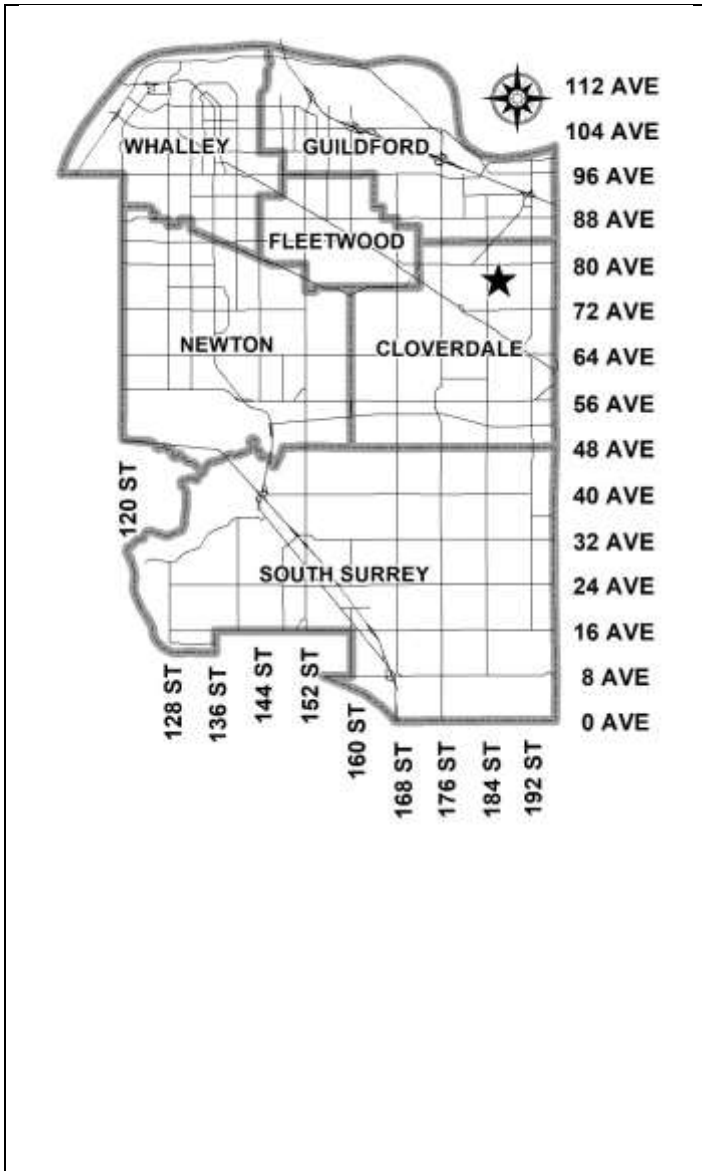


**City of Surrey
PLANNING & DEVELOPMENT REPORT**

Application No.: 7922-0262-00

Planning Report Date: July 22, 2024



PROPOSAL:

- **NCP Amendment** to amend the road network, the land consolidation boundaries, and park location in the West Clayton NCP
- **Rezoning** from A-1 to R4, R5, and CD
- **Development Permit**
- **Development Variance Permit**

To permit the development of 100 small residential lots, 20 compact residential lots, one lots containing 251 townhouse units, and parks and open space.

LOCATION:

- 18477 - 76 Avenue
- (18497 - 76 Avenue)
- 18535 - 76 Avenue
- 18563 - 76 Avenue
- (18573 - 76 Avenue)
- 18619 76 Avenue

ZONING:

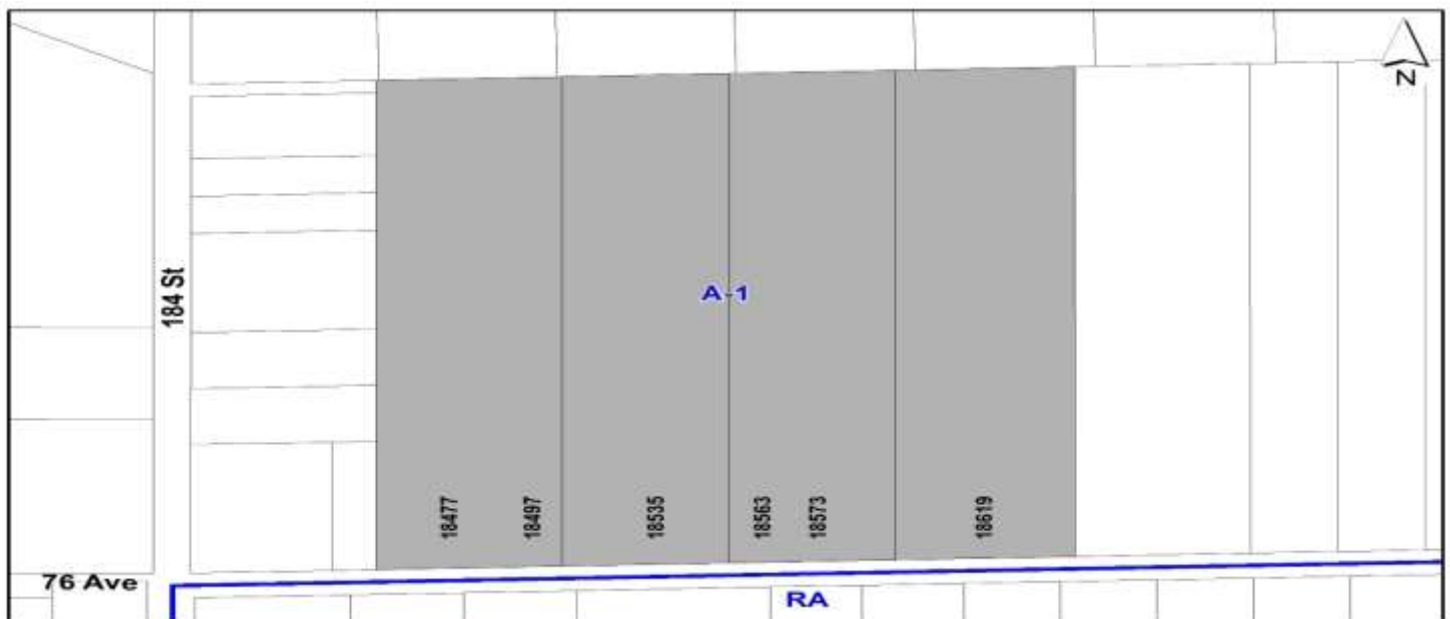
A-1

OCP DESIGNATION:

Urban

NCP DESIGNATION:

Medium Density Cluster, Proposed Park, Green Density Transfer (Forest Preservation/Restoration), Creek Buffer Class A and Class AO, Creek Buffer Class B, and Existing and Proposed Roads



RECOMMENDATION SUMMARY

- Two (2) Rezoning By-laws to proceed to Public Notification. If supported the By-laws will be brought forward for First, Second and Third Reading.
- Approval to draft General Development Permit for Form and Character, Hazard Lands, and Sensitive Ecosystems.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the West Clayton Neighbourhood Concept Plan (NCP) to modify the road network, the land consolidation boundaries, and park location.
- The applicant is requesting a variance to the definition of “Bond” in the *Surrey Subdivision and Development By-law, 1986, No. 8830*, as amended, to include the use of a Surety Bond for Servicing Agreement No. 7822-0262-00 and to proceed to public notification.

RATIONALE OF RECOMMENDATION

- The proposal complies with the ‘Urban’ designation in the Official Community Plan (OCP).
- The proposal complies with the ‘Medium Density Cluster’ designation in the West Clayton Neighbourhood Concept Plan (NCP)
- The proposal complies with the ‘General Urban’ designation in the Metro Vancouver Regional Growth Strategy (RGS).
- In accordance with changes to the Local Government Act, Section 464, under Bill 44 (2023) a Public Hearing is not permitted for the subject rezoning application as the proposed rezoning is consistent with the Official Community Plan (OCP). As such, Council is requested to endorse the Public Notification to proceed for the proposed Rezoning By-laws. The Rezoning By-laws will be presented to Council for consideration of First, Second, and Third Reading, after the required Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the By-law readings.
- The proposed density and building form are appropriate for this part of West Clayton.
- The proposal complies with the Development Permit requirements in the OCP for Sensitive Ecosystems (Streamside Areas & Green Infrastructure Areas).
- The proposal complies with the Development Permit requirements in the OCP for Hazard Lands (Steep Slopes).
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.

-
- The pilot program to use Surety Bonds supports the goals of the City's Sustainability Charter to increase housing options and affordability by allowing improved utilization of developers' capital funds for reinvestment. A Surety Bond, which is a three-party agreement between the Developer, Surety Bond Insurer ("Surety") and the City, obligates the Surety to pay the City for the debt or default if the Developer. The Developer's working capital will then be freed for greater liquidity that can then be encouraged for reinvestment into the City.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a By-law to rezone the portion of the subject site shown as Block “A” on the attached Survey Plan from “General Agriculture Zone (A-1)” to “Small Lot Residential (R₄) Zone” and the portion of the subject site shown as Block “C” on the attached Survey Plan from “General Agriculture Zone (A-1)” to “Compact Residential (R₅) Zone” (Appendix I).
2. Council endorse the Public Notification to proceed for a By-law to rezone a portion of the subject site shown as Blocks “B” and “D” on the Attached Survey Plan (Appendix I) from “General Agriculture Zone (A-1)” to “Comprehensive Development Zone (CD)”.
3. Council authorize staff to draft Development Permit No. 7922-0262-00 generally in accordance with the attached drawings (Appendix II) and the finalized Ecosystem Development Plan and Geotechnical Report.
4. Council approve Development Variance Permit No. 7922-0262-00 (Appendix VIII) to vary the definition of “Bond” in the *Surrey Subdivision and Development By-law, 1986, No. 8830, as amended*, to include the use of a Surety Bond for Servicing Agreement 7822-0262-00 to proceed to Public Notification.
5. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout plan to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) submission of a finalized Ecosystem Development Plan and Impact Mitigation Plan to the satisfaction of City staff;
 - (h) conveyance of riparian areas and Biodiversity Conservation Strategy areas to the City;

- (i) submission of a finalized Geotechnical Report to the satisfaction of City staff;
 - (j) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (k) registration of a volumetric right-of-way for public rights-of-passage over the publicly accessible open space (corner plazas) within the site;
 - (l) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
 - (m) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services; and
 - (n) registration of a Section 219 Restrictive Covenant that requires the owner to develop the site in accordance with the conditions in the geotechnical report.
6. Council pass a resolution to amend the West Clayton Neighbourhood Concept Plan (NCP) to modify the road pattern, adjust the boundaries of the land consolidation area, and amend the park location when the project is considered for final adoption (Appendix IX).

SITE CONTEXT & BACKGROUND

| Direction | Existing Use | OCP/NCP Designation | Existing Zone |
|--------------|--|---|---------------|
| Subject Site | Single family dwellings on large multi-acre sites | <u>OCP</u> : Urban <u>NCP</u> : Medium Density Cluster | A-1 |
| North: | Single family dwellings or vacant sites and agriculture. | <u>OCP</u> : Urban <u>NCP</u> : Low Density Cluster | A-1 |

| Direction | Existing Use | OCP/NCP Designation | Existing Zone |
|------------------------|--------------------------|---|---------------|
| East: | Vacant site. | <u>OCP</u> : Urban <u>NCP</u> : Medium Density Cluster | A-1 |
| South (across 76 Ave): | Single family dwellings. | <u>OCP</u> : Urban <u>NCP</u> : Medium Density Cluster & Urban Residential | RA |
| West: | Single family dwellings. | <u>OCP</u> : Urban <u>NCP</u> : Medium Density Cluster | A-1 |

Context & Background

- The 15.2-hectare subject site is comprised of four lots located on the north side of 76 Avenue east of the intersection with 184 Street. The subject site is designated “Urban” in the Official Community Plan (OCP) and is currently zoned “General Agricultural Zone (A-1)”.
- Each lot within the subject site contains single family dwellings with accessory farm structures, although the properties are not actively farmed.
- A portion of the subject site (18477 - 76 Avenue) contains a dwelling (the Griffiths House) identified in the West Clayton NCP as potentially containing heritage significance. The applicant retained Schueck Heritage Consulting to undertake a Heritage Values Assessment which determined that the building has minor heritage value for its age and design, but the building is in poor condition making retention unfeasible. The Heritage Values Assessment was reviewed by Heritage Planning staff and considered by the Surrey Heritage Advisory Commission (SHAC) on November 7, 2023, and SHAC determined not to proceed with temporary or permanent protection measures for the Griffiths House.
- The site is subject to Hazard Land Development Permit Area and Sensitive Ecosystem Development Permit Area requirements of the Official Community Plan (OCP), given the on-site grades and the on-site Class B watercourses.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant proposes the following in order to accommodate 120 residential lots (100 small lots and 20 compact lots), 2 lots containing 251 townhouse units, and parks and open space (conservation) lots which will be conveyed to the City:
 - NCP amendment to amend the road network, the land consolidation boundaries, and the park location in the West Clayton NCP;

- Rezoning of a portion from “General Agricultural Zone (A-1)” to “Small Lot Residential Zone (R4)” (Block A);
- Rezoning of a portion from “General Agricultural Zone (A-1)” to “Compact Residential Zone (R5)” (Block C);
- Rezoning of a portion from “General Agricultural Zone (A-1)” to “Comprehensive Development Zone” (Block B and D);
- Subdivision into 120 residential lots, 2 townhouse lots, 1 park lot, 3 GIN lots, and 1 lot for riparian protection.
- Development Permit for Form and Character, Hazard Lands (Steep Slopes), and Sensitive Ecosystems (Streamside & Green Infrastructure Networks).

- The following table provides specific details of the proposal:

| Enite Site | Proposed |
|--|---|
| Lot Area | |
| Gross Site Area: | 15.2 ha / 37.6 ac |
| Road Dedication: | 2.6 ha / 6.5 ac |
| Undevelopable Area: | 0.8 ha / 1.9 ac |
| Net Site Area: | 9.1 ha / 22.4 |
| Number of Lots | 120 residential lots 1 townhouse lot 1 park lot |
| Blended Unit Density | 26.2 uph / 10.6 upa (gross) |
| Townhouse Site (Block B & D) | |
| Proposed | |
| Net Site Area | 4.54 ha / 11.23 ac |
| Building Height | 3-storeys |
| Unit Density | 55.23 uph / 22.35 upa (net) |
| Floor Area Ratio (FAR) | 0.78 (net) |
| Floor Area | 35,507.33 sq, metres |
| Residential Units | |
| 2-Bedroom: | 28 |
| 3-Bedroom: | 185 |
| 4-Bedroom: | 38 |
| Total: | 251 |
| Single Family Sites (Block A & C) | |
| Proposed | |
| Net Site Area | 4.54 ha / 11.22 ac |
| Number of Lots | 20 x R5 lots 100 x R4 lots |
| Unit Density | 26.43 uph / 10.7 upa (net) |
| Range of Lot Sizes | 319 - 613 sq. m. |
| Range of Lot Widths | 9.7 - 18.4 m. |
| Range of Lot Depths | 24.2 - 33.4 m. |

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: The School District has advised that there will be approximately 326 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

170 students at Regent Road Elementary School
102 students at Ecole Salish Secondary School

(Appendix IV)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the first dwelling units in this project are expected to be constructed and ready for occupancy by the autumn of 2026, with the overall project completing in 2028.

Parks, Recreation & Culture: Parks accepts the 1.53-acre Park as the 5% unencumbered parkland subdivision dedication requirement, in addition to the voluntary conveyance of the GIN area as a lot, without compensation for conservation purposes under the maximum safeguarding provisions of DP3 Sensitive Ecosystem Development Permit Area.

The closest active park is Shannon Park and is 1,815-metres away, and the closest natural area is 58A Neighbourhood Park and is 675-metres away. Future parkland is proposed within this development as part of the West Clayton Neighbourhood Concept Plan (NCP). Active parkland will be received through the 5% unencumbered parkland subdivision dedication requirement.

Surrey Fire Department: Surrey Fire Department generally has no concerns with the proposal.

Heritage Advisory Commission (HAC): The HAC recommended that staff do not proceed with temporary or permanent protection measures for the house located at 18477 - 76 Avenue (Appendix VII).

Transportation Considerations

- The applicant will be dedicating and constructing new local roads within the subject site to establish the road network in line with the connectivity and block spacing envisioned within the NCP. The applicant will also be dedicating and constructing the north side of 76 Avenue along the site frontage to the collector road standard.

- A transportation impact analysis (“TIA”) was submitted to support the subject proposal. The TIA indicated that the proposed development is anticipated to generate a total of approximately five to six vehicles per minute in the peak hour, based on industry standard rates.
- Due to the proposed scope of the development, a broader network and intersection analysis was required as part of the TIA in order to determine off-site impacts and required mitigation measures. Based on the TIA results, the applicant will be providing contributions towards future improvements at the intersections of 84 Avenue / 180 Street and 80 Avenue / Harvie Road.

Parkland and/or Natural Area Considerations

- The proposal includes dedication of an unencumbered park lot to the City with an area of 1.53-acres. The lot will provide parkland generally in accordance with the requirements of the West Clayton NCP.
- The West Clayton NCP identifies the park on this site as ‘Park Site G’, originally envisioned to be a 3.13-acre natural area neighbourhood park with potential amenities including an improved natural area, forest trails, and nature play area, and passive open space; however, the ultimate future programming of this site remains to be determined.
- Parks, Recreation and Culture have accepted the conveyance of the proposed park lot (Lot 123) towards satisfying the 5% parkland dedication requirements of Section 510 of the Local Government Act.
- Parks, Recreation and Culture will accept the voluntary conveyance of the riparian area (Lot 127) and the Green Infrastructure Network Corridor (Lots 124, 125, and 126) for conservation purposes under the maximum safeguarding provision of the DP3 Sensitive Ecosystem Development permit Area.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The site is designated ‘General Urban’ in the Regional Growth Strategy. The proposal complies with this designation.

Official Community Plan

Land Use Designation

- The site is designated 'Urban' in the Official Community Plan (OCP). The proposal complies with this designation.

Themes/Policies

The proposed development complies with the following OCP themes/policies:

- A1.3 – Accommodate urban land development according to the following order of growth management priorities:
 - A1.3d – Comprehensively-planned new neighborhoods within approved Secondary Plan areas.

(The proposal will be a comprehensively planned new neighborhood within the approved West Clayton NCP).

Secondary Plans

Land Use Designation

- The site is designated 'Medium Density Cluster' in the West Clayton NCP. This designation is intended for urban type housing on large development sites. Housing forms may vary, from single-family dwellings, two-family dwellings, or multiple ground-oriented dwellings with substantial public open space set aside within the subdivision. The proposed land use and density complies with this designation.

Amendment Rationale

- An amendment to the West Clayton NCP is proposed, which includes changes to the road network, relocation of Park Site G, and an amendment to the land consolidation boundaries.
- The West Clayton NCP originally envisioned the centreline of 186A Street aligned along the property line dividing 18563/73 - 76 Ave and 18619 - 76 Ave, providing a connection between 76 Ave and 80 Ave. Environmental and geotechnical reporting on the site has determined the presence of significant riparian and topographical features in the planned road alignment making the continuance of this road unachievable north of 77 Avenue. The proposed realignment of the road network better responds to the natural features and topography of the site and is supported by Transportation staff.
- The NCP originally envisioned Park Site G centred on the Class B creek in the centre of the subject site. The applicant has shifted this planned park site west to provide unencumbered parkland to the City. The applicant will be conveying the riparian protection areas to the City for conservation purposes, which meets the intent of the plan.

- The amendment to the road network plan affects the properties directly north and west of the subject site. The properties impacted by the proposed amendment to the NCP to the north are generally under development application and are reflecting this revised road network plan. The properties to the west have yet to come forward for development. Subject to these sites achieving reasonable land assemblies in accordance with the West Clayton Consolidation Area Strategy, the completed road network through to 184 Street will be achievable with fewer local roads.
- The West Clayton Consolidation Area Strategy is being amended to delete Consolidation Area No. 7 to better reflect the land assembly under application.
- The proposed amendments to the West Clayton NCP are supported by staff.

Themes/Objectives

- 2.2.1 Green (Principle 5) – Pursue the conveyance of riparian areas to the City through the subdivision and development process in order to ensure the consistent management of natural environmental values in riparian corridors.

(Through this application, the proposal is conveying riparian areas to ensure consistent management of natural environmental features).

- 2.2.3 Complete (Principle 1) – Provide for a variety out housing types, densities and forms to accommodate a range of housing choices and lifestyles, while respecting the existing established residential areas.

(The application successfully achieves diversity of housing type through the provision of 20 R5 zoned residential lots and 100 R4 zoned residential lots. In addition, 251 townhouse units are proposed of varying unit sizes. This is a market responsive development that will cater to a range of housing choices and lifestyles well into the future).

