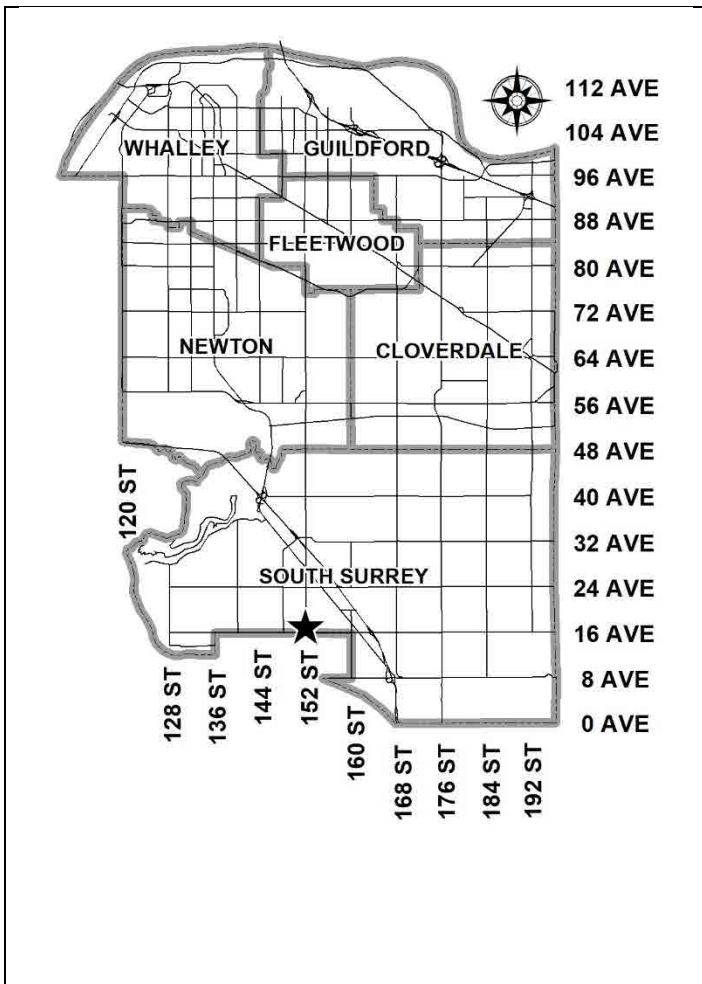


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

Application Nos.: 7919-0285-00 &  
 7919-0285-01

Planning Report Date: June 24, 2024



**PROPOSAL:**

- **Rezoning** from C-8 and CD to CD
- **General Development Permit**
- **Detailed Development Permit**
- **Development Variance Permit**

to permit the development of a mixed-use development consisting of two high-rise mixed-used towers (both 20 storeys) and one mixed use mid-rise tower (12 storeys).

**LOCATION:**

1711 152 Street (From 1601 - 152 Street to 1715 - 152 Street, 1767 - 152 Street, 15105 - 16 Avenue, 15177 - 16 Avenue, 1776 Martin Drive)

