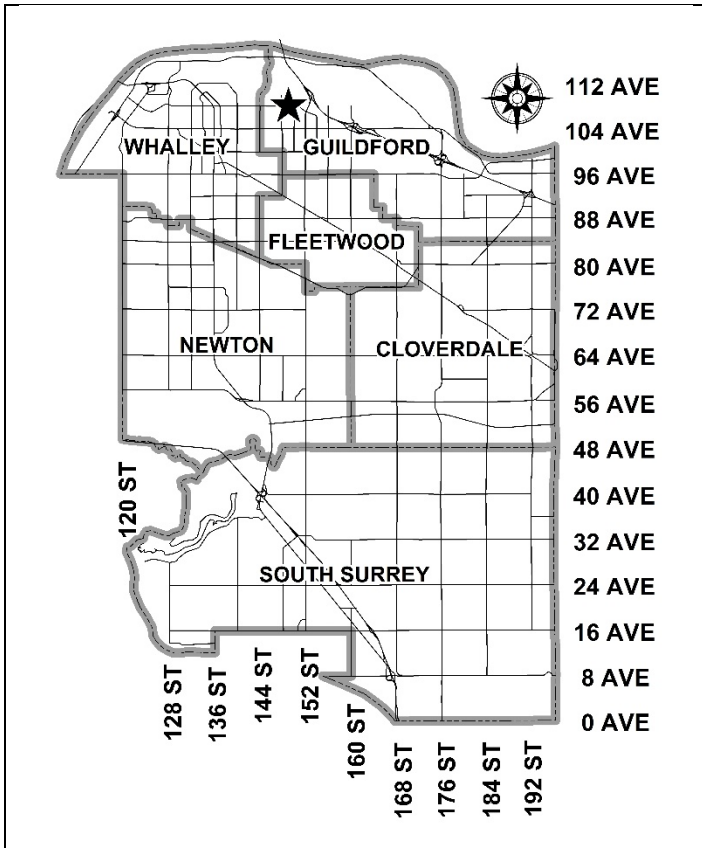


**City of Surrey
PLANNING & DEVELOPMENT REPORT**

Application No.: 7920-0143-00

Planning Report Date: June 28, 2021



PROPOSAL:

- **NCP Amendment** from Low Rise Apartment (1.6 FAR) to Low to Mid Rise Apartment (2.5 FAR)
- **Rezoning** from RM-45 to CD (based on RM-70)
- **Development Permit**
- **Housing Agreement**

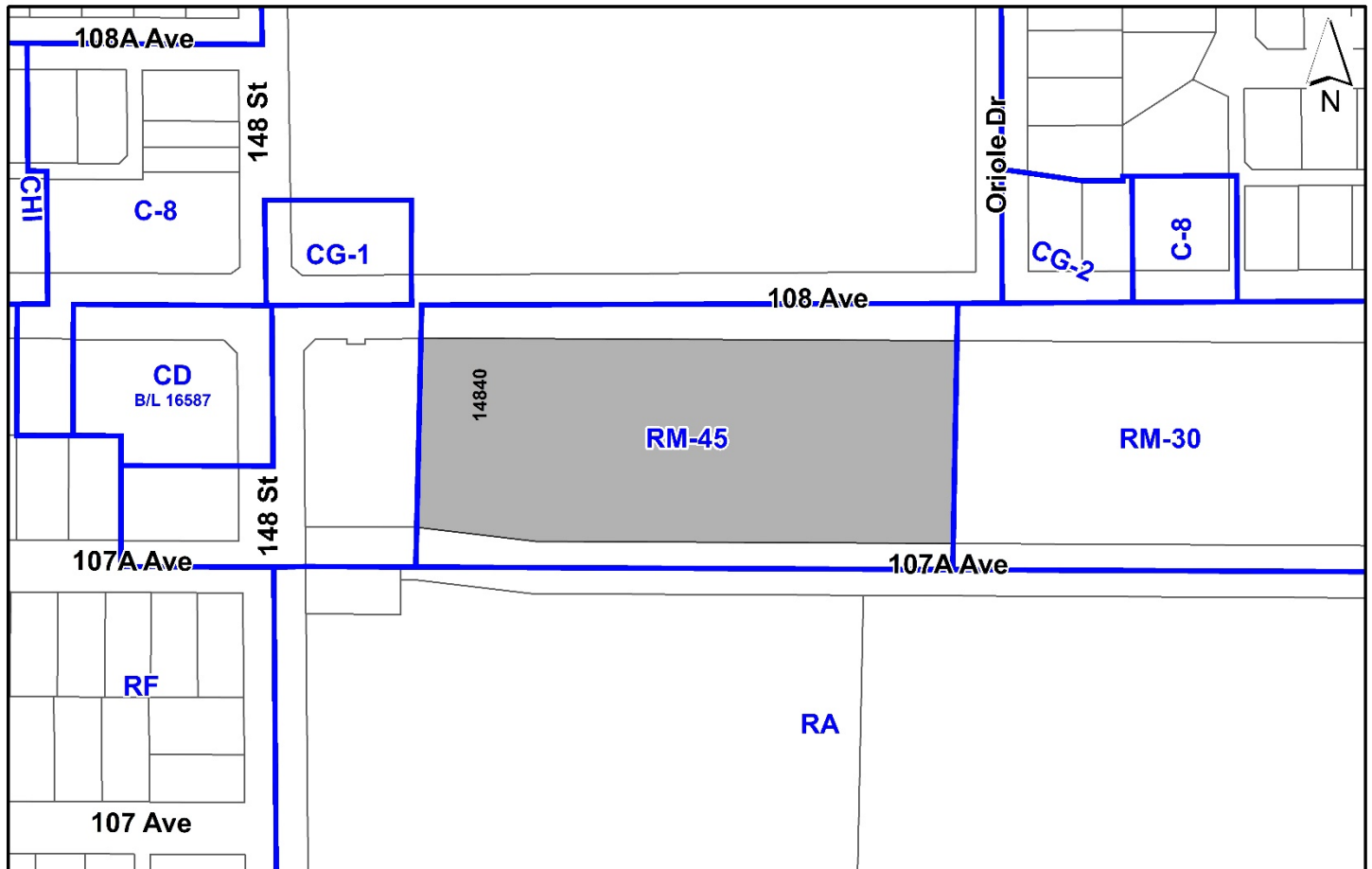
to permit the development of two 6-storey rental apartment buildings.

LOCATION: 14840 – 108 Avenue

ZONING: RM-45

OCP DESIGNATION: Multiple Residential

NCP DESIGNATION: Low Rise Apartment (1.6 FAR)



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character.
- By-law Introduction, First, Second and Third Reading for a Housing Agreement.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing an amendment to the Guildford Town Centre & 104 Avenue Corridor Stage 1 Plan from Low Rise Apartment (1.6 FAR) to Low to Mid Rise Apartment (2.5 FAR).
- Proposing to reduce the minimum parking requirement from 657 parking spaces to 372 parking spaces within the proposed CD By-law.
- The proposal partially complies with Policy O-61 Rental Housing Redevelopment: Rental Replacement and Tenant Relocation Assistance.

RATIONALE OF RECOMMENDATION

- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal complies with the Multiple Residential designation in the Official Community Plan (OCP).
- The proposed density on the subject site is higher than that prescribed in the Guildford Town Centre & 104 Avenue Corridor Stage 1 Plan, however, the development will contribute over 300 new units of purpose-built rental to the area, which will be secured as rental tenure for 60 years through a Housing Agreement.
- In partial adherence to the rental replacement requirements of Surrey's City Policy No. O-61, the applicant is proposing to replace all 88 existing rental units on site with 424 new rental units in two 6-storey purpose-built rental buildings. Although the rental units are proposed to be replaced at a higher than 1:1 ratio, the units are proposed to be provided at rents geared to moderate income households, rather than at affordable rental rates for low to moderate income households (defined as 10% below current Canadian Market and Housing Corporations (CMHC) average rents) as specified in the Policy.
- The applicant has provided a Tenant Relocation Plan, as required under City Policy No. O-61, describing their relocation and compensation strategy for the existing tenants on the subject site.
- The applicant proposes to enter into a Housing Agreement to allocate the 424 dwelling units as rental units for a period of 60 years.

-
- The proposed density and 6-storey building form are appropriate for this part of Guildford Town Centre & 104 Avenue Corridor.
 - The proposal complies with the Development Permit requirements in the OCP for Form and Character.
 - The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
 - The proposed reduction to the minimum parking requirements are supportable based on the proposed 100% rental tenure and the site's proximity to the Frequent Transit Network.
 - In accordance with the Interim Implementation Strategy of the Stage 1 Guildford Town Centre & 104 Avenue Corridor Plan, development applications for properties in the plan area that comply with, or have merit, under the Stage 1 Plan may proceed to Council for consideration and initial approvals (Third Reading) but will not proceed to final approval until the Stage 2 component of the Plan is complete and approved by Council.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "Multiple Residential 45 Zone (RM-45)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. A By-law be introduced to enter into a Housing Agreement and be given First, Second and Third Reading.
3. Council authorize staff to draft Development Permit No. 7920-0143-00 generally in accordance with the attached drawings (Appendix I).
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) Approval from the Ministry of Transportation & Infrastructure;
 - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (g) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (h) the applicant enter into a Housing Agreement with the City to restrict all 424 dwelling units on the subject site to rental housing for a period of 60 years;
 - (i) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-70 Zone, at the rate in effect at the time of Final Adoption;
 - (j) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (k) registration of access easements to ensure access to the proposed shared parking, internal drive aisle, and amenity facilities within the development;
 - (l) submission of an acoustical report for the units adjacent to 108 Avenue and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures; and

- (m) registration of a Section 219 Restrictive Covenant requiring the applicant to pay all deferred financial contributions for Public Art, Affordable Housing, and/or Capital Projects Community Amenity Contributions for the development should the project be converted from rental housing to market units at any point in the future, after expiry of the Housing Agreement.
- (n) Council approval of Stage 2 of the Guildford Town Centre – 104 Avenue Corridor Plan.
6. Council pass a resolution to amend the Guildford Town Centre & 104 Avenue Corridor Plan to redesignate the land from Low Rise Apartment (1.6 FAR) to Low to Mid Rise Apartment (2.5 FAR) when the project is considered for final adoption.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Four 3-storey rental apartment buildings	Low Rise Apartment (1.6 FAR)	RM-45
North (Across 108 Avenue):	Riverside Heights Shopping Centre	OCP: Commercial	C-8
East:	Six 3-storey rental apartment buildings	Low Rise Apartment (1.6 FAR)	RM-30
South (Across 107A Avenue):	Holly Park and Holly Elementary School	Parks and Natural Areas & School	RA
West:	Commercial Retail Units	Low Rise Mixed Use	C-8

Context & Background

- The subject site is approximately 1.6 hectares in size and is comprised of one lot fronting 108 Avenue on the north and 107A Avenue on the south. The site is presently occupied by four low rise rental apartment buildings, collectively known as "Brookmere Gardens", that were constructed in 1966.
- The subject property is designated Multiple Residential in the Official Community Plan (OCP) and Low Rise Apartment (1.6 FAR) in the Guildford Town Centre & 104 Avenue Corridor Stage 1 Plan. The property is zoned Multiple Residential 45 Zone (RM-45).
- The site is located near the northern edge of the Guildford Town Centre & 104 Avenue Corridor Stage 1 Plan area. The Plan area boundary was extended in July 2019 to include the Riverside Heights Shopping Centre on the north side of 108 Avenue, across from the subject site. The land uses for the Riverside Heights Shopping Centre are being reviewed as part of the development of Stage 2 of the Guildford Town Centre & 104 Avenue Corridor Plan.

- "Brookmere Gardens" currently consists of 88 primarily two- and three-bedroom rental apartment units with at grade parking. The property is owned by Primex Investments Ltd., which specializes in the acquisition and management, through a partner company (Pacific Cove Property Management) of multiple residential rental properties, while aiming to improve the quality and increase the supply of rental housing in British Columbia.
- Primex Investments Ltd. is proposing to redevelop the site by removing the existing four rental apartment buildings and replacing them with two 6-storey rental apartment buildings with a total of 424 dwelling units.
- In conjunction with the proposal to redevelop the subject site, the applicant has provided a Tenant Relocation Plan in consideration of City Policy No. O-61 (Appendix IX).
- In addition to consideration of City Policy No. O-61, the applicant must comply with any provincially mandated requirements under the Residential Tenancy Act.

DEVELOPMENT PROPOSAL

Planning Considerations

- In order to permit the development of two 6-storey purpose-built rental apartment buildings with a total of 424 dwelling units, the applicant has proposed the following:
 - An amendment to the Guildford Town Centre & 104 Avenue Corridor Stage 1 Plan from Low Rise Apartment (1.6 FAR) to Low to Mid Rise Apartment (2.5 FAR);
 - Rezoning the subject site from Multiple Residential 45 Zone (RM-45) to Comprehensive Development Zone (CD) (based on RM-70);
 - Subdivision from one lot into two lots; and
 - Development Permit for Form and Character.

	Proposed
Lot Area	
Gross Site Area:	1.60 hectares
Road Dedication:	0.09 hectares
Net Site Area:	1.51 hectares
Number of Lots:	2
Building Height:	21.4 metres
Floor Area Ratio (FAR):	1.94 gross FAR; 2.08 net FAR
Floor Area	
Residential:	31,113 square metres
Commercial:	N/A
Total:	31,113 square metres
Residential Units:	
Studio:	8
1-Bedroom:	314
2-Bedroom:	82
3-Bedroom:	20
Total:	424

Referrals

- Engineering:** The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.
- School District:** The School District has advised that there will be approximately 170 school-age children generated by this development, of which the School District has provided the following expected student enrollment.
- 46 Elementary students at Holly Elementary School
50 Secondary students at Guildford Park Secondary School
- (Appendix III)
- Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.
- The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring 2025.
- Parks, Recreation & Culture:** Holly Park is not to be impacted by the proposed development; Ensure CPTED principles are applied to units facing Holly Park and that units adjacent to public space have low, permeable fencing or landscape materials that do not exceed 1.2 metres in height at mature growth to protect sight lines.
- Ministry of Transportation & Infrastructure (MOTI):** Preliminary Approval granted for the rezoning for one year.
- Surrey Fire Department:** Fire Access Plan is deemed acceptable pending confirmation of the following:
- Buildings to be addressed off 107A Avenue;
 - Internal drive aisle over parking garage must be designed to accommodate structural weight requirements for Fire Department vehicle access;
 - New hydrant to be provided at entrance to site at the internal drive aisle off 107A Avenue;
 - Provide illuminated address block signage at entrance to site at the internal drive aisle off 107A Avenue; and
 - Provide "No Parking/Fire Lane" signage within the internal drive aisle to maintain Fire Department vehicle access.

- Advisory Design Panel: The proposal was considered at the ADP meeting on March 25, 2021 and was supported. The applicant has resolved most of the outstanding items from the ADP review as outlined in the Development Permit section of this report. Any additional revisions will be completed prior to Council's consideration of Final Adoption of the rezoning by-law, to the satisfaction of the Planning and Development Department.
- Trans Mountain: Trans Mountain and its pipelines and rights-of-way are subject to the provisions of the Canada Energy Regulator Act. No ground disturbance is permitted within 30 metres of any pipeline or right-of-way without placing a BC One Call and obtaining prior written consent from Trans Mountain. Separate permission is required to install any permanent facility such as a fence, driveway, road, utility or even landscaping within the right-of-way.

Transportation Considerations

- The site is located adjacent to transit routes on 108 Avenue and within less than a kilometre of an existing Frequent Transit Network (FTN) and future rapid transit along 104 Avenue.

Traffic Impacts

- A Traffic Impact Analysis was not required as part of this application as the proposal is being incorporated into the transportation modelling study that is currently underway as part of the Stage 2 planning process for the Guildford Town Centre & 104 Avenue Corridor Plan. The transportation modelling study will identify any required improvements to nearby intersections and additional contributions as part of development of the subject site.
- Based on industry standard rates, the site is anticipated to generate approximately 187 trips in the afternoon peak hour (equating to 3 vehicles per minute), however, this estimate is anticipated to be conservatively high due to typically lower trip generation for rental-only residential uses as well as for denser urban environments.

Road Network and Infrastructure

- The applicant is required to dedicate and construct the following improvements along the site's road frontages:
 - 108 Avenue with a sidewalk and cycling infrastructure;
 - 107A Avenue with a sidewalk, boulevard with lighting and street trees, curb, and sufficient pavement to maintain two-way travel; and
 - Oriole Drive to align with the existing signalized intersection at 108 Avenue; the applicant will provide the west sidewalk and contribute towards the remainder of the west half of Oriole Drive, to be constructed as part of future development to the east.
- The applicant will also be completing 107A Avenue to provide a continuous connection to 147 Street to the west of the subject site. This connection has been identified as a requirement as part of Stage 1 of the Guildford Town Centre & 104 Avenue Corridor Plan and will serve to provide the following benefits for both existing and anticipated growth in traffic for this block:

- Distribute traffic from residential, park, and school uses on 107A Avenue and alleviate congestion at the intersections of 107A Avenue and 148 Street, as well as at 148 Street and 108 Avenue;
- Eliminate the need for U-turns and associated operational concerns on 107A Avenue, particularly for pick-up/drop-off activities related to school traffic; and
- Provide a secondary access and outlet for the emergency services, in consideration that 107A Avenue is currently an overlength dead-end road (maximum length is typically 120 metres, while 107A Avenue is currently 400 metres).

Access

- Vehicle access to the underground parking for the proposed 424 rental apartment units is proposed to be via 107A Avenue at the eastern edge of the site.
- An internal drive aisle between the two proposed buildings will provide for passenger pick-up and drop-off, as well as delivery and emergency access.

Parking

- The proposed 424 rental units require 657 parking spaces to be provided on site, per the Zoning Bylaw.
- The applicant is proposing to provide 372 parking spaces, equivalent to a ratio of 0.77 parking spaces per residential unit, plus 0.11 visitor parking spaces per unit.
- Per Corporate Report No.R115; 2021 "Parking Update: Rapid Transit Corridors and Rental Housing", the recommended rate for rental residential uses is 0.8 spaces per dwelling unit. The applicant is proposing a further minor reduction at 0.77 spaces per dwelling unit, based on a demonstrated lower parking demand at other two existing similar sites with the same operator within Surrey.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has highlighted the following additional sustainable features:
 - Buildings will meet Step 3 of the BC Energy Step Code;
 - Efficient Variable Refrigerant Flow HVAC system (including A/C);
 - Low flow fixtures and water conservation measures;
 - Metered utilities, including energy and hot water;
 - Substantial bike parking and bike workshop facilities;
 - Community gardens that utilize efficient self-watering planters; and
 - Significant natural landscaping and drought resistant plantings.

School Capacity Considerations

- The School District has advised in their memo dated June 9, 2021, that Holly Elementary School is currently operating under capacity. It is not anticipated that the school will surpass existing capacity until post-2030.
- Guildford Park Secondary School is currently over capacity and is projected to grow over the next 10 years. In March 2020, the Ministry of Education approved funding for a feasibility report for a school addition that would increase the capacity of the school by 300 students, with a projected target to open in 2025, which is in line with the expected occupancy date for the proposed development.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The subject property is designated General Urban in the Regional Growth Strategy (RGS).
- The proposed development complies with the General Urban RGS designation.

Official Community Plan

Land Use Designation

- The subject site is designated Multiple Residential in the Official Community Plan (OCP).
- The proposed development complies with the Multiple Residential OCP designation.

Themes/Policies

- The proposed development is consistent with the following OCP Themes and Policies:
 - Growth Management
 - Growth Priorities: Support compact and efficient land development that is consistent with the Metro Vancouver *Regional Growth Strategy* (RGS).
 - Growth Priorities: Accommodate urban land development first in City Centre and Town Centre locations well-served by local services, infrastructure, and transit.
 - Accommodating Higher Density: Direct residential and mixed-use development into Surrey's City Centre, Town Centres, along Frequent Transit Corridors and in approved Secondary Plan areas, at densities sufficient to encourage commercial development and transit service expansion.
 - Sensitive Infill: Require redevelopment and infill development to contribute to neighbourhood walkability and to enhance public open spaces and greenspaces within existing neighbourhoods.
 - Centres, Corridors and Neighbourhoods
 - Healthy Neighbourhoods: Plan and design urban neighbourhoods with sufficient densities to support a high-quality transit system that is accessible to most residents.

- Society and Culture
 - Affordable Market Rental: Ensure an adequate supply of rental housing units in all areas of the city.
 - Affordable Market Rental: Encourage and support the development of new purpose-built rental apartments through such actions as expedited development application and reduced parking requirements, where appropriate.

Secondary Plans

Land Use Designation

- The subject site is designated Low Rise Apartment (1.6 FAR) in the Guildford Town Centre & 104 Avenue Corridor Stage 1 Plan.
- The proposal to develop two 6-storey rental apartment buildings at 1.94 FAR does not comply with the Guildford Town Centre & 104 Avenue Corridor Stage 1 Plan, therefore an amendment to the Plan is proposed to redesignate the site Low to Mid Rise Apartment (2.5 FAR).

Amendment Rationale

- The proposed amendment to Low to Mid Rise Apartment (2.5 FAR) is considered appropriate since the proposed development will be creating a significant number of new purpose-built rental units, which is in line with City's Affordable Housing Strategy to encourage the development of new purpose-built rental housing.
- The applicant has also agreed to enter into a 60-year Housing Agreement with the City to ensure the continued rental tenure of these units. This is longer than the typical Housing Agreement term of 20 years.
- Additionally, with the inclusion of the Riverside Heights Shopping Centre on the north side of 108 Avenue in the Guildford Town Centre & 104 Avenue Corridor Plan area, it is anticipated that both the density and height of the lands within the extension area will increase with future development. Therefore, the increased building height and density on the subject site is deemed appropriate to the surrounding context.
- As the development is proposed to be 100% purpose-built rental with a Housing Agreement, the application will not be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as per Schedule G of the Zoning Bylaw.

Rental Housing Redevelopment Policy (City Policy No. o-61)

- On April 9, 2018, Council approved Corporate Report No. Ro66, which outlines City Policy No. O-61 (Rental Housing Redevelopment: Rental Replacement and Tenant Relocation Assistance Policy) as part of Surrey's Affordable Housing Strategy: A Focus on Rental Housing.

- The Surrey Affordable Housing Strategy includes specific strategies to prevent the loss of purpose-built rental housing and strengthen protection for tenants. The Rental Housing Redevelopment Policy (City Policy No. O-61) sets out requirements for the redevelopment of purpose-built rental housing and provision of assistance to tenants when redevelopment occurs.
- The following illustrates the rental replacement requirements and the applicant's responses (staff comments in italics):
 - Redevelopment of a purpose-built rental site requires replacement of the existing rental units within the new development.

- The applicant is proposing to construct two 6-storey purpose-built rental buildings on the subject site.

(The proposed apartment buildings will provide a total of 424 new market rental units on the subject site, in place of 88 existing units.)

- Replacement of purpose-built rental units shall include, at a minimum, the same number of total bedrooms as in the original development.
 - The applicant is proposing to replace two (2) one-bedroom apartment units, 51 two-bedroom apartment units, and 35 three-bedroom apartment units, totaling 209 bedrooms with two 6-storey purpose-built rental buildings. The proposed new buildings will provide 424 market rental units with a total of 538 bedrooms. Additionally, there will be 8 studio units without a bedroom.

(The applicant is exceeding the 1:1 replacement requirement under City Policy No. O-61.)
- Replacement units are required to be "affordable rental" for low to moderate income households, rented as a maximum of 10% below current Canadian Market and Housing Corporation (CMHC) average rents for the applicable unit size in the City of Surrey. Current average rental rates for Surrey are provided in CMHC's Rental Market Report: Vancouver CMA, which is released annually in the fall.
 - The applicant has indicated that providing the required replacement units at 10% below current CMHC average rents would make the project financially unviable. The applicant has, therefore, proposed an approach based on the BC Housing Provincial Rental Supply Program that would target moderate income households for 100% of the units within the development, rather than just the required replacement units. For a period of 20 years, rents would be established to be attainable for Middle Income Households whose gross household income does not exceed the 75th income percentile for families with or without children, as determined by BC Housing.
 - In addition, any existing tenants who will be displaced as part of the redevelopment of the site and who exercise the right of first refusal for a unit in the new development will be offered rents equivalent to CMHC average rents or their current rent, whichever is higher.

- The above approach to provide 100% of the 424 new rental units targeting moderate income households for a period of 20 years is detailed in the Housing Agreement attached to this report as Appendix VIII.

(Given that the proposed development is 100% purpose-built rental and will supply a significant number of additional rental units within the City, the approach noted above that targets moderate income households is deemed to meet the intent of City Policy No. O-61.)

- Affordable rental replacement units shall be secured as rental with a Housing Agreement. In addition to tenure, the Housing Agreement shall specifically target households (low to moderate income households, with reference to BC Housing's Housing Income Limits), rental rates, and administration and management of the units, and the requirement of annual reporting to the City on the operations of the affordable rental replacement units.

- All 424 proposed rental units will be secured with a Housing Agreement for a term of 60 years, with rental rates targeting moderate income households secured for 20 years, and existing tenants being guaranteed rents that are equivalent to CMHC average rents or their current rent, whichever is higher.

(The Housing Agreement is attached to this report as Appendix VIII.)

- The affordable rental replacement units must be managed by a non-profit organization, or a non-profit/social enterprise property management firm as approved by the City.

- All of the rental units in the proposed development will be operated by Pacific Cove Property Management, the partner company of Primex Investments Ltd. Pacific Cove Property Management specializes in the management of rental buildings throughout British Columbia.

(Although Pacific Cove Property Management is not a non-profit organization, they are experienced rental property managers. Given the large supply of rental units in the proposed development that do not fall under the Rental Housing Redevelopment Policy (City Policy No. O-61), it would not be feasible to have two operators managing different units within the same buildings.)

- Replacement rental units shall be located on the same development site as the original units. In special cases, replacement units off-site may be considered, at a location in the same neighbourhood.

- The replacement rental units are proposed to be located on the same development site as the original 88 rental units that are proposed to be demolished at 14840 – 108 Avenue (i.e., Brookmere Gardens).

- A proposal acceptable to the City shall be provided by the Proponent with the development application. The proposal shall outline how the Proponent's application meets the rental replacement requirements of the Policy.
 - The applicant submitted a Tenant Relocation Plan as part of their development application and subsequently updated the plan as the development proposal progressed.

(The Tenant Relocation Plan is attached to this report as Appendix IX.)

- In accordance with Policy No. O-61, the applicant has taken the following actions:
 - Provided a Current Occupancy Summary that includes the number of units proposed to be replaced, the number of bedrooms for each unit, the rental rates, the number of vacant units, demographic profiles, and length of tenancy;
 - Provided a Communications Plan detailing how and when residents are notified of the application process and opportunities to provide input;
 - Appointed a Tenant Relocation Coordinator to facilitate communications with the tenants throughout the development proposal process; and
 - Provided a Tenant Relocation Plan (Appendix IX) that outlines tenant eligibility, financial compensation, relocation assistance, and right of first refusal.
- The applicant has confirmed that of the 88 units to be demolished to accommodate the proposed development, 14 units have been vacated by eligible tenants and are now occupied by tenants who signed short-term leases with the knowledge that the units are proposed to be redeveloped; another six (6) tenants have given notice of their intention to vacate their units within the next four months; and the remaining 68 units are still occupied by tenants eligible for financial compensation, relocation assistance, and the right of first refusal. The applicant's Tenant Relocation Coordinator will continue to work with the remaining eligible tenants on their individualized relocation plan to find suitable alternate accommodations.
- The applicant has adhered to most of the requirements in City Policy No. O-61, including providing a Tenant Relocation Plan for the existing residents and exceeding the 1:1 rental replacement requirement. The required replacement units provided on site do not meet the definition of affordable rental as outlined in City Policy No. O-61, in that the rental units are not being provided at 10% below current Canadian Market and Housing Corporation (CMHC) average rents; however, the units will be provided at rental rates geared to moderate income households based on the approach outlined in the BC Housing Provincial Rental Supply Program.
- The proposal is deemed to partially comply with City Policy No. O-61 and, therefore, staff are supportive of the proposal proceeding to Public Hearing.

Housing Agreement

- Section 483 of the Local Government Act authorizes local governments to enter into Housing Agreements, for terms and conditions agreed to by the owner and the local government, that pertain to the occupancy of the housing units.
- The proposed Housing Agreement will regulate the 424 dwelling units in the two proposed 6-storey apartment buildings.
- The attached Housing Agreement (Appendix VIII) will be adopted by Bylaw and registered on title of the property. The agreement will restrict all 424 units to rental tenure for a period of 60 years, while also guaranteeing that the units will be rented to moderate income households whose gross household income do not exceed the 75th income percentile for families with or without children, as determined by BC Housing, for a period of 20 years. Units rented to existing eligible tenants through the right of first refusal will be offered at rents equivalent to CMHC average rents or the tenant's current rent, whichever is higher.
- The City may from time to time require that the owner of the building provide written proof of compliance with the Housing Agreement.
- The Housing Agreement Bylaw will be brought forward for final adoption concurrently with final adoption of the associated Rezoning Bylaw and the issuance of the Development Permit and Development Variance Permit, once all of the outstanding conditions associated with the application are fulfilled.

