

PROPOSAL:

- **OCP Amendment** for a portion of the site from Urban to Multiple Residential
- **NCP Amendment** to the proposed road network.
- **Rezoning** from A-1 to RF, RM-30 and RM-45
- **General Development Permit**
- **Detailed Development Permit**
- **Development Variance Permit**

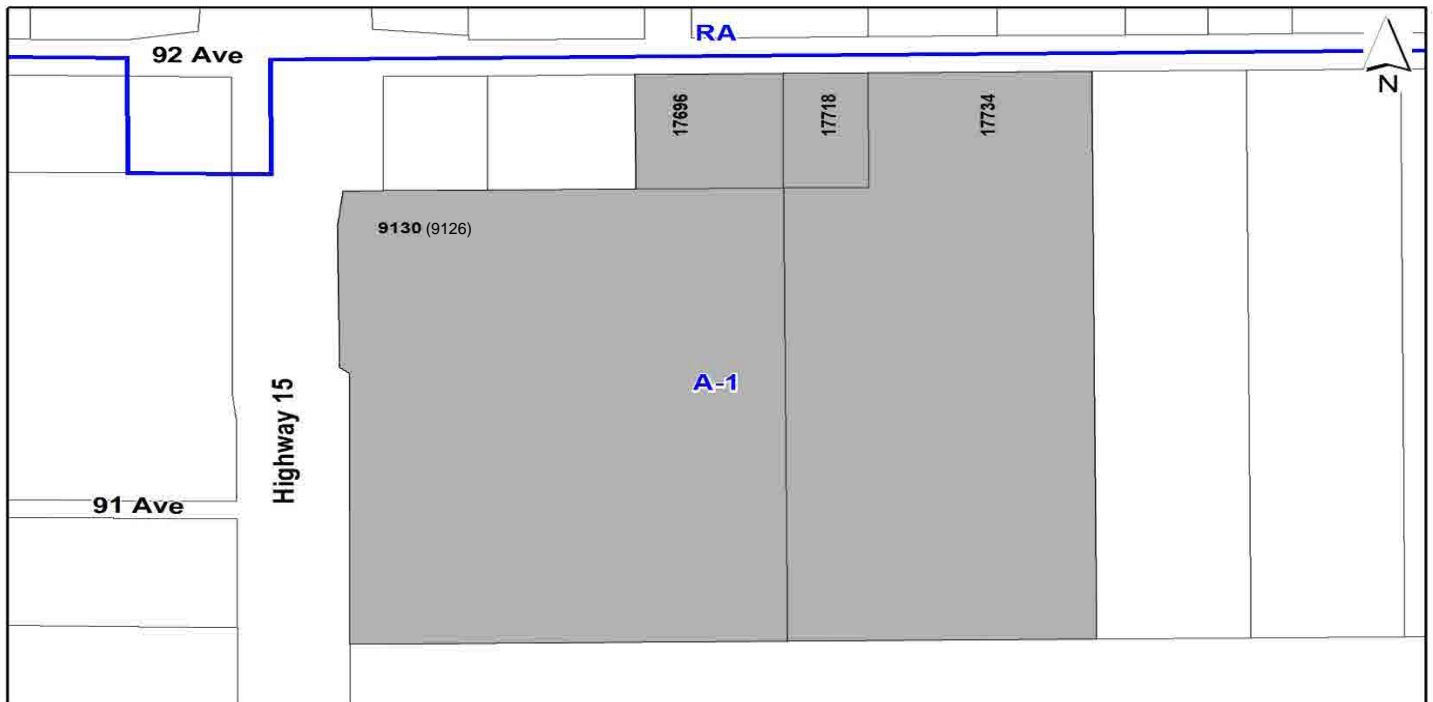
to permit a phased, multiple unit residential development consisting of two, 5-storey apartment buildings and 162 ground-oriented townhouses, detention pond, pump station and parkland in Anniedale-Tynehead.

LOCATION: 9130 - 176 Street (9126 - 176 Street),
 17696 - 92 Avenue,
 17718 - 92 Avenue,
 17734 - 92 Avenue

ZONING: A-1

OCP DESIGNATION: Urban

NCP DESIGNATION: "High Density Cluster 10 - 15" and High Density Cluster (Green Space Transfer), Pond and Pond Buffer



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft General Development Permit for Form and Character, Hazard Lands (Steep Slopes) and Sensitive Ecosystems (Streamside and Green Infrastructure Areas) for the entire subject site.
- Approval to draft a Detailed Development Permit for Form and Character for proposed Lot 2.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Official Community Plan (OCP) from Urban to Multiple Residential for a portion of the subject site (proposed Lot 1).
- Proposing an amendment to the Anniedale-Tynehead Neighbourhood Concept Plan (NCP) for changes to the proposed road network.
- Proposing to vary the minimum side yard setback requirements of the RM-30 Zone for a portion of the subject site (proposed Lot 2) and both the minimum lot size and lot depth requirements of the RM-30 Zone for another portion of the subject site (proposed Lot 4).

RATIONALE OF RECOMMENDATION

- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal generally complies with the Development Permit requirements in the OCP for Hazard Lands (Steep Slope Areas)
- As part of the subject land development application the applicant is proposing to convey approximately 2.49 hectares, or 26.5% of the total gross site area, to the City for riparian area protection, biodiversity and open space protection purposes. The proposed conveyance area contains the Part 7A Streamside Protection setbacks of several on-site or adjacent watercourses as well as Green Infrastructure Network (GIN) Corridor Nos. 119 and 125.
- The proposal generally complies with the Development Permit requirements in the OCP for Sensitive Ecosystems (Streamside and Green Infrastructure Areas).
- The proposed development is providing area for a detention pond and pump station that will benefit the larger community.
- The proposal improves overall connectivity within the surrounding neighbourhood through a network of inter-connected roads, lanes, multi-use pathways, pedestrian walkways, and public sidewalks.

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- The proposed design character of the development will establish an appropriate precedent for new residential development in Anniedale-Tynehead. The proposed residential buildings feature a high standard of architectural design character and quality and incorporate high quality durable materials.
 - This application is proceeding concurrently with Development Application No. 7922-0126-00, which will be presented to Council for consideration soon. Both applications will require final approval concurrently to address servicing requirements.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to amend the OCP Figure 3: General Land Use Designations for a portion of the subject site, shown as Block A on the Survey Plan attached as Appendix I, from "Urban" to "Multiple Residential" and a date for Public Hearing be set.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. a By-law be introduced to rezone a portion of the subject site as shown as Block A on the attached Survey Plan (Appendix I) from "General Agriculture Zone (A-1)" to "Multiple Residential 45 Zone (RM-45)" , and Block B on the attached Survey Plan from "General Agriculture Zone (A-1)" to "Multiple Residential 30 Zone (RM-30)" and Block C on the attached Survey Plan from "General Agriculture Zone (A-1)" to "Single Family Residential Zone (RF)" and a date be set for Public Hearing.
4. Council authorize staff to draft General Development Permit No. 7920-0278-00 for Form and Character, Hazard Lands (Steep Slope) and Sensitive Ecosystems for the entire site, generally in accordance with the attached drawings (Appendix I).
5. Council authorize staff to draft Detailed Development Permit No. 7920-0278-01 for Form and Character for the townhouse development on proposed Lot 2 (Phase 1), generally in accordance with the attached drawings (Appendix I).
6. Council approve Development Variance Permit No. 7920-0278-00 (Appendix VII) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum side yard (east and west) setbacks of the RM-30 Zone from 6.0 metres to 3.0 metres to the building face of all buildings for proposed Lot 2;
 - (b) to reduce the minimum lot area of the RM-30 zone from 2,000 square metres to 590 square metres for proposed remnant Lot 4, and
 - (c) to reduce the minimum lot width of the RM-30 Zone from 30 metres to 5 metres for proposed remnant Lot 4.
7. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) Approval from the Ministry of Transportation & Infrastructure;

- (d) approval from the Ministry of Forests, Lands and Natural Resource Operations under the Water Sustainability Act for changes In and About a Stream;
- (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
- (f) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
- (g) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
- (h) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
- (i) submission of a finalized Ecosystem Development Plan and Impact Mitigation Plan to the satisfaction of City staff;
- (j) conveyance of riparian areas and Biodiversity Conservation Strategy areas to the City;
- (k) submission of a finalized Geotechnical Report to the satisfaction of City staff;
- (l) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department, if required;
- (m) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
- (n) registration of a Section 219 Restrictive Covenant for “no build” on proposed Lot 4 until future development;
- (o) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
- (p) the applicant satisfy the requirements for a P-15 agreement;
- (q) submission of a transportation impact analysis (TIA) to the City and MOTI’s satisfaction and construct intersection improvements as identified by the TIA;
- (r) registration of a Section 219 Restrictive Covenant to adequately address the City’s needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City’s Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Department; and

- (s) concurrent final approval of neighbouring Development Application No. 7922-0126-00.
8. Council pass a resolution to amend the Anniedale Tynehead NCP as follows:
- (a) to amend the proposed road network as illustrated in Appendix V when the project is considered for final adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Vacant lot and single family dwellings.	“High Density Cluster 10 – 15” and High Density Cluster (Green Space Transfer), Pond and Pond Buffer	A-1
North (Across 92 Avenue):	Single family dwelling on acreage.	Medium High Density 15-30	RA
East:	Single family dwelling on acreage.	“High Density Cluster 10 – 15” and High Density Cluster (Green Space Transfer)	A-1
South:	Farmland in the ALR.	Agricultural in OCP	A-1
West (Across Highway No. 15):	Acreages and farmland in the ALR.	Agricultural in OCP	A-1

Context & Background

- The subject site is comprised of 4 properties and is approximately 10 hectares in size. The site is designated Urban in the OCP and zoned “General Agriculture Zone (A-1)” in the Zoning Bylaw. The site is designated “High Density Cluster 10 – 15” and High Density Cluster (Green Space Transfer), Pond and Pond Buffer in the Anniedale-Tynehead NCP.
- Of the 4 properties, 2 have existing dwellings and 2 are vacant.
- The site has a substantial slope with an average 10% slope across the site (30 metre drop over 300 metres).
- A watercourse assessment was completed that determined there are Class A and B watercourses on the subject site.
- The application meets the intent of the NCP by conveying a significant portion of the site to City for the following purposes:
 - open space;
 - riparian protection area; and
 - drainage ponds.

DEVELOPMENT PROPOSAL

Planning Considerations

- The applicant is proposing the following:
 - Proposed OCP Amendment of a portion of the site from Urban to Multiple Residential (proposed Lot 1/Block A).
 - Proposed NCP Amendment to the proposed road network.
 - Subdivision of the existing four lots into seven lots (four development lots, one Detention Pond lot, one lot for a pump station, and one Park lot);
 - Rezoning from General Agriculture Zone “A-1” to “Single Family Residential Zone (RF)” (Block C), “Multiple Residential 30 Zone (RM-30)” (Block B) and Multiple Residential 45 Zone (RM-45)” (Block A);
 - General Development Permit (GDP) for Form and Character, Hazard Lands and Sensitive Ecosystem to allow for a 3-phased development to ultimately allow approximately 323 total units (including two 5-storey apartments (118 apartment units total) and 205 townhouse units.)
 - A Detailed Development Permit (DDP) for Form and Character for a 42 unit townhouse project to be constructed in Phase 1 (Lot 2); and
 - DVP to reduce side yard setbacks for Phase 1 (Lot 2) townhouse units and reduce lot area and lot depth for remnant Lot 4.

	Proposed
Lot Area	
Gross Site Area:	9.38 hectares
Road Dedication:	1.07 hectares
Park Lot/Multi-use Pathway Area:	3.28 hectares
Proposed Remnant Lot 4:	0.06 hectares
Net Site Area:	4.97 hectares (Lots 1,2,3)
Number of Lots:	4 developable lots (incl. 1 remnant lot)
Building Height:	5 storey 17.0 metres* (Lot 1 only) <i>*DVP may be required as part of subsequent Detailed Development Permit application</i>
Unit Density:	
Townhouses:	52.0 u.p.ha. (blended average lots 2 & 3)
Lot 2	53.8 u.p.ha.
Lot 3	51.7 u.p.ha.
Apartments	
Lot 1:	101 u.p.ha.
Floor Area Ratio (FAR):	
Townhouses:	
Lot 2	1.0 FAR
Lot 3	1.0 FAR
Apartments	
Lot 1:	1.2 FAR
Floor Area	
Townhouses:	22,135 sq. m.

	Proposed
Apartments:	64,625.6 sq. m.
Total:	86,752.5 sq. m.
Residential Units:	
1-Bedroom Apartments:	48 units
2-Bedroom Apartments:	60 units
3-Bedroom Apartments:	10 units
3-Bedroom Townhouses	205 units
Total:	323 units

Referrals

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 37 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

20 Elementary students at Port Kells Elementary School
11 Secondary students at Ecole Salish Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by 2027.

Parks, Recreation & Culture:

Parks accepts conveyance of the proposed parkland.

A P-15 agreement is required for monitoring and maintenance of replanting in the conveyed riparian areas where WSA compensation and restoration works are proposed.

The closest active park will be 600 metres walking distance and the closest natural area will be conveyed as part of the development.

A connection is provided through the site to a planned future park to the east of the site.

Ministry of Transportation & Infrastructure (MOTI):

A Traffic Impact Assessment is required for this development and is to include all phases of the development. Preliminary Approval has been granted for one year.

Surrey Fire Department:

No concerns.

Transportation Considerations

- The applicant will be required to provide the following road improvements to service the subject proposal:
 - Dedicate and construct the south side of 92 Avenue to the Collector Road standard.
 - Dedicate and construct Azalea Drive (177 Street) with 10.5m pavement, barrier curb and gutter, 3.0m boulevard with street lighting and street trees, 1.5m sidewalk on the west side, and 4.0m multi-use pathway on the east side;
 - Dedicate and construct Lakiotis Drive (west of 177 St) with 10.5m pavement, barrier curb and gutter, boulevard with street lighting and street trees, 1.5m sidewalk on both sides, and 11.0m pavement for the cul-de-sac bulb;
 - Dedicate and construct Lakiotis Drive (east of 177 St) with 10.5m pavement, barrier curb and gutter, 3.0m boulevard with street lighting and street trees, 1.5m sidewalk on the south side, and 4.0m multi-use pathway on the north side;
- Proposed access locations along Azalea Drive (177 Street) and Lakiotis Drive are acceptable, construct 7.3m wide concrete letdowns.
- The applicant is required to submit a transportation impact analysis (“TIA”) to the City and MOTI’s satisfaction and construct intersection improvements as identified by the TIA. A Plan-area wide TIA is currently being conducted as part of the Anniedale-Tynehead NCP update and this may be acceptable in place of a site-specific TIA, to be confirmed by the City and MOTI; however additional intersection improvements may still be applicable as a requirement of the subject application.
- The subject proposal is anticipated to generate approximately 2 to 3 vehicles per minute in the peak hour, based on industry standard rates.

Parkland and Natural Area Considerations

- The applicant is proposing to convey to the City the approximately 2.49-hectare riparian protection area, which contains three Class A watercourses, as dedicated open space (park land). An additional 7,295 square metre detention pond will also be dedicated that will act as a natural water feature.
- The applicant received Water Sustainability Act (WSA) approval from the Province on February 29, 2024.
- See the “Sensitive Ecosystems (Streamside Areas) Development Permit Requirement” for more details.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject property is designated "General Urban" in the Regional Growth Strategy (RGS).

- The proposed development complies with the General Urban RGS designation.

Official Community Plan

Land Use Designation

- The subject site is designated "Urban" in the Official Community Plan (OCP).
- In accordance with the OCP, the Urban designation will support a maximum unit density of 72 units per hectare (30 units per acre) in approved Secondary Plan areas. As a result, the existing Urban designation is appropriate to accommodate the proposed townhouse developments (Lots 2 and 3).
- However, an OCP Amendment from "Urban" to "Multiple Residential" is required for Lot 1 to achieve the proposed 5-storey apartment buildings and 14 townhouse units to be constructed as part of a future phase of development.

Amendment Rationale

- The proposal is consistent with the "High Density Cluster 10 – 15" and High Density Cluster (Green Space Transfer), Pond and Pond Buffer in the Anniedale-Tynehead NCP. The development provides residential units clustered around substantial public open space areas.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation, as described in the Community Amenity Contribution section of this report.

Public Consultation for Proposed OCP Amendment

- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

Themes/Policies

- The proposed development complies with the following themes and policies in the OCP (staff comments are in italics):

- A1.1 – Support compact and efficient land development that is consistent with the Metro Vancouver Regional Growth Strategy (RGS).

(The proposed development complies with the RGS designation.)

- A4.2 – Encourage the full and efficient build-out of existing planned urban areas in order to provide housing options.

(The proposed amendment will allow for a mix of housing choices including apartments and townhouses.)

- B2.14 – Encourage underground parking and provide landscaped open spaces and pedestrian environments in place of surface parking.

(The required residential parking for the proposed apartment units is proposed to be underground.)

Secondary Plans

Land Use Designation

- The subject property is designated “High Density Cluster 10 – 15” and High Density Cluster (Green Space Transfer), Pond and Pond Buffer in the Anniedale-Tynehead NCP.
- In order to accommodate the existing grading on the site, an amendment to the proposed road network is required.

Amendment Rationale

- The development proposal complies with guidelines and strategies outlined in the Anniedale-Tynehead NCP as follows:
 - The proposal improves overall connectivity within the surrounding neighbourhood through a network of inter-connected roads, lanes, multi-use pathways, pedestrian walkways, and public sidewalks; and
 - The development proposal includes the provision of new park/green space for area residents.
- The site is subject to significant, steep existing grades. The road alignment identified in the NCP is impractical to achieve, would result in steep grades and would require significant retaining walls. The proposed amendment to the road network to better reflect the existing natural grade has been accepted by Engineering.

Themes/Objectives

- Retain significant environmental features including creeks, important vegetation, and Green Infrastructure (Ecosystem Hubs, Sites and Corridors). Encourage cluster development which enables density transference and site-specific design that responds to the area’s natural features.

(The applicant is proposing to convey a large 2.5 hectare riparian protection area as well as 0.73 hectare detention pond to the City as open space to ensure ongoing protection and stewardship of the environmental features. The protected open space and detention pond will include walking paths. Riparian enhancement, and suitable plantings are proposed within this space to preserve and enhance the existing riparian area.)

- Provide a variety of housing types, densities, and forms to accommodate a range of lifestyle and housing choices for people across the spectrum of family type, age, and income levels.

(The applicant is proposing 323 units which include 205 townhouse and 118 apartment units, which will support housing choice for families who will be relocating to the Anniedale-Tynehead area).

