



CORPORATE REPORT

NO: R210

COUNCIL DATE: November 4, 2024

REGULAR COUNCIL

TO: Mayor & Council **DATE: October 29, 2024**

FROM: Acting General Manager, Planning & Development **FILE: 6745-20 (SSMUH)**

SUBJECT: Transition from Single-Family Residential Zones to Small-Scale Multi-Unit Housing Zones for In-stream Development Applications – Sixth Batch

RECOMMENDATION

The Planning & Development Department recommends that Council:

1. Receive this report for information;
2. Authorize staff to close and file in-stream zoning bylaw amendments to *Surrey Zoning Bylaw, 1993, No. 12000*, as amended, and associated development variance permits, to align with provincial housing legislation and new Small-Scale Multi-Unit Housing zones, which reference original single-family or duplex zones, as provided in Appendix “I”;
3. Authorize staff to close and file in-stream development variance permits without any associated rezoning, to align with provincial housing legislation and new Small-Scale Multi-Unit Housing zones, which reference original single-family or duplex zones, as provided in Appendix “II”;
4. Authorize staff to close and file in-stream Comprehensive Development bylaw amendments to *Surrey Zoning Bylaw, 1993, No. 12000*, as amended, and associated development variance permits, to align with provincial housing legislation and new Small-Scale Multi-Unit Housing zones, which reference original single-family or duplex zones, as provided in Appendix “III”; and
5. Authorize the City Clerk to provide notification for replacement of new amendment bylaws, and any associated development variance permits, and schedule for Council consideration of first, second, and third readings of new bylaw amendments for November 18, 2024, and approval as to form for associated development variance permits after final adoption.

INTENT

The intent of this report is to facilitate alignment of in-stream rezoning and development variance permit applications with the new Small-Scale Multi-Unit Housing zoning bylaw requirements mandated by provincial legislation and as adopted by the City on July 8, 2024 to allow in-stream application processes to proceed under the zoning currently in effect.

BACKGROUND

In November 2023, the Provincial Government introduced legislation under Bill 44, which included Small-Scale Multi-Unit Housing (“SSMUH”) requirements intended to facilitate additional housing supply and affordability in British Columbia communities.

On June 10, 2024, Council endorsed Corporate Report No. R0109; 2024, titled “Small-Scale Multi-Unit Housing: Zoning By-law Amendments Related to Provincial Housing Legislation”. These amendments to *Surrey Zoning By-law, 1993, No. 12000* (the “Zoning By-law”) align with provincial housing legislation by replacing 14 single-family zones, one semi-detached zone, four gross density zones, and one duplex zone with nine new SSMUH zones.

DISCUSSION

The new SSMUH Zoning By-law amendments adopted on July 8, 2024 impact about 150 single-family and duplex development applications at third reading. Applications that received final adoption prior to July 8, 2024, or that are proposed to be rezoned from an old single-family or duplex zone to a non-SSMUH zone are not impacted. The impacted in-stream bylaws will need to be filed and closed, and new bylaw replacements and associated development variance permits introduced to align to with new SSMUH zones.

In order to streamline this administrative requirement, it is proposed that these bylaws be brought forward for Council’s consideration in batches over the coming months. This is the sixth batch. The batches that have already been forwarded to Council are noted in the following table:

Batch Number	Council Date
1	July 22
2	September 9
3	September 23
4	October 7
5	October 21

The attached Appendix “I” lists the current batch of in-stream zoning bylaw amendment applications, including any associated development variance permits. Appendix “II” lists the current batch of in-stream development variance permits without rezoning, and Appendix “III” lists the current batch of in-stream Comprehensive Development (CD) bylaw amendment applications, including any associated development variance permits.

Notification

Section 464 of the *Local Government Act* prohibits public hearings solely for zoning bylaw amendments related to Section 481.3 (zoning bylaws and small-scale multi-family housing), and therefore no public hearing is required. Notification will be provided in accordance with applicable bylaws and legislative requirements.

Legal Services Review

Legal Services has reviewed this report.

CONCLUSION

This report provides for a sixth batch of in-stream Zoning By-law amendment applications to ensure conformity with the new SSMUH framework and alignment with updated zones and regulations.

Original signed by

Ron Gill, MA, MCIP, RPP

Acting General Manager, Planning & Development

Appendix "I" Table of Original and Replacement Bylaws in compliance with SSMUH Zoning By-law Amendments with any associated DVPs

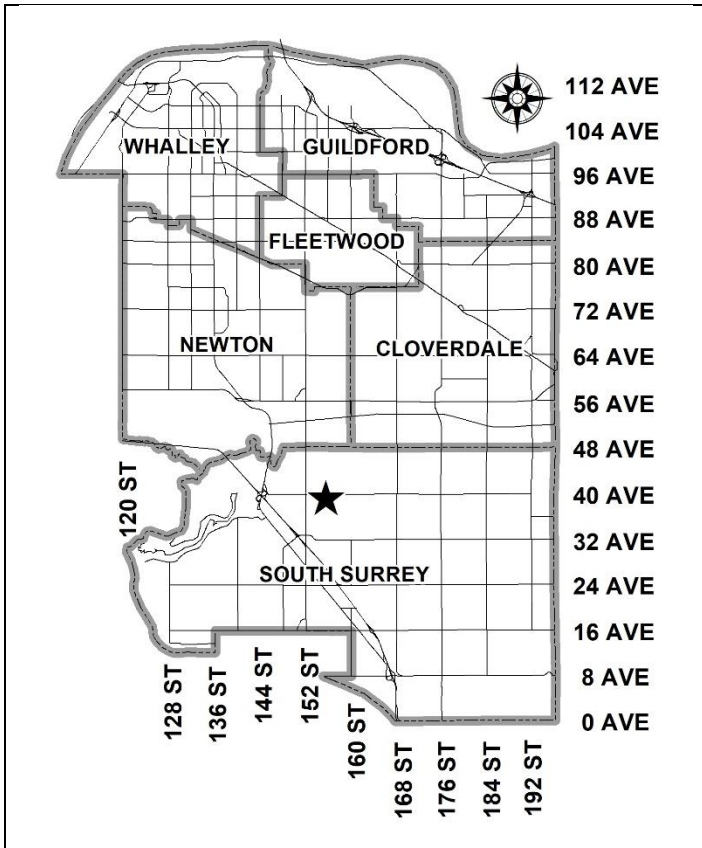
Appendix "II" Table of Original and Replacement DVPs without Rezoning in compliance with SSMUH Zoning By-law Amendments

Appendix "III" Table of Original and Replacement CD Bylaws in compliance with SSMUH Zoning By-law Amendments with any associated DVPs

City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7921-0318-00

Planning Report Date: March 28, 2022



PROPOSAL:

- **NCP Amendment** from Suburban ½ Acre Residential to Suburban ¼ Acre Residential
- **Rezoning** from RH to RQ
- **Development Variance Permit**

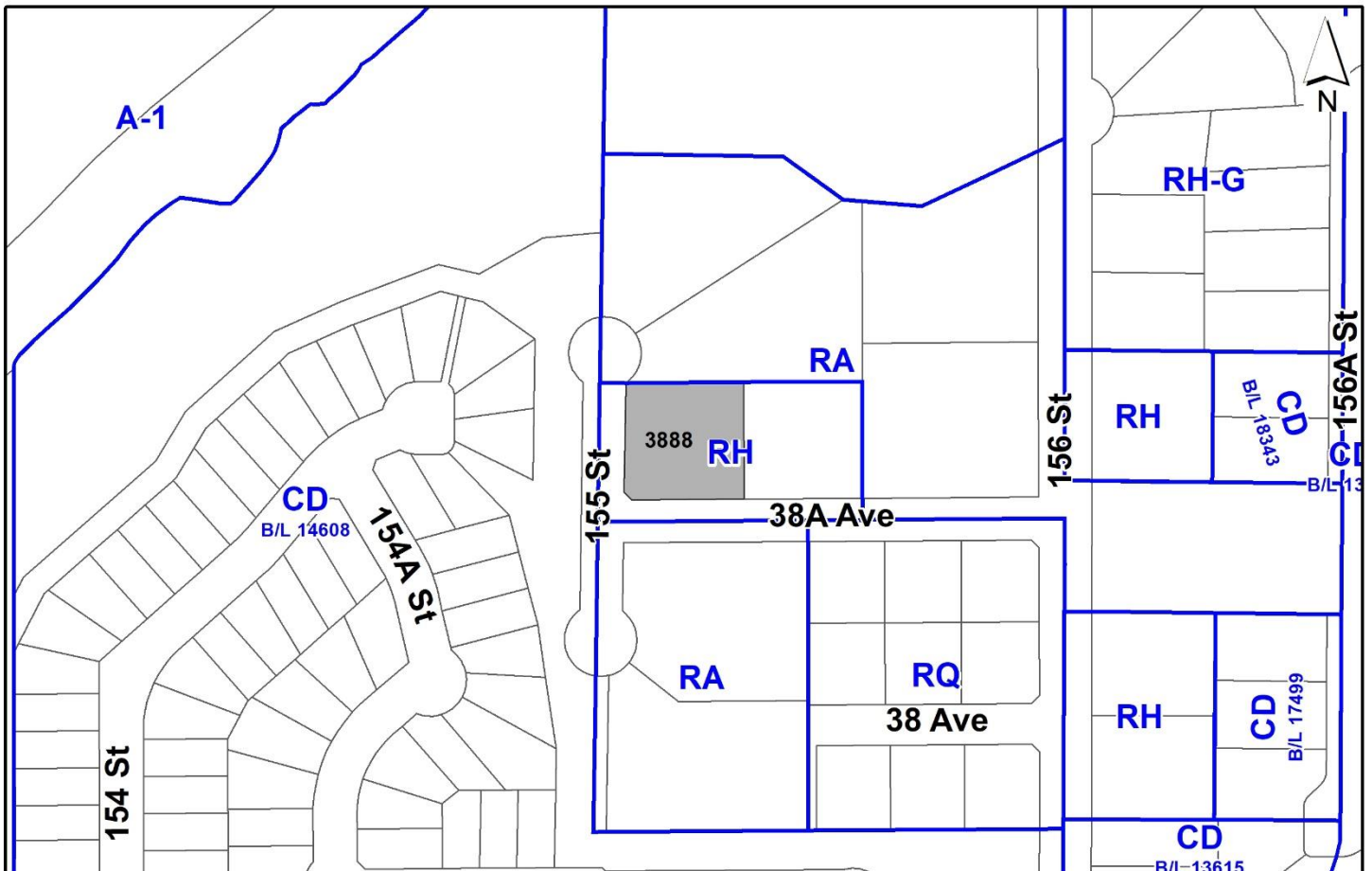
to reduce the lot width from 24.0m to 23.0m and to allow for subdivision into 2 lots.

