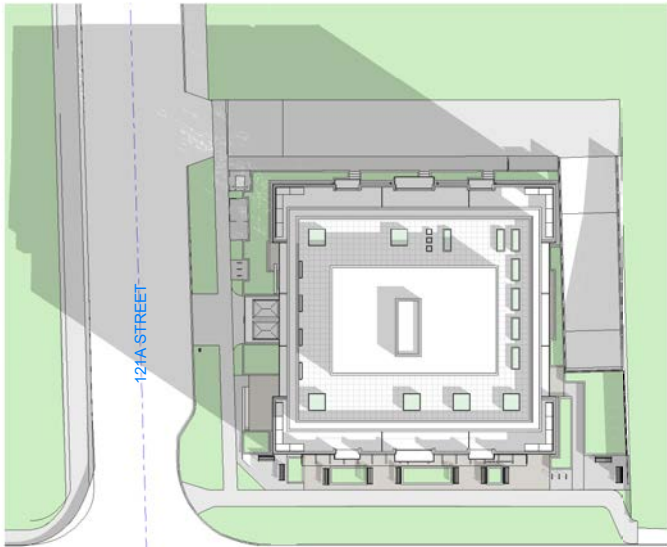
80TH AVENUE

SHADOW STUDY - JUNE 21 12PM

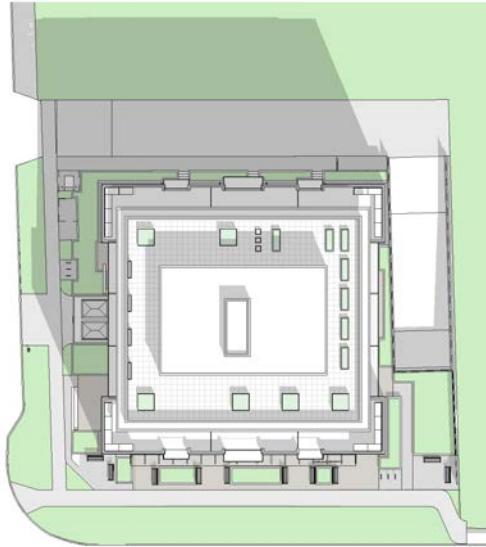


80TH AVENUE

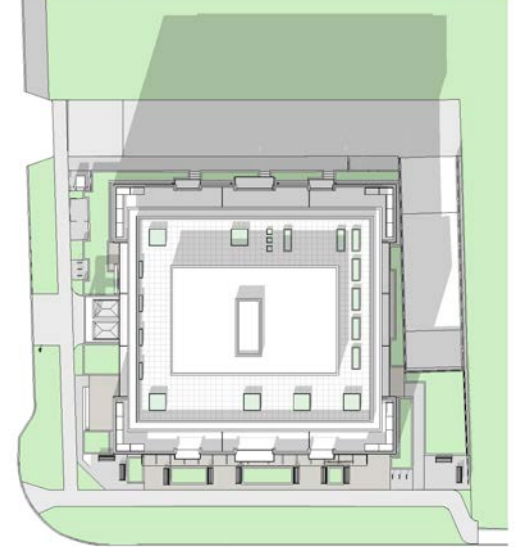
SHADOW STUDY - JUNE 21 2PM



SHADOW STUDY - SEPTEMBER 21 10AM

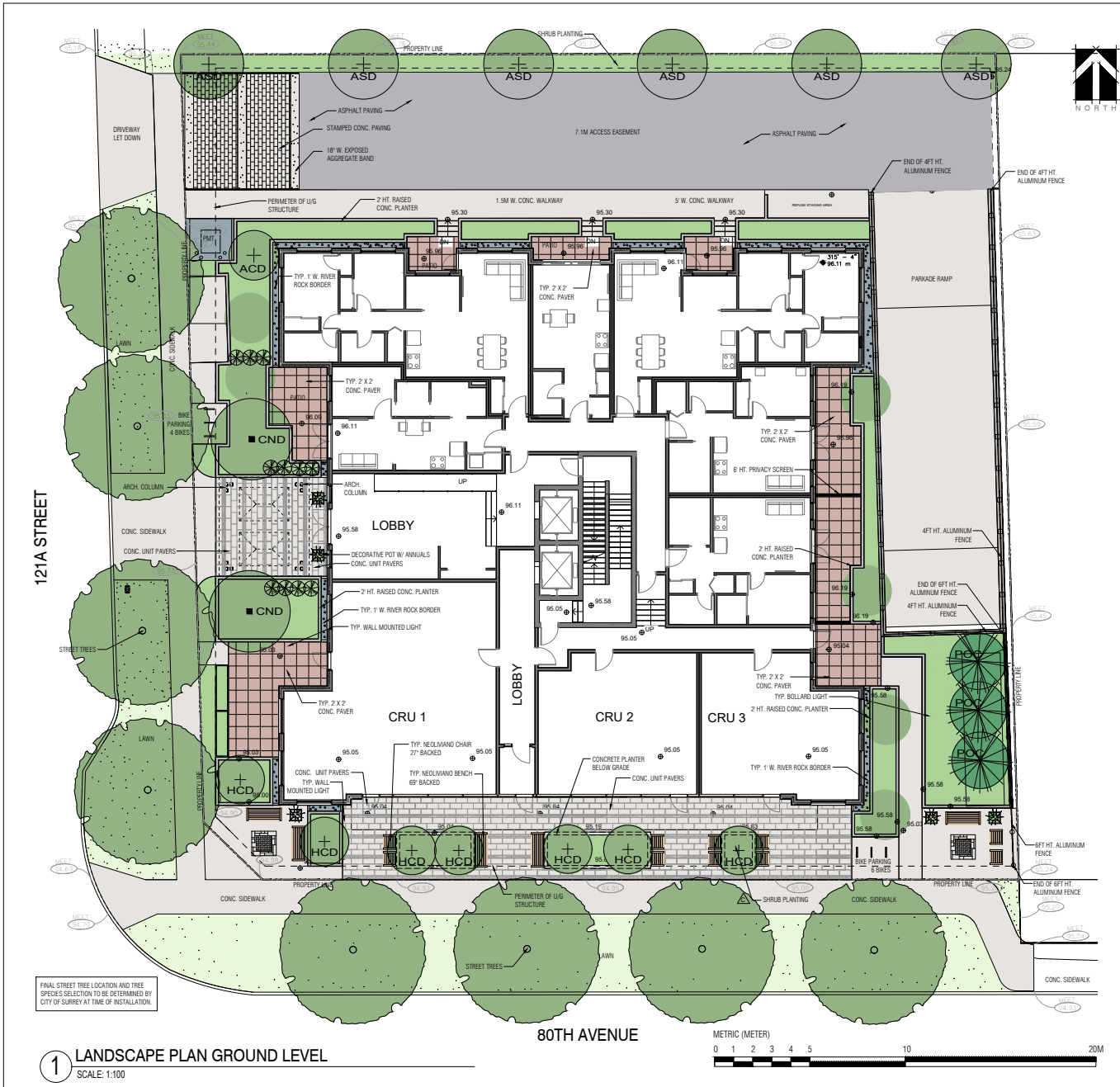


SHADOW STUDY - SEPTEMBER 21 12PM



SHADOW STUDY - SEPTEMBER 21 2PM

B	2024-07-30	FOR COORDINATION REV. PER CITY
A	2024-05-09	ISSUED FOR DP
REV	DATE	DESCRIPTION



NOTES:

1. ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY THE LATEST VERSION OF CANADIAN LANDSCAPE STANDARD.
2. TOPSOIL SHALL MEET OR EXCEED THE #2 AND #3 STANDARD OUTLINED IN CANADIAN LANDSCAPE STANDARD.
3. TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
4. AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
5. TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 - A) GRASSES AREAS: 450MM
 - B) GROUND COVERS: 400MM
 - C) SHRUBS 450MM
 - D) TREES: 1000MM WITH 500MM (BELOW ROOT BALL)
6. ROOF DECK PLANTERS: MINIMUM DEPTH OF 28" TO 36" SOIL DEPTHS
7. LAWN AREAS SHALL BE SOODED WITH #1 PREMIUM RESIDENTIAL SOO.
8. ALL SHRUB PLANTING AREAS SHALL HAVE GROUND COVERS 1" O.C.
9. 2" DEPTH OF 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
10. IRRIGATION SYSTEM - (AUTOMATIC) DESIGN BUILD TO BE COORDINATED BY GENERAL CONTRACTOR OR THE LANDSCAPE CONTRACTOR. FULLY QUALIFIED IRRIGATION CONSULTATION BY THE CONTRACTOR.
11. PAVING TYPES AND MATERIALS AS FOLLOWS:
 - OFF SITE SIDEWALKS, CAST IN PLACE CONCRETE W/BROOM FINISH
 - ON SITE: BUILDING ENTRANCE AND COURTYARD TO BE UNIT PAVERS
 - PAVER TYPE 1: BARKMAN PLANKS 100MM, SIZE: 17.76" X 2.99" X 3.54"; COLOR: ASH
 - PAVER TYPE 2: BARKMAN 100MM, SIZE: 23.62" X 11.81" X 3.94"; COLOR: NATURAL
 - PAVERS ARE AVAILABLE FROM BARKMAN CONCRETE, P.O. 1, 800-877-7278
 - INSTALLATION OF PAVERS SHALL FOLLOW THE MANUFACTURER'S INSTALLATION DETAIL AND SPECIFICATIONS.
 - ON SITE: WALKWAYS, BIKE PARKING AND WASTE TRANSFER PAD TO BE CAST IN PLACE CONC. COLORED, BROOM FINISH
 - ROOF DECK: BARKMAN FURD, SIZE: 23.62" X 23.62" X 2.92"; COLOR: GLAZER
12. BENCHES - BENCHES BY LANDSCAPE FORMS - NEOLIVANO BENCH MATERIAL: PE WOOD & ALUMINUM. TYPE 1 - 69" BACKED, SIZE: 27" D X 69" L X 31" H CITY 16.
13. BIKE RACKS: QTY. 5, ICONIC 2300 SERIES, CAST ALUMINUM, GROUND MOUNT, BY MAGLIN FURNITURE
14. FIRE PIT: THE OUTDOOR PLUS - 48" DIA. UNITY ROUND POWDER COAT FIRE PIT TABLE W/ HIDDEN PROPANE STORAGE.
15. PREMANUFACTURED PLANTERS, CONCRETE AND OR FIBERGLASS, REFER TO DWG.
16. LANDSCAPE LIGHTING - REFER TO DWGS.
17. LANDSCAPE FENCING REFER TO DWGS.
18. LANDSCAPE LIGHTING - REFER TO DWGS.
19. LANDSCAPE FENCING REFER TO DWGS.
20. FIRE PIT: THE OUTDOOR PLUS - 48" DIA. UNITY ROUND POWDER COAT FIRE PIT TABLE W/ HIDDEN PROPANE STORAGE.
21. ROAD GRADING AND OVERALL SITE GRADING BY CIVIL ENGINEERING OR ARCHITECTURAL.
22. FINAL STREET TREE LOCATION AND TREE SPECIES SELECTION TO BE DETERMINED BY CITY OF SURREY AT TIME OF INSTALLATION. CITY BOULEVARD SHALL BE LAWN.
23. FINAL SELECTION AND INSTALLATION OF 80TH AVE. AND 12A STREET STREET TREES BY THE CITY OF SURREY.
24. SITE GRADING - REFER TO CIVIL ENGINEERING DWGS FOR SITE GRADING OF ROADS, AND RETAINING WALLS, AREA DRAINS AND SUB-SURFACE PIPING TO BE COORDINATED WITH CIVIL GRADING FOR ALL LANDSCAPED AREAS TO ENSURE POSITIVE DRAINAGE. NO PONDING OF STORM WATER ALLOWED ON SITE.

PLANT LIST:

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.	MATURE SIZE
* ACD	1	ACER CIRINATUM	VINE MAPLE	50M CAL.	B & B	29 HT. X 20W.
* ACD	6	ACER RUBRUM SCARLET SENTINEL	SCARLET SENTINEL MAPLE	50M CAL.	B & B	40 HT. X 15W.
* CHD	2	CORNUS NUTT. EDDIES WHITE WONDER	EDDIE'S WHITE WONDER	50M CAL.	B & B	40HT. X 25W.
RTD	3	RHUS TYPHINA DISSECTA	LACELAF SUMAC	2.5M HT.	B & B	15HT. X 15W.
* POC	3	PIZZA OMORICA	SERBAN SPRUCE	3.0M HT.	B & B	30HT. X 7W.
TOC	11	TRIALX OCCIDENTALIS SMARAGD	EMERALD GREEN CEDAR	1.75M HT.	B & B	
ALS	12	AMELANCHER LAEVIS	ALLEGHENY SERVICEBERRY	2.0M HT.	B & B	12 HT. X 12W.
HCD	7	HIBISCUS CDELESTIS	SHRUBBY ALTHEA	2.0M HT.	B & B	12 HT. X 12W.
EA	37	ERUBRUM ALATUS COMPACTUS	DWARF BURNING BUSH	#3	CONTAINER	
MA	39	MAHONIA AQUIFOLIUM	OREGON GRAPE	#3	CONTAINER	
PM	7	POLYTICHUM MAUNITEM	WESTERN SWORD FERN	#3	CONTAINER	
PO	55	PRUNUS L. OTTO LYUENS	OTTO LYUENS LAUREL	#3	CONTAINER	
RD	2	RHOODOENDRON BOW BELLS	BOW BELLS RHODO.	#3	CONTAINER	
RD	7	RHOODOENDRON DORA AMETES	DORA AMETES RHODO.	#3	CONTAINER	
RR	27	RHOODOENDRON HOCHMANN'S FANTASTICA	FANTASTICA RHOODOENDRON	#3	CONTAINER	
RL	27	RHOODOENDRON UNIQUE	UNIQUE RHODO.	#3	CONTAINER	
RR	7	RHODO. ROYAL PINK	ROYAL PINK RHODO.	#3	CONTAINER	
SB	24	SPRAEA BUMALDA DART'S RED	DART'S RED	#3	CONTAINER	
AC	18	ASTILBE CHINENSIS 'VISIONS'	ASTILBE	#1	CONTAINER	
CD	97	COREOPSIS VERTICALATA DAGREB	JAGGED TICKSEED	#1	CONTAINER	
EL	32	EPYSIMUM BOWLES MAINE	PURPLE WALLFLOWER	#1	CONTAINER	
GS	12	GALTHERIA SHALLOM	SALAL	#1	CONTAINER	
HM	4	HEUCHERA MICRANTHA VAR. DIVERSIFOLIA PALACE PURPLE	CORAL BELLS	#1	CONTAINER	
HS	90	HEMEROCALLIS STELLA D'ORO	DAY LILY	#1	CONTAINER	
LA	15	LAVANDULA ANGIUSTRISOLA	ENGLISH LAVENDER	#1	CONTAINER	
NW	28	NEPETA WALKERS LOW	WALKERS LOW CATMINT	#1	CONTAINER	

* PROPOSED REPLACEMENT TREE ON SITE: 12

LEGEND:

	PROPOSED TREE		DECORATIVE POT W/ SEASONAL ANNUALS		OUTDOOR CHESS BOARD
	SHRUB PLANTING		BIKE RACKS		BENCHES
	LAWN		4 FT. HT. FENCE		PRE-MANUFACTURED METAL PLANTER
	RAISED CONC. PLANTER		6 FT. HT. HT. PRIVACY SCREEN		FIRE PIT
	ROCK FEATURE		BBQ STATION		STAMPED CONCRETE PAVING WITH EXPOSED AGGREGATE BAND
			BARKMAN CONC. UNIT PAVER		

NOTE: SEE L-2 FOR THE SCHEDULE OF THE FIBERGLASS PLANTER AND RELATED SITE FURNITURE

1 LANDSCAPE PLAN GROUND LEVEL
SCALE: 1:100



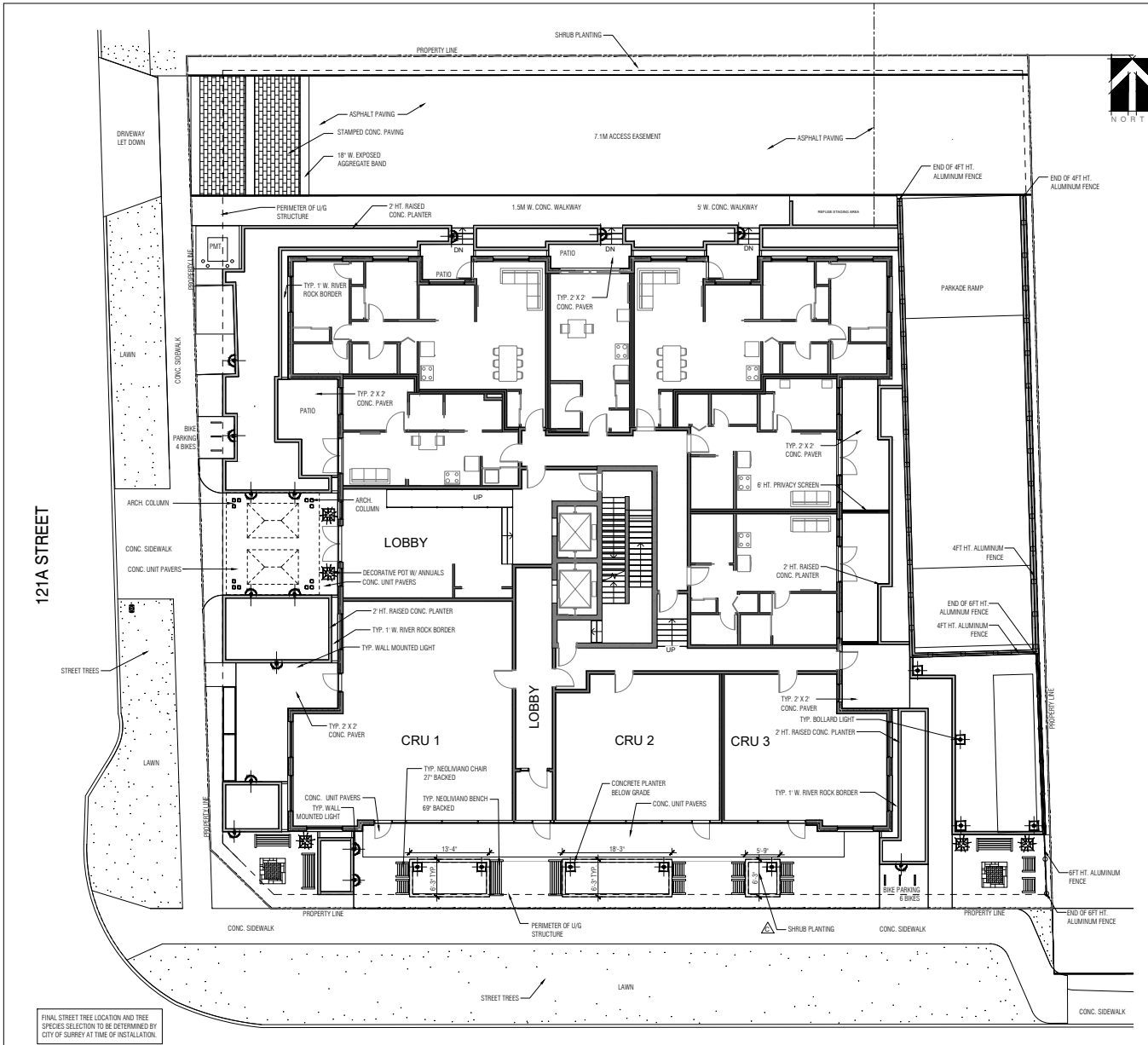
REVISIONS/ISSUED
 1. 1.18.2024
 2. 1.18.2024
 3. 1.18.2024