Zoning By-law

- The applicant proposes to rezone the development portions of the subject site from "General Agriculture Zone (A-1)" to "Multiple Residential 30 Zone (RM-30)" and "Multiple Residential 45 Zone (RM-45)".

RM-30 Zone

- The applicant is proposing to rezone a portion of the subject site (proposed Lots 2, 3 and 4) from "General Agriculture Zone (A-1)" to "Multiple Residential 30 Zone (RM-30)" for proposed townhouse development.
- The proposed rezoning to "Multiple Residential 30 Zone (RM-30)" will comply with all aspects of the RM-30 Zone with the exception of side yard setback relaxations for Phase 1 (Lot 2).
- Proposed Lot 4 requires a variance in order to reduce the minimum lot depth and area, under the RM-30 Zone (see "Variances Proposed" section below).
- Proposed Lot 4 is anticipated to be consolidated with the development to the east at 17600 – 92 Avenue (7922-0126-00) for the creation of 29 townhouse units, and will require a no-build Restrictive Covenant until such time as this consolidation occurs.
- Proposed Lot 2 (Phase 1) is the only lot proceeding with a Detailed Development Permit for 42 townhouse units at this time.
- In subsequent phases, the applicant is proposing the creation of 149 townhouse units on proposed Lot 3 and 118 apartment units in two, 5-storey apartment buildings plus 14 townhouse units on proposed Lot 1. These later phases will each be subject to subsequent Detailed Development Permits.
- The table below provides an analysis of the proposed townhouse component in relation to the requirements of the Zoning By-law, including the "Multiple Residential 30 Zone (RM-30)" and parking requirements.

RM-30 Zone (Part 22)	Permitted and/or Required	Proposed Lot 2	Proposed Lot 3
Number of Units		42 units	149 units
Unit Density:	75 u.p.ha.	54 u.p.ha.	52 u.p.ha.
Floor Area Ratio:	1.0 (Net)	0.83 (Net)	0.72
Lot Coverage:	45%	43%	35%
Yards and Setbacks			
North:	4.5 m.	4.8 m.	6.0 m.
East:	6.0 m.	3.0 m.*	4.5 m.
South:	6.0 m.	6.0 m.	7.5 m.
West:	6.0 m.	3.0 m*	3.0 m.**
Height of Buildings			
Principal buildings:	13 m.	11 m.	TBD at Detailed DP stage
Indoor amenity space building:	11 m.	11 m.	
Amenity Space			
Indoor Amenity:	3 sq. m./unit	The proposed 148 m ² of indoor amenity space meets the Zoning By-law requirement.	TBD at Detailed DP stage
Outdoor Amenity:	3 sq. m./unit	The proposed 184 m ² of outdoor amenity space meets the Zoning By-law requirement.	
Parking (Part 5)			
Required		Proposed	
Number of Stalls			
Residential:	2 per dwelling unit	2 per dwelling unit	2 per dwelling unit
Visitor:	0.2 per dwelling unit	0.2 per dwelling unit	0.2 per dwelling unit
Total:		93 spaces	TBD
Tandem (%):	35%	5%	TBD

*DVP requested

**DVP may be required with subsequent DDP application

- The townhouse development proposed on Lots 2 and 3 will comply with all aspects of the RM-30 Zone except for the variances, discussed below, to reduce the minimum building setbacks along the east and west property lines.
- Proposed remnant Lot 4, which will be created as an undersized lot for future lot consolidation with the site to the west, will require variances to the minimum lot size and dimensions.

RM-45 Zone

- For the proposed apartment and townhouse development on Lot 1, the applicant is proposing to rezone this portion of the subject site from "General Agriculture Zone (A-1)" to "Multiple Residential 45 Zone (RM-45)".
- The table below provides an analysis of the proposed townhouse component in relation to the requirements of the Zoning By-law, including the "Multiple Residential 45 Zone (RM-45)" and parking requirements.

RM-45 Zone (Part 22)	Permitted and/or Required	Proposed Lot 1
Unit Density:	111 u.p.ha.	101 u.p.ha.
Floor Area Ratio:	1.3(Net)	1.15 (Net)
Lot Coverage:	45%	28%
Yards and Setbacks		
North:	7.5 m.	14.5 m.
East:	7.5 m.	13 m.
South:	7.5 m.	7.5 m.
West:	7.5 m.	7.5 m.
Height of Buildings		
Principal buildings:	13 m.	TBD at Detailed DP stage
Indoor amenity space building:	11 m.	.
Amenity Space		
Indoor Amenity:	3 sq. m./unit	The proposed 400 m ² of indoor amenity space meets the Zoning By-law requirement. TBC at Detailed DP stage.
Outdoor Amenity:	3 sq. m./unit	The proposed 1,394 m ² of outdoor amenity space meets the Zoning By-law requirement. TBC at Detailed DP stage.

RM-45 Zone (Part 22)	Permitted and/or Required	Proposed Lot 1
Parking (Part 5)	Required	Proposed
Number of Stalls		
Residential:	TBD at Detailed DP stage.	TBD at Detailed DP stage.
Residential Visitor:		
Total:		

- The two, 5-storey apartment and townhouse development proposed on Lot 1 are expected comply with all aspects of the RM-45 Zone. However, a detailed review will be undertaken at the time of submission of a Detailed Development Permit application, at which time additional variances may be identified and considered.

Lot Size and Setback Variances

- The applicant is requesting the following variances:
 - to reduce the minimum side yard (east and west) setbacks of the RM-30 Zone from 6.0 metres to 3.0 metres to the building face of all buildings for proposed Lot 2;
 - to reduce the minimum lot area of the RM-30 zone from 2,000 square metres to 590 square metres for proposed remnant Lot 4, and
 - to reduce the minimum lot width of the RM-30 Zone from 30 metres to 5 metres for proposed remnant Lot 4.
- Proposed setback variances are for a side of unit condition and allow for a more efficient layout, while still providing for sufficient private and shared outdoor space.
- The proposed variances to the remnant Lot 4 will allow the creation of a lot that is to be consolidated with the development to the west (7922-0126-00). A no-build Restrictive Covenant will be registered upon Lot 4 until the consolidation occurs.
- Staff support the requested variances to proceed for consideration.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City’s Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City’s Annual Five-Year Capital Financial Plan. A fee update has been approved in April 2024, under Corporate Report No.Ro46;2024.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit Issuance. The current rate is \$2,227.85 per new unit.

- The proposed development is not anticipated to be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, however staff continue to work with the applicant on refining the final density and unit expectations for the proposed apartment site (proposed Lot 1). This will be confirmed at the detailed design stage.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,113.92 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on April 5, 2024, and the Development Proposal Signs were installed on April 6, 2024. Staff received one response (*staff comments in italics*):
 - A general question on eviction and compensation for existing tenants within the development site.

(Evictions due to land development fall under Provincial regulations and specifically the Residential Tenancy Act.)

DEVELOPMENT PERMITS

Form and Character Development Permit Requirements

General Development Permit

- A General Development Permit for a 3 -phased residential development will include:
 - A First Phase including one townhouse development on Lot 2, a remnant Lot 4 to be consolidated with a development to the west, a 2.5 hectare Lot 5 dedicated as parkland, Lot 6 as a detention pond and Lot 7 as a pump station.
 - A Second Phase including 149 townhouse units on Lot 3
 - A Third Phase including two 5-storey apartment buildings (118 units) with underground parking and 14 townhouse units on Lot 1.
- The General Development Permit will include the Hazard Lands (Steep Slope) and Sensitive Ecosystems documents including the Ecosystem Development Plan (EDP) and geotechnical reports.
- For Phase 2 (Lot 3), the applicant will need to work together on grading with the townhouse development to the north (Development Application No. 7922-0126-00 at 17660 – 92 Avenue) to transition grading on the site and reduce any retaining walls.

Detailed Development Permit (Phase 1, Lot 2)

- The proposed townhouse development on Lot 2 is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Anniedale-Tynehead Neighbourhood Concept Plan (NCP).
- The proposed townhouse development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Anniedale-Tynehead Neighbourhood Concept Plan (NCP).
- The applicant has worked with staff to address location of roads to address slope issues.
- To provide a pedestrian-friendly interface and appropriate building spacing, the length of all buildings facing the street do not exceed six (6) units.
- The townhouse units are approximately 122 to 172 square metres in floor area and are comprised entirely of three-bedroom units.
- The proposed design character of the development will establish an appropriate precedent for new residential development in Anniedale-Tynehead. The proposed residential buildings feature a high standard of architectural design character and quality and incorporate high quality durable materials.
- Materials and colours for the townhouses are primarily various shades of beige, blue and grey hardie siding.

Landscaping

- The applicant proposes to plant 187 trees as no trees are proposed to be retained on Lot 2. The proposed trees include maples, birch, dogwood, sweetgum, ash, cherry, spruce, fir pine, and cedar.
- The outdoor amenity area is located next to the indoor amenity building next to Buildings 4 and 6.

Indoor Amenity

- As per the Zoning Bylaw, a total of 126 square metres of indoor amenity space is required for the 42 townhouse units and the applicant is proposing 148 square metres of indoor amenity area. The applicant proposes a two-storey amenity building which is attached to Building 4.
- The proposed indoor amenity building is a two storey building. Programming is yet to be determined but will include a kitchen on the main floor and washroom facilities on both floors.

Outdoor Amenity

- As per the Zoning Bylaw, a total of 126 square metres of indoor amenity space is required for the 42 townhouse units. The applicant proposes to exceed this requirement with 184 square metres.
- The proposed 184-square metre outdoor amenity area is located adjacent and to the south of the amenity building. The area includes a seating area and covered trellises.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. The applicant will address any outstanding design comments from staff prior to Development Permit (DP) issuance.

Hazard Lands (Steep Slope) Development Permit Requirement

- The subject property falls within the Hazard Lands (Steep Slope) Development Permit Area (DPA) in the OCP, given that the site contains steep slopes in excess of 20% gradient. The Hazard Land (Steep Slope) Development Permit is required to protect developments from hazardous conditions.
- The site slopes approximately 30 metres from the north to the south. The average slope is approximately 10%.
- A geotechnical report, prepared by Kevin Bodnar, *P. Eng.*, of GeoPacific Consultants Ltd. and dated March 15, 2024 and needs to be updated to reflect the most recent layout. The finalized geotechnical report will be incorporated into the Development Permit.

- There are substantial retaining walls on site that will need to be further reviewed and adjusted for height and location to ensure that City services and land are not impacted or burdened by the walls.
- Registration of a Section 219 Restrictive Covenant that requires the owner to develop the site in accordance with the conditions in the geotechnical report is required as a condition of final adoption.
- At Building Permit stage, the Building Division will require Letters of Assurance from a geotechnical engineer to ensure that the building plans comply with the recommendations in the approved geotechnical report.

Sensitive Ecosystems (Streamside Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of 3 watercourse within the site as follows:
 - An existing Class A (red-coded) stormwater fed ditch which flows north-south within the center of the site (Ditch 1), and requires a 10 metre setback;
 - An existing Class A (red-coded) channelized stream which flows east-west along the southern boundary within the center of the site (Stream A), and requires a 25 metres setback; and
 - An existing Class A (red-coded) watercourse which flows north-south within the center of the site (Stream A-1), and requires a 25 metres setback.
- No variances to streamside setbacks are proposed.
- The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.
- The riparian area is proposed to be conveyed to the City as a lot (proposed Lot 5) for conservation purposes as a condition of rezoning approval, in compliance with the OCP.
- An Ecosystem Development Plan, prepared by Ryan Preston, *R.P. Bio.*, of ENKON Environmental Limited and dated October 8, 2020 has been submitted and will require modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

Sensitive Ecosystems (Green Infrastructure Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems DPA for Green Infrastructure Areas in the OCP, given the location of a Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) Corridor located to the west and south property lines. The Sensitive Ecosystems (Green Infrastructure Areas) Development Permit is required to protect environmentally sensitive and/or unique natural areas from the impacts of development.
- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies [BCS Hub A and a Regional BCS Corridor](#) within the subject site, in the Tynehead BCS management area, with a Medium ecological value.

- The BCS further identifies the GIN area of the subject site as having a Moderate habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends a target Corridor width of 50 meters. The BCS recommends a target Hub Area of approximately 30% of the subject property.
- The development proposal conserves/enhances approximately 2.5 hectares of the subject site through Parkland Dedication approximately 27% of the total gross area of subject site. This method of GIN retention/enhancement will assist in the long-term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.
- An Ecosystem Development Plan, prepared by Ryan Preston, *R.P. Bio.*, of ENKON Environmental Limited and dated October 8, 2020 was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.

TREES

- Nick McMahon, ISA Certified Arborist of Arbortech Consulting prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

Table 1: Summary of Proposed Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	39	18	21
Cottonwood	47	18	29
Total	86	36	50
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Bigleaf Maple	45	8	37
Japanese maple	2	2	0
Pacific madrone	1	1	0
Paper birch	4	3	1
English hawthorne	1	0	1
Bitter cherry	5	4	1
Black locust	12	12	0
Weeping willow	1	1	0
Coniferous Trees			
Deodar cedar	2	2	0
Sawara cypress	2	1	1
Norway spruce	1	0	1
Blue spruce	1	1	0
Sitka spruce	2	1	1
Scots Pine	8	8	0

Douglas-fir	66	32	34
Giant sequoia	1	0	1
Western redcedar	191	73	118
Western hemlock	4	2	2
Total (excluding Alder and Cottonwood Trees)	349	149	200
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		187 replacement trees for Phase 1 (Lot 2)	
Total Retained and Replacement Trees Proposed		387	
Estimated Contribution to the Green City Program		\$80,850	

- The Arborist Assessment states that there are a total of 349 mature trees on the site, excluding Alder and Cottonwood trees. Eighty-six (86) existing trees, approximately 25% of the total trees on the site, are Alder and Cottonwood trees. The applicant proposes to retain 200 trees as part of this development proposal, along with 50 Alder and Cottonwood trees. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- A detailed planting plan prepared by a Registered Professional Biologist (R.P. Bio.) and an associated P-15 agreement are required for the monitoring and maintenance of the proposed trees to be planted in the conveyed riparian area.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees that are outside the streamside protection area, and a 2 to 1 replacement ratio for all other trees, including Alder and Cottonwood that are within a streamside protection area. This will require a proposed total of 334 replacement trees on the site. Since the applicant currently proposes 187 replacement trees on the site (Lot 2 – Phase 1), there is a deficit of 147 replacement trees. As Phases 2 and 3 of the development build out, the number of replacement trees will be adjusted. Currently an estimated cash-in-lieu payment of \$80,850, representing \$550 per tree, to the Green City Program, in accordance with the City’s Tree Protection By-law, would be applicable.
- The new trees on the site will consist of a variety of trees including maples, birch, dogwood, sweetgum, ash, cherry, spruce, fir pine, and cedar.
- In summary, a total of 387 trees are proposed to be retained or replaced for Phase 1 of the site with an estimated contribution of \$80,850 to the Green City Program.
- The proposed tree retention and replacement strategy will be refined as the applicant works through the detailed design process and further phases of the development.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix V. NCP Plan
- Appendix VI. OCP Redesignation Map
- Appendix VII. Development Variance Permit No. 7920-0278-00

approved by Ron Gill

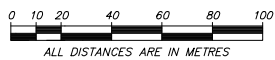
Don Luymes
General Manager
Planning and Development

JK/ar

**SURVEY PLAN TO ACCOMPANY CITY OF SURREY
ZONING BYLAW No. _____ OVER
LOT 1, PLAN 9215;
LOT 1 EXCEPT: FIRSTLY; PART SUBDIVIDED BY PLAN 8172
SECONDLY; PART SUBDIVIDED BY PLAN 9215 THIRDLY; PART
ON STATUTORY RIGHT OF WAY PLAN 50683 FOURTHLY; PART
DEDICATED ROAD ON PLAN BCP27358, PLAN 7653;
PARCEL "A" (EXPLANATORY PLAN 12575) LOT 2
AND LOT 2 EXCEPT: PARCEL "A" (EXPLANATORY PLAN 12575), PLAN 8172,
ALL OF SECTION 32 TOWNSHIP 8
NEW WESTMINSTER DISTRICT**

PID: 000-818-062
CIVIC ADDRESS: 17696 92 AVENUE
SURREY, BC
PID: 009-893-822
CIVIC ADDRESS: 9126 176 STREET
SURREY, BC
PID: 011-296-259
CIVIC ADDRESS: 17718 92 AVENUE
SURREY, BC
PID: 011-296-445
CIVIC ADDRESS: 17734 92 AVENUE
SURREY, BC