CD By-law

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate two proposed 6-storey rental apartment buildings on the subject site. The proposed CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 70 Zone (RM-70)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone	
Floor Area Ratio:	1.50	2.08	
Lot Coverage:	33%	49%	
Yards and Setbacks			
		<u>Building 1</u>	<u>Building 2</u>
North (108 Avenue):	7.5 m	7.7 m	7.7 m
East:	7.5 m	9.0 m	12.9 m
South (107A Avenue):	7.5 m	6.1 m	4.5 m
West	7.5 m	12.9 m	13.9 m
Principal Building Height:	50.0 m	21.4 m	
Permitted Uses:	<ul style="list-style-type: none"> Multiple unit residential buildings Ground-oriented multiple unit residential buildings Child care centres 	<ul style="list-style-type: none"> Multiple unit residential buildings Ground-oriented multiple unit residential buildings 	
Amenity Space			
Indoor Amenity:	<ul style="list-style-type: none"> 3.0 sq. m. per dwelling unit 1.0 sq. m. per lock-off suite 4.0 sq. m. per micro unit 	The proposed 1,096 m ² [+ CIL of \$118,000] meets the Zoning By-law requirement.	
Outdoor Amenity:	<ul style="list-style-type: none"> 3.0 sq. m. per dwelling unit 1.0 sq. m. per lock-off suite 4.0 sq. m. per micro unit 	The proposed 1,524 m ² meets the Zoning By-law requirement.	
Parking (Part 5)		Required	Proposed
Number of Stalls			
Residential:	572	326	
Residential Visitor:	85	46	
Total:	657	372	
Bicycle Spaces			
Residential Secure Parking:	509	568	
Residential Visitor:	12	15	

- The floor area ratio (FAR) has been increased from 1.5 FAR in the RM-70 Zone to 2.08 net FAR in the CD Zone. The proposed density complies with the proposed Guildford Town Centre & 104 Avenue Corridor Stage 1 Plan designation of Low to Mid Rise Apartment (2.5 FAR) and the OCP designation of Multiple Residential, which allows up to 2.0 FAR in Urban Centres.
- The maximum lot coverage has been increased from 33% in the RM-70 Zone to 49% in the CD Zone to accommodate the built form, which is generally consistent with other similar 6-storey apartment developments.
- The proposed bicycle parking complies with the minimum requirement.

Parking

- The proposed 424 rental units require 657 parking spaces to be provided on site, per the Zoning Bylaw.

- The applicant is proposing to provide 372 parking spaces, equivalent to a ratio of 0.77 parking spaces per residential unit, plus 0.11 visitor parking spaces per unit.
- Per Corporate Report No.R115; 2021 "Parking Update: Rapid Transit Corridors and Rental Housing", the recommended rate for rental residential uses is 0.8 spaces per dwelling unit. The applicant is proposing a further minor reduction at 0.77 spaces per dwelling unit, based on a demonstrated lower parking demand at other two existing similar sites with the same operator within Surrey.

Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- As the proposed development is comprised entirely of market rental housing units, neither Tier 1 nor Tier 2 Capital Project Community Amenity Contributions are required for this development.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- Since all of the proposed units of the subject development are market rental housing units, no contribution is required.
- The proposed development is in line with the City's Affordable Housing Strategy to encourage the development of new purposed-built rental housing.

Public Art Policy

- Typically, an applicant is required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, as at rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. Since all of the proposed units are market rental housing units, this contribution is not required.

PUBLIC ENGAGEMENT

- Pre-notification letters were sent on September 18, 2020, and the Development Proposal Signs were installed on August 5, 2020. Staff received three responses from neighbouring (*staff comments in italics*):

- One resident contacted staff with questions about how the proposed development would directly impact their property.

(Staff provided further information about the proposed development as well as provided the resident information about the land use designation of their property.)

- One respondent voiced concerns about a lack of adequate infrastructure to support the additional residents that the proposed development would bring to the neighbourhood, in particular schools, parks, and social services.

(The School District has provided comments stating that Holly Elementary School is currently operating under capacity, while Guildford Park Secondary School is currently over capacity, but that the feasibility of a school addition is being explored with a targeted opening date of 2025, which would align with the proposed occupancy date for the development.

Additionally, as the subject site is within the Guildford Town Centre & 104 Avenue Corridor Plan area, the needs of the community in terms of engineering servicing, parkland acquisition, and community amenities are being evaluated as part of the Stage 2 planning process, which will be financed through a Secondary Plan Community Amenity Contribution (CAC).)

- One respondent had an inquiry about the circumstances under which the City would consider increased densities beyond what the Guildford Town Centre & 104 Avenue Corridor Stage 1 Plan calls for and also wanted to know whether the proposed development was for market condos.

(As per the Guildford – 104 Avenue Interim Implementation Strategy, applications are required to meet the intended building form and uses as described in the approved Stage 1 Plan. However, the subject application is proposing 100% market rental, secured by a Housing Agreement, and therefore the proposed increase in density is deemed appropriate as it aligns with the City's Affordable Housing Strategy.)

DEVELOPMENT PERMITS

Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the intent of the Stage 1 Guildford Town Centre & 104 Avenue Corridor Plan for Low to Mid Rise Apartments.
- The applicant is proposing two 6-storey apartment buildings containing 424 rental units, consisting of 8 studio units, 314 one-bedroom units, 82 two-bedroom units, and 20 three-bedroom units. The units range in size from 42 square metres to 104 square metres.
- The two proposed O-shaped buildings both front 108 Avenue to the north and 107A Avenue to the south and are mirror opposites of one another with slight variations. Both buildings have an internal courtyard and have a reduced height along the south façade to allow sunlight into the interior units. The building form is stepped down from the north side to allow rooftop terraces and open up views to Holly Park on the south side.

- The proposed buildings have a contemporary modular terraced design to create a dynamic yet simple architectural expression.
- The Stage 1 Guildford Town Centre & 104 Avenue Corridor Plan encourages 2-storey townhouse units at grade, however, to enable the variety of units required for the rental replacement aspect of the development, single-level ground-oriented units are provided instead. The units, have their own front door facing the streets and useable, semiprivate outdoor patio space to enhance the public realm, replicating the interface of a traditional townhouse.
- The two buildings are separated by a central plaza that functions as both a drive aisle and pedestrian walkway. The central plaza will serve as a passenger pick-up and drop-off area, as well as function as the primary emergency response point for both buildings. The main lobbies are accessed from the central plaza at the northwest and northeast corners of Building 1 and Building 2 respectively.
- The applicant has worked with staff to:
 - Create a strong and compelling building form responsive to the context;
 - Create good interfaces along the streets, with comfortable main floor to grade relationships;
 - Develop an accessible relationship between the indoor and outdoor amenity spaces at grade in the courtyards and the central mews;
 - Minimize the shadowing in the courtyards, with the stepping design of the buildings;
 - Minimize the overlook and privacy issues between units; and
 - Design an appropriate landscape concept to complement the architecture and make a strong contribution to the character of the site and public realm.

Landscaping

- The proposed landscaping for the site includes a mix of trees, shrubs, dwarf conifers, ferns, grasses, and perennials, along with hardscaping, site furnishings, lighting, and fencing.
- The landscaping concept has three main focal areas: the outdoor amenity courtyard for Building 1, the outdoor amenity courtyard for Building 2, and the central plaza between the two buildings.
- At grade units have patio spaces with pavers, sod, trees, and landscaping to create semi-private outdoor spaces for residents.

Indoor Amenity

- The required indoor amenity space is 1,272 square metres, while the applicant is proposing to provide 1,190 square metres of indoor amenity on site, requiring cash-in-lieu for the shortfall in accordance with City Policy No. O-48.

- Each of the two buildings is proposed to have an indoor amenity area on the ground floor with space facing both the central plaza and the internal courtyard. The indoor amenity spaces are proposed to be shared throughout the site, requiring the applicant to register an access easement across the site to ensure access to the proposed shared amenity facilities within the development for all residents.
- The indoor amenity areas are each proposed to have a lounge, gym and yoga studio, library, games room, ping pong and pool table room, meeting rooms, and party room.

Outdoor Amenity

- The required outdoor amenity is 1,272 square metres. The applicant is proposing 1,272 square metres of outdoor amenity, meeting the minimum requirement.
- Each of the proposed buildings will have an outdoor amenity courtyard in the centre of the building.
- Each amenity courtyard is proposed to have the following:
 - Children's playground with mounded rubber surfaces, boulders, and other nature play elements;
 - Raised garden planters and potting tables; and
 - Bistro tables and benches.
- The central plaza between the two buildings will be primarily hardscaped with concrete pavers, as it will function as a pick-up and drop-off area, as well as provide emergency access to the site. Trees and shrubs will be planted on either side, softening the space and providing privacy for the semi-private patios of the units facing the central plaza.
- At the north end of the central plaza, there will be a seating area with benches. At the south end facing 107A Avenue, on either side of the drive aisle will be a corner feature plaza with landscaping and seating.

Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include:
 - Coordination and development of the public realm interface with all design disciplines to ensure an appropriately scaled, safe and accessible interface;
 - Design development to improve unit identity of the ground-oriented units facing the streets at the south and east;
 - Further refine design of the publicly accessible open spaces; and
 - Refinement to the architectural elements, materials and details.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

TREES

- Noah Talbot, ISA Certified Arborist of McElhanney Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	7	7	0
Cottonwood	9	9	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Black Hawthorn	1	1	0
Cherry	1	1	0
European Mountain Ash	2	2	0
Horse Chestnut	10	10	0
Lombardy Poplar	19	19	0
Norway Maple	11	11	0
Coniferous Trees			
Atlas Cedar	1	1	0
Austrian Pine	4	4	0
Douglas Fir	3	3	0
Excelsa Cedar	8	8	0
Leyland Cypress	3	3	0
Norway Spruce	12	12	0
Sawara Cypress	2	2	0
Scots Pine	1	1	0
Western Red Cedar	1	0	1
Variegated Cedar	4	4	0
Pyramidal Cedar	3	3	0
Total (excluding Alder and Cottonwood Trees)	86	85	1
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		158	
Total Retained and Replacement Trees		159	
Contribution to the Green City Program		\$11,200	

- The Arborist Assessment states that there is a total of 86 mature trees on the site, excluding Alder and Cottonwood trees. Sixteen (16) existing trees, approximately 16% of the total trees on the site, are Alder and Cottonwood trees. It was determined that one tree can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 186 replacement trees on the site. Since only 158 replacement trees can be accommodated on the site, the deficit of 28 replacement trees will require a cash-in-lieu payment of \$11,200, representing \$400 per tree, to the Green City Program, in accordance with the City's Tree Protection By-law.
- In addition to the replacement trees, boulevard street trees will be planted on 108 Avenue and 107A Avenue. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Paperbark Maple, Bloodgood Japanese Maple, Serviceberry, Cornelian Cherry Dogwood, Eddie's White Wonder Dogwood, Golden Chain Tree, Golden Belltower Parrotia, Colorado Spruce, Green Select Pine, Pyramidal White Pine, Canada Red Cherry, Fragrant Snowbell, Ivory Silk Japanese Tree Lilac, and Sawleaf Zelkova.
- In summary, a total of 159 trees are proposed to be retained or replaced on the site with a contribution of \$11,200 to the Green City Program.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	Guildford Town Centre & 104 Avenue Corridor Plan Proposed Amendment
Appendix VI.	ADP Comments and Response
Appendix VII.	Proposed Housing Agreement
Appendix VIII.	Tenant Relocation Plan

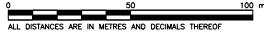
approved by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

CB/cm

SUBDIVISION PLAN OF
LOT 47 SECTION 20 OF BLOCK 5 NORTH RANGE 1 WEST
NEW WESTMINSTER DISTRICT PLAN 30076

BOGS 920.



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF
THE INTENDED PLOT SIZE OF THIS PLAN IS 110mm IN WIDTH
BY 864mm IN HEIGHT (E SIDE) WHEN PLOTTED AT A SCALE OF 1:1000

THIS PLAN LIES WITHIN (OR PARTIALLY) INTEGRATED SURVEY AREA NO. 1
CITY OF WESTMINSTER (LOCALITY: 1499)

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS BETWEEN
GEODETIC CONTROL MONUMENTS AND ARE REFERRED TO
THE GENERAL MERIDIAN OF UTM ZONE

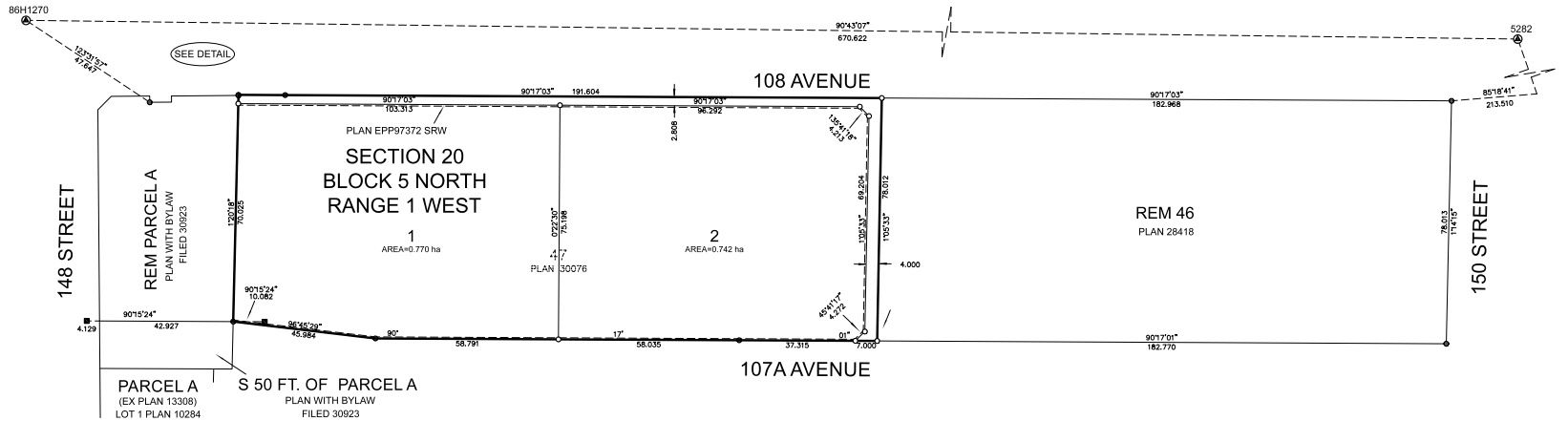
THE UTM COORDINATES AND ESTIMATED ABSOLUTE ACCURACY
ACHIEVED ARE DERIVED FROM THE MASCOFT PUBLISHED
COORDINATES AND STANDARD DEVIATIONS FOR GEODETIC CONTROL
MONUMENTS AND

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES, UNLESS
OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY
GROUND-LEVEL DISTANCES BY THE AVERAGE CORRECTION FACTOR OF
0.9996. THE AVERAGE CORRECTION FACTOR HAS BEEN DETERMINED
BASED ON GEODETIC CONTROL MONUMENTS.

LEGEND

FOUND PLACED

- CONTROL MONUMENT
- STANDARD CONCRETE POST
- STANDARD CAPPED POST
- STANDARD ROCK POST
- STANDARD IRON POST
- LEAD PLUG
- OLD PATERN DOMINION IRON POST
- NON-STANDARD IRON POST
- ▲ ANGLE IRON
- ▲ ALUMINIUM POST
- ▲ TRANSFER HUB - MAG NAIL
- ▲ DENOTES ARC
- r DENOTES RADIUS
- (c) DENOTES CALCULATED
- ha DENOTES HECTARE
- m² DENOTES SQUARE METRES(S)
- REM DENOTES REMAINDER
- NF DENOTES NOTHING FOUND
- NS DENOTES NOTHING SEARCHED FOR
- W DENOTES WITNESS
- OU DENOTES ORIGIN UNKNOWN



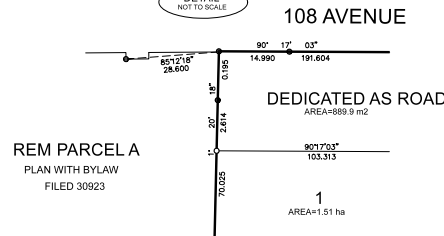
NOTE:
THIS PLAN SHOWS ONE OR MORE WITNESS POSTS
WHICH ARE NOT SET ON THE TRUE CORNERS(S).

THIS PLAN LIES WITHIN THE JURISDICTION OF THE
APPROVING OFFICER FOR THE CITY OF

THE FIELD SURVEY REPRESENTED BY THIS PLAN
WAS COMPLETED ON THE 31ST DAY OF J. 2020.
JASON G. HAMEL, BCLS (821)

THIS PLAN LIES WITHIN THE METRO REGIONAL DISTRICT

DETAIL
NOT TO SCALE



UTM ZONE 10 COORDINATES
DATUM: NAD83(CRS) 4.0 U.S.C. 1.1 MM
NORTHING: 54544
EASTING: 508
POINT CORRECTION FACTOR: 0.9996
ABSOLUTE ACCURACY: 0.50

Brookmere Gardens

REZONING / DP APPLICATION



PROJECT TEAM:

OWNER

PRIME INVESTMENTS LTD.
GREG MITCHELL
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will@wshadney.com

SUSTAINABILITY

SUSTAINABILITY
SARAH JONES
416-477-5724
sarah@gbll-consulting.org

gbll

REVISIONS

NO.	DATE	DESCRIPTION



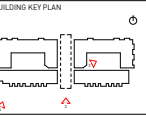
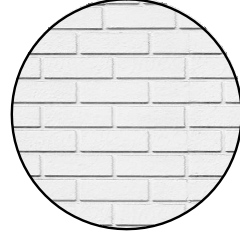
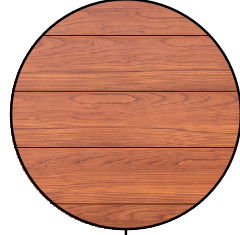
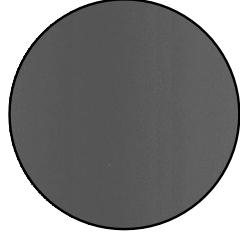
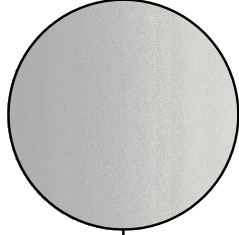
SWATCH
BOARD AND BATTEN

SWATCH
MATEL WHITE
HARDIE BOARD

SWATCH
MATEL GRAY
HARDIE BOARD

SWATCH
WOOD FRESH
METAL SCOFFIT

SWATCH
WHITE PAINT
PAINTED BRICK



Brookmere Gardens

REZONING / DP
 APPLICATION
 RENDERERS &
 MATERIALS

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 SCALE:
 JOB NUMBER: 19063

PROJECT INFORMATION

ADDRESS: 14880 108 Ave, Surrey, BC V3R 1W1
GROSS SITE AREA: 16,009.77 m²
NET SITE AREA: 15,119.82 m²
PROPOSED NET FAR: 2.06
PROPOSED GROSS FAR: 1.94
PROPOSED MAX HEIGHT: 18.3m + 3.1m elevator overrun / 6 storeys
PROPOSED ZONING: CD
REQUIRED SETBACKS: NORTH: 4.5m EAST: 8.5m SOUTH: 4.5m WEST: 9.0m

BUILDING 1
GROSS SITE AREA: 8,028.96 m²
NET SITE AREA: 7,428.64 m²
PROPOSED NET FAR: 2.08
PROPOSED GROSS FAR: 1.93
PROPOSED MAX HEIGHT: 18.3m + 3.1m elevator overrun / 6 storeys
PROPOSED ZONING: CD
REQUIRED SETBACKS: NORTH: 4.5m EAST: 8.5m SOUTH: 4.5m

BUILDING 2
GROSS SITE AREA: 7,980.8 m²
NET SITE AREA: 7,691.19 m²
PROPOSED NET FAR: 2.03
PROPOSED GROSS FAR: 1.96
PROPOSED MAX HEIGHT: 18.3m + 3.1m elevator overrun / 6 storeys
PROPOSED ZONING: CD
REQUIRED SETBACKS: NORTH: 4.5m SOUTH: 4.5m WEST: 9.0m

PROPOSED SETBACKS: NORTH: 7.75m EAST: 9.08m (VARIES) SOUTH: 4.15m CENTRAL LINE: 12.92m

PROPOSED SETBACKS: NORTH: 7.75m SOUTH: 4.57m (VARIES) WEST: 13.98m (VARIES) CENTRAL LINE: 12.92m

LOT COVERAGE: 7816 m² = 48.82%

LOT COVERAGE: 3,908 m² = 48.47%

LOT COVERAGE: 3,908 m² = 48.97%

GROSS AREA

Table with columns: UNIT, COUNT, Area, Efficiency. Lists various building units and their respective areas and efficiencies.

AMENITY CALCULATIONS

REQUIRED
INDOOR AMENITIES: 3 m² / 424 UNITS = 1272 m²
OUTDOOR AMENITIES: 3 m² / 424 UNITS = 1272 m²
PROPOSED
INDOOR AMENITIES: 1076 m²
OUTDOOR AMENITIES: 1524 m²

FAR CALCULATION

Table with columns: Name, Area, FAR. Shows FAR calculation for various building units.

Table with columns: Name, Area, FAR. Shows FAR calculation for Building 1 units.

Table with columns: Name, Area, FAR. Shows FAR calculation for Building 2 units.

PARKING CALCULATION

REQUIRED
STUDIO/1BED: 322 x 0.65= 209
2 BED: 82 x 0.9 = 74
3 BED: 20 x 1.1 = 22
VISITORS: 424 x 0.1 = 42
TOTAL REQUIRED PARKING SPACES: 347

PARKING SCHEDULE table with columns: Phase Created, Type, Count. Lists parking spaces for accessible stalls, drop off, and small cars.

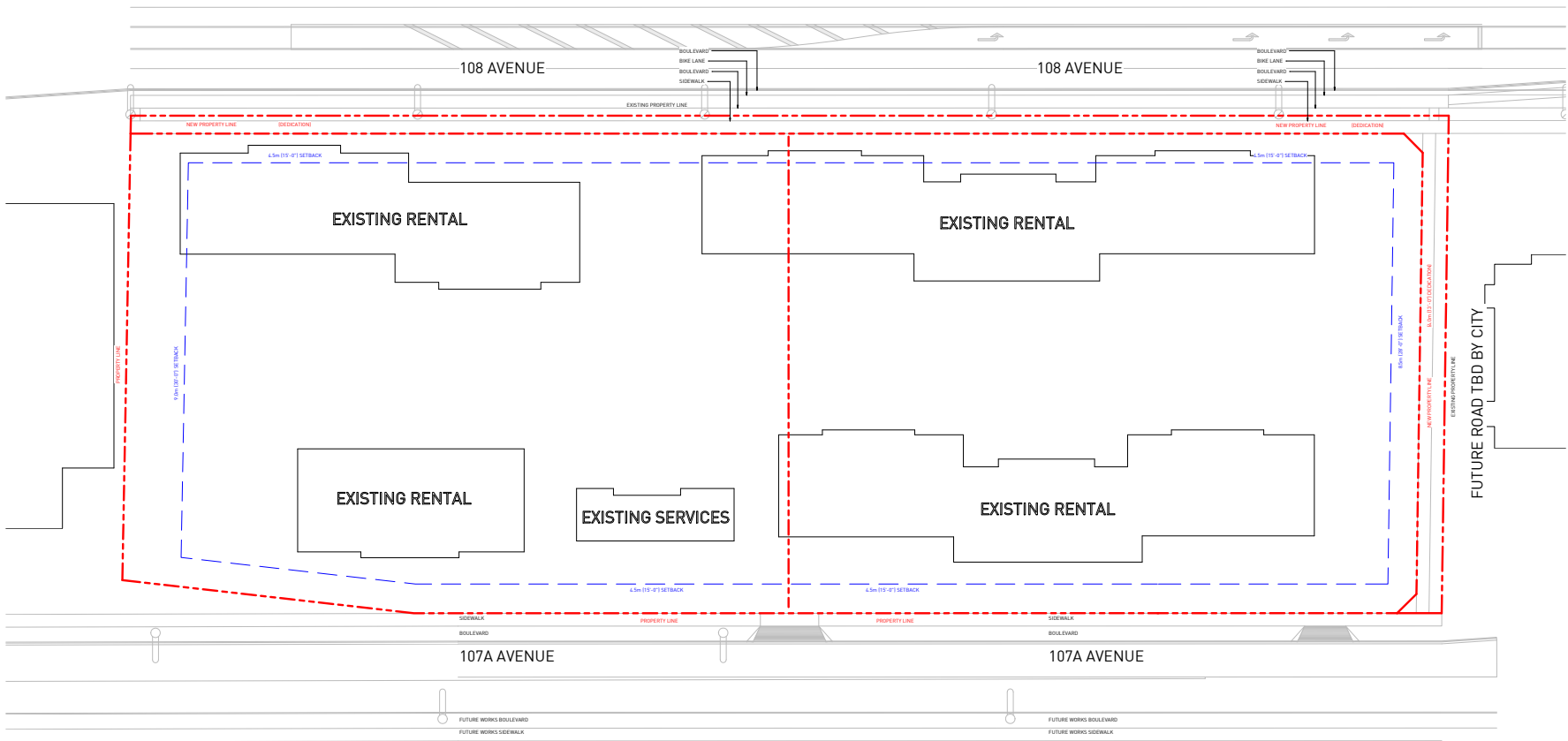
BIKE SCHEDULE table with columns: Phase Created, Type, Count. Lists bicycle and bicycle-vert parking spaces.

UNITS CALCULATION

UNIT COUNT TOTALS table with columns: Name, Count, Percentage. Shows unit counts for various building types.

UNIT TYPES table with columns: Name, Unit Type, Count, Percentage. Shows unit types for various building types.

REVISIONS table with columns: NO., DATE, DESCRIPTION. Shows revision history.