1797 152 Street

15150 18 Avenue

**ZONING:**

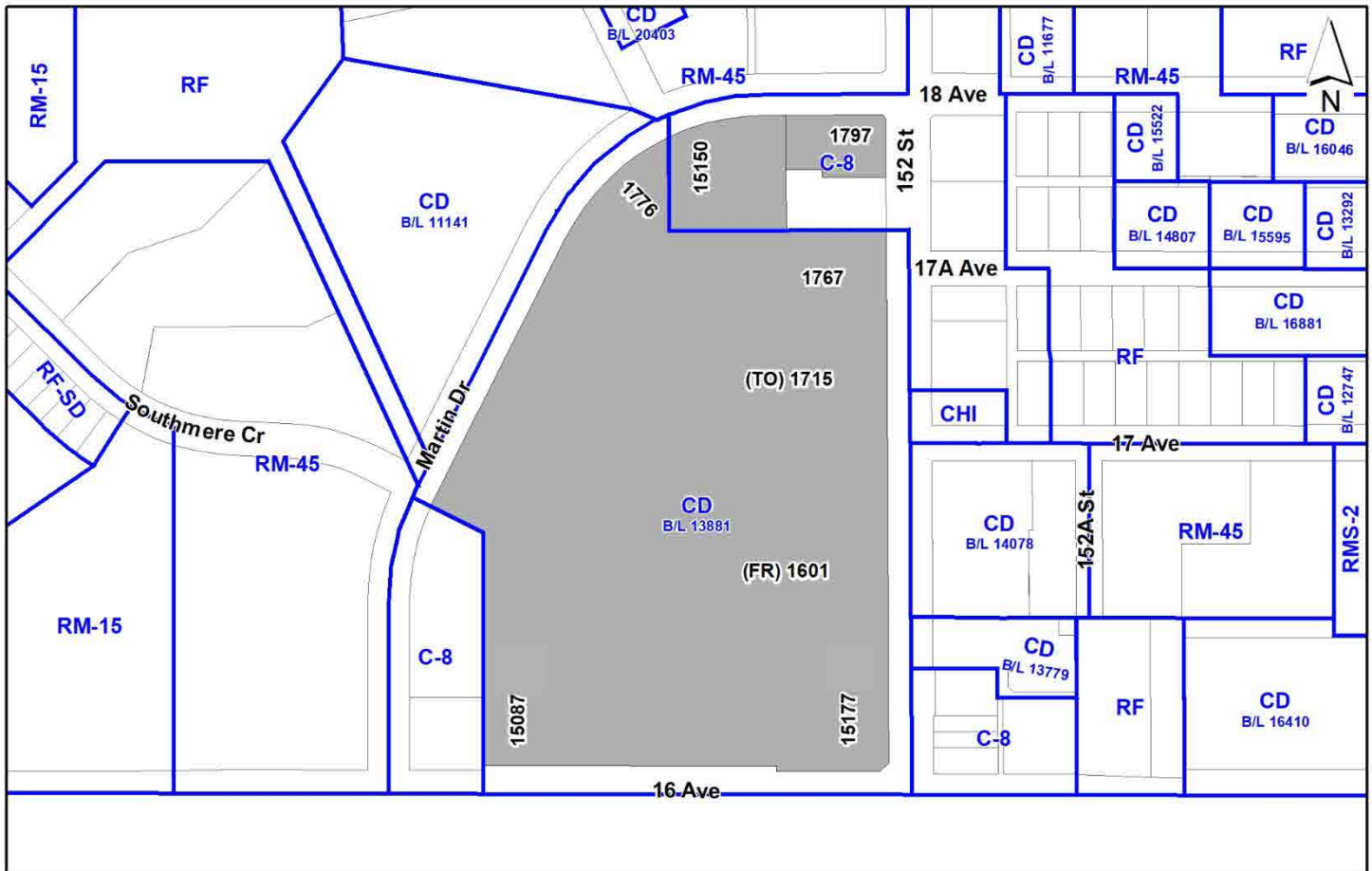
C-8 and CD

**OCP DESIGNATION:**

Town Centre

**TCP DESIGNATION:**

High-Rise Mixed Use and Mid-Rise Mixed Use



## RECOMMENDATION SUMMARY

- Rezoning Bylaw to proceed to Public Notification. If supported the Bylaw will be brought forward for First, Second and Third Reading.
- Approval to draft a General Development Permit for Form and Character.
- Approval to draft a Detailed Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.
- Requested endorsement of the proposed Master Plan for the remainder of the mall site.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking to defer the works and services requirements of the Subdivision & Development By-law, 1986, No. 8830, for the remainder of the Semiahmoo mall site at 1711 – 152 Street.

## RATIONALE OF RECOMMENDATION

- The proposal complies with the Town Centre designation in the Official Community Plan (OCP).
- In accordance with changes to the Local Government Act, Section 464, under Bill 44 (2023) a Public Hearing is not required for the subject rezoning application as the proposed rezoning is consistent with the Official Community Plan (OCP). As such, Council is requested to endorse the Public Notification to proceed for the proposed Rezoning By-law. The Rezoning By-law will be presented to Council for consideration of First, Second, and Third Reading, after the required Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the By-law readings.
- The proposal complies with the High-Rise Mixed Use and Mid-Rise Mixed Use designations in the Semiahmoo Town Centre Plan (TCP).
- The proposed density and building form are appropriate for this part of the Semiahmoo Town Centre. The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The proposed building setbacks achieve a more urban, pedestrian streetscape in compliance with the Semiahmoo Town Centre Plan (TCP) and in accordance with the Development Permit (Form and Character) design guidelines in the OCP.
- The applicant will provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects Community Amenity Contributions (CACs) in support of the requested increased density on the site, in accordance with the density bonusing provisions in the Semiahmoo Town Centre Plan.