Zoning By-law: Small Lot Residential Zone (R4)

- The applicant proposes to rezone a portion the subject site from "General Agriculture Zone (A-1)" to "Small Lot Residential Zone (R4)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Small Lot Residential Zone (R4)", and parking requirements.

| Block A: R₄ (Part 16) | Permitted and/or Required | Proposed |
|---|----------------------------------|-----------------------------|
| Unit Density: | 28 uph | As per R ₄ zone. |
| Lot Coverage: | 50% | |
| Yards and Setbacks | | |
| Font Yard: | 5.5 m | As per R ₄ zone. |
| Rear Yard: | 7.5 m | |
| Side Yard: | 1.2 m | |
| Street Side Yard: | 2.4 m | |
| Lot Size: Type II | | |
| Lot Size: | 336 - 380 sq. m. | As per R ₄ zone. |
| Lot Width: | 13.4 - 15.4 m | |
| Lot Depth: | 24 m | |
| Parking (Part 5) | Required | Proposed |
| Number of Stalls | | |
| Residential: | 3 | As per R ₄ zone. |

Zoning By-law: Compact Residential Zone (R₅)

- The applicant proposes to rezone a portion of the subject site from "General Agriculture Zone (A-1)" to "Compact Residential Zone (R₅)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Compact Residential Zone (R₅)", streamside setbacks, and parking requirements.

| Block C: R₅ (Part 17) | Permitted and/or Required | Proposed |
|---|----------------------------------|-----------------------------|
| Unit Density: | 36 uph | As per R ₅ zone. |
| Lot Coverage: | 50% | |
| Yards and Setbacks | | |
| Front Yard: | 3.5 m | As per R ₅ zone. |
| Rear Yard: | 6.5 m | |
| Side Yard: | 1.2 m | |
| Street Side Yard: | 2.7 m | |
| Lot Size: Type I | | |
| Lot Size: | 291 - 369 sq. m. | As per R ₅ zone. |
| Lot Width: | 9.7 - 12.8 m | |
| Lot Depth: | 30 m | |
| Streamside (Part 7A) | Required | Proposed |
| Streamside Setbacks | | |
| Class B (yellow-coded) Stream: | 15.0 m | As per Part 7A. |
| Parking (Part 5) | Required | Proposed |
| Number of Stalls | | |
| Residential: | 3 | As per R ₅ zone. |

CD By-law

- The applicant is proposing a “Comprehensive Development Zone (CD)” to accommodate a 251-unit townhouse development on one lot (hooked across a road) on the subject site (Blocks B and D). The proposed CD By-law for the townhouse development identifies the uses, densities, and setbacks proposed. The CD By-law will have the provisions based on the “Multiple Residential 30 Zone (RM-30)”.
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-30 Zone and the proposed CD By-law is illustrated in the following table:

| Block B & D: RM-30 Zone (Part 22) | Permitted and/or Required | Proposed CD Zone |
|--|--|-------------------------|
| Density and Coverage – Townhouse Site | | |
| Unit Density | 75 uph / 30 upa (net) | 55 uph / 22 upa (net) |
| Floor Area Ratio: | 1.00 | 0.78 |
| Lot Coverage | 45% | 40% |
| Yards and Setbacks – Block B | | |
| North: | 6.0 m | 4.5 m |
| South | 4.5 m | 4.5 m |
| East: | 6.0 m | 4.5 m |
| West: | 4.5 m | 4.5 m |
| Yards and Setbacks – Block D | | |
| North: | 6.0 m | 7.5 m |
| South: | 4.5 m | 4.5 m |
| East: | 4.5 m | 4.5 m |
| West: | 6.0 m | 7.5 m |
| Height of Buildings | | |
| Principal buildings: | 13.0 m | 13.0 m |
| Indoor Amenity Space Building: | 11.0 m | 11.0 m |
| Accessory buildings and Structures: | 4.5 m | 4.5 m |
| Amenity Space | | |
| Indoor Amenity: | 3.0 sq.m. per dwelling unit. | 833 sq.m. (complies) |
| Outdoor Amenity: | 3.0 sq.m per dwelling unit; and 6.0 per back-to-back, ground-oriented dwelling unit. | 923 sq. m. (complies) |
| Streamside (Part 7A) | | |
| | Required | Proposed |
| Streamside Setbacks | | |
| Class B (yellow-coded) Stream: | 15.0 m | 15.0 m |
| Class A (red-coded) Stream: | 30.0 m | 30.0 m |
| Parking (Part 5) | | |
| | Required | Proposed |

| Block B & D: RM-30 Zone (Part 22) | Permitted and/or Required | Proposed CD Zone |
|--|---------------------------|-----------------------|
| Density and Coverage – Townhouse Site | | |
| Unit Density | 75 uph / 30 upa (net) | 55 uph / 22 upa (net) |
| Floor Area Ratio: | 1.00 | 0.78 |
| Lot Coverage | 45 ⁰ % | 40 ⁰ % |
| Number of Stalls | | |
| Residential: | 502 | 502 |
| Residential Visitor: | 50 | 51 |
| Small Car (Visitor): | 12 | 11 |
| Accessible: | 1 | 2 |
| Total: | 552 | 553 |
| Tandem (%): | 50.0% (251 stalls) | 19.9% (100 stalls) |
| Bicycle Spaces | | |
| Residential Visitor: | 12 | 12 |

- The proposed unit density has been reduced from 75 uph under the RM-30 Zone to 57 uph under the proposed CD Zone. Staff recommend capping the development at the proposed density to ensure the development remains in-keeping with the ‘Medium Density Cluster’ designation in the West Clayton NCP.
- For Block D (west side), the side yard (west) and rear yard (north) building setbacks have been increased from 6.0 m to 7.5 m. The increased setback applies to rear and side of unit conditions and has been proposed to allow for a 3.0 m landscape buffer between the higher density townhouse proposal, and the adjoining future single-family lots.
- For Block B (east side), the side yard (west), rear yard (north), and side yard (east) building setbacks have been reduced from 6.0-metres to 4.5-metres. The reduced setback applies to rear of unit conditions fronting the riparian areas, and still provides for a functional rear yard and on-site circulation clear of the property lines.
- The applicant has confirmed that the townhouse lot will be comprised of a single strata and the lot will be hooked over 186A Street.

Surety Bond Variance

- The applicant is requesting the following variances:
 - to vary the definition of “Bond” in the *Surrey Subdivision and Development By-law, 1986, No. 8830, as amended*, to include the use of a Surety Bond for Servicing Agreement No. 7822-0262-00 and to proceed to Public Notification

Bond

- The pilot program to use Surety Bonds supports the goals of the City’s Sustainability Charter to increase housing options and affordability by allowing improved utilization of developers’ capital funds for reinvestment. A Surety Bond, which is a three-party agreement between the Developer, Surety Bond Insurer (“Surety”) and the City, obligates the Surety to pay the City for the debt or default of the Developer. The Developer’s working capital will then be freed for greater liquidity that can be encouraged for reinvestment into the City.
- The pilot program supports the Sustainability Charter theme of Inclusion, specifically the following Desired Outcomes and Strategic Directions:
 - Housing DO₁₂: Everyone in Surrey has a place to call home;
 - Housing DO₁₃: Appropriate and affordable housing ins available to meet the needs of all households in Surrey;
 - Housing SD₁₀: Increase and maintain the supply of affordable and appropriate rental housing across all Surrey communities; and
 - Housing SD₁₁: Ensure development of a variety of housing types to support people at all stages of life.
- The Engineering Department supports the variance to include the use of a Surety Bond for Servicing Agreement No. 7822-0262-00.

Lot Grading and Building Scheme

- The applicant retained Angus J. Muir of AJ Muir Design Ltd as the Design Consultant. The Design Consultant conducted a character study of the surrounding homes and based on the findings of the study, proposed a set of building design guidelines (Appendix V).
- Styles recommended for this site include Neo-Traditional and Neo-Heritage, West Coast, Craftsman, Contemporary, Modern Farmhouse, Modern Prairie, French Country, and French Provincial.
- A preliminary lot grading plan, submitted by Aplin & Martin Consultants Ltd., and dated June 03, 2024, has been reviewed by staff and found to be generally acceptable. The applicant is proposing in-ground basements. The feasibility of in-ground basements will be confirmed once the City’s Engineering Department has reviewed and accepted the applicant’s final engineering drawings.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City’s Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City’s Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2024, under Corporate Report No.R046; 2024.

- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval for the residential lots, and at the time of Building Permit Issuance for the ground oriented multi-unit residential (townhouse) component of this project. The current rate is \$2,227.85 per new unit.
- The proposed development will not be subject to the Tier 2 Capital Plan Project CACs as the proposal complies with the densities in the Secondary Plan designation.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,113.92 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The contribution will be payable at subdivision approval for the residential lots. For the ground oriented multi-unit residential (townhouse) component of this project, the applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on March 04, 2024, and the Development Proposal Signs were installed on March 05, 2024. Staff received one (1) response from a neighbour who was seeking additional information on their own development potential. Staff provided the resident with the appropriate information.

DEVELOPMENT PERMITS

Sensitive Ecosystems (Streamside Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of existing Class A (red-coded) and Class B (yellow-coded) watercourses which are located in the north and east parts of the site and flow in a northerly direction. The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.

- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a Class A (red-coded) watercourse requires a minimum streamside setback of 30.0-metres, as measured from the top of bank. The proposed setbacks comply with the requirements outlined in the Zoning By-law.
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a Class B (yellow-coded) watercourse requires a minimum streamside setback of 15.0-metres, as measured from the top of bank. The proposed setbacks comply with the requirements outlined in the Zoning By-law.
- The riparian area is proposed to be conveyed to the City as a lot for conservation purposes as a condition of rezoning approval, in compliance with the OCP.
- An Ecosystem Development Plan, prepared by Ian Whyte, *P. Ag.*, of Envirowest Consultants Inc. and dated November 10, 2023, was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Sensitive Ecosystems (Green Infrastructure Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems DPA for Green Infrastructure Areas in the OCP, given the location of a Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) Corridors located along the northern and eastern property lines of the subject site. The Sensitive Ecosystems (Green Infrastructure Areas) Development Permit is required to protect environmentally sensitive and/or unique natural areas from the impacts of development.
- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies a Local BCS Corridor (GIN 139) within the subject site, in the Cloverdale BCS management area, with a Medium ecological value; and a Local BCS Corridor (GIN 141) within the subject site, with a Low ecological value.
- For GIN 139, the BCS further identifies the GIN area of the subject site as having a 'Moderate High' to 'Very High' habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends a target Corridor width of 60-meters.
- For GIN, 141, the BCS further identifies the GIN area of the subject site as having a 'Moderate High' to 'Very High' habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS also recommends a target Corridor width of 60-meters.
- The development proposal conserves 18,062-square meters of the subject site through Riparian Conveyance which is 11.9% of the total gross area of subject site. This method of GIN retention/enhancement will assist in the long-term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.

- An Ecosystem Development Plan, prepared by Ian Whyte, *P. Ag.*, of Envirowest Consultants Inc. and dated November 10, 2023, was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Hazard Lands (Steep Slope) Development Permit Requirement

- The subject property falls within the Hazard Lands (Steep Slope) Development Permit Area (DPA) in the OCP, given that the site contains steep slopes in excess of 20% gradient. The Hazard Land (Steep Slope) Development Permit is required to protect developments from hazardous conditions.
- The subject site slopes down from southeast to northwest with a change in elevation of approximately 25-metres. Locally steepened conditions in the range of approximately 2H:1V to 1H:1V in the north-eastern corner of the site and in the vicinity of the site's riparian corridors.
- A geotechnical report, prepared by Patrick Martz, *P. Eng.*, of GeoPacific Consultants Ltd. and dated July 27, 2023, was peer reviewed by John Carter, *P. Eng.*, of GeoWest Engineering Ltd. and found to be generally acceptable by the peer reviewer. The report and peer review were reviewed by staff and found to conform to the OCP Development Permit guidelines for Hazard Lands. The finalized geotechnical report will be incorporated into the Development Permit.
- The geotechnical report investigated issues related to slope stability and natural storm water drainage, from a geotechnical perspective, to determine the feasibility of development the site and proposing recommendations to ensure the ongoing stability of the slope.
- The consultant has determined that the development is feasible provided that the recommendations in their report are incorporated into the overall design of the site, including recommendations relating to site preparation, foundation design, and drainage.
- Registration of a Section 219 Restrictive Covenant that requires the owner to develop the site in accordance with the conditions in the geotechnical report is required as a condition of final adoption.
- At Building Permit stage, the Building Division will require Letters of Assurance from a geotechnical engineer to ensure that the building plans comply with the recommendations in the approved geotechnical report.

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the West Clayton Neighbourhood Concept Plan (NCP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the West Clayton Neighbourhood Concept Plan (NCP).

- The proposal includes 251 townhouse units on one lot (hooked across a road). Block D (west side of townhouse site) contains 81 units of which 17 (21%) are tandem units, 16 (19.75%) are back-to-back units, and 48 (59.25%) are units with conventional double side-by-side garages. Block B (east side of townhouse site) contains 170 units of which 33 (19.41%) are tandem units, 12 (7.06%) are back-to-back units, and 125 (73.52%) are units with conventional double side-by-side garages. The proposal provides for variety of unit sizes from two-bedrooms plus den to four-bedroom units.
- Access to the townhouse site will be provided by driveways and curb-letdowns from the future 186A Street.
- The applicant has worked with staff to ensure the provision of a high-quality public realm interface where units are oriented to face the street, with habitable rooms associated with the front entrance of each unit, and with entrances expressed individually by the provision of an entry porch. Main floor levels achieve a comfortable elevation of 0.6-metres to 1.2-metres above sidewalk grade. Apron parking and servicing elements have been screened from the public realm by locating them internal to the site, or through the provision of landscaping.
- The applicant has been successful in avoiding excessive disruption of the natural topography by stepping buildings, sloping parking areas, and providing larger setbacks to avoid the use of substantial retaining walls. However, the applicant has proposed modular block retaining walls fronting the public realm which is contrary to the Form and Character guidelines. Staff will work with the applicant to see whether there is a high-quality material facing or speciality concrete which may be more suitable in public realm frontages.
- The buildings present as a three-storey form, which are emphasized vertically to facilitate the identification of individual units. Ample glazing is proposed on the façade of each unit which will facilitate optimal Crime Prevention Through Environmental Design (CPTED) values.
- The townhouse buildings are well-modulated and articulated with four different schemes of cladding materials and colours. The primary cladding materials consist of fibre cement shingle, plank and board and batten sidings. The colour scheme consists of natural tones, like grey, blue, beige, and white, which will allow for the development to blend in with the surrounding residential context.
- Each tandem and conventional double side-by-side townhouse unit will have a small private balcony and ground-floor patio. The back-to-back townhouse units are planned to have generous rooftop decks.

Landscaping

- Landscaping within and around the townhouse development will consist of coniferous and deciduous trees such as Grand Fir, Vine Maple, Red Fox Katsura Tree, and Star Magnolia. A wide variety of shrubs, grasses, perennials, and ground covers are also proposed.
- Trees are proposed along the 76 Avenue and 186A Street frontages, which will help to soften the appearance of the buildings as perceived from the public realm. These trees include Katsura, Dogwood, Sweetgum, Grand Fir, and Parrotia.
- The development presents a single-family to townhouse interface along the west and north property lines of Block D. The applicant has designed to this condition by allowing for a 7.5-metre building setback with a 3.0-metre landscape buffer.
- The proposal achieves publicly accessible open space at the street corner in accordance with DP1 guidelines at the intersection of 76 Avenue and 186A Street. Staff will seek to preserve these corner conditions through a right-of-way for public rights-of-passage over the publicly accessible open space (corner plazas) within the site.

Indoor Amenity

- The proposed CD Zone (based on the RM-30 Zone) requires 753 sq. m. of indoor amenity space (at a rate of 3.0 sq. m. per dwelling unit). The proposal exceeds this requirement at 832.9 sq. m. The character of the amenity building is consistent with that of the overall development, and contains a gym, kitchenette, great room, kids' playroom, theatre, and games room.
- The indoor amenity building is located in a central location in Block B and is adjacent to a sizeable outdoor amenity space. The applicant has confirmed that the townhouse lot will be a singular strata with the lot hooked across the road. Residents on both sides of the townhouse project will have access to the indoor amenity space.

Outdoor Amenity

- The proposed CD Zone (based on the RM-30 Zone) requires 837 sq. m. of outdoor amenity space (at a rate of 6.0 sq. m. per back-to-back dwelling unit, and 3.0 sq. m. per dwelling unit). The proposal exceeds this requirement at 923.4 sq. m. The character of the outdoor amenity is consistent with the overall development, and contains a play area, outdoor lounge and dining area, and flex-use lawn areas.
- The outdoor amenity area is located in a central location in Block B and is adjacent to and directly accessible from the indoor amenity space. The applicant has confirmed that the townhouse lot will be a singular strata with the lot hooked across the road. Residents on both sides of the townhouse project will have access to the outdoor amenity space.

- Staff will continue to work with the landscape architect to expand the programmed outdoor amenity space prior to Final Adoption.

Parking

- A total of 502 parking spaces are provided within the dwelling unit garages, and an additional 52 visitor parking spaces are interspersed throughout Blocks B and D. The proposed parking configuration satisfies the minimum parking requirements in the Zoning By-law No. 12000.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. This list generally includes, but is not limited to:
 - Seek the opportunity to increase tree planting along internal drive aisle, if possible.
 - Submission of additional and coordinated grading information which details retaining wall locations, and heights.
 - Eliminating the lock-block retaining wall concept along public realm frontages in favor of a high-quality material facing such as masonry (e.g., stone or brick), or speciality concrete to the satisfaction of the Form and Character Guidelines.
 - Provision of additional information relating to the proposed site entry signage.
 - Seek the opportunity to expand the programmed outdoor amenity space prior to Final Adoption.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Kelly Koome, ISA Certified Arborist of Koome Urban Forestry Ltd. prepared an Arborist Assessment for the subject property (Appendix VI). The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

| Tree Species | Existing | Remove | Retain |
|---|----------|--------|--------|
| Alder and Cottonwood Trees | | | |
| Alder | 50 | 16 | 34 |
| Cottonwood | 41 | 21 | 20 |
| Deciduous Trees (excluding Alder and Cottonwood Trees) | | | |
| Big Leaf Maple | 127 | 66 | 61 |
| White Poplar | 22 | 14 | 8 |
| Paradise Apple | 4 | 3 | 1 |
| Apple | 2 | 2 | 0 |
| Flowering Cherry | 5 | 5 | 0 |
| Willow | 1 | 1 | 0 |

| | | | |
|--|--|------------|------------|
| English Holly / Holly | 3 | 3 | 0 |
| English Oak | 2 | 2 | 0 |
| European Beech | 4 | 4 | 0 |
| Bitter Cherry | 1 | 1 | 0 |
| Robinia (Black Locust) | 2 | 2 | 0 |
| Paper Birch | 7 | 2 | 5 |
| Black Walnut | 5 | 5 | 0 |
| Walnut | 1 | 1 | 0 |
| Pear | 1 | 1 | 0 |
| Locus | 4 | 3 | 1 |
| Coniferous Trees | | | |
| Western Red Cedar | 64 | 48 | 16 |
| Douglas Fir | 38 | 38 | 0 |
| Western Hemlock | 12 | 6 | 6 |
| Norway Spruce | 11 | 11 | 0 |
| Pyramidalis Cedar | 6 | 6 | 0 |
| Deodar Cedar | 1 | 1 | 0 |
| False Cypress | 3 | 3 | 0 |
| Grand Fir | 1 | 1 | 0 |
| Pacific Yew | 2 | 2 | 0 |
| Sitka Spruce | 2 | 1 | 1 |
| Blue Spruce | 2 | 2 | 0 |
| Zebrina Western Red Cedar | 1 | 0 | 1 |
| Total (excluding Alder and Cottonwood Trees) | 334 | 234 | 100 |
| <hr/> | | | |
| Total Replacement Trees Proposed (excluding Boulevard Street Trees) | Single Family (TBD) / Townhouse (245) | | |
| Total Retained and Replacement Trees Proposed | 351 + Single Family (TBD) | | |
| Estimated Contribution to the Green City Program | TBD | | |

- The Arborist Assessment states that there are a total of 334 mature trees on the site, excluding Alder and Cottonwood trees. Ninety-one (91) existing trees, approximately 21.4% of the total trees on the site, are Alder and Cottonwood trees. The applicant proposes to retain 100 trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- Table 1 includes an additional 161 protected trees that are located within the GIN Corridor, Riparian Area, and future Park. The trees within the GIN Corridor, Riparian Area, and future Park will be retained, except where removal is required due to hazardous conditions. This will be determined at a later time, in consultation with the Parks, Recreation and Culture Department.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees that are outside the streamside protection area, and a 2 to 1 replacement ratio for all other trees, including Alder and Cottonwood that are within a streamside protection area. This will require a proposed total of 505 replacement trees on the site. Since the proposed 245 replacement trees can be accommodated on the townhouse lot (Blocks B & D), the balance of the replacement trees are likely deliverable through the single family subdivision component of the project. If further refinement of the tree replacement strategy results in a deficit in the number of replacement trees, the applicant will be required to pay a cash-in-lieu payment, representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including Grand Fir, Vine Maple, Red Fox Katsura Tree, and Star Magnola.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

| | |
|----------------|---|
| Appendix I. | Block Plan and Proposed Subdivision Layout |
| Appendix II. | Townhouse Site Plan, Building Elevations, Landscape Plans and Perspective |
| Appendix III. | Engineering Summary |
| Appendix IV. | School District Comments |
| Appendix V. | Single Family Building Design Guidelines Summary |
| Appendix VI. | Summary of Tree Survey, Tree Preservation and Tree Plans |
| Appendix VII. | Surrey Heritage Advisory Commission Minutes |
| Appendix VIII. | Development Variance Permit No. 7822-0262-00 |
| Appendix IX. | West Clayton NCP Redesignation Map |

approved by Ron Gill

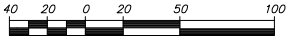
Don Luymes
General Manager
Planning and Development

RO/ar

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY
ZONING BYLAW No. _____ OF
PARCEL "A" (J80776E), LOT 2, LOT 3 AND LOT 4
SECTION 21 TOWNSHIP 8
ALL OF NEW WESTMINSTER DISTRICT PLAN 3748**

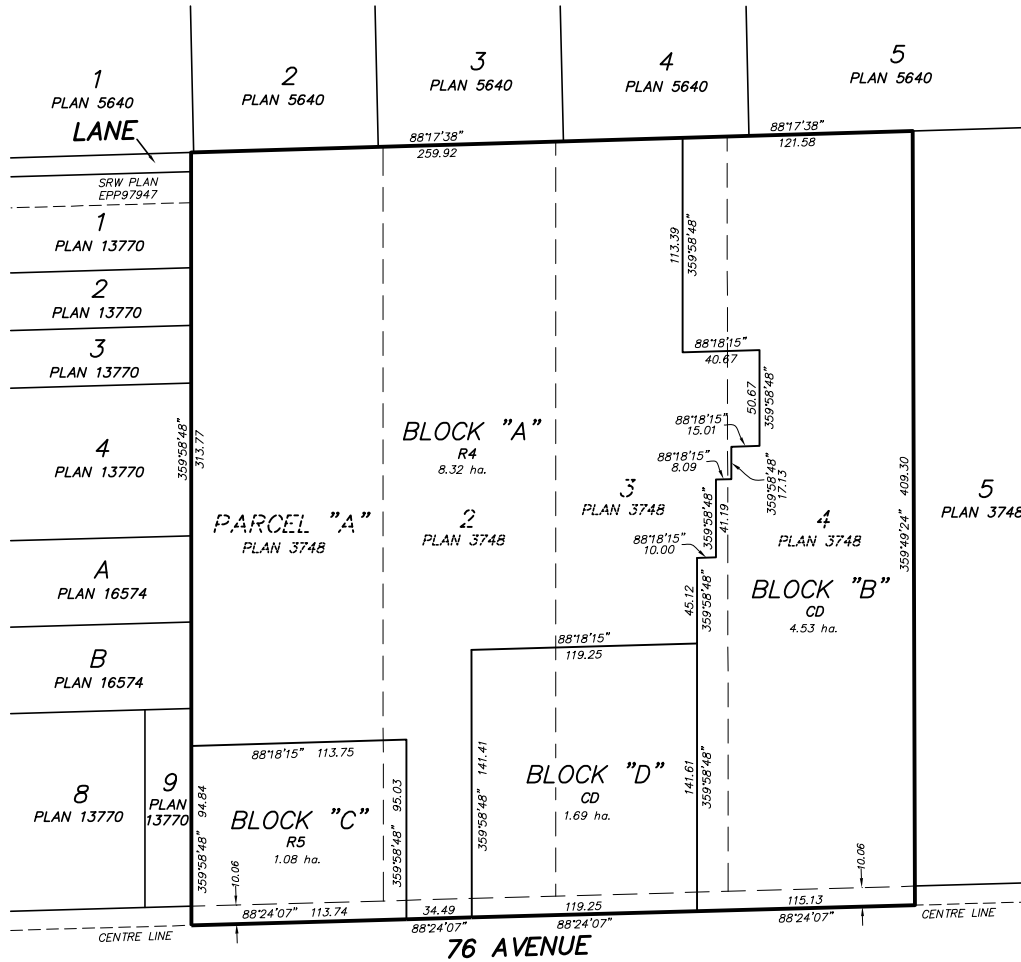
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 PID: 010-996-028
 CIVIC ADDRESS: 18563 76 AVENUE SURREY, BC
 PID: 010-996-036
 CIVIC ADDRESS: 18619 76 AVENUE SURREY, BC
 PID: 010-996-044

