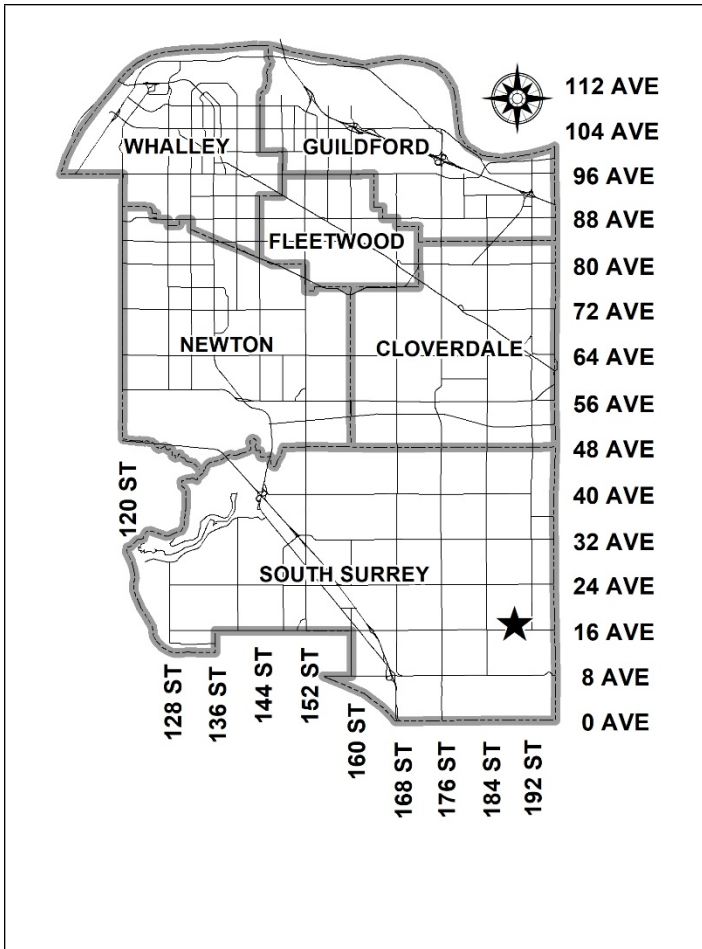


**City of Surrey
PLANNING & DEVELOPMENT REPORT**

Application No.: 7922-0150-00

Planning Report Date: January 27, 2025



PROPOSAL:

- **Rezoning** from A-1 to IB-2
- **General Development Permit**
- **Development Variance Permit**

to permit the development of a multi-tenant business park with two buildings with a total floor area of 62,620 square metres, and the creation of a lot for the pump station.

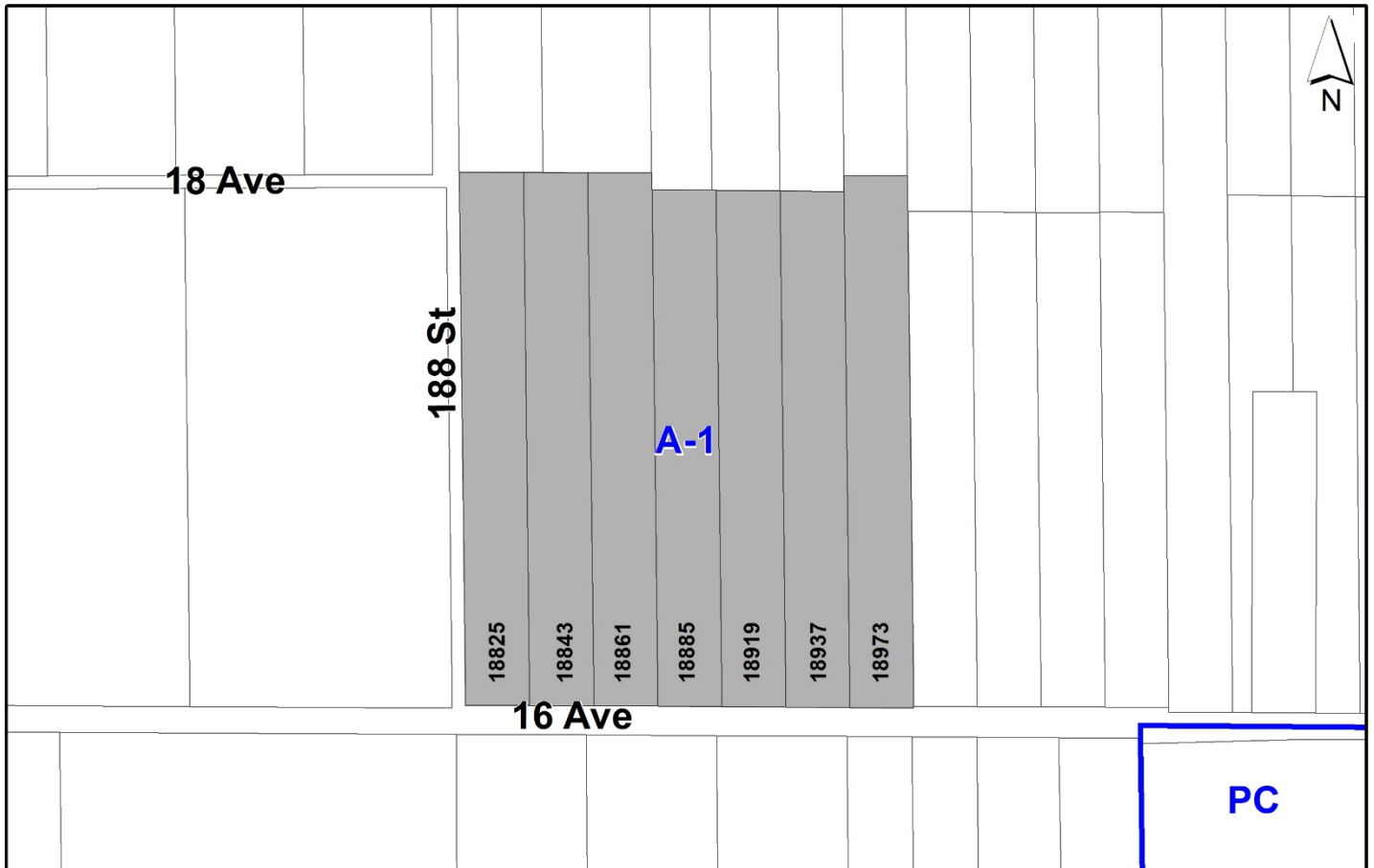
LOCATION:

- 18937 - 16 Avenue
- 18885 - 16 Avenue
- 18919 - 16 Avenue
- 18861 - 16 Avenue
- 18843 - 16 Avenue
- 18825 - 16 Avenue
- 18973 - 16 Avenue

ZONING: A-1

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Employment



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft General Development Permit for Form and Character, Sensitive Ecosystems, and Farm Protection.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to reduce the Streamside setback requirements of Part 7A of the Zoning By-law.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Mixed Employment designation in the Official Community Plan (OCP).
- The proposal complies with the Business Employment designation in the South Campbell Heights Local Area Plan (LAP).
- The proposal complies with the Employment designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposed density and building form are appropriate for this part of South Campbell Heights.
- The proposal complies with the Development Permit requirements in the OCP for Sensitive Ecosystems (Streamside Areas).
- The proposal partially complies with the Development Permit requirements in the OCP for Farming Protection.
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the Development Permit (Form and Character) design guidelines in the OCP.
- The proposed streamside variances comply with the minimum Provincial Riparian Areas Protection Regulations (RAPR) setbacks. The proposed reduced setbacks include a substantial planting plan, and will allow for the relocation of the watercourse along 16 Avenue, will allow for road widening.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "General Agriculture Zone (A-1)" to "Business Park 2 Zone (IB-2)" and a date be set for Public Hearing.
2. Council authorize staff to draft General Development Permit No. 7922-0150-00 generally in accordance with the attached drawings (Appendix I) and the finalized Ecosystem Development Plan.
3. Council approve Development Variance Permit No. 7922-0150-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum setback distance for a Class A (red-coded) channelized stream from 25 metres to 10 metres; and
 - (b) to reduce the minimum setback distance for a Class B (yellow-coded) ditch from 7 metres to 2 metres.
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (f) submission of a finalized Ecosystem Development Plan and Impact Mitigation Plan to the satisfaction of City staff;
 - (g) the applicant satisfy the requirements for a P-15 agreement;
 - (h) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (i) Registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
 - (j) registration of a Section 219 Restrictive Covenant to prohibit any use that require a Metro Vancouver air quality permit from locating on the site;

- (k) registration of a combined Statutory Right-of-Way / Section 219 Restrictive Covenant over the designated Streamside Protection Area for both "No Build" and conveyance access; and
- (l) registration of a Section 219 Restrictive Covenant advising future building occupants of the potential farm operations of the adjacent agricultural lands.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	LAP Designation	Existing Zone
Subject Site	Single family dwellings and farmland	Business Employment	A-1
North:	Single family dwellings, farmland and TUP Development Application No. 7923-0319-00	Business Employment	A-1
East:	Single family dwellings and farmland	Business Employment	A-1
South (Across 16 Avenue):	Single family dwellings and farmland	Agricultural (ALR) and Business Employment	A-1
West (Across unopened 188 Street road allowance):	Single family dwellings and farmland	Agricultural (ALR)	A-1

Context & Background

- The site is comprised of 7 properties, totaling 13.95 hectares with a net area of 13.16 hectares. The site is designated "Mixed Employment" in the Official Community Plan (OCP), and designated "Business Employment" in the South Campbell Heights Local Area Plan (LAP).
- The site is currently zoned "General Agriculture (A-1) Zone", and occupied by single family dwellings, small farmsteads, and some treed areas.
- The Agricultural Land Reserve (ALR) is abutting to the west and across 16 Avenue to the south of the subject site. The site has red-coded Class A channelized stream along the north side of 16 Avenue, which is being relocated as part of the future road works, and the site slopes down from northeast to southwest.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing to rezone the site from "General Agriculture (A-1) Zone" to "Business Park Zone (IB-2)", with a General Development Permit for Form & Character, Sensitive Ecosystem (Streamside Areas) and Farming Protection, to permit the development of two multi-tenant buildings with a total floor area of 62,620 square metres.

- Road dedication is required along both 16 Avenue and 190 Street, and a separate lot is needed for the pump station at the corner of 16 Avenue and 190 Street. Relocation of a Class A red-coded channelized stream along the north side of 16 Avenue is also proposed. The watercourse is being relocated north, to allow for the widening of 16 Avenue. Additional road dedication is proposed to accommodate this. The relocated watercourse will be within the road allowance, with a portion of the SPEA to be located within the south portion of the site.
- For Form & Character, the applicant proposes a General Development Permit and will apply for a future Detailed Development Permit once they have more information on whether this will be for a single tenant or multi-tenants. The General Development Permit will allow for the servicing work to be completed.