BCGS 92G.017

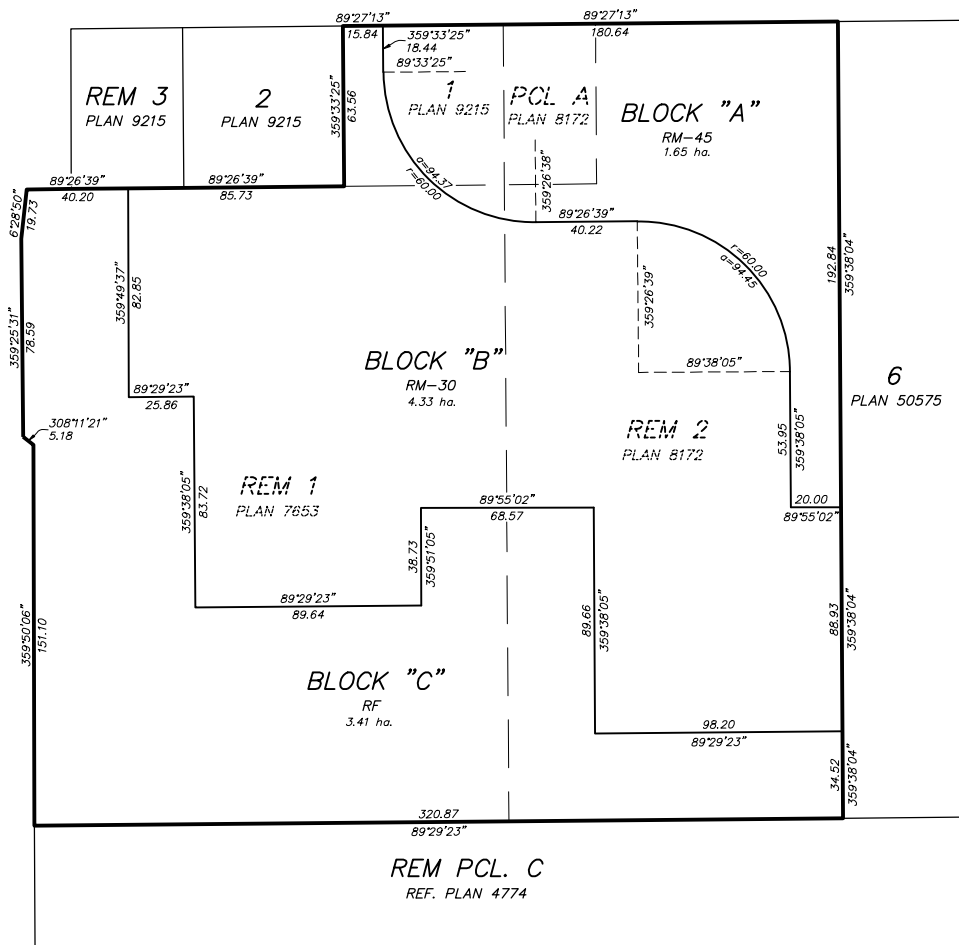


THE INTENDED PLOT SIZE OF THIS PLAN
IS 432mm IN WIDTH BY 560mm IN HEIGHT (C SIZE)
WHEN PLOTTED AT A SCALE OF 1:1500

92 AVENUE



176 STREET



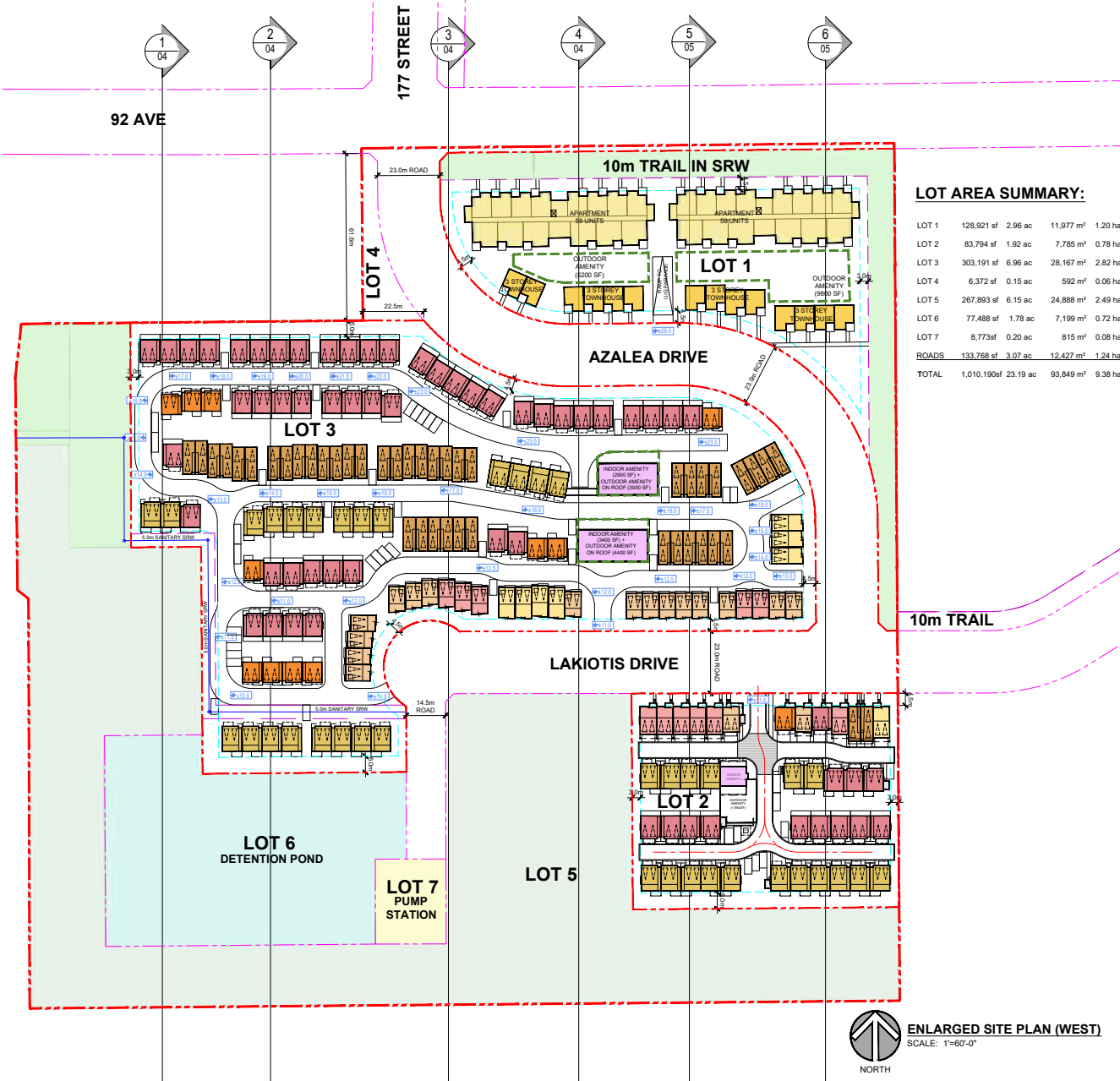
BOOK OF REFERENCE			
BLOCK	ZONE	FULL LEGAL DESCRIPTION	AREA
BLOCK "A"	RM-45	PART OF LOT 1, PLAN 9215; PART OF REMAINDER LOT 1, PLAN 7653; PARCEL A LOT 2 AND PART OF REMAINDER LOT 2, PLAN 8172 ALL IN SECTION 32 TOWNSHIP 8 NEW WESTMINSTER DISTRICT	1.65 HA
BLOCK "B"	RM-30	PART OF LOT 1, PLAN 9215; PART OF REMAINDER LOT 1, PLAN 7653 AND REMAINDER LOT 2, PLAN 8172; BOTH IN SECTION 32 TOWNSHIP 8 NEW WESTMINSTER DISTRICT	4.33 HA
BLOCK "C"	RF	PART OF REMAINDER LOT 1, PLAN 7653 AND REMAINDER LOT 2, PLAN 8172; BOTH IN SECTION 32 TOWNSHIP 8 NEW WESTMINSTER DISTRICT	3.41 HA

CERTIFIED CORRECT 29TH DAY OF APRIL, 2024

Xunchen Bao XYDCHC
Digitally signed by Xunchen Bao XYDCHC
Date: 2024.04.29 15:57:47 -07'00'

Project: 1813 - 1776 St. at 92 Ave. - Multi-Family Development
 File: 1813 - 1776 St. at 92 Ave. - Multi-Family Development - West Assembly - 2018-11-30
 Date: 2018-11-30
 Author: FOCUS ARCHITECTURE INCORPORATED
 Project Manager: FOCUS ARCHITECTURE INCORPORATED
 Designer: FOCUS ARCHITECTURE INCORPORATED
 Checker: FOCUS ARCHITECTURE INCORPORATED
 Title: ENLARGED SITE PLAN (WEST)

176 STREET



LOT AREA SUMMARY:

LOT 1	128,921 sf	2.96 ac	11,977 m ²	1.20 ha
LOT 2	83,794 sf	1.92 ac	7,785 m ²	0.78 ha
LOT 3	303,191 sf	6.96 ac	28,167 m ²	2.82 ha
LOT 4	6,372 sf	0.15 ac	592 m ²	0.06 ha
LOT 5	267,893 sf	6.15 ac	24,888 m ²	2.49 ha
LOT 6	77,488 sf	1.78 ac	7,199 m ²	0.72 ha
LOT 7	8,773 sf	0.20 ac	815 m ²	0.08 ha
ROADS	133,768 sf	3.07 ac	12,427 m ²	1.24 ha
TOTAL	1,010,190sf	23.19 ac	93,849 m ²	9.38 ha

10m TRAIL

ENLARGED SITE PLAN (WEST)
 SCALE: 1"=60'-0"

SITE RECONCILIATION - WEST ASSEMBLY

LOT GROSS AREA: **1,010,190 SQ. FT.** (23.19 ac = 9.38 ha)
 MAXIMUM PERMITTED DENSITY = 15 UPA X 23.19 ac = 348 UNITS
 NET DEVELOPMENT AREAS:
 LOT 1 RM-45 (2.96 ac, 1.20 ha) 118 APARTMENT UNITS 14 TOWNHOUSE UNITS
 LOT 2 RM-30 (1.92 ac, 0.78 ha) 42 TOWNHOUSE UNITS
 LOT 3 RM-30 (6.96 ac, 2.82 ha) 148 TOWNHOUSE UNITS
 LOT 4 TBD (0.15 ac, 0.06 ha) REMAINING FOR FUTURE CONSOLIDATION
 TOTAL PROPOSED: (11.99 ac, 4.86 ha) 323 UNITS (118 APARTMENT, 205 TOWNHOUSE)

LOT 1 (GENERAL DP)

LOT AREA: 2.96 ac (1.20 ha)
 PROPOSED ZONING: RM-45
 DENSITY:
 PERMITTED (UPH): 111 UPH
 PROPOSED (UPH): 132 UNITS / 1.20 ha = 110 UPH
 PERMITTED (FAR): 1.3
 PROPOSED (FAR): 161,698 SF / 128,921 SF = 1.25

LOT COVERAGE:
 PERMITTED: 45%
 PROPOSED: 38,962 SF / 128,921 SF = 30.2%

SETBACKS:
 REQUIRED:
 PROPOSED:
 7.5m (ALL LOT LINES)
 13.0m EAST
 7.5m WEST
 14.5m (NORTH)
 7.5m (SOUTH)

HEIGHT:
 PERMITTED: 15.0 m
 PROPOSED: 17.0 m (TO BE CONFIRMED AT DP STAGE)

PARKING: TBD AT DP STAGE (ALL PARKING IN UNDERGROUND)

AMENITY:

OUTDOOR REQUIRED: 132 UNITS X 3m²/UNIT = 396 m²
 OUTDOOR PROVIDED: 1384 m²
 INDOOR REQUIRED: 132 UNITS X 3m²/UNIT = 396 m²
 INDOOR DOOR PROVIDED: 400 m² (TO BE CONFIRMED AT DP)

LOT 2 (SEE RELATED DP APPLICATION)

LOT AREA: 83,806 SF (1.92 AC, 0.78 HA)

PROPOSED ZONING: RM-30

DENSITY:
 PERMITTED (UPH): 75 UPH
 PROPOSED (UPH): 42 UNITS / 0.78 HA = 53.8 UPH
 PERMITTED (FAR): 1.0
 PROPOSED (FAR): 69,219 SF / 83,806 SF = 0.83

LOT COVERAGE:
 PERMITTED: 45%
 PROPOSED: 35,908 SF / 83,806 SF = 42.8%

SETBACKS:
 REQUIRED
 PROPOSED
 FRONT (NORTH) 4.5M 4.8M (AT BUILDING)
 REAR (SOUTH) 6.0M 6.0M (AT BUILDING)
 SIDE (EAST) 6.0M 4.1M (AT DECK POST)
 SIDE (WEST) 6.0M 3.0M (SIDE YARD CONDITION)
 6.0M 3.0M (SIDE YARD CONDITION)

HEIGHT:
 PERMITTED: 13.0m
 PROPOSED: 10.71 m (AT BUILDING 6)

PARKING:

RESIDENT REQUIRED: 42 DOUBLE GARAGE UNITS X 2.0 STALLS / UNIT = 84 STALLS
 RESIDENT PROVIDED: 84 STALLS (84 IN GARAGES)
 VISITOR REQUIRED: 42 UNITS X 0.2 STALLS / UNIT = 8.4 STALLS
 VISITOR PROVIDED: 9 STALLS

AMENITY AREA:

OUTDOOR REQUIRED: 42 UNITS X 3M² / UNIT = 126M²
 OUTDOOR PROVIDED: 184 M² (1,984SF)
 INDOOR REQUIRED: 42 UNITS X 3M² / UNIT = 126M²
 INDOOR PROVIDED: 148 M² (1,592SF)

LOT 3 (GENERAL DP)

LOT AREA: 6.96 AC (2.82 HA)

PROPOSED ZONING: RM-30

DENSITY:
 PERMITTED (UPH): 75 UPH
 PROPOSED (UPH): 149 UNITS / 2.82 HA = 52.8 UPH
 PERMITTED (FAR): 1.0
 PROPOSED (FAR): 223,500 SF / 309,998 SF = 0.72

LOT COVERAGE:
 PERMITTED: 45%
 PROPOSED: 108,174 SF / 303,191 SF = 35.7%

SETBACKS:
 REQUIRED
 PROPOSED
 FRONT (SOUTH) 4.5m 7.5m
 REAR (NORTH) 6.0m 6.0m (ADJACENT LOT)
 SIDE - FLANKING (EAST) 4.5m 4.5m (AT STREET)
 SIDE (WEST) 6.0m 6.0m
 4.5m 4.5m
 6.0m 3.0m (SIDE YARD CONDITION)

HEIGHT:
 PERMITTED: 13.0M
 PROPOSED: TBD AT DP

PARKING:

RESIDENT REQUIRED: 149 UNITS X 2 STALLS/UNIT = 298 STALLS
 RESIDENT PROVIDED: 298 STALLS
 VISITOR REQUIRED: 149 UNITS X 0.2 STALLS/UNIT = 29.8 STALLS
 VISITOR PROVIDED: 42 STALLS

AMENITY:

OUTDOOR REQUIRED: 149 UNITS X 3m²/UNIT = 447 m²
 OUTDOOR PROVIDED: 771m² (TO BE CONFIRMED AT DP)
 INDOOR REQUIRED: 149 UNITS X 3m²/UNIT = 447 m²
 INDOOR DOOR PROVIDED: 685m² (TO BE CONFIRMED AT DP)

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2024-05-01

INCREASED ROAD DEDICATIONS AND REVISIONS

2023-08-01

SITE CALCULATION REVISIONS

2023-06-28

EAST SITE SETBACK REVISIONS

2023-01-31

SELECTED LOT 3 WEST ACCESS

2023-05-10

ADDED 0.46 ACRE GREEN SPACE

2021-09-20

REVIEWED AMENITY CALCULATIONS

2020-12-05

REVIEWED EAST SITE CONCEPT

2020-10-27

EAST SITE CONCEPT

2020-08-15

GRADING REVISIONS

2020-08-21

GENERAL REVISIONS

2018-05-30

ISSUED FOR PRE-APPLICATION

REVISIONS

CONSULTANT

CLIENT

LAKEWOOD ANNIEDEALE DEVELOPMENTS LTD.

PROJECT

PROPOSED MULTI-FAMILY DEVELOPMENT

176 ST. AT 92 AVE

DRAWING TITLE

ENLARGED SITE PLAN (WEST)

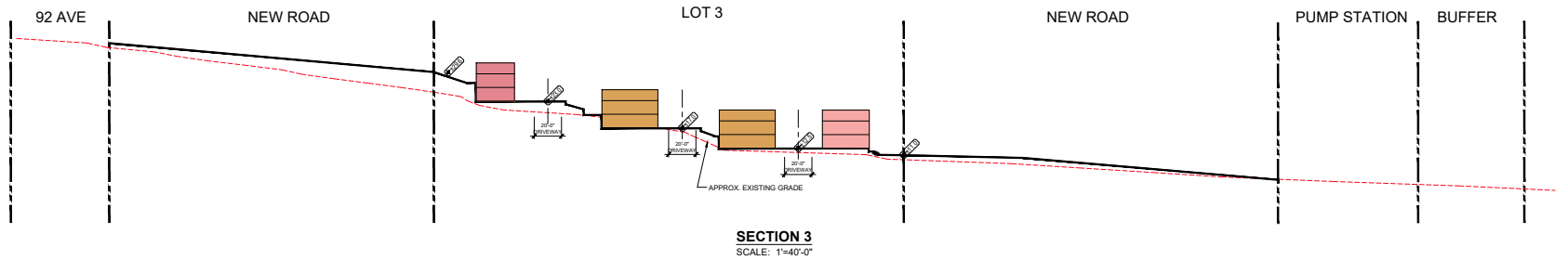
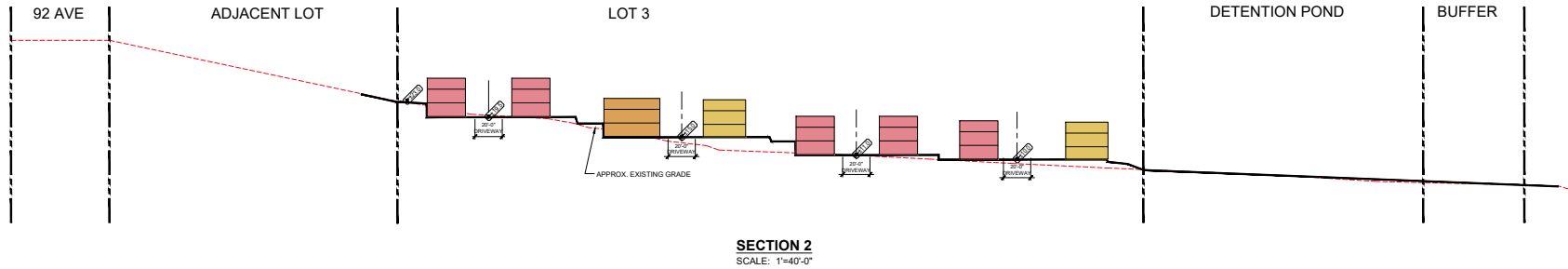
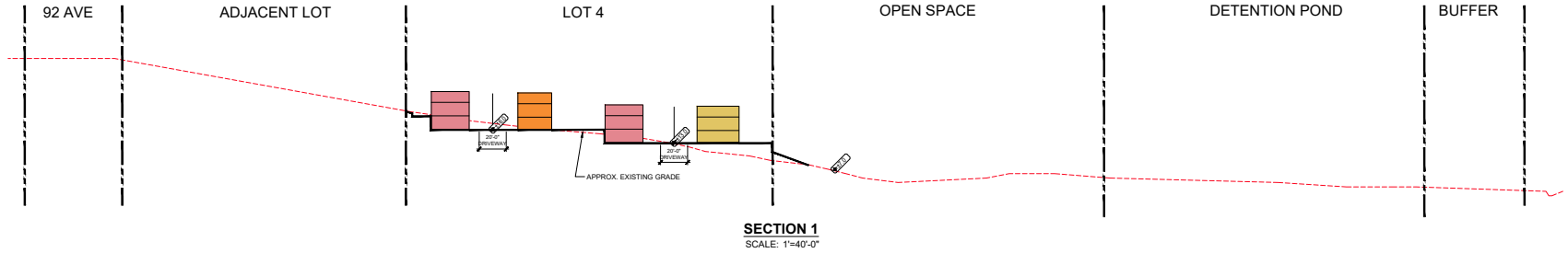
DATE 2018.11.30 FILE NO.

OWN: AL 1813

CHK: ch

SEAL

SHEET NO.