BCGS 92G.017



SCALE 1:2000
ALL DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 432mm IN WIDTH BY 560mm IN HEIGHT (C SIZE) WHEN PLOTTED AT A SCALE OF 1:2000



| BOOK OF REFERENCE | | | |
|-------------------|------|--|---------|
| BLOCK | ZONE | FULL LEGAL DESCRIPTION | AREA |
| BLOCK "A" | R4 | PART OF PARCEL "A" LOT 1, 2, 3, AND 4 AND ROAD, SECTION 21 TOWNSHIP 8, PLAN 3748 | 8.32 HA |
| BLOCK "B" | CD | LOT 3, 4 AND ROAD, SECTION 21 TOWNSHIP 8, PLAN 3748 | 4.53 HA |
| BLOCK "C" | R5 | PART OF PARCEL "A" LOT 1, 2 AND ROAD, SECTION 21 TOWNSHIP 8, PLAN 3748 | 1.08 HA |
| BLOCK "D" | CD | LOT 2, 3 AND ROAD, SECTION 21 TOWNSHIP 8, PLAN 3748 | 1.69 HA |

CERTIFIED CORRECT 17th DAY OF JULY 2024

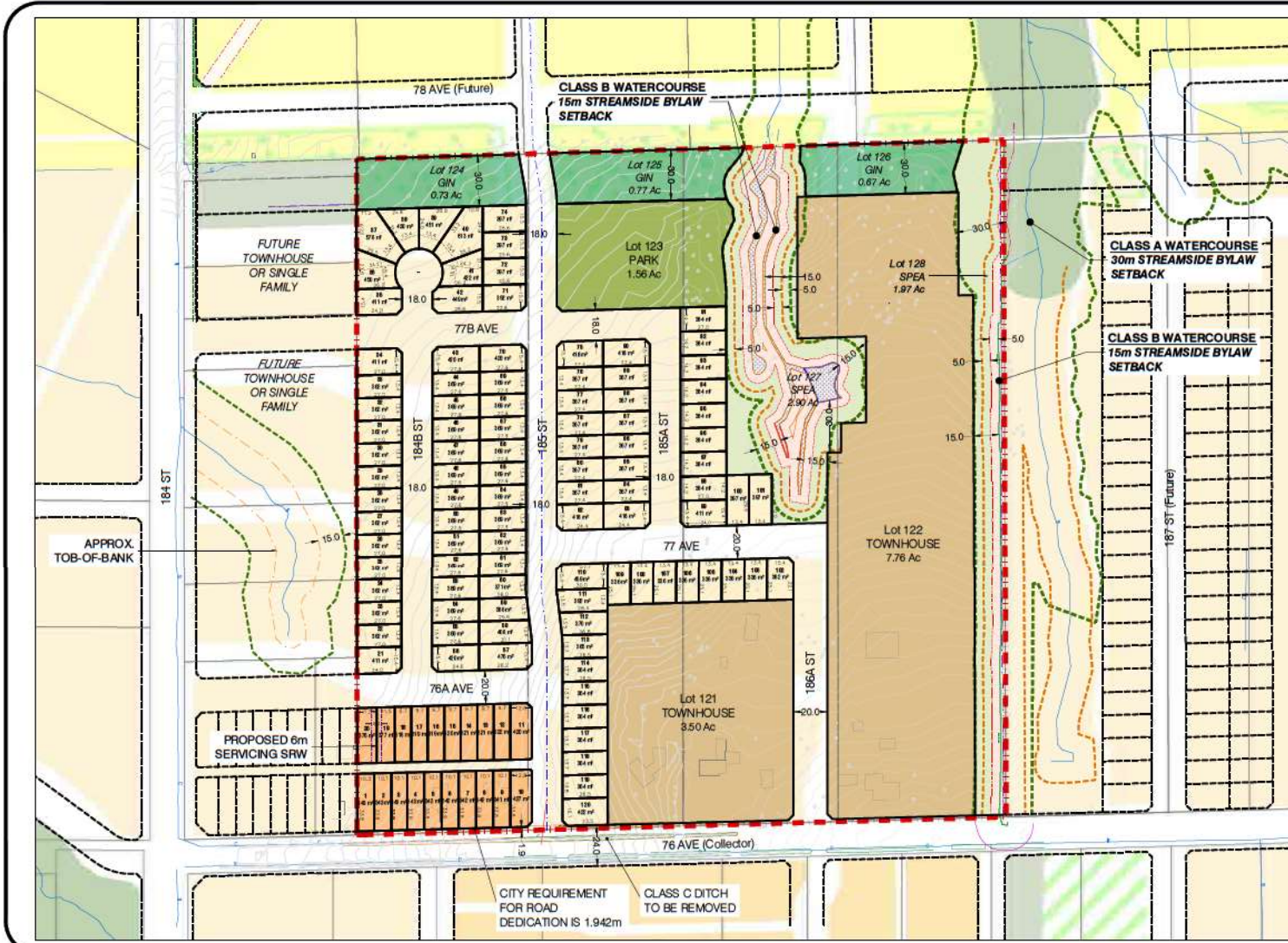
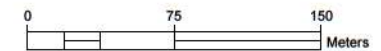
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by Zuzana Rijken
- BCLS - ABCLS
Date: 2024.07.17
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Qualico Developments
West Clayton
18477-18619 76 Ave
Surrey, BC

SUBDIVISION CONCEPT

- Single Family (RF-13)
9.51 Ac
- Single Family (RF-10)
1.71 Ac
- Townhouse (CD Based on RM-15)
11.26 Ac
- Active Park Area
1.56 Ac
- GIN
2.17 Ac
- SPEA (Outside 5m from TOB)
2.94 Ac
- SPEA (Within 5m from TOB)
1.93 Ac
- Road Dedication
6.55 Ac
- Streamside Bylaw Setback
- RAPR Setback
- New Road Centreline



LEGAL
PID 010-996-001
PID 010-996-028
PID 010-996-036
PID 010-996-044

GROSS AREA
15.23 Ha / 37.63 Ac
14.4 Ha / 35.70 Ac (Excluding 5m from TOB)

NET AREA
9.10 Ha / 22.48 Ac
(Excludes roads, park, SPEA, GIN)

EXISTING DESIGNATIONS
OCP: Urban
NCP: Medium Density Cluster (10-14 UPA)
Park, Green Density Transfer
Zoning: A-1

PROPOSED DESIGNATIONS
OCP: Urban, Multiple Residential
NCP: TBD
Zoning: RF-10, RF-13, CD (Based on RM-15)

YIELD
Existing: 4 Lots
Proposed: 120 SF Lots + 2 TH Lots (251 Units) = 371 Units
3 GIN Lots + 2 SPEA Lots and 1 Park Lot

DENSITY
Permitted: 14.0 UPGA Blended (excluding 5m from TOB)
Proposed: 10.4 UPGA (excludes 5m from TOB)

OPEN SPACE CONVEYANCE
Required: 10% of Gross Site
Provided: 4.87 Ac (SPEA) + 2.17 Ac (GIN)
= 7.04 Ac (48.7% of Gross Site)

PARK DEDICATION
Required: 5% of Gross Site (excluding Open Space Conveyance)
37.63 Ac - 7.04 Ac = 30.59 Ac
* 0.05 = 1.53 Ac
Provided: 1.56 Ac (5%)



Scale: 1:2500



Project 19-1114
12/06/2024
Drawn by: AR/CEV

For Discussion Only

Drawing
1

NOTE: Conceptual layout only, subject to change without notice. Property of Aplin & Martin Consultants Ltd. and not to be reproduced or used without written permission by the Company.

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WEST CLAYTON TOWNHOMES

JUNE 14, 2024 - RE-ISSUED FOR DEVELOPMENT PERMIT



ADDRESSES

CMIC ADDRESS
18477 - 18619 76 AVE SURREY, BC

LEGAL ADDRESS
PARCEL 'A' (J807768), OF LOT 1 PLAN 3746, AND LOTS 2, 3 & 4 PLAN 3746, ALL OF SECTION 21 TOWNSHIP 8 WEST MÜNSTER DISTRICT

PROJECT TEAM

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CONTACT: JOHANNES PETZEL

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E. ebevaquas@aplmartin.com
CONTACT: DONATO BEVAQUA

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- A3.29 Building 29 Elevations
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- A3.31 Building 31 Elevations
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- A3.36 Building 36 Elevations
- A3.37 Building 37 Elevations
- A3.38 Building 38 Elevations
- A3.39 Building 39 Elevations

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- A3.40 Building 40 Elevations
- A3.41 Building 41 Elevations
- A3.42 Building 42 Elevations
- A3.43 Building 43 Elevations
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- A3.45 Building 45 Elevations
- A3.46 Building 46 Elevations
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- A3.48 Building 48 Elevations
- A3.49 Building 49 Elevations
- A3.50 Building 50 Elevations
- A3.51 Building 51 Elevations
- A3.52 Building 52 Elevations
- A3.53 Building 53 Elevations
- A3.54a Amenity Elevations
- A3.54b Amenity Elevations
- A3.54c Amenity Section
- A4.01 Unit B1 Plan
- A4.02 Unit B1a Plan
- A4.03 Unit B1b Plan
- A4.04 Unit B3 Plan
- A4.05 Unit B3a Plan
- A4.06 Unit B3b Plan
- A4.07 Unit B3c Plan
- A4.08 Unit C3a Plan
- A4.09 Unit C3b Plan
- A4.10 Unit C3aR Plan
- A4.11 Unit C3bR Plan
- A4.12 Unit C3c Plan
- A4.13 Unit C3R Plan
- A4.14 Unit C3a Plan
- A4.15 Unit C3aR Plan
- A4.16 Unit C3a Plan
- A4.17 Unit C3R Plan
- A4.18 Unit C4 Plan
- A4.19 Unit C4a Plan
- A4.20 Unit C4b Plan
- A4.21 Unit C5 Plan
- A4.22 Unit C5a Plan
- A4.23 Unit C5b Plan
- A4.24 Unit G2a Plan
- A4.25 Unit G2a Plan
- A4.26 Unit G2b Plan



1885 Howe Street
Vancouver, BC
Canada V6T 2C1

T. 604.676.5050
F. 604.676.5052
info@ekistics.com



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PROJECT: WEST CLAYTON TOWNHOMES
18477 - 18619 76 AVE SURREY, BC

COVER SHEET

DRAWING NO. **A0.00**



REVISIONS

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| 12 | RE-ISSUED FOR DEVELOPMENT PERMITS | APR 24, 2024 |
| 13 | RE-ISSUED FOR DEVELOPMENT PERMITS | JUNE 14, 2024 |

PROJECT NUMBER: 22-05
 DRAWN BY: PAVING.COM
 CHECKED BY: #F
 DATE CHECKED:



PROJECT
WEST CLAYTON TOWNHOMES
 18477-18619 76 AVE
 SURREY, BC

DRAWING TITLE
CONTEXT PLAN

DRAWING NO.
A0.02



VIEW #1



VIEW #2



VIEW #3



VIEW #4



1 SITE BOUNDARY, AREAS & SETBACK
Scale: 1/8" = 1'-0"



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| 12 | RE-ISSUED FOR DEVELOPMENT PERMIT | APR 26, 2024 |
| 13 | ISSUED FOR DEVELOPMENT PERMIT | DEC 13, 2023 |

PROJECT NUMBER: 0248
DRAWN BY: PHS/DL/COM
CHECKED BY: RW
DATE CHECKED:
CONSULTANT:



PROJECT
WEST CLAYTON TOWNHOMES
18477 - 18519 78 AVE
SURREY, BC

DRAWING TITLE
SITE BOUNDARY AREAS & SETBACK

DRAWING NO.

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REVISIONS:

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| CHECKED BY | RM |
| DATE CHECKED | |
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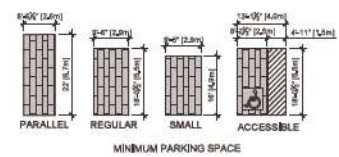
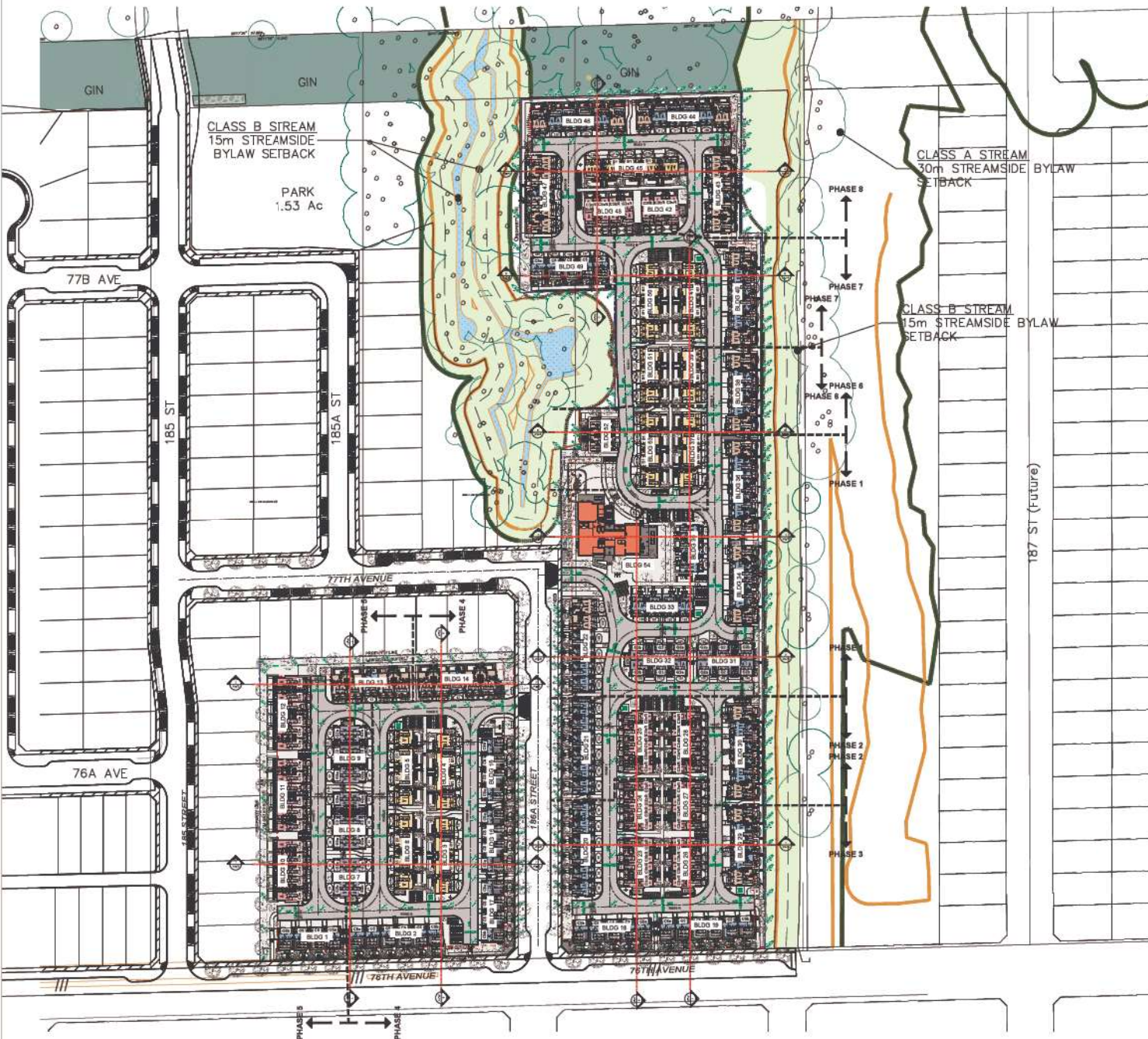


PROJECT
WEST CLAYTON TOWNHOMES
1877 - 1819 76 AVE
SURREY, BC

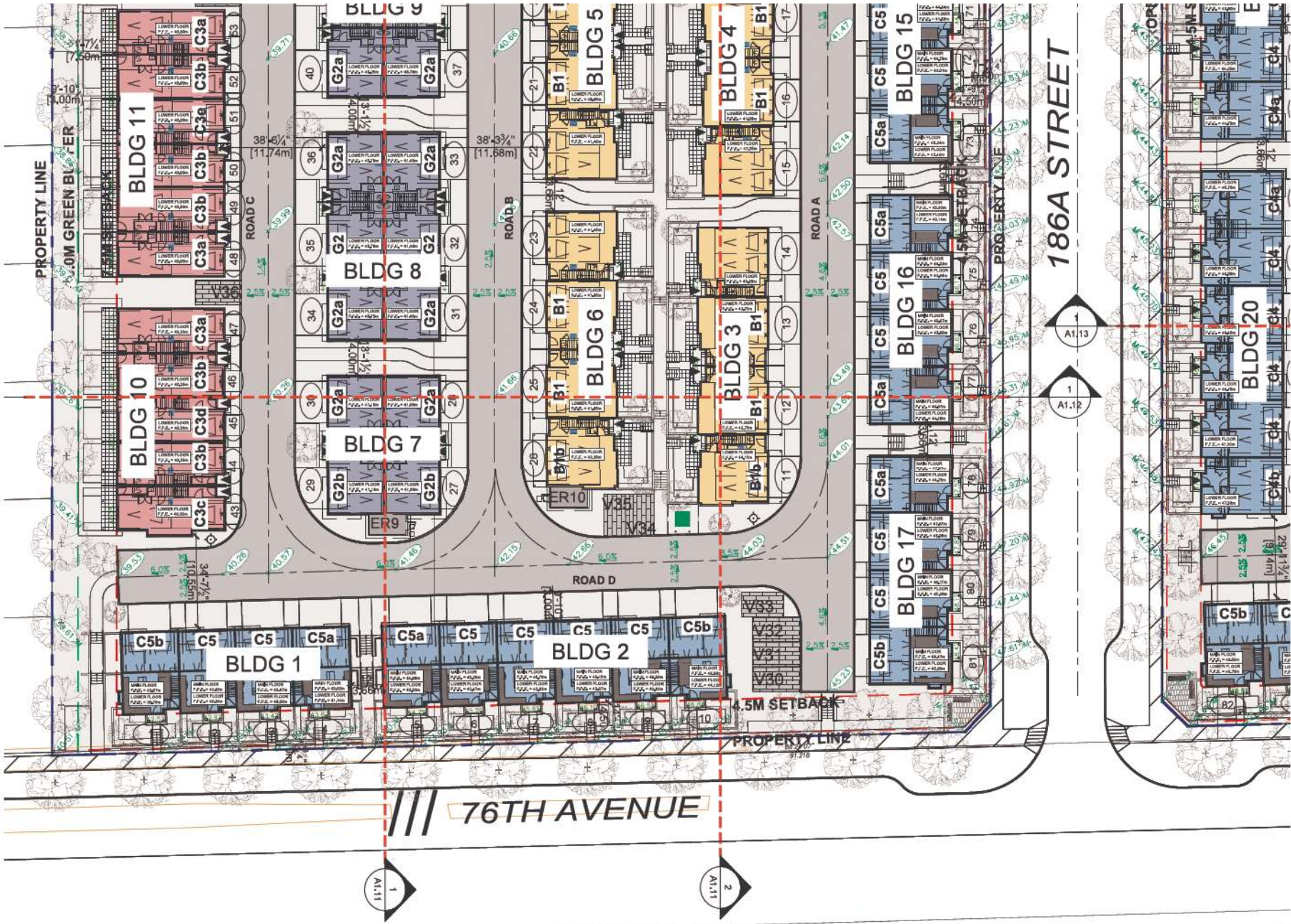
DRAWING TITLE
OVERALL SITE PLAN

DRAWING NO.

A1.01



1 SITE PLAN Scale: 1/64" = 1'



REVISIONS:

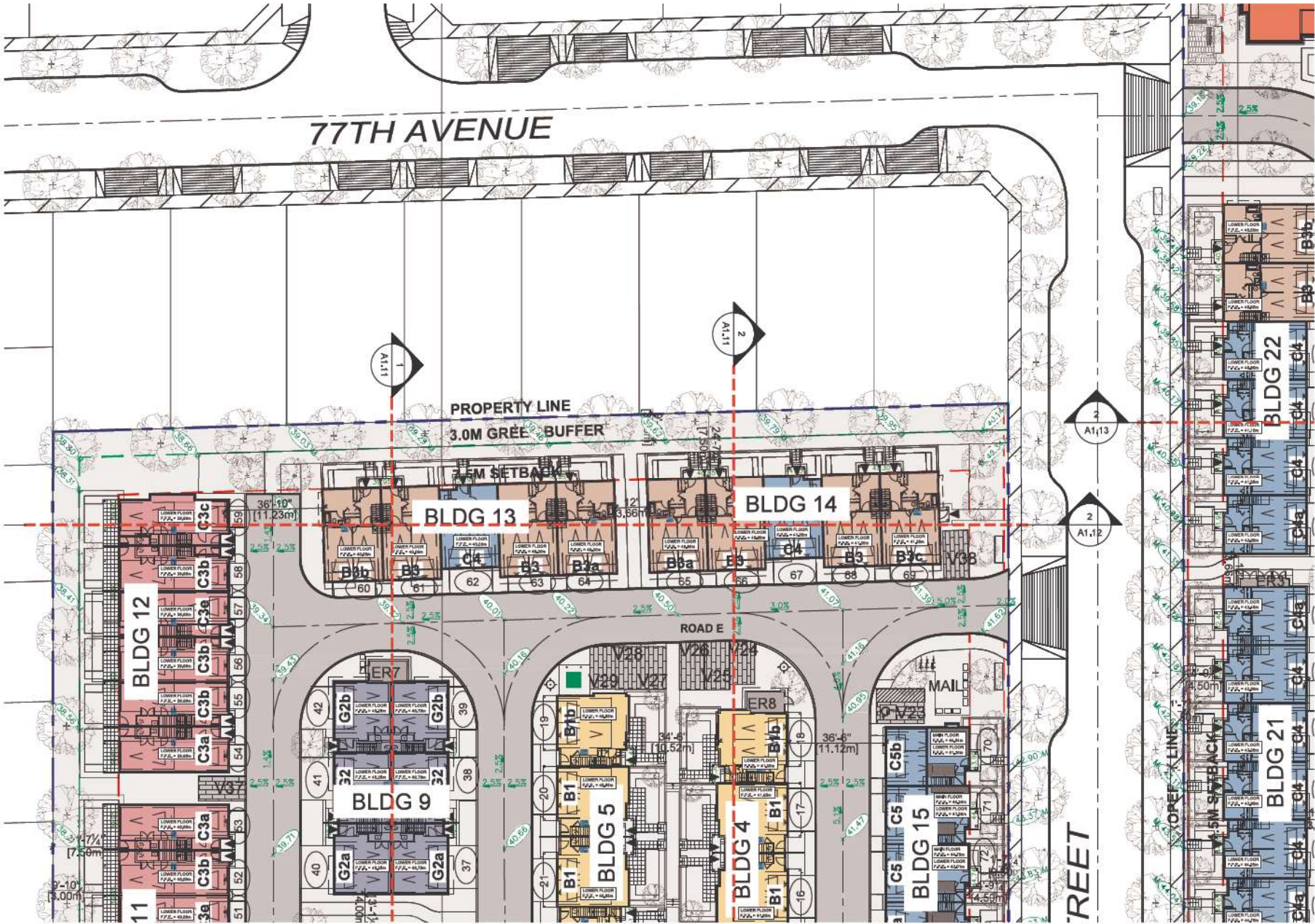
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PROJECT: WEST CLAYTON TOWNHOMES