	Proposed
Lot Area	
Gross Site Area:	139,463 square metres
Road Dedication:	7,121 square metres
Pump Station:	717 square metres
Net Site Area:	131,626 square metres
Number of Lots:	1
Building Height:	14 metres
Unit Density:	n/a
Floor Area Ratio (FAR):	0.5
Floor Area	
Industrial / Total:	65,620 square metres

Referrals

- Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
- Parks, Recreation & Culture: Parks has some concerns with the proposed retaining walls, and will continue to work with the applicant on the proposed heights, setbacks and materials proposed.
- Parks to further comment on WSA approval process, and on Barn Owl nest management.
- Redwood Park is the closest active park with amenities including, trails, natural area, and is 1,900 metres walking distance from the development.
- Water Sustainability Act (WSA): The City will be applying for the WSA approval for the relocation of the 16 Avenue Class A red-coded channelized stream, as part of the capital works on 16 Avenue.
- Surrey Fire Department: No concerns.

Agricultural and Food Policy Committee (AFPC) This proposal was not referred to the AFPC given the committee is not currently meeting.

A referral to AFPC will be made prior to any subsequent Detailed Development Permit applications and any comments that the committee may have can be considered then.

Advisory Design Panel: The application was not be subject to review by the ADP as review of this building type is not required by the ADP Terms of Reference, but was reviewed by staff and found satisfactory.

Transportation Considerations

- The site requires road dedication along the south portion of the site for the widening of 16 Avenue, which includes the relocation of a Class A red-coded channelized stream. The site also requires road dedication along the eastern portion of the site for 190 Street.
- Access to the site is proposed through 4 driveways on 190 Street, and the proposed 723 parking spaces meet the required parking provision.
- The loading bays are proposed facing each other, perpendicular to 190 Street, and will be screened from view on 16 Avenue by the building, and on 190 Street by screening walls and landscaping.
- The closest bus route is on 24 Avenue (Route #531), approximately 1,500 metres from the subject site.
- The closest bike routes are a north/south route on 192 Street, approximately 450 metres from the subject site. A bike route planned on 16 Avenue, fronting the site.

Pump Station

A pump station is proposed at the northwest corner of 16 Avenue and 190 Street, and 717 square metres of land at that corner will create a separate lot for it. Access and maneuvering for the pump station is being accommodated through the site.

Natural Area Considerations

- There are three main natural features on the site:
 - Class A channelized stream in the north side of 16 Avenue:
 - Relocation proposed subject to WSA's approval;
 - Request for a DVP to Part 7A, to reduce the required setback from 25 metres to 10 metres.
 - Class B ditch along the unopened 188 Street road allowance:
 - RAPR setback of 2 metres being met;
 - Request for a DVP to Part 7A, to reduce the required setback from 7 metres to 2 metres.
 - Man-made Class B ponds and ditches;
 - RAPR setback of 30 metres being met.

- The relocation of the Class A channelized stream on the north side of 16 Avenue will be done as part of the capital works for the widening of 16 Avenue.
- The applicant is proposing setbacks from those prescribed in Part 7A of the Zoning By-law, however the proposal is compliant with Provincial RAPR setbacks.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the Employment designation in the RGS.

Official Community Plan

Land Use Designation

- The proposal complies with the Mixed Employment designation in the OCP.

Themes/Policies

- B6.6 – Design buildings to enhance the activity, safety and interest of adjacent public streets, plazas, and spaces.

(The proposed development has attractive elevations along all street frontages (190 Street and 16 Avenue, with building articulations and expansive two-level spandrel glazing at the corners).

- C2.38 – Ensure the loading and on-site access of goods delivery vehicles is considered in conjunction with overall urban development site design.

(Site access and loading bays have been designed and located to minimize public view, and to allow for the building to be used as screening for portions of the site. The loading is accessed from 190 Street and has screening walls. Loading will not be visible from 16 Avenue, as this area will be screened by the building itself).

- E1.20 – Encourage the continued expansion of high-tech, research and development and light manufacturing to locate within Mixed Employment areas that are accessible to major transportation corridors and/or frequent transit services.

(The proposed development is compatible with the Business Employment designation and builds upon the employment lands in South Campbell Heights. The subject site is also located near the major transportation corridors of 136 Avenue, Highway 15, 192 Street and international border crossings).

Secondary Plans

Land Use Designation

- The proposal complies with the Business Employment designation in the South Campbell Heights Local Area Plan.

Themes/Objectives

- Generally, buildings should be oriented towards the street, with the primary public functions within buildings located along primary street frontages. Conversely, back-of-house functions should be properly screened from public view.
- A strong developed edge should be established along 16 Avenue and 192 Street. Facades facing these streets should place additional emphasis on building articulation, architectural treatment, and building entries. Principal buildings facing these streets are encouraged to establish setbacks that are consistent with neighbouring sites.
- Modified slopes and retaining walls should incorporate landscaping at top, bottom, or step of wall where possible, to visually soften and naturalize their appearance and complement wildlife connectivity objectives.
- All site access points shall conform to City of Surrey Engineering standards and be located to provide the most efficient and functional flow of traffic while mitigating potential conflicts with adjacent streetscapes, intersections, and site features.
- Avoid locating loading, outdoor storage, and display areas in yards that abut streets.
- Where possible, public facing parts of buildings, including main entrances and offices, should be oriented towards street frontages with a distinct design for clear identification and inherent wayfinding.

These parameters are shown on the General Development Permit, and further details will be worked on with the applicant through a Detailed Development Permit.

Zoning By-law

- The applicant proposes to rezone the subject site from "General Agriculture Zone (A-1)" to "Business Park 2 Zone (IB-2)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, including the "Business Park 2 Zone (IB-2)", streamside setbacks and parking requirements.

IB-2 Zone (Part 47B)	Permitted and/or Required	Proposed
Unit Density:	n/a	n/a
Floor Area Ratio:	1.0	0.47
Lot Coverage:	60%	45%
Yards and Setbacks		
North:	7.5 metres	35 metres
East:	7.5 metres (no parking) / 9 metres (parking)	35 metres / 9 metres
South:	16 metres (parking)	32 metres
West:	7.5 metres	22.3 metres
Height of Buildings		
Principal buildings:	14 metres	14 metres
Accessory buildings:	6 metres	n/a
Streamside (Part 7A)	Required	Proposed
Streamside Setbacks		
Class A (red-coded) Stream:	25 metres	10 metres (DVP)
Class B (yellow-coded) Ditch:	7 metres	2 metres (DVP)
Parking (Part 5)	Required	Proposed
Number of Stalls		
Commercial:	107	107
Industrial:	613	615
Total:	720	722

Streamside Variance

- The applicant is requesting the following streamside variances:
 - to reduce the minimum setback distance for a Class A (red-coded) channelized stream from 25 metres to 10 metres; and
 - to reduce the minimum setback distance for a Class B (yellow-coded) ditch from 7 metres to 2 metres
- The proposed setback reduction for the Class A stream is for the stream along the north side of 16 Avenue, and the Class B ditch is the ditch along the unopened 188 Street road allowance, along the western portion of the site.
- The proposed reduced setbacks include a substantial planting plan, and the relocation of the 16 Avenue watercourse into the site, to allow for road widening. Both proposed setbacks comply with the RAPR setbacks.
- Additional detailed design is needed to accommodate access and maintenance along the unopened 188 Street watercourse to ensure that this will not encroach into the SPEA, and will transition safely given the site grading. The applicant has committed to further working with staff to confirm any additional right-of-way, and to refining the location, design and height of the proposed retaining wall.
- Staff support the requested variances to proceed for consideration.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on January 06, 2025, and the Development Proposal Signs were installed on January 02, 2025. Staff received 2 responses from neighbouring, one of them requesting additional information with no concerns (*staff comments in italics*):
 - Concerns about impact to agricultural lands to the west.

The proposal includes a 15-metre planted buffer along the west portion of the site, and a 22-metre setback to building face. The proposal also includes a retaining wall along the western portion of the site, which will provide further separation between agricultural and proposed industrial lands. The applicant will also be required to register a Restrictive Covenant advising of neighbouring farm uses, and a Restrictive Covenant to prohibit uses that require an Air Quality Permit from Metro Vancouver.

- Notifications were also sent to the Friends of Semiahmoo Bay Society, Semiahmoo Residents Association, Little Campbell Watershed Society and the Surrey Board of Trade. No comments were received at the time of finalization of this report.

DEVELOPMENT PERMITS

Sensitive Ecosystems (Streamside Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of an existing Class A (red-coded) watercourse which flows along the north side of 16 Avenue (south portion of the site). The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a Class A (red-coded) watercourse requires a minimum streamside setback of 25 metres, as measured from the top of bank. The proposed setbacks do not comply with the requirements outlined in the Zoning By-law. A DVP is proposed to reduce the setbacks from 25 metres to 10 metres.
- The riparian area will remain within the road allowance, and road dedication is proposed along the south portion of the site to accommodate that aspect. The SPEA within the site will be protected through the registration of a combined Restrictive Covenant/Right-of-Way against the property to ensure safeguarding and maintenance of the Protection Area in perpetuity, in compliance with the OCP.

- An Ecosystem Development Plan, prepared by Lisa Blanchard, *R.P. Bio.*, of Envirowest Consultants Inc. and dated January 07, 2025 was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Farming Protection Development Permit Requirement

- The subject property falls within the Farming Protection Development Permit Area (DPA) in the OCP, given that it is located within 50 metres of the Agricultural Land Reserve (ALR) boundary. The Farm Protection Development Permit is required to reduce agricultural-urban conflicts through increased setbacks and vegetated buffering.
- The Farming Protection Development Permit guidelines for non-residential uses are outlined below (*with staff comments in italics*):

- The minimum building setback for the ALR boundary is 30 metres.

The applicant is proposing a 22-metre building setback. Given the large retaining wall along the western portion of the site. Given the ditch, pathway and retaining wall that are proposed along the western portion, sufficient separation between the ALR lands and the industrial lands is provided.

- The minimum vegetated buffer width is 15 metres.

The 15 metres buffer includes a watercourse, riparian planting, and an access & maintenance path. Between the path and the subject site, a large retaining wall is proposed, with planting at the top of the wall, for a minimum planting width of 4-4.5 metres, and a total width from edge of ALR to edge of planting of 15 metres.

- Any proposed vegetated buffer should include a mix of appropriate deciduous and coniferous trees, spaced a minimum of 2 metres to 4 metres apart. Existing mature trees and riparian areas within the proposed buffer area should be preserved and infill planting considered in order to provide a fuller vegetated buffer.

The detailed planting plan of the landscape buffer with the site will be completed as part of a future Detailed Development Permit. The riparian planting is being completed as part of the General Development Permit.

- For any property within 50 metres of the ALR boundary, a Section 219 Restrictive Covenant is required to inform future owners of farm practices in the area that may produce noise, odour and dust.

The applicant will be required to register a Restrictive Covenant on the lands.

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the South Campbell Heights Local Area Plan (LAP).

- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the South Campbell Heights Local Area Plan (LAP).
- The applicant has worked with staff to minimize the impact of the proposed retaining walls, increase street presence of the office component in the buildings, and add building articulation to visually break up the large building massing.
- Schematic drawings have been provided with the General Development Permit, that include some examples of building elevations and precedents of buildings for one end user, or for a multi-tenant building. At a future Detailed Development Permit, full architectural drawings will be provided that will follow these precedents, as well as the detailed guidelines in the South Campbell Heights Local Area Plan.
- The schematics also include some examples of materials to be used, building articulation, glazing at the office uses, employee amenity spaces, and roof materials.