2024-05-01	INCREASED ROAD DEDICATIONS AND REVISED CALCULATIONS
2024-04-19	ADDITIONAL SITE CALCULATIONS
2023-08-01	SITE CALCULATION REVISIONS
2023-04-05	EAST SITE SETBACK REVISIONS
2023-01-31	SELECTED LOT 3 WEST ACCESS
2022-05-19	ADDED 0.46 ACRE GREEN SPACE
2021-09-29	REVISED AFFINITY CALCULATIONS
2020-12-05	REVISED EAST SITE CONCEPT
2020-10-15	EAST SITE CONCEPT
2020-09-15	GRADING REVISIONS
2020-08-21	GENERAL REVISIONS
2018-05-30	ISSUED FOR PRE-APPLICATION REVISIONS
	CONSULTANT

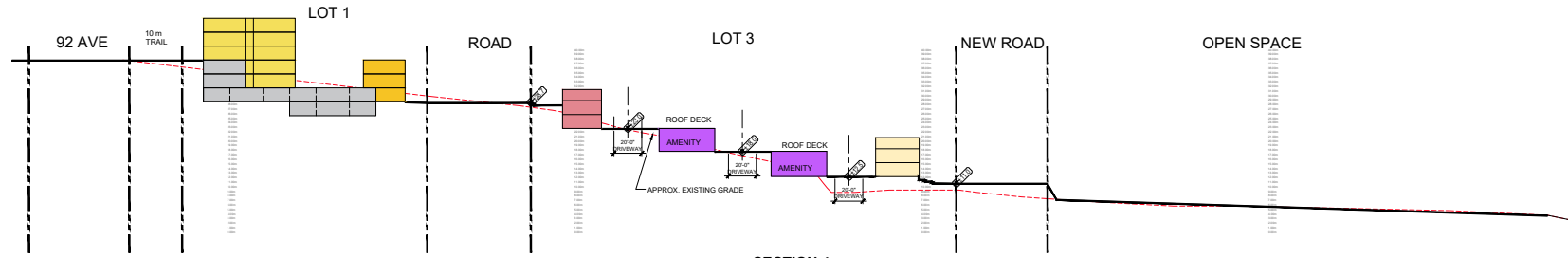
CLIENT
LAKEWOOD ANNIEDALE DEVELOPMENTS LTD.

PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT
176 ST. AT 92 AVENUE

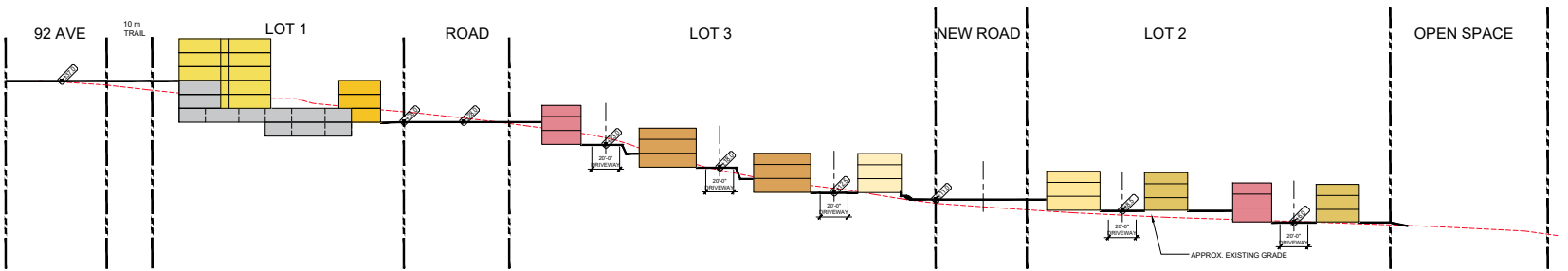
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SITE SECTIONS WEST ASSEMBLY

DATE: 2018.11.30 FILE NO.
OWN: AL 1813
CHK: ch

SEAL
SHEET NO.



SECTION 4
SCALE: 1"=40'-0"



SECTION 5
SCALE: 1"=40'-0"



SECTION 6
SCALE: 1"=40'-0"

2024-05-01	INCREASED ROAD DEDICATIONS AND REVISED CALCULATIONS
2024-04-12	ADDITIONAL SITE CALCULATIONS
2023-08-01	SITE CALCULATION REVISIONS
2023-04-05	EAST SITE SETBACK REVISIONS
2023-01-31	SELECTED LOT 3 WEST ACCESS
2022-05-10	ADDED 0.46 ACRE GREEN SPACE
2021-09-20	REVISED AMENITY CALCULATIONS
2020-12-05	REVISED EAST SITE CONCEPT
2020-10-27	EAST SITE CONCEPT
2020-09-15	GRADING REVISIONS
2020-08-21	GENERAL REVISIONS
2018-05-30	ISSUED FOR PRE-APPLICATION REVISIONS
CONSULTANT	

CLIENT
LAKEMOOD ANNIEDEALE DEVELOPMENTS LTD.

PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT
176 ST. AT 92 AVENUE

DRAWING TITLE
SITE SECTIONS WEST ASSEMBLY

DATE: 2018.11.30 FILE NO.
OWN: AL 1813
CHK: ch

SEAL
SHEET NO.



SITE RECONCILIATION:

LOT AREA: LOT AREA: 83,806 SF (1.92 AC, 0.78 HA)
 PROPOSED ZONING: RM-30
 DENSITY: PERMITTED (UPH): 75 UPH
 PROPOSED (UPH): 42 UNITS / 0.78 HA = 53.8 UPH
 PERMITTED (FAR): 1.0
 PROPOSED (FAR): 69,219 SF / 83,806 SF = 0.83
 LOT COVERAGE: PERMITTED: 45%
 PROPOSED: 35,908 SF / 83,806 SF = 42.8%
 SETBACKS: REQUIRED: PROPOSED
 FRONT (NORTH): 4.5M 4.8M (AT BUILDING)
 REAR (SOUTH): 6.0M 3.7M (AT PORCH)
 SIDE (EAST): 6.0M 4.1M (AT DECK POST)
 SIDE (WEST): 6.0M 3.0M (SIDE YARD CONDITION)
 HEIGHT: PERMITTED: 13.0M
 PROPOSED: 10.71 m (AT BUILDING 6)
 PARKING: RESIDENT REQUIRED: 42 DOUBLE GARAGE UNITS X 2.0 STALLS / UNIT = 84 STALLS
 RESIDENT PROVIDED: 84 STALLS (84 IN GARAGES)
 VISITOR REQUIRED: 42 UNITS X 0.2 STALLS / UNIT = 8.4 STALLS
 VISITOR PROVIDED: 9 STALLS (INCL. 1 VAN ACCESS)
 AMENITY AREA: OUTDOOR REQUIRED: 42 UNITS X 3M² / UNIT = 126M²
 OUTDOOR PROVIDED: 184 M² (1,984SF)
 INDOOR REQUIRED: 42 UNITS X 3M² / UNIT = 126M²
 INDOOR PROVIDED: 148 M² (1,592SF)

LOT COVERAGE SUMMARY		
BLDG	# OF UNITS	LOT COVERAGE
1	7	5,479 sq.ft. 508.9 m ²
2	6	4,879 sq.ft. 453.1 m ²
3	5	4,228 sq.ft. 392.8 m ²
4	5	4,813 sq.ft. 447.0 m ²
5	5	3,750 sq.ft. 346.4 m ²
6	3	3,072 sq.ft. 285.3 m ²
7	6	5,381 sq.ft. 498.0 m ²
8	5	4,433 sq.ft. 411.5 m ²
TOTAL	42	36,013 sq.ft. 3,344.9 m²

TH - UNIT SUMMARY								
UNIT NAME	UNIT TYPE	# OF UNITS	GARAGE	LOWER	MAIN	UPPER	UNIT LIVING AREAS*	SITE TOTALS
A3	3 BED	1	424 sf	199 sf	630 sf	653 sf	1,482 sf	1,482 sf
A4	3 BED	1	420 sf	197 sf	617 sf	627 sf	1,441 sf	1,441 sf
B3	3 BED	1	531 sf	101 sf	587 sf	647 sf	1,330 sf	1,330 sf
B4	3 BED	1	531 sf	101 sf	588 sf	633 sf	1,322 sf	1,322 sf
C4	3 BED	1	562 sf	107 sf	687 sf	713 sf	1,507 sf	1,507 sf
E	3 BED	2	420 sf	257 sf	677 sf	687 sf	1,621 sf	3,242 sf
E1	3 BED	1	423 sf	259 sf	693 sf	693 sf	1,645 sf	1,645 sf
E2	3 BED	1	420 sf	257 sf	677 sf	687 sf	1,621 sf	1,621 sf
E3	3 BED	1	420 sf	257 sf	677 sf	687 sf	1,621 sf	1,621 sf
E4	3 BED	1	420 sf	257 sf	677 sf	687 sf	1,621 sf	1,621 sf
F	3 BED	4	567 sf	107 sf	685 sf	728 sf	1,497 sf	5,988 sf
F1	3 BED	4	567 sf	107 sf	685 sf	728 sf	1,520 sf	6,080 sf
F2	3 BED	4	567 sf	107 sf	672 sf	708 sf	1,487 sf	5,948 sf
Fa	3 BED	1	567 sf	107 sf	672 sf	718 sf	1,487 sf	1,487 sf
F1a	3 BED	1	562 sf	107 sf	685 sf	728 sf	1,520 sf	1,520 sf
F2a	3 BED	1	567 sf	107 sf	672 sf	708 sf	1,487 sf	1,487 sf
F3a	3 BED	1	567 sf	107 sf	675 sf	715 sf	1,497 sf	1,497 sf
G4	4 BED	1	423 sf	346 sf	753 sf	724 sf	1,877 sf	1,877 sf
H	4 BED	5	416 sf	320 sf	736 sf	761 sf	1,817 sf	9,085 sf
H1	4 BED	6	419 sf	322 sf	749 sf	766 sf	1,837 sf	11,022 sf
H2	4 BED	6	416 sf	320 sf	736 sf	756 sf	1,812 sf	10,872 sf
TOTAL	42							69,219 sf

- 1 COLOUR SCHEME 1
- 2 COLOUR SCHEME 2
- 3 COLOUR SCHEME 3
- 4 COLOUR SCHEME 4

*REFER TO COLOUR SCHEME ON DP-0.04

LOT 2 SITE PLAN (WEST)
 SCALE: 1"=20'-0"
 NORTH

REVISIONS	CONSULTANT
2024-02-28	DP COMMENTS
2023-09-01	ISSUED FOR DP

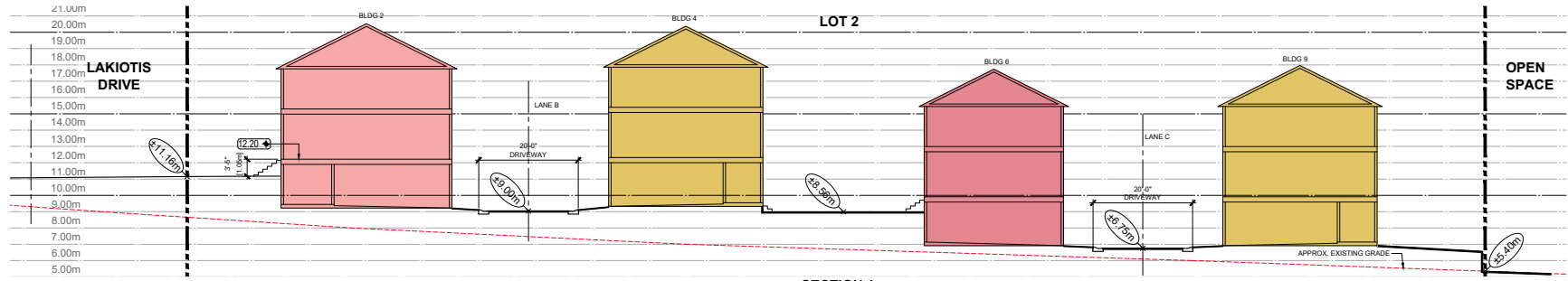
CLIENT
GRAMERCY ANNIEDEALE DEVELOPMENTS LTD.

PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT
 1776 ST. AT 92 AVENUE

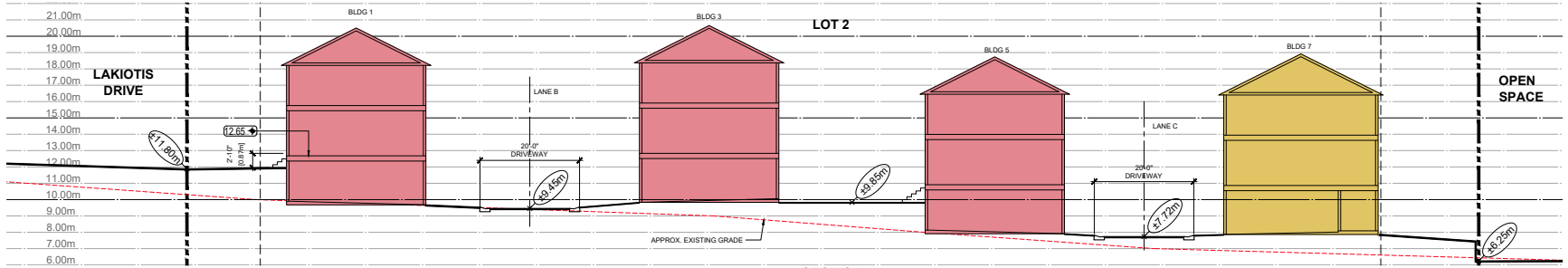
DRAWING TITLE
LOT 2 SITE PLAN (WEST)

DATE: 2023.09.01 FILE NO.
 DWN: DW
 CHK: CH **1813**

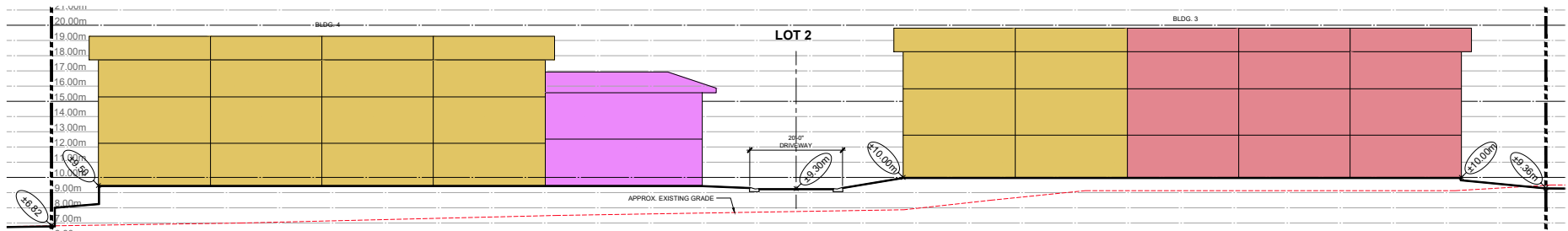
SEAL SHEET NO.



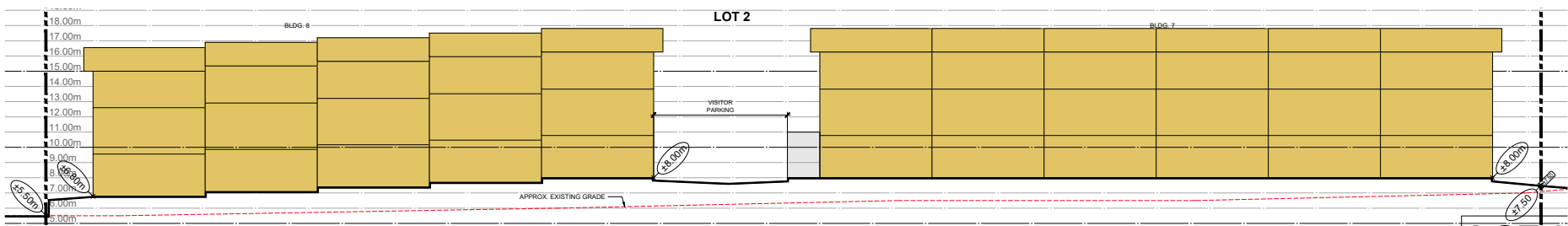
SECTION 1
SCALE: 3/32"=1'-0"



SECTION 2
SCALE: 3/32"=1'-0"



SECTION 3
SCALE: 3/32"=1'-0"



SECTION 4
SCALE: 3/32"=1'-0"

LOT 2 DP-0.02

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2024-02-28
DP COMMENTS

2023-09-01
ISSUED FOR DP

REVISIONS
CONSULTANT

CLIENT
GRAMERCY ANNIEDALE DEVELOPMENTS LTD.

PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT

176 ST. AT 92 AVENUE

DRAWING TITLE
SITE SECTIONS WEST ASSEMBLY

DATE: 2023.09.01 FILE NO.
OWN: AL 1813
CHK: CH

SEAL SHEET NO.



NORTH STREETScape - OVERALL LAKIOTIS DRIVE

SCALE: 3/32" = 1'-0"



NORTH STREETScape - BLOWN UP AT EAST END OF LAKIOTIS DRIVE

SCALE: 1/8" = 1'-0"



NORTH STREETScape - BLOWN UP AT WEST END OF LAKIOTIS DRIVE

SCALE: 1/8" = 1'-0"

2024-02-28	DP COMMENTS
2023-09-01	ISSUED FOR DP
REVISIONS:	
CONSULTANT:	

CLIENT
GRAMERCY ANNIDALE DEVELOPMENTS LTD.

PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT
176 ST. AT 92 AVENUE

DRAWING TITLE
LAKIOTIS DRIVE STREETSAPES COLOURED

DATE: 2023.09.01 FILE NO.
OWN: DW CH **1813**
CHK: CH

SEAL
SHEET NO.

LOT 2 DP-0.03

COLOUR SCHEME 1

COLOUR SCHEME 2

COLOUR SCHEME 3

COLOUR SCHEME 4



COLOUR SCHEME 1

A Siding/Shingle:
James Hardie
'Deep Ocean'



COLOUR SCHEME 2

B Siding/Shingle:
James Hardie
'Navajo Beige'



COLOUR SCHEME 3

C Siding/Shingle:
James Hardie
'Pearl Gray'



COLOUR SCHEME 4

D Siding/Shingle:
James Hardie
'Arctic White'



COMMON MATERIALS

D Roof Shingles:
IKO Cambridge Shingle
'Dual Black'



E Trim:
'Iron Gray'



F Metal Roof:
Westform
'Slate Grey'



G Window Frames:
Vinyl - 'Black'



H Balcony Doors:
Paint to match
'Iron Gray'



J Garage Doors:
BENJAMIN MOORE
HC-168 'CHELSEA GRAY'



K Vinyl Soffits:
Gentek
'Snow White'



L Metal Railings:
'Black'



M Aluminum Gutters:
Gentek
'Iron Ore'



N Entry Doors:
BENJAMIN MOORE
HC-168 'CHELSEA GRAY'



P Posts:
WOOD



2024-02-28	DP COMMENTS
2023-09-01	ISSUED FOR DP
REVISIONS	
CONSULTANT	

CLIENT
GRAMERCY ANNIDALE
DEVELOPMENTS LTD.