18477 - 18510 76 AVE
SURREY, BC

PARTIAL SITE PLAN

A1.01a



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PROJECT
WEST CLAYTON TOWNHOMES
18177 - 18150 76 AVE
SURREY, BC

DRAWING TITLE
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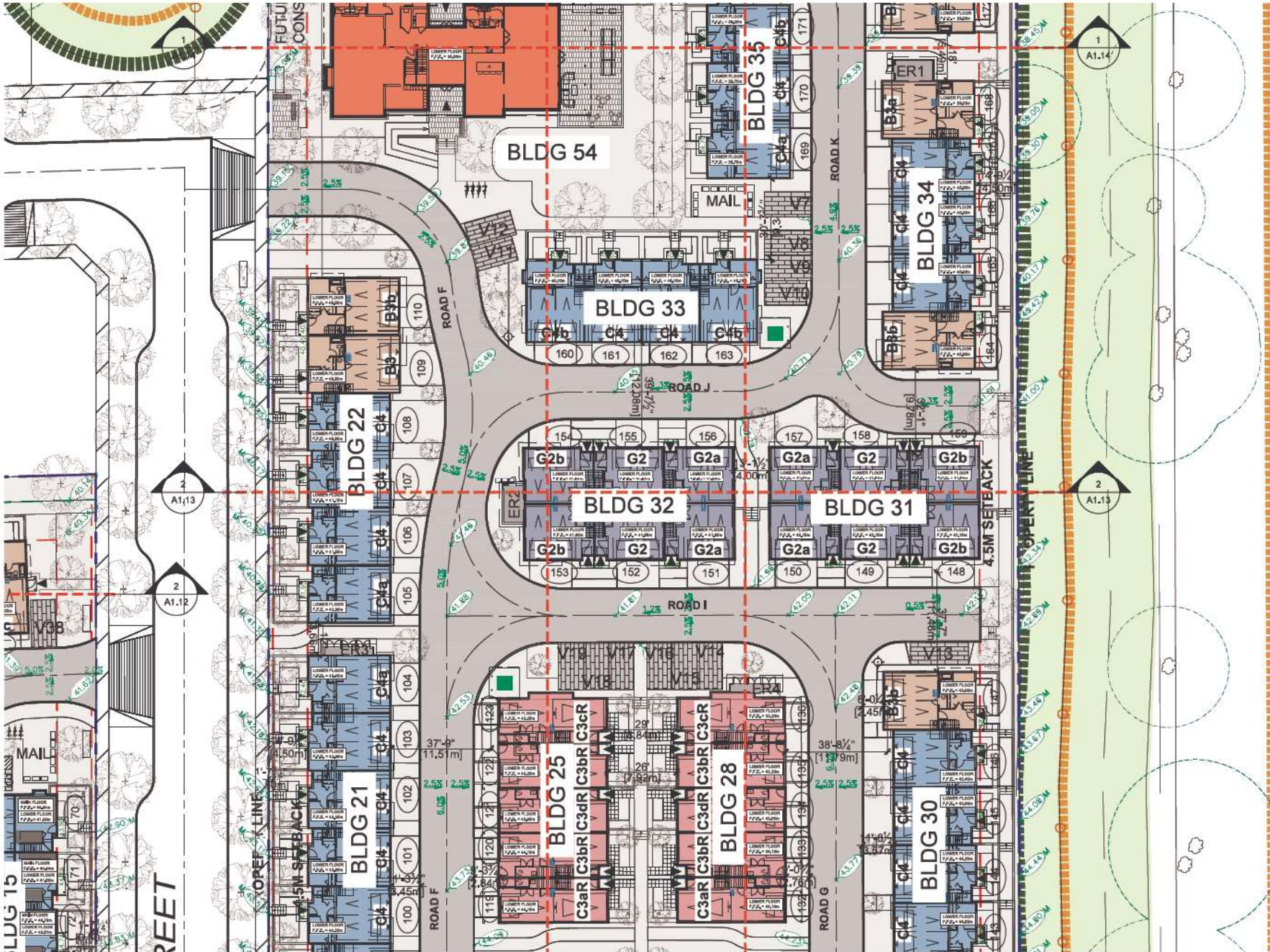
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PROJECT
WEST CLAYTON TOWNHOMES
 18477 - 18510 76 AVE
 SURREY, BC

DRAWING TITLE
PARTIAL SITE PLAN

DRAWING NO.
A1.01c



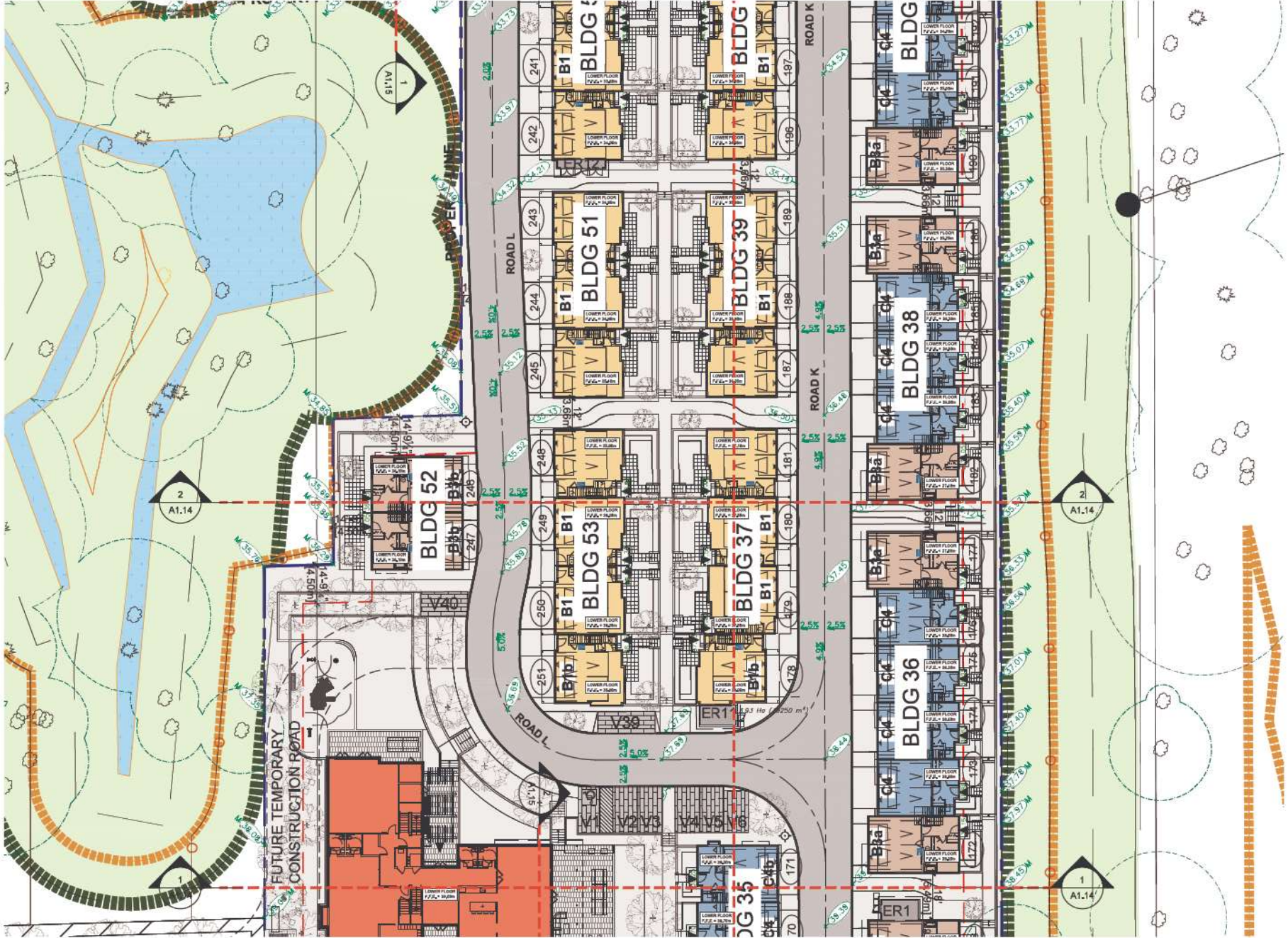
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PROJECT
WEST CLAYTON TOWNHOMES
18177 - 18510 76 AVE
SURREY, BC

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PARTIAL SITE PLAN

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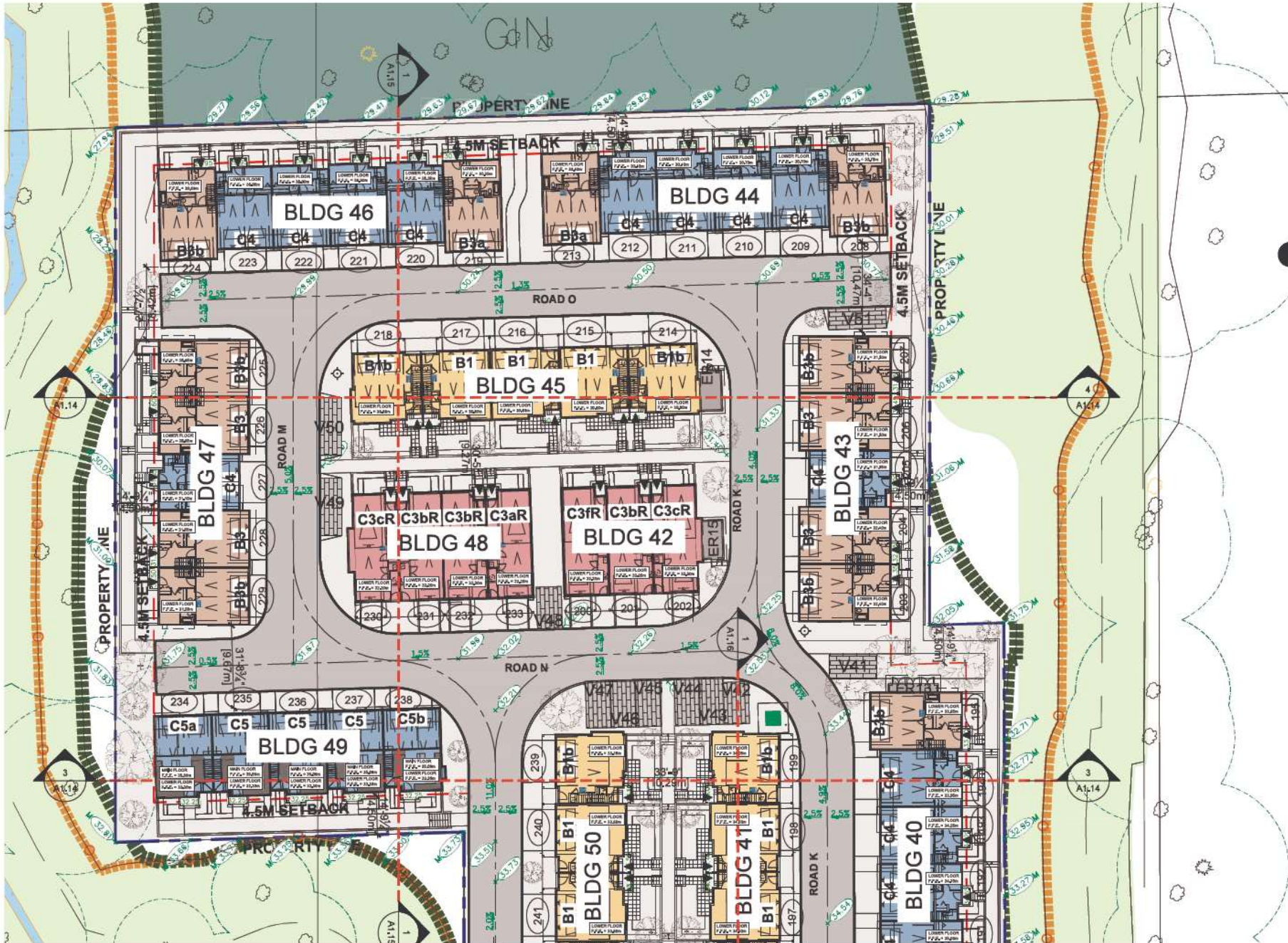
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PROJECT
WEST CLAYTON TOWNHOMES
18177 - 18510 76 AVE
SURREY, BC

DRAWING TITLE
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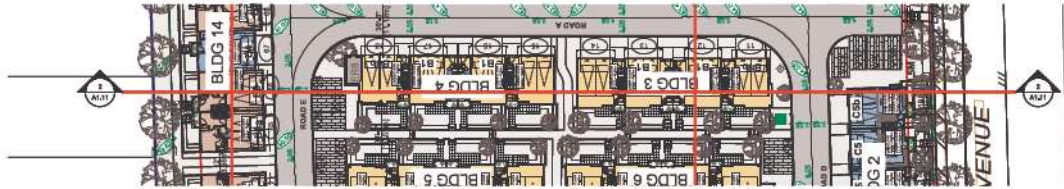
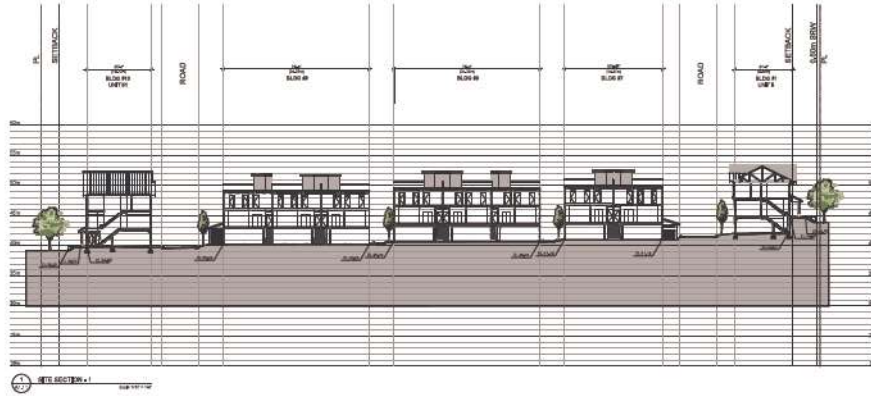
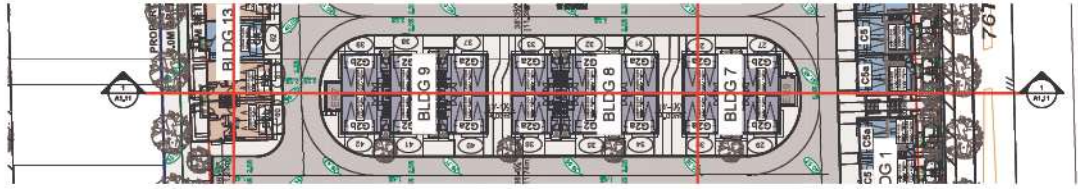
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PROJECT
WEST CLAYTON TOWNHOMES
18177 - 18510 76 AVE
SURREY, BC

DRAWING TITLE
PARTIAL SITE PLAN

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| PROJECT NUMBER | DS-89 |
| DRAWN BY | PHILIP LAM |
| CHECKED BY | RW |
| DATE CHECKED | |
| CONSULTANT | |

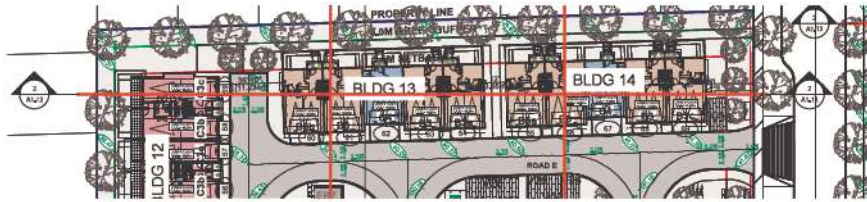
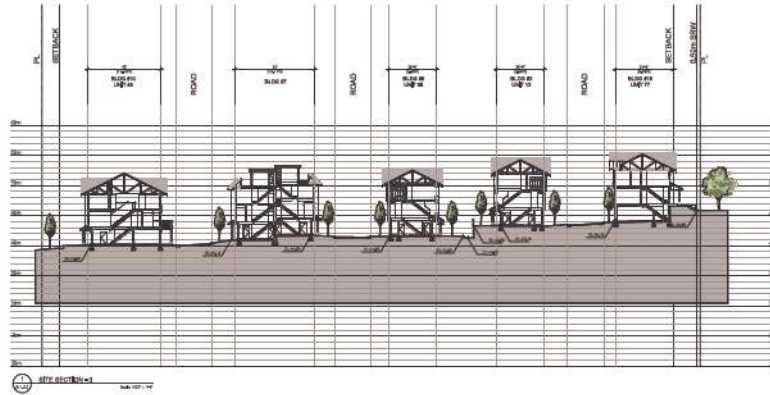
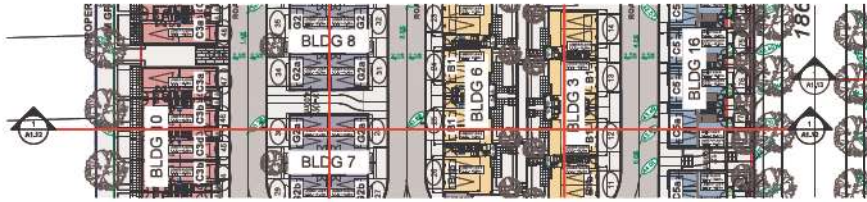


PROJECT
WEST CLAYTON TOWNHOMES

18477 + 18619 78 AVE
SURREY, BC

DRAWING TITLE
SITE SECTIONS

DRAWING NO.
A1.11



| REVISION | DATE |
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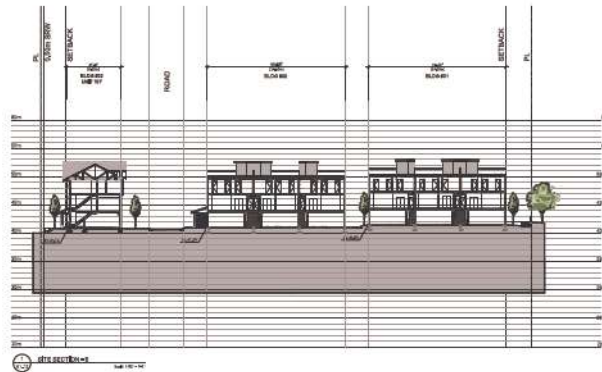
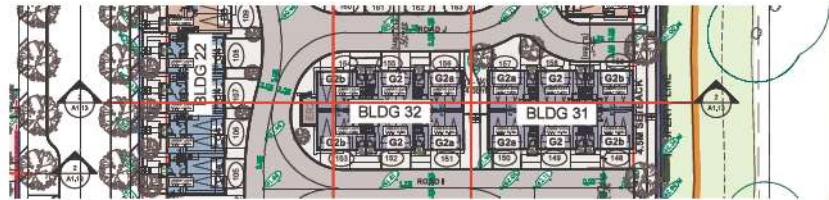
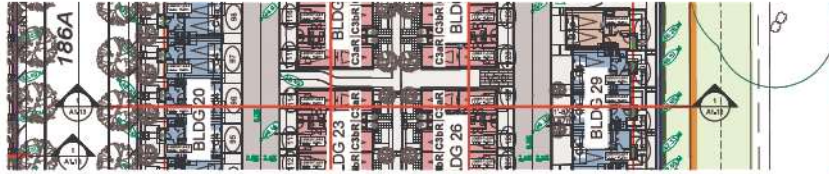
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|----------------|-----------|
| PROJECT NUMBER | 0508 |
| DRAWN BY | PHANH.CAM |
| CHECKED BY | BM |
| DATE CHANGED | |
| CONSULTANT | |



PROJECT
WEST CLAYTON TOWNHOMES
18477 - 18618 76 AVE
SURREY, BC

DRAWING TITLE
SITE SECTIONS

A1.12



| REV# | DESCRIPTION | DATE |
|------|----------------------------------|---------------|
| 1 | | |
| 2 | | |
| 3 | ISSUED FOR DEVELOPMENT PERMIT | JUNE 14, 2024 |
| 2 | RE-ISSUED FOR DEVELOPMENT PERMIT | APR 26, 2024 |
| 1 | ISSUED FOR DEVELOPMENT PERMIT | DEC 13, 2023 |

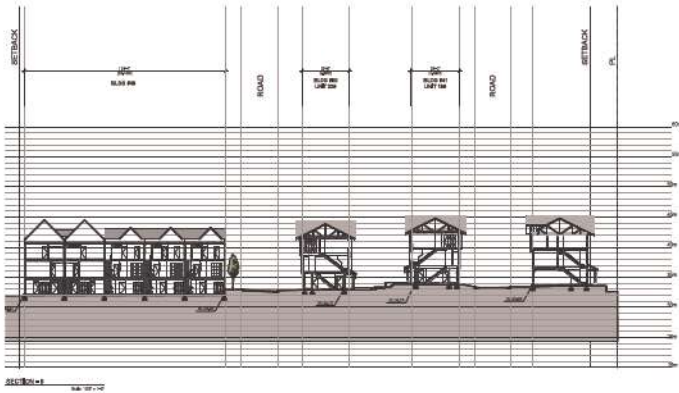
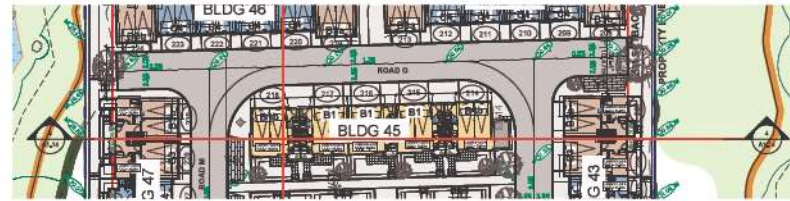
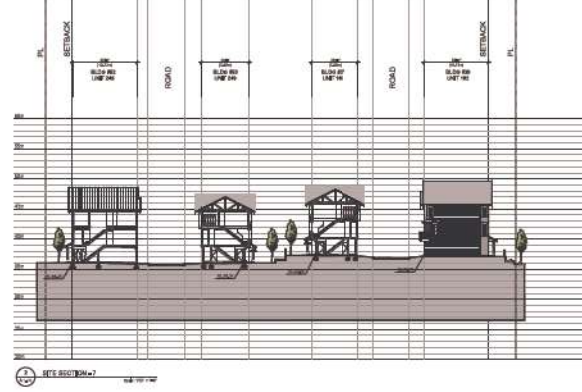
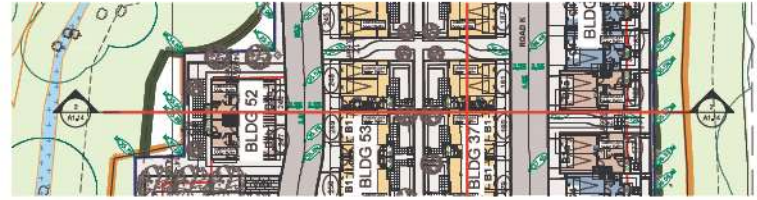
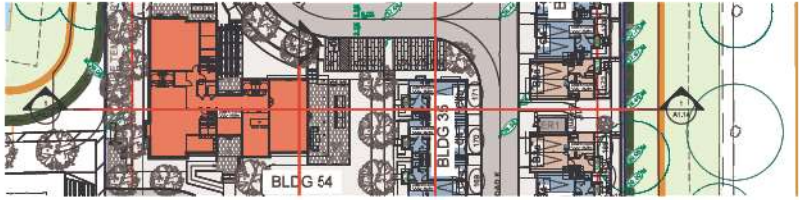
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|----------------|-----------|
| PROJECT NUMBER | 0508 |
| DRAWN BY | PHANH/CAM |
| CHECKED BY | BM |
| DATE CHANGED | |
| CONSULTANT | |