Landscaping

- Landscape buffers and areas are identified along the street edges, as well as the farmland buffer along the western portion of the site. A planting plan will be provided as part of a future Detailed Development Permit.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include additional details on the proposed retaining walls. Some items will be detailed as part of a future Detailed Development Permit, like colours, materials, planting plan, roof material, and final building articulation.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Corey Plester, ISA Certified Arborist of Mike Fadum and Associates prepared an Arborist Assessment for the subject site. The table below provides a summary of the proposed tree retention and removal. A detailed list of the proposed tree retention and removal by tree species can be found in (Appendix III):
- All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report.

Table 1: Summary of Proposed Onsite Tree Preservation by Tree Species:

	Existing	Remove	Retain
Alder/Cottonwood (outside riparian area)	98	98	0
Deciduous Trees	149	149	0
Coniferous Trees	300	300	0
Onsite Tree Totals	547	547	0
Onsite Replacement Trees Proposed	0		
Total Onsite Retained and Replacement Trees	0		

- The Arborist Assessment states that there are a total of 547 bylaw protected trees on the site. Additionally, there are 3 bylaw protected offsite trees and 7 bylaw protected City trees within proximity of the proposed development. The applicant proposes to remove all 547 on-site trees. Additionally, 1 of the offsite trees are proposed for removal and 5 of the City trees are proposed for removal, to allow for construction of the proposed road, relocation of watercourse and servicing.
- A detailed planting plan prepared by a Registered Professional Biologist (R.P. Bio.) and an associated P-15 agreement (for the 188 St planting) are required for the monitoring and maintenance of the proposed trees to be planted in the conveyed riparian area.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees, including those Alder and Cottonwood trees that are within a streamside protection area. This will require a proposed total of 996 replacement trees on the site. The number of proposed replacement trees will be confirmed with a Detailed Development Permit in the future. The applicant will be required to contribute an estimated cash-in-lieu payment of \$553,300.00, representing \$550 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees, which will be detailed as part of the Detailed Development Permit, in the future. Once the number of replacement trees is confirmed, the amount owing for the Green City Fund will be revised.
- In summary, the application includes an estimated contribution of \$553,300.00 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Survey Plan, Proposed Subdivision Layout, Site Plan, and General Design
- Appendix II. Engineering Summary
- Appendix III. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix IV. Development Variance Permit No. 7922-0150-00

approved by Shawn Low

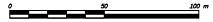
Ron Gill
General Manager
Planning and Development

LFM/cb

PRELIMINARY SUBDIVISION SKETCH PLAN SHOWING THE PROPOSED:

- 1) LOT CONSOLIDATION
 - 2) ROAD DEDICATIONS
 - 3) EASMENTS
 - 4) STATUTORY RIGHTS OF WAY
- OVER PORTIONS OF SECTION 16 TOWNSHIP 12 NEW WESTMINSTER DISTRICT

BCGS 926,016



The proposed plot size of the plan is 884.00 m in width by 1331.00 m in height (E 583) when plotted at a scale of 1:2500

This Plan has been Integrated Survey Act No. 1, Survey, MNRD (CRSL) 43362/LP/MD

Notwithstanding any provision to the contrary, the surveyor shall be deemed to have accepted the accuracy of the information provided to him/her by the client and shall not be liable for any error or omission in the information provided to him/her by the client.

The 1:2500 coordinates and adjusted absolute accuracy obtained are based on the 1982/83 datum and standard deviation for possible control monuments, 1:2500 and 1:5000.

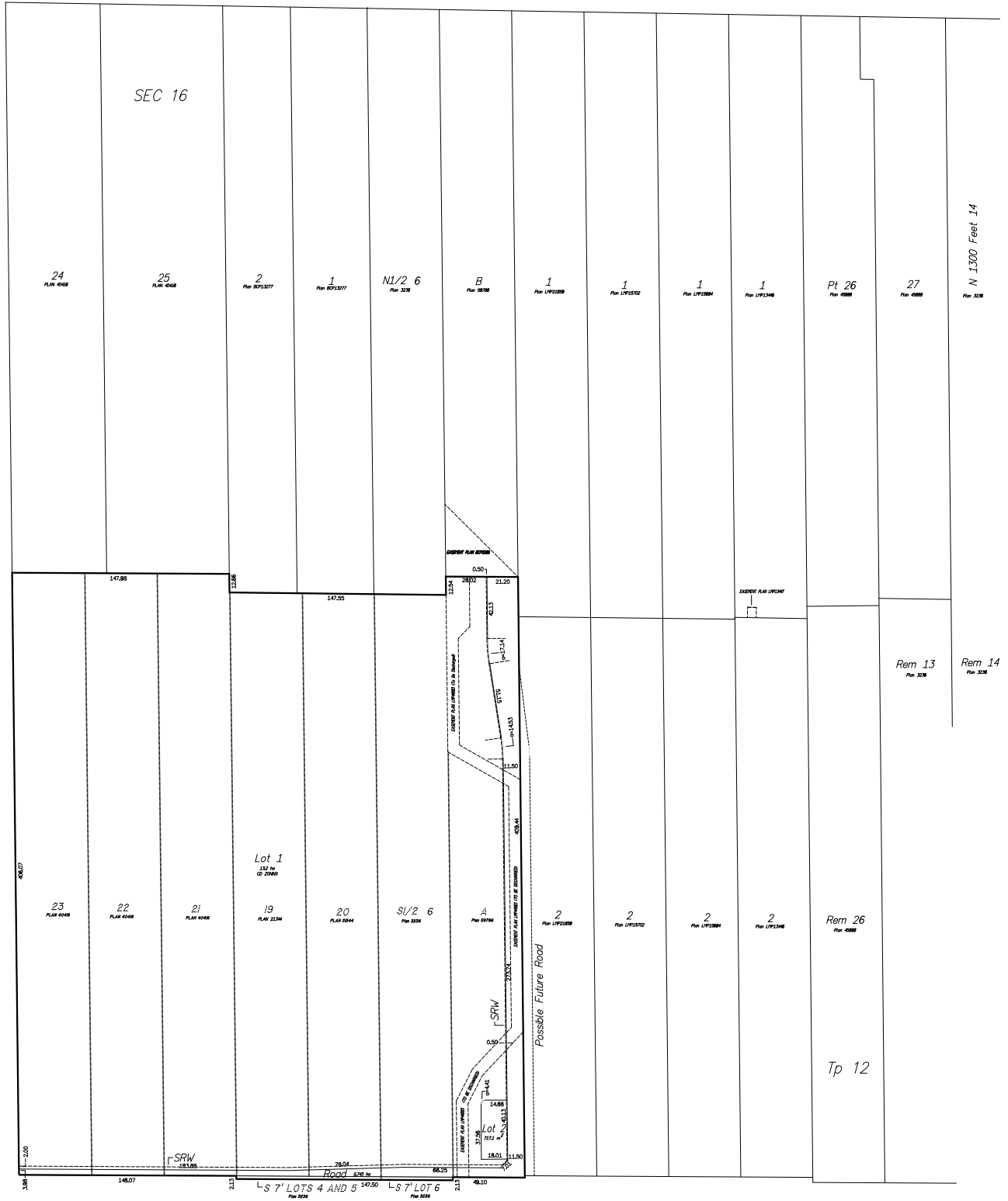
This plan shows horizontal ground-level distances unless otherwise specified. To determine plot vertical height, ground-level distances by the average contour factor of 0.888833. The average contour factor has been determined based on possible control monument 1:2500.

LEGEND:

- All Distances Are in Metres And Decimals Thereof
- ⊙ Control Monument Found
- Standard Iron Post Found
- Standard Iron Post Set

20TH AVENUE

Road (Unconstructed)

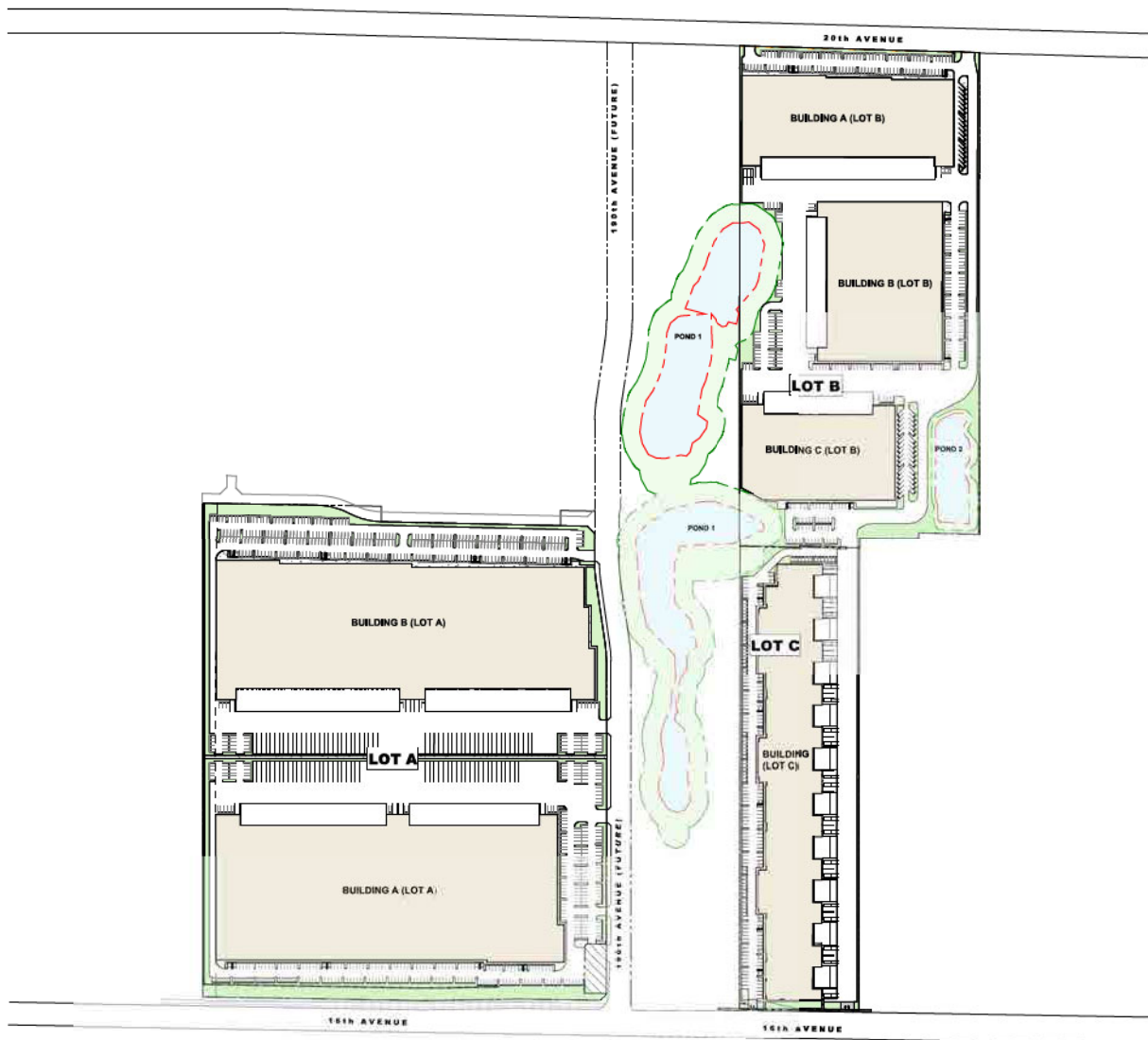


This plan has been prepared in the jurisdiction of the Surveyor General for the City of Surrey.