PROJECT
PROPOSED MULTI-FAMILY
DEVELOPMENT

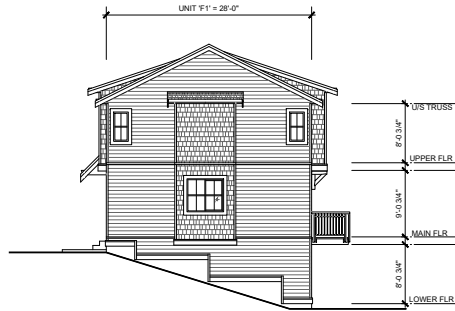
176 ST. AT 92 AVENUE

DRAWING TITLE
LAKIOTIS DRIVE
COLOUR SCHEME

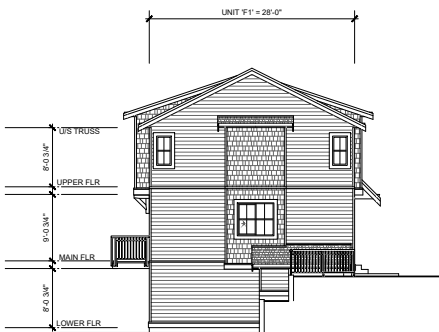
DATE	2023-09-01	FILE NO.
OWN.	DW	1813
CHK.	CH	

SEAL
SHEET NO.

LOT 2 DP-0.04



WEST ELEVATION
SCALE: 1/8"=1'-0"



EAST ELEVATION
SCALE: 1/8"=1'-0"



SOUTH ELEVATION
SCALE: 1/8"=1'-0"



NORTH ELEVATION
SCALE: 1/8"=1'-0"

ELEVATION MATERIAL LEGEND	
① ASPHALT SHINGLE ROOFING	⑫ PAINTED WOOD COLUMN
② PREFINISHED ALUMINUM GUTTER	⑬ PAINTED WOOD TRIM
③ PAINTED WOOD FASCIA	⑭ PAINTED WOOD BRACKETS
④ CEMENT BOARD SHINGLE SIDING	⑮ METAL THROUGH WALL FLASHING
⑤ CEMENT BOARD HORIZONTAL SIDING	⑯ PRIVACY WALL
⑥ CEMENT BOARD VERTICAL SIDING	⑰ METAL RAILING
⑦ ENTRY DOOR	⑱ GALVANIZED METAL ROOF
⑧ PATIO DOOR	
⑨ VINYL SLIDING PATIO DOOR	
⑩ VINYL WINDOW	
⑪ OVERHEAD GARAGE DOOR	

2024-02-28	DP COMMENTS
2023-09-01	ISSUED FOR DP
REVISIONS	CONSULTANT

CLIENT
GRAMERCY ANNIEDALE DEVELOPMENTS LTD.

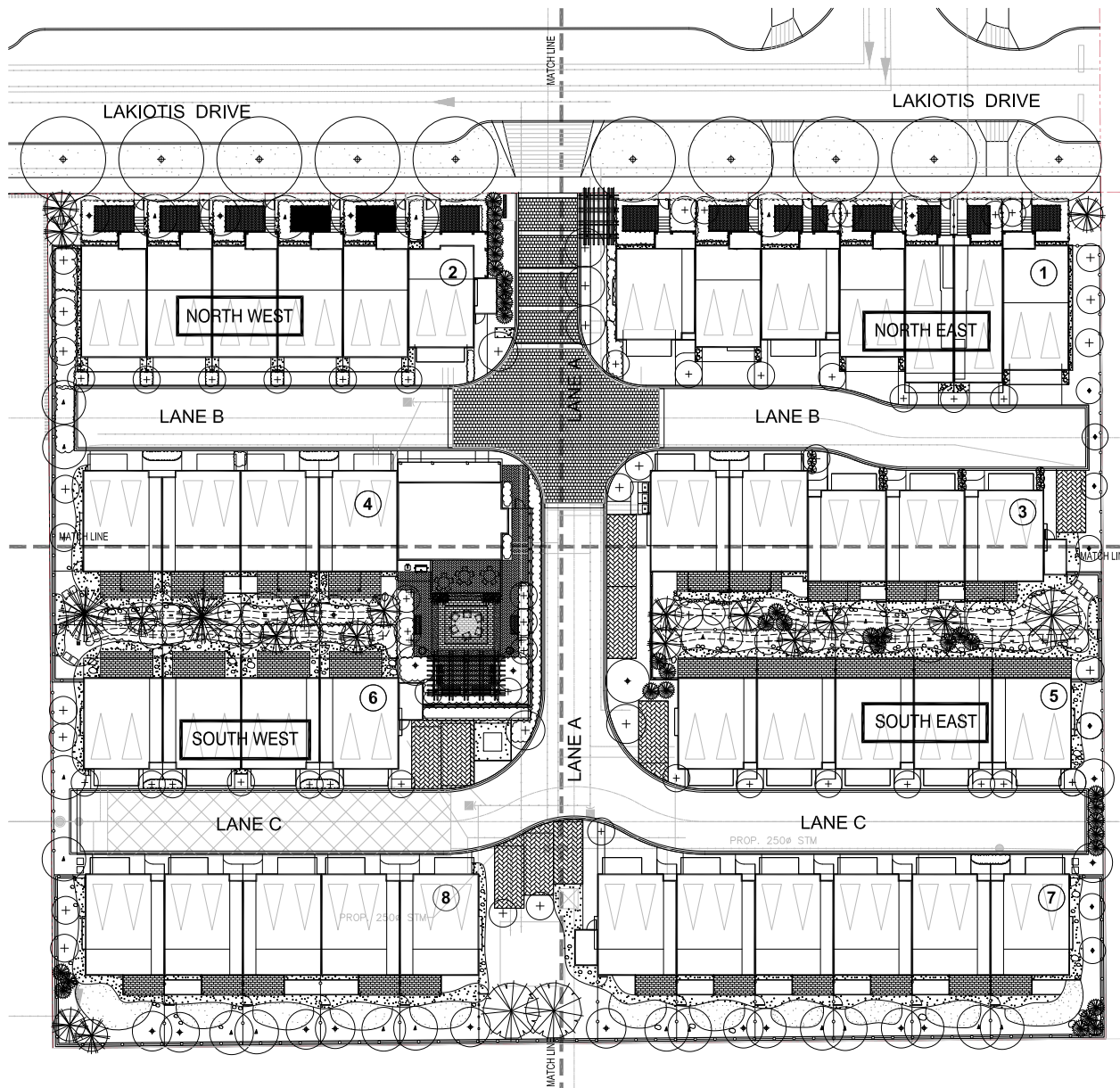
PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT
176 ST. AT 92 AVENUE

DRAWING TITLE
BUILDING 6 ELEVATIONS

DATE: 2023.09.01 FILE NO.
OWN: DW
CHK: CH **1813**

SEAL
SHEET NO.

LOT 2 DP-6.03



DRAWING INDEX

- L-01 Overall Landscape Plan
- L-02 Landscape Plan - North West
- L-03 Landscape Plan - North East
- L-04 Landscape Plan - South West
- L-05 Landscape Plan - South East
- L-06 Landscape Enlargement - Amenity
- L-07 Landscape Details
- L-08 Landscape Details

NOTES:

1. ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCMA OR BCCLA GUIDELINES.
2. REFER TO ARBORIST REPORT AND DRAWINGS PREPARED BY ARBORTECH FOR ALL RELATED TREE REMOVAL AND TREE RETENTION REQUIREMENTS.
3. TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTORS EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
4. AMENDED TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS FOR SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTORS EXPENSE.
5. TOPSOIL DEPTHS FOR PLANTINGS AS FOLLOWS:
 - A. GRASSED AREAS: 150MM
 - B. GROUND COVERS: 350MM
 - C. SHRUBS: 450MM
 - D. TREE PITS: 1000MM
6. LAWN AREAS SHALL BE SOODED WITH #1 PREMIUM RESIDENTIAL SOD, NON NETTED.
7. 2" DEPTH OF PINEUS COMPACT MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
8. IRRIGATION SYSTEM (AUTOMATIC) DESIGN BUILD TO BE COORDINATED BY GENERAL CONTRACTOR OR THE LANDSCAPE CONTRACTOR. FULLY QUALIFIED IRRIGATION CONSULTATION BY THE CONTRACTOR.
9. PAVING TYPES AND MATERIALS AS FOLLOWS:
 - OFF SITE SIDEWALKS, CAST IN PLACE CONCRETE W/ROOM FINISH
 - ON SITE, BUILDING ENTRANCE AND COURTYARD TO BE UNIT PAVES.
 - PAVER TYPE 1: BARKMAN PLANKS 100MM, SIZE: 12.20"X 2.99" X 0.34", COLOR: ASH.
 - PAVER TYPE 2: BARKMAN 100MM, SIZE: 23.62" X 11.81" X 0.34", COLOR: NATURAL.
 - PAVERS ARE AVAILABLE FROM BARKMAN CONCRETE, PH: 1 800 451 2278
10. INSTALLATION OF PAVERS SHALL FOLLOW THE MANUFACTURERS INSTALLATION DETAIL AND SPECIFICATIONS.
- ON SITE, WALKWAYS, BIKE PARKING AND WASTE TRANSFER PAD TO BE CAST IN PLACE CONC. COLORED, BROOM FINISH.
- ROOF DECK, BARKMAN FLOOR, SIZE: 23.62" X 23.62" X 2.59", COLOR: GLAZER.
9. BRONCHES, CITY 4, MASONRY CONC. 2500 SERIES, 8" WOOD BACKED BRONCH WITH SIDE ARMS WOOD SLATS ARE FINISHED WITH PENETRATING SEALERS. ALL METAL COMPONENTS TO BE POWDER COATED WITH STANDARD COLOR GUNMETAL, C/W PERMANENT ANCHOR SYSTEM.
10. BIKE RACKS, CITY 4, 80CM X 2000 SERIES, CAST ALUMINUM, GROUND MOUNT, BY MAGNUM FURNITURE
11. PREMANUFACTURED PLANTERS, CONCRETE AND DR FIBERGLASS, REFER TO DWGS.
12. LANDSCAPE LIGHTING - REFER TO DWGS.
13. LANDSCAPE FENCING REFER TO DWGS.
14. FIRE PIT: SOLUS, HEMI 40" ELECTRONIC IGNITION W/ ROUND METAL TABLETOPS AND DRINKS RING.
15. ROAD GRADING AND OVERALL SITE GRADING BY CIVIL ENGINEERING OR ARCHITECTURAL.
16. FINAL STREET TREE LOCATION AND TREE SPECIES SELECTION TO BE DETERMINED BY CITY OF SURREY AT TIME OF INSTALLATION. CITY SQUADWARD SHALL LAWN.
17. FINAL SELECTION AND INSTALLATION OF LAKIOTIS DRIVE STREET TREES BY THE CITY OF SURREY.
18. SITE GRADING, REFER TO CIVIL ENGINEERING DWGS FOR SITE GRADING OF ROADS, AND RETAINING WALLS, AREA DRAINS AND SUB-SURFACE PIPING TO BE COORDINATED WITH CIVIL GRADING FOR ALL LANDSCAPED AREAS TO ENSURE POSITIVE DRAINAGE. NO PONDING OF STORM WATER ALLOWED ON SITE.

LEGEND:

	PROPOSED TREE		DECORATIVE POT W/ SEASONAL ANNUALS		PERMEABLE PAVES
	SHRUB PLANTING		3 FT. HT. FENCE		PAINTED UNIT PAVES
	LAWN		6 FT. HT. FENCE		STAMPED CONCRETE
	FIRE PIT		BBQ STATION		
	PAVED CONC. PLANTER		PERGOLA		
	ROCK FEATURE				

1 OVERALL LANDSCAPE PLAN
SCALE: 1/16"=1'-0"

REVISIONS/ISSUED
 L-01/1/2020 - HEAD OF REVIEWS (L-01-IMP.PDF)

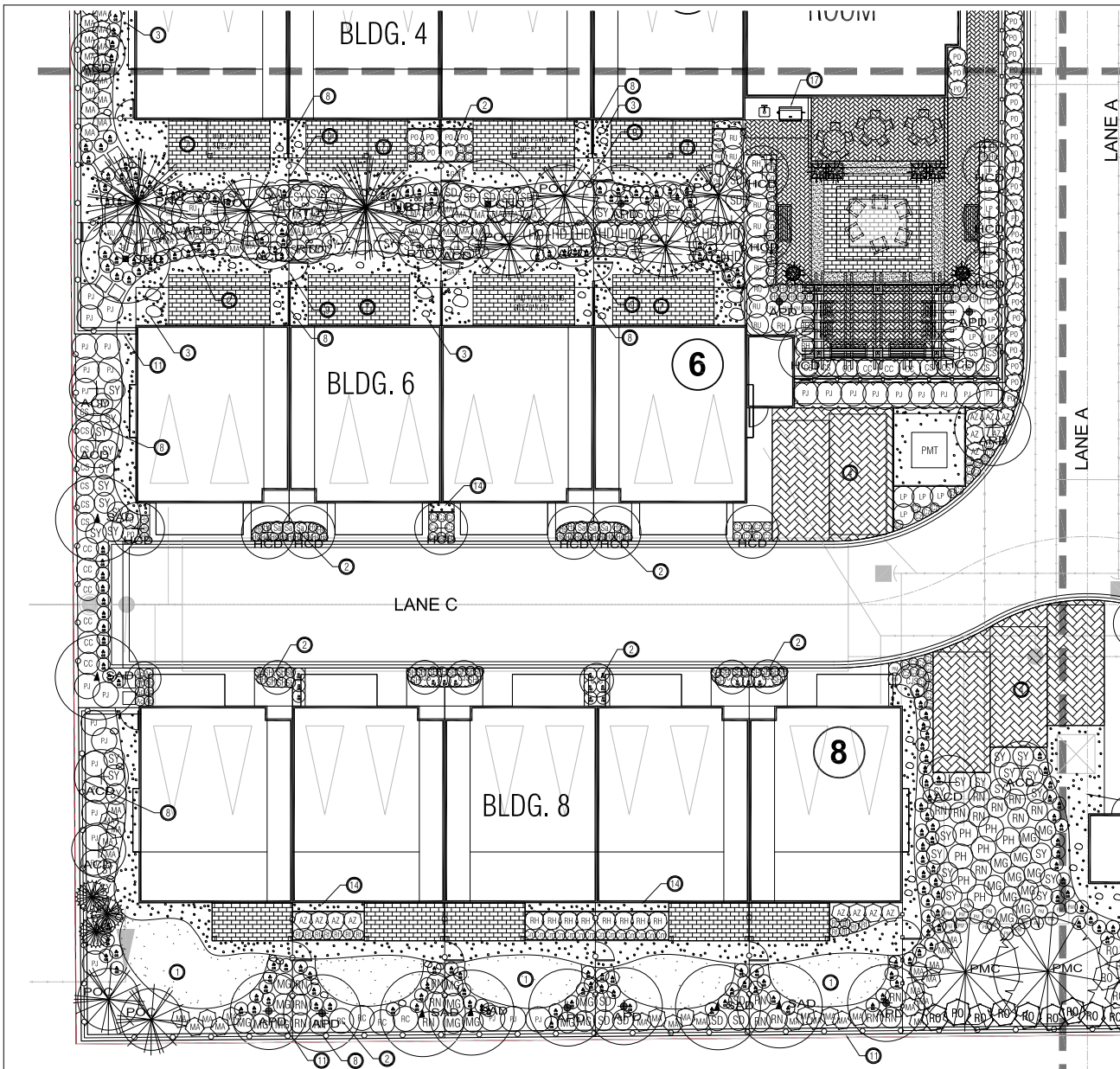
ISSUED FOR REZONING & D.P.
 JULY 7TH, 2023

PROPOSED MULTI-FAMILY DEVELOPMENT
 176 STREET AT 92 AVE., SURREY, B.C.
 DEVELOPER: GRAMERCY ANNEDALE DEVELOPMENTS LTD.
 ARCHITECT: FOCUS ARCHITECTURE INCORPORATED



PROJECT
 DATE: JUNE 14, 2023
 DESIGN: JZ, MM
 DRAWN: MM
 CHECKED: MM
 SCALE: AS SHOWN
 JOB NO.: M007

SHEET TITLE
OVERALL LANDSCAPE PLAN
 SHEET NO.
L-01



LANDSCAPE ITEMS:

- 1 LAWN
- 2 PLANTING BED
- 3 DECORATIVE RIVER ROCK BED
- 4 UNIT PAVING PERMEABLE PAVER
- 5 CONCRETE PAVING
- 6 EXP. AGG. CONCRETE BAND
- 7 CONCRETE LIMIT PAVER
- 8 6" HT. WOOD PRIVACY FENCE
- 9 3" HT. WOOD FENCE
- 10 WOOD BENCH
- 11 CONCRETE RETAINING WALL
- 12 PERGOLA
- 13 ARTIFICIAL LAWN
- 14 FINER ROCK BORDER
- 15 DECORATIVE POT W/ SEASONAL ANNUALS
- 16 PROJECT SIGN
- 17 BBQ STATION
- 18 LANDSCAPE LIGHTING
- 19 STAMPED CONCRETE PAVING

PLANT LIST:

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COND.	MATURE SIZE
APD	19	ACER PALMATUM	JAPANESE MAPLE	50M CAL.	B & B	22' HT. X 25M.
ACD	28	ACER ORBINATUM	VINE MAPLE	50M CAL.	B & B	22' HT. X 25M.
ARD	6	ACER RUBRUM BOWHALL	BOWHALL RED MAPLE	50M CAL.	B & B	40' HT. X 15M.
BDI	6	SETULA FRAXINIFERA	GANGS BECH	50M CAL.	B & B	40' HT. X 25M.
CND	3	CORNUS MUT. EDGIES WHITE WONDER	EDGIES WHITE WONDER	50M CAL.	B & B	40' HT. X 25M.
CFD	1	CORNUS FLORIDA CHEROKEE CHIEF	RED FLOWERING DOGWOOD	50M CAL.	B & B	40' HT. X 25M.
LSI	10	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEETGUM	50M CAL.	B & B	40' HT. X 25M.
SAD	20	SORBUS AMERICANA	AMERICAN MOUNTAIN ASH	50M CAL.	B & B	40' HT. X 25M.
SSD	8	STYLAX JAPONICA	JAPANESE SNOWBELL	50M CAL.	B & B	40' HT. X 25M.
PFAD	6	PRUNUS AMANAGAWA	AMANAGAWA CHERRY	50M CAL.	B & B	40' HT. X 25M.
RTD	11	RHUS TYPHINA DISSECTA	LACE EDE SUMAC	50M CAL.	B & B	40' HT. X 25M.
PAC	11	PICEA ABIES CUPRESSINA	CUPRESSINA SPRUCE	3.0M HT.	B & B	40' HT. X 25M.
PAC	11	PSUEDOTSUGA MENDSII	DOUGLAS FIR	3.0M HT.	B & B	40' HT. X 25M.
PAC	11	PICEA OMORICA	AUSTRIAN PINE	3.0M HT.	B & B	40' HT. X 25M.
POC	11	PICEA OMORICA	SEPPORI SPRUCE	3.0M HT.	B & B	40' HT. X 25M.
PSC	11	PRUNUS SPROBUS	EASTERN WHITE PINE	3.0M HT.	B & B	40' HT. X 25M.
NCD	36	NERIUM OULIESTES	SHIRAZI ALTHEA	2.5M HT.	B & B	10' HT. X 6W.
TDC	12	THUJA OCCIDENTALIS SMARAGD	EMERALD GREEN CEDAR	1.25M HT.	B & B	B & B
AZ	26	AZALEA JAPONICA GUMPO PINK	PINK AZALEA	#3	CONTAINER	
CC	15	CHECHIA TERNATA	MEXICAN MOKO ORANGE	#3	CONTAINER	
CJ	23	CAMELLIA JAPONICA MISHO FLAME	JAPANESE CAMELLIA	#3	ON STAND	
CS	38	CORNUS SANGUINEA	BLOODWINE DOGWOOD	#3	CONTAINER	
EA	32	EODYMIUS ALATUS COMPACTUS	DWARF BURNING BUSH	#3	CONTAINER	
LP	19	LONICERA PILEATA	PIRETE HONEYSUCKLE	#3	CONTAINER	
RL	8	KALMIA LATIFOLIA	MOUNTAIN LAUREL	#3	CONTAINER	
HD	8	HOLIDOBIUS DISCOLOR	OCEANSPRAY	#3	CONTAINER	
MA	164	MAKOHIA AQUIFOLIUM	OREGON GRAPE	#3	CONTAINER	
MG	40	MYRTICA GALE	SWEET GALE	#3	CONTAINER	
PM	172	POLYSTICHUM MAUREM	WESTERN SWORD FERN	#3	CONTAINER	
PJ	96	PRUNUS JAPONICA FOREST FLAME	JAPANESE PRUNUS	#3	CONTAINER	
PJ	131	PRUNUS L. OTTO LYONS	OTTO LYONS LAUREL	#3	CONTAINER	
RB	20	RHOODOENDRON BOW BELLS	BOW BELLS RHODO.	#3	CONTAINER	
RC	11	RHOODOENDRON CHEER	CHEER RHODO.	#3	CONTAINER	
RD	15	RHOODOENDRON ROSA AMETES	ROSA AMETES RHODO.	#3	CONTAINER	
RH	50	RHOODOENDRON HACHIMANN'S FANTASTICA	FANTASTICA RHOODOENDRON	#3	CONTAINER	
RJ	71	RHOODOENDRON UNDIJE	UNDIJE RHODO.	#3	CONTAINER	
RN	36	RUBUS SPECTABILIS	SALMONBERRY	#3	CONTAINER	
RO	22	ROSA NUTKANA	NUTKA ROSE	#3	CONTAINER	
SB	6	SPIDREA BIMALDA 'DARTS RED'	DARTS RED	#3	CONTAINER	
SP	34	SPIDREA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIDREA	#3	CONTAINER	
SH	26	SPIDREA DOUGLASI SPT. DOUGLASI	HAWKSWICK	#3	CONTAINER	
SH	139	SARCOCOCCA HOOKERIANA HUMILIS	HIMALAYAN SWEET BOX	#3	CONTAINER	
SJ	22	SHIMADA JAPONICA REVERSIANA	JAPANESE SHIMADA	#3	CONTAINER	
SY	17	SYMPHORICARPOS ALBUS	COMMON SNOWBERRY	#3	CONTAINER	
VD	21	VERBENA DAVOURI	DAVOUR'S VERBENA	#3	CONTAINER	
AC	99	ASTILBE CHINESE 'MISONS'	ASTILBE	#1	CONTAINER	
AD	26	ASTILBE CHINESE 'DIAMONDS AND PEARLS'	PLUME FLOWER	#3	CONTAINER	
AL	80	ALCHEMILLA MOLLE	LADY'S MANTLE	#1	CONTAINER	
CM	46	CORDEPSIS VERTICILLATA MOONBEAM	MOONBEAM TICKSEED	#1	CONTAINER	
CJ	70	CORDEPSIS VERTICILLATA ZAGREB	ZAGREB TICKSEED	#1	CONTAINER	
EL	39	ERYTHRONIUM BOWLES MAUIE	PURPLE WALLFLOWER	#1	CONTAINER	
LA	62	LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	#1	CONTAINER	
HM	10	HEUCHERA MICRANTHA VAR. DIVERSIFOLIA	'PLICE PURPLE'	#1	CONTAINER	
NF	9	HOSTIA FORTUNEI AURO MARGINATA	PLANTAIN LILY	#1	CONTAINER	
HS	190	HEMEROCALLIS STELLA D'ORO	DAY LILY	#1	CONTAINER	
HU	20	HOSTIA UNICOLLATA MICHIGAN	PLANTAIN LILY	#1	CONTAINER	
SA	6	SYMPHORICARPOS ALBUS	COMMON SNOWBERRY	#1	CONTAINER	
RF	53	RUBRICHNA-FULGIDA var 'GOLDSTRUM'	BLACK EYED SUSAN	#1	CONTAINER	
PT	500	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	#1	CONTAINER	

1 LANDSCAPE PLAN - SOUTH WEST
SCALE: 1/8"=1'-0"

REVISIONS ISSUED
 1. JULY 17, 2023 - REVISION FOR REVIEW LGA AND PAPA.

ISSUED FOR REZONING & D.P.
 JULY 17, 2023

PROPOSED MULTI-FAMILY DEVELOPMENT
 176 STREET AT 92 AVE. SURREY, B.C.

DEVELOPER: GRAMERCY ANNEKALE DEVELOPMENTS LTD.
 ARCHITECT: FOCUS ARCHITECTURE INCORPORATED

PROJECT
MARUYAMA
 LANDSCAPE ARCHITECTS

DATE: JUNE 14, 2023
 DESIGN: JZ/WHM
 DRAWN: WHM
 CHECKED: WHM
 SCALE: AS SHOWN
 JOB NO.: M0007

SHEET TITLE
LANDSCAPE PLAN
SOUTH WEST
 SHEET NO.
L-05

**TO: Director, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: Manager, Development Services, Engineering Department

DATE: April 29, 2024 **PROJECT FILE: 7820-0278-00**

**RE: Engineering Requirements
Location: 17696 92 Ave**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 1.942 m along 92 Avenue.
- Dedicate 22.0 m for Azalea Drive.
- Dedicate 20.0 – 22.0 m and cul-de-sac for Lakiotis Drive.
- Secure 3.0 x 3.0 m corner cuts at all intersections.
- Register 0.50 m SRW along both road frontages.
- Secure off-site SRWs as required to service the site.

Works and Services

- Construct south side of 92 Avenue.
- Construct Azalea Drive and Lakiotis Drive.
- Construct 300 mm water main along 92 Avenue.
- Construct 200 mm water main along Azalea Drive.
- Construct 200 – 300 mm water main along Lakiotis Drive.
- Construct sanitary mains along all frontages.
- Construct drainage pond and pump station as per the NCP.
- Provide storm, sanitary, and water services.
- Register RC for the on-site storm water mitigation features as required.
- Register RC for the on-site water quality treatment as required.

A Servicing Agreement is required prior to Rezone/Subdivision. Cost recovery agreements will require Council Approval for drainage pond and pump station, which are necessary for Final Adoption.



Jeff Pang, P.Eng.
Manager, Development Services
DJS



Department: **Planning and Demographics**
 Date: **April 10, 2024**
 Report For: **City of Surrey**

Development Impact Analysis on Schools For:

Application #: **20-0278**

The proposed development of **42** Townhouse units are estimated to have the following impact on elementary and secondary schools within the school regions.

School-aged children population projection	37
---------------------------------------------------	----

Projected Number of Students From This Development In:	
Elementary School =	20
Secondary School =	11
Total Students =	31

Current Enrolment and Capacities:	
Port Kells Elementary	
Enrolment	73
Operating Capacity	159
# of Portables	0
Ecole Salish Secondary	
Enrolment	1473
Operating Capacity	1500
# of Portables	0

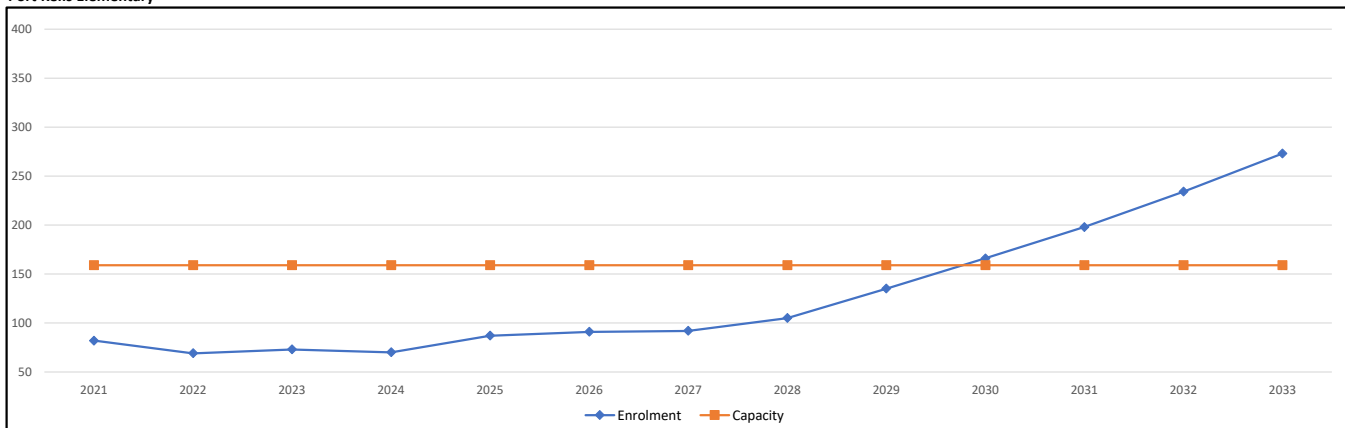
Summary of Impact and Commentary

The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

The school is currently operating below capacity. It is anticipated that the enrolment will remain below its existing capacity in the next 10 years. Any future unexpected growth can be accommodated in portables. There are no capital expansion requests for this school.

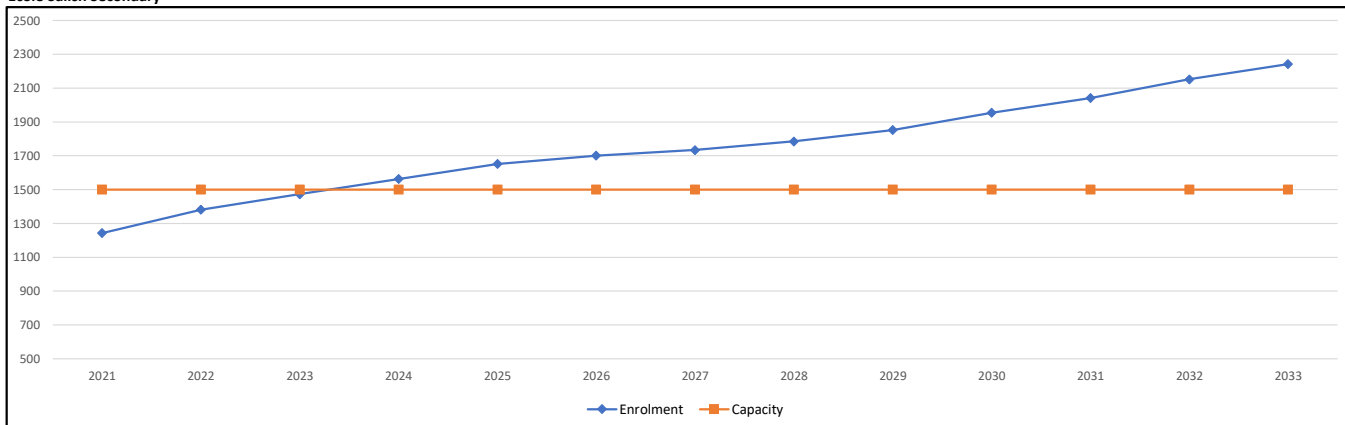
E'cole Salish Secondary opened in September 2018. This school has been built to relieve enrolment pressure at both Lord Tweedsmuir and Clayton Heights Secondary. Salish is projected to continue to grow because of the strong in-migration of new secondary students moving into the community. The growth trend will surpass capacity in 2024; the enrolment will continue to grow in this school well beyond 2024.

Port Kells Elementary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Ecole Salish Secondary



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

Population : The projected population of children aged 0-17 impacted by the development.

Enrolment : The number of students projected to attend the Surrey School District ONLY.



Summary of Tree Preservation by Species

On-Site Trees and City owned Road Frontage Trees

Excludes Off-Site Private Trees and Trees in Parks Dedication Areas and ESA's

	SubTotal	Remove	Retain
<u>Alder and Cottonwood Species:</u>			
Alder (<i>Alnus rubra</i>)	39	18	21
Cottonwood (<i>Populus x trichocarpa</i>)	47	18	29
subtotal alder/cottonwood	86	36	50
<u>Broadleaf Species:</u>			
Bigleaf maple (<i>Acer macrophyllum</i>)	45	8	37
Japanese maple (<i>Acer palmatum</i>)	2	2	0
Pacific madrone (<i>Arbutus menziesii</i>)	1	1	0
Paper birch (<i>Betula papyrifera</i>)	4	3	1
English hawthorne (<i>Crataegus laevigata</i>)	1	0	1
Bitter cherry (<i>Prunus emarginata</i>)	5	4	1
Black locust (<i>Robinia pseudoacacia</i>)	12	12	0
Weeping willow (<i>Salix babylonica</i>)	1	1	0
subtotal broadleaf	71	29	42
<u>Coniferous Species</u>			
Deodar cedar (<i>Cedrus deodara</i>)	2	2	0
Sawara cypress (<i>Chamaecyparis pisifera</i>)	2	1	1
Norway spruce (<i>Picea abies</i>)	1	0	1
Blue spruce (<i>Picea pungens</i>)	1	1	0
Sitka spruce (<i>Picea sitchensis</i>)	2	1	1
Scots pine (<i>Pinus sylvestris</i>)	8	8	0
Douglas-fir (<i>Pseudotsuga menziesii</i>)	66	32	34
Giant sequoia (<i>Sequoiadendron giganteum</i>)	1	0	1
Western redcedar (<i>Thuja plicata</i>)	191	73	118
Western hemlock (<i>Tsuga heterophylla</i>)	4	2	2
subtotal coniferous	278	120	158
Subtotal broadleaf and coniferous	349	149	200
TOTAL (including alder/cottonwood)	435	185	250
Total Replacement Trees Proposed (excludes new street trees – see report sections below for details)			TBD
Total Retained and Replacement Trees (Development Area Only)			TBD
Contribution to the Green City Fund (for shortfall – to a maximum of \$41,250.00 per acre of cleared lands)		TBD @ \$550 each	\$TBD.00

TREE PERMIT OR REGULATORY CONSIDERATIONS

The local government may require that a valid tree permit is obtained by the tree owner (property owner) or their authorized agent in advance of the removal and/or pruning of any bylaw regulated tree. Certain conditions of the permit issuance may

PAGE 8 OF 10

92 AVE

OFFSITE TREES N15, N16 AND N17 ARE NOT SURVEYED AND SHOWN WITH THEIR APPROXIMATE LOCATION. IT IS STRONGLY RECOMMENDED THAT THESE TREES BE ACCURATELY SURVEYED AND THAT DATA PROVIDED TO THIS OFFICE IN ORDER TO CONFIRM WHETHER IMPACTS MAY BE INCURRED AND/OR THE ACCURATE MITIGATION AND PROTECTION MEASURES.

N17 (APPROX.)

N16 (APPROX.)

N15 (APPROX.)

LOT 1 TREES:
A QUANTITY OF 63 TREES SPECIFIED FOR INTERIM RETENTION IN THIS REPORT WILL BE REMOVED IN THE FUTURE RELATED TO A SEPARATE DEVELOPMENT APPLICATION.

LOT 3 TREES:
A QUANTITY OF 167 TREES SPECIFIED FOR INTERIM RETENTION IN THIS REPORT WILL BE REMOVED IN THE FUTURE RELATED TO A SEPARATE DEVELOPMENT APPLICATION.

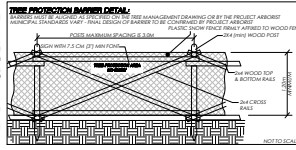
ALL ESP/PARK AREAS ARE TO BE PROTECTED AS INSTRUCTED AND SPECIFIED BY THE QUALIFIED ENVIRONMENTAL PROFESSIONAL (QEP), WHERE TREES ARE GROWING WITHIN THE ESP/PARK, THE CITY TREE BYLAW AND CITY PARKS DEPARTMENT POLICIES.

TREES NOT TO MOVE:
THESE OFFSITE TREES ARE PROPOSED TO BE PROTECTED HOWEVER THEY WILL REQUIRE CLEARING TO ACCESS THE REASSESSMENT AT THE TIME OF CONSTRUCTION AND RISK FACTORS ONE ADJACENT ONSITE TREES ARE REMOVED PROTECTION ZONES FOR OFFSITE TREES EXTEND INTO THE SUBJECT SITE PARTICULARLY WITHIN THE 10M WIDE CORRIDOR FOR TRAIL. IT IS IMPERATIVE THAT THE TRAIL DESIGN AND RELATED GRADING TAKE THESE PROTECTION ZONES AND THE RELATED LIMITATIONS, RESTRICTIONS AND SPECIFICATIONS DETAILED HEREIN AND IN THE ADJACENT REPORT INTO CONSIDERATION IF THE DESIGN CANNOT ACCOMMODATE THE FULL EXTENTS OF THE PROTECTION ZONE THEN THIS OFFICE MUST BE CONSULTED. MINOR ENCROACHMENTS MAY BE SUPPORTED BUT SIGNIFICANT ENCROACHMENTS ARE NECESSARY FOR TECHNICAL DESIGN REASONS THEN THE TREES MAY NEED TO BE REMOVED. IF THERE IS ANY REASON THAT OFFSITE TREES REQUIRE REMOVAL THEN THE NEIGHBOUR WILL NEED TO CONSENT TO THEIR REMOVAL IN ADVANCE OF THE CITY ISSUING A PERMIT. A SIGNED TREE CUTTING PERMIT FROM THE NEIGHBOUR TO UNABLE THEIR REMOVAL AS A PROACTIVE MEASURE.