PROPERTY LINE PLAN

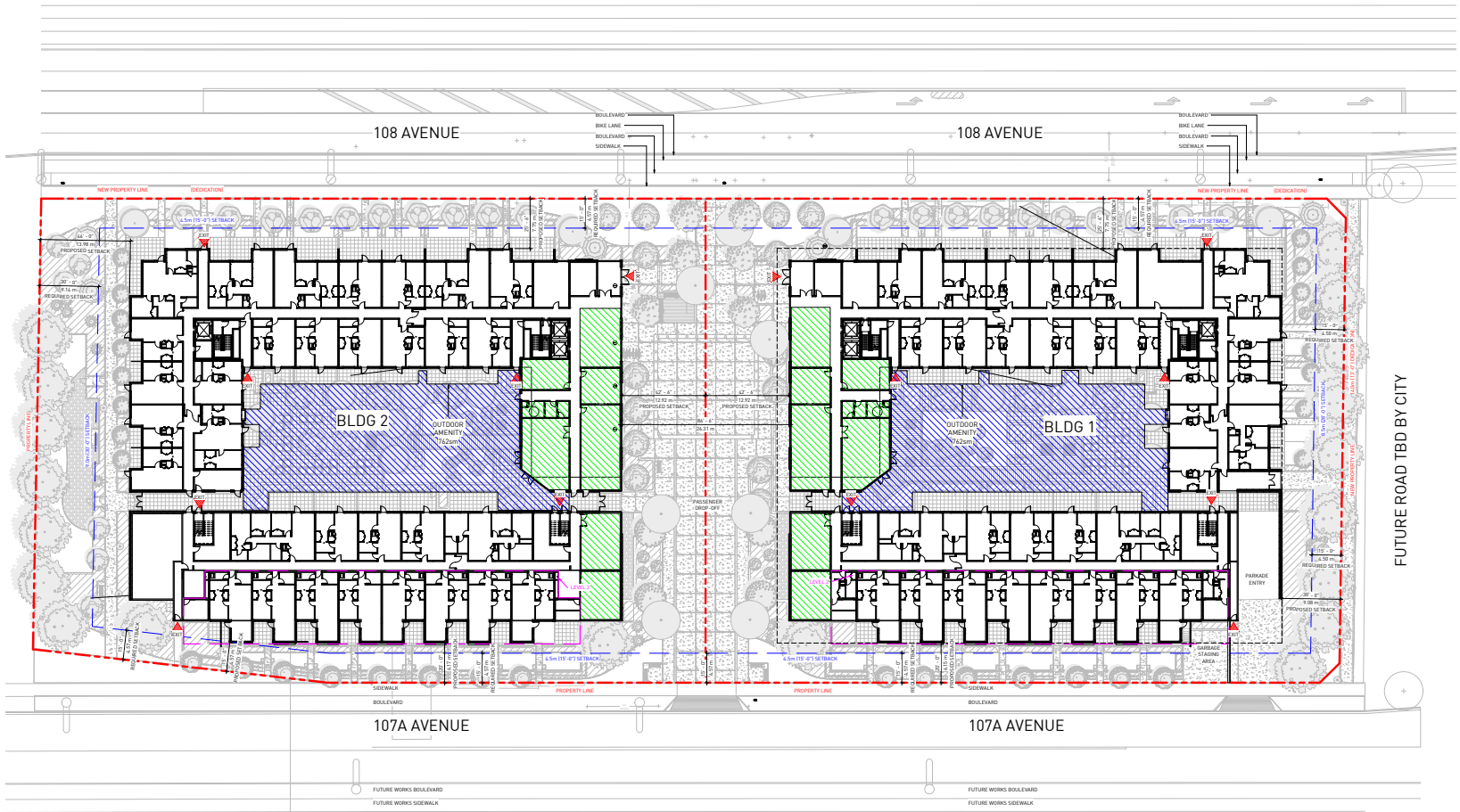
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Brookmere Gardens

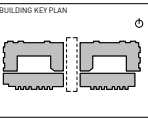
REZONING / DP APPLICATION

PROPERTY LINE PLAN

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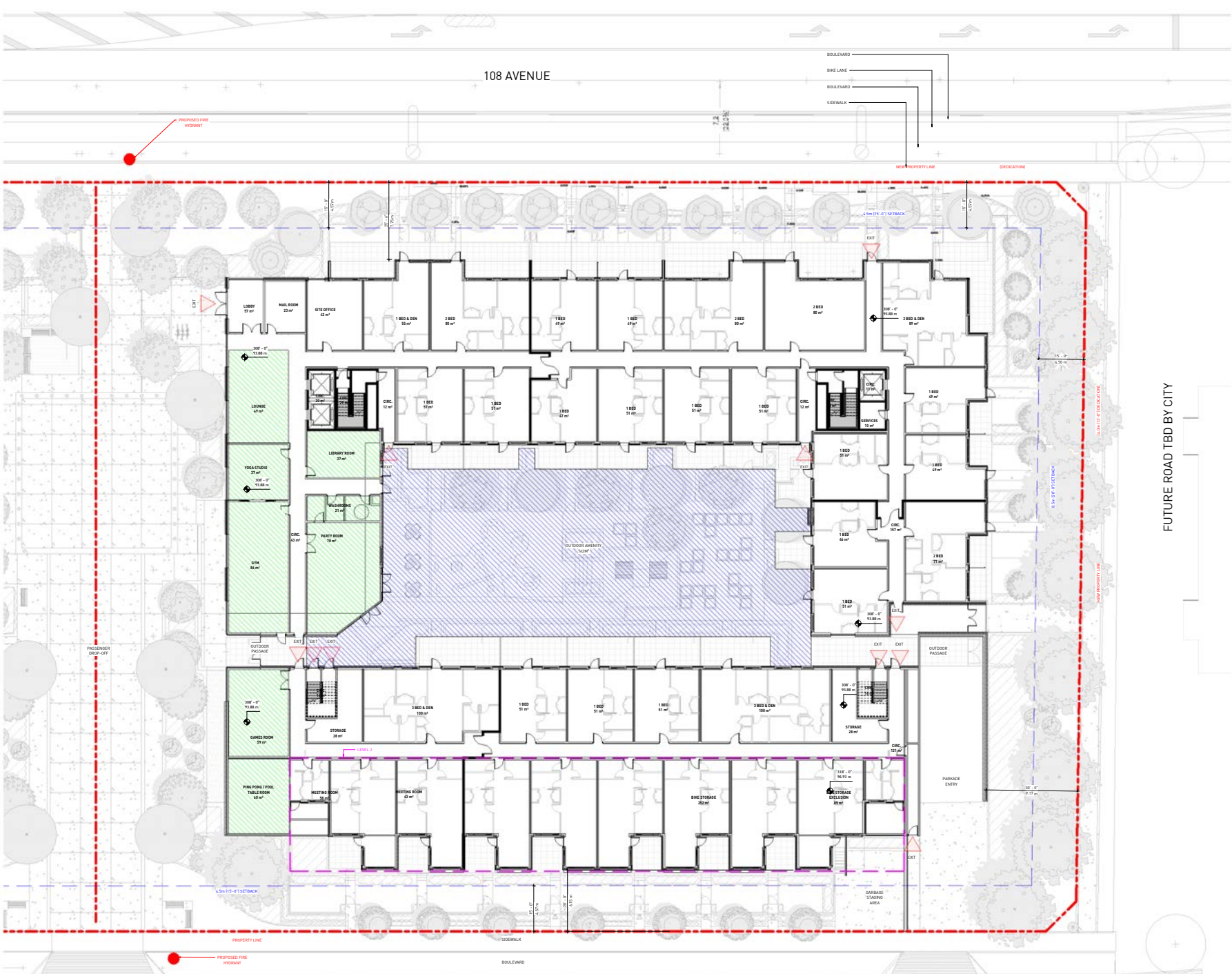


Brookmere Gardens
 REZONING / DP
 APPLICATION

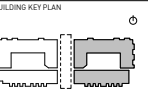
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A-00.31

OVERALL SITE PLAN



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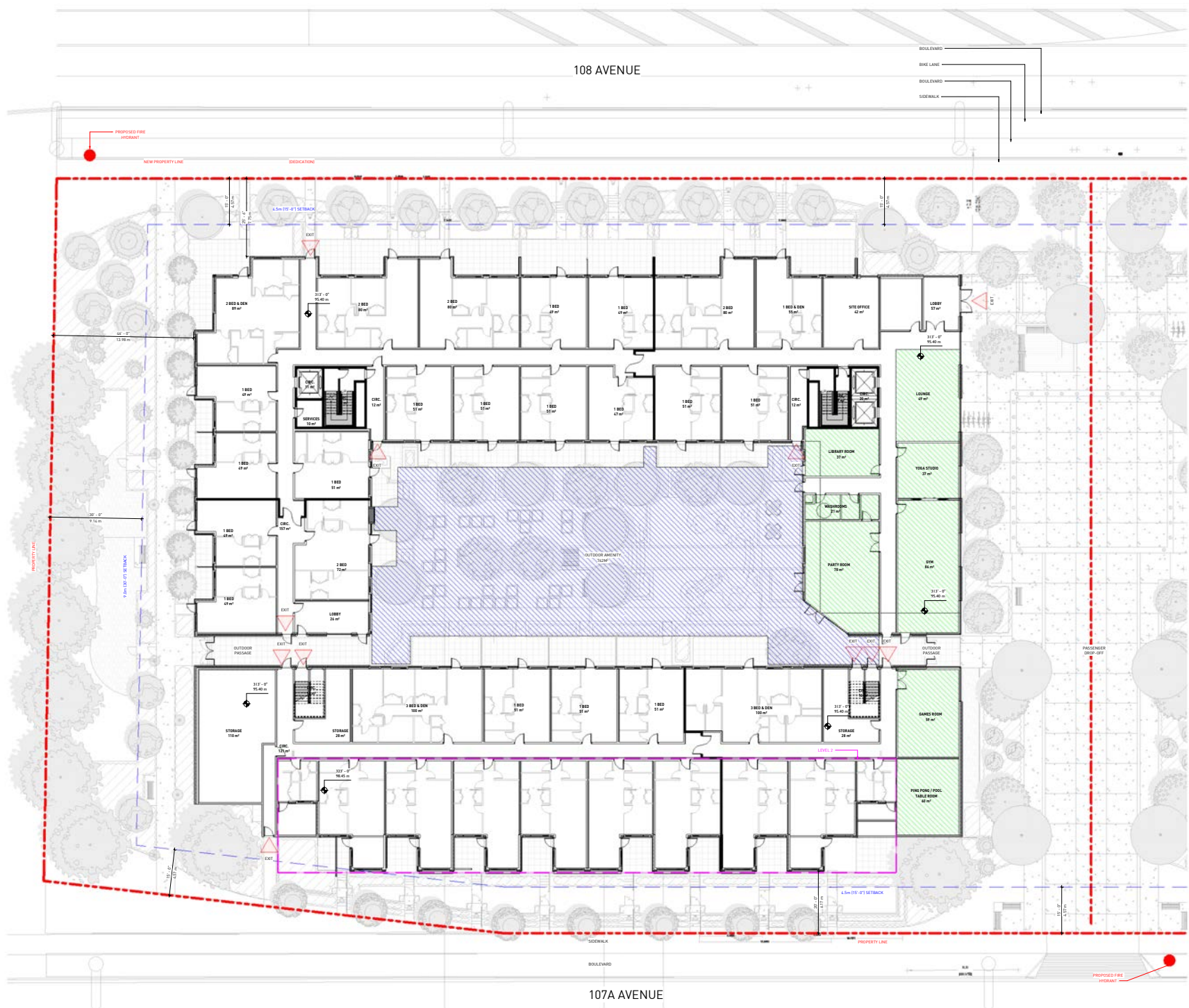


Brookmere Gardens

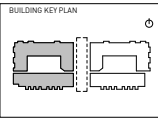
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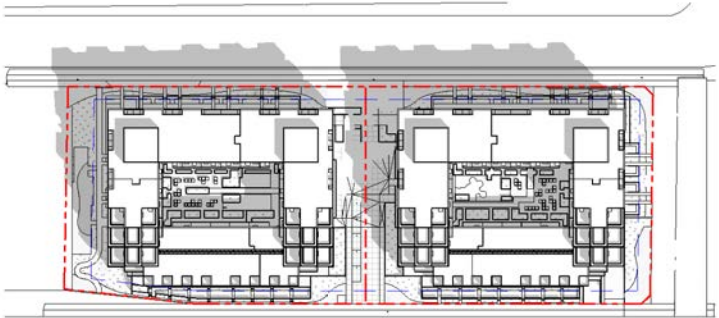
Brookmere Gardens

REZONING / DP APPLICATION

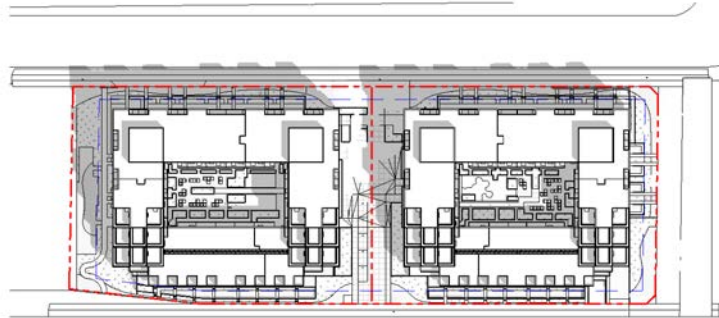
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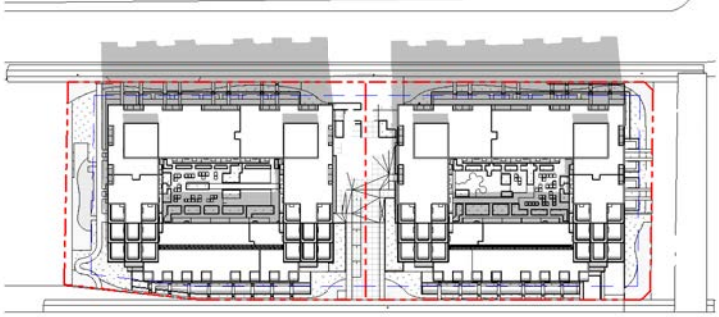
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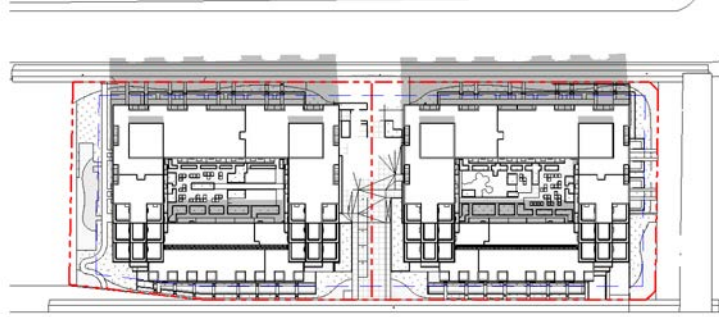
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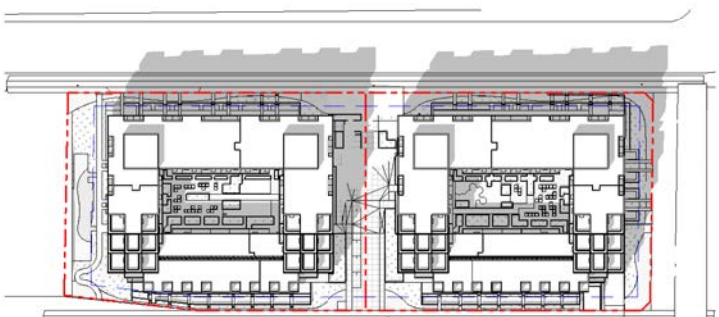
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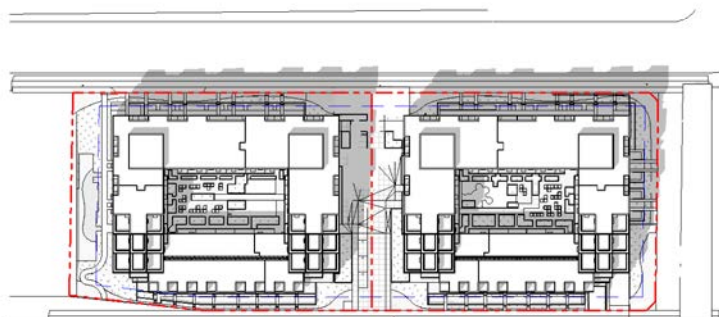
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SEP 23 - 12PM

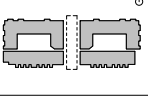


MARCH 21 - 2PM



SEP 23 - 2PM

BUILDING KEY PLAN

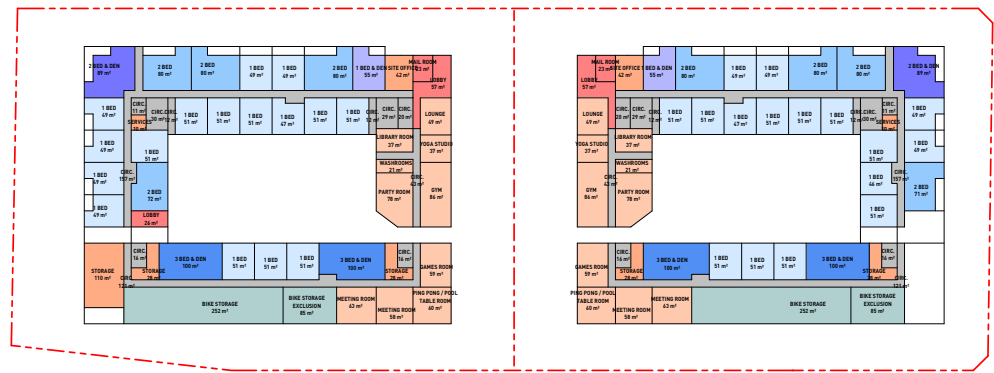


Brookmere Gardens

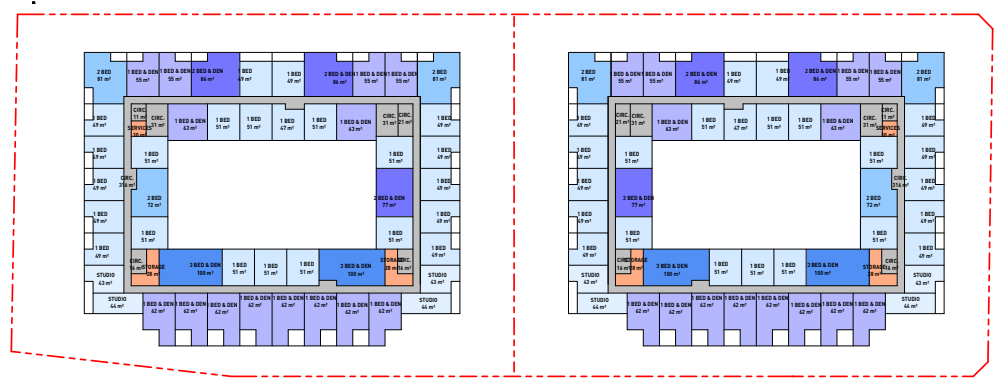
REZONING / DP APPLICATION

SHADOW STUDIES

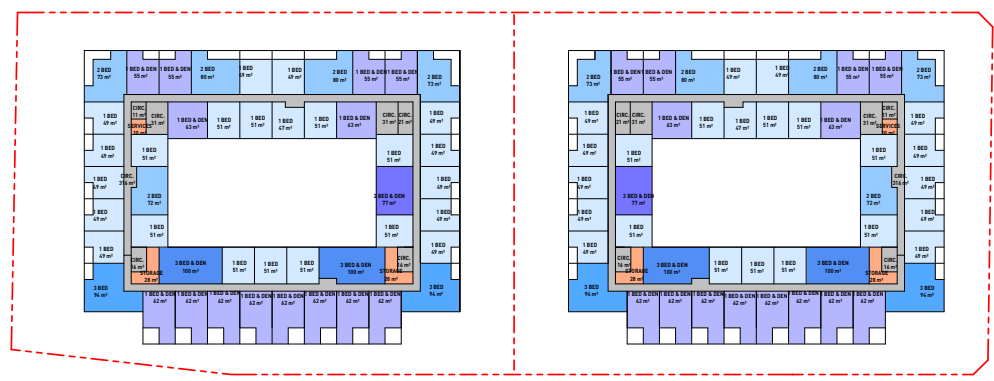
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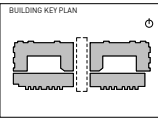


LEVEL 2



LEVEL 3

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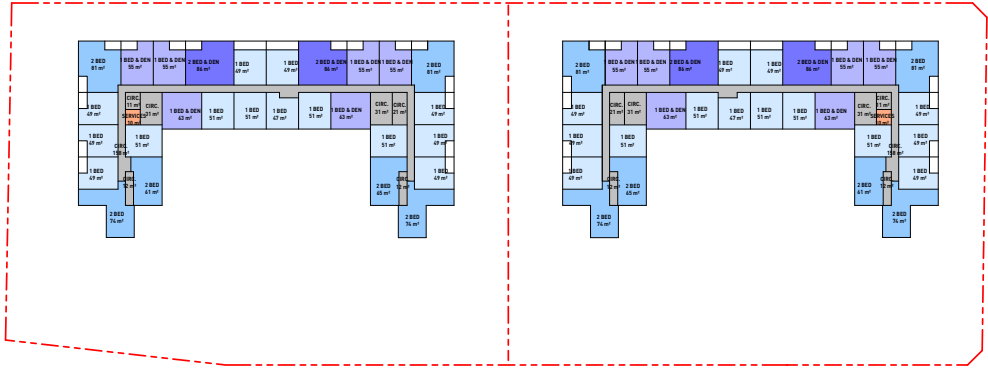


Brookmere Gardens

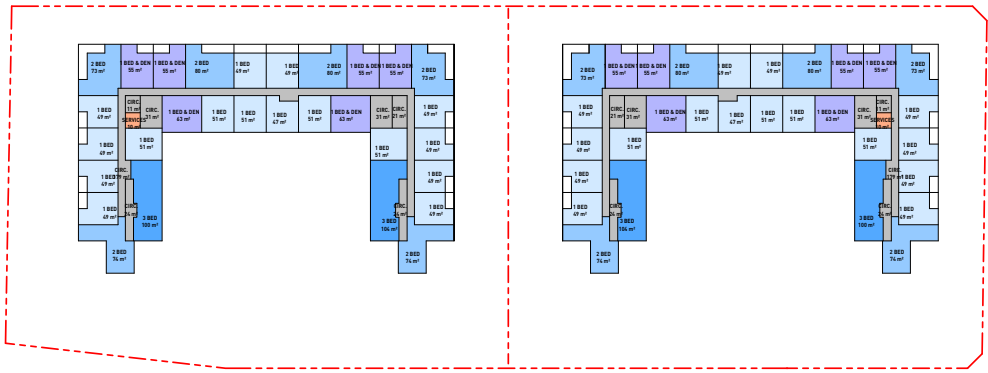
REZONING / DP APPLICATION

AREA PLAN - LEVEL 1-3

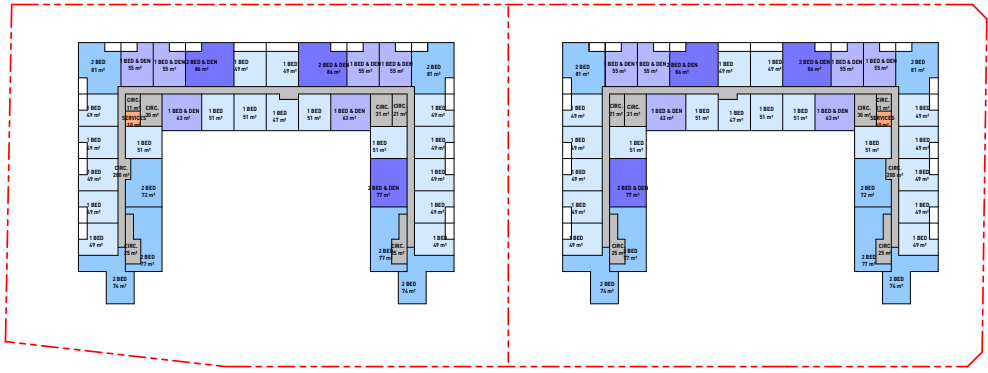
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 JOB NUMBER: 19063



LEVEL 6

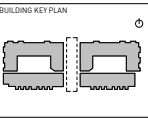


LEVEL 5



LEVEL 4

NO.	DATE	DESCRIPTION



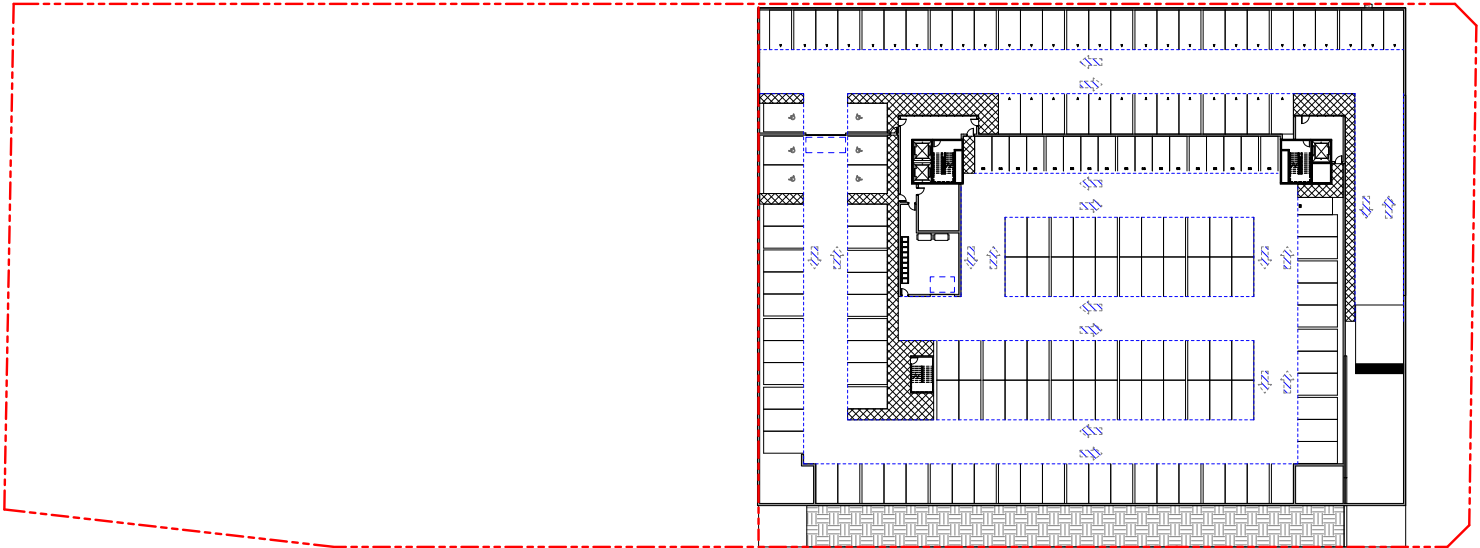
Brookmere Gardens

REZONING / DP APPLICATION

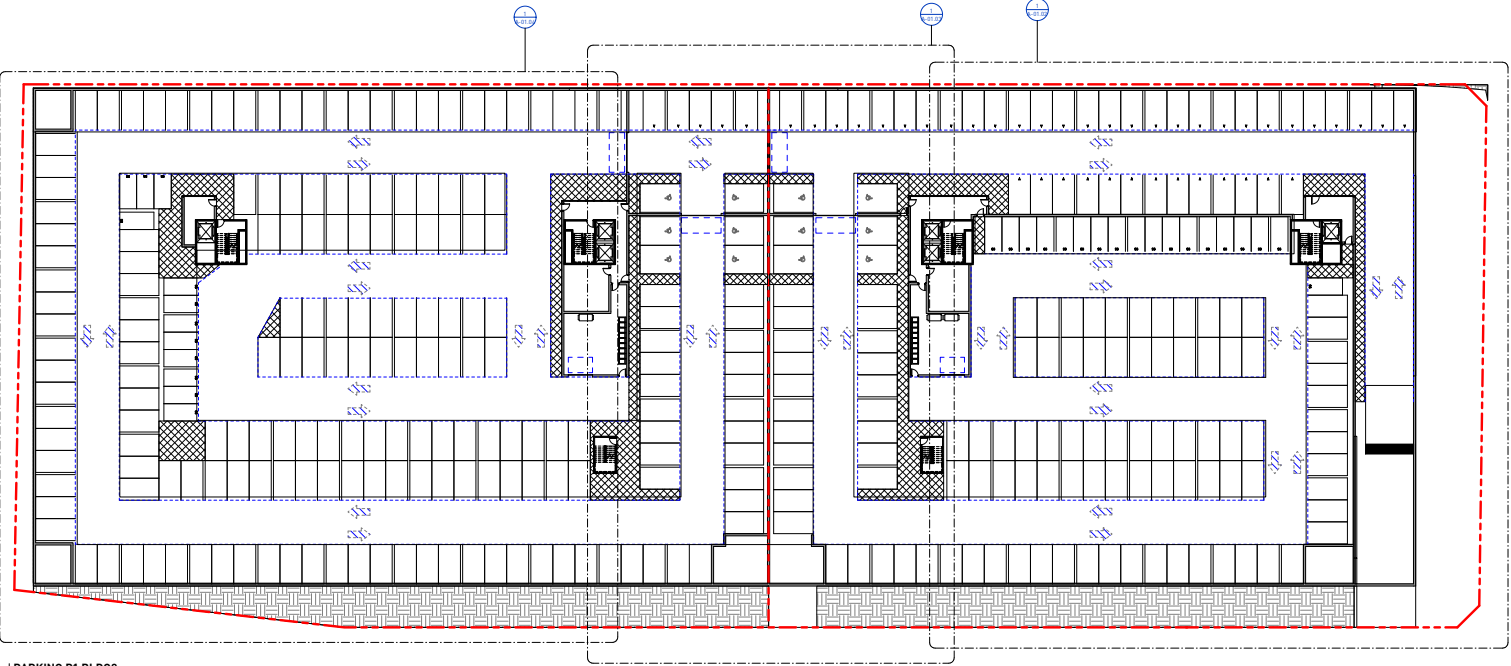
AREA PLAN - LEVEL 4-6

DATE: 4/21/2017 4:40:11 PM
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: 1" = 30'-0"
 JOB NUMBER: 19063

PARKING SCHEDULE		
Phase Created	Type	Count
Building 1	ACCESSIBLE STALL	6
Building 2	ACCESSIBLE STALL	6
ACCESSIBLE STALL: 12		
Building 1	DROP OFF	5
DROP OFF: 5		
Building 1	SMALL CAR	18
Building 2	SMALL CAR	12
SMALL CAR: 30		
Building 1	STANDARD	102
Building 2	STANDARD	182
STANDARD: 284		
Building 1	VISITOR	41
Building 2	VISITOR	5
VISITOR: 46		
Grand total: 377		

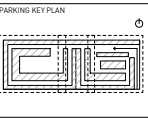


PARKING P1 BLDG1



PARKING P1 BLDG2

REVISIONS		
NO.	DATE	DESCRIPTION
1	2010/07	Revising DP Application



Brookmere Gardens

REZONING / DP APPLICATION

OVERALL PARKING

DATE	10/17/2011 4:47:29 PM
DRAWN BY	Author
CHECKED BY	Checker
SCALE	1" = 20'-0"
JOB NUMBER	19063



1 OVERALL NORTH ELEVATION
1/8" = 1'-0"



2 OVERALL SOUTH ELEVATION
1/8" = 1'-0"

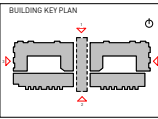


3 OVERALL WEST ELEVATION
1/8" = 1'-0"



4 OVERALL EAST ELEVATION
1/8" = 1'-0"

NO.	DATE	DESCRIPTION
1	2/26/09	Revising DP Application



Brookmere Gardens

REZONING / DP APPLICATION

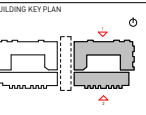
OVERALL ELEVATIONS

DATE: 4/21/2011 4:52:43 PM
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 19063

Key Value	Material Name
01A	White Stack Brick Veneer
01B	White Clear GSI - Stonecoat
02	Charcoal Light Grey GSI - Stonecoat
03	Clear Monolithic Safety/Thermal-kill - Quartz
04	Polished Monolithic Safety/Thermal-kill - Limestone / Granite screens
05	White (PGDF) resin powder coated - railings, handrails, handrails, access framing, structural components
06	Charcoal (PGDF) resin powder coated - railings, gutters, handrails, access framing, structural components
07	Acrylic White Hardie Board in Board and Batten Pattern
08	Grey Stone Hardie Board in Board and Batten Pattern