PROJECT
WEST CLAYTON TOWNHOMES
18477 - 18618 76 AVE
SURREY, BC

DRAWING TITLE
SITE SECTIONS

DRAWING NO.
A1.13



EKISTICS
Architecture

1828 Main Street
Vancouver, BC
Canada, V6T 2C1

T. 604-676-0880
F. 604-676-0880
www.ekistics.com



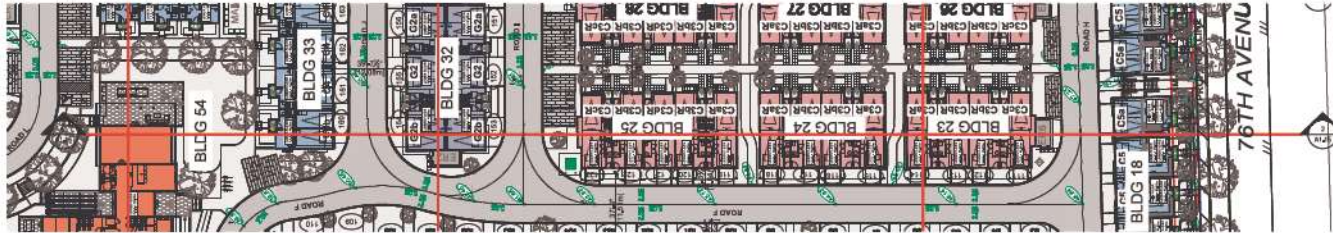
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PROJECT
WEST CLAYTON TOWNHOMES
18477 - 18618 76 AVE
SURREY, BC

DRAWING TITLE
SITE SECTIONS

DRAWING NO.
A1.14



| REV | REVISIONS | DATE |
|-----|---------------------------------|---------------|
| 1 | ISSUED FOR DEVELOPMENT PERMIT | DEC 13, 2023 |
| 2 | REISSUED FOR DEVELOPMENT PERMIT | APR 26, 2024 |
| 3 | REISSUED FOR DEVELOPMENT PERMIT | JUNE 14, 2024 |
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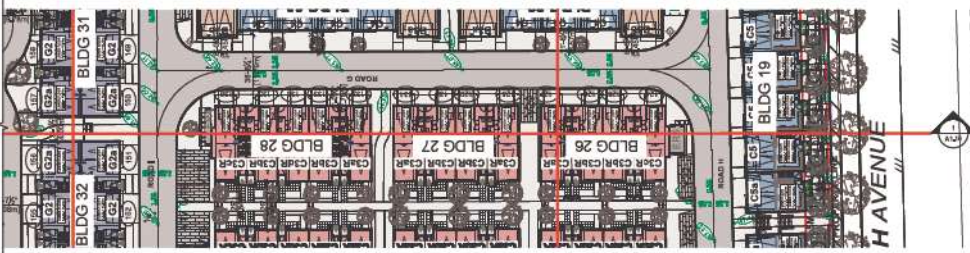
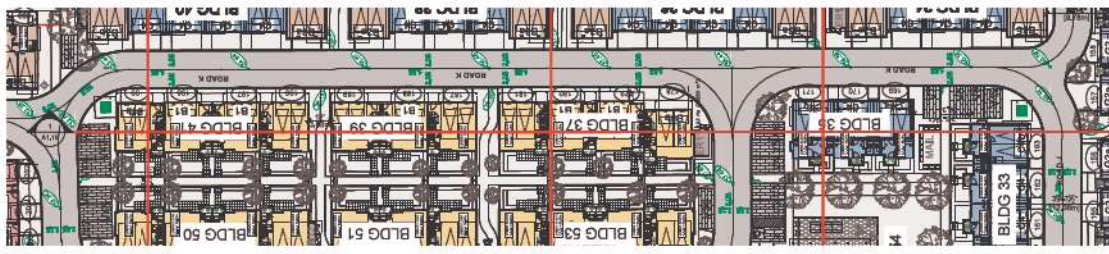
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| PROJECT NUMBER | 0508 |
| DRAWN BY | PHANUCAM |
| CHECKED BY | RM |
| DATE CHANGED | |



PROJECT
WEST CLAYTON TOWNHOMES
18477 - 18618 76 AVE
SURREY, BC

DRAWING TITLE
SITE SECTIONS

DRAWING NO.
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| PROJECT NUMBER | 05-09 |
| DRAWN BY | PHILIP LAM |
| CHECKED BY | RW |
| DATE CHECKED | |
| CONSULTANT | |

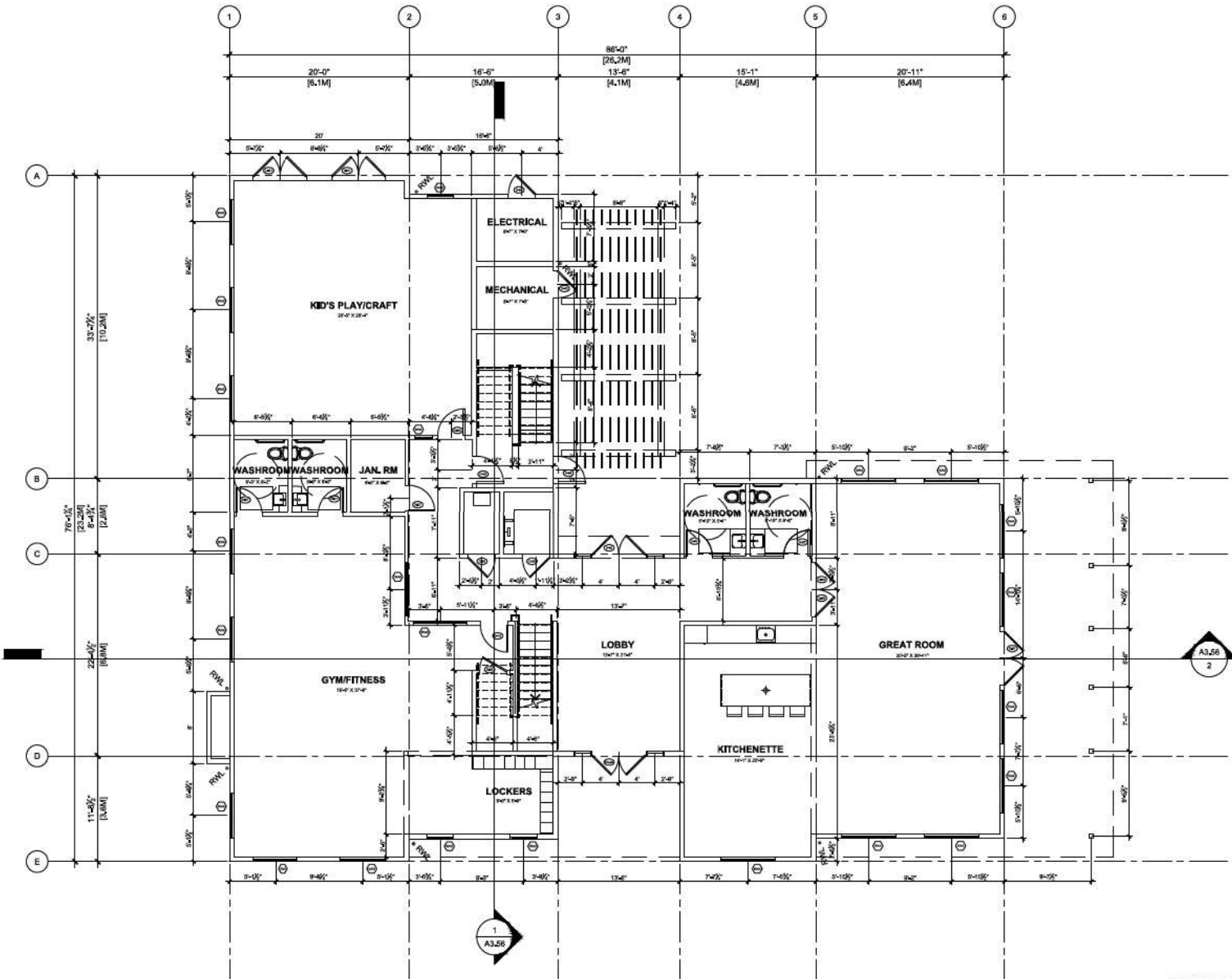


PROJECT
WEST CLAYTON TOWNHOMES

18477 + 18619 76 AVE
SURREY, BC

DRAWING TITLE
SITE SECTIONS

DRAWING NO.
A1.16

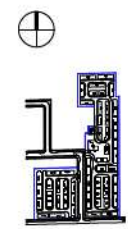


1 MAIN FLOOR PLAN
Scale: 3/16" = 1'-0"

| AMENITY AREAS | S.F. | S.M. |
|---------------|-----------------|---------------|
| - MAIN FLOOR | 4,482.57 | 416.44 |
| - UPPER FLOOR | 4,482.57 | 416.44 |
| | 8,965.15 | 832.89 |

1885, Main Street
Victoria, BC
Canada, V8T 2C2

T: 250-608-0888
F: 250-608-0889
www.ekistics.com



| REVISION | DATE |
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| 13 | RE-ISSUED FOR DEVELOPMENT PERMIT |
| 14 | RE-ISSUED FOR DEVELOPMENT PERMIT |
| 15 | REVISED FOR DEVELOPMENT PERMIT |

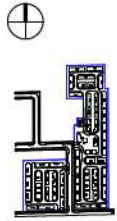
PROJECT NUMBER: DE-08
DRAWN BY: PHENILOAM
CHECKED BY: RW
DATE CHECKED:
CONSULTANT:



PROJECT:
WEST CLAYTON TOWNHOMES
18477 - 18619 76 AVE
SURREY, BC

DRAWING TITLE:
AMENITY BUILDING (BUILDING 54) MAIN FLOOR PLAN

DRAWING NO.:
A2.54a



REVISIONS

| NO. | DESCRIPTION | DATE |
|-----|----------------------------------|----------------|
| 1 | | |
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| 11 | RE-ISSUED FOR DEVELOPMENT PERMIT | JUNE 14, 2024 |
| 12 | RE-ISSUED FOR DEVELOPMENT PERMIT | APRIL 09, 2024 |
| 13 | RE-ISSUED FOR DEVELOPMENT PERMIT | DEC 13, 2023 |

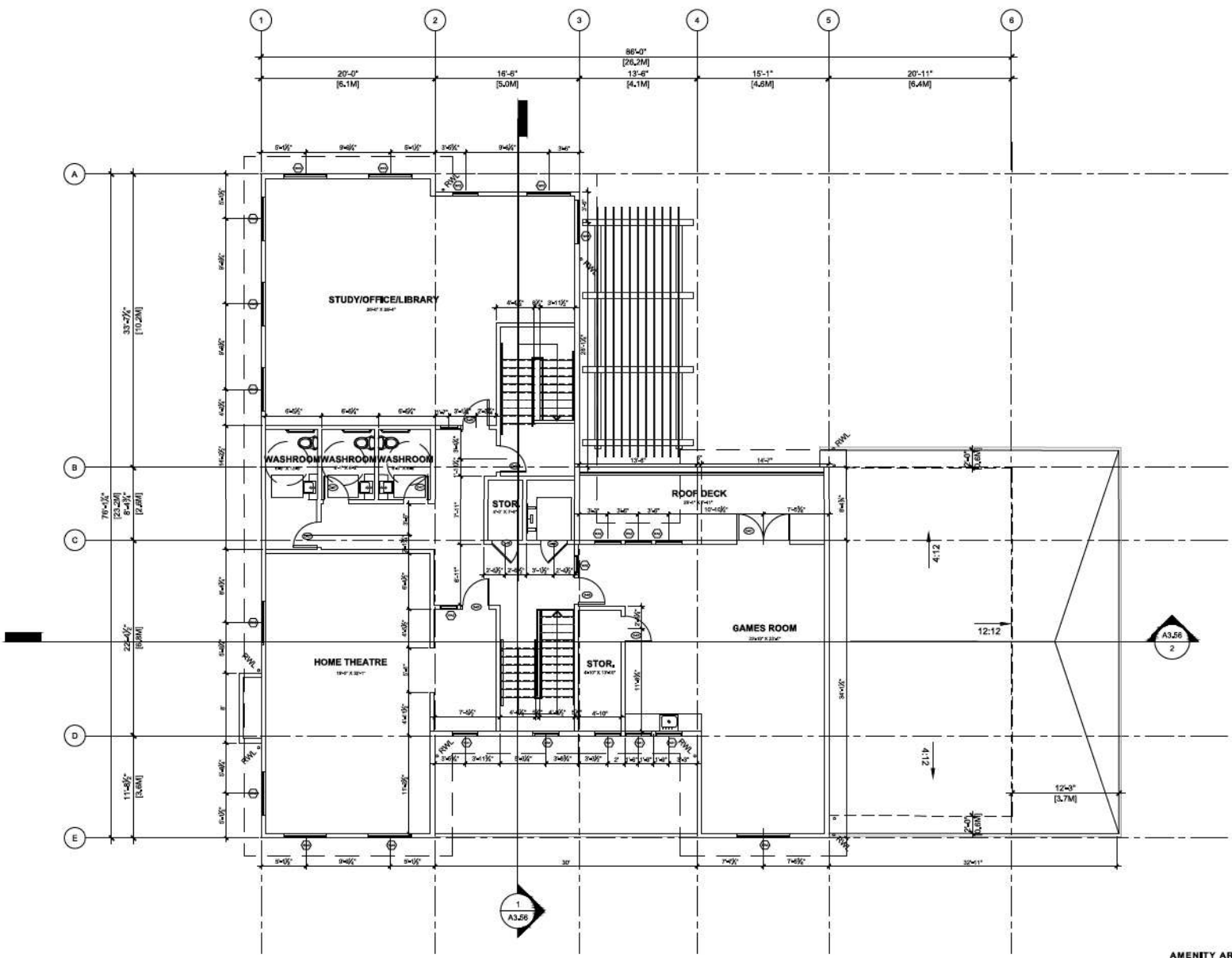
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|----------------|-----------|
| PROJECT NUMBER | DE-08 |
| DRAWN BY | PHENILOAM |
| CHECKED BY | RW |
| DATE CHECKED | |
| CONSULTANT | |



PROJECT
WEST CLAYTON TOWNHOMES
18477 - 18619 76 AVE
SURREY, BC

DRAWING TITLE
**AMENITY BUILDING (BUILDING 54)
UPPER FLOOR PLAN**

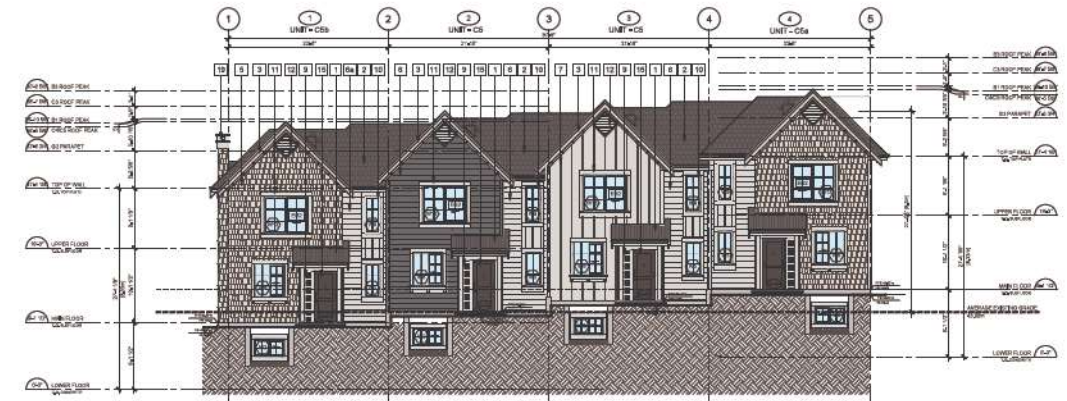
DRAWING NO.



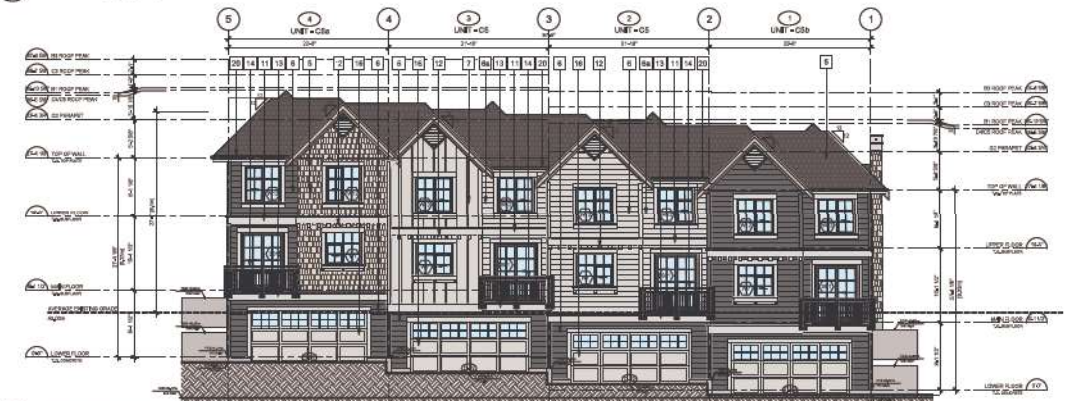
1 UPPER FLOOR PLAN
Scale: 3/16" = 1'

| AMENITY AREAS | S.F. | S.M. |
|---------------|-----------------|---------------|
| - MAIN FLOOR | 4,482.57 | 416.44 |
| - UPPER FLOOR | 4,482.57 | 416.44 |
| | 8,965.15 | 832.89 |

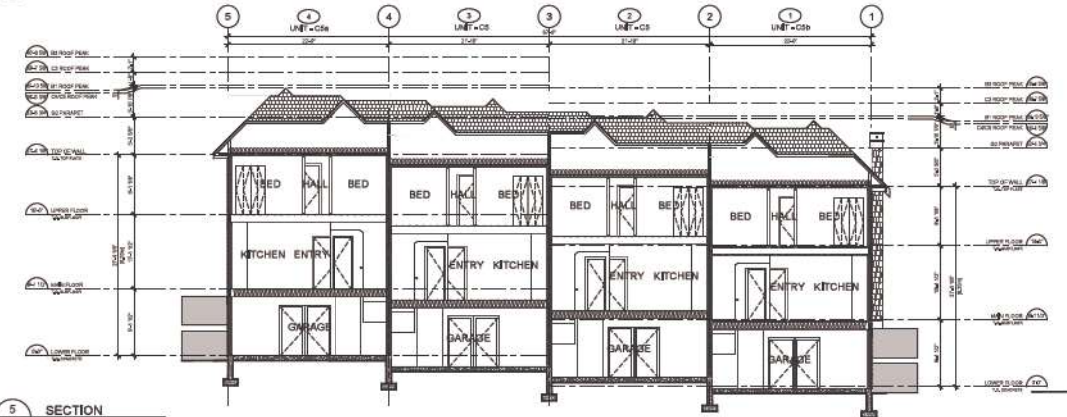
A2.54b



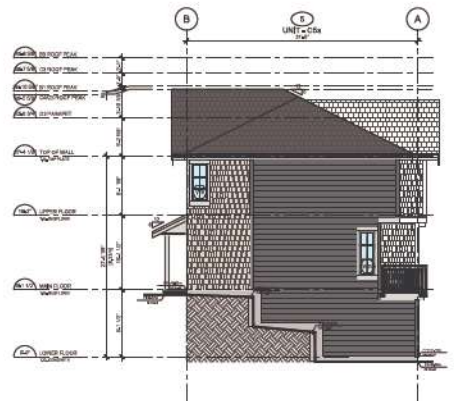
1 FRONT ELEVATION (SOUTH, 70TH AVE)
Scale: 1/8" = 1'-0"



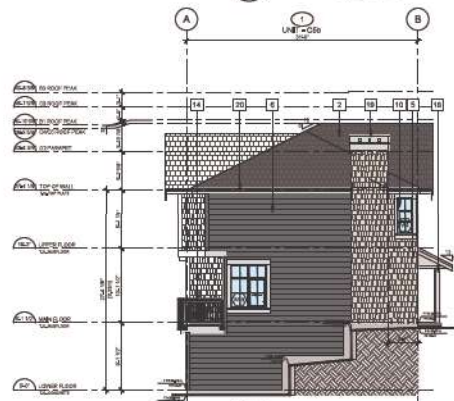
3 REAR ELEVATION (NORTH, ROAD D)
Scale: 1/8" = 1'-0"



5 SECTION
Scale: 1/8" = 1'-0"



2 SIDE ELEVATION (EAST, 60TH AVE)
Scale: 1/8" = 1'-0"



4 SIDE ELEVATION (WEST, 100 ST)
Scale: 1/8" = 1'-0"

NOTE:
1. BASED ON FLY STRAPPING WHERE (E) IS EXTENSION ONTO FOUNDATION WALL,
COORDINATES TO FINISH HEIGHT OF DAMPROOFING ON SITE PER TO INSTALLATION,
WALL COOR TO MATCH (E) (E).

| MATCHUP LEGEND | | SYMBOL | DESCRIPTION | SYMBOL | DESCRIPTION |
|----------------|-----|------------|-----------------|--------|-------------|
| ROOF | 1 | TRUSS ROOF | BLACK OAK SLATS | | |
| ROOF | 2 | TRUSS ROOF | BLACK OAK SLATS | | |
| ROOF | 3 | TRUSS ROOF | BLACK OAK SLATS | | |
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| ROOF | 83 | TRUSS ROOF | BLACK OAK SLATS | | |
| ROOF | 84 | TRUSS ROOF | BLACK OAK SLATS | | |
| ROOF | 85 | TRUSS ROOF | BLACK OAK SLATS | | |
| ROOF | 86 | TRUSS ROOF | BLACK OAK SLATS | | |
| ROOF | 87 | TRUSS ROOF | BLACK OAK SLATS | | |
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| ROOF | 94 | TRUSS ROOF | BLACK OAK SLATS | | |
| ROOF | 95 | TRUSS ROOF | BLACK OAK SLATS | | |
| ROOF | 96 | TRUSS ROOF | BLACK OAK SLATS | | |
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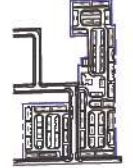


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PROJECT
WEST CLAYTON TOWNHOMES
18477 - 180 78 AVE
SURREY, BC

DRAWING TITLE
ELEVATIONS & SECTION - BUILDING 1

DRAWING NO.
A3.01



REVISIONS

| NO. | REVISION | DATE |
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| 1 | | |
| 2 | | |
| 3 | ISSUED FOR DEVELOPMENT PERMIT | JUNE 14, 2024 |
| 4 | ISSUED FOR DEVELOPMENT PERMIT | APR 26, 2024 |
| 5 | ISSUED FOR DEVELOPMENT PERMIT | DEC 17, 2023 |

PROJECT NUMBER: 0548
 DRAWN BY: PHOENIX/AM
 CHECKED BY: RW
 DATE CHECKED:
 CONSULTANT:



PROJECT
WEST CLAYTON TOWNHOMES
18477 - 18510 78 AVE
SURREY, BC

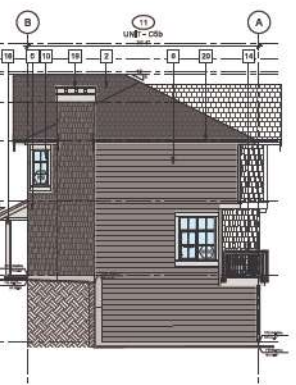
DRAWING TITLE
ELEVATIONS & SECTION - BUILDING 2

DRAWING NO.