RE ISSUED FOR P.D.
 AUG. 15, 2024

PROJECT
THE NEST
 12149 80TH AVENUE SURREY, B.C.
 DEVELOPER: PENINSULA CROSSING INVEST. LTD.
 ARCHITECT: BOLDVING CONTINUUM ARCHITECTS INC.
 600 MARILYN AVE. COQUITLAM, BC V3L 4A6, TEL: 604.637.6677, FAX: 604.637.6678, EMAIL: info@boldving.com

DATE: JUNE 14, 2022
 DESIGN: JZ. RMH
 DRAWING: RMH
 CHECKED: RMH
 SCALE: AS SHOWN
 JOB NO.: M007

SHEET TITLE
LANDSCAPE PLAN GROUND LEVEL
 SHEET NO.
L-01



NOTES:

1. ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY THE LATEST VERSION OF CANADIAN LANDSCAPE STANDARD.
2. TOPSOIL SHALL MEET OR EXCEED THE 2P AND 3L STANDARD OUTLINED IN CANADIAN LANDSCAPE STANDARD.
3. TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
4. AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
5. TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 - A) GRASSED AREAS: 450MM
 - B) GROUND COVERS: 450MM
 - C) SHRUBS 450MM
 - D) TREE PITS: 1000MM WITH 500MM (BELOW ROOT BALL)
6. LAWN AREAS SHALL BE SOODED WITH #1 PREMIUM RESIDENTIAL SOOD.
7. ALL SHRUB PLANTING AREAS SHALL HAVE GROUND COVERS 1" O.C.
8. 2" DEPTH OF 1" MINUS COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
9. IRRIGATION SYSTEM - (AUTOMATIC) DESIGN BUILD TO BE COORDINATED BY GENERAL CONTRACTOR OR THE LANDSCAPE CONTRACTOR. FULLY QUALIFIED IRRIGATION CONSULTATION BY THE CONTRACTOR.
10. PAVING TYPES AND MATERIALS AS FOLLOWS:
 - OFF SITE SIDEWALKS: CAST IN PLACE CONCRETE W/BROOM FINISH
 - ON SITE BUILDING ENTRANCE AND COURTYARD TO BE UNIT PAVERS:
 - PAVER TYPE 1: BARKMAN PLANKS 100MM. SIZE: 17.75" X 2.99" X 3.94". COLOR: ASH
 - PAVER TYPE 2: BARKMAN 100MM. SIZE: 23.62" X 11.81" X 3.94". COLOR: NATURAL
 - PAVERS ARE AVAILABLE FROM BARKMAN CONCRETE. P#: 1-800-463-2278
 - INSTALLATION OF PAVERS SHALL FOLLOW THE MANUFACTURER'S INSTALLATION DETAIL AND SPECIFICATIONS.
 - ON SITE WALKWAYS, BIKE PARKING AND WASTE TRANSFER PAD TO BE CAST IN PLACE CONC. COLORED, BROOM FINISH.
 - ROOF DECK: BARKMAN 5.000. SIZE: 23.62" X 23.62" X 3.94". COLOR: SLUGGER
15. BENCHES - BENCHES BY LANDSCAPE FORMS - NEOLIMANO BENCH MATERIAL: IPE WOOD & ALUMINUM.
 - TYPE 1: 6P BACKED. SIZE: 27" D X 69" L X 31" H. QTY: 10
 - TYPE 2: 2P BACKED. SIZE: 27" D X 24" L X 31" H. QTY: 16
16. BIKE RACKS: QTY: 5. ICONIC 2300 SERIES. CAST ALUMINUM. GROUND MOUNT. BY MAGLIN FURNITURE
17. FREEMANUFACTURED PLANTERS: CONCRETE AND OR FIBERGLASS. REFER TO DWGS.
18. LANDSCAPE LIGHTING - REFER TO DWGS.
19. LANDSCAPE FENCING REFER TO DWGS.
20. FIRE PIT: THE OUTDOOR PLUS - 48" DIA. UNITY ROUND POWDER COAT FIRE PIT TABLE W/ HIDDEN PROPANE STORAGE.
21. ROAD GRADING AND OVERALL SITE GRADING BY CIVIL ENGINEERING OR ARCHITECTURAL.
22. FINAL STREET TREE LOCATION AND TREE SPECIES SELECTION TO BE DETERMINED BY CITY OF SURREY AT TIME OF INSTALLATION. CITY BOULEVARD SHALL BE LAWN.
23. FINAL SELECTION AND INSTALLATION OF BOTH AVE. AND 121A STREET STREET TREES BY THE CITY OF SURREY.
24. SITE GRADING. REFER TO CIVIL ENGINEERING DWGS FOR SITE GRADING OF ROADS, AND RETAINING WALLS, AREA DRAINS AND SUB-SURFACE PIPING TO BE COORDINATED WITH CIVIL GRADING FOR ALL LANDSCAPED AREAS TO ENSURE POSITIVE DRAINAGE. NO PONDING OF STORM WATER ALLOWED ON SITE.

LIGHTING NOTES:

1. ALL LANDSCAPE LIGHTING TO BE CONTROLLED BY PHOTOCELL AND TIME/CLOCK LIGHTING ZONE CONFIGURATION TO BE CONFIRMED WITH LANDSCAPE ARCHITECT/ELECTRICAL ENGINEER.
2. ELECTRICAL WIRE TO BE 16 AWG WATERPROOF WIRE. 1" DIA. CONDUIT TO BE REQUIRED WITHIN THE PLANTER OR UNDERNEATH PAVING SURFACE.
3. REFER TO ELECTRICAL ENGINEER FOR THE TECHNICAL SPECIFICATION OF THE LIGHT FIXTURE, POWER SUPPLY, CONTROLLER AND UNDERGROUND WIRING. REFER TO LANDSCAPE PLAN FOR LOCATION AND TYPE OF THE LIGHT FIXTURE.