NO.	DATE	DESCRIPTION
1	2016/07	Receiving DP Application

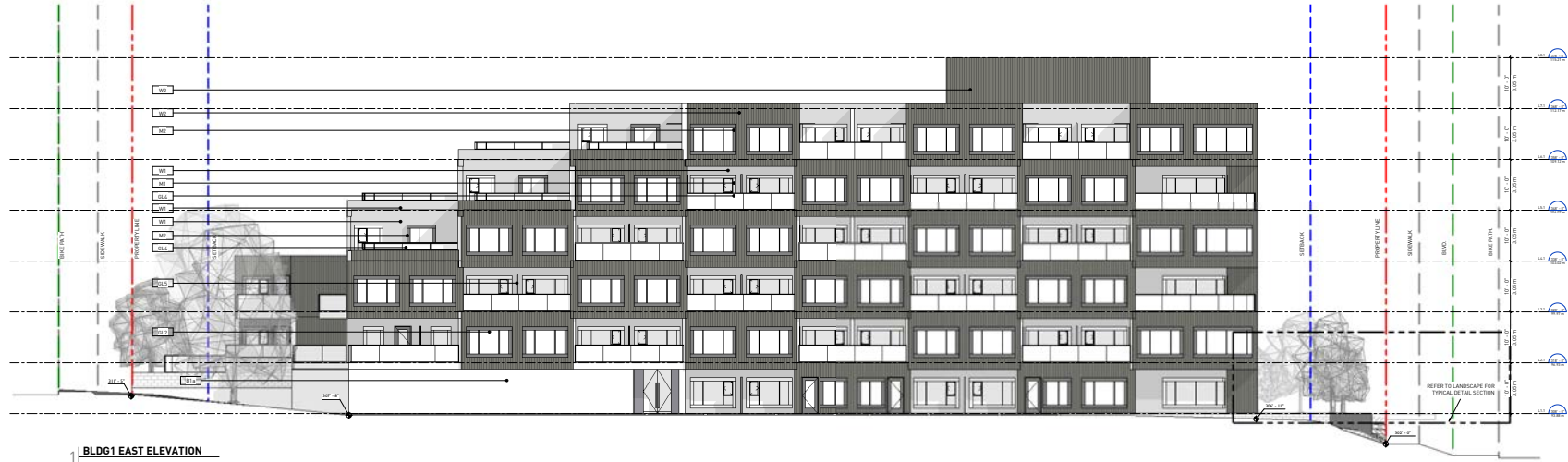


Brookmere Gardens
 REZONING / DP
 APPLICATION

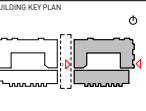
BLDG1 ELEVATIONS

DATE: 10/12/2017 4:52:59 PM
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 19063

Key Value	Material Name
01.1	White Stack Bond Brick Veneer
01.2	White Clear GFI Stairtreads
01.3	White Light Grey GFI Stairtreads
01.4	Clear Monolithic Safety Ramp Wall - Quartz
01.5	Formed Monolithic Safety Ramp Wall - Limestone / Granite screens
01.6	White (PGDF) resin powder coated - railings, handrails, handrails, stairs framing, structural components
01.7	Charcoal (PGDF) resin powder coated - railings, gutters, handrails, stairs framing, structural components
01.8	Acrylic White Hardie Board in Board and Batten Pattern
01.9	Grey Stone Hardie Board in Board and Batten Pattern



NO.	DATE	DESCRIPTION
1	2/26/20	Receiving DP Application



Brookmere Gardens
 REZONING / DP
 APPLICATION

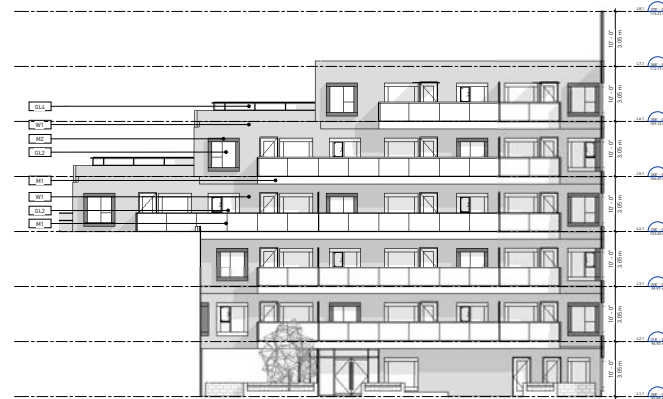
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 CHECKED BY: Checker
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 19063

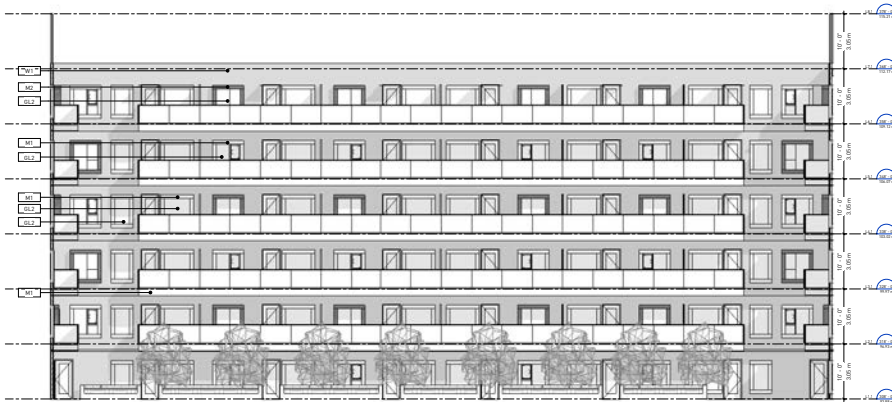
MATERIAL LEGEND	
Key Value	Material Name
01A	White Stack Brick Veneer
01B	Green Clay 600 - Stonecast
02	Charcoal Light Grey 600 - Stonecast
03	Clear Monolithic Safety/Tamper Resistant - Quartz
04	Frontal Monolithic Safety/Tamper Resistant - Privacy Screens
M1	White (PVD) resin powder coated - railings, handrails, handrails, handrails, handrails, handrails
M2	Charcoal (PVD) resin powder coated - railings, gutters, handrails, handrails, handrails, handrails
M3	Acrylic White Hardie Board in Board and Batten Pattern
M4	Grey Stone Hardie Board in Board and Batten Pattern



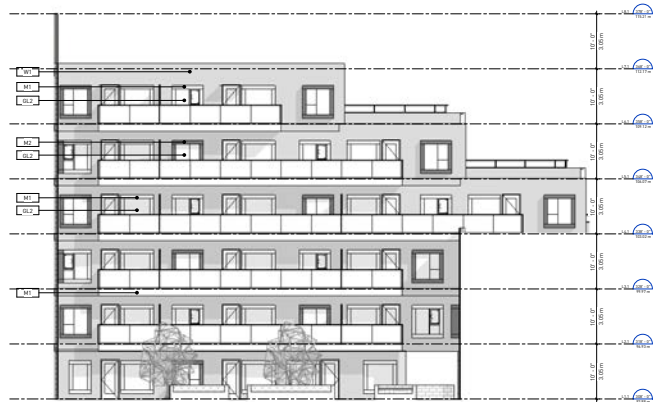
1 | BLDG1 COURTYARD NORTH ELEVATION



2 | BLDG1 COURTYARD EAST ELEVATION

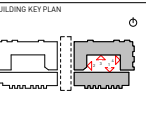


3 | BLDG1 COURTYARD SOUTH ELEVATION



4 | BLDG1 COURTYARD WEST ELEVATION

REVISIONS		DESCRIPTION
NO.	DATE	
1	2016/09	Revising DP Application



Brookmere Gardens

REZONING / DP APPLICATION

BLDG1 ELEVATIONS

DATE: 8/17/2017 4:53:21 PM
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 19063

MATERIAL LEGEND	
Key Value	Material Name
B1	White Stack Bond Brick Veneer
B2	White Clear G22 - Stonecoat
B3	Charcoal Light Grey G22 - Stonecoat
B4	Clear Monolithic Safety/Tamper-evident - Quartz
B5	Polished Monolithic Safety/Tamper-evident - Granite screens
B6	White (PVC) resin powder coated - railings, handrails, handrails, safety framing, structural components
B7	Charcoal (PVC) resin powder coated - railings, gutters, handrails, safety framing, structural components
B8	Acrylic White Hardie Board in Board and Batten Pattern
B9	Grey Stone Hardie Board in Board and Batten Pattern

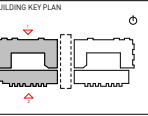


1 BLDG2 NORTH ELEVATION



2 BLDG2 SOUTH ELEVATION

REVISIONS		
NO.	DATE	DESCRIPTION
1	2024/09	Receiving DP Application

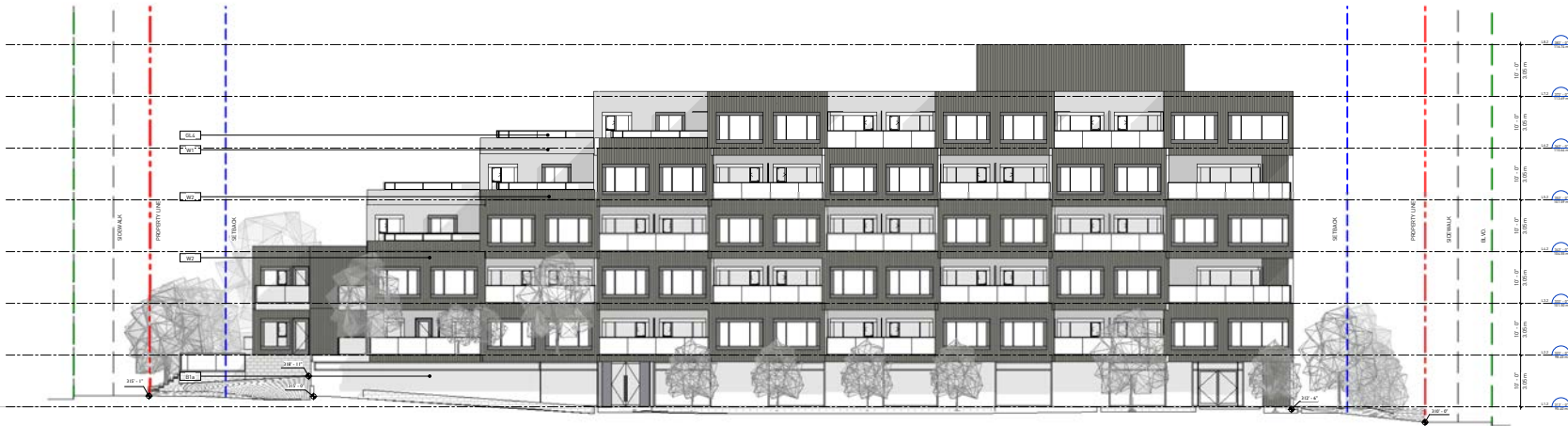


Brookmere Gardens
 REZONING / DP
 APPLICATION

BLDG2 ELEVATIONS

DATE	A/21/2021 4:53:24 PM
DRAWN BY	Author
CHECKED BY	Checker
SCALE	1/8" = 1'-0"
JOB NUMBER	19063

MATERIAL LEGEND	
Key Value	Keynote Foot
01A	White Stack Brick Window
01B	White Clear Glass Window
02	Charcoal Laminated Glass - Double-pane
03	Clear Monolithic Safety/Thermal Wall - Quartz
04	Frontal Monolithic Safety/Thermal/Laminated - Privacy screens
05	White PVCDF resin powder coated - railings, handrails, handrails, handrails, handrails, handrails, handrails
06	Charcoal PVCDF resin powder coated - railings, gutters, handrails, handrails, handrails, handrails, handrails
07	Acrylic White Hardie Board in Board and Batten Pattern
08	Grey Stone Hardie Board in Board and Batten Pattern



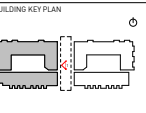
BLDG2 EAST ELEVATION



BLDG2 WEST ELEVATION

REVISIONS	
NO.	DATE
1	2016/07

DESCRIPTION
Revising DP Application



Brookmere Gardens

REZONING / DP APPLICATION

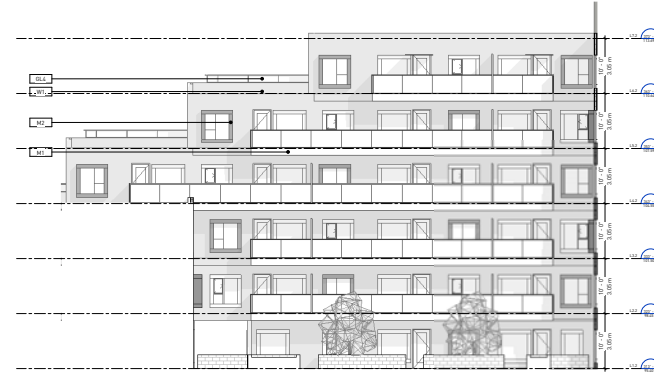
BLDG2 ELEVATIONS

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 CHECKED BY: Checker
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 JOB NUMBER: 19063

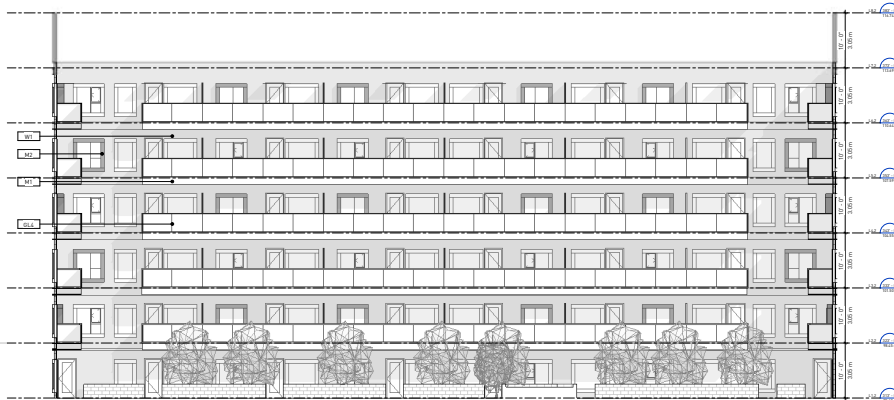
MATERIAL LEGEND	
Key Value	Material Name
B1	White Stack Bond Brick Veneer
B2	Green Clear Glass - Stormcoat
B3	Charcoal Light Grey Glass - Stormcoat
B4	Clear Monolithic Safety/Tempered Glass - Quartz
B5	Frontal Monolithic Safety/Tempered Laminated - Privacy screens
M1	White (PVC) resin powder coated - mullions, handrails, brackets, window framing, structural components
M2	Charcoal (PVC) resin powder coated - mullions, gutters, brackets, window framing, structural components
M3	Acrylic White Hardie Board in Board and Batten Pattern
M4	Grey Stone Vertical Board in Board and Batten Pattern



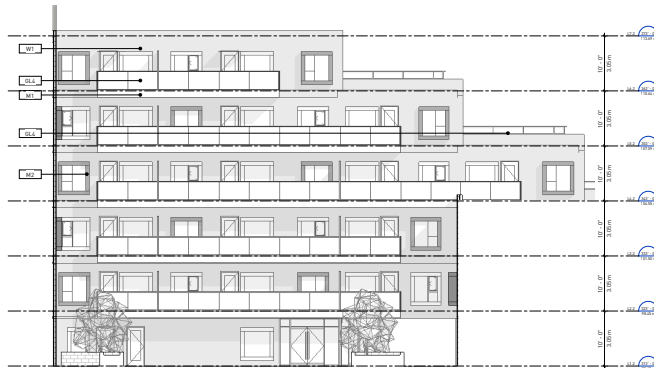
1 BLDG2 COURTYARD NORTH ELEVATION



2 BLDG2 COURTYARD EAST ELEVATION

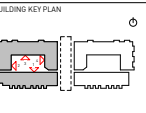


3 BLDG2 COURTYARD SOUTH ELEVATION



4 BLDG2 COURTYARD WEST ELEVATION

REVISIONS		DESCRIPTION
NO.	DATE	
1	2/26/09	Receiving DP Application



Brookmere Gardens

REZONING / DP APPLICATION

BLDG2 ELEVATIONS

DATE: 4/17/2011 4:53:53 PM
 DRAWN BY: Author
 CHECKED BY: Checker
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 19063



NO.	DATE	DESCRIPTION
1	2010/09	Revising DP Application

Brookmere Gardens

REZONING / DP APPLICATION

SECTION PERSPECTIVE

DATE: 01/10/11 4:55:47 PM
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 CHECKED BY: Checker
 SCALE:
 JOB NUMBER: 19063

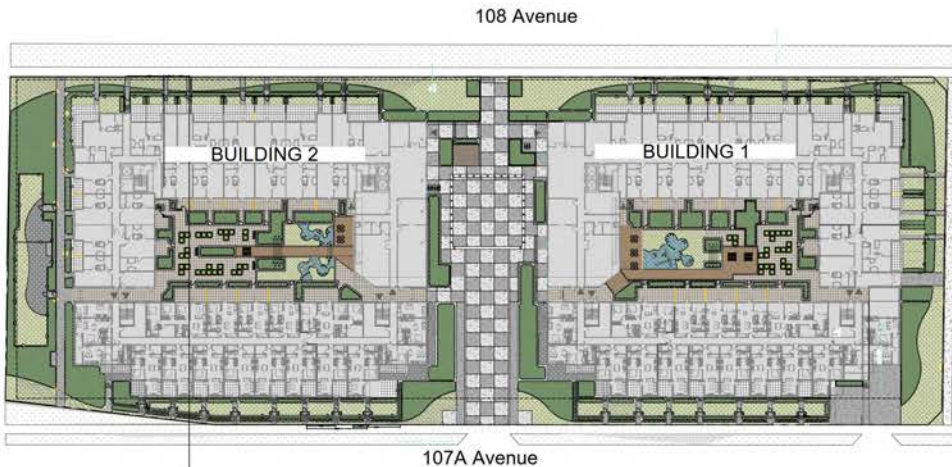
Brookmere Gardens

Issued for ADP

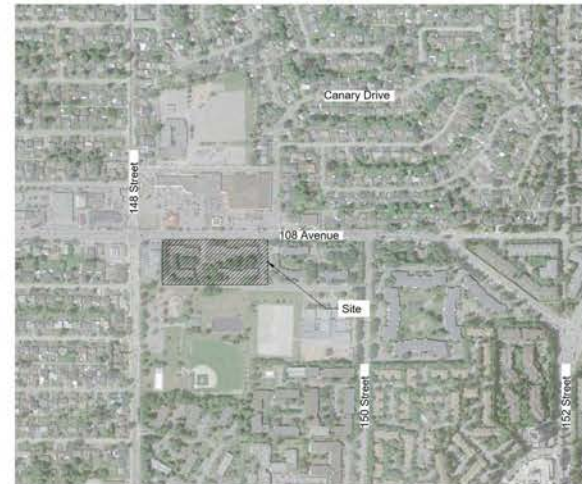
Contact Information	Other Key Contacts:	
<p>VDZ+A Project Landscape Architecture</p> <p>Fort Langley Studio 100 - 9181 Church Street Fort Langley, British Columbia, V1M 2R6</p> <p>Mount Pleasant Studio 102-3535 Kingsway Vancouver, British Columbia, V5T 3J7</p> <p>Primary project contact: Travis Martin travis@vdz.ca o. 604 546 0924</p> <p>Alternate contacts (in case away): Andrew Danielson andrew@vdz.ca o. 604 546 0931</p>	<p>Primex Investments Ltd. Project Owner</p> <p>p. 604 736 1966</p>	<p>GBL Architects Inc. Project Building Architecture</p> <p>139 East 8th Avenue Vancouver, BC V5T 1R8 p. 604 736 1156</p>
<p>Legal Address and Description:</p> <p>Lot 47 Section 20 of Block 5 North Range 1 West New Westminster District Plan 30076</p>		

Sheet List Table

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02	OVERALL SITE PLAN
L-03	SITE PLAN EAST
L-04	SITE PLAN WEST
L-05	EAST COURTYARD
L-06	WEST COURTYARD
L-07	SITE PLAN CENTRAL PLAZA
L-08	LEVEL 4 ROOFS
L-09	PLANT PALETTE
LS-01	SECTIONS
LS-02	SECTIONS
LS-03	SECTIONS
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS



1 SITE PLAN OVERVIEW
 Scale: 1:500



2 LOCATION MAP
 N.T.S.

No.	By:	Description	Date
9	TM	Issued for ADP	June 16, 2021
8	STUDY	Re-issued for DP	Apr 23, 2021
7	TMDY	Re-issued for DP	Mar 6, 2021
6	TMDY	Re-issued for DP	Mar 2, 2021
5	TM	Re-issued for DP	Feb 4, 2020
4	TM	Re-issued for DP	Nov 27, 2020
3	AD	Issued for DP	Nov 9, 2020
2	AD	Issued for Review	Oct 30, 2020
1	AD	Issued for DP	June 5, 2020

REVISIONS TABLE FOR DRAWINGS
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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
BROOKMERE GARDENS

Location:
 148 Street @ 108 Avenue
 Surrey, B.C.

Drawn: AD	Stamp:
Checked: TM	
Approved: MVDZ	
Scale: AS SHOWN	Original Sheet Size: 24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF THE OWNER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK. ALL NEIGHBORHOODS AND INTERFERENCES MUST BE REPORTED TO THE CONSULTANT IMMEDIATELY FOR CONSTRUCTION TO BE STOPPED UNTIL THE NEIGHBORHOODS ARE RESOLVED.

Drawing Title: COVER PAGE
 DP2019-65
 Drawing #: L-01



PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	Acer glabrum / Paperbark Maple	B&B	6m cal.	15
	Acer palmatum 'Bloodgood' / Bloodgood Japanese Maple	B&B	2.5m ht.	20
	Cornus mas / Cornelian Cherry Dogwood	B&B	6m cal.	6
	Cornus x 'Eddie's White Wonder' / Eddie's White Wonder Dogwood	B&B	6m cal.	4
	Laburnum anagyroides / Golden Chain Tree	B&B	5 cm cal.	10
	Parrotia persica 'Christhaven' / Golden Bellflower Parrotia	B&B	6m cal.	15
	Picea pungens 'Fat Albert' / Colorado Spruce	B&B	2.5m ht.	12
	Pinus nigra 'Green Select' / Green Select Pine	B&B	2.5m ht.	5
	Pinus strobus 'Fastigata' / Pyramidal White Pine	B&B	2.5m ht.	12
	Prunus virginiana 'Shubert' / Canada Red Cherry	B&B	6m cal.	14
	Styrax obassia / Fragrant Snowbell	B&B	6m cal.	15
	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B&B	6m cal.	6
	Zelkova serrata 'Green Veil' / Dwarfed Zelkova	B&B	6m cal.	19

No.	By	Description	Date
9	TM	Issued for ADP	June 16, 2021
8	STDY	Re-issued for DP	Apr 23, 2021
7	TMZY	Re-issued for DP	Mar 8, 2021
6	TMZY	Re-issued for DP	Mar 2, 2021
5	TM	Re-issued for DP	Feb 4, 2020
4	TM	Re-issued for DP	Nov 27, 2020
3	AD	Issued for DP	Nov 9, 2020
2	AD	Issued for Review	Oct 30, 2020
1	AD	Issued for DP	June 5, 2020

No.	By	Description	Date

Project:
BROOKMERE GARDENS

Location:
148 Street @ 108 Avenue
Surrey, B.C.

Drawn: AD	Stamp:
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: 1:300	CONTRACTOR SHALL CHECK ALL DIMENSIONS OFF THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND INDICATIONS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND SHALL BE RETURNED AT THE CONSULTANT'S OFFICE. ALL DIMENSIONS SHALL BE IN METERS UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR THE PROJECT.



Drawing Title: OVERALL SITE PLAN



Project #: DP2019-65

Drawing #: L-02

7:\PROJECTS\2019\DP2019-65\BROOKMERE GARDENS\BROOKMERE OVERALL SITE PLAN.DWG

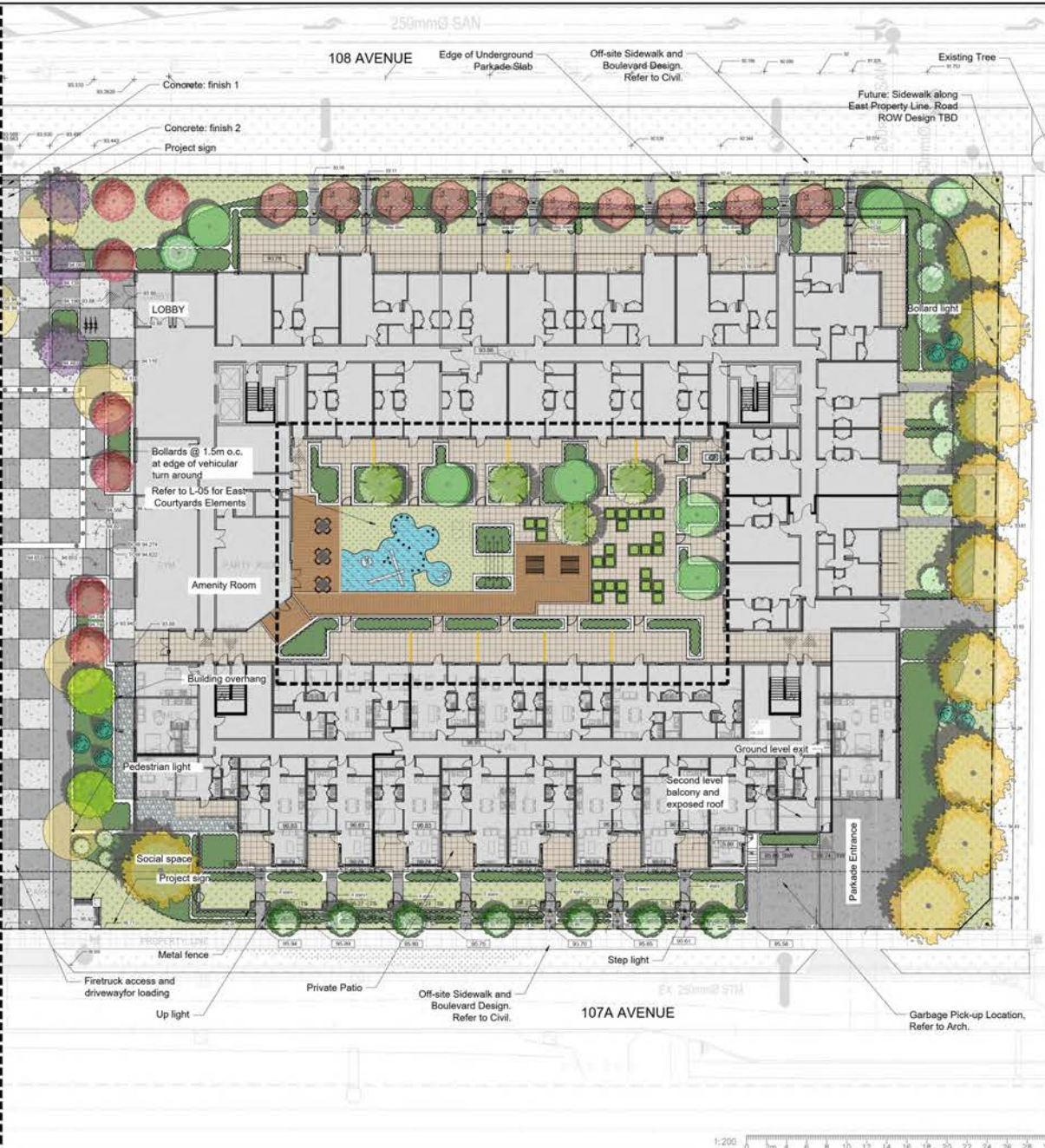
HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	5-8 LD-01	CONCRETE PAVING Color: Natural Finish: Light broom, opposite direction for opposing corners
	2 LD-02	HYDRAPRESSED SLABS Color: TBD
	1 LD-02	DRIP STRIP
	4 LD-03	PLAYGROUND SAFETY SURFACE
	3 LD-02	COMPOSITE DECKING
		SOIL
		SHRUB PLANTING
	6 LD-02	BENCH
	1 LD-03	BIKE RACK
	7 LD-02	WASTE RECEPTACLE
	4 LD-02	PLANTER POT
		BOLLARD LIGHT
	2 LD-03	PEDESTRIAN LIGHT
		UP LIGHT
		STEP LIGHT
	3 LD-03	BOLLARD VEHICULAR
	6 LD-03	UNIT FENCE
	5 LD-03	RAISED GARDEN BOX

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	SIZE
	Acer griseum / Paperbark Maple	B&B	6cm cal.
	Acer palmatum 'Bloodgood' / Bloodgood Japanese Maple	B&B	2.5m ht
	Cornus mas / Cornelian Cherry Dogwood	B&B	6cm cal.
	Cornus s 'Eddie's White Wonder' / Eddie's White Wonder Dogwood	B&B	6cm cal.
	Laburnum anagyroides / Golden Chain Tree	B&B	5 cm cal.
	Parrotia persica 'Chrysanth' / Golden Bellower Parrotia	B&B	6cm cal.
	Picea pungens 'Fat Albert' / Colorado Spruce	B&B	2.5m ht
	Pinus nigra 'Green Select' / Green Select Pine	B&B	2.5m ht
	Pinus strobus 'Fastigata' / Pyramidal White Pine	B&B	2.5m ht
	Prunus virginiana 'Shubert' / Canada Red Cherry	B&B	6cm cal.
	Syria obassia / Fragrant Snowbell	B&B	6cm cal.
	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B&B	6cm cal.
	Zelkova serrata 'Green Vase' / Sawleaf Zelkova	B&B	6cm cal.