A3.02



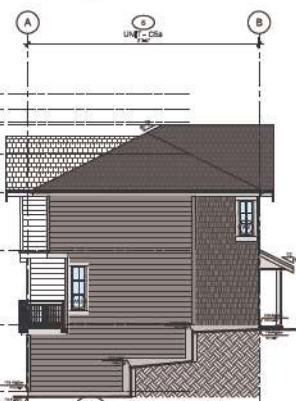
1 FRONT ELEVATION
(SOUTH, 78TH AVE)
Scale: 1/8" = 1'-0"



2 SIDE ELEVATION
(EAST, ROAD A)
Scale: 1/8" = 1'-0"

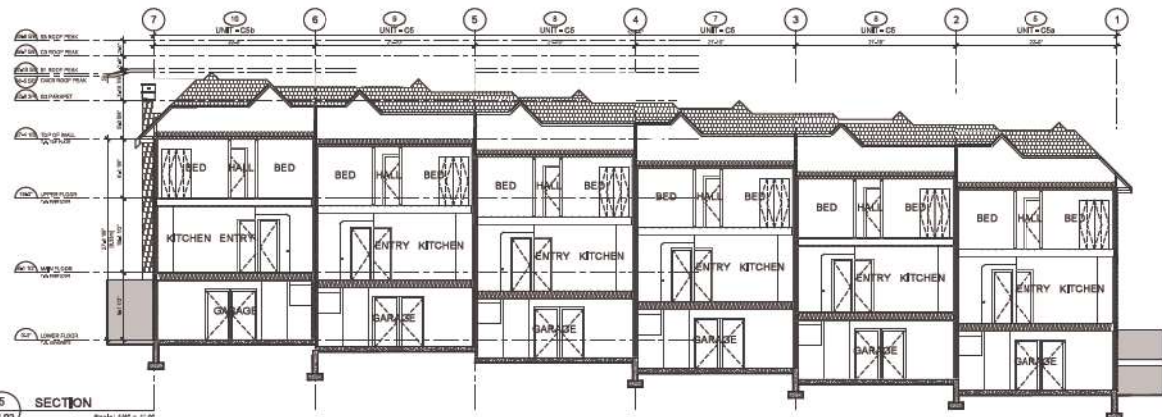


3 REAR ELEVATION
(NORTH, ROAD D)
Scale: 1/8" = 1'-0"



4 SIDE ELEVATION
(WEST, MEANS)
Scale: 1/8" = 1'-0"

NOTE:
1. REED SHALL VERIFY STRAPPING WHERE BEING BENT OR EXTENDING OUT TO FOUNDATION WALL.
2. COORDINATE TRIM WITH HEIGHT OF STRAPPING ON 18" PILES TO BATTEN/SLIP.
3. WALL GAP COLOR TO MATCH BEVEL.



5 SECTION
Scale: 1/8" = 1'-0"

| MATERIAL LEGEND | REMARKS | SCHEDULE | | | |
|-----------------|------------------------|------------|------------|------------|------------|
| | | SCHEDULE 1 | SCHEDULE 2 | SCHEDULE 3 | SCHEDULE 4 |
| ROOF | 1. 1/2" GYPSUM BOARD | | | | |
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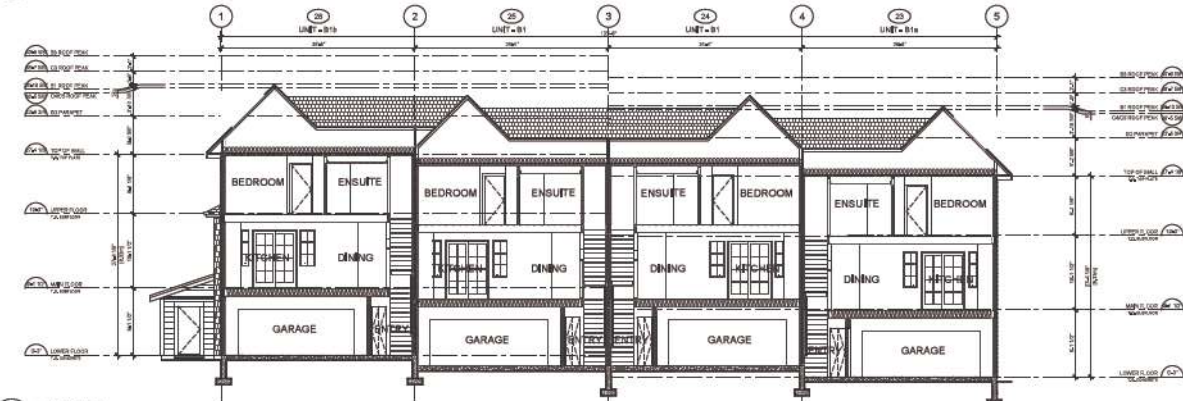
NOTE: ALL FLOORING TO BE DONE WITHIN 14 DAYS OF COMPLETION.



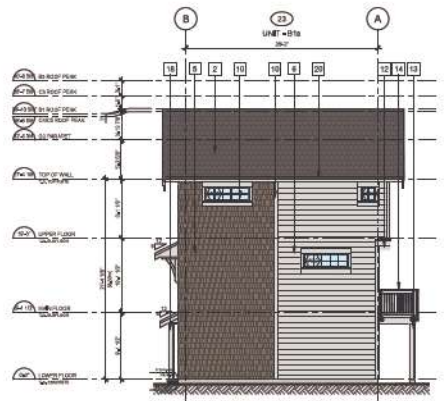
1 FRONT ELEVATION (EAST, NEWS)
Scale: 1/8" = 1'-0"



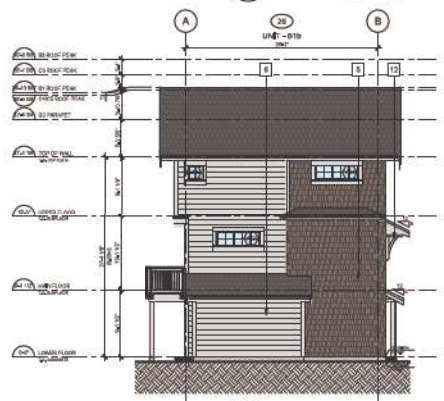
3 REAR ELEVATION (WEST, ROAD B)
Scale: 1/8" = 1'-0"



5 SECTION
Scale: 1/8" = 1'-0"



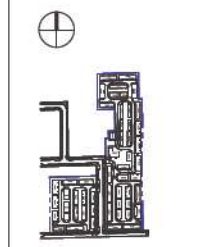
2 SIDE ELEVATION (NORTH, NEWS)
Scale: 1/8" = 1'-0"



4 SIDE ELEVATION (SOUTH, ROAD D)
Scale: 1/8" = 1'-0"

NOTE:
1. BRICK TO BE FLY STRAPPING WHERE BEING EXTENDED INTO FOUNDATION WALL.
2. COORDINATE TERMINATION HEIGHT OF GUTTER/ROOF ON THIS FLOOR TO INSTALLATION.
3. WALL LOW COULDS TO MATCH DETAILS.

| MATERIAL LEGEND | REMARKS | REVISION 1 | REVISION 2 |
|-----------------|--------------------------------------|--------------------------|------------------------|
| | | DATE | DATE |
| ROOF | 1. GINGLED METAL SHAKE ROOF | BLACKEN BLACK | |
| | 2. ASPHALT/FLYBLENDED ROOF | BLACKEN BLACK (2X) BLACK | |
| | 3. BRICKWORK, RED | BLACKEN BLACK EXTERIOR | |
| | 4. BRICKWORK, WHITE | BLACKEN WHITE EXTERIOR | |
| WALL | 1. 2" X 4" STUD WALL BRICK THICKNESS | BLACKEN BLACK EXTERIOR | BLACKEN BLACK EXTERIOR |
| | 2. 2" X 4" STUD WALL BRICK THICKNESS | BLACKEN BLACK EXTERIOR | BLACKEN BLACK EXTERIOR |
| | 3. 2" X 4" STUD WALL BRICK THICKNESS | BLACKEN BLACK EXTERIOR | BLACKEN BLACK EXTERIOR |
| | 4. 2" X 4" STUD WALL BRICK THICKNESS | BLACKEN BLACK EXTERIOR | BLACKEN BLACK EXTERIOR |
| FLOOR | 1. 2" X 4" STUD WALL BRICK THICKNESS | BLACKEN BLACK EXTERIOR | BLACKEN BLACK EXTERIOR |
| | 2. 2" X 4" STUD WALL BRICK THICKNESS | BLACKEN BLACK EXTERIOR | BLACKEN BLACK EXTERIOR |
| | 3. 2" X 4" STUD WALL BRICK THICKNESS | BLACKEN BLACK EXTERIOR | BLACKEN BLACK EXTERIOR |
| | 4. 2" X 4" STUD WALL BRICK THICKNESS | BLACKEN BLACK EXTERIOR | BLACKEN BLACK EXTERIOR |
| DETAILS | 1. BRICKWORK, RED | BLACKEN BLACK EXTERIOR | |
| | 2. BRICKWORK, WHITE | BLACKEN WHITE EXTERIOR | |
| | 3. BRICKWORK, BLACK | BLACKEN BLACK EXTERIOR | |
| | 4. BRICKWORK, BLACK | BLACKEN BLACK EXTERIOR | |



| NO. | REVISION | DATE |
|-----|---------------------------------|---------------|
| 1 | | |
| 2 | ISSUED FOR DEVELOPMENT PERMIT | JUNE 14, 2024 |
| 3 | REQUIRED FOR DEVELOPMENT PERMIT | APR 26, 2024 |
| 4 | ISSUED FOR DEVELOPMENT PERMIT | DEC 13, 2023 |

PROJECT NUMBER: DR-08
 DRAWN BY: PHILIP LAM
 CHECKED BY: HW
 DATE CHECKED:
 CONSULTANT:

PROJECT
WEST CLAYTON TOWNHOMES
18477 - 18618 78 AVE
BURNABY, BC

DRAWING TITLE
ELEVATIONS & SECTION - BUILDING 6

DRAWING NO.

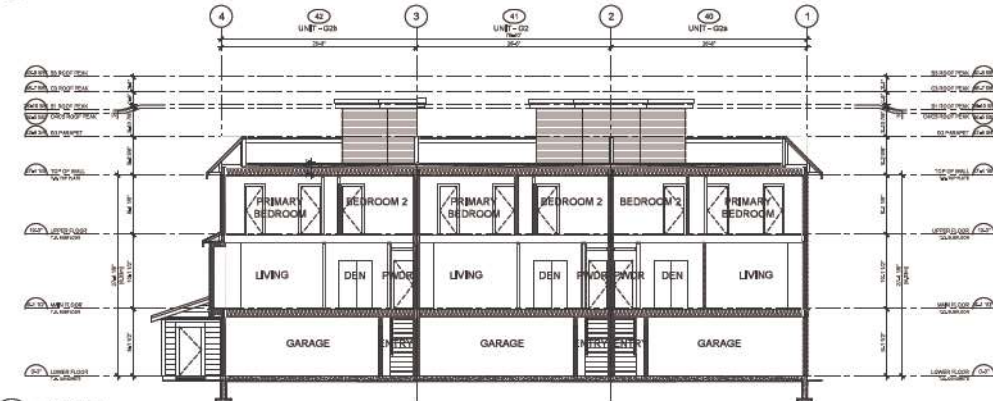
A3.06



1 FRONT ELEVATION (EAST, ROAD B)
Scale: 1/8" = 1'-0"



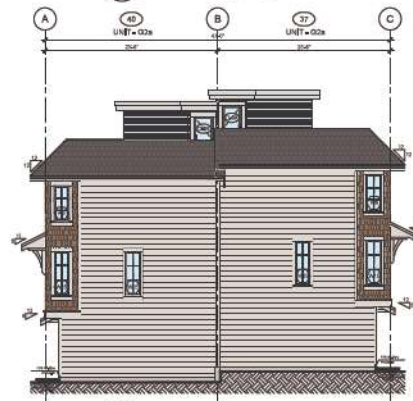
3 REAR ELEVATION (WEST, ROAD C)
Scale: 1/8" = 1'-0"



5 SECTION
Scale: 1/8" = 1'-0"



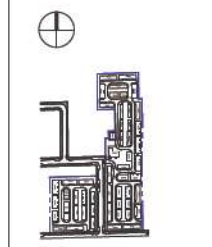
2 SIDE ELEVATION (NORTH, ROAD D)
Scale: 1/8" = 1'-0"



4 SIDE ELEVATION (SOUTH, MEWS)
Scale: 1/8" = 1'-0"

NOTE:
1. REEF THE FLY STRAPPING WHERE BEING EXTENDED ONTO FOUNDATION WALL.
2. COORDINATE TERMINATION HEIGHT OF DUMPSTOOP ON 2ND FLOOR TO INSTALLATION.
3. WALL LOW COULDS TO MATCH FINISH.

| PARTIAL LEGEND | FINISHES | | | |
|----------------|------------------------|---------|----------|------------------------|
| | WALLS | CEILING | FLOORING | EXTERIOR |
| ROOF | 1. 2" RIGID INSULATION | | | BLACK ASPHALT/FLY ROOF |
| | 2. 1/2" GYP BOARD | | | ASPHALT/FLY ROOF |
| | 3. 1/2" GYP BOARD | | | WOOD SHAKES |
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| | 99. 1/2" GYP BOARD | | | WOOD SHAKES |
| | 100. 1/2" GYP BOARD | | | WOOD SHAKES |



| NO. | REVISION | DATE |
|-----|-------------------------------|---------------|
| 1 | ISSUED FOR DEVELOPMENT PERMIT | JUNE 14, 2024 |
| 2 | ISSUED FOR DEVELOPMENT PERMIT | APR 24, 2024 |
| 3 | ISSUED FOR DEVELOPMENT PERMIT | DEC 13, 2023 |

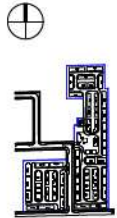
PROJECT NUMBER: DC-08
 DRAWN BY: PHILIP LAM
 CHECKED BY: HW
 DATE CHECKED:
 CONSULTANT:

PROJECT
WEST CLAYTON TOWNHOMES
18477-18619 78 AVE
BURREY, SC

ELEVATIONS & SECTION - BUILDING 9

DRAWING NO.

A3.09



REVISIONS

| NO. | REVISION | DATE |
|-----|----------------------------------|----------------|
| 1 | | |
| 2 | | |
| 3 | RE-ISSUED FOR DEVELOPMENT PERMIT | JUNE 14, 2024 |
| 4 | RE-ISSUED FOR DEVELOPMENT PERMIT | APRIL 04, 2024 |
| 5 | RE-ISSUED FOR DEVELOPMENT PERMIT | OCT 13, 2023 |

| | |
|-----------------|-----------|
| PROJECT NUMBER: | DE-04 |
| DRAWN BY: | PHENILOAM |
| CHECKED BY: | RM |
| DATE CHECKED: | |
| CONSULTANT: | |



PROJECT

WEST CLAYTON TOWNHOMES
18477 - 18619 76 AVE
SURREY, BC

DRAWING TITLE

**AMENITY BUILDING (BUILDING 54)
ELEVATIONS & SECTIONS**

DRAWING NO.

A3.54a



1 ELEVATION
Scale: 3/16" = 1'-0"



2 ELEVATION
Scale: 3/16" = 1'-0"

| SECTION / ELEVATION | NO. 1 | NO. 2 | NO. 3 | NO. 4 |
|---------------------|-------------------------------|-----------------------|------------------------|-------------------|
| ROOF | 1. 3/8" ASPHALT/FLUTE SHINGLE | 2. 1/2" OSB SHEATHING | 3. 2" RIGID INSULATION | 4. 1/2" GYP BOARD |
| WALL | 1. 1/2" GYP BOARD | 2. 1/2" GYP BOARD | 3. 1/2" GYP BOARD | 4. 1/2" GYP BOARD |
| FLOOR | 1. 1/2" GYP BOARD | 2. 1/2" GYP BOARD | 3. 1/2" GYP BOARD | 4. 1/2" GYP BOARD |
| CEILING | 1. 1/2" GYP BOARD | 2. 1/2" GYP BOARD | 3. 1/2" GYP BOARD | 4. 1/2" GYP BOARD |

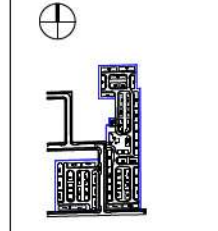


1 ELEVATION
A3.55 Scale: 3/16" = 1"



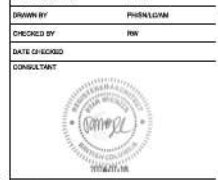
2 ELEVATION
A3.55 Scale: 3/16" = 1"

| MATERIAL LISTING | NOTES 1 | NOTES 2 | NOTES 3 | NOTES 4 |
|------------------|--------------------------|--------------|---------|---------|
| ROOF | 1. GYPHON METAL ROOFING | BLACK ENAMEL | | |
| | 2. GYPHON METAL ROOFING | BLACK ENAMEL | | |
| | 3. GYPHON METAL ROOFING | BLACK ENAMEL | | |
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| | 49. GYPHON METAL ROOFING | BLACK ENAMEL | | |
| | 50. GYPHON METAL ROOFING | BLACK ENAMEL | | |



REVISIONS

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PROJECT
WEST CLAYTON TOWNHOMES
1847 - 18619 76 AVE
SURREY, BC

DRAWING TITLE
AMENITY BUILDING (BUILDING 54) ELEVATIONS & SECTIONS

DRAWING NO.

A3.54b

TO: **Director, Development Planning, Planning and Development Department**

FROM: **Manager, Development Services, Engineering Department**

DATE: **June 25, 2024**

PROJECT FILE: **7822-0262-00**

RE: **Engineering Requirements**

Location: 18477 76 Ave

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 1.942 m for 76 Avenue.
- Dedicate 20.0 m for 76A Avenue, 77 Avenue, 185 Street, 186 Street.
- Dedicate 18.0-20.0 m for 77B Avenue road allowance.
- Dedicate 18.0 m for 184B Street and 14.0m radius cul-de-sac.
- Dedicate 18.0 m for 185A Street.
- Dedicate 6.0 m for lane.
- Dedicate required corner cuts at all intersections.
- Register 0.5 m right-of-way along all development frontages.

Works and Services

- Construct north side of 76 Avenue.
- Construct 76A Avenue, 77 Avenue, 77B Avenue, 184B Street, 185 Street, 185A Street and 186 Street to local road standards.
- Construct adequately sized, downstream and frontage water, sanitary and storm mains including West Clayton Pond 2, and Phase 2 of North Cloverdale Trunk Sewer.
- Provide adequately sized water, sanitary and storm service connections.
- Register restrictive covenants for on-site water quantity and quality mitigation features.

NCP AMENDMENT/DEVELOPMENT PERMIT

There are no additional engineering requirements relative to the issuance of the Development Permit and NCP Amendment.



Jeff Pang, P.Eng.
Manager, Development Services
RH

Department: **Planning and Demographics**
Date: **June 6, 2024**
Report For: **City of Surrey**

Development Impact Analysis on Schools For:
Application #: **22 0262 00 (updated June 6, 2024)**

The proposed development of **120** Single Family units and **251** Townhouse units are estimated to have the following impact on elementary and secondary schools within the school regions.

| | |
|---|-----|
| School-aged children population projection | 326 |
|---|-----|

| | |
|---|-----|
| Projected Number of Students From This Development In: | |
| Elementary School = | 170 |
| Secondary School = | 102 |
| Total Students = | 272 |

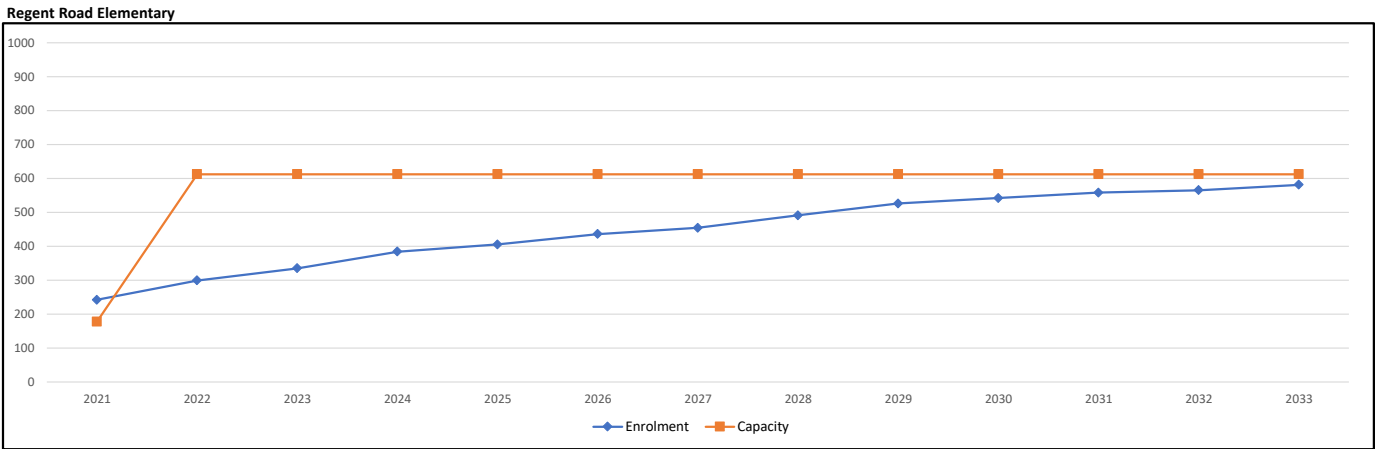
| | |
|--|------|
| Current Enrolment and Capacities: | |
| Regent Road Elementary | |
| Enrolment | 335 |
| Operating Capacity | 612 |
| # of Portables | 0 |
| Ecole Salish Secondary | |
| Enrolment | 1473 |
| Operating Capacity | 1500 |
| # of Portables | 0 |

Summary of Impact and Commentary
The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

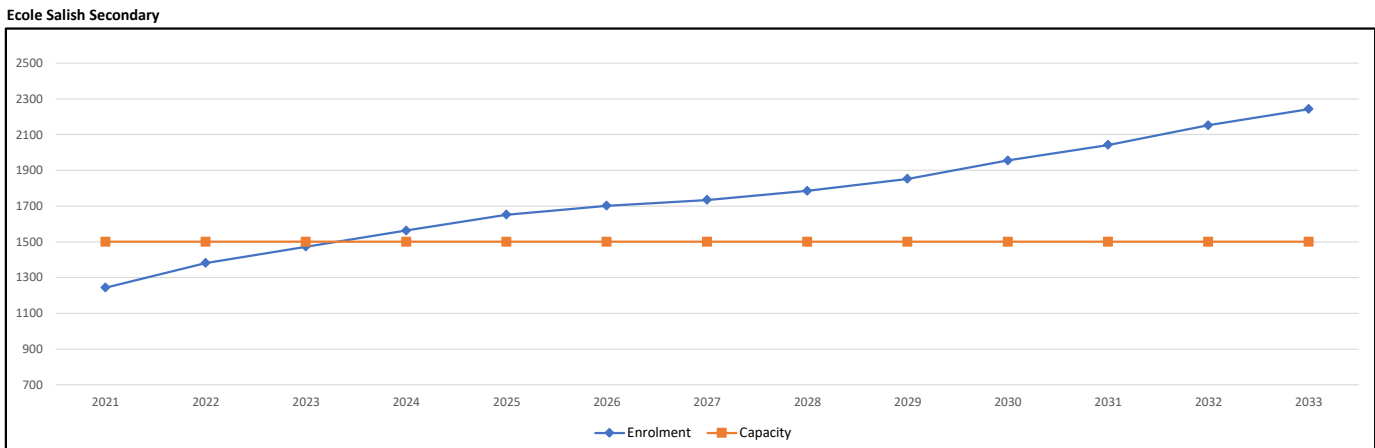
As of September 2022, Clayton Elementary has moved into the new Regent Road Elementary. Both Regent Road and Madaugh Elementary that opened in the beginning of 2021 can handle enrolment growth resulting from the West Clayton NCP and the proposed Clayton Corridor Plan.