LOCATION: 3888 - 155 Street

ZONING: RH

OCP DESIGNATION: Suburban

NCP DESIGNATION: ½ Acre Residential



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Rosemary Heights West Neighbourhood Concept Plan (NCP) from Suburban ½ Acre Residential to Suburban ¼ Acre Residential.
- Proposing to reduce the lot width requirements of the RQ Zone.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Suburban designation in the Official Community Plan (OCP).
- The proposed density and building form are appropriate for this part of Rosemary Heights Central.
- Corporate Report No. Ro48, received and approved by Council on March 12, 2018, amended several properties from 34 Avenue to 37 Avenue from Suburban 1 Acre Residential to Suburban ¼ Acre Residential in the Rosemary Heights Neighbourhood Concept Plan (NCP). The rationale was partially based on existing quarter-acre sized lots and Gross Half-Acre Residential (RH-G) developments within the suburban pocket of the NCP.
- The proposal conforms to the City's Sustainability Charter 2.0's policy direction to prioritize redevelopment of existing areas over greenfield development.
- The applicant has demonstrated community support for the proposal. The applicant canvassed the surrounding residents, with all but one Half-Acre Residential Zone (RH) or One Acre Residential Zone (RA) property owner in the area supportive of the proposed rezoning and subdivision and having signed a letter of support. In total, 8 property owners signed a letter of support.
- The proposed density is consistent with other approved applications. On November 4th, 2019, application 7917-0494-00, located across 38A Avenue from the proposed development, subdivided 1 RA lot into 9 RQ lots. On November 22nd, 2021, application 7921-0044-00, located east of 156 Street received 3rd reading to subdivide 1 RH lot into 2 RQ lots.

- The proposed development will retain an existing home constructed on the west side of the property. This home was constructed with the intent of subdividing the property in the future, and after subdivision will meet all setback, lot size, lot coverage, and floor area requirements of the RQ zone.
- The proposed variance in lot width is supportable as the area of the proposed lot exceeds the minimum area requirements of the RQ zone. The resulting subdivision will allow retention of the existing house on Lot A.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "Half-Acre Residential Zone (RH)" to "Quarter Acre Residential Zone (RQ)" and a date be set for Public Hearing.
2. Council approve Development Variance Permit No. 7921-0318-00 (Appendix VI) varying the following under Section K.2. of Part 15C "Quarter-Acre Residential Zone," to proceed to Public Notification:
 - (c) to reduce the minimum lot width of the RQ Zone from 24.0 metres to 23.0 metres for proposed Lot A & B.
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (e) the applicant adequately address the City's needs with respect to the City's Affordable Housing Strategy, to the satisfaction of the General Manager, Planning & Development Services; (use for Single Family Residential projects); and
 - (f) finalized spatial separation report to the satisfaction of the Building Division.
4. Council pass a resolution to amend the Rosemary Heights Central Neighbourhood Concept Plan (NCP) to re-designate the subject property from "Suburban ½ Acre Residential" to "Suburban ¼ Acre Residential" as illustrated in Appendix V when the project is considered for final adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Single-Family Dwelling	Suburban / Suburban ½ Acre Residential	RH

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North ;	Single-Family Dwelling	Suburban / Suburban ½ Acre Residential	RA
East :	Single-Family Dwelling	Suburban / Suburban ½ Acre Residential	RH
South (Across 38A Ave.):	Single-Family Dwelling	Suburban / Suburban ½ Acre Residential	RA
West (Across 155 St.):	Greenbelt	Urban/Buffer	CD

Context & Background

- The subject site is located at 3888-155 Street in Rosemary Heights and is 2,047 square metres in size.
- The subject site is designated "Suburban" in the Official Community Plan (OCP) and is currently zoned "Residential Half-Acre (RH)."
- The site falls within the Central Rosemary Heights Neighbourhood Concept Plan and is designated as "Suburban ½ Acre Residential".
- NCP Amendment from "Suburban ½ Acre Residential" to Suburban ¼ Acre Residential and rezoning from RH to RQ have previously been supported under Development Application No. 7917-0494-00 on November 4th, 2019 on lands to the south.
- On June 12, 2017, Council authorized staff to undertake a land use review of the areas designated Suburban in the Rosemary Heights Central Neighbourhood Concept Plan (NCP). Staff from Community Planning subsequently undertook a community engagement process pertaining to land use and infrastructure in the Suburban pocket within the NCP area.
- Following the community engagement process with residents in Rosemary Heights Central, on March 12, 2018, Council approved recommendations set out in Corporate Report No. Ro48 to amend a portion of the Rosemary Heights Central NCP within the Suburban pocket from "Suburban ½ Acre Residential" to "Suburban ¼ Acre Residential" between 34 Avenue and 37 Avenue. Rationale for this was based in-part on existing quarter-acre sized lots and RH-G developments within the suburban pocket of the NCP. Although this property does not lay within the area discussed, the proposed amendment follows the precedent of this corporate report and applications such as 7917-0494-00.

DEVELOPMENT PROPOSAL

Planning Considerations

- The proposal is:
 - to amend the NCP designation of this site from "Suburban ½ Acre Residential" to "Suburban ¼ Acre Residential"
 - to rezone the site from "Residential Half-Acre (RH)" to "Residential Quarter-Acre (RQ)"
 - to vary the minimum lot width in an RQ zone for proposed Lot A & B from 24.0 metres to 23.0 metres.
 - to subdivide into two (2) single-family residential lots.

	Proposed
Lot Area	
Gross Site Area:	0.205 hectares
Net Site Area:	0.205 hectares
Number of Lots:	2
Unit Density:	9.76 uph
Range of Lot Sizes	1,020-1,037 square metres
Range of Lot Widths	23.04-23.16 metres
Range of Lot Depths	23.0 metres

- Under the OCP, the maximum net density permitted in "Suburban" designated areas is 10 units per hectare (uph). The proposal will create a unit density of 9.76 units per hectare.
- The proposal meets the objectives of the OCP policy on "Sensitive Infill," which encourages infill development that is compatible with existing neighbourhoods. Specifically, the proposed development provides for large single-family lots with areas ranging from 1,020 square metres to 1,037 square metres, which respects the suburban character of the area and is in keeping with the gradual densification of this suburban pocket.
- To accommodate the proposal, an amendment to the Rosemary Heights Central NCP is required to re-designate the site from "Suburban ½ Acre Residential" to "Suburban ¼ Acre Residential" is required.

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: The School District has advised that there will be approximately 3 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

2 Elementary students at Rosemary Heights Elementary School
1 Secondary student at Earl Marriott Secondary School

(Appendix III)

Parks, Recreation & Culture: Parks has no concerns with this proposal.

POLICY & BY-LAW CONSIDERATIONS

Official Community Plan

Land Use Designation

- The proposal complies with the "Suburban" designation of the Official Community Plan (OCP) which is intended to support low-density residential uses with a suburban neighbourhood character.
- Under the OCP, the maximum net density permitted in "Suburban" designated areas is 10 units per hectare (uph). The proposal will create a unit density of 9.76 uph.

Themes/Policies

- The proposal meets the objectives of the OCP policy on "Sensitive Infill," which encourages infill development that is compatible with existing neighbourhoods. Specifically, the proposed development provides for large single-family lots which respect the suburban character of the area.