MATCHLINE SEE SHEET L-04



VDZ+A
 100-1100 BROADWAY
 FORT LANGLEY STUDIO: MOUNT PLEASANT STUDIO
 100-1100 Church St. 100-1100 Kingway
 Fort Langley, BC | Vancouver, BC
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No.	By	Description	Date
9	TM	Issued for ADP	June 16, 2021
8	STOY	Re-issued for DP	Apr 23, 2021
7	TM/DY	Re-issued for DP	Mar 8, 2021
6	TM/DY	Re-issued for DP	Mar 2, 2021
5	TM	Re-issued for DP	Feb 4, 2020
4	TM	Re-issued for DP	Nov 27, 2020
3	AD	Issued for ADP	Nov 9, 2020
2	AD	Issued for Review	Oct 30, 2020
1	AD	Issued for DP	June 5, 2020

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project: **BROOKMERE GARDENS**

Location: **148 Street @ 108 Avenue Surrey, B.C.**

Drawn: AD	Stamp:
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: 1:200	CONTRACTOR SHALL CHECK ALL DIMENSIONS OF THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF THE OWNER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK. NO REPRODUCTION OR TRANSMISSION OF THIS DRAWING OR ANY PART THEREOF IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF THE CONSULTANT.



Drawing Title: **SITE PLAN EAST**
 Drawing #: **DP2019-65**
 Drawing #: **L-03**

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	SIZE
	Acer glabrum / Paperbark Maple	B&B	60m cal.
	Acer palmatum 'Bloodgood' / Bloodgood Japanese Maple	B&B	2.5m ht
	Cornus mas / Cornelian Cherry Dogwood	B&B	60m cal.
	Cornus x 'Eddie's White Wonder' / Eddie's White Wonder Dogwood	B&B	60m cal.
	Laburnum anagyroides / Golden Chain Tree	B&B	5 cm cal.
	Parrotia persica 'Christhaven' / Golden Bellower Parrotia	B&B	60m cal.
	Picea pungens 'Fat Albert' / Colorado Spruce	B&B	2.5m ht
	Pinus nigra 'Green Select' / Green Select Pine	B&B	2.5m ht
	Pinus strobus 'Fastigata' / Pyramidal White Pine	B&B	2.5m ht
	Prunus virginiana 'Shubert' / Canada Red Cherry	B&B	60m cal.
	Syrax obassia / Fragrant Snowbell	B&B	60m cal.
	Syringa reticulata 'Ivory Silk' / Ivory Silk Japanese Tree Lilac	B&B	60m cal.
	Zelkova serrata 'Green Vase' / Sawleaf Zelkova	B&B	60m cal.

HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	5-8 LD-01	CONCRETE PAVING Colour: Natural Finish: Light Bevel, opposite direction for opening colours
	2 LD-02	HYDRAPRESSED SLABS Colour: 103
	1 LD-02	DRP STRIP
	4 LD-03	PLAYGROUND SAFETY SURFACE
	3 LD-02	COMPOSITE DECKING
		SOIL
		SHRUB PLANTING
	6 LD-02	BENCH
	1 LD-03	BIKE RACK
	7 LD-02	WASTE RECEPTACLE
	4 LD-02	PLANTER POT
		BOLLARD LIGHT
	2 LD-03	PEDESTRIAN LIGHT
		UP LIGHT
		STEP LIGHT
	3 LD-03	BOLLARD VEHICULAR
	6 LD-03	UNIT FENCE
	5 LD-03	RAISED GARDEN BOX

Dog Run (Small Dogs)

Dog Run (Large Dogs)



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REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date
3	TM	Issued for ADP	June 16, 2021
8	ST/DY	Re-issued for DP	Apr 23, 2021
7	TM/DY	Re-issued for DP	Mar 8, 2021
8	TM/DY	Re-issued for DP	Mar 2, 2021
5	TM	Re-issued for DP	Feb 4, 2020
4	TM	Re-issued for DP	Nov 27, 2020
3	AD	Issued for DP	Nov 9, 2020
2	AD	Issued for Review	Oct 30, 2020
1	AD	Issued for DP	June 5, 2020

REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project: **BROOKMERE GARDENS**

Location: **148 Street @ 108 Avenue Surrey, B.C.**

Drawn: AD Stamp:

Checked: TM

Approved: MVDZ Original Sheet Size: 24"x36"

Scale: 1:200

CONTRACTOR SHALL CHECK ALL DIMENSIONS OF THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT AND INDICATE ANY AND ALL DISCREPANCIES AND THE PROVISIONS HEREIN AT THE COUNTERPARTY OF THE DRAWING. ALL DISCREPANCIES MUST BE REPORTED TO THE CONSULTANT IMMEDIATELY UPON DISCOVERY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND ALL NECESSARY PERMITS AND APPROVALS MUST BE OBTAINED PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND ALL NECESSARY PERMITS AND APPROVALS MUST BE OBTAINED PRIOR TO COMMENCING CONSTRUCTION.

Drawing Title: **SITE PLAN WEST**

Drawing #: **L-04**

Project #: **DP2019-65**

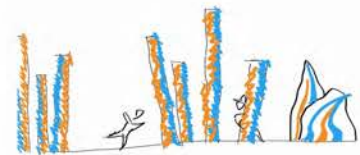




1 EAST COURTYARD PLAN
 Scale: 1:100



1 PRECEDENCE - MOUNDED RUBBER SURFACES



2 SKETCH - PAINTED CLIMBING POSTS + PLAY BOULDERS



3 PRECEDENCE - NATURE PLAY SET INTO PLAY SURFACE



4 PRECEDENCE - CATENARY LIGHTING



5 PRECEDENCE - RAISED GARDEN PLANTERS

Design description:

The courtyard design is based on pixels of various dimensions juxtaposed with an organically shaped play area. The framework of the layout is to provide optimal private patios, greenery and a large central shared amenity space that includes key features, such as, play, relaxation, social and urban agriculture. There is a central boardwalk spine that leads across the common lawn and play area to the Tetris shaped urban agriculture area and dining area. The common area of the courtyard space is generally flat. This design uses raised planters to better define the play/lawn space vs the urban agriculture. The 'topography' of the planters in combination with the raised posts and catenary lighting provide an enhanced threshold to create a layered and interesting space.

The proposed raised planters provide a physical edge that defines both the shared amenity and the individual unit patios and allow low and medium planting to provide the visual privacy buffer desired. The wide planters also support trees that will be appreciated from the patios and common central space. Privacy screens have been included between units that aren't separated by planting buffer.

No.	By:	Description	Date
9	TM	Issued for ADP	June 16, 2021
8	STUDY	Re-issued for DP	Apr 23, 2021
7	TM/DY	Re-issued for DP	Mar 8, 2021
6	TM/DY	Re-issued for DP	Mar 2, 2021
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4	TM	Re-issued for DP	Nov 27, 2020
3	AD	Issued for DP	Nov 9, 2020
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1	AD	Issued for DP	June 5, 2020

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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

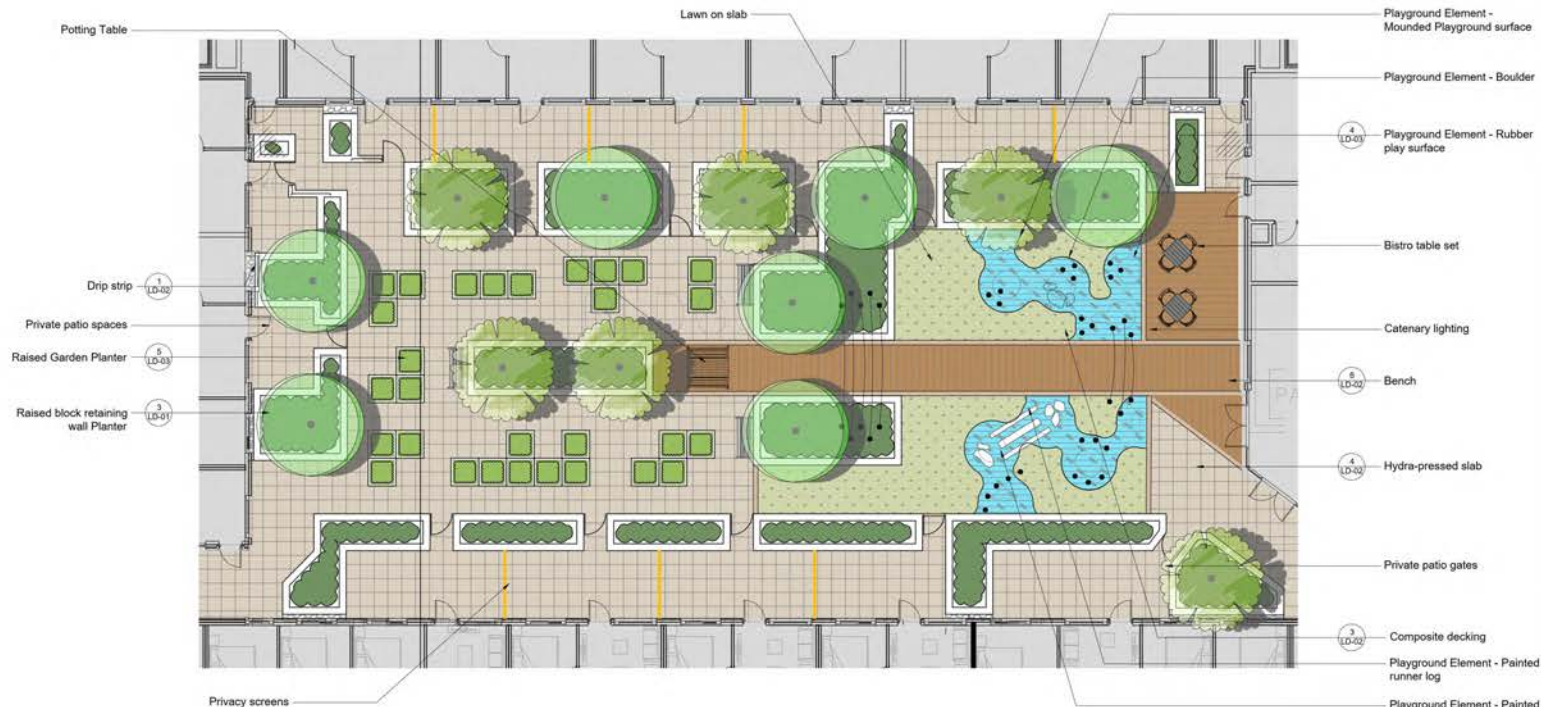
Project: **BROOKMERE GARDENS**

Location:
 148 Street @ 108 Avenue
 Surrey, B.C.

Drawn: ET	Stamp:
Checked: TM	
Approved: MVDZ	
Scale: 1:100	Original Sheet Size: 24"x36"



2: PHOTO COURTESY OF PERMA-TECT INC. (TOP); COURTESY OF BROOKMERE GARDENS (MID); PHOTO COURTESY OF EAST COURT PLAYERS (BOT)



1 WEST COURTYARD PLAN
 Scale: 1:100

No.	By	Description	Date
9	TM	Issued for ADP	June 16, 2021
8	STOY	Re-issued for DP	Apr 23, 2021
7	TMOY	Re-issued for DP	Mar 8, 2021
6	TMOY	Re-issued for DP	Mar 2, 2021
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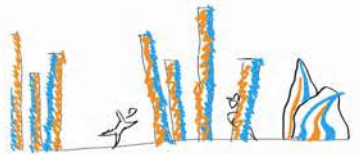
REVISIONS TABLE FOR DRAWINGS
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No.	By	Description	Date

REVISIONS TABLE FOR SHEET



1 PRECEDENCE - MOUNDED RUBBER SURFACES



2 SKETCH - PAINTED CLIMBING POSTS + PLAY BOULDERS



3 PRECEDENCE - NATURE PLAY SET INTO PLAY SURFACE



4 PRECEDENCE - CATENARY LIGHTING



5 PRECEDENCE - RAISED GARDEN PLANTERS

Design description:

The courtyard design is based on pixels of various dimensions juxtaposed with an organically shaped play area. The framework of the layout is to provide optimal private patios, greenery and a large central shared amenity space that includes key features, such as, play, relaxation, social and urban agriculture. There is a central boardwalk spine that leads across the common lawn and play area to the Tetris shaped urban agriculture area and dining area. The common area of the courtyard space is generally flat. This design uses raised planters to better define the play/lawn space vs the urban agriculture. The 'topography' of the planters in combination with the raised posts and catenary lighting provide an enhanced threshold to create a layered and interesting space.

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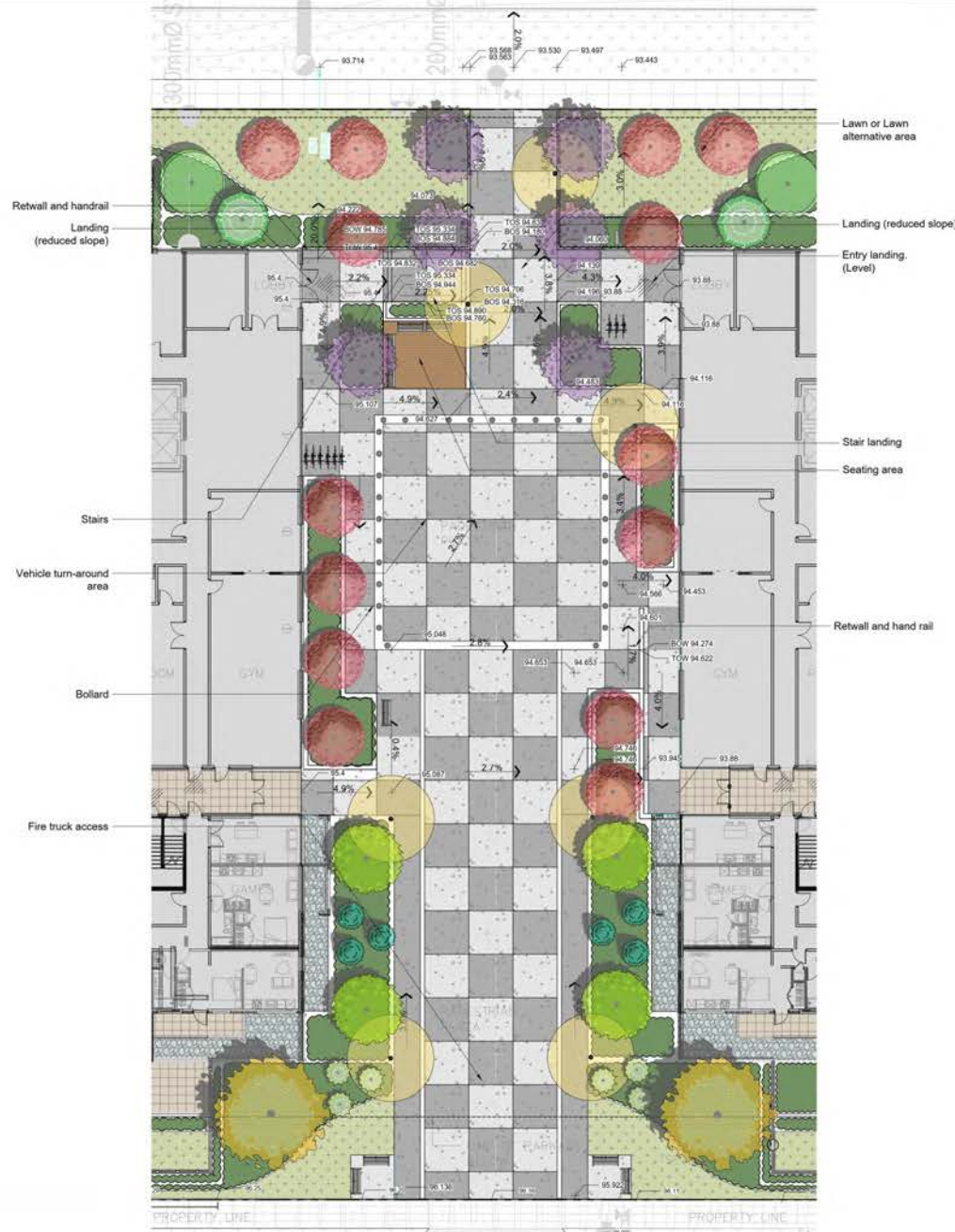
2. PHOTO COURTESY OF PERMIAN CULTURE/PERMIAN CULTURE INCORPORATED. PHOTO COURTESY OF BROOKMERE GARDENS INCORPORATED. PHOTO COURTESY OF WEST COURTYARD INC.

HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	5-8 LD-01	CONCRETE PAVING Colour: Natural Finish: Light Brown, opposite direction for opposing sections
	2 LD-02	HYDRATED LIME CONCRETE Colour: 19C
	1 LD-02	DRIP STRIP
	4 LD-03	PLAYGROUND SAFETY SURFACE
	3 LD-02	COMPOSITE DECKING
		SOD
		SHRUB PLANTING
	8 LD-02	BENCH
	1 LD-03	BIKE RACK
	7 LD-02	WASTE RECEPTACLE
	4 LD-02	PLANTER POT
		BOLLARD LIGHT
	2 LD-03	PEDESTRIAN LIGHT
		UP LIGHT
		STEP LIGHT
	3 LD-03	BOLLARD VEHICULAR
	6 LD-03	UNIT FENCE
	5 LD-03	RAISED GARDEN BOX

GRADING LEGEND

KEY	DESCRIPTION
	Percentage and direction of slope
	Spot elevation
	Top of steps and bottom of steps elevations
	Top of Wall and bottom of wall elevations



VDZ+A
 FORT LANGLEY STUDIO: MOUNT PLEASANT STUDIO
 100-5341 Church St. 100-5303 Kingway
 Fort Langley, BC | Vancouver, BC
 VEM 286 | VST 317
 www.vdz.ca 604-892-0024

REVISIONS TABLE FOR DRAWINGS

No.	By:	Description	Date
9	TM	Issued for ADP	June 16, 2021
8	ET/DY	Re-issued for DP	Apr 23, 2021
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6	TM/DY	Re-issued for DP	Mar 2, 2021
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4	TM	Re-issued for DP	Nov 27, 2020
3	AD	Issued for Review	Nov 9, 2020
2	AD	Issued for Review	Oct 30, 2020
1	AD	Issued for DP	June 5, 2020

REVISIONS TABLE FOR SHEET

No.	By:	Description	Date

Project:
BROOKMERE GARDENS

Location:
 148 Street @ 108 Avenue
 Surrey, B.C.

Drawn: ET Stamp:

Checked: TM

Approved:

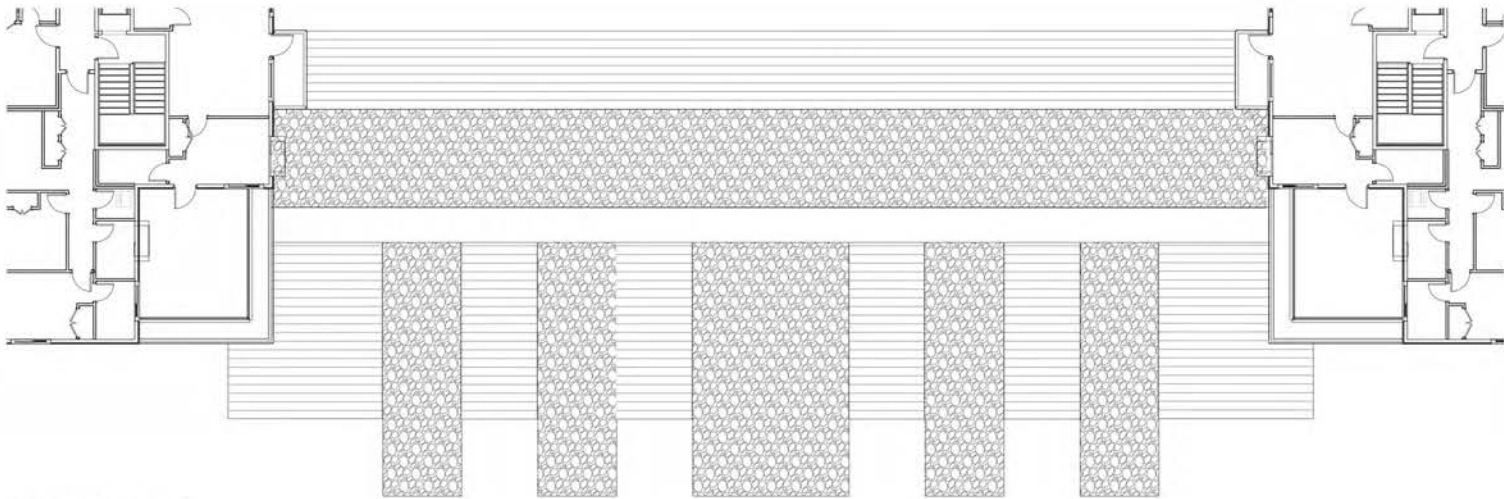
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Scale: 1:150

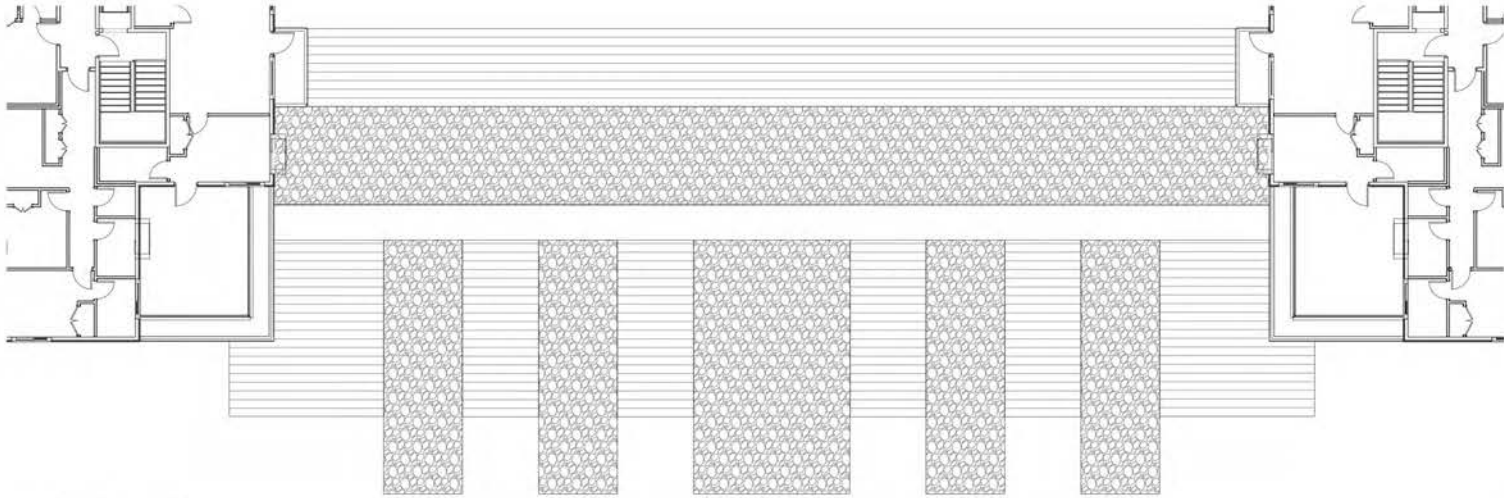
CONTRACTOR SHALL CHECK ALL DIMENSIONS OF THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND MODIFICATIONS ARE THE SOLE RESPONSIBILITY OF THE OWNER AND SHALL BE NOTICED AT THE COMMENCEMENT OF THE WORK. ALL DIMENSIONS SHALL BE MEASURED FROM THE EXISTING CONDITIONS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

Drawing Title: **SITE PLAN CENTRAL PLAZA**
 Drawing #: **DP2019-65**
 Drawing #: **L-07**

2. PROJECT LOCATION: PERMITS/ACTIVITIES/PERMITS BROOKMERE GARDENS, BROOKMERE GARDENS, BROOKMERE GARDENS, BROOKMERE GARDENS



1 BUILDING 1 - LEVEL 4
 Scale 1:100



2 BUILDING 2 - LEVEL 4
 Scale 1:100

LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
		BLACK ROCK 100 mm Depth, clear crush or round deck
		WHITE ROCK 100 mm Depth, clear crush or round deck

1:100 0 1m 2 3 4 5 6 7 8 9 10 11 12 13 14 15

No.	By	Description	Date
8	TM	Issued for ADP	June 16, 2021
8	STGY	Re-issued for DP	Apr 23, 2021
7	TMGY	Re-issued for DP	Mar 6, 2021
6	TMGY	Re-issued for DP	Mar 2, 2021
5	TM	Re-issued for DP	Feb 4, 2020
4	TM	Re-issued for DP	Nov 27, 2020
3	AD	Issued for DP	Nov 9, 2020
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No.	By	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
BROOKMERE GARDENS

Location:
 148 Street @ 108 Avenue
 Surrey, B.C.

Drawn:
 ET

Checked:
 TM

Approved:
 MVDZ

Scale:
 1:100

CONTRACTOR SHALL CHECK ALL DIMENSIONS OF THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND INDICATIONS ARE THE PROPERTY OF THE OWNER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS SHALL BE MEASURED TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR THE WORK.