However, the enrolment projections in the chart assumes that the neighbourhood will develop in accordance with the approved NCP and does not include any potential increases to housing density and population made by the City to support the SkyTrain in the future or as a result of bonus density supported through applications.

As of September 2023, E'cole Salish is at 99% capacity. This school was built to relieve enrolment pressure at both Lord Tweedsmuir and Clayton Heights Secondary. Salish is projected to continue to grow because of the strong in-migration of new secondary students moving into the community. The growth trend will surpass capacity in 2024; the enrolment will continue to grow in this school well beyond 2024.



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population: The projected population of children aged 0-17 Impacted by the development.
Enrolment: The number of students projected to attend the Surrey School District ONLY.

BUILDING GUIDELINES SUMMARY & RECOMENDATIONS

Surrey Project no: 22-0262-00
Project Location: 18477/97, 18535, 18563/73 & 18619 76 Avenue, Surrey BC
Design Consultant: Angus J. Muir – AJ Muir Design Ltd.
Date: June 02, 2023

The draft Building Scheme proposed for this Project has been filed with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines which highlight the important features and form the basis of the draft Building Scheme.

1. Context Neighbourhood and Context Homes

1.1 Establishing the Context Neighbourhood:

The Context Neighbourhood includes the parent parcel(s) of the proposed development (herein called the Subject Site) and surrounding properties. The Context Neighbourhood (as outlined graphically on Appendix A within the Character Study) was established by considering the geographical area, road system, and generally what would be perceived as the Neighbourhood to which the parent parcel(s) belongs. This includes consideration of homes visible from the Subject Site and along the main access route. The Context Neighbourhood should be seen as the area to which the parent parcel(s) is part of, and would be affected by development of the Subject Site as new lots are created and added to the Neighbourhood.

The Context Neighborhood is bounded by 184 Street to the west of the Subject Site, 188 Street to the east of the Subject Site, 80 Avenue to the north of the Subject Site, and 76 Avenue to the south of the Subject Site. The Context Neighborhood generally includes a significant number of A-1 zoned properties of mixed size, along with a number of RA zoned properties to the south of 76 Avenue.

The greater area beyond the Context Neighborhood is primarily residential acreage lots to the south and east of the Context Neighborhood, and actively farmed agricultural land to the north and west of the Context Neighborhood. The Context Neighborhood that was selected fairly represents this broader area, and this study would not have different findings if this broader area was included within the Context Neighborhood for the sake of this study.

1.2 Establishing Context Homes within the Context Neighbourhood:

In the Residential Character Study for this development existing homes in the Context Neighbourhood have been reviewed to determine if they are Context Homes and have features that are considered when developing the recommendations for the Design Guidelines and Building Scheme. The Context Neighbourhood is comprised of 44 properties not including the Subject Site. None of the existing homes within the Context Neighbourhood have been determined to be Context Homes and none of the existing homes will be considered when developing restrictions for the Building Scheme. The Character Study for this development elaborates on the review process and determination.

2. Residential Character

2.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site and Context Neighbourhood:

The parent parcels for the proposed subdivision at the Subject Site are located between 184 Street to the west and 188 Street to the east, and are on the north side of 76 Avenue. The proposed development includes Townhouse sites, Residential Single Family lots, Streamside Protection and Enhancement Areas, and Green Infrastructure Network areas. It also includes infrastructure such as roads and park land.

The Context Neighborhood includes a significant number of agricultural properties, many of which will be rezoned and subdivided into residential neighborhoods in the next few years. Some of the adjacent farmland in the Agricultural Land Reserve will remain as actively farmed agricultural land. The existing residential properties in the Context Neighborhood are very low density and will undergo significant development and densification in the near future.

The proposed development at the Subject Site represents an interface between the future residential neighborhoods to the south and east, and the farmland to the north and west. The proposed land use in the West Clayton Neighborhood Concept Plan reflects this interface area.

Considering the character of the existing Context Neighborhood and broader area, compared to what is proposed for development at the Subject Site, and for the broader development area in the West Clayton Neighborhood Concept Plan, the Residential Character of the area could only be called emerging.

2.2 Prevailing Features of the Context Homes Significant to the Proposed Design Guidelines and Recommendations for the Building Scheme:

As outlined and established in Section 1, the existing Residential Character, and specifically the character and features of existing homes in the Context Neighborhood, cannot effectively be considered for new homes to be in keeping with the West Clayton Neighborhood Concept Plan. Due to the significant redevelopment of the entire area planned for the near future, the Design Guidelines for new homes should support current levels of quality in design along with industry standard materials and detailing which will ensure the new Residential Character of the area is of consistent high quality.

In this section various components of home and landscaping are considered and recommendations are made for developing the restrictions in the Design Guidelines to be registered as a Building Scheme on all of the new Single Family lots in the proposed development at the Subject Site.

House Styles

- Current popular and appropriate home styles include Neo-Traditional and Neo-Heritage, West Coast, Craftsman, Contemporary, Modern Farmhouse, Modern Prairie, French Country and French Provincial. These styles are indicative of what has been popular over the last ten years to present. The homes may share many common elements of roof design and massing but identify separately as specific styles by the cladding, detailing and colours used.

- **Recommendation:** The Design Guidelines for the new lots on the Subject Site should encourage these popular styles while acknowledging shifting trends towards more modern styles, but not to the degree that radically modern styles would be permitted. Some hybrid styles such as Modern Prairie, Modern Farmhouse, Contemporary-Traditional or Contemporary-French Provincial may suit the area. Names of styles need to be avoided in the Design Guidelines but rather the specific styles should be supported or restricted by identifying which contributing elements, massing, roof form and materials create the overall style, and then restrictions specific to these elements should be carefully crafted.

Building Massing

- Building Massing considers the overall mass and form of the exterior of the home. The general concept is that softer massing is often more pleasing while bold and tall massing may only suit specific styles. Massing can be reduced by offsetting upper walls behind lower walls, adding roof forms which break up wall massing, or adding a combination of vertical and horizontal articulation to the home. For Single Family Dwellings a softer or reduced front façade massing can often prevent a home from appearing to be imposing on the streetscape. Where lot grades inherently expose one side of a home more than the others the massing can also become undesirable.
- **Recommendation:** The Design Guidelines for the new lots on the Subject Site should discourage full two storey massing and limit two storey elements by requiring portions of the upper floor to be set back from the main floor, and where two storey elements occur they should be broken up by design elements such as skirt roofs and boxed out windows. Some two storey massing should be permitted if it suits the specific style. It would be recommended to have minimum 50% of the front of the home with one storey massing, and the second floor should be stepped back a minimum of 1.0m from the first floor for RF-13 lots. For upslope lots additional massing restrictions should be included to ensure front facades are not overbearing. For side slope lots additional grading and retaining requirements should be included to reduce large side wall massing, and should also consider special restrictions for conditions where large wall massing may be undesirable.

Corner Lot Design

- A home on a corner lot inherently exposes more sides of the home to be visible from the street. Attention to secondary elevations which face a street will ensure that the home is appealing from more than just the front view. Flanking side elevations of the home may be treated similar to front facing elevations but also needs to consider privacy within the home and the rear yard.
- **Recommendation:** The Design Guidelines for the new lots on the Subject Site should require flanking side elevations to have upgraded facades compared to elevations that do not face a street, including requirements for additional articulation, softened massing and upgraded cladding and detailing. The flanking side elevations should have similar requirements as the front elevation massing noted above, but perhaps a better ratio would be minimum 33% one storey elements.

Roof Form and Material

- Roof Form is one of the most important design elements of a home. Careful consideration of specific roof forms help to reinforce the overall style of a home. Certain roof forms are indicative of certain styles and if not combined properly with the appropriate detailing and massing, the home will not appear to have pleasing aesthetics or overall quality of design. Elements of roof design include pitch, material, fascias & barge boards, overhangs and colour.

- **Recommendation:** The Design Guidelines for the new lots on the Subject Site should encourage a range of roof forms indicative of the current popular and appropriate styles noted above, but should restrict the use of monoplane and flat roof forms to ensure they are appropriate to the style, and not permit monoplane or flat roofs as the primary roof form. The main roof form should be restricted to 3/12 or higher pitched roofs. Feature roofs should be encouraged and alternate materials for feature roofs should be permitted if it suits the style. Asphalt shingle roofing with minimum 30 year warranty and manufactured ridge caps should be the primary roofing materials but cedar roofing and concrete tile should be permitted. Modern roofing materials such as fiberglass or environmentally friendly products should also be permitted but only in a shake pattern and with similar rating as the asphalt roofing. Metal roofing should not be permitted as the main roofing material but should be permitted for feature roof elements. Some feature roofs may require torch-on roofing but this should only be permitted if it is not visible from the street.

Cladding and Detailing

- The current popular and appropriate styles noted above would primarily use a mix of traditional building materials and cladding such as stone, stucco, horizontal bevel siding, vertical board and batten siding, wall shakes and brick. Modern building materials such as panel systems may also been used on some feature elements and fascia bands but not as a main cladding material. Trim should be visible on most front facing facades and may be precast moldings, wood or stucco depending on the main cladding material used and the overall style of the home. Some feature elements and materials such as timber or metal bracing may be appropriate along with good window design and feature cladding to achieve style-specific exterior façades. Generally the use of materials should encourage a high level of quality in the cladding and detailing and should not be sparse or minimal.
- **Recommendation:** The Design Guidelines for the new lots on the Subject Site should encourage the use and application of high quality materials and detailing. Minimum requirements for trim and use of feature elements should be required for front facing elevations, including minimum 1x4 window trim, 2x10 base trim and combinations of accent materials which cover at least 20% of the front elevation. A broad range of cladding materials should be permitted but modern cladding systems such as cementitious and metal panel systems should be limited to feature elements only. Vinyl siding should not be permitted on front elevation, or highly visible secondary elevations. Minimum requirements for fascias, fascia bands and barge boards should be outlined including minimum 2x8 fascia boards and minimum 2x10 barge boards.

Surfacing Materials:

- Surfacing Materials refers to the material and finish of driveways, walkways, porches and patios. Materials such as gravel and asphalt are considered lower quality, and materials such as concrete and masonry unit pavers are considered higher quality. Concrete and unit pavers come in a wide range of finishes, with cast-in-place concrete having the broadest range of possible finishes. Additional interest can be added by using a combination of materials and finishes such as having a separate material or finish for borders.
- **Recommendation:** The Design Guidelines for the new lots on the Subject Site should encourage driveway and walkway surfacing to be unit pavers or concrete in a range of finishes such as exposed aggregate, stamped or other similar architectural treatments. Borders should be permitted but restrictions should include minimum dimensions for borders so they are an appropriate size. Main entry and front walkways should only be permitted to match the driveway material for front loaded lots. Gravel and asphalt driveways and front walkways should not be permitted. Walkways, patios and rear driveways which are not visible from the street should be permitted to have broom or smooth finish concrete.

Garages:

- The proposed single family lots are a combination of front loaded, which will all have attached garages with driveways that connect to the fronting road, and rear loaded, which will have detached garages accessed from the lane. Garages will have overhead doors which are front or rear facing. Minimum parking requirements include three spaces for principal dwelling and one additional space for a secondary suite. The driveway configuration will include room for two outside parking spaces.
- **Recommendation:** The Design Guidelines for the new lots on the Subject Site should require all garages to be two car wide and provide the minimum dimensions to satisfy parking requirements. Garages should have doors which close and the panel design of the door should suit the style of the home. Carports should not be permitted.

Front Entry and Porches

- Front entry porches are an important element of a home as they provide a focal point of the façade and make the home feel welcoming. The front entry porch can assist in defining the style of the home as well as adding extra articulation to soften massing. However, a porch needs to be proportionate and should avoid being either too insignificant or overpowering.
- **Recommendation:** The Design Guidelines for the new lots on the Subject Site should encourage a dominant front entry porch and door which is visible from the road but should be limited to a single storey. Restrictions for porch roof height above the porch surface should be included and a maximum dimension of 12'-0" for this is recommended.

Landscaping

- The landscaping on a property generally refers to the areas of the yard which are not covered by buildings, patios, walkways, driveways, etc. Appropriate landscaping considers the addition of natural features to the yard, and can help to soften the look of transitions in grade and transitions from grade to buildings. However, it needs to be carefully planned so it does not block the home from the street at the front, but can provide privacy for other yards. Front yard landscaping most often includes a combination of lawn, planting beds, shrubs and trees. Fencing can be added for privacy but in front yards is often only decorative.
- **Recommendation:** The Design Guidelines for the new lots on the Subject Site should require a mix of planting beds and lawn area in the front yards along with guidelines for hedging and planting materials to ensure front yards remain manageable and provide natural transitions from the street. A minimum of 13 shrubs should be required in the front yards and on corner lots this should be increased to 25 for the combined front and flanking side. High fencing and hedging should be limited to the sides and rear yards to ensure new homes remain visible, presentable and neighborly. Entry columns and low decorative privacy walls and fences in front yards should be permitted but only with specific review and approval from the Design Consultant.

Retaining:

- Retaining walls are generally only required where grade transitions are not possible by naturally sloping the lot grades. They are also commonly used to provide lowered or depressed areas such as garage access and basement access below grade. Retaining walls to raise areas higher than existing grade are typically considered to be far more visible than retaining walls to create depressed areas below grade. Where retaining is not visible from the street the consideration of the finish and aesthetic is not as important as highly visible retaining.

- **Recommendation:** The Design Guidelines for the new lots on the Subject Site should limit retaining walls visible from the street to be 0.9m or less in height and terraced where higher transitions are required. Taller walls should be permitted where garages are at the basement level or significantly lower than the front entry porch. Where retaining is visible from the road the material and finish should be restricted to higher quality materials. Where retaining is not visible from the road, such as with sunken basement wells in rear yards, they should have relaxed requirements for material and finish and permit materials such as wood or cast-in-place concrete.

Conclusion:

The emerging Residential Character of the overall area will be established by the proposed new development at the Subject Site. By carefully considering industry standard levels of quality and current trends in design, along with well-established and timeless design concepts, restrictions can be implemented which will set the desired tone. The Design Guidelines for the proposed development can provide flexibility while ensuring the new homes suit the concept for the new neighborhood and maintain levels of quality which will safeguard the new home owners in this development and surrounding areas.

Compliance Deposit: \$10,000.00

Summary prepared and submitted by: Angus J. Muir, AJ Muir Design Ltd. **Date:** June 02, 2023

Reviewed and Approved by: Angus J. Muir  **Date:** June 02, 2023

3.3 Replacement Tree Requirements

Table 2: Tree Replacement Summary

City Project Code: 22-0262-00

Address: 18535,18477/18497, 18563/18573 and 18619 76th Avenue, Surrey BC

Registered Arborist: Kelly Koome (PN-5962A)

| Location | Number of Trees |
|--|-----------------|
| GC/SPEA/PARK | |
| Protected Trees to be Retained in Proposed Open Space / Riparian Areas (including snags) | 161 |
| Future Road / City Trees | |
| Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets lanes and snags, but excluding trees in proposed open space or riparian areas) Included 1 shared hedgerow | 23 |
| Protected Trees to be Removed | 23 |
| Protected Trees to be Retained (excluding trees within proposed open space or riparian areas) | 0 |
| Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder, Cottonwood & Snags Trees Requiring 1:1 Replacement Ratio $8 \times \text{one (1)} = 8$ - All other Trees Requiring 2:1 Replacement Ratio $15 \times \text{two (2)} = 30$ | 38 |
| Replacement Trees Proposed | TBD |
| Replacement Trees in Deficit | TBD |
| Townhouse | |
| Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets lanes and snags, but excluding trees in proposed open space or riparian areas) | 190 |
| Protected Trees to be Removed | 190 |
| Protected Trees to be Retained (excluding trees within proposed open space or riparian areas) | 0 |
| Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder, Cottonwood & Snags Trees Requiring 1:1 Replacement Ratio $20 \times \text{one (1)} = 20$ - All other Trees Requiring 2:1 Replacement Ratio $170 \times \text{two (2)} = 340$ | 360 |
| Replacement Trees Proposed | 266 |
| Replacement Trees in Deficit | TBD |



| Location | Number of Trees |
|--|------------------------|
| Single Family | |
| Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets lanes and snags, but excluding trees in proposed open space or riparian areas) | 53 |
| Protected Trees to be Removed | 53 |
| Protected Trees to be Retained (excluding trees within proposed open space or riparian areas) | 0 |
| Replacement Trees Required: <ul style="list-style-type: none"> - Alder, Cottonwood & Snags Trees Requiring 1:1 Replacement Ratio 21 X one (1) = 21 - All other Trees Requiring 2:1 Replacement Ratio 36 X two (2) = 72 | 93 |
| Replacement Trees Proposed | TBD |
| Replacement Trees in Deficit | TBD |
| Off-Site Trees | Number of Trees |
| Protected Off-Site Trees to be Removed (SNAGS excluded) 6 – 3 Snags = 3 | 3 |
| Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1:1 Replacement Ratio 0 X one (1) = 1 - All other Trees Requiring 2:1 Replacement Ratio 3 X two (2) = 6 | 6 |
| Replacement Trees Proposed | TBD |
| Replacement Trees in Deficit | TBD |

Summary, report and plan prepared and submitted by:



Project Arborist: Kelly Koome

June 5, 2024

Date



Table 3: Summary of Tree Preservation by Species

*Onsite and City trees included

*Offsite trees, dead trees/snags, undersized trees, and hedgerows not included

| Tree Species | Existing | Remove | Retain |
|--|----------|--------|--------|
| Alder | 50 | 16 | 34 |
| Cottonwood | 41 | 21 | 20 |
| Deciduous Trees (excluding alder and Cottonwood Trees) | | | |
| Big leaf maple | 127 | 66 | 61 |
| White poplar | 22 | 14 | 8 |
| Paradise apple | 4 | 3 | 1 |
| Apple | 2 | 2 | 0 |
| Flowering cherry | 5 | 5 | 0 |
| Willow | 1 | 1 | 0 |
| English holly / holly | 3 | 3 | 0 |
| English oak | 2 | 2 | 0 |
| European beech | 4 | 4 | 0 |
| Bitter cherry | 1 | 1 | 0 |
| Robinia (Black locust) | 2 | 2 | 0 |
| Paper birch | 7 | 2 | 5 |
| Black walnut | 5 | 5 | 0 |
| Walnut | 1 | 1 | 0 |
| Pear | 1 | 1 | 0 |
| Locus | 4 | 3 | 1 |
| Coniferous Trees | | | |
| Western red cedar | 64 | 48 | 16 |
| Douglas fir | 38 | 38 | 0 |
| Western hemlock | 12 | 6 | 6 |
| Norway spruce | 11 | 11 | 0 |
| | | | |



| Tree Species | Existing | Remove | Retain |
|---|----------|--|--------|
| Pyramidalis cedar | 6 | 6 | 0 |
| Deodar cedar | 1 | 1 | 0 |
| False cypress | 3 | 3 | 0 |
| Grand fir | 1 | 1 | 0 |
| Pacific yew | 2 | 2 | 0 |
| Sitka spruce | 2 | 1 | 1 |
| Blue spruce | 2 | 2 | 0 |
| Zebrina Western red cedar | 1 | 0 | 1 |
| Additional Trees in the Proposed Open Space / Riparian Area | N/A | N/A | N/A |
| TOTALS: | 450 | 287 | 163 |
| | | | |
| Total Replacement Trees Proposed (Onsite) (Excluding Boulevard Street Trees) | | (Single Family - TBD + Townhouse 266) | |
| Total Retained (163) + Replacement Trees (TBH + 266) | | TBD + 429 | |

Summary, report and plan prepared and submitted by:



Project Arborist: Kelly Koome

June 5, 2024

Date



LEGEND

- EXISTING DECIDUOUS TREE
- EXISTING CONIFER TREE
- CRITICAL ROOT ZONE
- TREE TO BE REMOVED
- 19-123 TREE NO.-TAG NO.
- TREE PROTECTION FENCING
- RARP SETBACK
- ARBORIST SUPERVISION

NOTE

1. CONTACT ARBORIST DELLY HOOME, TREES@TFC.MENLOCE.COM IMMEDIATELY UP TO 2 HOURS PRIOR TO ANY DRIVING OR EXCAVATION WITHIN THE TREE PROTECTION ZONE. IF YOUING EXCAVATION IF IT IS FOUND THAT IT CANNOT BE COMPLETED WITHOUT REMOVING ROOTS THAT ARE CRITICAL TO THE TREE HEALTH OR IF ABILITY, IT MAY BE NECESSARY TO REMOVE ADDITIONAL TREES. READ THIS PLAN TOGETHER WITH THE ARBORIST REPORT PREPARED BY KOOME URBAN FORESTRY LTD (RUPF AND DATED).
2. IF IT IS DETERMINED TO OCCUR IN CLOSE PROXIMITY TO TREES WHICH ARE TO BE REMAINED THERE IS A REQUIREMENT TO REMAIN UNDER ARBORIST SUPERVISION.
3. IT IS THE RESPONSIBILITY OF THE CLIENT OR HOMEOWNER/RESIDENT/ADJ. TO CONTACT THE PROJECT ARBORIST FOR THE PURPOSE OF LOCATING THE FENCING.
4. LOCATING WORK ZONE AND MACHINE ACCESS CORRIDORS WHILE REQUIRED. FORWARD THE REPORT WITH THE PROJECT FOR BARRIERSITE SUPERVISION.

| | | |
|----|----------|----------------------|
| 6. | 04/09/24 | SUBMITTED FOR REVIEW |
| 5. | 27/05/24 | SUBMITTED FOR REVIEW |
| 4. | 28/05/23 | SUBMITTED FOR REVIEW |
| 3. | 09/09/22 | SUBMITTED FOR REVIEW |
| 2. | 11/01/22 | SUBMITTED FOR REVIEW |
| 1. | 12/20/21 | SUBMITTED FOR REVIEW |

(DDMMYY) NAME
REVISIONS

PROJECT CODE
KUF-APLIN MARTIN_QUALICO
West Clayton

PROJECT ADDRESS
18477, 18497, 18563, 18573,
18619 76th Avenue, Surrey BC

DRAWING TITLE
TREE MANAGEMENT PLAN



Any construction activity within 1.5m of the TPB requires supervision from a certified arborist.