This plan has been prepared in the Metro Vancouver Regional District.

The field survey represented by this plan was completed on the 27th day of 11/15, 2022.

File Reference: 8215 793



① Master Plan
1" = 150'-0"



REV	DATE	DESCRIPTION
SCALE	1:100	DATE: 2011
PROJECT NUMBER		2007

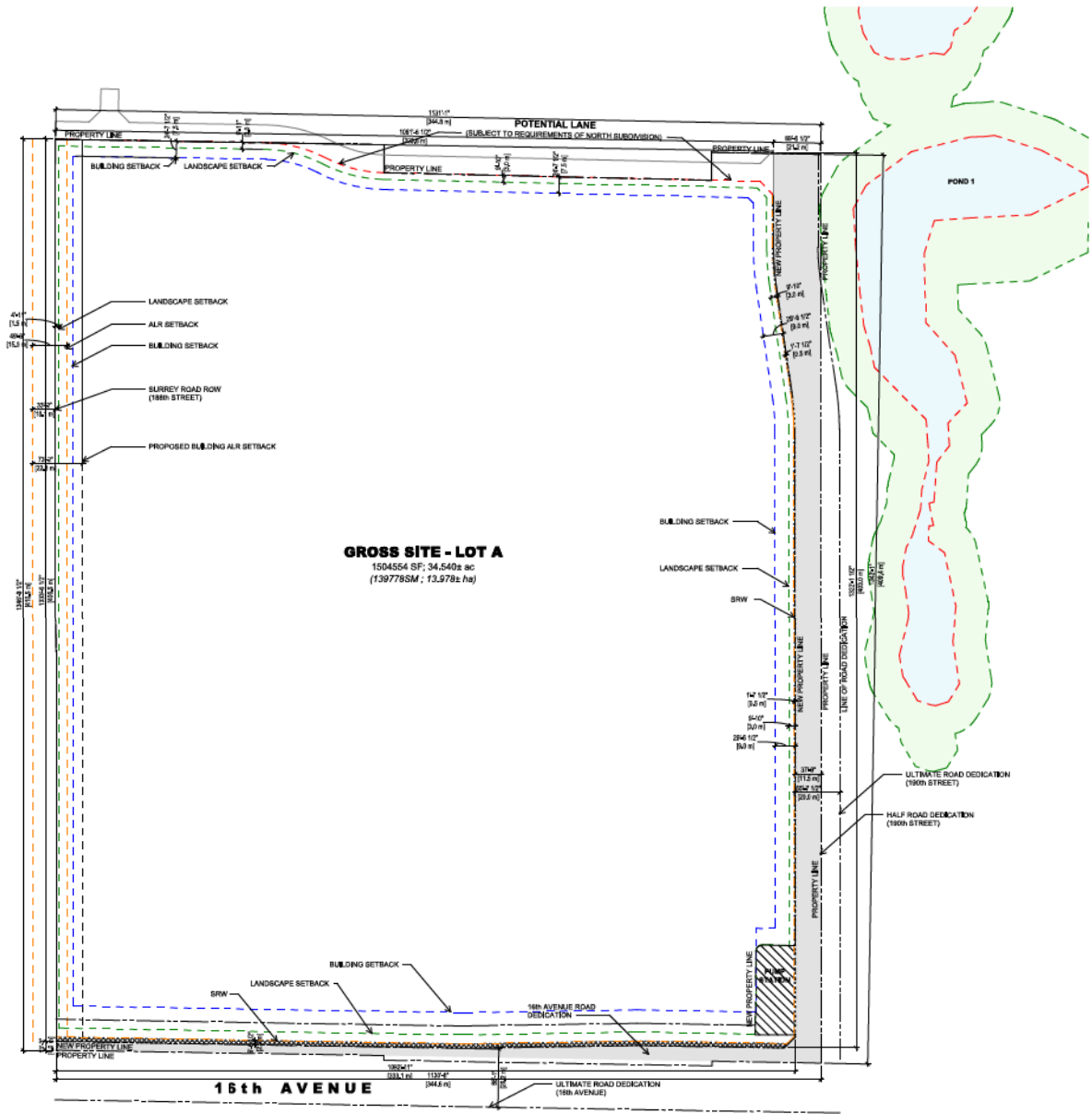
Beedie
TKA+D ARCHITECTURE + DESIGN INC.

**Campbell Heights
South Business Park -
Lot A**
Corner/Strand Property at 16957 - 16601
16th Avenue, Surrey BC

Master Plan
PLOT DATE: 2022-01-17 4:47:30 PM

A1.0





ZONING SUMMARY

Project Address: South Campbell Heights
Surrey, BC

Legal Description: LOT "A" SECTION 16 TOWNSHIP 7 NEW WESTMINSTER DISTRICT PLAN 09785

Authority: City of Surrey
Current: A-1
Proposed: B3

Zone: Business Park 2 Zone

Building Setbacks:

	Required	Provided
Front Yard (South)	18.0m / 52.5ft	30.4 m / 99.7 ft
Street Side Yard (East)	9.0m / 29.5 ft	9.0 m / 29.5 ft
Side Yard (West)	7.5m / 24.6 ft	7.5m / 24.6 ft
Rear Yard (North)	7.5m / 24.6 ft	7.5m / 24.6 ft

Building Height: Maximum 14.0m / 45.9 ft

* One (1) Side yard setback shall be 7.0m or 0.0m if the said side yard abuts land which is designated Commercial, Mixed Employment, or Industrial in the CCP

Landscape Setbacks:

	Required	Provided
South	6.0m / 19.7 ft	6.0m / 19.7 ft
East	3.0m / 9.8 ft	3.0m / 9.8 ft
West	1.5m / 4.9 ft	1.5m / 4.9 ft
North	3.0m / 9.8 ft	3.0m / 9.8 ft

Exemptions:
TBD

PROPERTY AREA SCHEDULE

Gross Site	139,483 m ²	1,591,200 ft ²
16th Ave. Dedication	1,853 m ²	17,500 ft ²
160th St. Dedication	5,456 m ²	58,748 ft ²
Prime Soils	217 m²	2,317 ft²
Net Usable	131,625 m ²	1,410,800 ft ²

Floor Space Ratio (FSR):
 Density Overlay (FSR):
 Maximum: 1.0
 Provided: 0.47

Lot Coverage:
 Maximum: 60%
 Provided: 48%

NOTES:
 ALL DIMENSIONS TO BE VERIFIED WITH A LEGAL SURVEY



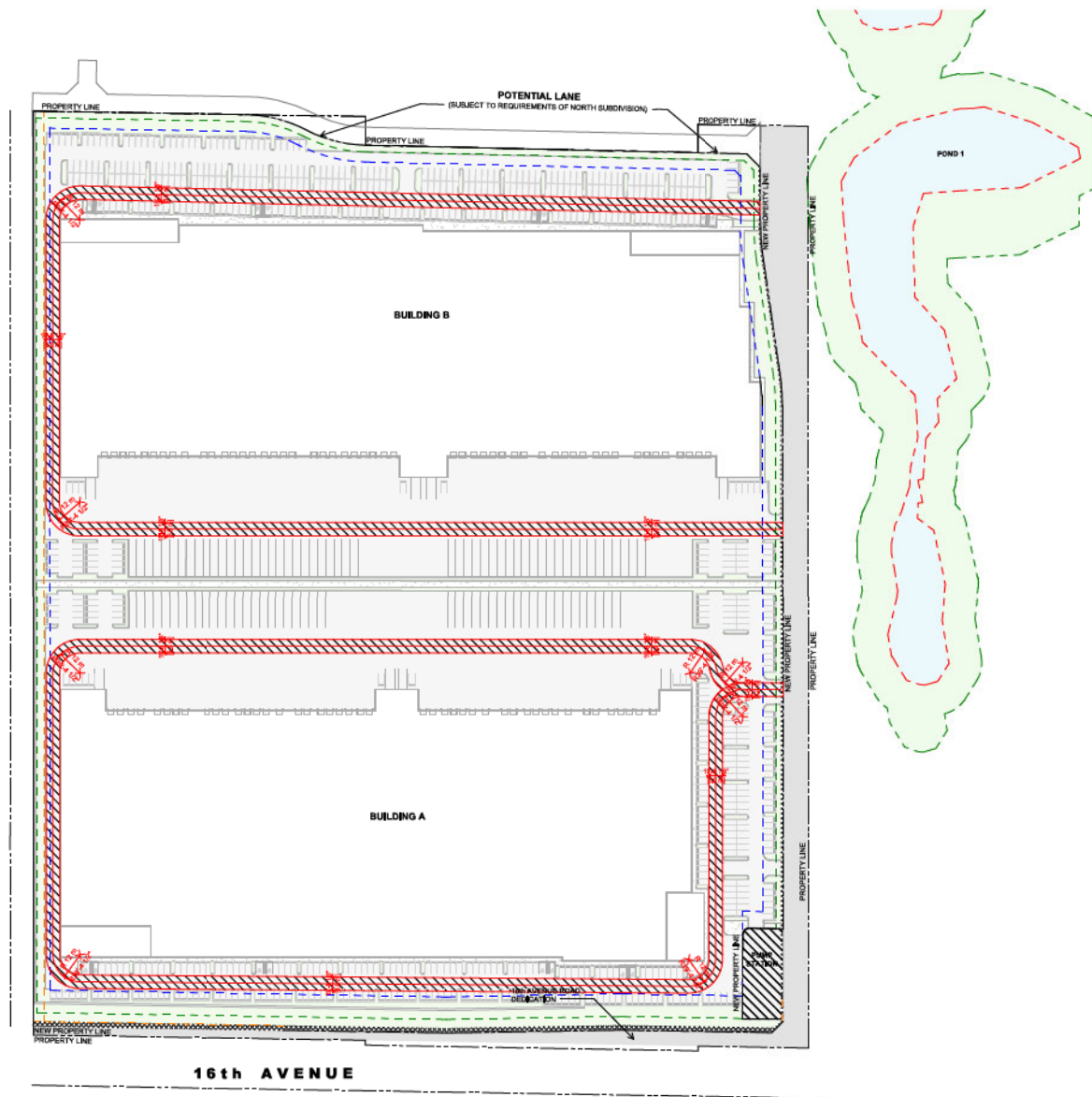
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SCALE:	As Indicated	DATE:	202110	DRAWING:	2507
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FILE:	C:\Users\j\Documents\Projects\16th Avenue\16th Avenue.dwg				
PLT:	C:\Users\j\Documents\Projects\16th Avenue\16th Avenue.dwg				