LANDSCAPE LIGHTING:

LIGHT TYPE	LEGEND	QTY.	MODEL No.	GENERAL REQUIREMENTS
WALL LIGHT (TYPE 1)		27	DELTA LIGHT LOGIC W S 930	COLOR: DARK GREY SIZE: 4-3/4" X 4-3/4" SEE ELECTRICAL ENG. DWGS FOR COMPLETE DETAILS
BOLLARD LIGHT (ROOF LEVEL)		14	LUMIERE 303-81-LEB81 EON LED	COLOR: FINISH BLACK - BK SIZE: 24" HT. SEE ELECTRICAL ENG. DWGS FOR COMPLETE DETAILS

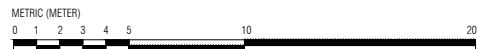
LANDSCAPE FURNITURE:

TYPE	MODEL	QTY.	SIZE	MATERIAL	GENERAL REQUIREMENTS	SUPPLIER
BENCH TYPE 1	NEOLIMANO BENCH - 6P BACKED	10	27" D X 69" L X 31" H	IPE WOOD & ALUMINUM FRAME	WOOD SLATS ARE FINISHED WITH PENETRATING SEALERS. POWDER COATED COLOR: GUNMETAL	LANDSCAPE FORMS PH: 1-900-430-6209
BENCH TYPE 2	NEOLIMANO BENCH - 2P BACKED	16	27" D X 24" L X 31" H	IPE WOOD & ALUMINUM FRAME	WOOD SLATS ARE FINISHED WITH PENETRATING SEALERS. POWDER COATED COLOR: GUNMETAL	LANDSCAPE FORMS PH: 1-900-430-6209
BIKE RACKS	ICONIC 2300 SERIES	5		CAST ALUMINUM	POWDER COATED COLOR: GUNMETAL	MAGLIN SITE FURNITURE CONTACT: SALES 1-800-716-5506
FIRE TABLE	THE OUTDOOR PLUS - UNITY ROUND POWDER COAT FIRE PIT TABLE W/ HIDDEN PROPANE STORAGE. OPT-UMPPC4818	1	48" DIA.	CAST ALUMINUM	POWDER COATED COLOR: JAVA	FIREPIT STOCK 1-307-392-4893
COMPOST BIN	LIFETIME® 100 GALLON DUAL TUBULAR COMPOSTER T9FB1002581	1	100 GALLON			GLOBALINDUSTRIAL, CA PH: 1-888-645-0878
DECORATIVE POT	BOVERRY PLANTER MODEL NO. FRPAS15594	5	22"x22"x 43.2"(9)	POLY RESIN	COLOR: CAWAR BLACK	NORTH WEST LANDSCAPE & STONE SUPPLY PH: 604-435-6842

FINAL STREET TREE LOCATION AND TREE SPECIES SELECTION TO BE DETERMINED BY CITY OF SURREY AT TIME OF INSTALLATION.

1 LANDSCAPE PLAN - FENCE, LIGHTING, FURNISHINGS
SCALE: 1:100

80TH AVENUE



RE-ISSUED FOR P.D.
AUG. 15, 2024

PROJECT
THE NEST
12149 80TH AVENUE SURVEY, B.C.
DEVELOPER: PENINSULA CROSSING INVEST. LTD.
ARCHITECT: BOLDWING CONTINUM ARCHITECTS INC.
EOD: MARIYAMA & ASSOCIATES INC. - 808 C. LEON BOOTH SQUARE, VANCOUVER, B.C. V6C 4E8. PH: 604-974-6897. FX: 604-974-6897. FX: 604-974-6897



DATE: JUNE 14, 2022
DESIGN: JZ, RMM
DRAWN: RMM
CHECKED: RMM
SCALE: AS SHOWN
JOB NO.: M0007

SHEET TITLE: **LANDSCAPE PLAN FENCE LIGHTING, FURNISHINGS**
SHEET NO.: **L-02**

REVISIONS/ISSUED
NO. 1
DATE: 15.08.2024
BY: JZ
REVISIONS/ISSUED
NO. 2
DATE: 15.08.2024
BY: JZ

121A STREET



SOIL VOLUME NOTES:

1. SOIL REQUIREMENTS FOR ALL TREES TO BE PER CITY OF SURREY DESIGN REQUIREMENT OF 10 CUBIC METERS OF TESTED LANDSCAPE SOIL OR STRUCTURAL SOIL DEPENDING ON SITE CONDITIONS.
2. STRUCTURAL SOIL SHALL BE USED BENEATH HARD SURFACES AS FOLLOWS: PATHWAYS, PARKING AREAS, DRIVEWAY APRONS, AND ROADWAYS.
3. STRUCTURAL SOIL TO BE UTILIZED IN CONDITIONS WHERE HARD PAVED SURFACES AS INDICATED IN NOTE #2 ABOVE HAVE OVERLAPPED THE CUBIC METER REQUIREMENT FOR TOPSOIL.

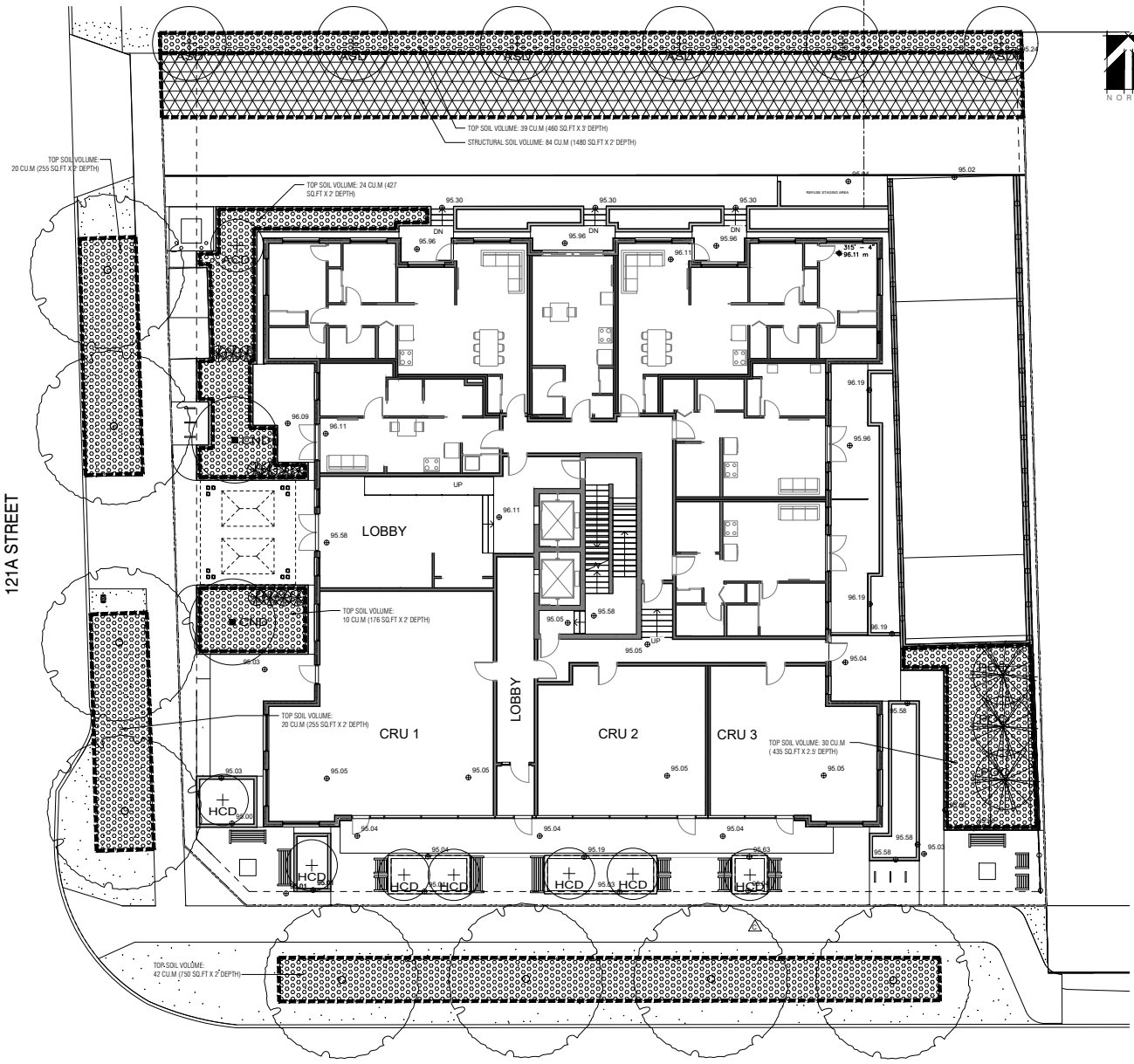
LEGEND:



TREE TOPSOIL VOLUME

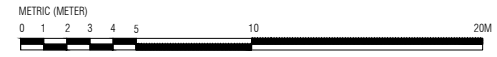


TREE STRUCTURAL SOIL VOLUME



1 LANDSCAPE PLAN - SOIL VOLUME
SCALE: 1:100

80TH AVENUE



REVISIONS/ISSUED
1. 14.10.2022
2. 15.10.2022
3. 16.10.2022
4. 17.10.2022
5. 18.10.2022
6. 19.10.2022

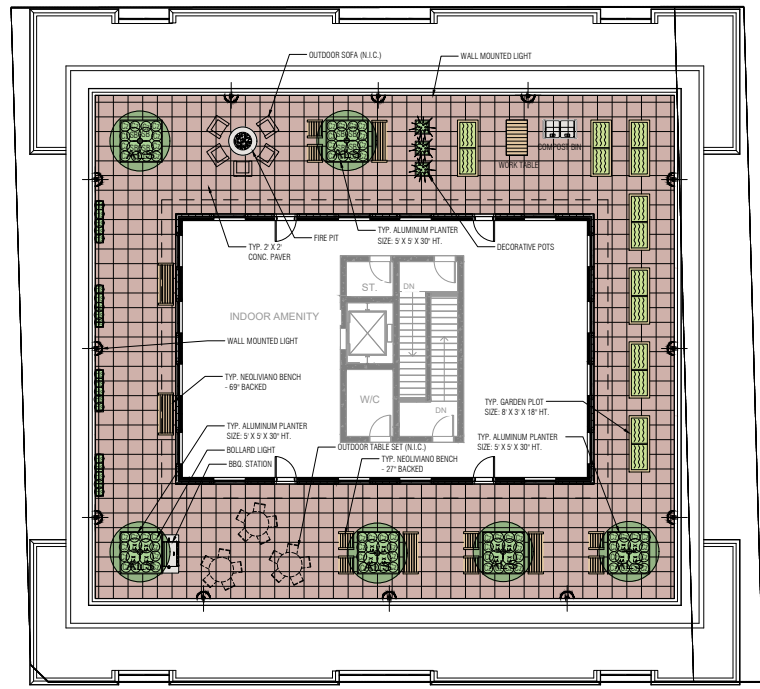
RE ISSUED FOR D.P.
AUG 15 2024

PROJECT
THE NEST
12149 80TH AVENUE SURREY, B.C.
DEVELOPER: PENINSULA CROSSING INVEST. LTD.
ARCHITECT: HOLDING CONTINUUM ARCHITECTS INC.
800 MARUYAMA & ASSOCIATES INC. - 808 C. LEON B. BOOTH SQUARE, VANCOUVER, B.C. V6C 4A8, PH: (604) 674-6887, FX: (604) 674-6831, E-MAIL: info@maruyama.com