Secondary Plans

Land Use Designation

- The site is designated "Suburban ½ Acre Residential" under the Rosemary Heights Central Neighbourhood Concept Plan. The applicant proposes to re-designate the site from "Suburban ½ Acre Residential" to "Suburban ¼ Acre Residential" to accommodate the proposed rezoning and subdivision to quarter acre sized lots.

Amendment Rationale

- The subject property is located two blocks north of the elongated pocket of suburban lands located along 155 Street and 156 Street between 33 Avenue and 37 Avenue in the Rosemary Heights Central NCP area that was redesignated to "Suburban ¼ Acre Residential". These suburban lands are comprised of a mix of one acre and half acre zoned properties.

- The proposed density is consistent with other approved applications. On November 4th, 2019, application 7917-0494-00, located across 38A Avenue from the proposed development, subdivided 1 RA lot into 9 RQ lots. On November 22nd, 2021, application 7921-0044-00, located east of 156 St. received 3rd reading to subdivide 1 RH lot into 2 RQ lots.
- The applicant is proposing to rezone the subject property from RH to RQ to facilitate subdivision into two (2) single family lots.
- To accommodate the proposal, an amendment to the Rosemary Heights Central NCP is also required to re-designate the site from "Suburban ½ Acre Residential" to "Suburban ¼ Acre Residential."
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.

Zoning By-law

- The applicant proposes to rezone the subject site from "Half-Acre Residential Zone (RH)" to "Quarter Acre Residential Zone (RQ)".
- The table below provides an analysis of the development proposal in relation to the requirements of the Zoning By-law, specifically the "Quarter Acre Residential Zone (RQ)" requirements.

RQ Zone (Part 15C)	Permitted and/or Required	Proposed
Unit Density:	14.8 uph	9.76 uph
Yards and Setbacks		
Front Yard:	7.5 metres	7.5 metres
Side Yard:	2.4 metres	2.4 metres
Rear:	7.5 metres	7.5 metres
Lot Size		
Lot Size:	930 square metres	1,020– 1,037 square metres
Lot Width:	24 metres	23.04-23.16 metres
Lot Depth:	30 metres	45 metres
Parking (Part 5)		
Number of Spaces	Required	Proposed
	3 per lot	3 per lot

Lot Width Variances

- The applicant is requesting the following variance:
 - (a) to reduce the minimum lot width for proposed Lot A & B from 24.0 metres to 23.0 metres.

Applicants Reasons

Amendment Rationale

- The proposed variance to reduce the minimum lot width for Lot A & B permits the retention of an existing single-family dwelling on Lot A. The subdivided lots will exceed the minimum lot sizes of an RQ zone and provide for a subdivision consistent with established single family residential lot sizes and patterns in the surrounding area.
- The proposed variance will allow for retention of the existing house on a 1,020 square metre lot, occupying the northern portion of the site.
- Staff support the requested variances to proceed for consideration.

Lot Grading and Building Scheme

- The Design Consultant previously conducted a character study and proposed a set of Building Design Guidelines through application 7915-0313-00. These guidelines were subsequently registered as a Building Scheme for 3888 155 Street. The Building Design Guidelines were reviewed by Apex Design Group Inc. to assess whether they reflect modern design standards or should be revised before being registered against the newly created lots. Apex Design Group confirmed that the Design Guidelines meets modern design standards.
- A preliminary lot grading plan, submitted by Coastland Engineering & Surveying Ltd. has been reviewed by staff and found to be generally acceptable. The feasibility of in-ground basements will be confirmed once the City's Engineering Department has reviewed and accepted the applicant's final engineering drawings.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation.
- The applicant will be required to provide the per unit flat rate for the number of units above the approved Secondary Plan in order to satisfy the proposed Secondary Plan Amendment. The contribution will be payable at the rate applicable at the time of Rezoning Final Adoption (current rate is \$20,000 per unit).

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to contribute \$1,000 per new lot to support the development of new affordable housing.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on January 28, 2022, and the Development Proposal Signs were installed on December 22, 2021. Staff received 0 responses from neighbouring properties.

TREES

- Tim Vandenberg, ISA Certified Arborists of Mike Fadum and Associates Ltd., prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Green Ash	3	0	3
Coniferous Trees			
Western Red Cedar	3	3	0
Total (excluding Alder and Cottonwood Trees)	6	3	3
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		10	
Total Retained and Replacement Trees		13	
Contribution to the Green City Program		\$0	

- The Arborist Assessment states that there are a total of 6 mature trees on the site. It was determined that 3 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.

- Three (3) Western Red Cedars on the northeast corner of the property are to be removed. Two trees are to be removed due to conflict with fill proposed on site, while an additional tree is to be removed due to poor tree health and is not suitable as a standalone tree once the other trees are removed.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 6 replacement trees on the site. The applicant is proposing 10 replacement trees, exceeding City requirements.
- In summary, a total of 13 trees are proposed to be retained or replaced on the site with no contribution to the Green City Program required.

INFORMATION ATTACHED TO THIS REPORT

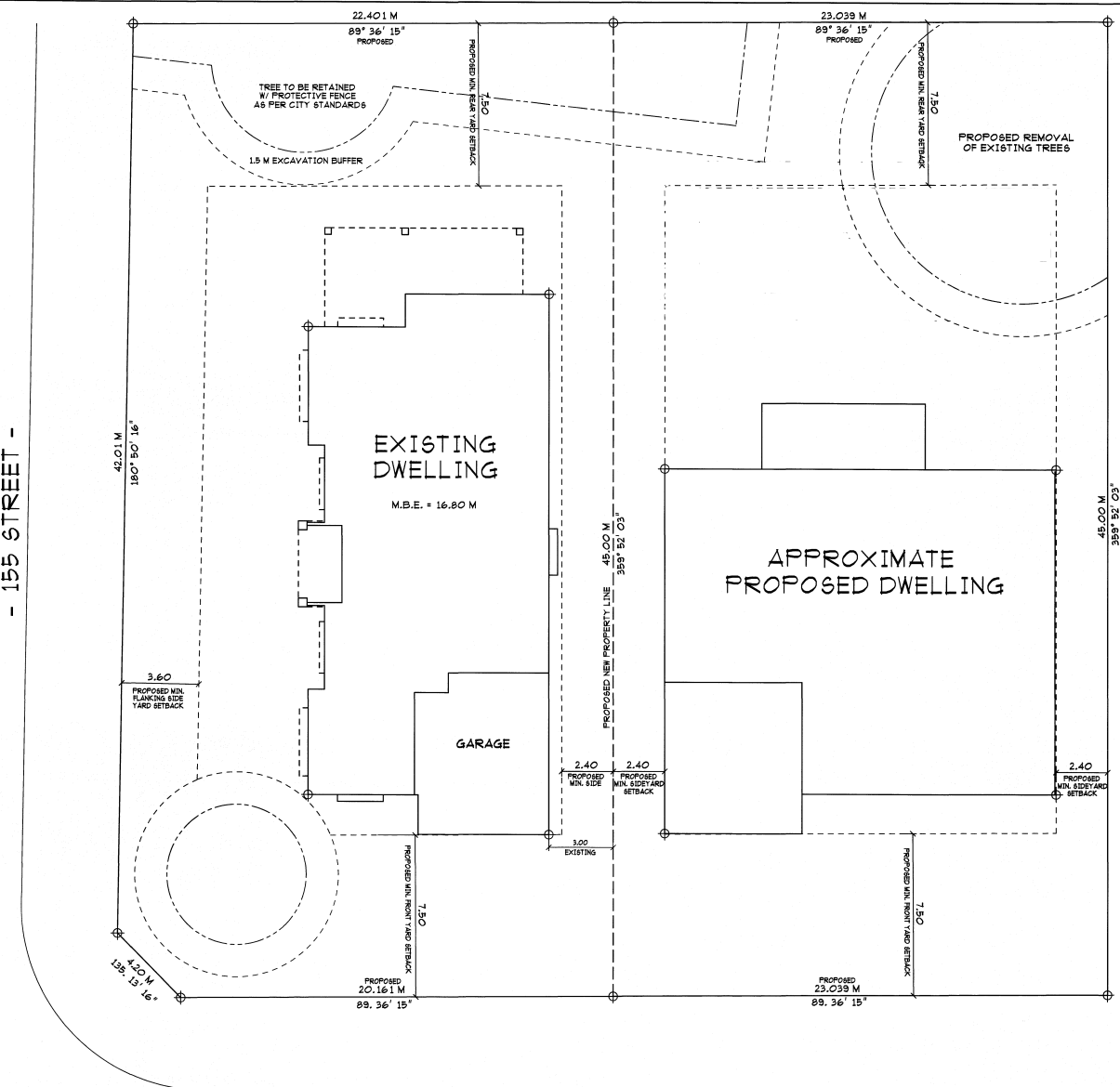
The following information is attached to this Report:

Appendix I.	Proposed Subdivision Layout, Site Plan
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V	NCP Redesignation Plan
Appendix VI	Development Variance Permit No. 7921-0318-00

approved by Shawn Low

Jeff Arason
Acting General Manager
Planning and Development

SDC/cm

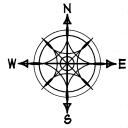


GENERAL NOTES:
 - The following notes are to be included with and used in conjunction with your Absolution Homeplan Design package.
License Agreement:
 - Absolution Homeplan Design is a Registered Trademark.
 - This Design Plan is the exclusive property and Copyright Absolution Homeplan Design and may not be reproduced in any form without written permission from Absolution Homeplan Design.
 - The Absolution Homeplan Design Package is provided to the Purchaser for the use of the Design Package for construction of the Homeplan Design.
 - By using this Design Plan the Purchaser, Owner or Other acknowledge and agree that the Homeplan Design is provided to the Purchaser, Owner or Other as a design package and not as a final design package.
 - Absolution Homeplan Design is not responsible for the design package submitted to Part 9 of the current edition of the British Columbia Building Code. However, it is the responsibility of the Purchaser and all Authorities having jurisdiction to govern and regulate the performance of all National, Provincial, Territorial and Local Codes, Bylaws and Policies.
 - All required schedules and Letters of Assurance to obtain a building permit are to be provided by others at the Purchaser's expense.
 - Absolution Homeplan Design is not responsible for the design package submitted to Part 9 of the current edition of the British Columbia Building Code. However, it is the responsibility of the Purchaser and all Authorities having jurisdiction to govern and regulate the performance of all National, Provincial, Territorial and Local Codes, Bylaws and Policies.
 - All required schedules and Letters of Assurance to obtain a building permit are to be provided by others at the Purchaser's expense.
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STAGING, GRADING AND LOT CONDITIONS:
 - All information provided on the Site Plan is to be governed and approved by all Authorities having jurisdiction to be constructed.
 - Information provided by Absolution Design is based on information provided by the Purchaser, Owner, Contractor and other parties to liability for correct staging and grading, lot calculations, compliance with zoning regulations, British Columbia Building Code and other applicable laws.
 - Purchaser, Contractor, Builder and Authority Having Jurisdiction are responsible for all site conditions such as existing topography, geotechnical engineering, retaining walls, site preparation, excavation depth of foot, fill, depth of services, tree lines, linear loads, structural structures, underground utilities and replacement.
STRUCTURAL REQUIREMENTS:
 - This Design Plan is intended to be used in conjunction with the current edition of the British Columbia Building Code.
 - The Design Plan is intended to be used in conjunction with additional engineering structural information and specifications as attached elsewhere.
 - All structural information provided by Absolution Design is for estimating and existing purposes. Absolution Design accepts no liability for structural design and engineering.
 - All information specified is to be reviewed, confirmed and verified by the Purchaser, Owner, Contractor, Builder, Engineers and all Authorities having jurisdiction prior to construction.
 - All structural information provided by Absolution Design is for estimating and existing purposes. Absolution Design accepts no liability for structural design and engineering.
 - All information specified is to be reviewed, confirmed and verified by the Purchaser, Owner, Contractor, Builder, Engineers and all Authorities having jurisdiction prior to construction.
 - All structural information provided by Absolution Design is for estimating and existing purposes. Absolution Design accepts no liability for structural design and engineering.
 - All information specified is to be reviewed, confirmed and verified by the Purchaser, Owner, Contractor, Builder, Engineers and all Authorities having jurisdiction prior to construction.

ROOF:
 - Roofing materials are to comply with B.C.B.C. 2018, Sec. 8.26.Roofing.
 - It is the responsibility of the Owner/Contractor/Engineer to determine the areas and the area of construction and required calculations.
 - All areas are to be engineered by the roof manufacturer prior to application for building permits.
WOOD FRAMING:
 - All seismic and classic engineering by others.
 - As per B.C.B.C. 2018, section 8.10.Floor Truss Construction.
 - Calculations for specified structural members are to be provided by Accredited Professional Engineer and conform to Part 9 of the British Columbia Building Code.
 - Assume 2-2x10 joists over 600mm openings unless noted otherwise.
 - Assume 2-2x10 joists over 600mm openings unless noted otherwise.
 - Floor joists and spacing as specified by Engineer.
 - Cross bracing and truss bracing per Engineer.
 - Floor joists are to be built in accordance with heating, plumbing, etc.
 - Non-combustible walls parallel to floor joists are to be supported by joists bearing the wall or on blocking between the joists.
 - Provide double floor joists under precast interior partitions when supporting kitchen cabinets.

RAINSCREEN WALL ASSEMBLY:
 - As per B.C.B.C. 2018 edition, Section 8.27.Claadding.
 - Required for exterior walls against exterior walls and walls unprotected by a minimum 24" roof overhang.
 - Minimum 100 mm air space with 1/4" vent, with face less than 80% open space. Furring and flashing as required. (SEE DETAIL SHEET)
CONCRETE:
 - All seismic and classic engineering by others.
 - All concrete floors are to be finished and specified by others.
 - All concrete should have a compressive strength of not less than 28 MPa for 28 days. Design strength should be minimum 32 MPa.
FOUNDATION WALLS:
 - All concrete foundation walls require engineering by others at the Owner/Contractor's expense.
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FOOTINGS:
 - All concrete footings require engineering by others at the Owner/Contractor's expense.
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 - All concrete footings require engineering by others at the Owner/Contractor's expense.
MASONRY AND FIREPLACES:
 - All masonry and fireplaces are to comply with the B.C.B.C. 2018, Section 8.20 and Section 8.21.
 - All masonry and fireplaces are to comply with the B.C.B.C. 2018, Section 8.20 and Section 8.21.
 - All masonry and fireplaces are to comply with the B.C.B.C. 2018, Section 8.20 and Section 8.21.
HEATING:
 - As per B.C.B.C. 2018, Sec. 8.33.Heating and Air-conditioning.
 - The method of heating system and equipment to be used is to be installed to manufacturers specifications and conform to all Local and Provincial codes and regulations in all aspects.
 - Gas connections require separate permit and inspection.
 - Grid air return registers are to be installed and tested for maximum efficiency by qualified heating contractor.
ELECTRICAL:
 - Installation of electrical items are to comply with all Local and Provincial codes and regulations in all aspects.
PLUMBING:
 - Installation of plumbing items are to comply with all Local and Provincial codes and regulations in all aspects.
FIRE PROTECTION:
 - As per B.C.B.C. 2018 edition, Sec. 8.10.Fire Protection.
 - Install smoke alarms as per B.C.B.C. 2018, Sec. 8.10.18.Smoke Alarms.
 - Any required engineering and testing are to be completed at the cost and responsibility of the Owner/Contractor.
VENTILATION REQUIREMENTS:
 - As per B.C.B.C. 2018 edition, Section 8.32.Ventilation.
 - All carbon monoxide detectors are to comply with the B.C.B.C. 2018, Section 8.32.4 Carbon Monoxide Alarms.
 - Protection from radon gas ingress (if required): Engineered radon floor/depression system or radon gas by others.
 - As per B.C.B.C. 2018 edition, Section 8.34.Battery Back-up Systems.
 - All Energy Reports, Modeling and Testing required under B.C.B.C. 2018 edition is at the cost and responsibility of the Owner/Contractor.



LEGAL DESCRIPTION:
LOT # 1
DISTRICT LOT 153,
GROUP 2, NWD PLAN EPP66037
CIVIC ADDRESS:
3888 155 STREET,
SURREY, B.C.

EXISTING RH ZONING
- LOT CALCULATIONS -
GRO65 LOT AREA = 2056.45 SQ.M. (22135 SQ.F.T.)
SITE COVERAGE:
TOTAL SITE COVERAGE:
307.0 SQ.M. (3309 SQ.F.T.) = 14.9 % G.L.A.
MAXIMUM SITE COVERAGE:
25 % G.L.A. = 514.1 SQ.M. (5933.8 SQ.F.T.)
FLOOR SPACE RATIO:
TOTAL FLOOR SPACE:
489.0 SQ.M. (5264 SQ.F.T.) = 23.8 % G.L.A.
MAXIMUM FLOOR SPACE:
25 % G.L.A. = 514.1 SQ.M. (5933.8 SQ.F.T.)

- NOTES -**
- ALL DIMENSIONS, LOT GRADING AND LEGAL INFORMATION SHOWN ON SITEPLAN ARE TO BE CONSIDERED AND APPROVED BY ALL AUTHORITIES HAVING JURISDICTION PRIOR TO CONSTRUCTION.
 - ALL DIMENSIONS, GRADING AND FLOOR ELEVATIONS SHOWN ON SITEPLAN ARE TO BE VERIFIED ON SITE PRIOR TO EXCAVATION.
 - ALL LOT GRADING CALCULATIONS BY ABSOLUTION HOMEPLAN DESIGN ARE MATHEMATICAL. LINEAR INTERPOLATION OF GEODETIC DATA PROVIDED BY THE CLIENT AND/OR A CONSULTANT BLOTTED BETWEEN POINT ELEVATIONS.
 - ANY AREAS REQUIRED TO ENSURE PROPER LOT-SHED OFF IS ENTERED. THE RESPONSIBILITY OF THE CLIENT.
 - ANY RETAINING WALLS REQUIRED ARE TO BE BUILT ACCORDING TO GOOD PRACTICE. ENGINEERING BY OTHERS.