TREES 876, 878 AND 877:
THESE ARE NOT SURVEYED AND ARE ESTIMATED TO BE LOCATED WITHIN CLOSE PROXIMITY OF THE NEIGHBOURING PROPERTY AND ARE SPECIFIED TO BE REMOVED DUE TO EXPECTED CLEARING AND CONSTRUCTION IMPACTS. IT IS STRONGLY RECOMMENDED THAT THESE TREES BE ACCURATELY SURVEYED AND THAT DATA PROVIDED TO US IN ORDER TO CONFIRM WHETHER IMPACTS ARE NEIGHBOUR'S TREES OR SHARED THEN A SEPARATE TREE CUTTING PERMIT OR AUTHORIZATION FROM THAT NEIGHBOUR WILL BE REQUIRED BEFORE THE CITY CAN ISSUE A TREE CUTTING PERMIT.

10m TRAIL
MATCH LINE

MATCH LINE



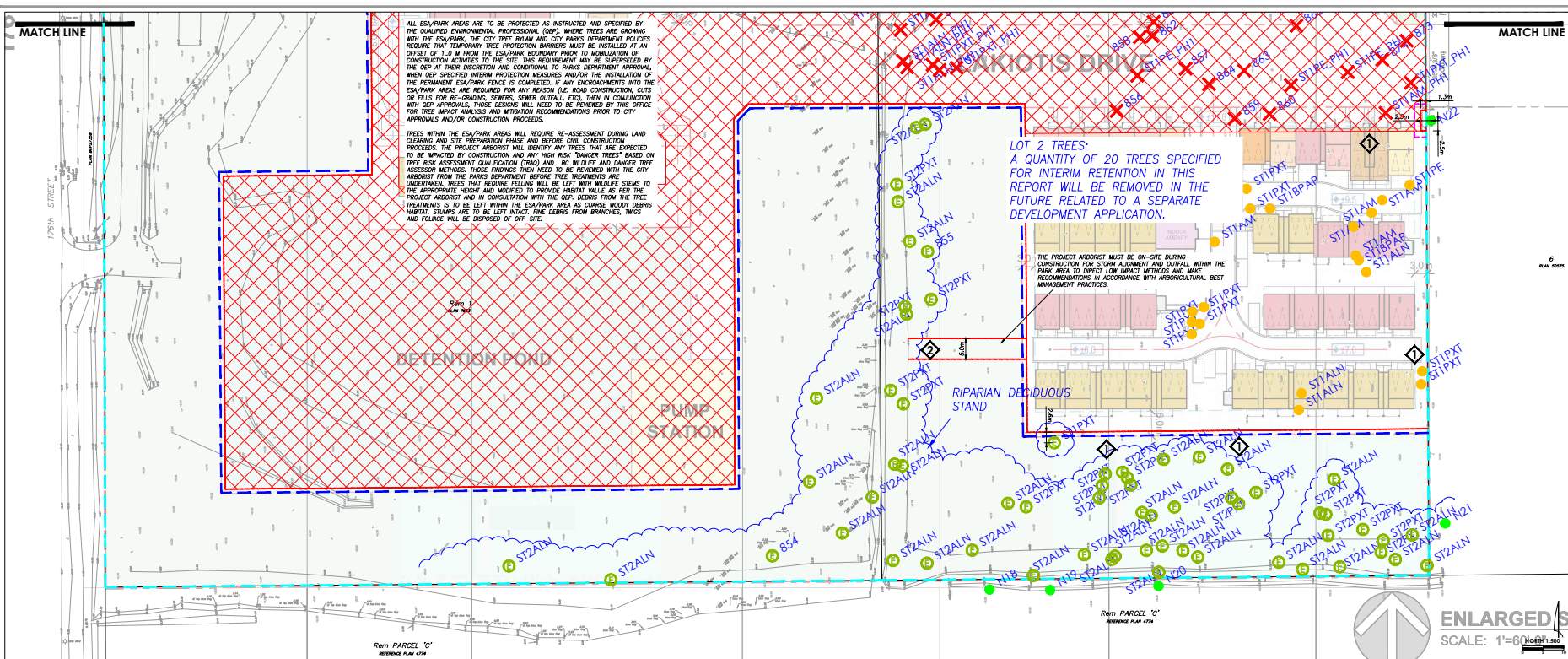
THESE PROTECTION BARRIER DETAILS:
THESE PROTECTION BARRIERS SHALL BE CONSTRUCTED BY THE CONTRACTOR IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS SET OUT IN THIS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND OTHER VEGETATION TO REMAIN ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL TREES AND OTHER VEGETATION TO REMAIN ON THE SITE.



Legend table with columns for tree status and color coding. Includes entries for STIP (Green dot), STIAM (Red dot), STIAP (Blue dot), and various tree types like STIB (Tree to be retained in bush), STIAM (Tree to be removed in bush), etc.

APPENDIX C: TREE MANAGEMENT DRAWING - SHEET 1 OF 2
ISSUED FOR GENERAL DEVELOPMENT PERMIT APPLICATION PURPOSES - NOT FOR CONSTRUCTION

Logos for ARBORTECH CONSULTING and ACL GROUP. Project information: PROJECT: PROPOSED DEVELOPMENT, ADDRESS: 1749-1774 92 AVE AND 9125-9130 174 ST, CLIENT: LAKENWOOD ANNEDALE DEVELOPMENTS, CITY REF: [blank], CITY FILE: [blank], LOT SIZE: 22'x34', DATE: APR 17, 2024.



ALL ESA/PARK AREAS ARE TO BE PROTECTED AS INSTRUCTED AND SPECIFIED BY THE QUALIFIED ENVIRONMENTAL PROFESSIONAL (QEP). WHERE TREES ARE GROWING WITHIN THE ESA/PARK, THE CITY TREE BYLAW AND CITY PARKS DEPARTMENT POLICIES REQUIRE THAT TEMPORARY TREE PROTECTION BARRIERS MUST BE INSTALLED AT AN OFFSET OF 1.0 M FROM THE ESA/PARK BOUNDARY PRIOR TO MOBILIZATION OF CONSTRUCTION ACTIVITIES TO THE SITE. THIS REQUIREMENT MAY BE SUPERSEDED BY THE QEP AT THEIR DISCRETION AND CONDITIONAL TO PARKS DEPARTMENT APPROVAL. WHEN QEP SPECIFIED INTERIM PROTECTION MEASURES AND/OR THE INSTALLATION OF THE PERMANENT ESA/PARK FENCE IS COMPLETED, IF ANY ENCROACHMENTS INTO THE ESA/PARK AREAS ARE REQUIRED FOR ANY REASON (I.E. ROAD CONSTRUCTION, CUTS OR FILLS FOR RE-GRADING, SEWER CUTTALS, ETC), THEN IN CONSULTATION WITH QEP APPROVALS, THOSE DESIGN WILL NEED TO BE REVIEWED BY THE CITY FOR TREE IMPACT ANALYSIS AND MITIGATION RECOMMENDATIONS PRIOR TO CITY APPROVALS AND/OR CONSTRUCTION PROCEEDS.

TREES WITHIN THE ESA/PARK AREAS WILL REQUIRE RE-ASSESSMENT DURING LAND CLEARING AND SITE PREPARATION PHASE AND BEFORE CIVIL CONSTRUCTION PROCEEDS. THE PROJECT ARBORIST WILL IDENTIFY ANY TREES THAT ARE EXPECTED TO BE IMPACTED BY CONSTRUCTION AND ANY HIGH RISK "DANGER TREES" BASED ON TREE RISK ASSESSMENT QUALIFICATION STANDARDS AND AS WULFELF AND DANGER TREE ASSESSMENT METHODS. THOSE FINDINGS THEN NEED TO BE REVIEWED WITH THE CITY ARBORIST FROM THE PARKS DEPARTMENT BEFORE TREE TREATMENTS ARE UNDERTAKEN. TREES THAT REQUIRE FELLING WILL BE LEFT WITH WULFELF STEMS TO THE APPROPRIATE HEIGHT AND MODIFIED TO PROVIDE HABITAT VALUE AS PER THE PROJECT ARBORIST AND IN CONSULTATION WITH THE QEP. DEBRIS FROM THE TREE TREATMENTS IS TO BE LEFT WITHIN THE ESA/PARK AREA AS ORGANIC WOODY DEBRIS HABITAT. STUMPS ARE TO BE LEFT INTACT. FINE DEBRIS FROM BRANCHES, TWIGS AND FOLIAGE WILL BE DEPRESSED OFF-SITE.

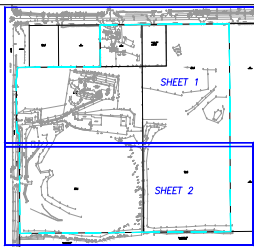
LOT 2 TREES:
A QUANTITY OF 20 TREES SPECIFIED FOR INTERIM RETENTION IN THIS REPORT WILL BE REMOVED IN THE FUTURE RELATED TO A SEPARATE DEVELOPMENT APPLICATION.

THE PROJECT ARBORIST MUST BE ON-SITE DURING CONSTRUCTION FOR STORM ALIGNMENT AND OUTFALL WITHIN THE PARK AREA TO DIRECT LOW IMPACT METHODS AND MAKE RECOMMENDATIONS IN ACCORDANCE WITH ARBORICULTURAL BEST MANAGEMENT PRACTICES.

Rem PARCEL "C"
REFERENCE PLAN 474

Rem PARCEL "C"
REFERENCE PLAN 474

ENLARGED 1/8"
SCALE: 1"=60' (North)



CONTEXT DETAIL

TREE PROTECTION - STANDARD MEASURES:

The Client and their Contractor(s) are responsible to maintain the tree protection compliance through the entire construction term, and to arrange attendance of the PA to the site for the following:

- A. **Barrier Installation:**
 - To direct and inspect the tree protection barrier installation to our specifications, troubleshoot alignment and installation challenges, document reviews and provide a barrier sign-off report for project reference and submitted to municipality.
- B. **Exclusion of Trees:**
 - To undertake, supervise or direct arboricultural treatments (i.e. pruning, soil renovation or enhancements, intense watering program and other specific measures) to prepare the trees to sustain and adapt to the construction impacts, such as but not limited to:
 - Pruning for risk mitigation, crown reduction, form, building or overhead clearance, and/or sight line.
 - Any treatments such as root wrapping, vertical aeration, advanced root pruning, connection to soft landscape, etc.
 - Installation of soil amendment (i.e. mulch) within the RZC to mitigate soil degradation and to improve soil fertility, drainage supplemental watering to compensate for soil hydrology changes.
 - Low impact removal of plants or stumps located within a TRC (i.e. stump grinding or cutting with BS equipment).
 - Installation of drainage infrastructure along the perimeter of the TRC to prevent storm water accumulation within.
 - Identifying treatments of new forest edges created by clearing of the development lands, including re-vegetation, tree removal, pruning, modification to wildlife tree, or other treatments as specified by the PA, and
 - Installation of interim soil protection and load distribution measures for personnel or equipment access, where feasible.
- C. **Site-Care for Disturbance and Site Construction:**
 - To plan and implement a schedule to direct supervisor works in and around TRCs, such as but not limited to:
 - site access and egress,
 - vehicle and utility maneuvering,
 - invasive plant control, treatments or management,
 - identification of disturbance or landscape,
 - site clearing and tree removal including identification of retention trees and direction of low impact removal of trees, vegetation and stumps within the TRC as well as to inspect retention trees after clearing for condition, pruning, or site strip-grading (as applicable),
 - installation of site strip-grading, site leveling, site off or other infrastructure, and
 - installation of EBC or streambank management infrastructure.

D. Site-Care for Construction Phases:

- To plan and implement a schedule to direct supervisor works in and around TRCs, such as but not limited to:
 - as a regular monthly schedule as per municipal requirements or at an interval determined by the PA relative to the construction schedule and site conditions,
 - at any time when access within a TRC (TRC, RZC or CRZ) is planned, to proactively determine feasibility and to provide qualifications for cost-effective solutions,
 - excavation/shoring, site grading (cut or fill) or other ground disturbance,
 - trenching or trench backfilling to services and utility installation,
 - forming and concrete placing,
 - craning, scaffolding, materials or equipment operation,
 - framing and building envelope finishing, all undertaken in accordance with:
 - all certain lines as identified in the Specific Measures section (see below).

E. PROTECTIVE BARRIERS:

- To review landscape drawings and the landscape work plan including limitations on methods and materials in advance of installing protective barriers. Landscaping equipment, materials and methods to be used for the protection and construction of PA approved landscape and soft landscape elements, including but not limited to:
 - retaining walls,
 - patios/decks/benches,
 - mulching,
 - fencing,
 - soil amendment/condition,
 - soil amendment/condition, mulching and grass/hurf installation.

F. CONSTRUCTION MONITORING:

- To provide the review reports to the project at certain milestones. Note that if non-compliance to tree protection is observed, the PA is required to the respondents to report the non-compliance to them in the form of an impact and mitigation assessment which may require investigation as well as remedial work by the PA. A final sign-off at substantial completion of the project is required to confirm project compliance to all tree protection specifications and measures.

<p>NO LIABILITY (LIMIT): IS HEREBY TO BE ADDED WITHIN A TRC</p> <p>Note that certain landscape features may be excluded, may require an arboricultural retention system, or may be subject to special maintenance and care requirements. Planting of any plants, shrubs or trees within a TRC is restricted to "4-in" and "5-in" nursery pot sizes, but these may vary depending on retention tree species and planting of those plants and shrubs must be in accordance with the planting and site preparation guidelines including existing grade to avoid damage to nearby trees, and to backfill with minimal addition of growing medium.</p> <p>To provide the review reports to the project at certain milestones. Note that if non-compliance to tree protection is observed, the PA is required to the respondents to report the non-compliance to them in the form of an impact and mitigation assessment which may require investigation as well as remedial work by the PA. A final sign-off at substantial completion of the project is required to confirm project compliance to all tree protection specifications and measures.</p>

APPENDIX C: TREE MANAGEMENT DRAWING - SHEET 2 OF 2
ISSUED FOR GENERAL DEVELOPMENT PERMIT APPLICATION PURPOSES - NOT FOR CONSTRUCTION

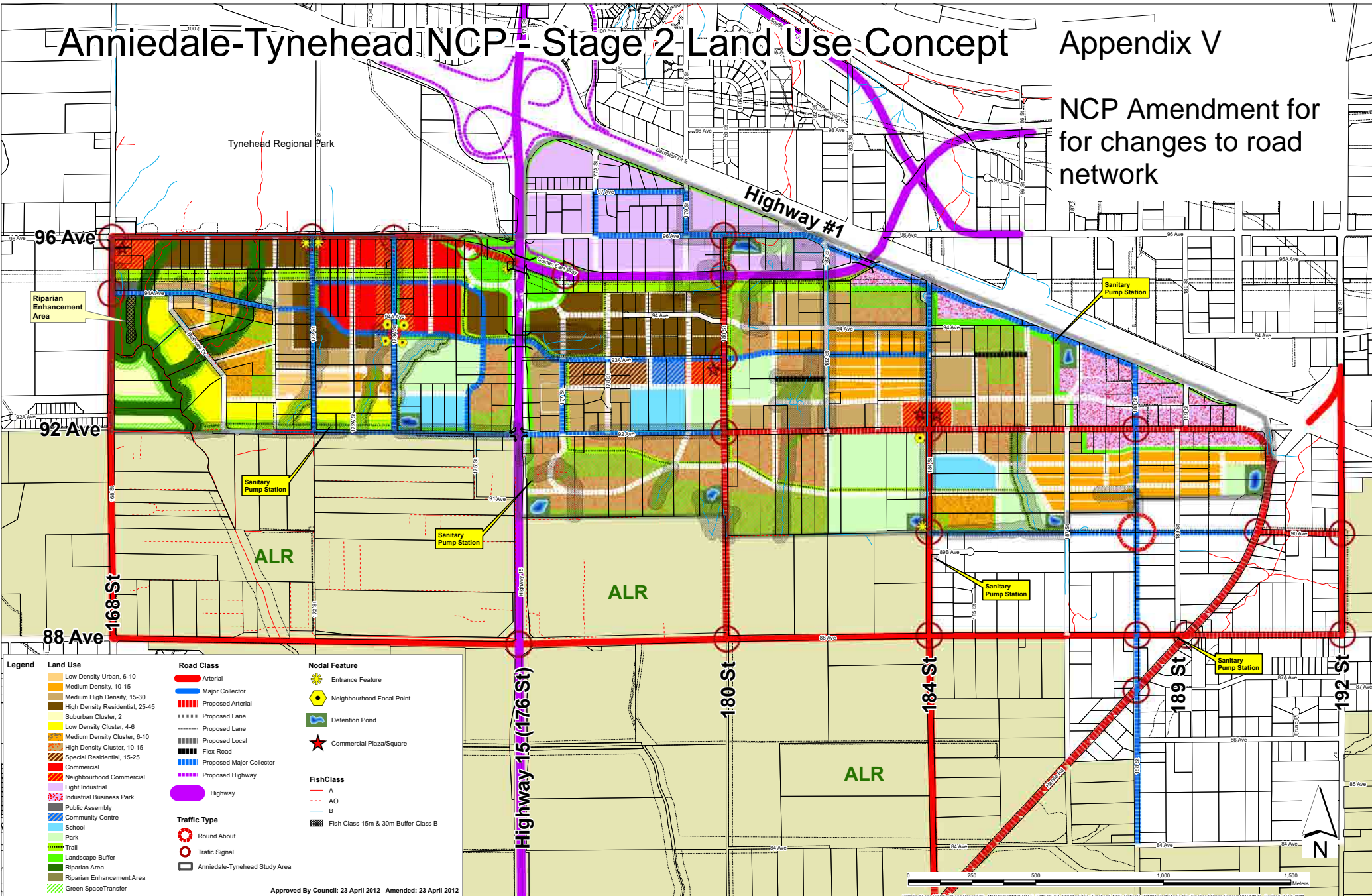


PROJECT:	PROPOSED DEVELOPMENT
ADDRESS:	17494-17734 92 AVE AND 9125-9130 174 ST
CITY:	SURREY BC
CLIENT:	LAKEMOOD ANNADALE DEVELOPMENTS
CITY REF:	ACL FILE 18281
FILE SIZE:	22'x34' REV # 3 DATE APR 17, 2024