DATE: JUNE 14, 2022
DESIGN: JZ, MM
DRAWN: MM
CHECKED: MM
SCALE: AS SHOWN
JOB NO.: M007

SHEET TITLE
SOIL VOLUME
SHEET NO.
L-03



1 LANDSCAPE PLAN - ROOF LEVEL
SCALE: 1:100

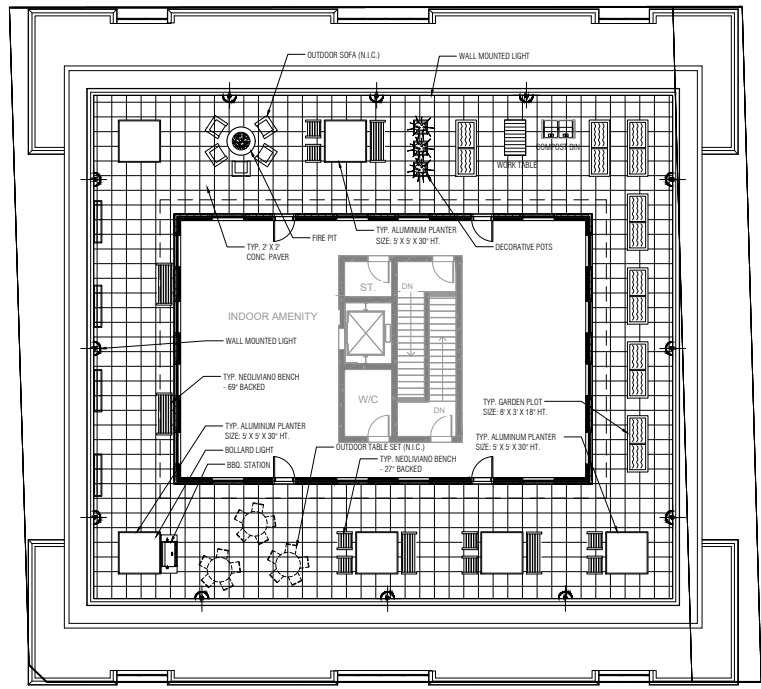
NOTES:

1. ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY THE LATEST VERSION OF CANADIAN LANDSCAPE STANDARDS.
2. TOPSOIL SHALL MEET OR EXCEED THE 2P AND 2L STANDARD OUTLINED IN CANADIAN LANDSCAPE STANDARD.
3. TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
4. AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTORS EXPENSE.
5. TOPSOIL TYPES FOR PLANTINGS AS FOLLOWS:
 - A) GRASSED AREAS: 450MM. B) GROUND COVERS: 450MM. C) SHRUBS: 450MM.
 - D) TREE TYPES: 1000MM WITH 300MM (BELOW ROOT BALL).
6. ROOF DECK PLANTERS: MINIMUM DEPTH OF 28" TO 30" SOIL DEPTHS.
7. LAWN AREAS SHALL BE SOODED WITH #1 PREMIUM RESIDENTIAL SOD.
8. ALL SHRUB PLANTING AREAS SHALL HAVE GROUND COVERS 14" O.C.
9. 2" DEPTH OF TRINEX COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
10. IRRIGATION SYSTEM - (AUTOMATIC) DESIGN BUILD TO BE COORDINATED BY GENERAL CONTRACTOR OR THE LANDSCAPE CONTRACTOR. FULLY QUALIFIED IRRIGATION CONSULTATION BY THE CONTRACTOR.
11. PAVING TYPES AND MATERIALS AS FOLLOWS:
 - OFF-SITE SIDEWALKS: CAST IN PLACE CONCRETE W/BROOM FINISH
 - ON-SITE BUILDING ENTRANCE AND COURTYARD TO BE IN PAVERS.
 - PAVER TYPE 1: BARKMAN PLANKS 100MM. SIZE: 17.76" X 2.29" X 3.94". COLOR: ASH.
 - PAVER TYPE 2: BARKMAN TOMB. SIZE: 23.62" X 11.81" X 3.94". COLOR: NATURAL.
12. PAVERS ARE AVAILABLE FROM BARKMAN CONCRETE. PH: 1 800 461 2278.
13. INSTALLATION OF PAVERS SHALL FOLLOW THE MANUFACTURER'S INSTALLATION DETAIL AND SPECIFICATIONS.
14. ON-SITE WALKWAYS, BIKE PARKING AND WASTE TRANSFER PAD TO BE CAST IN PLACE CONC. COLOURED, BROOM FINISH.
15. ROOF DECK, BARKMAN FLOOR, SIZE: 23.62" X 23.62" X 2.56". COLOR: GLACIER.
16. BENCHES - BENCHES BY LANDSCAPE FORMS - NEOLIGNO GROUND. MATERIAL: IPE WOOD & ALUMINIUM.
 - TYPE 1 - 69" BACKED. SIZE: 27" D X 69" L X 31" H. QTY: 10.
 - TYPE 2 - 24" BACKED. SIZE: 27" D X 24" L X 31" H. QTY: 16.
17. BIKE RACKS: QTY: 5. CONC 2300 SERIES. CAST ALUMINIUM. GROUND. MOUNT: BY MAGLIN FURNITURE.
18. PREMANUFACTURED PLANTERS: CONCRETE AND/OR FIBREGLASS. REFER TO DWGS.
19. LANDSCAPE LIGHTING - REFER TO DWGS.
20. LANDSCAPE FENCING REFER TO DWGS.
21. FIRE PIT: THE OUTDOOR PLUS - 48" DIA. UNIT ROUND POWDER COAT FIRE PIT TABLE W/ HIDDEN PROPANE STORAGE.
22. ROAD GRADING AND OVERALL SITE GRADING BY CIVIL ENGINEERING/ARCHITECTURAL.
23. FINAL STREET TREE LOCATION AND TREE SPECIES SELECTION TO BE DETERMINED BY CITY OF SURREY AT TIME OF INSTALLATION. CITY BOLEVERD SHALL BE LAWN.
24. FINAL SELECTION AND INSTALLATION OF 80TH AVE. AND 121A STREET STREET TREES BY THE CITY OF SURREY.
25. SITE GRADING: REFER TO CIVIL ENGINEERING DWGS FOR SITE GRADING OF ROADS, AND RETAINING WALLS. AREA DRAINS AND SUB-SURFACE PIPING TO BE COORDINATED WITH CIVIL GRADING FOR ALL LANDSCAPED AREAS TO ENSURE POSITIVE DRAINAGE. NO PONDING OF STORM WATER ALLOWED ON SITE.