78 AVE (Future)

CLASS B WATERCOURSE
15m STREAMSIDE BYLAW
SETBACK

Only Trees Not Invented (Do Not Impact Development)

GIN

GIN

GIN

FUTURE TOWNHOUSE OR SINGLE FAMILY

PARK
1.56 Ac

CLASS A WATERCOURSE
30m STREAMSIDE BYLAW
SETBACK

FUTURE TOWNHOUSE OR SINGLE FAMILY

77B AVE

CLASS B WATERCOURSE
15m STREAMSIDE BYLAW
SETBACK

184B ST

185 ST

186A ST

184 ST

187 ST (Future)

TOWNHOUSE SITE
7.76 Ac

77 AVE

76A AVE

PROPOSED 6m
SERVICING SRW

TOWNHOUSE SITE
3.50 Ac

186A ST

CITY REQUIREMENT
FOR ROAD
DEDICATION IS 1.942m

CLASS C DITCH
TO BE REMOVED

76 AVE (Collector)



The Commission noted the poor condition of the buildings and recommended that safety concerns should take priority over heritage preservation in this situation.

It was Moved by Commissioner Priddy
Seconded by Commissioner Lou
That the Surrey Heritage Advisory

Commission (SHAC):

1. Receive the report dated October 31, 2023 regarding a demolition permit application that was received for the Preddy House and Cottage located at 8875 and 8891 Harvie Road as information; and
2. Recommend that staff do not proceed with temporary or permanent protection measures for the Preddy House and Cottage located at 8875 and 8891 Harvie Road.

Carried

**(b) House at 18477 76 Avenue
Proposed Rezoning, Subdivision, Development Permit and
Neighbourhood Concept Plan Amendment**

The Heritage Planner summarized the report dated October 30, 2023 regarding a proposed Rezoning, Subdivision, Development Permit and Neighbourhood Concept Plan amendment for the house located at 18477 76 Avenue. The following information was highlighted:

- A heritage evaluation found that the building has some heritage value for its age and design, but found no historic significance.
- As one of the few remaining potential heritage homes in the Clayton area, staff requested that the applicant consider retention of the heritage building. A subsequent condition assessment report found that the house was in poor condition and due to the presence of asbestos and lead paint, any retention attempts would likely result in a replica.

In response to a question from the Commission, the Heritage Planner advised that the windows were installed with putty containing asbestos, and the condition of the board and batten underneath the stucco is unclear, so it would likely not be possible to salvage parts of the house.

It was Moved by Commissioner Hilmer
Seconded by Commissioner Lou
That the Surrey Heritage Advisory Commission:

1. Receive the report dated October 30, 2023 regarding a proposed Rezoning, Subdivision, Development Permit and Neighbourhood Concept Plan amendment for the house located at 18477 76 Avenue as information; and
2. Recommend that staff do not proceed with temporary or permanent protection measures for the house located at 18477 76 Avenue.

Carried

(c) Collishaw House (16520 40 Avenue) – Application for Financial Assistance for Painting

The Heritage Planner summarized the report dated October 30, 2023 regarding an application for financial assistance for painting for the Collishaw House located at 16520 40 Avenue and highlighted the following information. The application has been submitted for completed work, and one supplier quote. The house cannot be power-washed, and there is only one supplier in the area that provides hand washing services. The supplier also had a time constraint, so they work was completed before the property owner could submit an application to the Commission. Council can, at its discretion, approve a grant for completed work by a 2/3 majority vote.

In response to a question from the Commission, the Heritage Planner advised the property owners repainted the house in its current color scheme. Homes that are protected through a Heritage Revitalization Agreement bylaw may have a specific color scheme, while a home protected by a Heritage Designation bylaw would be required to maintain the same colour scheme unless approved by the City Architect.

It was Moved by Commissioner Priddy
Seconded by Commissioner Lou
That the Surrey Heritage Advisory

Commission (SHAC):

1. Receive the report dated October 30, 2023 regarding an application for financial assistance for painting for the Collishaw House located at 16520 40 Avenue as information;
2. Recommend that Council approve financial assistance in the amount of \$1,742.47 which represents 50% of the value of the works as per the invoice provided by Rob Ireland Studios; and
3. Recommend that staff advise the applicant that payment of financial assistance shall only be made following inspection by appropriate City staff to ensure that the works have been undertaken in accordance with the original terms of the application.

Carried

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0262-00

Issued To:

Address of Owner:

Issued To:

Address of Owner:

Issued To:

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-996-001

Parcel "A" (J80776E) Lot 1 Section 21 Township 8 New Westminster District Plan 3748

18477 - 76 Avenue
(18497 - 76 Avenue)

Parcel Identifier: 010-996-028

Lot 2 Section 21 Township 8 New Westminster District Plan 3748

18535 - 76 Avenue

Parcel Identifier: 010-996-036

Lot 3 Section 21 Township 8 New Westminster District Plan 3748

18563 - 76 Avenue
(18573 - 76 Avenue)

Parcel Identifier: 010-996-044
Lot 4 Section 21 Township 8 New Westminster District Plan 3748

18619 - 76 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

4. Surrey Subdivision and Development By-law, 1986, No. 8830, as amended is varied as follows:

- (a) In Part I – Interpretation – Definitions, “Bond” means cash, an irrevocable Letter of Credit or a Surety Bond in favour of the City.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and Director Legislative Services
– Jennifer Ficocelli



Development Application No. 7922-0262-00

Agricultural Land Reserve (ALR)

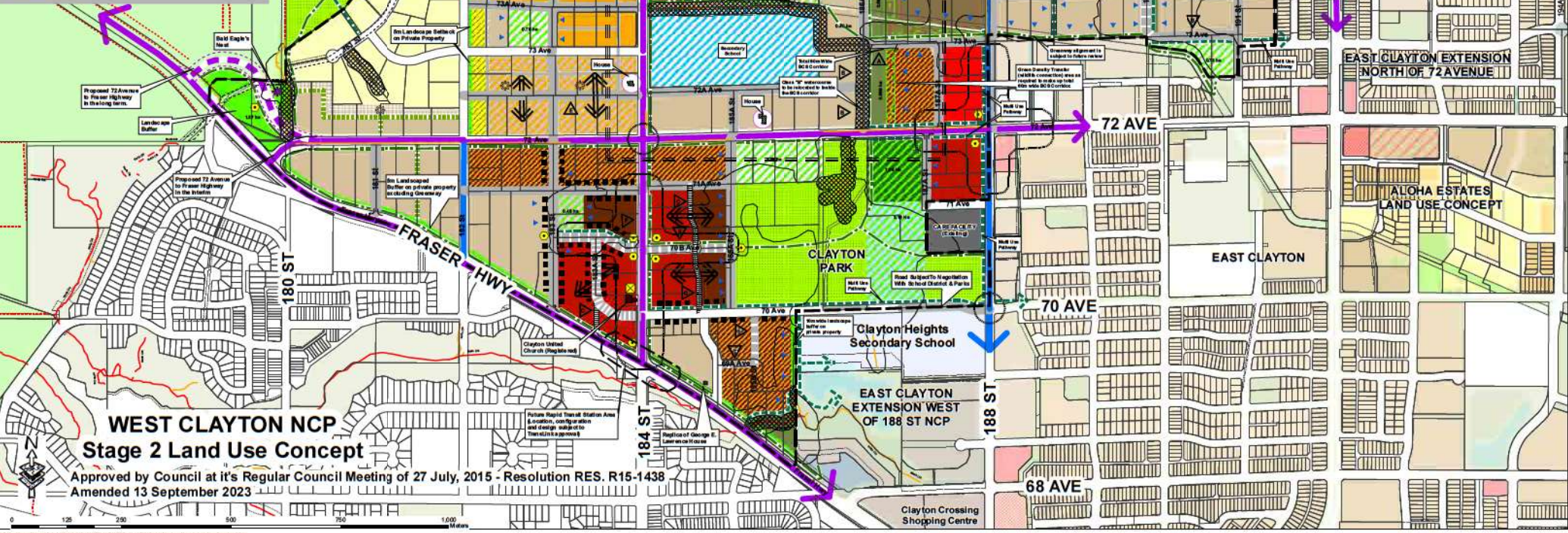
NOTES:

Riparian setbacks are shown at 30m and 15m, respectively, from the centres of Class "A" and Class "B" watercourses. The ultimate setbacks must be compliant, at minimum, with Federal Fisheries Act and Provincial Fish Protection Act (Aquatic Areas Regulations (AAR)).

Measures in support of the RAR, may include geotechnical investigations, wildlife analysis, wildlife analysis. Additionally, other Acts and Regulations may apply such as: Provincial Water Act, Provincial Wildlife Act Federal Species at Risk Act, Federal Migratory Bird Convention Act.

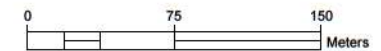
In addition to the land use density indicated, a bonus density may be available, subject to meeting the Energy Efficiency Density Bonus Policy.

- Legend**
- Residential Use**
- Suburban Residential (2 UPA)
 - Urban Residential (4 UPA)
 - Urban Residential (10-14 UPA Bonus)
 - Low Density Cluster
 - Type 1 - 75% Open Space (8-12 UPA Bonus)
 - Type 2 - 75% Open Space (10-12 UPA Bonus)
 - Medium Density Cluster
 - Type 1 - 75% Open Space (10-12 UPA Bonus)
 - Type 2 - 75% Open Space (12-12 UPA Bonus)
 - High Density Cluster
 - Type 1 - 50% Open Space (22-14 UPA Bonus)
 - Type 2 - 50% Open Space (22-14 UPA Bonus)
 - Townhouse Residential (2-25 UPA Bonus)
 - Townhouse Residential (2-25 UPA Bonus) Transition
 - Urban/Townhouse Area
 - Type 1 - Urban (10-14 UPA Bonus)
 - Type 2 - Townhouse (22-14 UPA Bonus)
 - Transition/Townhouse Area
 - Type 1 - Townhouse (22-14 UPA Bonus)
 - Type 2 - Apartment (11-14 UPA Bonus)
 - Stacked Townhouse/Apartments
 - Type 1 - Stacked Townhouse (30-40 UPA)
 - Type 2 - Apartment (40 UPA) (1.5-2.2 FAR Bonus)
 - Commercial & Mixed Use
 - Neighbourhood Commercial
 - Mixed Use Commercial/Professional
 - VILLAGE NODE (1.5 + 0.2 FAR Bonus)
 - TRANSIT NODE (1.5 + 0.3 FAR Bonus)
- Industrial and Public Recreation Use**
- Proposed Park
 - Proposed Public/Recreational Facility
 - Existing School
 - Proposed School
 - Future School/Park
 - BCS (Biodiversity Conservation Strategy) Corridor
 - Greenway
 - Greenway
 - Greenway
 - Greenway
 - Greenway
 - Greenway
- Transportation Engineering**
- Proposed Local Road or Lane
 - Proposed Local Road With Unique Cross Section*
 - On the map, a specific cross-section. (See NCP document for details)
 - Proposed Local Road (Alignment) Profile
 - Proposed Green Lane (Alignment) Profile
 - Alignment of proposed roads at offset intersections to be subject to Engineering approval
 - Provisional Site at (5m R.O.W.)
 - Multi-Use Pathway*
 - Right-of-Way
 - Road subject to Engineering review
 - Urban Design
 - Special Urban Design Area
 - Recreational designed by base / front park or wildlife corridor
 - Use - Work Option on grand floor of street, forcing units
 - No habitat or riparian zones to be permitted to be a multi-use pathway, unless approved by Engineering
 - All multi-use pathways and Greenways are single cross-section
 - Unless adjacent to road, within parkway or Parkway or
 - Urban Landmark (Public artwork or landscape)
 - Place / Feature
 - Heritage Site - Potential for Preservation
 - Heritage Site - Registered
 - Flex Blocks
- Other**
- Creek Class A (Clear Riparian Fish-bearing)
 - Creek Class A (Seasonal Fish-bearing)
 - Creek Class B (Clear Fish-bearing / supports nutrients to fish-bearing or creeks)
 - Perennial Creek
 - Green Density Transfer (Conservation Transition or ALR Buffer)
 - L and is to be conveyed to the city in exchange for density transfer
 - Setback / Transition R.O.W.
 - Landscape Buffer or undeveloped setback, as noted
 - Creek Buffer Class B
 - Creek Buffer Class A and Class A/C
 - Daylighted Creek Buffer
 - Storm Water Facility
 - Location, size of stormwater facility are subject to Engineering approval
 - Agricultural Land Reserve



SUBDIVISION CONCEPT

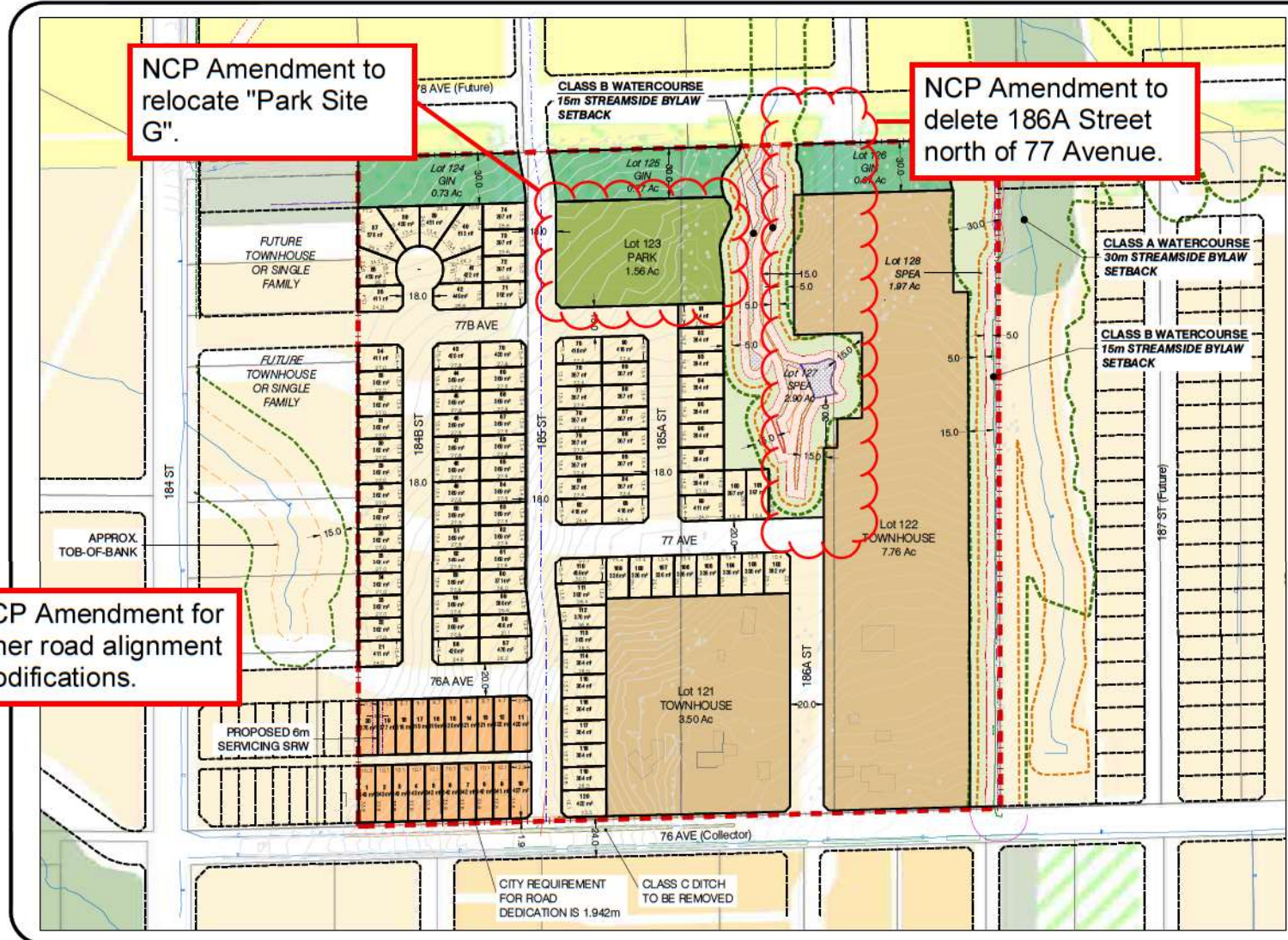
- Single Family (RF-13)
9.51 Ac
- Single Family (RF-10)
1.71 Ac
- Townhouse (CD Based on RM-15)
11.26 Ac
- Active Park Area
1.56 Ac
- GIN
2.17 Ac
- SPEA (Outside 5m from TOB)
2.94 Ac
- SPEA (Within 5m from TOB)
1.93 Ac
- Road Dedication
6.55 Ac
- Streamside Bylaw Setback
- RAPR Setback
- New Road Centreline



NCP Amendment to relocate "Park Site G".

NCP Amendment to delete 186A Street north of 77 Avenue.

NCP Amendment for other road alignment modifications.



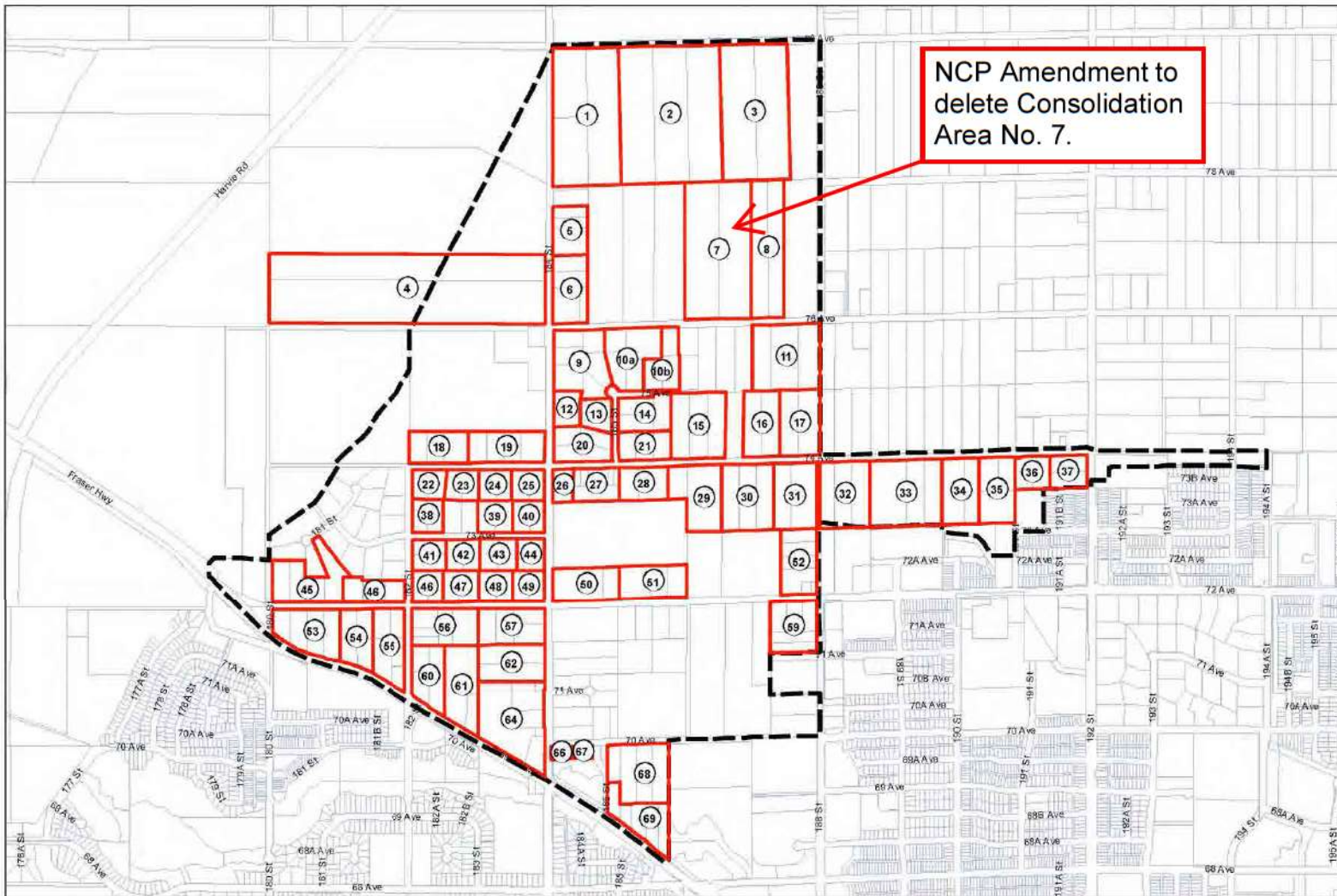
| | | | | |
|--|---|--|---|--|
| LEGAL PID 010-996-001 PID 010-996-028 PID 010-996-036 PID 010-996-044 | GROSS AREA 15.23 Ha / 37.63 Ac 14.4 Ha / 35.70 Ac (Excluding 5m from TOB) | EXISTING DESIGNATIONS OCP: Urban NCP: Medium Density Cluster (10-14 UPA) Park, Green Density Transfer Zoning: A-1 | YIELD Existing: 4 Lots Proposed: 120 SF Lots + 2 TH Lots (251 Units) = 371 Units 3 GIN Lots + 2 SPEA Lots and 1 Park Lot | OPEN SPACE CONVEYANCE Required: 10% of Gross Site Provided: 4.87 Ac (SPEA) + 2.17 Ac (GIN) = 7.04 Ac (48.7% of Gross Site) |
| NET AREA 9.10 Ha / 22.48 Ac (Excludes roads, park, SPEA, GIN) | PROPOSED DESIGNATIONS OCP: Urban, Multiple Residential NCP: TBD Zoning: RF-10, RF-13, CD (Based on RM-15) | DENSITY Permitted: 14.0 UPGA Blended (excluding 5m from TOB) Proposed: 10.4 UPGA (excludes 5m from TOB) | PARK DEDICATION Required: 5% of Gross Site (excluding Open Space Conveyance) 37.63 Ac - 7.04 Ac = 30.59 Ac * 0.05 = 1.53 Ac Provided: 1.56 Ac (5%) | Scale: 1:2500 |

NOTE: Conceptual layout only, subject to change without notice. Property of Aplin & Martin Consultants Ltd. and not to be reproduced or used without written permission by the Company.

Drawing
1

Project 19-1114
12/06/2024
Drawn by: AR/CEV

For Discussion Only

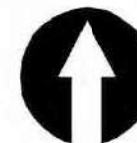
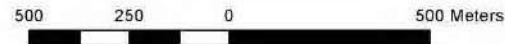


Legend

- Consolidation Areas
- West Clayton_Boundary
- Lots

**West Clayton NCP
Consolidation Area
Strategy**

The accuracy and completeness of information shown on this drawing is not guaranteed. It will be the responsibility of the user of the information shown on this drawing to locate and establish the precise location of all existing information, whether shown or not.



1:12,000

Figure 5.15

V:\Policy&Long Range\GIS_ANALYSIS\CLOVERDALE\WEST_CLAYTON\WestClayton_Stage1_LandUseConcept_2014\West Clayton Stage1 Land Use Concept October2014 CONSOLIDATION AREA STRATEGY.mxd

Figure 5.15 - Consolidation Area Strategy