PROPOSED LOT 1 "A" - 38 A AVENUE -
 LOT AREA = 1020.22 SQ.M.
 RQ ZONING
 MAX. LOT COVERAGE = 30.1% = 307.09 SQ.M.
 EXISTING LOT COVERAGE = 307.0 SQ.M.
 MAXIMUM F.A.R. = 497.07 SQ.M.
 EXISTING F.A.R. = 454.5 SQ.M.

PROPOSED LOT 1 "B"
 LOT AREA = 1036.76 SQ.M.
 RQ ZONING
 MAX. LOT COVERAGE = 29.75% = 308.44 SQ.M.
 MAXIMUM F.A.R. = 502.86 SQ.M.

THIS HOME IS DESIGNED TO COMPLY WITH THE B.C.B.C. 2018, SEC. 8.36.2 THRU SEC. 8.36.4 MINIMUM ENERGY EFFICIENCY REQUIREMENTS. PRESCRIPTIVE METHOD FOR CLIMATE ZONE 4.
 B.C.B.C. 2018 Step code Compliance Report and Testing is required by a Registered Energy Advisor for EnerGuide Rating System Performance Rating for Part 9 Pre-Construction.
 B.C.B.C. 2018 Section 13.3.3 APPLICATIONS OF DIV B Part 9, Group C, Residential Occupancies.
 PROJECT ADDRESS: 3888 155 STREET, SURREY, B.C.

- Absolution -
 - Homeplan Design Services -
 Designed by: Mike T. Bolun
 Phone / Fax # (604) 575-3646
 Cellular # (604) 309-0955
 info@absolutehomeplan.com

CLIENT: GREWAL LOT#1
 DATE: AUG 2021 SCALE: 1:100 M
 REV. SHEET 1 OF 1
 THESE PLANS CONFORM TO THE B.C.B.C. 2018 EDITION (MPS Group C, Residential Occupancies)
 COPYRIGHT 2021 SHEET 1 OF 1



INTER-OFFICE MEMO

**TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: February 10, 2022 **PROJECT FILE: 7821-0318-00**

**RE: Engineering Requirements
Location: 3888 155 St**

NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment.

REZONE/SUBDIVISION***Works and Services***

- Construct concrete driveway letdown.
- Provide storm, sanitary and water service connection to the lot.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Variance Permit.

Jeff Pang, P.Eng.
Development Services Manager

IJ



February 8, 2022

Planning

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

With Rosemary Heights NCP is reaching build out, the 10-year enrolment projections are indicating the start of decline. A boundary change went into effect last September, which moved new enrolment growth from Morgan westward to Rosemary Heights to reverse the long-term declining trend.

Grandview Heights Secondary opened September 2021. Rosemary Heights will feed into the new secondary school now instead of Earl Marriott Secondary.

THE IMPACT ON SCHOOLS

APPLICATION #: 21 0318 00

SUMMARY

The proposed 2 Single family with suites are estimated to have the following impact on the following schools:

Projected enrolment at Surrey School District for this development:

Elementary Students:	2
Secondary Students:	1

September 2021 Enrolment/School Capacity

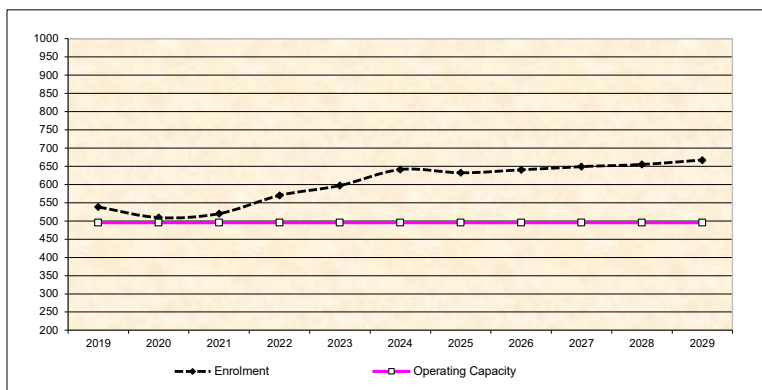
Rosemary Heights Elementary	
Enrolment (K/1-7):	60 K + 460
Operating Capacity (K/1-7)	76 K + 419
Grandview Heights Secondary	
Enrolment (8-12):	1143
Capacity (8-12):	1500

Projected population of school-age children for this development:	3
--------------------------------------------------------------------------	---

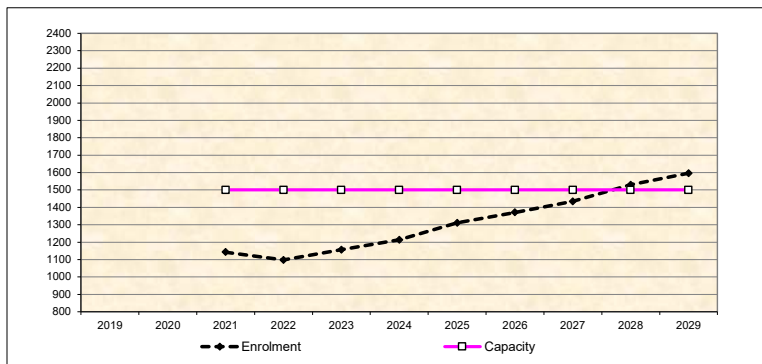
Population: The projected population of children aged 0-19 Impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

Rosemary Heights Elementary



Grandview Heights Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.
Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 7921-0318-00


Address: 3888 - 155 Street

Registered Arborist: Tim Vandenberg

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	6
Protected Trees to be Removed	3
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	3
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = <u>0</u> - All other Trees Requiring 2 to 1 Replacement Ratio 3 X two (2) = <u>6</u> 	6
Replacement Trees Proposed	10
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0 	0
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

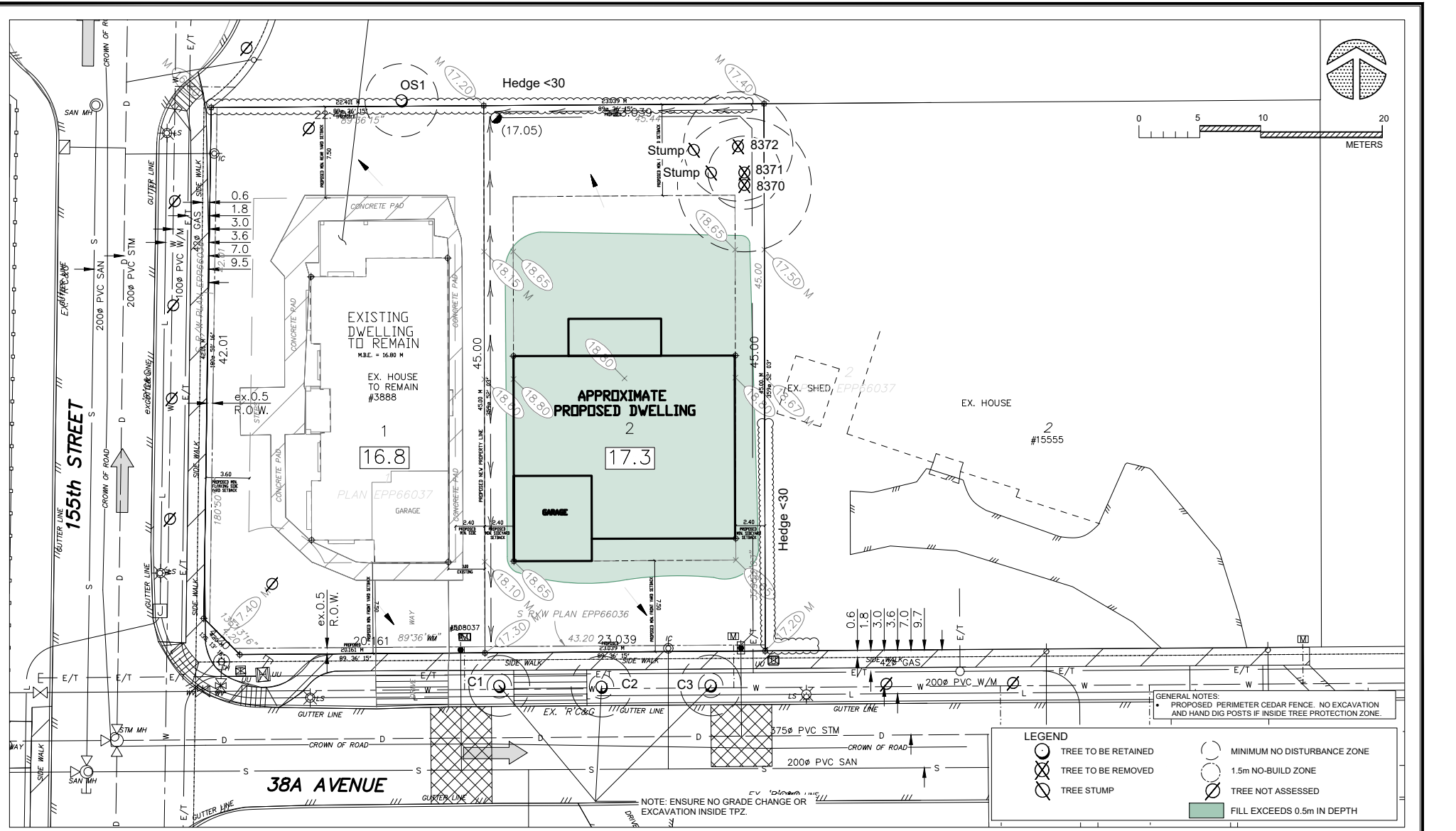
Signature of Arborist: 

Date: March 23, 2022



Mike Fadum and Associates Ltd.
#105, 8277-129 Street, Surrey, BC, V3W 0A6
Phone 778-593-0300 Fax 778-593-0302





GENERAL NOTES:
 • PROPOSED PERIMETER CEDAR FENCE. NO EXCAVATION AND HAND DIG POSTS IF INSIDE TREE PROTECTION ZONE.