PLANT LIST:

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.	MATURE SIZE
★ ACD	1	ACER CIRRIATUM	VINE MAPLE	5CM CAL.	B & B	25 HT. X 20W.
★ ASD	6	ACER RUBRUM SCARLET SENTINEL	SCARLET SENTINEL MAPLE	5CM CAL.	B & B	40 HT. X 15W.
★ CND	2	CORNUS MUTICA EDGES WHITE WONDER	EDGES WHITE WONDER	5CM CAL.	B & B	40HT. X 20W.
RTD	3	RHUS TYRHINA DISARCTA	LACELAF SUMAC	2.5M HT.	B & B	15HT. X 15W.
★ POC	3	PICEA OMORICA	SERBIAN SPRUCE	3.0M HT.	B & B	30HT. X 7W.
TDC	11	TRIALIA OCCIDENTALIS SAMARAGD	EMERALD GREEN CEDAR	1.75M HT.	B & B	
ALS	12	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	2.0M HT.	B & B	12 HT. X 12W.
HCD	7	HIBISCUS COELESTIS	SHRUBBY ALTHEA	2.0M HT.	B & B	12 HT. X 12W.
EA	37	EDONYMUS ALATUS COMPACTUS	DWARF BURNING BUSH	#3	CONTAINER	
MA	39	MAHONIA AQUIFOLIUM	OREGON GRAPE	#3	CONTAINER	
PM	7	POLYSTICHUM MUNITUM	WESTERN SWOARD FERN	#3	CONTAINER	
PO	55	PRUNUS L. OTTO LYUENKIS	OTTO LYUENKIS LAUREL	#3	CONTAINER	
RB	7	RHOODOENDRON BOW BELLS	BOW BELLS RHODO.	#3	CONTAINER	
RD	7	RHOODOENDRON DORA AMETIS	DORA AMETIS RHODO.	#3	CONTAINER	
RH	27	RHOODOENDRON HACHIMANNIS FANTASTICA	FANTASTIC RHOODOENDRON	#3	CONTAINER	
RJ	27	RHOODOENDRON UNIQUE	UNIQUE RHODO.	#3	CONTAINER	
RR	7	RHOODOENDRON ROYAL PINK	ROYAL PINK RHODO.	#3	CONTAINER	
SB	24	SPIRAEA BUMALDA DARTS RED	DARTS RED	#3	CONTAINER	
AC	18	ASTILEBE CHINENSIS VISIONIS	ASTILEBE	#1	CONTAINER	
CZ	97	COROPUS VERTICILLATA ZAGREB	ZAGREB TICKSEED	#1	CONTAINER	
EL	37	ERYTHRON BOWLES MAUIE	PURPLE WALLFLOWER	#1	CONTAINER	
GS	12	GAULTHERIA SHALLOW	SALAL	#1	CONTAINER	
HM	4	HEUCHERA MICRANTHIA VAR. DIVERSIFLORA	PLACE PURPLE CORAL BELLS	#1	CONTAINER	
HS	90	HEMEROCALIS STELLA D'ORO	DAY LILY	#1	CONTAINER	
LA	16	LAVANDULA ANGIUSTIFOLIA	ENGLISH LAVENDER	#1	CONTAINER	
NW	28	NEPETA WALKERS LOW	WALKERS LOW CATMINT	#1	CONTAINER	

* PROPOSED REPLACEMENT TREE ON SITE: 12



2 LANDSCAPE LIGHTING PLAN - ROOF LEVEL
SCALE: 1/8"=1'-0"

LIGHTING NOTES:

1. ALL LANDSCAPE LIGHTING TO BE CONTROLLED BY PHOTOCELL AND TIMELOCK. LIGHTING ZONE CONFIGURATION TO BE CONFIRMED WITH LANDSCAPE ARCHITECT/ELECTRICAL ENGINEER.
2. ELECTRICAL WIRE TO BE 18 AWG WATERPROOF WIRE. 1/2" DIA. CONDUIT TO BE REQUIRED WITHIN THE PLANTER OR UNDERNEATH PAVING SURFACE.
3. REFER TO ELECTRICAL ENGINEER FOR THE TECHNICAL SPECIFICATION OF THE LIGHT FIXTURE, POWER SUPPLY, CONTROLLER AND UNDERGROUND WIRING. REFER TO LANDSCAPE PLAN FOR LOCATION AND TYPE OF THE LIGHT FIXTURE.

LANDSCAPE LIGHTING:

LIGHT TYPE	LEGEND	QTY.	MODEL No.	GENERAL REQUIREMENTS
WALL LIGHT Type 1		27	DELTA LIGHT LOGIC W 5 930	COLOR: DARK GREY SIZE: 4-3/4" X 4-3/4" SEE ELECTRICAL ENG. DWGS FOR COMPLETE DETAILS
BOLLARD LIGHT (ROOF LEVEL)		14	LUMIERE 303-B1-LED81 60/LED	COLOR: FINISH: BLACK - BK SIZE: 24" HT. SEE ELECTRICAL ENG. DWGS FOR COMPLETE DETAILS

REVISIONS/ISSUED
1. 14.0000 - 11/15/2024
2. 14.0000 - 11/15/2024
3. 14.0000 - 11/15/2024

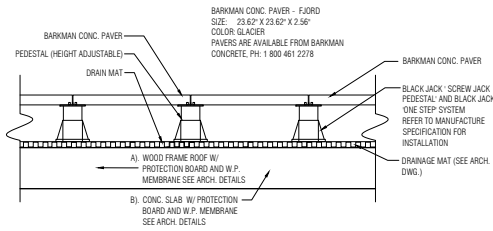
RE-ISSUED FOR P.D.
AUG 13, 2024

PROJECT
THE NEST
12149 80TH AVENUE SURREY, B.C.
DEVELOPER: PENINSULA CROSSING INVEST. LTD.
ARCHITECT: BOLDVING CONTINUUM ARCHITECTS INC.
100 MARUYAMA ASSOCIATES INC. - 808-C, LEON BOOTH SQUARE, VANCOUVER, B.C. V6C 4A6. PH: 604-271-6927. TX: 604-271-6927. FAX: 604-271-6927. WWW.MARUYAMA.COM

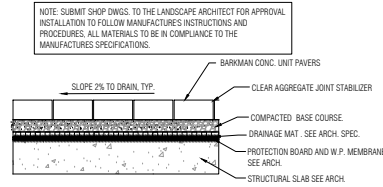


DATE: JUNE 14, 2022
DESIGN: JZ, RM
DRAWN: RM
CHECKED: RM
SCALE: AS SHOWN
JOB NO.: M0007

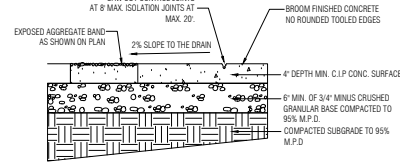
SHEET TITLE
LANDSCAPE PLAN
ROOF LEVEL
SHEET NO.
L-04



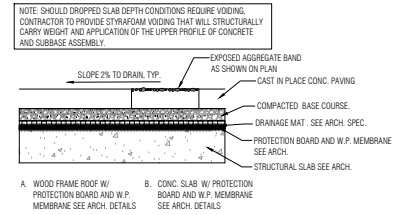
1 2X2 UNIT PAVERS ON SLAB OR WOOD FRAME
SCALE: 1"=1'-0"



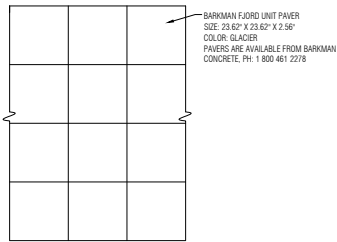
2 UNIT PAVERS ON SLAB
SCALE: 1"=1'-0"



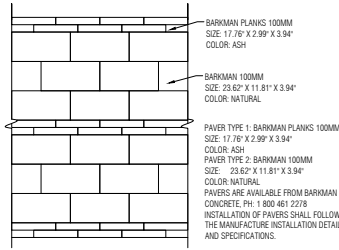
3 CONCRETE PAVING ON GRADE
SCALE: 1"=1'-0"



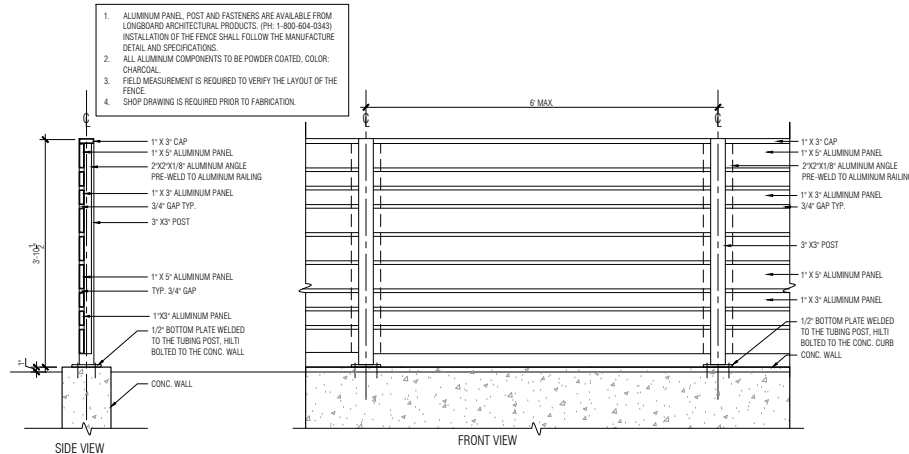
4 CONCRETE PAVING ON SLAB
SCALE: 1"=1'-0"