Anniedale-Tynehead NCP - Stage 2 Land Use Concept

Appendix V

NCP Amendment for changes to road network

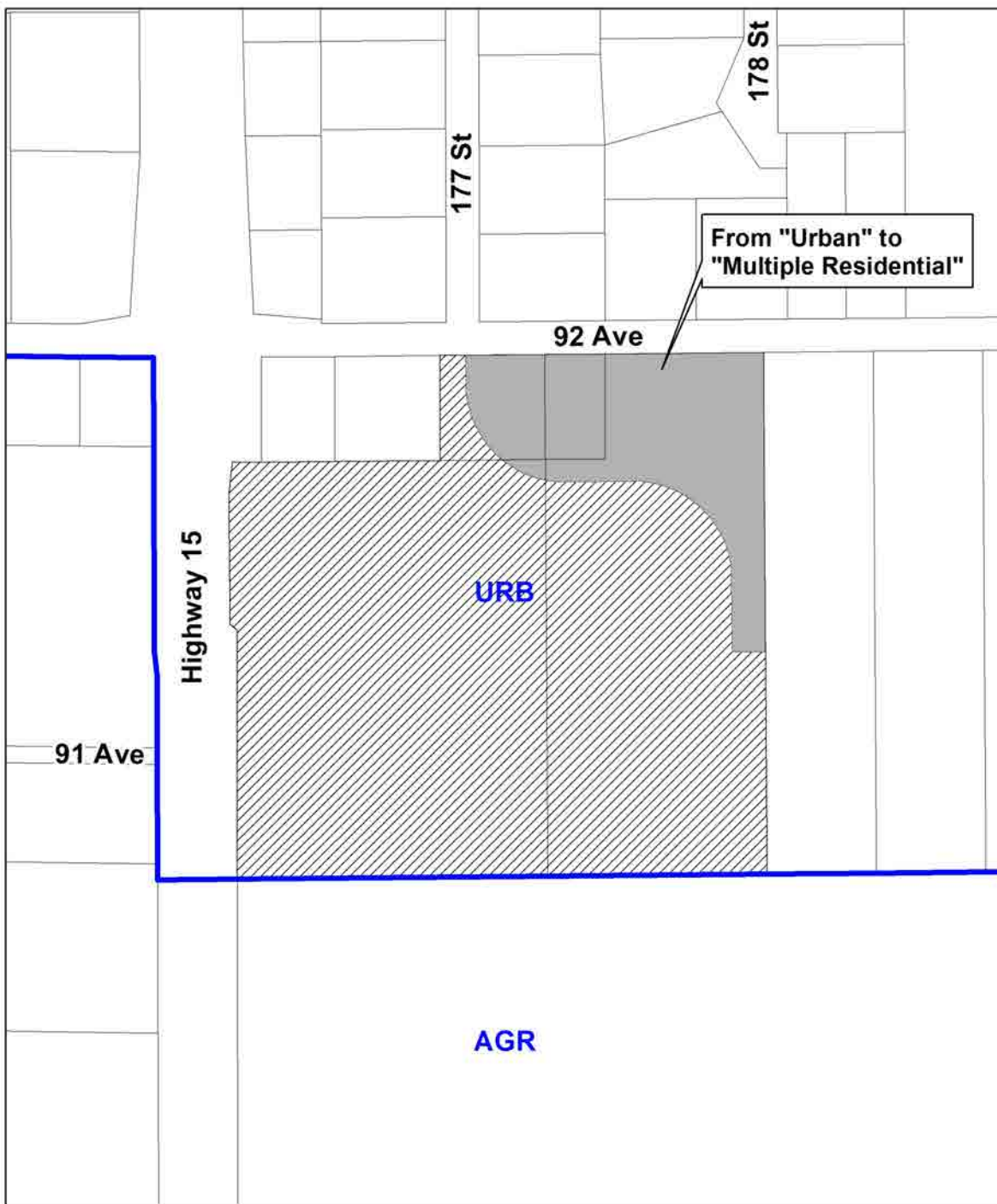


Land Use	Road Class	Nodal Feature	Fish Class	Traffic Type
Low Density Urban, 6-10	Arterial	Entrance Feature	A	Round About
Medium Density, 10-15	Major Collector	Neighbourhood Focal Point	AO	Traffic Signal
High Density Residential, 15-30	Proposed Arterial	Detention Pond	B	Anniedale-Tynehead Study Area
Suburban Cluster, 2	Proposed Lane	Commercial Plaza/Square	Fish Class 15m & 30m Buffer Class B	
Low Density Cluster, 4-6	Proposed Lane			
Medium Density Cluster, 6-10	Proposed Local			
High Density Cluster, 10-15	Flex Road			
Special Residential, 15-25	Proposed Major Collector			
Commercial	Proposed Highway			
Neighbourhood Commercial	Highway			
Light Industrial				
Industrial Business Park				
Public Assembly				
Community Centre				
School				
Park				
Trail				
Landscape Buffer				
Riparian Area				
Riparian Enhancement Area				
Green Space Transfer				

Approved By Council: 23 April 2012 Amended: 23 April 2012

0 250 500 1000 1500 Meters

V:\Policy\Long Term Policy\Range\GIS_ANALYSIS\ANNIEDEALE_TYNEHEAD_NCP\Anniedale_Tynehead_NCP_Options_2010\Project\Anniedale_Tynehead_Green_Space_OPTION_2_Rev02_3 Oct 2011



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7920-0278-00

Issued To:

Address of Owner:

Issued To:

Address of Owner:

collectively referred to as the "owners"

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 009-893-822

Lot 1 Except: Firstly; Part Subdivided By Plan 8172 Secondly; Part Subdivided By Plan 9215 Thirdly; Part On Statutory Right Of Way Plan 50683 Fourthly; Part Dedicated Road On Plan Bcp27358 Section 32 Township 8 New Westminster District Plan 7653
9130 176 Street

Parcel Identifier: 000-818-062

Lot 1 Section 32 Township 8 New Westminster District Plan 9215
17696 92 Avenue

Parcel Identifier: 011-296-445

Lot 2 Except: Parcel "A" (Explanatory Plan 12575); Section 32 Township 8 New Westminster District Plan 8172
17734 92 Avenue

Parcel Identifier: 011-296-259
Parcel "A" (Explanatory Plan 12575) Lot 2 Section 32 Township 8 New Westminster District Plan
8172
17718 92 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Part 22, Section F. Yards and Setbacks of the "Multiple Residential 30 Zone (RM-30)", the minimum side yard (east and west) setback is reduced from 6.0 metres to 3.0 metres to the principal building face of all buildings for proposed Lot 2;
- (b) In Part 22, Section K. Subdivision of the "Multiple Residential 30 Zone (RM-30)" to reduce the minimum lot area from 2,000 square metres to 590 square metres for proposed Lot 4, and
- (c) In Part 22, Section K. Subdivision of the "Multiple Residential 30 Zone (RM-30)" to reduce the minimum lot width from 30 metres to 5 metres for proposed Lot 4.

5. The siting of buildings and structures shall be in accordance with the drawings numbered 7920-0278-00(A) through to and including 7920-0278-00(B) (the "Drawings") which are attached hereto and form part of this development variance permit.

6. This development variance permit applies to only the portion of the Land and that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

8. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.

9. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

10. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and Director of Legislative
Services – Jennifer Ficocelli

Schedule A 7920-0278-00(A)

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SITE RECONCILIATION:

LOT AREA:	LOT AREA: 83,806 SF (1.92 AC, 0.78 HA)	
PROPOSED ZONING:	RM-30	
DENSITY:	PERMITTED (UPH): 75 UPH	PROPOSED 42 UNITS / 0.78 HA = 53.8 UPH
	PROPOSED (UPH): 42 UNITS	
	PERMITTED (FAR): 1.0	PROPOSED (FAR): 0.83
	PROPOSED (FAR): 69,219 SF / 83,806 SF = 0.83	
LOT COVERAGE:	45%	
	PERMITTED: 35,908 SF / 83,806 SF = 42.8%	PROPOSED: 37,800 SF / 83,806 SF = 45.1%
SETBACKS:	REQUIRED:	PROPOSED:
FRONT (NORTH)	4.5M	4.8M (AT BUILDING)
REAR (SOUTH)	6.0M	3.7M (AT PORCH)
SIDE (EAST)	6.0M	6.0M (AT BUILDING)
SIDE (WEST)	6.0M	4.1M (AT DECK POST)
		3.0M (SIDE YARD CONDITION)
		3.0M (SIDE YARD CONDITION)
HEIGHT:	PERMITTED: 13.0M	PROPOSED: 10.71 m (AT BUILDING 6)
PARKING:	RESIDENT REQUIRED: 42 DOUBLE GARAGE UNITS X 2.0 STALLS / UNIT = 84 STALLS	RESIDENT PROVIDED: 84 STALLS (84 IN GARAGES)
	VISITOR REQUIRED: 42 UNITS X 0.2 STALLS / UNIT = 8.4 STALLS	VISITOR PROVIDED: 9 STALLS (INCL. 1 VAN ACCESS)
AMENITY AREA:	OUTDOOR REQUIRED: 42 UNITS X 3M ² / UNIT = 126M ²	OUTDOOR PROVIDED: 184 M ² (1,884SF)
	INDOOR REQUIRED: 42 UNITS X 3M ² / UNIT = 126M ²	INDOOR PROVIDED: 148 M ² (1,592SF)

(a) In Part 22, Section F. Yards and Setbacks of the "Multiple Residential 30 Zone (RM-30)", the minimum side yard (east and west) setback is reduced from 6 metres to 3 metres for the building face of all buildings for proposed Lot 2;

	H1	H2	H3	H4	H5	H6	H7	H8	TOTAL
4 BED	0	419 SF	322 SF	749 SF	700 SF	1,009 SF	1,104 SF	1,104 SF	
4 BED	6	416 SF	320 SF	736 SF	756 SF	1,812 SF	10,872 SF	10,872 SF	
TOTAL	42								69,219 SF

- 1 COLOUR SCHEME 1
- 2 COLOUR SCHEME 2
- 3 COLOUR SCHEME 3
- 4 COLOUR SCHEME 4

*REFER TO COLOUR SCHEME ON DP-0.04



2024-02-28	DP COMMENTS
2023-09-01	ISSUED FOR DP
REVISIONS:	CONSULTANT
CLIENT:	GRAMERCY ANNIEDEALE DEVELOPMENTS LTD.
PROJECT:	PROPOSED MULTI-FAMILY DEVELOPMENT
	176 ST. AT 92 AVENUE
DRAWING TITLE:	LOT 2 SITE PLAN (WEST)
DATE:	2023.09.01
OWN:	DW
CHK:	CH 1813
SEAL:	
SHEET NO.:	

LOT 2 DP-0.01

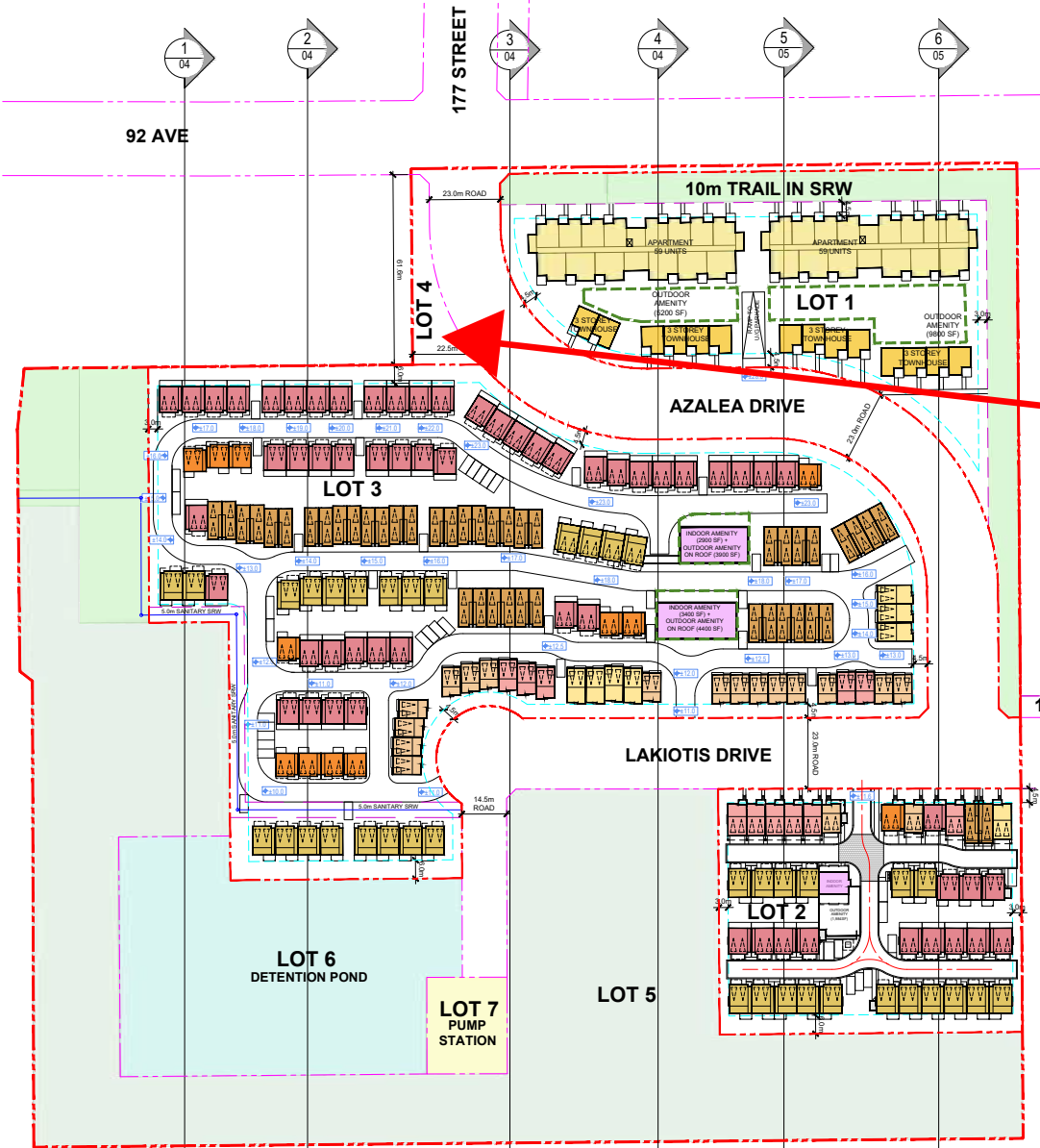
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Suite 109 - 1528 McCauley Road
Abbotsford, British Columbia V2S 8A3
1 604 853 5222 1 604 853 5442
e info@focus.ca

NET DEVELOPMENT AREAS:

- LOT 1 RM-45 (2.96 ac, 1.20 ha) 118 APARTMENT UNITS
- 33W-HOUSE UNITS
- 33W-HOUSE UNITS
- 33W-HOUSE UNITS
- UNIT FOR FUTURE CONSOLIDATION
- INITs (118 APARTMENT, 205 TOWNHOUSE)



(b) In Part 22, Section K. to reduce the minimum lot area of the RM-30 zone from 2,000 square metres to 590 square metres for proposed Lot 4, and

(c) In Part 22, Section K. to reduce the minimum lot width of the RM-30 Zone from 30 metres to 5 metres for proposed Lot 4.

i = 110 LPH
1: SF = 1.25
1: SF = 30.2%
(ES)
(FIRMED AT DP-STAGE)
UNDERGROUND)
2024-05-01 INCREASED ROAD DEDICATIONS AND REVISED CALCULATIONS
2024-04-10 ADDITIONAL SITE CALCULATIONS
2023-09-01 SITE CALCULATION REVISIONS
2023-04-20 EAST SITE SETBACK REVISIONS
2023-01-31 SELECTED LOT 3 WEST ACCESS
2023-05-10 ADDED 0.46 ACRE GREEN SPACE
2021-09-20 REVISED AMENITY CALCULATIONS
2020-12-05 REVISED EAST SITE CONCEPT
2020-10-27 EAST SITE CONCEPT
2020-09-15 GRADING REVISIONS
2020-08-21 GENERAL REVISIONS
2018-05-30 ISSUED FOR PRE-APPLICATION
REVISIONS
CONSULTANT

RESIDENT PROVIDED:	84 STALLS (84 IN GARAGES)
VISITOR REQUIRED:	42 UNITS X 0.2 STALLS / UNIT = 8.4 STALLS
VISITOR PROVIDED:	9 STALLS

AMENITY AREA:	42 UNITS X 3M ² / UNIT = 126M ²
OUTDOOR REQUIRED:	164 M ² (1.984SF)
INDOOR REQUIRED:	42 UNITS X 3M ² / UNIT = 126M ²
INDOOR PROVIDED:	148 M ² (1,592SF)

LOT 3: (GENERAL DP)

LOT AREA:	6.96 AC (2.82 HA)
PROPOSED ZONING:	RM-30

DENSITY:	75 UPH
PERMITTED (UPH):	149 UNITS / 2.82 HA = 52.8 UPH
PERMITTED (FAR):	1.0
PROPOSED (FAR):	223,500 SF / 309,998 SF = 0.72

LOT COVERAGE:	45%
PERMITTED:	108,174 SF / 303,191 SF = 35.7%
PROPOSED:	

SETBACKS:	REQUIRED	PROPOSED
FRONT (SOUTH)	4.5m	7.5m
REAR (NORTH)	5.0m	6.0m (ADJACENT LOT)
		4.5m (AT STREET)
SIDE - FLANKING (EAST)	4.5m	4.5m
SIDE (WEST)	6.0m	3.0m (SIDE YARD CONDITION)

HEIGHT:	PERMITTED:	13.0M
	PROPOSED:	TBD AT DP

PARKING:	RESIDENT REQUIRED:	149 UNITS X 2 STALLS/UNIT = 298 STALLS
	RESIDENT PROVIDED:	298 STALLS
	VISITOR REQUIRED:	149 UNITS X 0.2 STALLS/UNIT = 29.8 STALLS
	VISITOR PROVIDED:	42 STALLS

AMENITY:	149 UNITS X 3m ² /UNIT = 447 m ²
OUTDOOR REQUIRED:	149 UNITS X 3m ² /UNIT = 447 m ²
OUTDOOR PROVIDED:	771m ² (TO BE CONFIRMED AT DP)
INDOOR REQUIRED:	149 UNITS X 3m ² /UNIT = 447 m ²
INDOOR PROVIDED:	585m ² (TO BE CONFIRMED AT DP)

CLIENT LAKEWOOD ANNIEDEALE DEVELOPMENTS LTD.

PROJECT PROPOSED MULTI-FAMILY DEVELOPMENT
176 ST. AT 92 AVENUE

DRAWING TITLE ENLARGED SITE PLAN (WEST)

DATE 2018.11.30 FILE NO. 1813

OWN: AL CHK: ch

SEAL SHEET NO.

ENLARGED SITE PLAN (WEST)
SCALE: 1"=60'-0"
NORTH