LEGEND

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- TREE STUMP
- MINIMUM NO DISTURBANCE ZONE
- 1.5m NO-BUILD ZONE
- TREE NOT ASSESSED
- FILL EXCEEDS 0.5m IN DEPTH

STAMP	NO.	DATE	BY	REVISION
	1	MAR/21/22	MK	KEY & GRADING PLAN

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3W 0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0302
 Email: mfadum@fadum.ca

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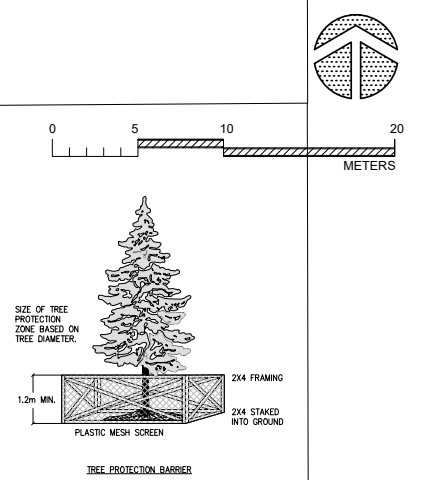
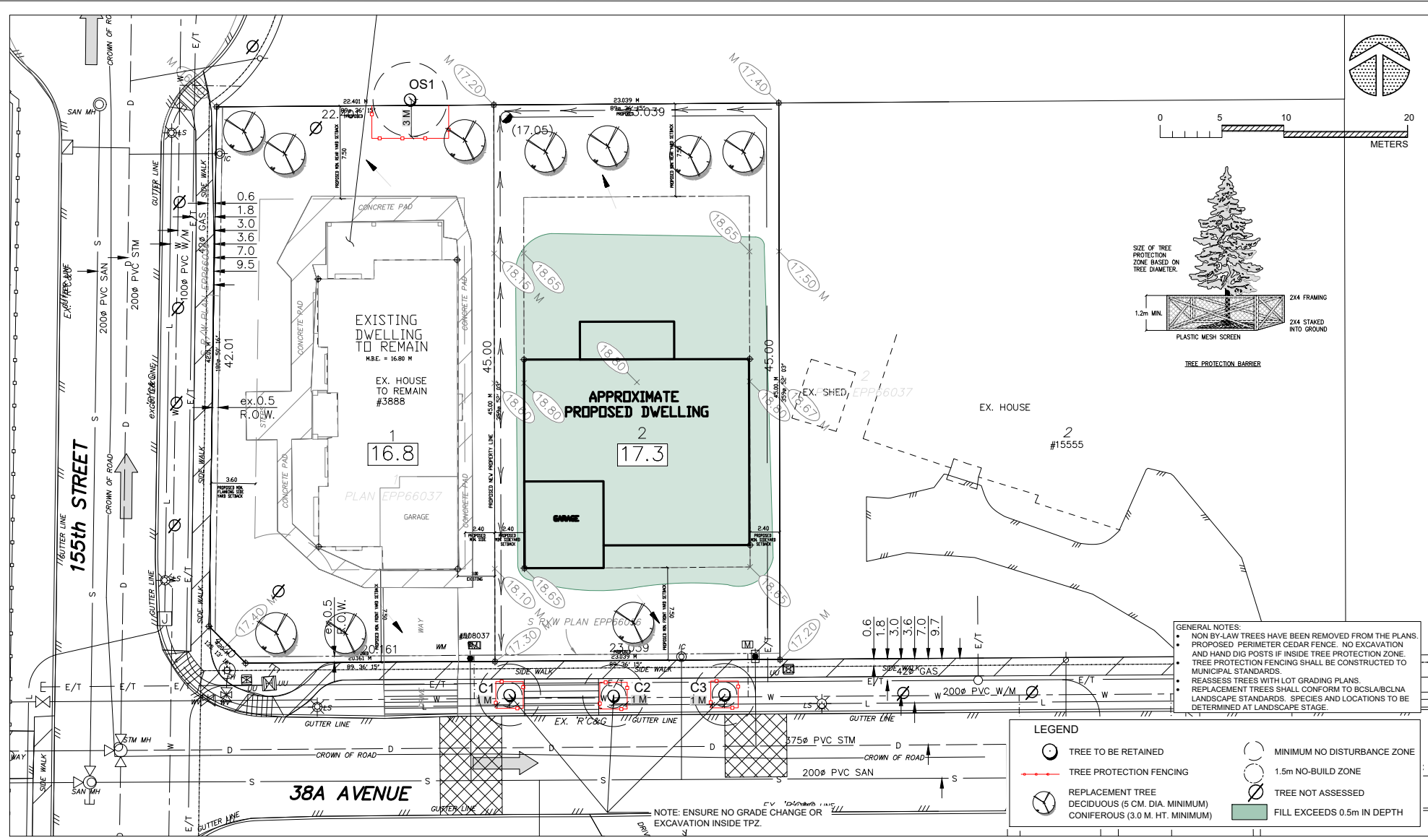
PROJECT TITLE
3888 - 155 STREET
SURREY, B.C.

SHEET TITLE
T1 - TREE REMOVAL AND PRESERVATION PLAN

CLIENT _____

DATE
 SEPTEMBER 07, 2021

DRAWN MK
 SCALE AS SHOWN
 SHEET 1 OF 2



- GENERAL NOTES:**
- NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS.
 - PROPOSED PERIMETER CEDAR FENCE. NO EXCAVATION AND HAND DIG POSTS IF INSIDE TREE PROTECTION ZONE.
 - TREE PROTECTION FENCING SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS.
 - REASSESS TREES WITH LOT GRADING PLANS.
 - REPLACEMENT TREES SHALL CONFORM TO BC/SLA/BC/LNA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.

LEGEND

	TREE TO BE RETAINED		MINIMUM NO DISTURBANCE ZONE
	TREE PROTECTION FENCING		1.5m NO-BUILD ZONE
	REPLACEMENT TREE DECIDUOUS (5 CM. DIA. MINIMUM) CONIFEROUS (3.0 M. HT. MINIMUM)		TREE NOT ASSESSED
			FILL EXCEEDS 0.5m IN DEPTH

NO.	DATE	BY	REVISION
1	MAR21/22	MK	KEY & GRADING PLAN

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3V 0A6
 Ph: (778) 593-0300
 Fax: (778) 593-0302
 Email: mfadum@fadum.ca