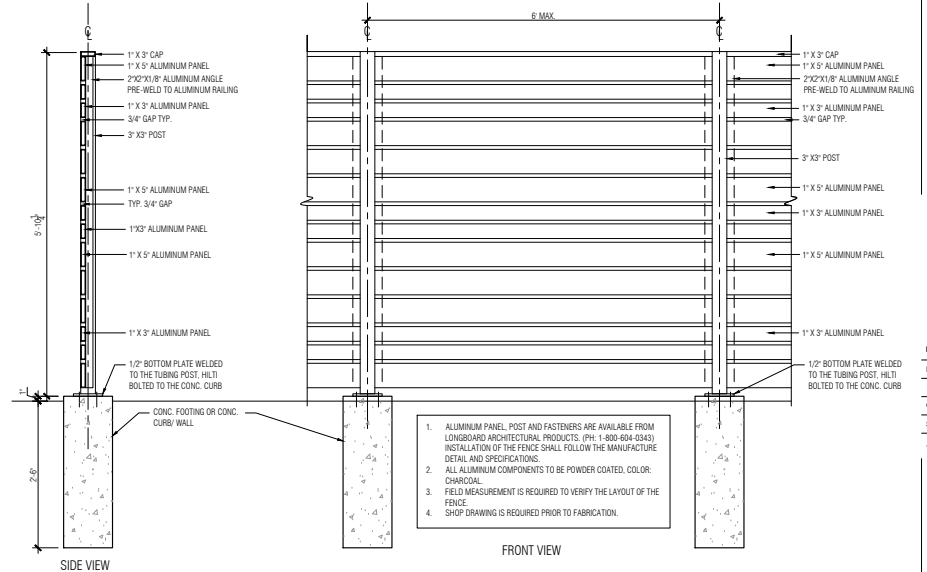
5 UNIT PAVER - PATIOS
SCALE: 1/2"=1'-0"



6 UNIT PAVER - GROUND LEVEL
SCALE: 1/2"=1'-0"



7 METAL PRIVACY FENCE - 4 FT. HEIGHT TYP.
SCALE: 1"=1'-0"



8 METAL PRIVACY FENCE - 6 FT. HEIGHT TYP.
SCALE: 1"=1'-0"

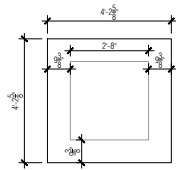
REVISIONS/ISSUED
1. REVISED FOR P.D.P. AUG 15, 2024
2. REVISED FOR P.D.P. AUG 15, 2024
3. REVISED FOR P.D.P. AUG 15, 2024

PROJECT
THE NEST
12149 80TH AVENUE SURREY, B.C.
DEVELOPER: PENINSULA CROSSING INVEST. LTD.
ARCHITECT: BOLDING CONTINUUM ARCHITECTS INC.
EOD: MARILYN A. ASSOCIATES INC. - 501-C, LEON BOOTH SQUARE, VANCOUVER, B.C. V6E 4A8, PH: 604-574-6897, FX: 604-574-6897, E: EAA_marylyn@bolding.ca

DATE: JUNE 14, 2022
DESIGN: JZ, RM
DRAWN: RM
CHECKED: RM
SCALE: AS SHOWN
JOB NO.: M0007

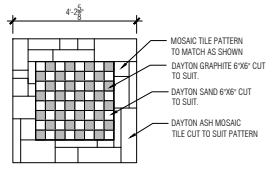
SHEET TITLE: LANDSCAPE DETAILS
SHEET NO.: L-05

CERAMIC TILE AVAILABLE FROM "MONTLE"
270 TERMINAL AVENUE, HANCOUVER, B.C.
PH: 604-430-4402 CONTACT: LAURENCE
MELANIE GARNIER



CONCRETE PAD

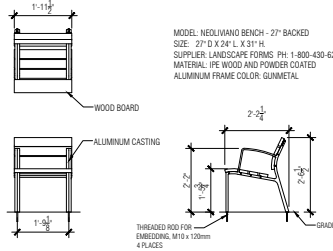
CERAMIC TILE PRODUCT, FOR CHESS BOARD:
1) DAYTON GRAPHITE MATT RECT 24"x24" (3 PIECES)
2) DAYTON SAND MATT RECT 24"x24" (3 PIECES)
3) DAYTON ASH MATT RECT 24"x24" (7 PIECES)



TILE PAVED CHESS BOARD

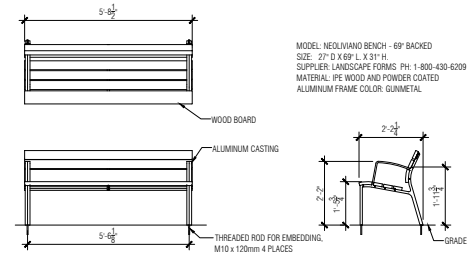
1 OUTDOOR CHESS BOARD
SCALE: 1/2"=1'-0"

MODEL: NEOLIVIANO BENCH - 24" BACKED
SIZE: 27" D X 24" L X 31" H
SUPPLIER: LANDSCAPE FORMS PH: 1-800-430-6209
MATERIAL: PE WOOD AND POWDER COATED ALUMINUM FRAME COLOR: GUNMETAL



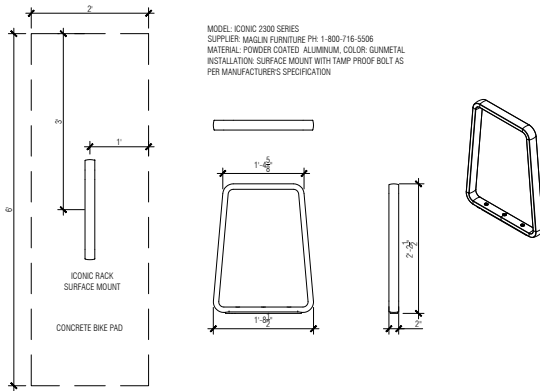
2 NEOLIVIANO BENCH - 24" BACKED
SCALE: 1/2"=1'-0"

MODEL: NEOLIVIANO BENCH - 69" BACKED
SIZE: 27" D X 69" L X 31" H
SUPPLIER: LANDSCAPE FORMS PH: 1-800-430-6209
MATERIAL: PE WOOD AND POWDER COATED ALUMINUM FRAME COLOR: GUNMETAL

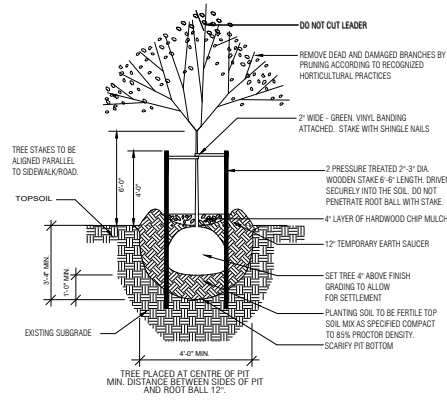


3 NEOLIVIANO BENCH - 69" BACKED
SCALE: 1/2"=1'-0"

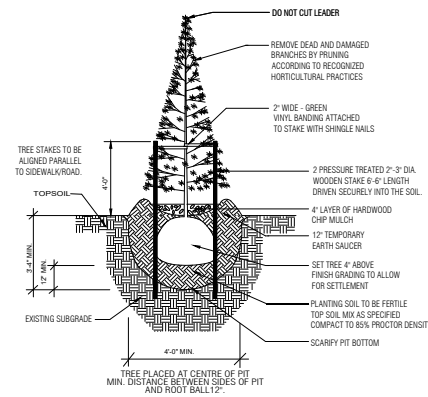
MODEL: ICONIC 2300 SERIES
SUPPLIER: MAGLIN FURNITURE PH: 1-800-716-5506
MATERIAL: POWDER COATED ALUMINUM, COLOR: GUNMETAL
INSTALLATION: SURFACE MOUNT WITH TAMP-PROOF BOLT AS PER MANUFACTURER'S SPECIFICATION



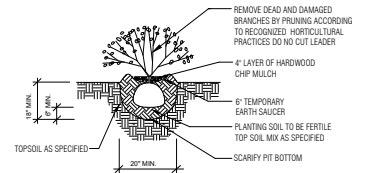
4 BIKE RACK
SCALE: 1"=1'-0"



5 DECIDUOUS TREE PLANTING
SCALE: NTS



6 DECIDUOUS TREE PLANTING
SCALE: NTS



7 SHRUB PLANTING
SCALE: NTS

REVISIONS/ISSUED
1. 14.00.0000 15.00.0000 16.00.0000
2. 14.00.0000 15.00.0000 16.00.0000
3. 14.00.0000 15.00.0000 16.00.0000
4. 14.00.0000 15.00.0000 16.00.0000

RE ISSUED FOR D.P.
AUG 15 2024

PROJECT
THE NEST
12149 80TH AVENUE SURREY, B.C.
DEVELOPER: PENINSULA CROSSING INVEST. LTD.
ARCHITECT: BOLDVING CONTINUUM ARCHITECTS INC.
R.D. MARIYAMA & ASSOCIATES INC. - PRC - C. LEON ROOT SQUARE, HANCOUVER, B.C. V5E 4A8, PH: 604.974.6897, FX: (604) 674.6831, E-MAIL: mariyama@tda.ca



DATE: JUNE 14, 2022
DESIGN: JZ, RMM
DRAWN: RMM
CHECKED: RMM
SCALE: AS SHOWN
JOB NO.: M0007

SHEET TITLE
LANDSCAPE DETAILS
SHEET NO.
L-06

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Manager, Development Services, Engineering Department**

DATE: **September 03, 2024** PROJECT FILE: **7822-0266-00**

RE: **Engineering Requirements (Commercial/Industrial)**
Location: 12149 80 Ave

OCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment.