Drawing Title:
LEVEL 4 ROOFS

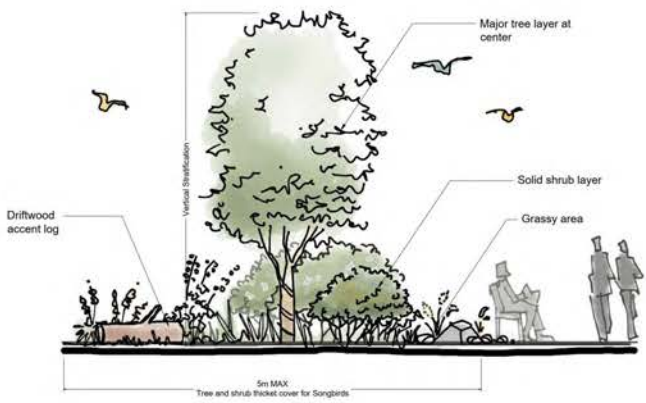


VDZ Project #:
DP2019-65

Drawing #:
L-08



1 POLLINATOR/BIRD PLANT PALETTE
Scale NTS



2 BIRD HABITAT SECTION
Scale NTS

PLANT SCHEDULE

SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING
Au	Arctostaphylos uva-ursi / Kinnikinnick	#1	0,90m
Ah	Azalea japonica 'Hino Crimson' / Hino Crimson Japanese Azalea	#3	0,60m
Bc	Berberis thunbergii 'Concorde' / Concorde Barberry	#2	0,45m
Ce	Ceanothus thyrsiflorus 'Repens' / Creeping Blue Blossom	#2	0,90m
Cs	Cornus sericea 'Bud's Yellow' / Yellow Twig Dogwood	#2	0,90m
Fg	Fothergilla gardenii 'Mt. Airy' / Dwarf Witchalder	#2	0,90m
Rd	Rhododendron x 'Capistrano' / Hybrid Rhododendron	#3	0,75m
Re	Rhododendron x 'P.J.M.' / P.J.M Rhododendron	#3	0,75m
Ru	Rubus spectabilis / Salmonberry	#2	0,90m
Sh	Sarcococca hookeriana humilis / Sweet Box	#2	0,45m
Th	Taxus x media 'H.M. Eddie' / Eddie Yew	1,2m ht.	0,45m
Ts	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae	1,2m ht.	0,45m
DWARF CONIFERS	BOTANICAL / COMMON NAME	CONT	SPACING
Pp	Pinus mugo 'Pumilio' / Mugo Pine	#3	0,50m
FERNS	BOTANICAL / COMMON NAME	CONT	SPACING
Pm	Polystichum munitum / Western Sword Fern	#2	0,50m
GRASSES	BOTANICAL / COMMON NAME	CONT	SPACING
M	Miscanthus sinensis 'Huron Sunrise' / Huron Sunrise Maiden Grass	#1	0,60m
P	Pennisetum alopecuroides 'Hamelii' / Hamelii Dwarf Fountain Grass	#1	0,45m
S	Stipa tenacissima / Mexican Feather Grass	#1	0,45m
PERENNIALS	BOTANICAL / COMMON NAME	CONT	SPACING
At	Achillea millefolium 'Terra Cotta' / Terra Cotta Yarrow	#1	0,30m
Am	Agastache mexicana / Mexican Giant Hyssop	#1	0,30m
Ar	Armeria maritima / Common Thrift	#1	0,30m
Bb	Bergenia cordifolia 'Bressingham White' / Heartleaf Bergenia	#1	0,30m
Cr	Crocsmia masoniorum 'Lucifer' / Crocosmia	#1	0,30m
Ec	Echinacea purpurea 'Kim's Knee High' / Purple Coneflower	#1	0,30m
He	Helleborus x 'Ivory Prince' / Christmas Rose	#1	0,30m
Ho	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	#1	0,45m
Hp	Heuchera micrantha 'Palace Purple' / Palace Purple Coral Bells	#1	0,30m
Lm	Lavandula angustifolia 'Munstead' / Munstead English Lavender	#1	0,45m
Me	Mentha requienii / Creeping Mint	#1	0,75m
Mo	Monarda didyma 'Fireball' / Fireball Bee Balm	#1	0,30m
Pe	Perovskia x 'Little Spire' / Russian Sage	#1	0,45m
Pu	Pulmonaria longifolia 'Raspberry Splash' / Raspberry Splash Lungwort	#2	0,45m

POLLINATOR FRIENDLY PLANTS	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEPT	OCT	NOV	DEC
<i>Rubus Spectabilis</i>												
<i>Perovskia Atriplicifolia</i> "Little Spire"												
<i>Fothergilla Gardenii</i>												
<i>Pulmonaria Longifolia</i> "Raspberry Splash"												
<i>Echinacea Purpurea</i> "Kim's Knee High"												
<i>Armeria Maritima</i> "Alba"												
<i>Ceanothus Thyrsiflorus</i> "Repens"												
<i>Arctostaphylos Uva-Ursi</i>												
<i>Monarda Didyma</i> "Fireball"												
<i>Hellebores x</i> "Ivory Prince"												
<i>Agastache Mexicana</i> "Lavender Blue"												

3 BLOOM TIME AND COLOUR CHART

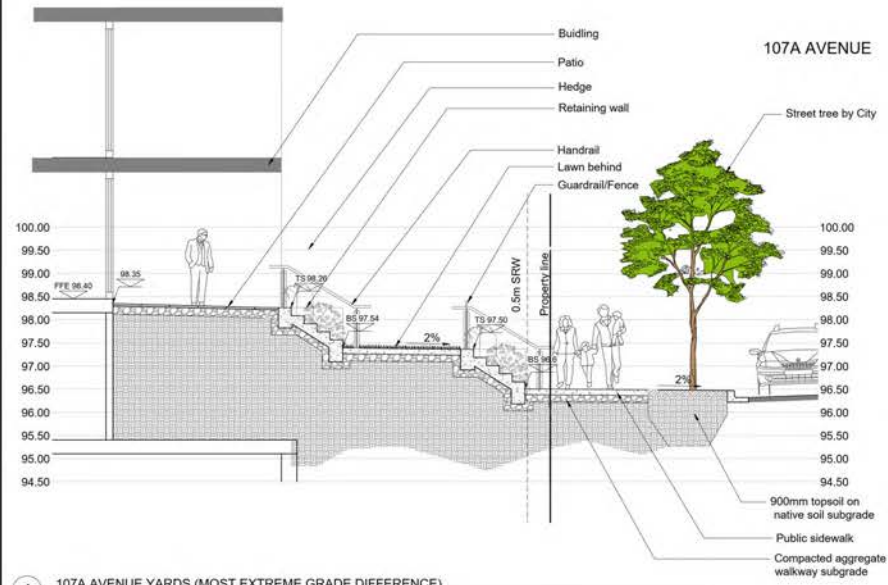
No.	By	Description	Date
9	TM	Issued for ADP	June 16, 2021
8	STUDY	Re-issued for DP	Apr 23, 2021
7	TM/DY	Re-issued for DP	Mar 8, 2021
6	TM/DY	Re-issued for DP	Mar 2, 2021
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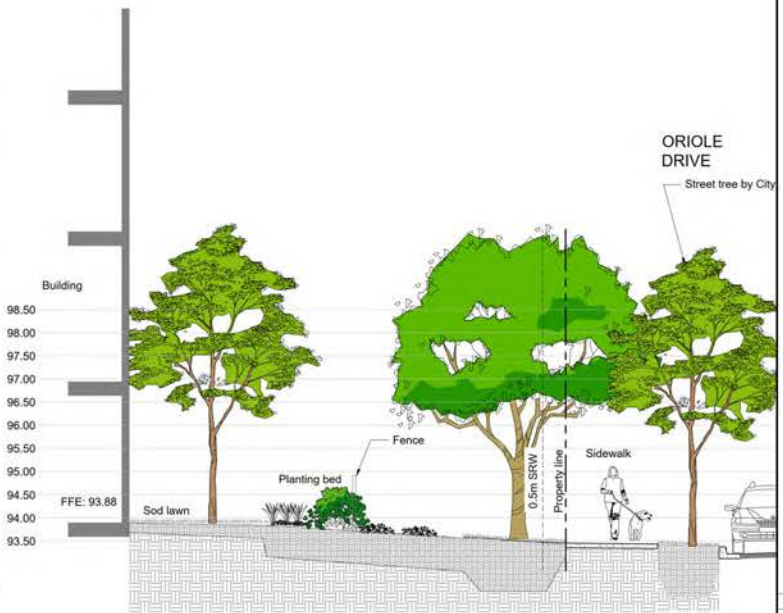
No.	By	Description	Date

Project: **BROOKMERE GARDENS**
 Location: **148 Street @ 108 Avenue Surrey, B.C.**

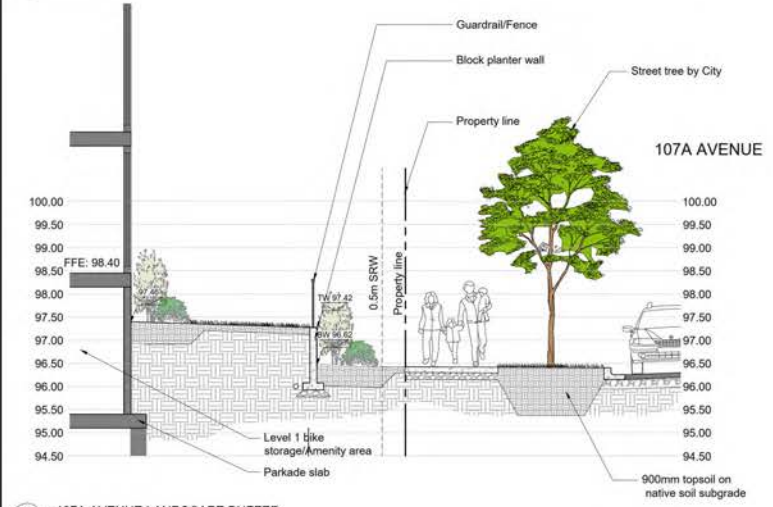
Drawn: AD	Stamp:
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: 1:200	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF THE OWNER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND SPECIFICATIONS SHALL BE PERMITTED FOR CONSTRUCTION ONLY AND NOT BE USED FOR ANY OTHER PURPOSES.



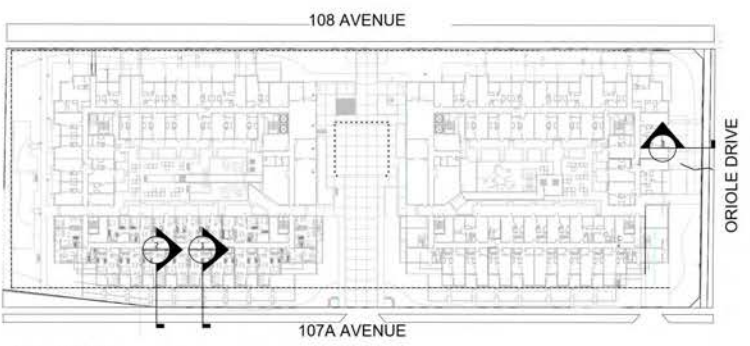
1 107A AVENUE YARDS (MOST EXTREME GRADE DIFFERENCE)
 Scale 1:50



3 SIDE YARD (150 STREET)
 Scale 1:50



2 107A AVENUE LANDSCAPE BUFFER
 Scale 1:50



4 KEYPLAN
 Scale NTS

No.	By:	Description	Date
9	TM	Issued for ADP	June 16, 2021
8	ST/DY	Re-issued for DP	Apr 23, 2021
7	TM/DY	Re-issued for DP	Mar 8, 2021
6	TM/DY	Re-issued for DP	Mar 2, 2021
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4	TM	Re-issued for DP	Nov 27, 2020
3	AD	Issued for DP	Nov 9, 2020
2	AD	Issued for Review	Oct 30, 2020
1	AD	Issued for DP	June 5, 2020

REVISIONS TABLE FOR DRAWINGS

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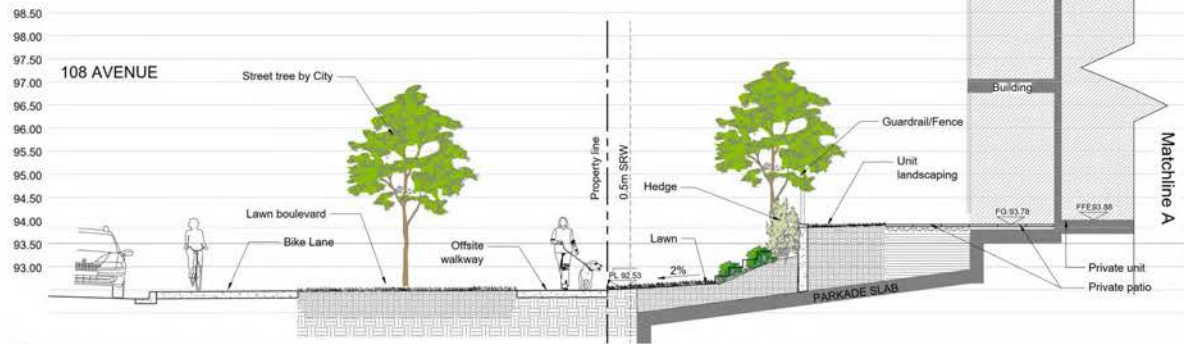
No.	By:	Description	Date
1	DY	Section revisions for ADP	March 10, 2021

Project:
BROOKMERE GARDENS

Location:
 148 Street @ 108 Avenue
 Surrey, B.C.

Drawn: AD	Stamp:
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: 1:200	CONTRACTOR SHALL CHECK ALL DIMENSIONS OF THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY UPON DISCOVERY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF THE CONSULTANT AND SHALL BE AT THE CONTRACTOR'S RISK. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. CONTRACTOR SHALL NOTIFY THE CONSULTANT IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES.

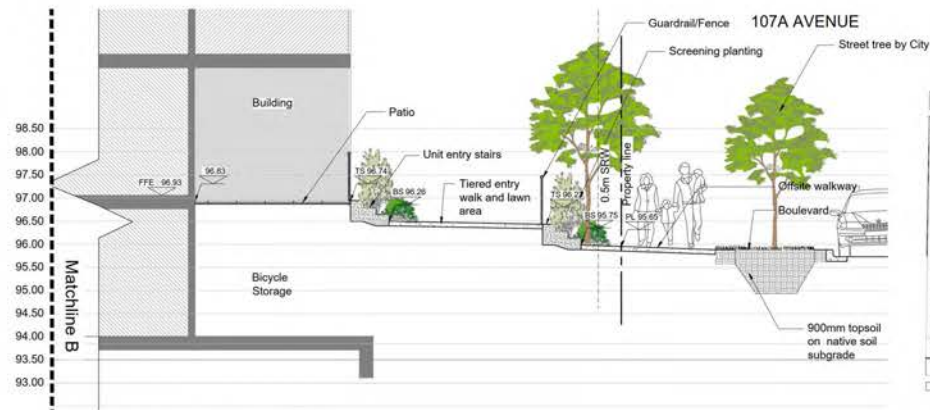
2: PRODUCT LINE COMPLETION PERMANENTLY DISPLAYED BROOKMERE GARDENS: BROOKMERE GARDENS (B.G.) SECTIONS (REV)



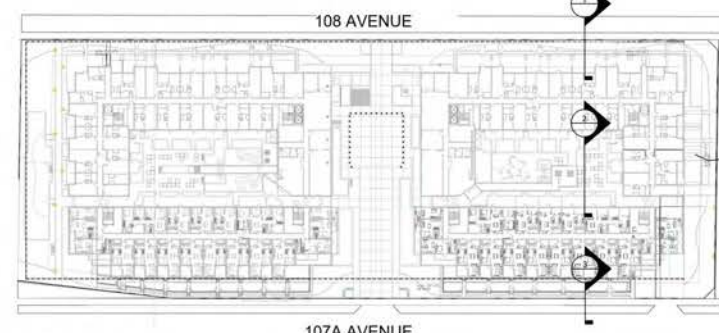
1 CROSS-COURT SECTION - NORTH INTERFACE
 Scale 1:100



2 CROSS-COURT SECTION - COURTYARD
 Scale 1:100



3 CROSS-COURT SECTION - SOUTH INTERFACE
 Scale 1:100



KEYPLAN
 Scale NTS

No.	By:	Description	Date
3	TM	Issued for ADP	June 16, 2021
8	STOY	Re-issued for DP	Apr 23, 2021
7	TMZY	Re-issued for DP	Mar 8, 2021
6	TMZY	Re-issued for DP	Mar 2, 2021
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No.	By:	Description	Date
1	OY	Section revisions for ADP	March 12, 2021

REVISIONS TABLE FOR SHEET

Project: BROOKMERE GARDENS

Location: 148 Street @ 108 Avenue
 Surrey, B.C.

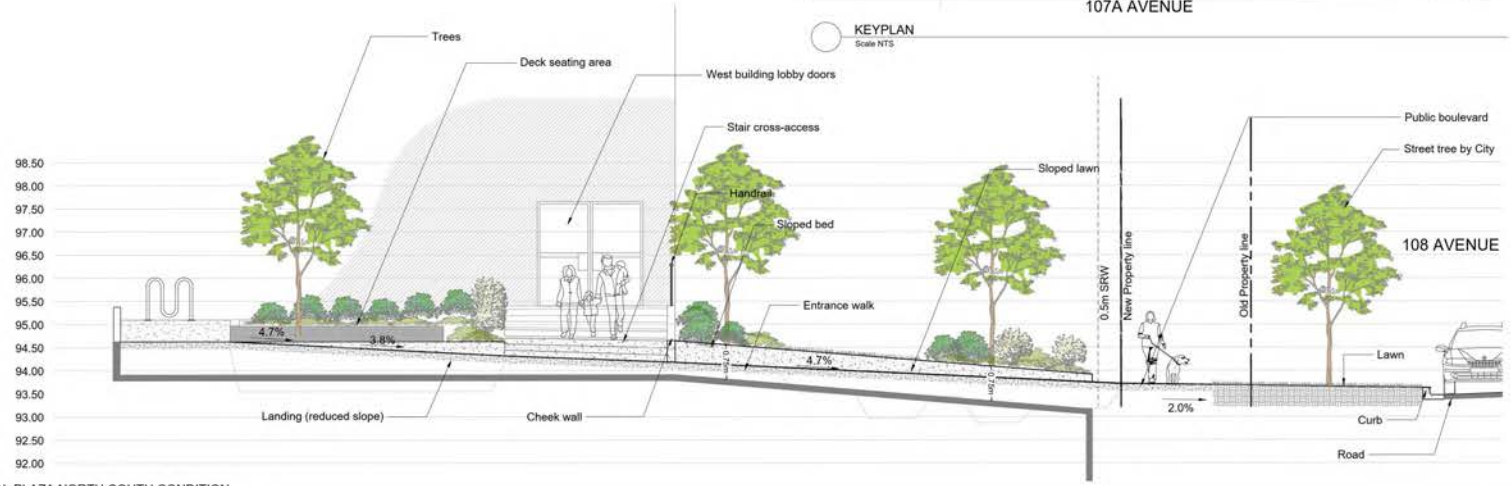
Drawn: AD
 Checked: TM
 Approved: MVDZ

Stamp: [Signature]

Original Sheet Size: 24"x36"

Scale: 1:200

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1 CENTRAL PLAZA NORTH-SOUTH CONDITION
 Scale 1:50

No.	By:	Description	Date
9	TM	Issued for ADP	June 16, 2021
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No.	By:	Description	Date
1	DY	Section revision for ADP	March 12, 2021

REVISIONS TABLE FOR SHEET

Project:
BROOKMERE GARDENS

Location:
 148 Street @ 108 Avenue
 Surrey, B.C.

Drawn: AD	Stamp:
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: 1:50	CONTRACTOR SHALL CHECK ALL DIMENSIONS OF THE WORK AND ALL ITEMS ARE TO BE APPROVED TO THE CONTRACTOR BY THE ARCHITECT. ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF THE OWNER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH THE CANADIAN NATIONAL BUILDING CODE (CNBC) AND ALL APPLICABLE LOCAL BY-LAWS AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

Drawing Title: SECTIONS
 Drawing #: DP2019-65
 LS-03

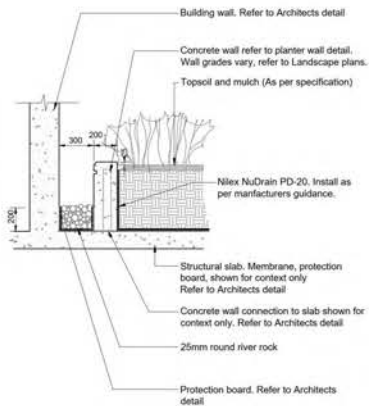
Drawing Title:



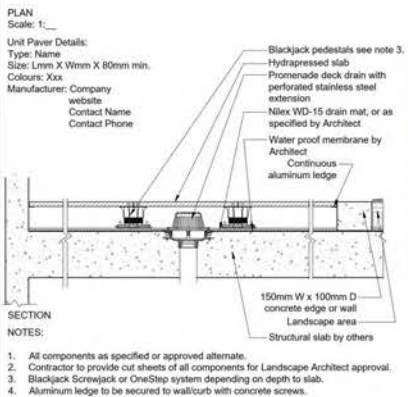
Project:
BROOKMERE GARDENS

Location:
 148 Street @ 108 Avenue
 Surrey, B.C.

7: PROJECT LOCATION: FORT LANGLEY, BRITISH COLUMBIA, CANADA. DRAWING TITLE: SECTIONS (REV)



1 DRIP STRIP - ON SLAB
Scale 1:20



2 HYDRAPRESSED SLAB - ON PEDESTALS
Scale 1:10



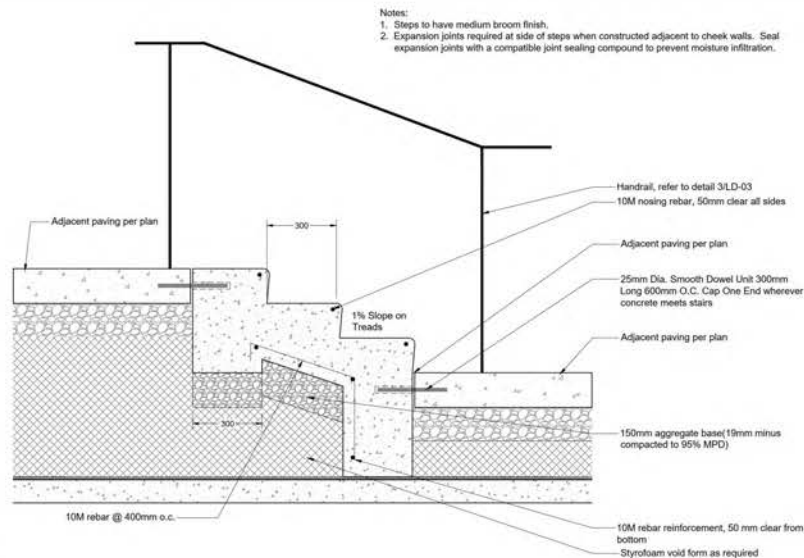
COMPOSITE DECKING:
Finish: Saddle (select)
Manufacturer: TREX

3 COMPOSITE DECKING
Scale NTS



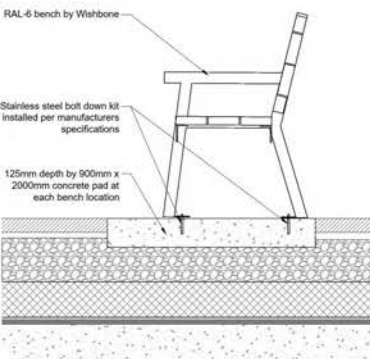
Atlas Pots
Reinforced Polystone
700 x 700 x 700

4 MOVEABLE PLANTERS
Scale 1:10



5 CONCRETE STAIRS - ON SLAB
Scale 1:10

- NOTES:
1. Install bench to manufacturers specifications.
2. Concrete pad to be included at all bench locations.
3. Size of concrete pad as noted on details unless shown otherwise on plans.
4. Or approved substitute.
5. Refer to concrete paving detail for additional information on concrete pad.

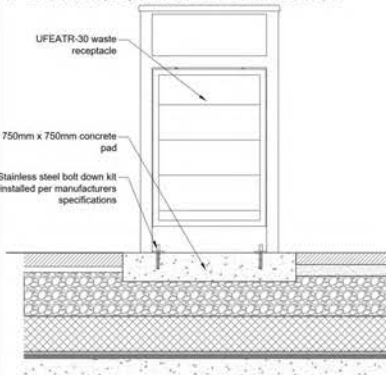


Bench
Model Number: RAL-6
Size: 1830mm
Wood Colour: Harbour Grey
Metal Colour: Cardinal Textured Grey
Manufacturer: Wishbone Site Furniture
wishboneitd.com/
604 626 0476



6 BENCH
Scale 1:10

- NOTES:
1. Install to manufacturers specifications.
2. Concrete pad to be included at all waste receptacle locations.
3. Size of concrete pad as noted on details unless shown otherwise on plans.
4. Or approved substitute.
5. Refer to concrete paving detail for additional information on concrete pad.



WASTE RECEPTACLE
Model Number: UFEATR-30
Size: 36 gal
Wood Colour: Harbour Grey
Metal Colour: Cardinal Textured Grey
Manufacturer: Wishbone Site Furniture
wishboneitd.com/
604 626 0476



7 WASTE RECEPTACLE
Scale 1:10

No.	By:	Description	Date
3	TM	Issued for ADP	June 16, 2021
8	STDY	Re-issued for DP	Apr 23, 2021
7	TM DY	Re-issued for DP	Mar 8, 2021
8	TM DY	Re-issued for DP	Mar 2, 2021
5	TM	Re-issued for DP	Feb 4, 2020
4	TM	Re-issued for DP	Nov 27, 2019
3	AD	Issued for DP	Nov 9, 2019
2	AD	Issued for Review	Oct 30, 2019
1	AD	Issued for DP	June 5, 2019

REVISIONS TABLE FOR DRAWINGS
* Changes reserved. This drawing and design is the property of VDZ+A and may not be reproduced or used for other projects without permission.

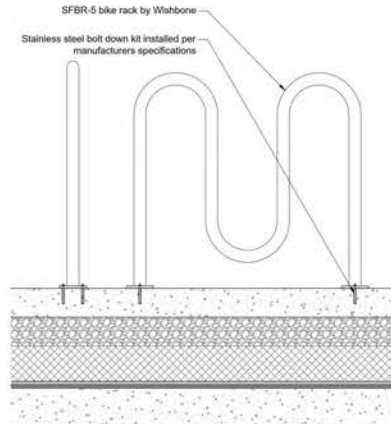
No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
BROOKMERE GARDENS

Location:
148 Street @ 108 Avenue
Surrey, B.C.

Drawn: AD	Stamp:
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL dimensions on the work and report any discrepancies to the contractor and manufacturer. ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF THE OWNER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK. ALL DIMENSIONS AND SPECIFICATIONS SHALL BE CHECKED BY CONTRACTOR. USE OF ANY OTHER DIMENSIONS FOR TRENCHES OR OTHER WORK.

- NOTES:
1. Install to manufacturers specifications.
 2. Concrete pad to be included at all waste receptacle locations.
 3. Size of concrete pad as noted on details unless shown otherwise on plans.
 4. Or approved substitute.
 5. Refer to concrete paving detail for additional information on concrete pad.



Bike Rack
 Model Number: SFBR-5
 Size: 955mm
 Metal Colour: Cardinal Textured Grey
 Manufacturer: Wishbone Site Furniture
 wishboneid.com/
 604 626 0476

1 BIKE RACK
 Scale 1:10



PEDESTRIAN LIGHT:
 Type: LQ641
 Finish: Black
 Height: 4267mm
 Manufacturer: Luminis
 Supplier: Meaghan Boyd
 CDM2 Lightworks
 330-825 Powell Street
 Vancouver BC, V6A 1H7
 Note: final light fixture to be coordinated with Electrical.

2 PEDESTRIAN LIGHT
 Scale NTS

LIGHT YOUR WAY

With a wide range of Luminis outdoor, different color temperature options and various accessories, Lumiquip enables the designer to illuminate or accent a space exactly how they want to.

Luminis outdoor
 Lumiquip offers 3000, 4000K, 5000K, 6000K, 7000K, 8000K and 9000K CCT options for outdoor lighting. Lumiquip offers a wide range of accessories to enhance your outdoor lighting design.

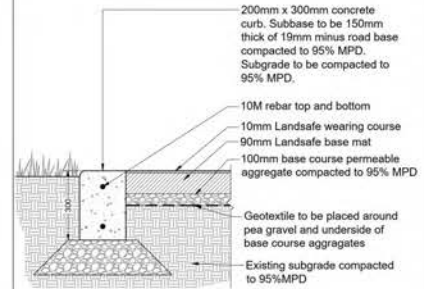
Color temperature
 Lumiquip offers 3000, 4000K, 5000K, 6000K, 7000K, 8000K and 9000K CCT options for outdoor lighting. Lumiquip offers a wide range of accessories to enhance your outdoor lighting design.

Design & use
 A variety of accessories are available including motion sensors, photocells, dusk-to-dawn sensors, and light sensors to enhance your outdoor lighting design.



BOLLARD LIGHT:
 Type: LQ427
 Colour: Black
 Manufacturer: Luminis
 Supplier: Meaghan Boyd
 CDM2 Lightworks
 330-825 Powell Street
 Vancouver BC, V6A 1H7
 Note: final light fixture to be coordinated with Electrical.

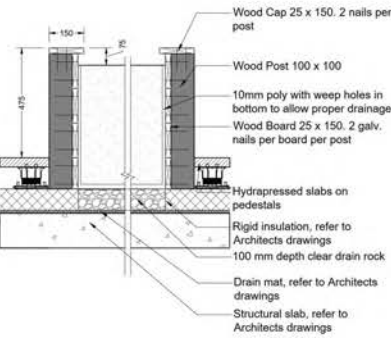
3 BOLLARD LIGHT
 Scale NTS



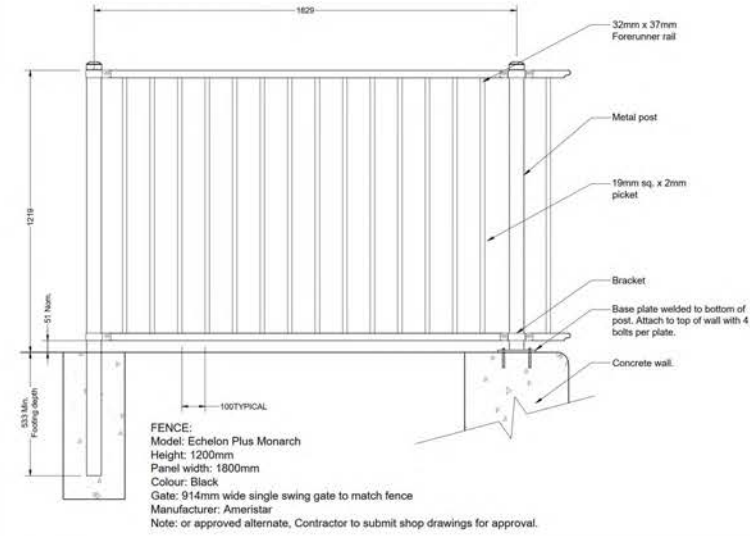
Note:
 Rubber colour to be:
 Soffline solutions
 Colour: TBD



4 RUBBER SURFACING
 Scale 1:10



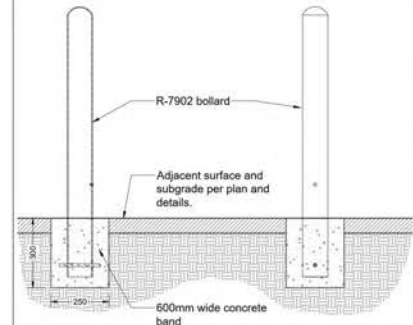
5 RAISED GARDEN BOX
 Scale 1:10



FENCE:
 Model: Echelon Plus Monarch
 Height: 1200mm
 Panel width: 1800mm
 Colour: Black
 Gate: 914mm wide single swing gate to match fence
 Manufacturer: Ameristz
 Note: or approved alternate, Contractor to submit shop drawings for approval.

6 UNIT FENCE
 Scale 1:10

- Notes:
 1. Detail for reference only. Install per manufacturers specifications.
 2. Concrete footing shown to minimum standards. Actual footing to reflect soil conditions.



Model: R-7902
 Size: 914mm
 Metal Colour: Black
 Mount: Embedded
 Manufacturer: Reliance Foundry

7 BOLLARD
 Scale 1:10

No.	By	Description	Date
9	TM	Issued for ADP	June 16, 2021
8	STOY	Re-issued for DP	Apr 23, 2021
7	TM/DY	Re-issued for DP	Mar 8, 2021
6	TM/DY	Re-issued for DP	Mar 2, 2021
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BROOKMERE GARDENS
 Location:
 148 Street @ 108 Avenue
 Surrey, B.C.