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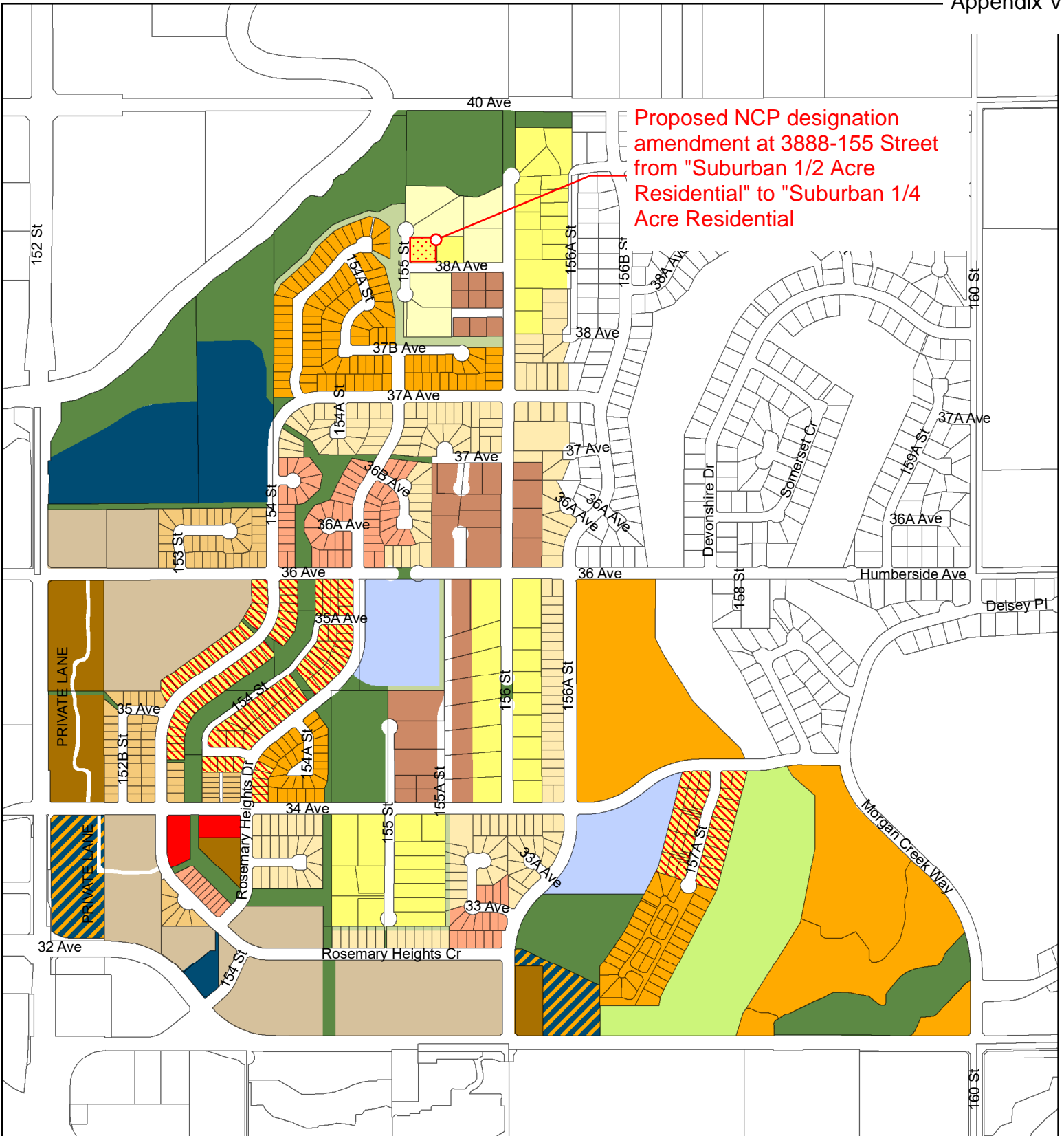
PROJECT TITLE
 3888 - 155 STREET
 SURREY, B.C.

SHEET TITLE
 T2 - TREE PROTECTION PLAN

CLIENT

DATE
 SEPTEMBER 07, 2021

DRAWN MK
SCALE AS SHOWN
SHEET 2 OF 2



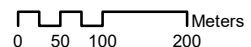
- Suburban 1 Acre Residential
- Suburban 1/2 Acre Residential
- Suburban 1/4 Acre Residential
- Single Family Residential
- Compact Single Family Residential
- Clustering at Single Family Density

- Compact Single Family/Cluster
- Single Family Small Lot
- Townhouses
- Garden Apartments (3-Storeys)
- Neighbourhood Commercial
- Institutional (Religious, College, Library, Fire Hall, etc.)

- Institutional Residential
- Buffer/Park / Open Space
- Elementary School
- Pond
- Golf Course

ROSEMARY HEIGHTS CENTRAL LAND USE PLAN
CITY OF SURREY - PLANNING & DEVELOPMENT DEPARTMENT

Approved by Council: May 6, 1999 Amended 4 Nov 2019



This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0318-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations, or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 030-104-165
Lot 1 District Lot 153 Group 2 New Westminster District Plan EPP66037

3888 - 155 Street

(the "Land")

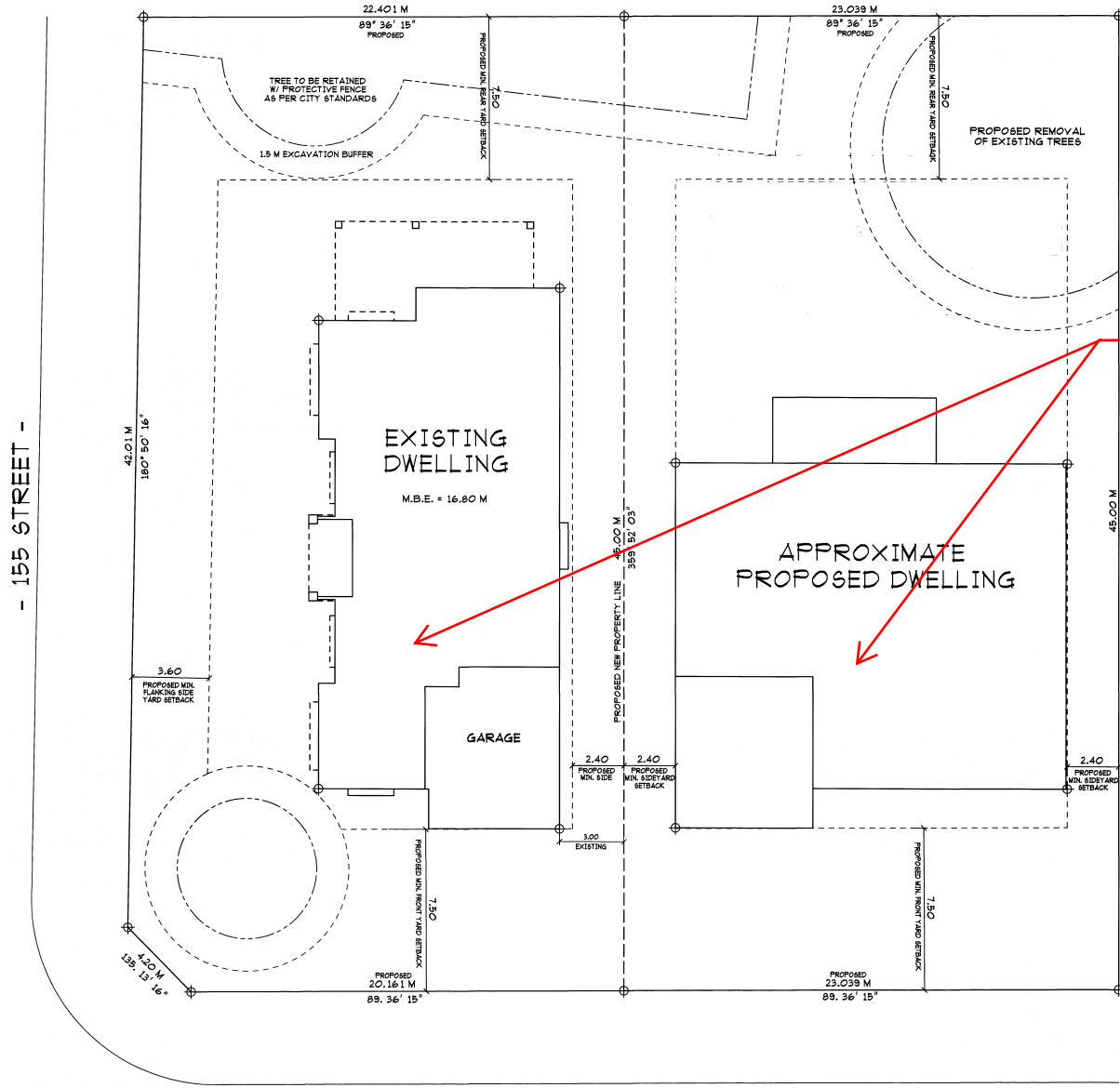
3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section K.2. of Part 15C "Quarter-Acre Residential Zone," the minimum lot width for proposed Lot A & B is reduced from 24.0 metres to 23.0 metres.
4. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.

7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

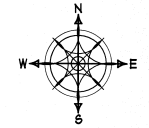
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli



DVP to reduce required lot width from 24.0 metres to 23.0 metres for proposed Lot A and Lot B under the RQ Zone.



SITE PLAN
SCALE: 1:100 METRIC

LEGAL DESCRIPTION:
LOT # 1
DISTRICT LOT 153,
GROUP 2, NWD PLAN EPP66037
CIVIC ADDRESS:
3888 155 STREET,
SURREY, B.C.
EXISTING RH ZONING -
LOT CALCULATIONS -
GRO65 LOT AREA = 2056.45 SQ.M. (22135 SQ.FT.)
SITE COVERAGE:
TOTAL SITE COVERAGE:
307.0 SQ.M. (3309 SQ.FT.) = 14.9 % G.L.A.
MAXIMUM SITE COVERAGE:
25 % G.L.A. = 514.1 SQ.M. (5533.8 SQ.FT.)
FLOOR SPACE RATIO:
TOTAL FLOOR SPACE:
489.0 SQ.M. (5264 SQ.FT.) = 23.8 % G.L.A.
MAXIMUM FLOOR SPACE:
25 % G.L.A. = 514.1 SQ.M. (5533.8 SQ.FT.)
- NOTES -
• ALL DIMENSIONS, LOT GRADING AND LEGAL INFORMATION SHOWN ON SITEPLAN ARE TO BE CONSIDERED AND APPROVED BY ALL AUTHORITIES HAVING JURISDICTION PRIOR TO CONSTRUCTION.
• ALL DIMENSIONS, GRADING AND FLOOR ELEVATIONS SHOWN ON SITEPLAN ARE TO BE VERIFIED ON SITE PRIOR TO EXCAVATION.
• ALL LOT GRADING CALCULATIONS BY ABSOLUTION HOMEPAN DESIGN ARE MATHEMATICAL, LINEAR INTERPOLATION OF GEODETIC DATA PROVIDED BY THE CLIENT AND ARE NOT TO BE USED AS A BASIS FOR CONSTRUCTION OF ANY AREAS REQUIRED TO ENSURE PROPER LOT RUN-OFF TO DRAINAGE RESPONSIBILITY OF OTHERS.
• ANY RETAINING WALLS REQUIRED ARE TO BE BUILT ACCORDING TO GOOD PRACTICE, ENGINEERING BY OTHERS.