Beedie
 TKA ARCHITECTURE + DESIGN INC.
 105-11000 BUCKINGHAM STREET, VANCOUVER, BC V6P 1G8

**Campbell Heights
 South Business Park -
 Lot A**
 Corner Bladed Property at 16957 - 16801
 16th Avenue, Surrey BC

Base Plan
 PLOI DATE: 2022-01-17 4:47:31 PM
A2.0

1 Base Plan
 1" = 80'-0"



① Fire Department Access Plan
1" = 80'-0"

- PROPERTY LINE
- LANDSCAPE SETBACK
- BUILDING SETBACK
- ALR SETBACK



2021-1-10

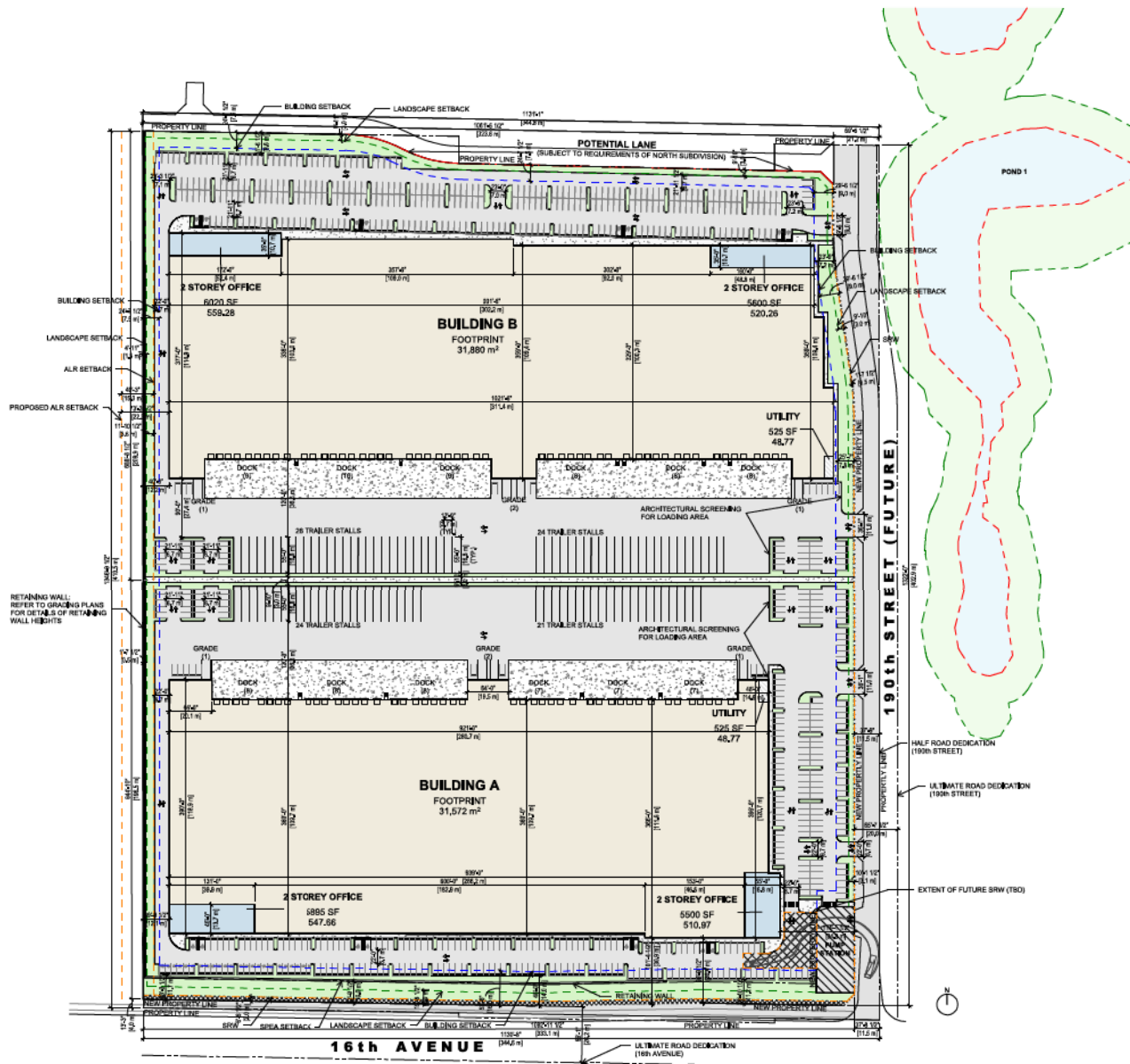
REV	DATE	DESCRIPTION	DRAWING	AUTH
SCALE: As Indicated		DATE: 202110	DRAWING: 2567	
PROJECT NUMBER: 2021-01-10-001		PROJECT INTERMEDIATE OPERATIONS		

Beedie

TKA ARCHITECTURE + DESIGN INC.
100-1100 BROADWAY STREET, VANCOUVER, V6L 4S7 - CANADA

**Campbell Heights
South Business Park -
Lot A**
Corner Based Property at 18957 - 18801
16th Avenue, Surrey BC
**Fire Department Access
Plan**
REV. DATE: 2021-01-17 4:47:34 PM

A3.0



AREA SUMMARY

Area Summary - By Building

Blgd	Area (SF)	Area (RM)
Building A	1,050	98
Building B	350,710	32,582
Building B	354,247	32,911
Area Summary - By Level	706,007	65,590

Area Summary - By Level

Level	Area (SF)	Area (RM)
L1	1,050	98
L2	1,050	98
L1	339,315	31,523
L2	11,395	1,059
Building A	350,710	32,582
L1	342,637	31,831
L2	11,820	1,080
Building B	354,247	32,911

Area Summary - Occupancy or Use

Use	%	Area (SF)	Area (RM)
Offices	9.5%	46,030	4,276
Warehouse (Storage)	93.5%	699,927	65,216
	100.0%	704,957	65,493
Site Area		1,418,800 SF	131,820 m²

Floor Space Ratio (FSR):
 Density Overall (FSR): Maximum: 1.0
 Provided: 0.47

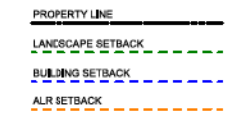
Lot Coverage:
 Maximum: 60%
 Provided: 48%

PARKING SUMMARY

Required Parking

Use	Area (RM)	Factor	Parking Req'd	Total Spaces
L1	98	0	0	0
Offices	1,059	40	26,5	
Warehouse (Light Industrial)	30,499	100	294,9	
L2	1,059	40	26,5	
Building A	32,582		27,2	
L1	1,080	40	27	
Warehouse (Light Industrial)	30,752	100	297,5	
L2	1,080	40	27	
Building B	32,911		281,5	
Parking Provided	65,590		716,1	
L1	GoSunny Accessible: 2.5m (+1.5m) x 5.5m		8	
L1	GoSunny Accessible: Van: 3.6m (+1.2m) x 5.5m		8	
L1	GoSunny Reg: 2.75m x 5.2m		982	
L1	GoSunny Reg: 3.0 x 5.2m x 4.8m		24	
			722	

NOTES:
 ALL DIMENSIONS TO BE VERIFIED WITH A LEGAL SURVEY



1 Site Plan
 1" = 80'-0"



REV	DATE	DESCRIPTION

SCALE: As Indicated | DATE: 2015 | DRAWING: Author
 PROJECT NUMBER: 2567
 ALL DIMENSIONS TO BE VERIFIED WITH A LEGAL SURVEY

Beedie
 TKA ARCHITECTURE + DESIGN INC.
 100-1000 BROAD STREET, VANCOUVER, BC V6X 4S7

Campbell Heights
South Business Park -
Lot A
 Corner-Bounded Property at 18957 - 18801
 16th Avenue, Surrey BC

Site Plan
 PLO DATE: 2025-01-17 4:47:38 PM

A4.0

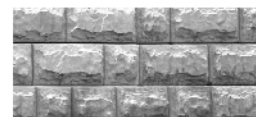


Materials:

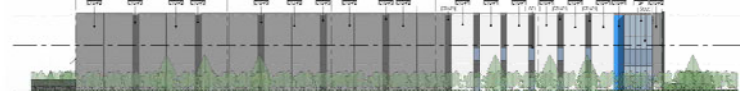
- Concrete Tilt-up, paint finish
- Metal Cladding
- Flashing
- Storefront Glazing
- Curtain Wall Glazing
- Addressing Signage

Retaining Walls:

Public facing Retaining walls to be constructed using product with rock-like finish



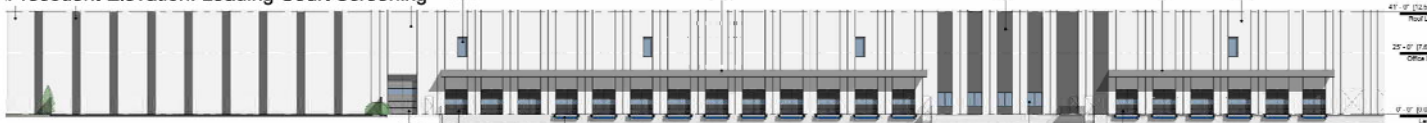
Precedent Elevation: Glazing at Frontage



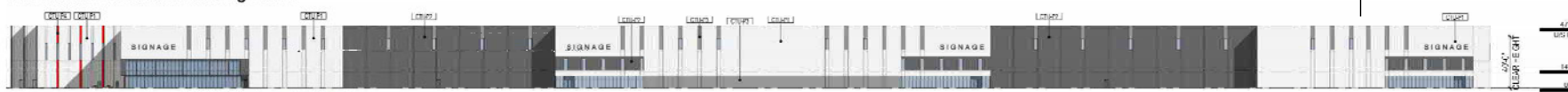
Precedent Elevation: Glazing Wrapping at Corner



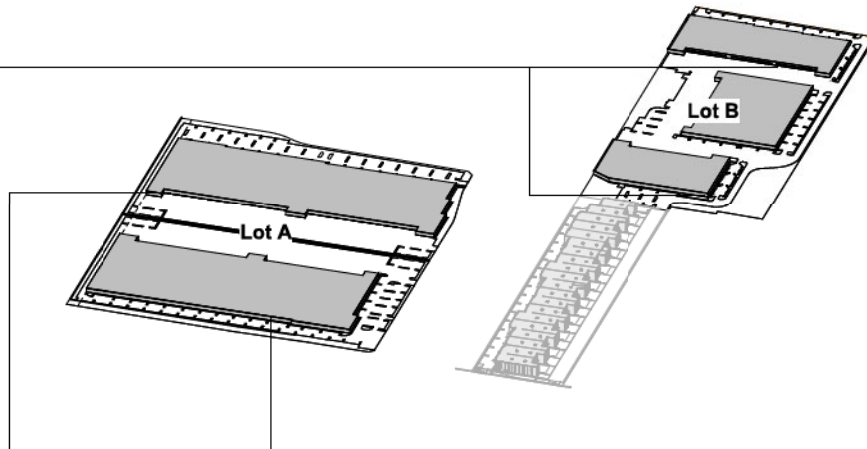
Precedent Elevation: Loading Court Screening