Drawn: AD	Stamp:
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24"x36"
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TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Engineer, Engineering Department**

DATE: **June 23, 2021** PROJECT FILE: **7820-0143-00**

RE: **Engineering Requirements
Location: 14840 108 Avenue**

NCP AMENDMENT

The following issues are to be addressed as a condition of the NCP Amendment:

- Complete storm and sanitary catchment analysis to determine if any constraints exist, and construct upgrades as required.

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 2.808-metres along 108 Avenue.
- Dedicate 4.0-metres along future Oriole Drive.
- Dedicate offsite portion of 107A Avenue to connect to 148 Street.
- Dedicate corner cuts.
- Register 0.5-metre statutory right-of-way along all frontages.

Works and Services

- Construct south side of 108 Avenue.
- Construct north side of 107A Avenue.
- Construct offsite portion of 107A Avenue to connect to 148 Street.
- Construct Oriole Drive with boulevard, sidewalk along property line, and street lighting.
- Pay cash-in-lieu for future west half of Oriole Drive.
- Service the development with storm, water, and sanitary mains and service connections.

A Servicing Agreement is required prior to Rezone/Subdivision. A processing fee of \$47,197.50 is required.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit.



Jeff Pang, P.Eng.
Development Engineer

SK2

NOTE: Detailed Land Development Engineering Review available on file



June 9, 2021

Planning

School Enrolment Projections and Planning Update:
 The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

As of September 2020, Holly Elementary is operating at 91%. Historical enrolment trends indicate enrolment fluctuations but now its in decline. Anticipating that residential construction along 104th Ave will start over the next 5-years, the growth trend will likely strengthen by the end of the decade surpassing the existing capacity of the school post 2030.

Guildford Park Secondary is currently operating at 125% and is projected to grow by 300 students over the next 10 years. This school will be impacted by the future residential construction along 104th Avenue. In March 2020, the Ministry of Education approved funding for the district to prepare an in-depth feasibility report. The addition would increase the capacity of the school from 1200 to 1500. The project is targeted to open in 2025.

THE IMPACT ON SCHOOLS

APPLICATION #: 20 0143 00 Updated June 2021

SUMMARY

The proposed 424 rental lowrise units are estimated to have the following impact on the following schools:

Projected enrolment at Surrey School District for this development:

Elementary Students:	46
Secondary Students:	50

September 2020 Enrolment/School Capacity

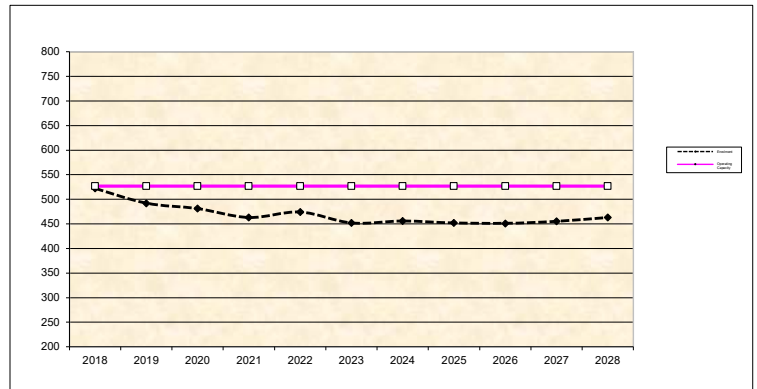
Holly Elementary	
Enrolment (K/1-7):	49 K + 432
Operating Capacity (K/1-7)	38 K + 489
Guildford Park Secondary	
Enrolment (8-12):	1360
Capacity (8-12):	1050

Projected population of school-age children for this development:	170
--	-----

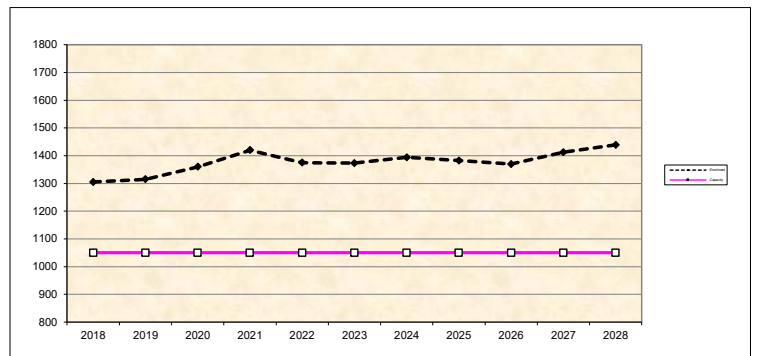
Population: The projected population of children aged 0-19 Impacted by the development.

Enrolment: The number of students projected to attend the Surrey School District ONLY.

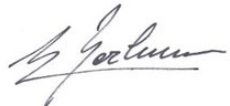
Holly Elementary



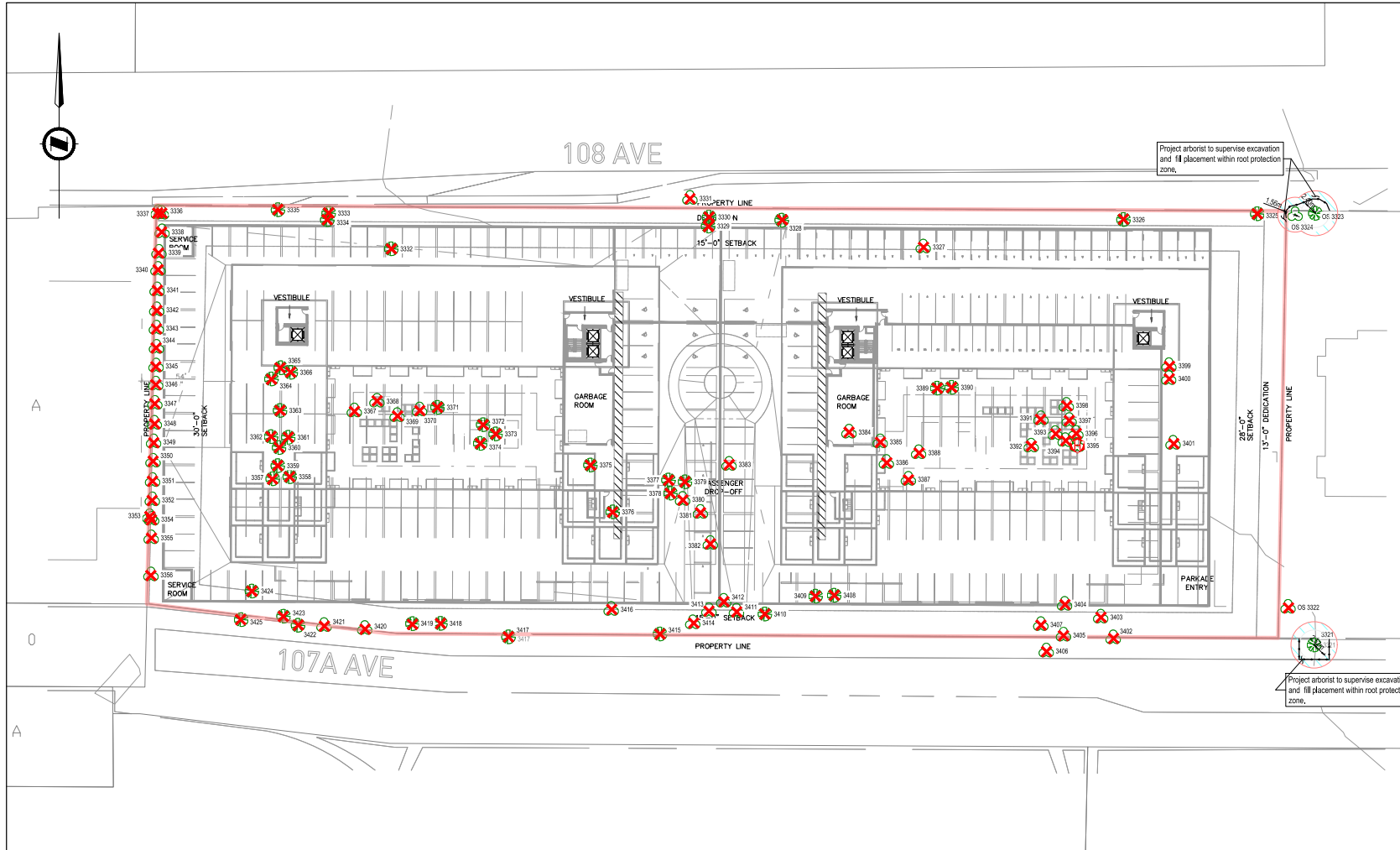
Guildford Park Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.
 Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

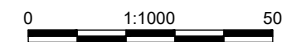
Appendix B: Tree Preservation Summary	
Surrey Project No: Pre application	
Address: 14800 Block, 108 Avenue.	
Registered Arborist: Lucian Serban, RPF, PN 7758AM ISA Certified Arborist Municipal Specialist, Tree Risk Assessment Qualified	
On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas).	102
Protected Trees to be Removed	101
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	1
Total Replacement Trees Required , Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u>16</u> X one(1) = 16 -All other Trees Requiring 2 to 1 Replacement Ratio <u>85</u> X two(2) = 170	186
Replacement Trees Proposed	153
Replacement Trees in Deficit	33
Protected Trees to be Retained in Proposed (Open Space/Riparian Areas)	N/A
Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Retained	2
Protected Off-Site Trees to be Removed	1
Total Replacement Trees Required , Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio <u>0</u> X one(1) = 0 -All other Trees Requiring 2 to 1 Replacement Ratio <u>1</u> X two(2) = 2	2
Replacement Trees Proposed	0
Replacement Trees in Deficit	2
Summary prepared and submitted by: Lucian Serban, RPF ISA Certified Arborist Municipal Specialist PN 7558AM <div style="text-align: right; margin-right: 50px;">  </div>	
Date: June 14, 2021	





LEGEND

- Site Boundary
- Root protection zone (RPZ) w/1.5m setback
- Broadleaf tree w/Tag No.
- Coniferous tree w/Tag No.
- Tree to be removed (proposed)
- Tree protection barrier
- Moderate Risk Tree - Refer to Arborist Report for Mitigation recommendation.



IMPACT MITIGATION

Tree Protection Barrier: The areas, surrounding the trees to be retained, should be isolated from the construction activity by erecting protective barrier fencing. Where possible, the fencing should be erected at the perimeter of the root protection zones. The barrier fencing to be erected must be a minimum of 1200mm in height, of solid frame construction that is attached to wooden or metal posts. A solid board or rail must run between the posts at the top and the bottom of the fencing. This solid frame can then be covered with flexible snow fencing. The fencing must be erected prior to the start of any construction activity on site (i.e. demolition, excavation, construction), and remain in place through completion of the project. Signs should be posted around the protection zone to declare it off limits to all construction related activity. The project arborist must be consulted before this fencing is removed or moved for any purpose.

Excavation: We recommend that no excavation occur within tree protection zones of trees that are to be retained. Any excavation that is necessary, within the working space setback of trees to be retained must be completed under the direction of the project arborist. If it is found, at the time of excavation, that the excavation cannot be completed without severing roots that are critical to the trees health or stability it may be necessary to remove additional trees.

Demolition: If tree removal is proposed to be undertaken in conjunction with demolition operations, tree removal permits may be necessary. Note that some municipalities may

not approve tree removal at this phase. If the municipality relaxes the requirement for barrier fencing installations prior to demolition (subject to onsite arborist supervision during demolition operations) a Letter of Assurance (comfort letter) may be required by the municipality.

Material storage: Areas must be designated for material storage and staging during the construction process. Ideally these areas will be located outside of the tree protection areas that will be isolated by barrier fencing. Should it be necessary to store material temporarily within any of the tree protection areas, the project arborist must be consulted.

Mulch layer or plywood over heavy traffic areas: Should it be necessary to access tree protection areas during the construction phase of the project, and heavy foot traffic or vehicular encroachment is required, we recommend that a layer of wood chip horticultural mulch or plywood be installed to reduce compaction. This project arborist must be consulted prior to removing or moving the protection barrier for this purpose.

Pruning:

- Once tree clearing has taken place we recommend that trees to be retained be pruned to remove deadwood, and to address any structural flaws.
- We recommend that any pruning of bylaw-protected trees be performed to ANSI A300 standards and Best Management Practices.

Stump removal: We recommend that, if stumps require removal, they are removed under

arborist supervision, or ground using a stump grinder to avoid disturbing root systems of trees in close proximity, that are shown on the tree management drawing to be retained. Paved areas over critical root zones of trees to be retained. Where paved areas cannot avoid encroachment within critical root zones of trees to be retained, construction techniques, such as floating permeable paving, may be required. (specifications can be provided by the project arborist, in consultation with the design consultant).

Landscaping: Any proposed landscaping within the critical root zones of trees to be retained must be reviewed with the project arborist.

Arborists Role: It is the responsibility of the client or his/her representative to contact the project arborist for the purpose of:

- Locating the barrier fencing.
- Reviewing the report with the project foreman or site supervisor.
- Locating work zones and machine access corridors where required.
- Supervising excavation for any areas within the critical root zones of trees to be retained including any proposed retaining wall footings and review any proposed fill areas near trees to be retained.

SKETCH T1 Tree Management Plan 108 Avenue & 148 Street City of Surrey, BC

DATE: June 2, 2020
 PREPARED FOR: Primex Investments Ltd.
 SCALE: 1:1000 @ 11" X 17"
 MCSL PROJECT: 2111-05566-00
 MUN. PROJECT:

DATE: 2020-06-02 14:49 FILE: P:\2111-05566-00\Drawings - H2020R 10-01.dwg BY: JVA/ELH/MB/MLT/BB/MS/2020/06/02/2111-05566-00.dwg

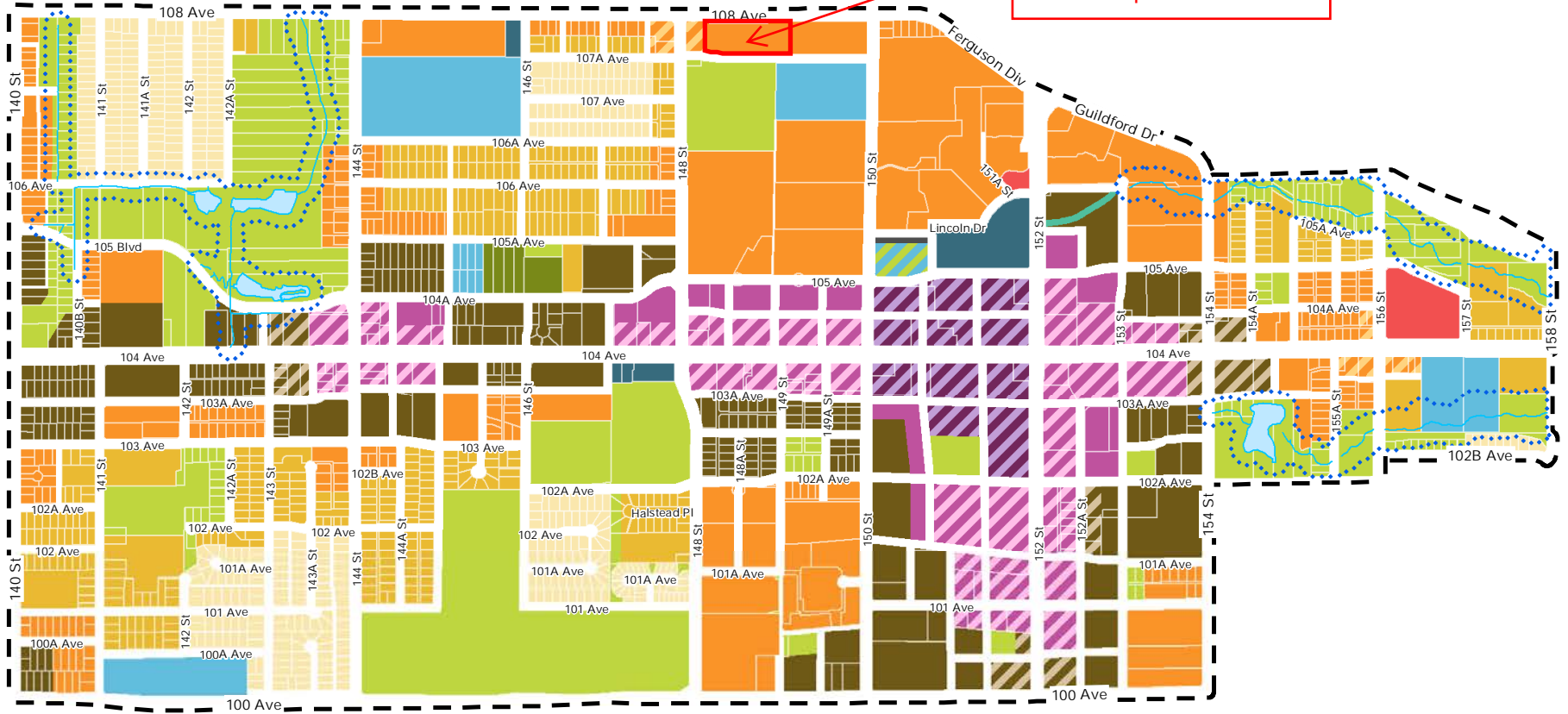
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Guildford Town Centre - 104 Avenue Corridor Draft Stage 1 Plan

Map 1 - Land Use Concept

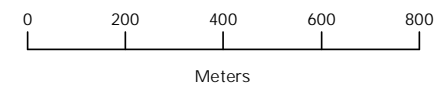
For Council consideration July 8, 2019

Amend subject site from Low Rise Apartment to Low to Mid Rise Apartment



LEGEND

- | | | | | |
|-------------------------|----------------------------|---------------------------|------------------------|----------------------|
| Single Family or Duplex | Low to Mid Rise Apartment | High Rise Mixed Use | School | Bus Layover Facility |
| Townhouse or Row House | Low to Mid Rise Mixed Use | Commercial | Park/School | Riparian Buffer |
| Low Rise Apartment | Mid to High Rise Apartment | Parks and Natural Areas | Civic | |
| Low Rise Mixed Use | Mid to High Rise Mixed Use | Metro Vancouver Reservoir | Daylighted Watercourse | |





Advisory Design Panel Minutes

Location: Virtual
Thursday, March 25, 2021
Time: 3:00 pm

Present:

Panel Members:

R. Drew, Chair
J. Packer
L. Mickelson
M. Patterson
S. Slot
W. Chong

Guests:

Chris Huxtable, Architect AIBC & Andrew Emmerson, Architect AIBC, GBL Architects
Clark Kavolinas, BCSLA, C. Kavolinas & Associates Inc.
Greg Mitchell, Primex Investments
Jessie Arora, Architect AIBC, DF Architecture
Roop Kooner
Travis Martin, BCSLA, van der Zalm + Associates

Staff Present:

A. McLean, City Architect
S. Maleknia, Urban Design Planner
C. Eagles, Administrative Assistant

A. RECEIPT OF MINUTES

It was Moved by W. Chong
Seconded by M. Patterson
That the minutes of the Advisory Design
Panel meeting of February 11, 2021 be received.
Carried

B. STAFF PRESENTATION

1. Public Realm Standards
Ann McLean, City Architect

Staff provided a Power-Point Presentation on Public Realm Standards and different street cross-sections standards in the City of Surrey, and highlighted the policies surrounding the city's urban design policies and guidelines to identify the objectives of public realm for public/private sidewalks, tree boulevard, and to encourage walkable and green neighborhoods,

C. NEW SUBMISSIONS

1. Time: 3:15 p.m.

File No.: 7920-0143-00
Address: 14840 to 14909 – 108 Avenue in Guildford Town Centre
104 Avenue Corridor

New or Resubmit: New
Last Submission Date: N/A
Description: NCP amendment, Rezoning, Subdivision, and detailed Development Permit to permit two 6-storey rental apartment buildings containing approximately 424 dwelling units with underground parking

Developer: Greg Mitchell, Primex Investments
Architect: Chris Huxtable, Architect AIBC & Andrew Emmerson,
Architect AIBC, GBL Architects
Landscape Architect: Travis Martin, BCSLA, van der Zalm + Associates

Planner: Christa Brown
Urban Design Planner: Sam Maleknia

The Urban Design Planner advised that staff have no specific issues. Staff worked closely with the applicant to advance the concept and support the project. The proposal generally complies with Stage 1 of the Guildford Town Centre Plan. The Panel was asked to comment on the overall site planning, landscape concept, massing/ form, architectural expression of the building, and public realm interfaces.

The Project Architect presented an overview of the site and building design, elevations, and streetscapes.

The Landscape Architect presented an overview of the general concept for the landscape design.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by W. Chong
Seconded by L. Mickelson
That the Advisory Design Panel (ADP)
SUPPORT the project and recommends that the applicant address the following
issues to the satisfaction of the Planning & Development Department.
Carried

Key Points:

- Introduce stronger corner expressions along 107A Avenue.
 - Studio units have been removed and replaced with 1 Plus Den units to carry the module rhythm on the south façade. Balconies have also been added on the corners to break up the façade.
- Increase the presence of the darker cladding colour along the 107A Avenue elevation.
 - Studio units have been removed and replaced with 1 Plus Den units to carry the module rhythm on the south façade, which increases the amount of the dark cladding.
- Consider a direct connection between the building lobbies and courtyard spaces.
 - Lobbies and Amenity spaces have been revised to allow for a direct connection.
- Recommend a stronger connection between the indoor and outdoor amenities.
 - Lobbies and Amenity spaces have been revised to allow for a direct connection.
 - Additional doors have been added to the courtyard.
 - A corner cut has been added to open the Party Room up to the courtyard further.
- Consider improving daylight access to the courtyard suites.
 - A corner cut has been added to allow more daylight for the end unit. The nature of this being a north facing façade will always have

less daylight. We originally dropped that building mass to limit the number of units on this face. Larger units have also been incorporated per previous discussions.

- Consider resolving the potential privacy issues between the exits into the courtyard spaces and the adjacent one-bedroom suites.
 - Windows have been shifted to maximize the distance between unit glazing.
- Recommend promoting active use of stairs.
 - Internal stairs cannot have access to direct daylighting. However stairs will be painted inside for a more attractive space to promote use.
- Shift the gates to the perimeter of the building edge into the courtyards.
 - Gates have been shifted to edge.

Site

- the project would benefit from a direct connection between indoor and outdoor amenities.
 - Lobbies and Amenity spaces have been revised to allow for a direct connection.
- Consider further design development for the mews, such as reducing the hardscape.
 - Landscape has been adjusted to provide better privacy for units in the courtyard and updated to maximize planting to match architectural alterations along the south building corners.
- Some patios appear to be missing privacy screens. Consider adequate privacy separation for patios.
 - All patios have screens between units.
- There is a lack of usable space for the residents in the central courtyard (mews). Recommend that seating be provided and consider some of the units access to the central courtyard to provide overlook and animate.
 - Nine benches are included in 4 different areas of the Central Mews to encourage seating opportunities and social interactions.

Form and Character

- Consider better connect interior courtyard with indoor amenity spaces to create indoor outdoor experience.
 - Lobbies and Amenity spaces have been revised to allow for a direct connection.
 - Additional doors have been added to the courtyard.
 - A corner cut has been added to open the Party Room up to the courtyard further.
 - Glazing is added at the courtyard to increase the indoor and outdoor experience.
- Recommend further design development to the inner courtyard units so to allow better natural daylight access; reduce the number of units in this location.
 - A corner cut has been added to allow more daylight for the end unit. The nature of this being a north facing façade will always have

- less daylight. We originally dropped that building mass to limit the number of units on this face. Larger units have also been incorporated per previous discussions.
- Consider larger exterior opening.
 - Consider altering corners on 107 Avenue; they should be as bold as other corners.
 - Studio units have been removed and replaced with 1 Plus Den units to carry the module rhythm on the south façade. Balconies have also been added on the corners to break up the façade.
 - Recommend larger exterior openings (outdoor passages) into the courtyards.
 - Courtyards have been designed to be 11'-0" and a further corner cut has been added at the amenity. This allows equipment into the courtyard for maintenance.
 - Consider early review of exposure and privacy issues between internal corner units.
 - Windows have been shifted to maximize the distance between unit glazing.
 - Privacy screens have been incorporated at the ends of patios for further privacy.
 - Ensure the units along south (facing the courtyards) get daylight.
 - A corner cut has been added to allow more daylight for the end unit. The nature of this being a north facing façade will always have less daylight. We originally dropped that building mass to limit the number of units on this face. Larger units have also been incorporated per previous discussions.
 - Consider daylighting into bicycle area.
 - The bike area is below grade and does not have access to daylighting.
 - Consider a bicycle maintenance area.
 - Bicycle maintenance area will be incorporated.
 - Suggest that further design development of the upper balconies for weather protections.
 - Weather protection has been added above the doors.
 - Recommend further design development of the inner courtyard units for better daylighting.
 - A corner cut has been added to allow more daylight for the end unit. The nature of this being a north facing façade will always have less daylight. We originally dropped that building mass to limit the number of units on this face. Larger units have also been incorporated per previous discussions.

Landscape

- Consider lighting and signage for the shared central mews to ensure that it is clear to residents that this is a shared realm.
 - Overhead pedestrian Lighting has been added to the Central Mews and wayfinding lighting added throughout the site. Signage locations have been placed to identify each building on the north and south ends of the mews at 108 and 107A Avenues.

- Consider adding more landscape, such as moving the trees to the north side of the courtyard to provide shading and screening for units looking south.
 - Some planters have been enlarged, however, based on the experiences of this owner at other apartment buildings, they have requested to keep the hardscape layout which clearly delineates the pedestrian walkways from the drive aisle.
- Consider long term maintenance requirements for the planters and membranes inside the courtyards.
 - This has been considered in the design details and will continue to be clarified during the technical design phase. The courtyard membrane is being protected and clear drainage maintained beneath the planters.
- Recommend reducing the amount of hard paving where possible.
 - Landscape has been adjusted to provide better privacy for units in the courtyard and updated to maximize planting to match architectural alterations along the south building corners.
- Consider moving the trees and larger planters on the north side of both central courtyards to provide a vertical format tree for shading and buffering of views for the upper floors.
 - Greenspace has been reallocated in the courtyards as requested, by adding trees to the north side that will grow to provide shading and screening to 3-4 stories high.
- Consider further design development to provide stronger articulation between the lobby doors and the central courtyard.
 - Lobbies and Amenity spaces have been revised to allow for a direct connection.
 - Additional doors have been added to the courtyard.
 - A corner cut has been added to open the Party Room up to the courtyard further.
 - Glazing is added at the courtyard to increase the indoor and outdoor experience.
- Consider more benches in the courtyards.
 - More seating has been provided in the courtyards. Each courtyard now has at least 5 picnic tables or benches.
- Consider relocating the community garden outside of the courtyard.
 - The Owner/Operator values the inclusion of the urban agriculture in the secured courtyard as it is safe and convenient for residents. It is also inspiring to see the different planters and interact with them, whereas if relegated the side yard, some residents may not have any exposure to this activity.
- Consider a rooftop amenity on the lower south building.
 - Since the project is offering a substantial secured outdoor amenity with good solar access in each building the Owner/Operator does not have interest in expanding on the roof. It is not considered economically feasible from a capital and ongoing maintenance perspective.
- The pattern gravel replacement is supported on the rooftop.
 - This design is being updated as requested by the panel members to better link to the colour tones and patterns of the building fascia.

CPTED

- No specific issues were identified.

Sustainability

- Consider ways to promote the use of stairs within the building. Consider making entry ways to stairwell, with glazing, colour pallet, and daylighting.
 - Internal stairs cannot have access to direct daylighting. However stairs will be painted inside for a more attractive space to promote use.
- Consider engaging with a sustainability consultant sooner rather than later as the design develops.
 - We have engaged a sustainability consultant during the early processes, and they have already done a preliminary review. Initial conversations regarding items such as materials, building envelope, landscaping, drinking fountains, sanitation stations, EV charging are currently in talks, and will be developed in the Building Permit Stage.
- Consider bicycle friendly measures such as automatic doorways.
 - Automatic doorways will be incorporated.
- Consider wider corridor for bike users.
 - Corridors are minimum 5'-0" for ease of access.
- Consider cooling (not full refrigeration) for parcel delivery rooms to help make them work for grocery delivery.
 - Client has expressed interest in providing full parcel delivery rooms for various operations such as Amazon. We will look into the feasibility and functionality of cooling rooms for this project.

Accessibility

- Recommend that the pathways are Accessible and according to building code.
 - Pathways will be accessible.
- Consider 5% of units be wheelchair accessible including the balconies.
 - 5% of units will be wheelchair accessible.
- Ensure that the courtyard materials are wheelchair Accessible. The ground materials in the courtyards are fully accessible.
 - Key hardscape materials include 600mmx600mm hydropressed slabs, recycled lumber decking, pour in place rubber surfacing at the play area.
- Recommend emergency call button panel in the elevator and lobby.
 - Will be incorporated.
- Consider placing the elevator and entrance call panel horizontal.
 - Will be incorporated.