REZONE

Property and Right-of-Way Requirements

- Dedicate 1.500 m along 80 Ave.
- Dedicate 3 m by 3 m corner cut at the intersection of 80 Ave and 121A St.
- Register 0.5 m SRW along 80 Ave and 121A St.
- Register a reciprocal access easement in favour of 12161 80 Ave and 12163 80 Ave.

Works and Services

- Construct the east side of 121A St.
- Construct a 1.8-m-wide sidewalk and boulevard along the north side of 80 Ave.
- Prepare a stormwater control plan to confirm capacity of downstream drainage mains and address deficiencies as required.
- Implement onsite interim detention as required by the Cougar Creek Integrated Stormwater Management Plan.
- Provide driveway, water, drainage, and sanitary service connections to the lot.

A Servicing Agreement is required prior to Rezone.

DEVELOPMENT PERMIT & DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Permit and Development Variance Permit.



Jeff Pang, P.Eng.
Manager, Development Services

/JNC

Department: **Planning and Demographics**
Date: **June 11, 2024**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **22-0266**

The proposed development of **48** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

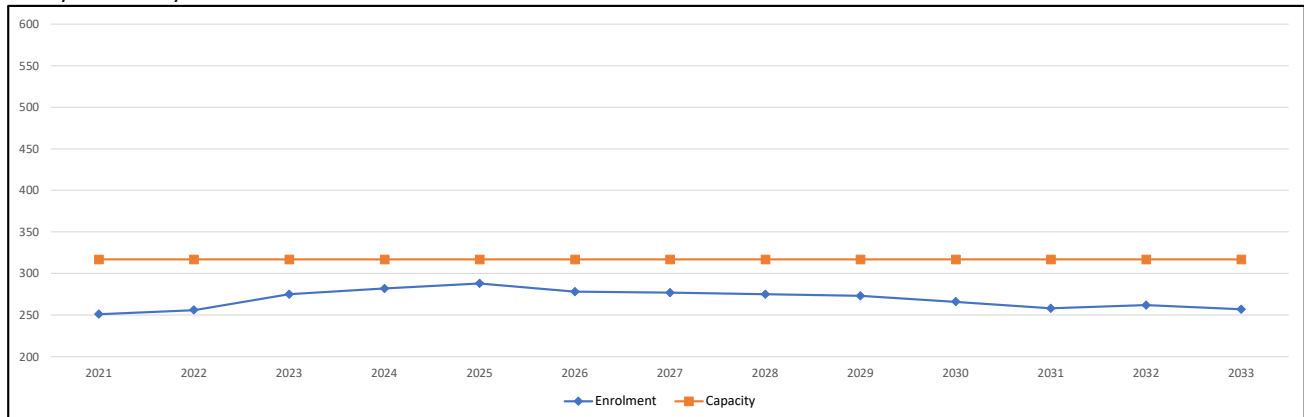
School-aged children population projection	7
---	---

Projected Number of Students From This Development In:	
Elementary School =	4
Secondary School =	2
Total Students =	6

Current Enrolment and Capacities:	
Kennedy Trail Elementary	
Enrolment	275
Operating Capacity	317
# of Portables	0
L A Matheson Secondary	
Enrolment	1190
Operating Capacity	1400
# of Portables	1

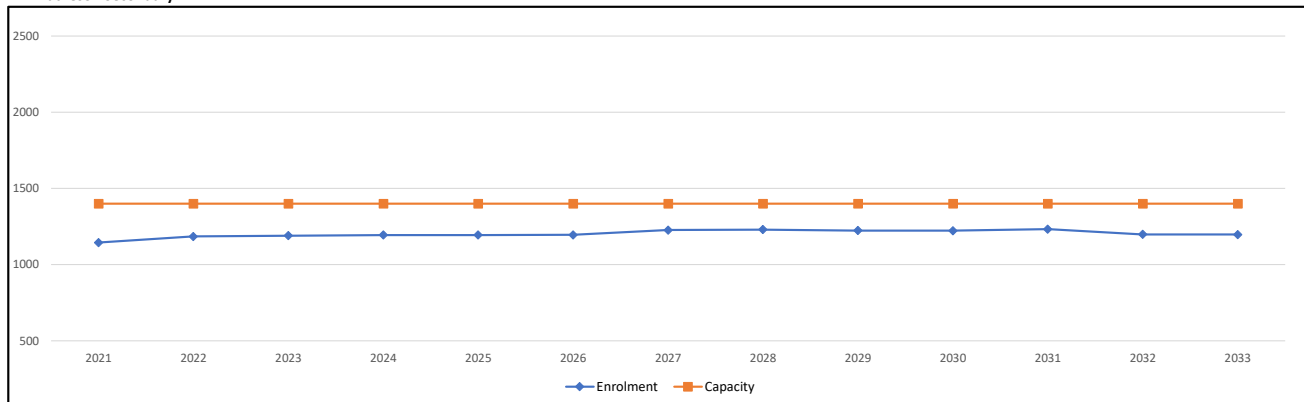
<p>Summary of Impact and Commentary</p> <p>The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.</p> <p>As of September 2023, Kennedy Trail Elementary is operating at 87%. Projections currently show modest or stable growth. The plans do not account for the planning work underway along the Scott Rd. corridor nor any pending Provincial legislation. These projections will be updated when those are complete.</p> <p>As of September 2023, L.A. Matheson is operating at 82%. Though the 10 year enrollment projections do show modest growth, there is available capacity. Currently, there are no plans to expand this school.</p>
--

Kennedy Trail Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

L A Matheson Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population: The projected population of children aged 0-17 impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

TREE PRESERVATION BY LOCATION TABLES

TREE PRESERVATION BY LOCATION				
Surrey File Number: xxxx				
Address: 12149 80 th Ave Surrey				
Arborist: Rylan McIlroy				
Date of Report / Revision: February 6 th , 2021 – Revised August 30 th 2024				
ONSITE	Alder & Cottonwood Trees			
		Existing	Remove	Retain
	Alder/Cottonwood (outside riparian area)	0		
	Alder/Cottonwood (within riparian area)	0		
	Total	0	0	0
	Deciduous Trees (excluding Alder & Cottonwood trees)			
	Tree species	Existing	Remove	Retain
	Norway maple	2	2	
	Pin oak	1	1	
	Butternut	1	1	
	Deciduous subtotal	4	4	0
	Coniferous Trees			
	Tree species	Existing	Remove	Retain
	Douglas fir	2	2	
	Scotch pine	1	1	
	Coniferous subtotal	3	3	0
	Deciduous & Coniferous Totals	7	7	0
	Onsite Tree Totals	7	7	0
	Onsite Replacement Trees Proposed		19	
	Total Onsite Retained & Replacement Trees		19	

Alder & Cottonwood Trees			
	Existing	Remove	Retain
Alder/Cottonwood (outside riparian area)	0		
Alder/Cottonwood (within riparian area)	0		
Total	0	0	0
Deciduous Trees (excluding Alder & Cottonwood trees)			
Tree species	Existing	Remove	Retain
Cherry	1		1
Deciduous subtotal	1	0	1
Coniferous Trees			
Tree species	Existing	Remove	Retain
Serbian spruce	1		1
Coniferous subtotal	1	0	1
Deciduous & Coniferous Totals	2	0	2
Offsite Tree Totals	2	0	2
Total Offsite Retained Trees	2		

OFFSITE

				Existing	Remove	Retain
CITY	Park/City Lot Trees					
	Boulevard Trees			1		1
	Total			1	0	1

TREE PRESERVATION SUMMARY TABLES

TREE PRESERVATION SUMMARY

Surrey File Number: xxxx
 Address: 12149 80th Ave
 Arborist: Rylan McIlroy
 Date of Report / Revision: August 30th, 2024
 Arborist signature:



ONSITE TREES	# of Trees
Existing Bylaw Trees	7
Proposed Removed Bylaw Trees	7
Proposed Retained Bylaw Trees	0
Total Replacement Trees Required	
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio	Removed 0 x 1 Subtotal 0
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio	Removed 0 x 2 Subtotal 0
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio	Removed 7 x 2 Subtotal 14
Required Replacement Trees	14
Proposed Replacement Trees	19
Deficit of Replacement Trees	0
Total Onsite Retained and Replacement Trees	19

OFFSITE TREES	# of Trees
Existing Bylaw Trees	2
Proposed Removed Bylaw Trees	0
Proposed Retained Bylaw Trees	2
Total Replacement Trees Required	
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio	Removed 0 x 1 Subtotal 0
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio	Removed 0 x 2 Subtotal 0
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio	Removed 0 x 2 Subtotal 0
Required Replacement Trees	0
Total Offsite Retained Trees	2

CITY TREES	Existing	Removed	Retained
Park/City Lot Trees	0	0	0
Boulevard Trees	1	0	1
Total	1	0	1

AERIAL SITE MAP



12149 80th Ave, Surrey BC – Image source: Surrey COSMOS

Image shows the subject site with proposed building overlay & surrounding City / Off-site properties