Precedent Elevation: Loading Court



Precedent Elevation: Unit Glazing @ Entries



REV	DATE	DESCRIPTION

PROJECT NUMBER: 2567
DATE: 20110
DRAWING: A5.0

Beedie
TKA ARCHITECTURE + DESIGN INC.
100-1100 BUCKINGHAM STREET, VANCOUVER, BC V6J 1K5

Campbell Heights South Business Park - Lot A
Corner Bated Property at 18957 - 18801 16th Avenue, Surrey BC
Building Precedents - Lease
PLOT DATE: 2025-01-17 9:27:25 PM

A5.0

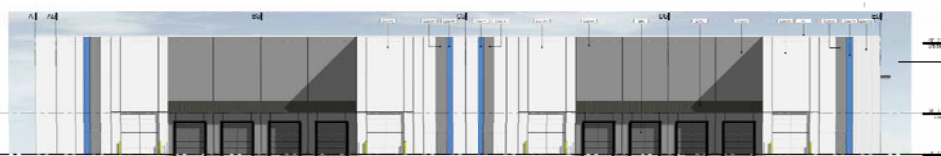
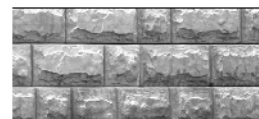


Materials:

- Concrete Tilt-up, paint finish
- Metal Cladding
- Flashing
- Storefront Glazing
- Curtain Wall Glazing
- Addressing Signage

Retaining Walls:

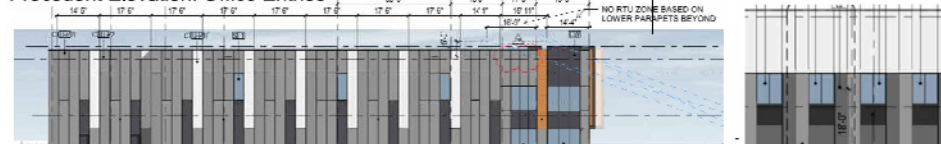
Public facing Retaining walls to be constructed using product with rock-like finish



Precedent Elevation: Loading Court



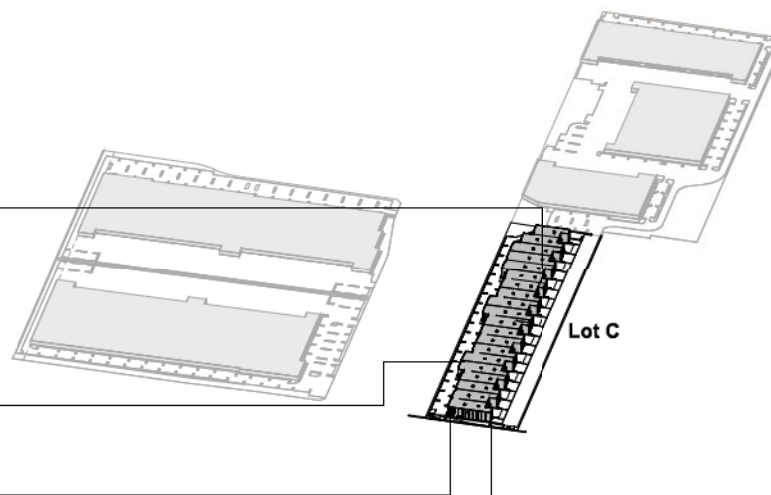
Precedent Elevation: Office Entries



Precedent Elevation: Glazing Wrapping at Corner



Precedent Elevation: Unit Glazing @ Entries



REV	DATE	DESCRIPTION	SCALE	DATE	20110	DRAWING	A6.0
PROJECT NUMBER		DATE		DRAWING		2567	
<small>TKA ARCHITECTURE + DESIGN INC. 100-1100 WEST 10TH AVENUE, SUITE 100, SURREY, BC V4L 1G7, CANADA</small>							

Beedie

TKA ARCHITECTURE + DESIGN INC.
 100-1100 WEST 10TH STREET, SURREY, BC V4L 1G7, CANADA
Campbell Heights
South Business Park -
Lot A
 Corner/Shared Property at 18957 - 18801
 18th Avenue, Surrey BC
Building Precedents -
 Strata
 PLOT DATE: 2025-01-17 9:27:30 PM

A6.0

INTER-OFFICE MEMO

TO: **Director, Area Planning & Development
- South Surrey Division Planning and Development Department**

FROM: **Director, Land Development, Engineering Department**

DATE: **January 20, 2025**

PROJECT FILE: **7822-0150-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 18825 16 Ave**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 3.98 m – 6.56 m along 16 Avenue.
- Dedicate 11.5 m along 190 Street.
- Dedicate 5.0 m X 5.0 m corner cut at 16 Avenue and 190 Street.
- Dedicate 3.0 m X 3.0 m corner cut at 16 Avenue and 188 Street.
- Register 2.0 m SRW along 16 Avenue.
- Register 0.5 m SRW along 190 Street.

Works and Services

- Restore the riparian area and construct maintenance access along west side of 188 Street.
- Construct the west side of 190 Street.
- Provide downstream analysis for drainage and sanitary systems, and address as required.
- Construct storm sewer along 190 Street.
- Construct watermains along 192 Street, 16 Avenue and 190 Street to service the development.
- Construct sanitary mains along 190 Street.
- Construct sanitary and water service connections to service the development.
- Register the applicable legal documents as determined during the detailed design stage.



Jeff Pang, P.Eng.
Director, Land Development

BD

TREE PRESERVATION BY LOCATION


Surrey File Number:	TBD
Address:	18825, 18843, 18861, 18885, 18919, 18937 16
Arborist:	Corey Plester, PN-8523A
Date of Report/Revision: report	January 10, 2025

Alder & Cottonwood Trees			
	Existing	Remove	Retain
Alder/Cottonwood (outside riparian area)	98	98	0
Alder/Cottonwood (within riparian area)	0	0	0
Total	98	98	0
Deciduous Trees			
Tree Species	Existing	Remove	Retain
<i>Willow, Golden</i>	4	4	0
<i>Cherry sp.</i>	32	32	0
<i>Cherry, Bitter</i>	7	7	0
<i>Apple</i>	21	21	0
<i>Pear</i>	1	1	0
<i>Horsechestnut</i>	7	7	0
<i>Poplar, Lombardy</i>	6	6	0
<i>Poplar, Trembling Aspen</i>	1	1	0
<i>Maple, Japanese</i>	1	1	0
<i>Maple, Bigleaf</i>	17	17	0
<i>Birch, Paper</i>	30	30	0
<i>Birch, European</i>	2	2	0
<i>Plum, Purple Leaf</i>	2	2	0
<i>Plum sp.</i>	6	6	0
<i>Oak, Pin</i>	1	1	0
<i>Oak, English</i>	2	2	0
<i>Walnut, English</i>	6	6	0
<i>Ash, Sitka Mountain</i>	1	1	0
<i>Holly, English</i>	2	2	0
Deciduous Subtotal	149	149	0
Coniferous Trees			
Tree Species	Existing	Remove	Retain
<i>Douglas-fir</i>	67	67	0
<i>Cedar, Western Redcedar</i>	185	185	0
<i>Cedar, Western Redcedar Zebra</i>	1	1	0
<i>Spruce, Sitka</i>	12	12	0
<i>Spruce, White</i>	1	1	0
<i>Pine, Austrian</i>	1	1	0
<i>Hemlock, Western</i>	32	32	0
<i>Dawn Redwood</i>	1	1	0
Coniferous Subtotal	300	300	0
Deciduous & Coniferous Total	449	449	0

ONSITE

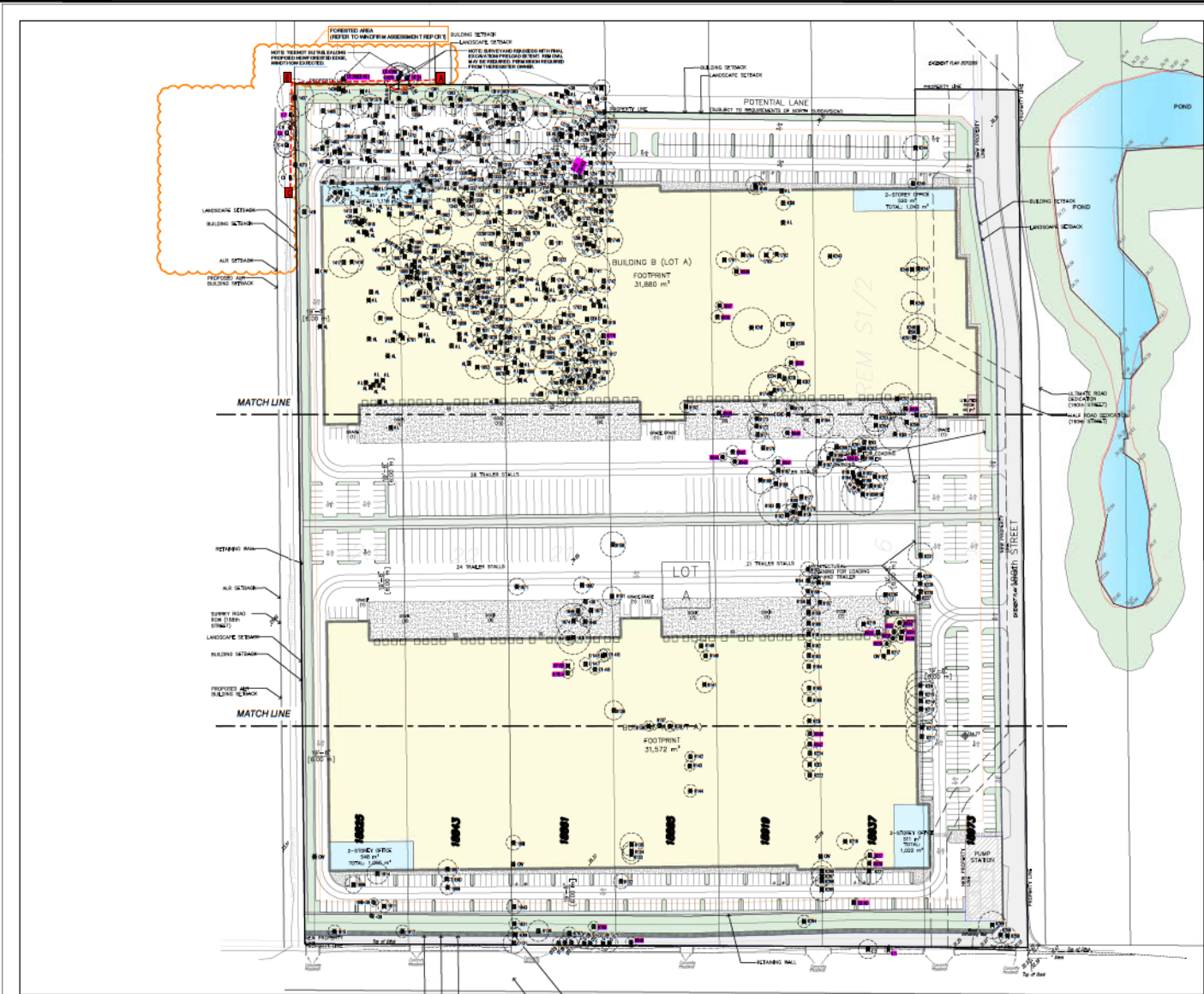
	Trees within riparian area	0	0	0
	Onsite Tree Totals	547	547	0
	Onsite Replacement Trees Proposed *insert "0" if TBD or unknown		TBD	
	Total Onsite Retained and Replacement Trees		TBD	
OFFSITE	Alder & Cottonwood Trees			
		Existing	Remove	Retain
	Alder/Cottonwood (outside riparian area)	1	1	0
	Alder/Cottonwood (within riparian area)	0	0	0
	Total	1	1	0
	(excluding Alder & Cottonwood Trees)			
	Tree Species	Existing	Remove	Retain
	<i>Douglas-fir</i>	2	0	2
	Deciduous & Coniferous Total	2	0	2
	Offsite Tree Totals	3	1	2
	Total Offsite Retained Trees		2	
CITY		Existing	Remove	Retain
	Park/City Lot Trees	5	3	2
	Boulevard Trees	2	2	0
	Total	7	5	2