CITY OF SURREY
HOUSING AGREEMENT

THIS HOUSING AGREEMENT made the _____ day of _____, 2021.

BETWEEN:

CITY OF SURREY, a municipal corporation having its offices at 13450 – 104 Avenue, Surrey, B.C. V3T 1V8

(the “**City**”)

OF THE FIRST PART

AND:

BROOKMERE GARDENS INC., a corporation having its offices at #200 – 1785 West 4th Avenue, Vancouver, B.C., V6J 1M2

(the “**Owner**”)

OF THE SECOND PART

WHEREAS:

- A. The Owner is the legal and beneficial owner of those certain lands and premises located in the City of Surrey, in the Province of British Columbia, legally described as:

Parcel Identifier: 006-487-386
 LOT 47 SECTION 20 OF BLOCK 5 NORTH RANGE 1 WEST NEW WESTMINSTER PLAN 30076

(the “**Lands**”);

- B. The Owner proposes to use the Lands for to construct 2 Buildings, each 6 stories in height, with 424 residential Dwelling Units (the “**Development**”);
- C. The Owner has voluntarily agreed to enter into a housing agreement pursuant to Section 483 of the *Local Government Act*, R.S.B.C. 2015, Chapter 1, as amended, to ensure that the Rental Units are rented in accordance with this Agreement.

NOW THEREFORE in consideration of the premises herein and of the mutual covenants and agreements hereinafter set forth and contained herein and \$1.00 now paid by the City to the Owner (the receipt of which is hereby acknowledged), the parties hereto covenant and agree each with the other as follows:

1. **DEFINED TERMS**

1.1 In and for the purpose of this Agreement, in addition to the definitions on the first page of this document, the following terms shall have the following meanings:

- (a) “**Agreement**” means this housing agreement and any amendments to or modifications of the same;
- (b) “**City**” means the City of Surrey and any person authorized by the City of Surrey, including assigns of whole or partial interest in this Agreement or of any of the rights conferred upon the City of Surrey by this Agreement;
- (c) “**City Personnel**” means all of the City’s elected and appointed officials, officers, employees, agents, nominees, delegates, permittees, contractors, subcontractors, invitees and the Approving Officer;
- (d) “**Claims and Expenses**” means all actions, causes of actions, suits, judgments, proceedings, demands, and claims, whether at law or in equity, losses, damages, expenses and costs (including legal fees and disbursements on an indemnity basis) of any kind or nature whatsoever, at law or in equity, for any damages, losses, injuries or death;
- (e) “**Development**” means as defined in Recital B;
- (f) “**Dwelling Unit**” means each of the 424 dwelling units to be constructed within the Development;
- (g) “**Existing Tenant(s)**” means any existing tenant residing on the Lands in the existing development know as Brookmere Gardens at the time of the original Development Permit application to the City of Surrey on June 21, 2020.
- (h) “**Lands**” means the parcel of land situated in the City of Surrey, British Columbia and legally described in Recital A, and includes any parcel into which such land is consolidated or further subdivided (including a subdivision pursuant to the *Land Title Act*;
- (i) “**Owner**” means the person named on the first page of this Agreement and the legal and beneficial owner at any given time and any successors in title of the Lands;
- (j) “**Rental Units**” means 424 Dwelling Units which must be made available by the Owner to the general public at arms’ length for use as residential rental accommodation on a month-to-month or longer basis in accordance with all applicable laws including, without limitation, the *Residential Tenancy Act*, S.B.C. 2002, Chapter 78, as amended, and any regulations pursuant thereto; and
- (k) “**Term**” means 60 years, commencing on the first day of the month after the City issues an occupancy permit for the Development.

2. RESTRICTION ON OCCUPANCY OF DWELLING UNITS

- 2.1 During the Term the Rental Units must be made available for rent in accordance with this Agreement.
- 2.2 During the first 20 years of the Term, the rents for the Rental Units shall be governed by the principles of the BC Housing Provincial Rental Supply Program, as amended. Rents will be established to be attainable for middle income households whose gross household income does not exceed the 75th income percentile for families with or without children, as determined by BC Housing from time to time. After 20 years, the Owner is entitled to rent the Rental Units at fair market rent.
- 2.3 Working collaboratively with the Existing Tenant(s), the City and the Owner, Existing Tenant(s) will be provided first right of refusal at rates equivalent to Canada Mortgage and Housing Corporation (CMHC) average rents, or their current rent (whichever is higher) at the time of occupancy. Furthermore, the City, Owner, and Existing Tenant(s) will work collaboratively to determine the best housing option based on the Canadian National Occupancy Standard (CNOS), and considering the Existing Tenant's housing requirements related to the available housing options.
- 2.4 The City may, from time to time, during the Term request the Owner to provide written proof of compliance with section 2.1 and the Owner agrees to provide, or cause an operator of the Lands to provide, the City with such proof in a form reasonably satisfactory to the City.
- 2.5 During the Term, the portion of the Lands containing the Development shall not be stratified.
- 2.6 Each building in the Development shall be owned by one Owner(s).
- 2.7 Throughout the Term, the Owner shall not sell or transfer the beneficial or registered title or any interest in and to the Rental Units, unless the Owner obtains from the transferee an agreement in writing from the transferee to assume and perform all of the obligations of the Owner arising under this Agreement.

3. LIABILITY

- 3.1 **Indemnity.** The Owner shall indemnify and save harmless the City and City Personnel from all Claims and Expenses which the City and City Personnel may suffer, or incur, or be put to, arising out of or in connection with any breach or default of any covenants or agreements on the part of the Owner contained in this Agreement, or arising out of, or in connection with the Development or arising out of the fact that the Lands are encumbered by and affected by this Agreement.

- 3.2 **Release.** The Owner does hereby remise, release and forever discharge the City and City Personnel from all Claims and Expenses which the Owner may have against the City and City Personnel, which the Owner now has or hereafter may have with respect to or by reasons of or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.3 **Obligations Continue.** The Owner covenants and agrees that the indemnity and release in Sections 3.1 and 3.2 will remain effective and survive the expiration or termination of this Agreement whether by fulfilment of the covenants contained in this Agreement or otherwise.

4. **NOTICE**

- 4.1 Any notices or other documents to be given or delivered pursuant to this Agreement will be addressed to the proper party as follows:

(a) As to the City:

City of Surrey
13450 – 104 Avenue
Surrey, BC V3T 1V8

Attention: General Manager, Planning and Development Department

(b) As to the Owner:

Brookmere Gardens Inc.
#200 – 1785 West 4th Avenue
Vancouver, BC V6J 1M2

Attention: Greg Mitchell, Development Manager and Senior Planner

or such other address as such party may direct. Any notice or other documents to be given or delivered pursuant to this Agreement will be sufficiently given or delivered if delivered to the particular party as its address set out or determined in accordance with this section and shall be deemed complete two (2) days after the day of delivery.

- 4.2 It is specifically agreed that for any notice or document to be validly given or delivered pursuant to this Agreement, such notice or document must be delivered and not mailed.

5. **GENERAL**

- 5.1 **Joint and Several.** Where the Owner consists of more than one person, each such person will be jointly and severally liable to perform the Owner's obligations under this Agreement.

- 5.2 **Assignment by City.** This Agreement or any of the rights conferred by this Agreement upon the City may be assigned in whole or in part by the City without the consent of the Owner.
- 5.3 **City's Other Rights Unaffected.** Nothing contained or implied herein will derogate from the obligations of the Owner under any other agreement with the City or, if the City so elects, prejudice or affect the City's rights, powers, duties or obligations in the exercise of its functions pursuant to the *Local Government Act* and the *Community Charter*, as amended from time to time and the rights, powers, duties and obligations of the City under all public and private statutes, by-laws, orders and regulations, which may be, if the City so elects, as fully and effectively exercised in relation to the Lands as if this Agreement had not been executed and delivered by the Owner and the City.
- 5.4 **Agreement for Benefit of City.** The Owner and the City hereby acknowledge, agree and declare that this Agreement is entered into for the sole purpose of benefitting the City and, in particular, acknowledge, agree and declare that this Agreement is not designed to protect or promote the interests of the Owner or any mortgagee of the Owner, or any future owner or occupier of the Lands and any improvements on the Lands or any other person and the City may, at its sole option, execute a release of this Agreement at any time without liability to any person for so doing.
- 5.5 **No Waiver.** The Owner acknowledges and agrees that no failure on the part of the City to exercise and no delay in exercising any right under this Agreement will operate as a waiver thereof, nor will any single or partial exercise by the City of any right under this Agreement preclude any other or future exercise thereof of the exercise of any other right.
- 5.6 **City Not Required to Prosecute.** The Owner agrees that the City is not required or is under no obligation in law or equity to prosecute or enforce this Agreement in any way whatsoever.
- 5.7 **Remedies.** The remedies provided for in this Agreement will be cumulative and not exclusive of any other remedies provided by law or in equity. In addition to any remedies which are available under this Agreement or at law, the City will be entitled to all equitable remedies, including, without limitation, specific performance, injunction and declaratory relief, or any combination thereof, to enforce its rights under this Agreement. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy for a default by the Owner under this Agreement.
- 5.8 **Severability.** All the obligations and covenants in this Agreement are severable, so that if any one or more of the obligations or covenants are declared by a court of competent jurisdiction to be void and unenforceable, the balance of the obligations and covenants will remain and be binding.
- 5.9 **City Court Costs.** In an action to enforce this Agreement in respect of which the court determines that the position of the City will prevail, the City will be entitled to court costs on a solicitor-client basis.

- 5.10 **Personal Representatives and Successors.** This Agreement shall enure to the benefit of and be binding upon the parties hereto and their personal representatives, respective heirs, executors, administrators, successors, and assigns.
- 5.11 **Governing Law.** This Agreement will be governed by and construed in accordance with the laws of the Province of British Columbia and the laws of Canada applicable in British Columbia.
- 5.12 **Priority.** The Owner shall at the sole expense of the Owner, do or cause to be done all acts reasonably necessary to grant priority to this Agreement over all charges and encumbrances which may have been registered against the title to the Lands at the Land Title Office save and except those specifically approved in writing by the City.
- 5.13 **Further Assurances.** The Owner shall do, or cause to be done, all things and execute or cause to be executed all documents and give such further and other assurances which may be reasonably necessary to give proper effect to the intent of this Agreement.
- 5.14 **Counterparts.** This Agreement may be executed in any number of counterparts and delivered via facsimile or e-mail, each of which will be deemed to be an original and all of which taken together will be deemed to constitute one and the same instrument, provided that any party delivering this Agreement via facsimile or e-mail will deliver to the other party any originally executed copy of this Agreement forthwith upon request by the other party.

5.15 **Entire Agreement.** This Agreement represents the entire agreement between the City and the Owner regarding the matters set out in this Agreement and supersedes all prior agreements, letters of intent or understandings about these matters.

IN WITNESS WHEREOF the City of Surrey and the Owner have executed this Agreement under seal of their duly authorized officers as of the references of this Agreement.

CITY OF SURREY

By: _____
Authorized Signatory
Doug McCallum,
Mayor
City of Surrey

By: _____
Authorized Signatory
Jennifer Ficocelli,
City Clerk
City of Surrey

BROOKMERE GARDENS INC.

By: _____
Authorized Signatory
Name: Andrew Rennison
Title: Director



March 30, 2021

RE: TENANT ASSISTANCE PLAN AMENDMENT

The following Tenant Assistance Plan is an amendment to the original Tenant Assistance Plan dated August 19, 2020, with subsequent revisions on November 27, 2020, and February 5, 2021.

The Tenant Assistance Plan has been amended to eliminate the phased tenant relocation approach. The proposed development requires all rental units to be vacant at the time of redevelopment.

INTRODUCTION

Brookmere Gardens Inc. (the "Owner") is proposing a multi-year process to redevelop the Brookmere Gardens property. The property is currently comprised of nine buildings totalling 88 residential units.

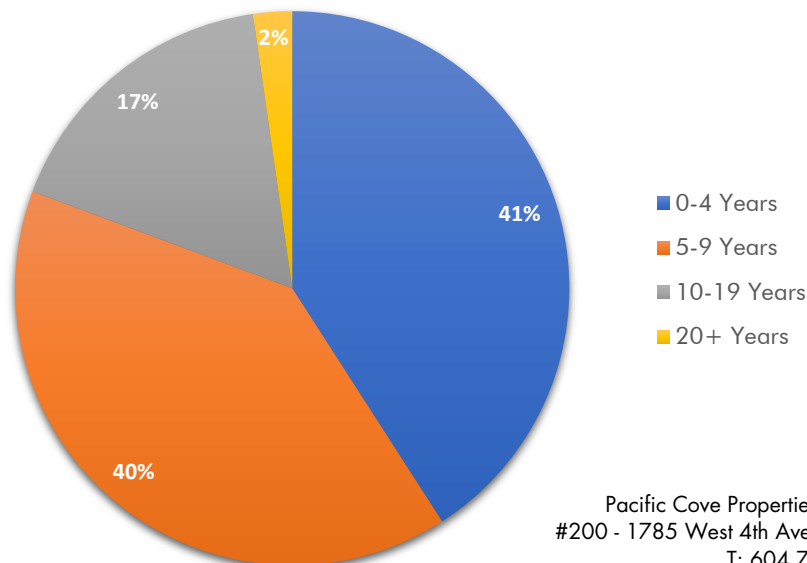
CURRENT OCCUPANCY SUMMARY

The current unit mix is summarised below:

Unit Mix	# Units	Avg Size	Avg Rent
1 Bedroom	2	790 sqft	\$1,180
2 Bedroom	51	920 sqft	\$1,059
3 Bedroom	35	1115 sqft	\$1251
Occupied Units	88		
Unoccupied Units	0		
Total Unit Count	88		

TENURE SUMMARY

The below information summarises tenure of current tenants:





COMMUNICATION PLAN

An introductory letter was sent to all Brookmere Gardens tenants on June 26, 2020, informing them of the owner's intention to redevelop the site with new purpose-built rental buildings. A follow up letter was sent to all tenants on March 8, 2021, informing them of the change to the development plan (appendix-A).

Any new tenant that has moved into Brookmere Gardens since August 1, 2020, has been informed of the redevelopment intentions through a countersigned redevelopment addendum (appendix-B).

Tenants are being made aware of the relocation process and their rights through frequent and ongoing communications. Tenants will be provided with process updates including notice of council meetings related to the application, and public hearing dates. (appendix-C). A letter containing a full description of the relocation strategy will be sent to tenants after the development application has been approved (appendix-D).

One-on-one meetings will be conducted with eligible tenants to tailor relocation assistance to meet any specific requirements. Factors pertaining to individual tenants, such as the ability to pay, household size, and presence of pets, will be considered to help find the most appropriate housing available.

The owner is committed to providing four months' notice to end tenancy, consistent with the Residential Tenancy Board's requirements. Additionally, the owner will provide tenants with project updates through frequent communication that will give tenants unofficial notice in advance of the four-month requirement.

TENANT RELOCATION TEAM

The Owner has retained Pacific Cove Property Management ("PCPM") for tenant relocation services. PCPM employs over 150 people, including an in-house Relocation Specialist who focuses exclusively on tenant relocation. The Relocation Specialist will work together with tenants to facilitate open communications and to implement personalized tenant assistance plans for each tenant. The Relocation Specialist can draw on numerous internal sources, including property managers, with a deep understanding of the Surrey market to ensure the tenants' needs are met.

TENANT RELOCATION PLAN

The purpose of the relocation plan is to provide a plan that is fair and reasonable for tenants who will be affected by the redevelopment of Brookmere Gardens. The plan intends to set forth a relocation program, which will minimize, to the greatest extent possible, the hardships imposed on tenants as a result of relocation.

1. Tenant Eligibility

Eligible tenants are tenants who were residing at the Brookmere Gardens property at the time the development application was submitted to the City of Surrey;

2. Financial Compensation

All eligible tenants will receive financial compensation equivalent to three months' rent to assist with relocation costs. Compensation will be provided in the form of a lump sum payment, free rent, or a combination, at the tenant's discretion. The owner intends to provide lump sum payments within ten business days from the day the tenant vacates their unit.

3. Relocation Assistance

After the development application has been approved (3rd Reading), the Relocation Specialist will initiate one-on-one meetings with each eligible tenant to discuss the development process and conduct a tenant needs survey (appendix-E).

Following the one-on-one meetings, an individualized relocation plan tailored to each tenant will be developed. Tenants will be provided with three housing options comparable in size, location and rent amount (unless otherwise agreed to by the tenant).

In addition, the owner will assist vulnerable tenants with the coordination of government programs such as BC Housing and other not-for-profit groups, letters of reference, and moving logistics.

4. Right of First Refusal

The right of first refusal will be provided to tenants living in the building at the time of the development application.

Tenants who wish to exercise their Right of First Refusal will work with the City of Surrey and the Owners of Brookmere Gardens Inc. to determine the suitable suite type based on the National Occupancy Standard and availability. Monthly rent will be based on CMHC average rent, or current rent at their time of move-out, whichever is higher at the time of occupancy of the new building.

REPORTING

Updates will be provided to the city showing that the communication plan and tenant relocation plan have been implemented as outlined in this proposal (appendix-F).

APPENDIX-A: TENANT LETTERS



****THIS IS NOT A NOTICE TO VACATE****

June 23, 2020

To the Residents of Brookmere Gardens:

The owners of Brookmere Gardens are beginning a multi-year, two-phase process to redevelop the Brookmere Gardens property. As the project is in the pre-application stage, the timeline for redevelopment has not been established.

The property is currently comprised of nine buildings and 88 units. The proposed project will create 418 one, two, and three-bedroom rental units in line with the City of Surrey's Official Community Plan (OCP). For the first phase, the owners are applying to the City of Surrey to replace six of the nine existing buildings with new rental accommodations. When the first phase is complete, the owners expect to proceed with the second phase, which will include the replacement of the remaining three buildings.

Under the current concept, the following buildings will be affected by the first phase of redevelopment:

- 14880 108 Avenue
- 14896 108 Avenue
- 14906 108 Avenue
- 14889 107A Avenue
- 14899 107A Avenue
- 14909 107A Avenue

The following buildings will **NOT** be affected by the first phase of redevelopment:

- 14840 108 Avenue
- 14850 108 Avenue operating as 14854 108 Avenue
- 14849 107A Avenue

We understand that the unknowns associated with the potential redevelopment may be a cause for concern as you begin to think about your future living situation. The owners of Brookmere Gardens are committed to ensuring residents are kept up to date with the project status and to also help facilitate any necessary transitions in the future.

For tenants in buildings affected by the first phase of the proposed redevelopment, a number of measures will be implemented to ensure your transition is as smooth as possible. Once a development application has been submitted, and a development schedule is established, the owners plan to:

1. Work with tenants in the affected buildings to help them find alternate accommodations;
2. Compensate tenants in the affected buildings according to the Residential Tenancy Act and the City of Surrey Relocation Policy;
3. Provide compensation for moving expenses to those tenants that are moving offsite; and

Pacific Cove Properties / PacificCoveProperties.com
#200 - 1785 West 4th Avenue, Vancouver, BC V6J 1M2
T: 604.736.1866 / F: 604.736.1865



4. Offer the right of first refusal in the newly constructed buildings to tenants who were living in the affected buildings when permits were issued.

We expect that redevelopment will start at the earliest in Spring of 2022.

In the coming months, we will be reaching out to residents affected by the first phase of redevelopment to schedule an introductory meeting and conduct a tenant needs survey to gather information about your needs and preferences.

We thank you in advance for your cooperation and patience. If you have any questions regarding the proposed redevelopment, please contact your Relocation Specialist by emailing relocation@pacificcoveproperties.com.

Sincerely,

Susan Pallett
Resident Manager
Office: 604-582-1557
Brookmere Gardens



****THIS IS NOT A NOTICE TO VACATE****

Pacific Cove Properties / PacificCoveProperties.com
#200 - 1785 West 4th Avenue, Vancouver, BC V6J 1M2
T: 604.736.1866 / F: 604.736.1865



PACIFIC COVE
PROPERTIES



PACIFIC COVE
PROPERTIES

****THIS IS NOT A NOTICE TO VACATE****

March 8, 2021

To the Residents of Brookmere Gardens:

As you are aware, the owners of Brookmere Gardens are working through a redevelopment application for the Brookmere Gardens property.

As the project has evolved, the proposed redevelopment plan has been revised. It was originally anticipated that the redevelopment would be completed in two phases. The updated plan will eliminate the phased approach and will require all existing rental units to be vacant at the time of redevelopment.

We expect that redevelopment will start at the earliest in the Spring of 2022.

Residents should be advised that no official Notice to End Tenancy based on the redevelopment of this property will be issued unless the project is approved.

Under the new concept, all nine buildings and 88 units will be affected by the redevelopment, including:

- 14880 108 Avenue
- 14896 108 Avenue
- 14906 108 Avenue
- 14889 107A Avenue
- 14899 107A Avenue
- 14909 107A Avenue
- 14840 108 Avenue
- 14850 108 Avenue operating as 14854 108 Avenue
- 14849 107A Avenue

We understand that redevelopment may cause some concern with residents as you think about your future living situation. The owner of Brookmere Gardens will continue to provide updates on the project status to help keep you informed as you plan your transition.

In the near future, a Tenant Needs Survey will be sent out to eligible residents to gather information about needs and preferences for relocation.

We thank you in advance for your cooperation and patience. If you have any questions regarding the proposed redevelopment, please contact your Relocation Specialist by calling 604.736.1866 or by emailing relocation@pacificcoveproperties.com.

Sincerely,
Candice Leslie
Relocation Specialist

Pacific Cove Properties / PacificCoveProperties.com
#200 - 1785 West 4th Avenue, Vancouver, BC V6J 1M2
T: 604.736.1866 / F: 604.736.1865



PACIFIC COVE
PROPERTIES



****THIS IS NOT A NOTICE TO VACATE****

Pacific Cove Properties / PacificCoveProperties.com
#200 - 1785 West 4th Avenue, Vancouver, BC V6J 1M2
T: 604.736.1866 / F: 604.736.1865



PACIFIC COVE
PROPERTIES

APPENDIX-B: REDEVELOPMENT ADDENDUM



PACIFIC COVE
PROPERTIES

REDEVELOPMENT ADDENDUM

This Addendum to the Residential Tenancy Agreement dated _____ (the "Lease")
is made on the _____ of _____ 2021.

BETWEEN

PACIFIC COVE PROPERTY MANAGEMENT as agent for **BROOKMERE GARDENS INC.**

(the "Landlord")

AND

(the "Tenant")

WHEREAS:

1. The Tenant is renting suite number _____ (the "Unit") located at _____
(the "Property").
2. The Landlord of the said Property proposes to demolish the existing building and to construct a new building
on the same site (the "Construction").

THEREBY it is a strict condition of the Landlord entering into this Lease that the Tenant acknowledges and agrees
their tenancy will terminate upon expiry of the term of Lease and the Unit shall be vacated and surrendered to
the Landlord in accordance with the terms and conditions of the Lease.

It is further clearly understood and agreed:

- i. construction of the Property is at the sole discretion of the Landlord and is subject to all necessary approvals
from the City of Surrey, British Columbia; and
- ii. the Tenant shall not be entitled to any compensation from the Landlord as a result of the termination of the
Lease; and
- iii. if there are any delays by the Tenant in vacating the Unit and/or the Property on the Termination Date of the
Lease, the Landlord reserves the right to remove and discard of any Tenant belongings left within the Unit or
upon the Property. The Tenant shall be liable to immediately pay to the Landlord any costs the Landlord
incurred for such removal.

In the case of conflict between the provisions of this Addendum and any other provisions of the Lease, the
provisions of this Addendum shall govern.

This Addendum is incorporated and forms part of the terms into the Lease executed or renewed this day between
the Landlord and Tenant.



(Tenant Signature) (Date)

(Tenant Signature) (Date)

(Landlord or Authorized Agent Signature) (Date)

Pacific Cove Properties / PacificCoveProperties.com
#200 - 1785 West 4th Avenue, Vancouver, BC V6J 1M2
T: 604.736.1866 / F: 604.736.1865



APPENDIX-C: SAMPLE NOTICE – MEETINGS & PUBIC HEARING DATES

****THIS IS NOT A NOTICE TO VACATE****

To the Residents of Brookmere Gardens:

As you are aware, the owners of Brookmere Gardens are working through a redevelopment application for the Brookmere Gardens property located at 14840, 14850, 14880, 14896, 14906 108 Avenue, and 14889, 14899, 14909, 14849 107A Avenue (see Figure 1)

As a courtesy, we wanted to advise you that there will be a **MEETING INFORMATION** to consider the proposed redevelopment. The meeting is a City of Surrey application requirement and is a standard part of the development and rezoning permit process.

The meeting is currently scheduled for **DATE, at TIME at LOCATION**.

We will continue to provide you with updates as they become available.

This notice is a courtesy and does not represent a notice to end tenancy.

If you have any questions regarding the proposed redevelopment, please contact your dedicated Relocation Specialist by emailing relocation@pacificcoveproperties.com or by calling 604.736.1866 x 247.

Sincerely,
Candice Leslie
Relocation Specialist

T. 604.736.1866 Ext: 247
E: candice@pacificcoveproperties.com

FIGURE 1





APPENDIX-D: SAMPLE NOTICE - TENANT RELOCATION PLAN INFORMATION

DATE

To the Residents of Brookmere Gardens:

As you are aware, the owners of Brookmere Gardens are working through a redevelopment application for the Brookmere Gardens property. The redevelopment of this property will require the relocation of current tenants.

Our goal is to provide support to affected tenants to transition smoothly with as little financial pressure as possible. In keeping with the City of Surrey's Tenant Assistance Policy, eligible tenants will receive:

1. financial compensation equivalent to 3 months rent;
2. at least four months' notice before ending tenancy;
3. the right of first refusal to move into the new building

A dedicated Relocation Specialist has been assigned to help find appropriate housing, including identifying three comparable suites as similar to your current accommodation as possible. When assisting tenants in finding suitable housing, factors pertaining to individual tenants, such as the ability to pay, household size, and presence of pets, will be taken into consideration.

If you require relocation assistance, please select your top three meeting time preferences in priority sequence to conduct a tenant needs assessment. Meeting time preferences can be sent via email to relocation@pacificcoveproperties.com. If you do not indicate that you would like relocation assistance by **DATE**, it will be assumed that it is not required. You will still receive monetary compensation if you qualify under the policy.

1. **DATE & TIME**
2. **DATE & TIME**
3. **DATE & TIME**
4. **DATE & TIME**
5. **DATE & TIME**

For further information regarding this Tenant Relocation Plan, please contact your dedicated relocation specialist by emailing relocation@pacificcoveproperties.com or by calling 604.736.1866 x 247.

Sincerely,
Candice Leslie
Relocation Specialist

T. 604.736.1866 Ext: 247
E: candice@pacificcoveproperties.com



APPENDIX-E: TENANT NEEDS SURVEY

This survey is being sent to you because your residence is going through a redevelopment process. **This is not a notice to end tenancy.**

Contact and General Information

Name(s) on Tenancy Agreement: _____

Full Address (including unit #): _____

Tenancy Start Date: _____

Phone Number: _____ Email Address: _____

Alternate Contact (roommate/partner): _____

Phone Number: _____ Email Address: _____

I do not want to fill out this survey:

Continue with survey

Decline Survey

By not filling out this survey, you may be giving up your right to relocation assistance (Section 1) and potential additional assistance if you are low income or face additional barriers to securing housing (Section 2). However, you will still receive monetary compensation, if you are eligible under the policy.

Tenant Name (Print) Tenant Signature Date

Tenant Name (Print) Tenant Signature Date



SECTION 1: Relocation Needs and Preferences

Do you want help finding new accommodation: Yes No

If yes, please provide your needs and preferences for the following.

The number of residents in your households (including yourself): _____

Age of residents in your household (including yourself): _____

Type of suite/bedrooms required: Studio 1-bed 2-bed 3-bed

Maximum monthly rent you can afford: _____

30% of your household's monthly income before taxes, unless you are able and willing to spend more.

Do you have any pets? Yes No

If yes, how many and what type/breed? _____

Neighbourhood(s) preference: _____

Please describe any other needs or preferences (e.g. proximity to schools or transit): _____

SECTION 2: Additional Assistance or Support

Do you or someone in your household need a wheelchair accessible unit? Yes No

An accessible unit has a building entrance ramp, minimum door widths of 860 mm, and lever-operated handles.

Do you need help with moving due to mobility or physical challenges? _____

Do you have dependents in your household? Yes No

e.g. children under the age of 19 or individuals such as an elderly parent who you are the primary caregiver of

If yes, please specify how many dependents and age: _____

What is your current gross household income? _____

This information will be used to help determine eligibility for other income assistance and the level of assistance required when finding alternate accommodation.

Are there other factors that we should know about that may affect your move or alternate accommodation?

Tenant Name (Print) Tenant Signature Date

Tenant Name (Print) Tenant Signature Date



APPENDIX-F: TENANT RELOCATION REPORT

TENANT DETAILS				RELOCATION ASSISTANCE			RELOCATION DETAILS		RETURNING TENANTS NEW DEVELOPMENT		
Unit #	Tenant Name	Contact Info	Unit Size	Compensation (\$)	Right of First Refusal (Y/N)	Move-out Date	Relocation Assistance Summary	Additional Support Summary	Unit #	Unit Type	Rent