PROPOSED LOT 1 "A" - 38 A AVENUE - PROPOSED LOT 1 "B"
 LOT AREA = 1020.22 SQ.M. LOT AREA = 1036.76 SQ.M.
 RQ ZONING RQ ZONING
 MAX. LOT COVERAGE = 30.1% = 307.09 SQ.M. MAX. LOT COVERAGE = 29.75% = 308.44 SQ.M.
 EXISTING LOT COVERAGE = 307.0 SQ.M. MAXIMUM F.A.R. = 502.86 SQ.M.
 MAXIMUM F.A.R. = 497.07 SQ.M. EXISTING F.A.R. = 454.5 SQ.M.

- The following with your Absoluton HomePan design package:
- **License Agreement:**
- Absoluton HomePan Design is a Registered Trademark.
- This Design Plan is the exclusive property and Copyright Absoluton HomePan Design and may not be reproduced in any form without written permission from Absoluton HomePan Design.
- This Design Package includes the use of the Design Plan Package for construction of the proposed dwelling.
- By using this Design Plan the Purchaser, Owner or Other acknowledge and agree that the design and construction of the proposed dwelling shall be subject to the Final Design Aspects as laid out by Absoluton HomePan Design.
- Absoluton HomePan Design has taken care to provide the accurate design package conforming to Part 9 of the current edition of the British Columbia Building Code. However, it is the responsibility of the Purchaser and all Authorities having jurisdiction to govern and regulate performance of all National, Provincial, territorial and Local Codes, Bylaws and Policies.
- All required schedules and Letters of Assurance to obtain a building permit are to be provided by others at the Purchaser expense.
- During the Design of the proposed dwelling, the Purchaser, Owner, Contractor, and/or other parties assuming full responsibility for all liability damages that could arise by their own. Care to the nature of the design and construction of the proposed dwelling cannot guarantee Errors and Omissions Third Party Service. The Purchaser, Owner, Contractor, Builder and Authority Having Jurisdiction are to inform and report any error or omission to Absoluton Design as soon as possible in order to correct any error or omission and advise any damages and acknowledge and agree that any damages claimed against Absoluton Design is limited to the cost of the design package provided at the price of the Absoluton HomePan Design Package.

- All information provided on the Site Plan is to be governed and approved as per the applicable laws and regulations to be considered.
- Information provided by Absoluton Design is based on information provided by the Purchaser, Owner, Contractor, and other parties assuming full responsibility for all liability damages that could arise by their own.
- Purchaser, Contractor, Builder and Authority Having Jurisdiction are to ensure compliance with all applicable laws and regulations to be considered.
- Geotechnical Engineering, Retaining walls, Site preparation, Excavation depth of foot, fill, depth of foundation, the linear and other related structural elements, and other related elements.

- **STRUCTURAL REQUIREMENTS:**
- This Design Plan is intended to be used in conjunction with the current edition of the British Columbia Building Code.
- This Design Plan is intended to be used in conjunction with additional engineering Structural Information and specifications as attached sheets.
- All structural information provided by Absoluton Design is for planning and existing purposes, and is not intended to provide liability for Structural Design and Engineering.
- All information specified is to be reviewed, confirmed and verified by the Purchaser, Owner, Contractor, Builder, Engineers and all Authorities having jurisdiction prior to construction.
- All structural information provided by Absoluton Design is for planning and existing purposes, and is not intended to provide liability for Structural Design and Engineering.
- All structural information provided by Absoluton Design is for planning and existing purposes, and is not intended to provide liability for Structural Design and Engineering.

- **ROOF:**
- Roofing materials are to comply with B.C.B.C. 2018, Sec. 8.26, Roofing.
- It is the responsibility of the Owner/Contractor/Engineer to determine the exact load in the area of construction and as required attachments.
- All areas are to be engineered by the true manufacturer prior to application for building permits.

- **WOOD FRAMING:**
- All seismic and classic engineering by others.
- As per B.C.B.C. 2018, section 8.10, Wood Frame Construction.
- Calculations for specified structural members are to be provided by Accredited Professional Engineer and conform to Part 9 of the current edition of the British Columbia Building Code.
- Assume 2x10 joists over steel joist openings unless noted otherwise.
- Assume 2x10 joists over steel joist openings unless noted otherwise.
- Floor joists are to be built dimensioned for heating, plumbing, etc.
- Non-combustible walls parallel to floor joists and the walling shall be joist bearing the wall or on blocking between the joists.
- Provide double floor joists under precast interior partitions when supporting kitchen cabinets.

- **RAINSCREEN WALL ASSEMBLY:**
- As per B.C.B.C. 2018 edition, Section 9.27, Cladding.
- Required for exterior walls against wind and rain and walls unprotected by a minimum 24" roof overhang.
- Minimum 100mm air space with 1/4" vent, strips face less than 80% open space. Furring and flashing as required. (SEE DETAIL SHEET)
- All seismic and classic engineering by others.
- All concrete should have a compressive strength of not less than 20 MPa (29 days) design strength should be minimum 30 MPa.

- **FOUNDATION WALLS:**
- All concrete foundation walls require engineering by others at the Owner/Contractor's expense.
- All concrete foundation walls require engineering by others at the Owner/Contractor's expense.
- All concrete footings require engineering by others at the Owner/Contractor's expense.
- All concrete footings are to be on solid undisturbed soil, rock, or compacted gravel fill at an elevation below the front face of the MASONRY AND FIREPLACES.
- All concrete footings are to be on solid undisturbed soil, rock, or compacted gravel fill at an elevation below the front face of the MASONRY AND FIREPLACES.

- **HEATING:**
- As per B.C.B.C. 2018, Sec. 8.33 Heating and Air-conditioning.
- Energy efficiency requirements are to be provided by others.
- It is to be installed to manufacturers specifications and conform to all Local and Provincial codes and regulations in all aspects.
- Gas connections require separate permit and inspection.
- Grid air return registers are to be installed and tested for maximum efficiency by qualified heating contractor.

- **ELECTRICAL:**
- Installation of electrical items are to comply with all Local and Provincial codes and regulations in all aspects.
- **PLUMBING:**
- Installation of plumbing items are to comply with all Local and Provincial codes and regulations in all aspects.

- **FIRE PROTECTION:**
- As per B.C.B.C. 2018 edition, Sec. 9.10 Fire Protection.
- Detail smoke alarms as per B.C.B.C. 2018, Sec. 8.10.18 Smoke Alarms.
- Any required engineering to be provided and tested at the cost and responsibility of the Owner/Contractor.
- **VENTILATION REQUIREMENTS:**
- As per B.C.B.C. 2018 edition, Section 9.32, Ventilation.
- Protection from radon gas ingress (if required): Engineered wall-floor separation system or radon gas barrier.
- Carbon Monoxide Alarms.
- As per B.C.B.C. 2018 edition, Section 9.34 Energy Efficiency.
- Energy efficiency requirements are to be provided by others.
- All Energy Reports, Modeling and Testing required under B.C.B.C. 2018 edition is at the cost and responsibility of the Owner/Contractor.

Absolution
 - HomePan Design Services -
 Designed by: Mike T. Bolun
 Phone / Fax # (604) 575-3646
 Cellular # (604) 309-0955
 info@absoluton.com

THIS HOME IS DESIGNED TO COMPLY WITH THE B.C.B.C. 2018, SEC. 9.36.2 THRU SEC. 9.36.4 MINIMUM ENERGY EFFICIENCY REQUIREMENTS, PRESCRIPTIVE METHOD FOR CLIMATE ZONE 4.

B.C.B.C. 2018 Step code Compliance Report and Testing is required by a Registered Energy Auditor for EnerGuide Rating System Performance Rating for Part 9 Pre-Construction.

B.C.B.C. 2018 Section 13.3.3 APPLICATIONS OF DIV 9 Part 9, Group C, Residential Occupancies.

PROJECT ADDRESS:
 3888 155 STREET, SURREY, B.C.

CLIENT:	GREWAL LOT#1
DATE:	AUG 2021
SCALE:	1:100 M
REV.	
DESIGN PLAN CONFORMS TO THE B.C.B.C. 2018 Edition (M31 Group C, Residential Occupancies)	PROPOSED SITE PLAN
COPYRIGHT 2021	SHEET 1 OF 1