TREE PRESERVATION SUMMARY

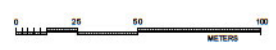
Surrey File Number:	TBD
Address:	18825, 18843, 18861, 18885, 18919, 18937 16 Ave
Arborist:	Corey Plester, PN-8523A
Date of Report/Revision:	January 10, 2025
Arborist Signature	

*All trees identified for removal, retention and/or replacement are subject to change prior to final approval of the arborist report

ONSITE TREES		# of Trees	
Existing Bylaw Trees		547	
Proposed Removed Bylaw Trees		547	
Proposed Retained Bylaw Trees		0	
Total Replacement Trees Required			
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio			
	Removed	Subtotal	
	98	x 1	98
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio			
	Removed	Subtotal	
	0	x 2	0
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio			
	Removed	Subtotal	
	449	x 2	898
Required Replacement Trees		996	
Proposed Replacement Trees		TBD	
Deficit of Replacement Trees		TBD	
Total Onsite Retained and Replacement Trees		0	
OFFSITE TREES		# of Trees	
Existing Bylaw Trees		3	
Proposed Removed Bylaw Trees		1	
Proposed Retained Bylaw Trees		2	
Total Replacement Trees Required			
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio			
	Removed		
	1	x 1	1
Alder & Cottonwood Trees Requiring 2 to 1 Replacement Ratio			
	Removed		
	0	x 2	0
Deciduous/Coniferous Trees Requiring 2 to 1 Replacement Ratio			
	Removed		
	0	x 2	0
Required Replacement Trees		1	
Total Offsite Retained Trees		2	
CITY TREES		Existing	Removed
Park/City Lot Trees	5	3	2
Boulevard Trees	2	2	0
Total	7	5	2



- GENERAL NOTES:**
- REASSESS ALL RETAINED TREES WITH RNAL DEVELOPMENT PLANS.
 - ALL RETAINED TREES TO UNDERGO EDGE TREE RISK ASSESSMENT FOLLOWING LAND CLEARING
 - TREE PROTECTION FENCING SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS.



- LEGEND**
- TREE TO BE RETAINED
 - TREE TO BE REMOVED
 - NON BY-LAW TREE
 - TREE TO BE SURVEYED AND REASSESSED
 - TREE HEDGE NOT SURVEYED LOCATION IS APPROXIMATE
 - MINIMUM NO DISTURBANCE ZONE
 - 1.5m NO-BUILD ZONE

NO.	DATE	BY	REVISION
1	NOV2024	MK	SITE PLAN
2	JAN1025	MK	SITE PLAN & REVISIONS

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3W0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0302
 Email: mfadum@fadum.ca

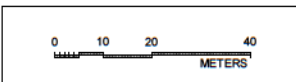
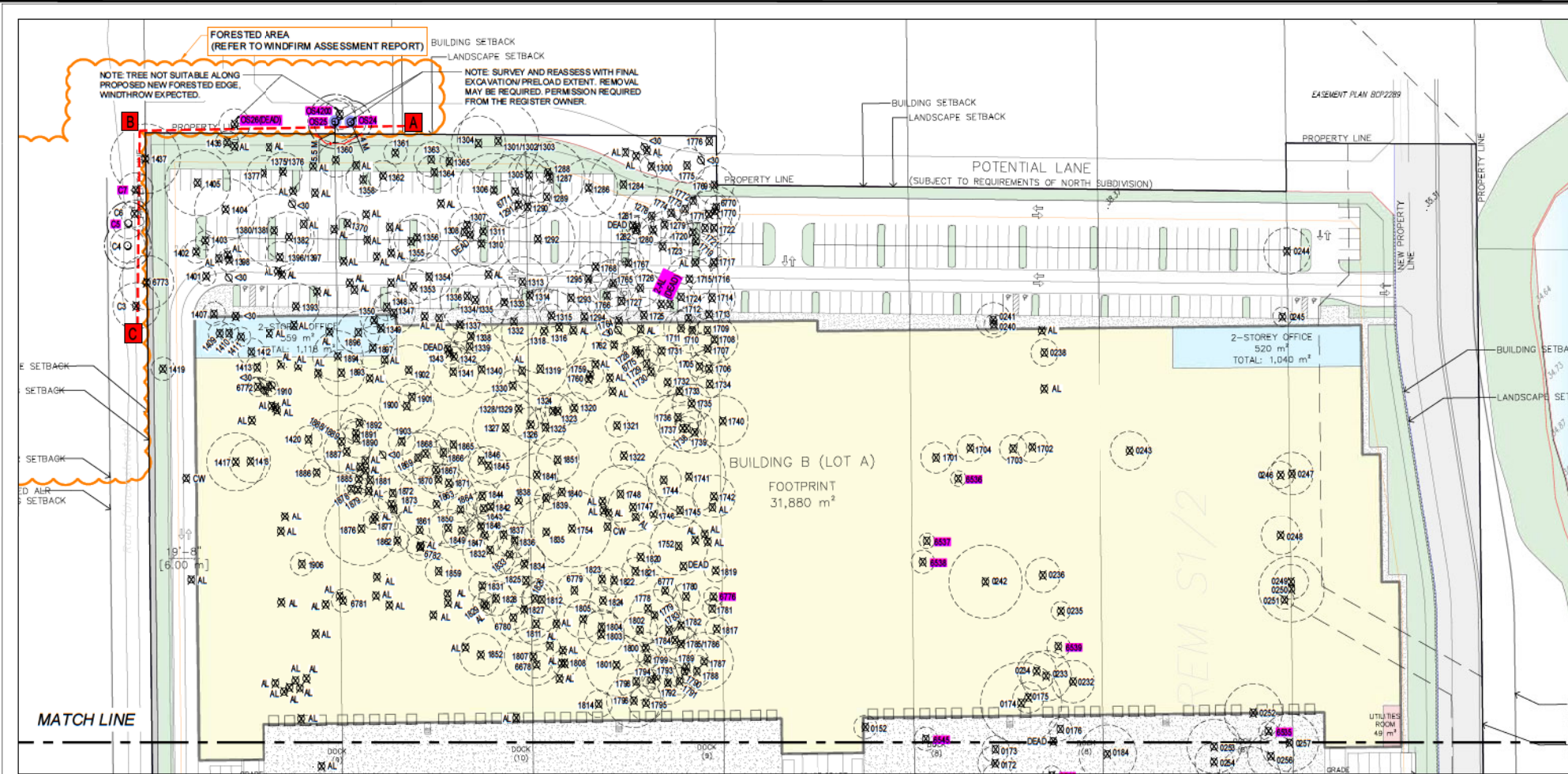
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PROJECT TITLE
 CAMPBELL HEIGHTS
 SOUTH BUSINESS PARK
 LOT A
 18825 1843 1881 18855 18919
 18937 18973 18 AVENUE
 SURREY, B.C.

SHEET TITLE
 T1 - TREE REMOVAL AND
 PRESERVATION PLAN
CLIENT

DRAWN MK
SCALE AS SHOWN
DATE OCTOBER 25, 2021

T-1
 SHEET 1 OF 4



LEGEND	
	TREE TO BE RETAINED
	TREE TO BE REMOVED
	NON BY-LAW TREE
	TREE/EDGE NOT SURVEYED TAG LOCATION IS APPROXIMATE
	MINIMUM NO DISTURBANCE ZONE
	1.5m NO-BUZZ ZONE
	TREE TO BE SURVEYED AND REASSESSED

GENERAL NOTES:

- REASSESS ALL RETAINED TREES WITH FINAL DEVELOPMENT PLANS.
- ALL RETAINED TREES TO UNDERGO EDGE TREE RISK ASSESSMENT FOLLOWING LAND CLEARING.
- TREE PROTECTION FENCING SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS.

STAMP	NO.	DATE	BY	REVISION
	1	NOV2024	MK	SITE PLAN
	2	JAN1025	MK	SITE PLAN & REVISIONS

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

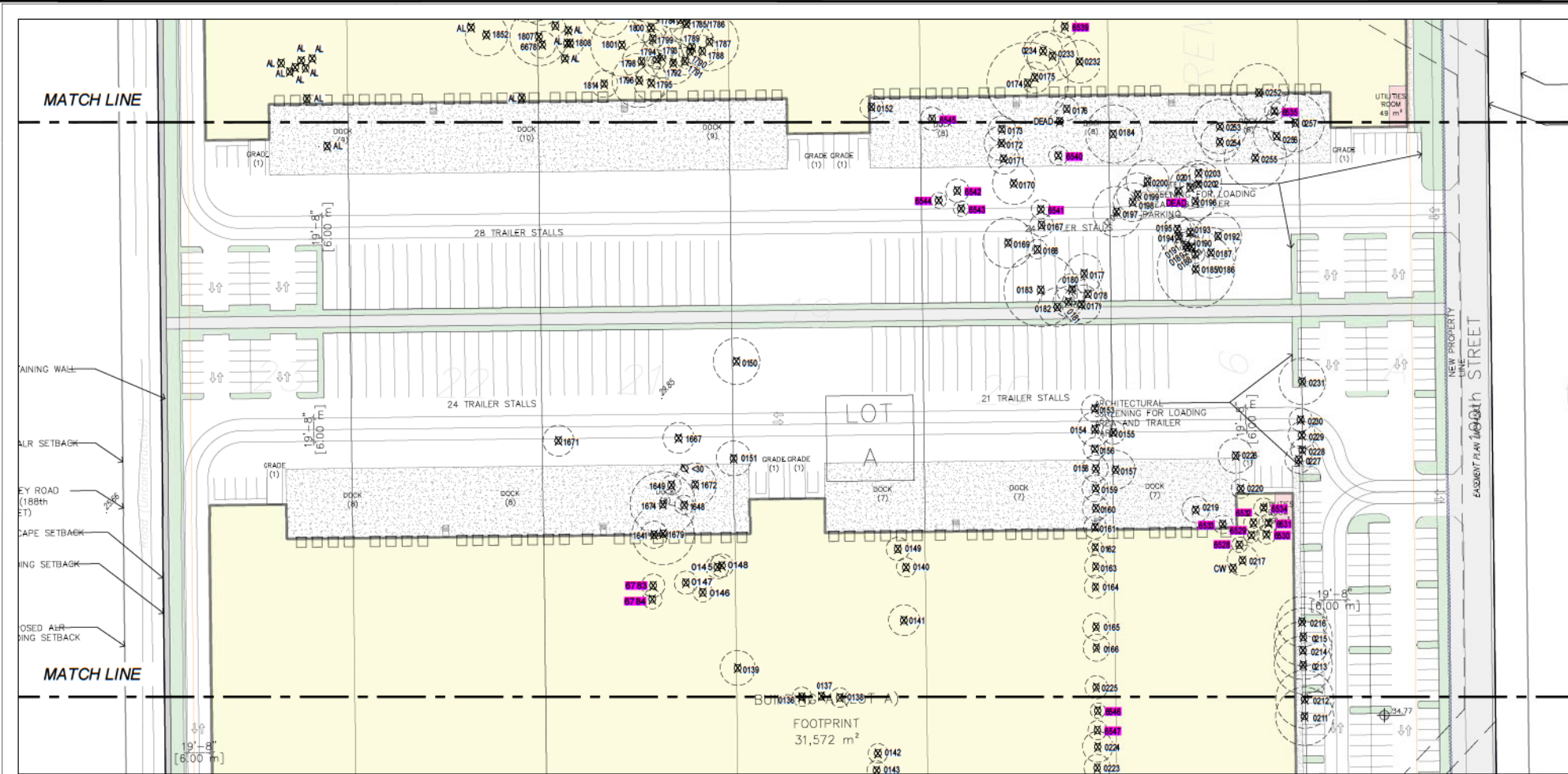
#105 8277 129 St.
Surrey, British Columbia
V3V0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Email: m.fadum@fadum.ca

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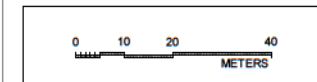
PROJECT TITLE
CAMPBELL HEIGHTS
SOUTH BUSINESS PARK
LOT A
18825 1843 18881 18885 18919
18927 18973 18 AVENUE
SURREY, B.C.

SHEET TITLE
T1A - TREE REMOVAL AND
PRESERVATION PLAN
CLIENT

DRAWN MK	T-1A SHEET 2 OF 4
SCALE AS SHOWN	
DATE OCTOBER 25, 2021	



MATCH LINE
 MAINTAINING WALL
 ALR SETBACK
 EY ROAD (188th ST)
 CAPE SETBACK
 KING SETBACK
 COSEED ALR
 KING SETBACK
 MATCH LINE



LEGEND

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- NON BY-LAW TREE
- TREE HEDGE NOT SURVEYED
- LOCATION IS APPROXIMATE
- MINIMUM NO DISTURBANCE ZONE
- 1.5m NO-BUILD ZONE
- TREE TO BE SURVEYED AND REASSESSED

GENERAL NOTES

- REASSESS ALL RETAINED TREES WITH FINAL DEVELOPMENT PLANS.
- ALL RETAINED TREES TO UNDERGO EDGE TREE RISK ASSESSMENT FOLLOWING LAND CLEARING.
- TREE PROTECTION FENCING SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS.

NO.	DATE	BY	REVISION
1	NOV2024	MK	SITE PLAN
2	JAN1925	MK	SITE PLAN & REVISIONS

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105 8277 129 St.
 Surrey, British Columbia
 V3V0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0302
 Email: m.fadum@fadum.ca

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PROJECT TITLE
 CAMPBELL HEIGHTS
 SOUTH BUSINESS PARK
 LOT A
 18825 1843 1881 18855 18919
 18927 18973 18 AVENUE
 SURREY, B.C.

SHEET TITLE
 T1B - TREE REMOVAL AND
 PRESERVATION PLAN
CLIENT

DRAWN MK
SCALE AS SHOWN
DATE OCTOBER 25, 2021

T-1B
 SHEET 3 OF 4

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0150-00

Issued To:

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 001-731-726

The South Half of Lot 6 Except: The South 7 Feet; Section 16 Township 7 New Westminster District Plan 3236

18937 - 16 Avenue

Parcel Identifier: 000-702-471

Lot 19 Section 16 Township 7 New Westminster District Plan 21344

18885 - 16 Avenue

Parcel Identifier: 001-731-696

Lot 20 Section 16 Township 7 New Westminster District Plan 21344

18919 - 16 Avenue

Parcel Identifier: 005-253-667

Lot 21 Section 16 Township 7 New Westminster District Plan 40416

18861 - 16 Avenue

Parcel Identifier: 005-253-713

Lot 22 Section 16 Township 7 New Westminster District Plan 40416

18843 - 16 Avenue

Parcel Identifier: 005-253-748
Lot 23 Section 16 Township 7 New Westminster District Plan 40416

18825 - 16 Avenue

Parcel Identifier: 005-796-199
Lot "A" Section 16 Township 7 New Westminster District Plan 59786

18973 - 16 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Subsection B1. Streamside Setbacks Areas, of Part 7A Streamside Protection, the minimum setback from the top of bank of a Class A Channelized Stream is varied from 25 metres to 10 metres; and
- (b) In Subsection B1. Streamside Setbacks Areas, of Part 7A Streamside Protection, the minimum setback from the top of bank of a Class B Ditch is varied from 7 metres to 2 metres.

5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.

8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli



1000 Agincourt Drive, Burnaby BC V5A 3P6
 TEL: 604-463-8822 FAX: 604-463-2700

CONSULTANT



CLIENT APPROVAL

COMPANY STAMP/SIGNATURE
 DATE

REVISIONS

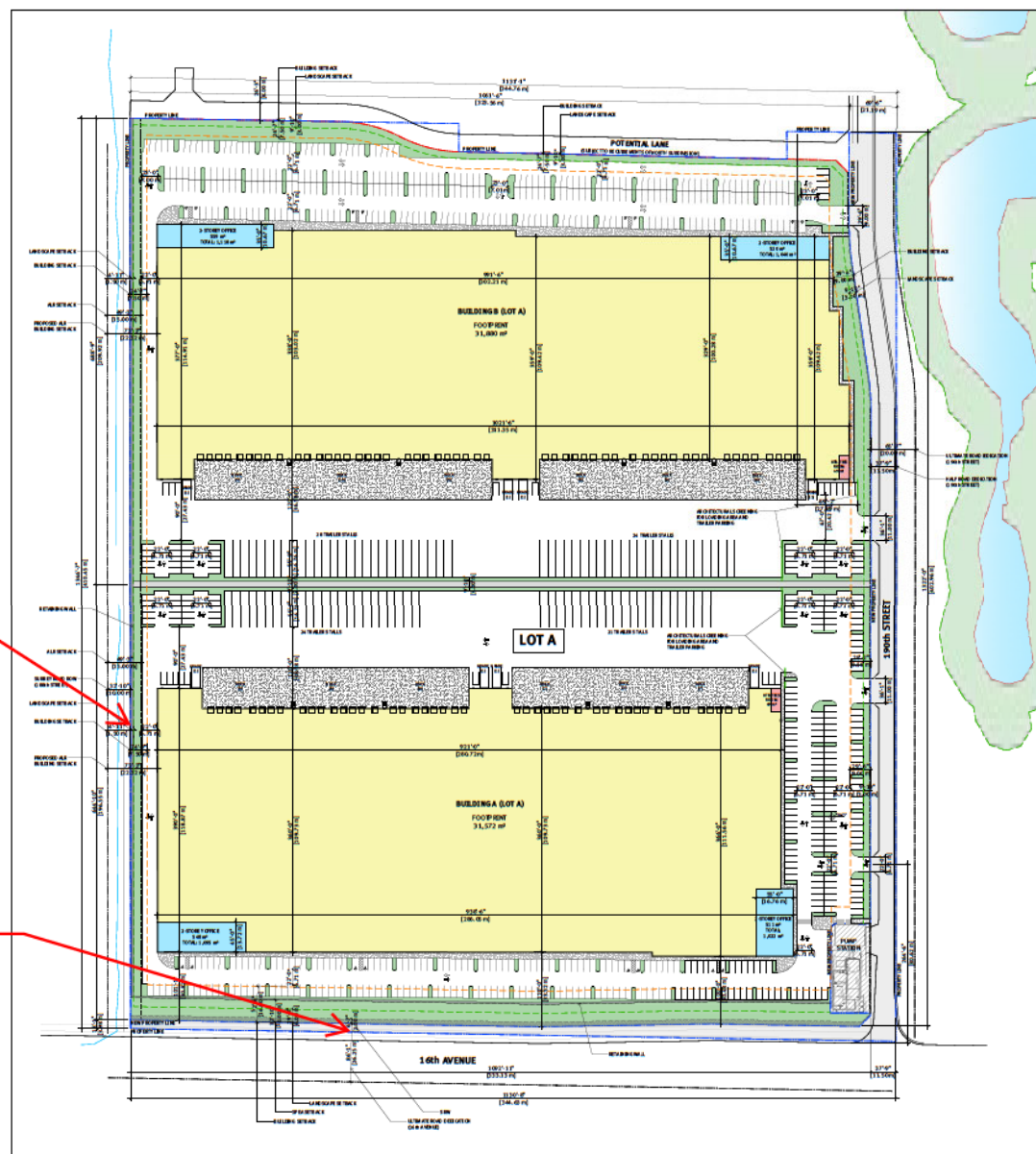
SOUTH CAMPBELL
 HEIGHTS, SURREY/BC

PRELIMINARY
 SITE PLAN
 LOT A

DRAWN BY: []
 CHECKED BY: []
 DATE: 01/04/25
 SCALE: 1:5000
 SHEET NO:

(b) In Subsection B1. Streamside Setbacks Areas, of Part 7A Streamside Protection, the minimum setback from the top of bank of a Class B Ditch is varied from 7 metres to 2 metres

(a) In Subsection B1. Streamside Setbacks Areas, of Part 7A Streamside Protection, the minimum setback from the top of bank of a Class A Channelized Stream is varied from 25 metres to 10 metres



SUMMARY TABLE			
PROPERTY AREA	10,000 sq m		
LANDSCAPE SETBACK	1,000 sq m		
BUILDING SETBACK	5,000 sq m		
REMAINING AREA	4,000 sq m		
PROPOSED AREA	10,000 sq m		
LANDSCAPE SETBACK	1,000 sq m		
BUILDING SETBACK	5,000 sq m		
REMAINING AREA	4,000 sq m		
PROPOSED AREA	10,000 sq m		
LANDSCAPE SETBACK	1,000 sq m		
BUILDING SETBACK	5,000 sq m		
REMAINING AREA	4,000 sq m		

01 Site Plan

NOTES:
 ALL DIMENSIONS WILL NEED TO BE VERIFIED WITH A LEGAL SURVEY.