- The proposed development includes an approximately 1,060 square metre two-floor unit in the southern portion of the base of Tower 2 which is proposed to become a City-owned community art space. This supports the Semiahmoo Town Centre Plan's goal of providing an approximately 930 square metre (10,000 square feet) art studio space for community and professional art making.
- The proposed buildings achieve an attractive architectural built form, which utilizes high quality materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposed development is Phase 1 of a larger long-term redevelopment concept for the Semiahmoo Mall site. The applicant is seeking a Detailed Development Permit for Tower 1 and a General Development Permit for Towers 2 and 3. The applicant is also seeking endorsement of a Master Plan which demonstrates the future development intent on the rest of the Semiahmoo Mall site. The density and form and character proposed in the Master Plan are generally consistent with the Semiahmoo Centre Plan. The applicant anticipates redevelopment of the mall site to be a longer term proposition – only the three towers currently proposed on the north part of the site are proposed in the short term.
- The proposed variance to waive (or defer) Works and Services for the remainder of the mall site is appropriate given the anticipated long term redevelopment of the mall site. As part of the subject application, the applicant is required to register a Section 219 No-Build Restrictive Covenant on the remainder mall parcel, identifying that no additional floor area is permitted on the remainder lot until such time as the road dedications, works and services and park site are provided.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. Council endorse the Public Notification to proceed for a Bylaw to rezone the properties at 1797 – 152 Street and 15150 – 18 Avenue from "Community Commercial Zone (C-8)" and a portion of the subject site as shown as Block A on the attached Survey Plan (Appendix I), from "Comprehensive Development Zone (CD)" (Bylaw No. 13881) to "Comprehensive Development Zone (CD)".
2. Council authorize staff to draft General Development Permit No. 7919-0285-00 for Towers 2 and 3 generally in accordance with the attached drawings (Appendix I).
3. Council authorize staff to draft Detailed Development Permit No. 7919-0285-01 for Tower 1 generally in accordance with the attached drawings (Appendix I).
4. Council approve Development Variance Permit No. 7919-0285-00 (Appendix VI) varying the following, to proceed to Public Notification:
  - (a) to waive the requirement of the Surrey Subdivision and Development By-law, 1986, No. 8830 to provide works and services on the remainder of the Semiahmoo Mall site at 1711 – 152 Street.
5. Council endorse the Master Plan concept for the remainder of the mall site shown as Appendix V.
6. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (f) the applicant provide a density bonus amenity contribution consistent with the Tier 2 Capital Projects CACs in support of the requested increased density (which will support the delivery of a Parks, Recreation and Culture indoor amenity space), to the satisfaction of the General Manager, Planning and Development Department;

- (g) completion of an option to purchase or alternative form of agreement for the City to secure the proposed indoor public community art space in Tower 2, to the satisfaction of the General Manager, Parks, Recreation and Culture Department;
- (h) provision of cash-in-lieu contribution to satisfy the indoor amenity space requirement of the RM-135 Zone, at the rate in effect at the time of Final Adoption;
- (i) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
- (j) submission of an acoustical report for the units adjacent to 152 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
- (k) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture and with respect to the City's Affordable Housing Strategy and Tier 1 Capital Project CACs, to the satisfaction of the General Manager, Planning & Development Services;
- (l) registration of a statutory right-of-way identifying future public road alignments and the park site on the remainder mall parcel;
- (m) registration of a Section 219 No-Build Restrictive Covenant on the remainder mall parcel, identifying that no additional floor area is permitted on the remainder mall lot until such time as the road dedications, works and services and park site are provided;
- (n) amendment to the existing easements and restrictive covenant on title, namely, the Access and Parking Easement (including provision of ultimate access arrangement for the McDonalds site at 1789 – 152 Street), Storm Drainage Easement, Water System Easement and Building Restrictive Covenant that are associated with both the First Capital and McDonalds lands located at 1789 - 152 Street, 1797 - 152 Street, and 15150 - 18 Avenue;
- (o) registration of a shared access easement between proposed Lots 2 and 3 for access and shared use of the proposed underground shared parking facility; and
- (p) provision of an Approval in Principle from the Ministry of Environment with respect to any possible soil contamination at the existing Chevron gas station located at 1776 Martin Drive.

**SITE CONTEXT & BACKGROUND**

Direction	Existing Use	TCP Designation	Existing Zone
Subject Site	Semiahmoo Mall, Chevron gas station, commercial businesses	High-Rise Mixed Use, Mid-Rise Mixed Use	C-8 and CD (Bylaw No. 13881)
North (Across 18 Avenue and Martin Drive):	3- and 4-storey apartment buildings, firehall, police station, Semiahmoo Library	Low-Rise Residential and Civic	RM-45
East (Across 152 Street):	Commercial business	High-Rise Mixed Use	C-8
South:	Semiahmoo Mall and McDonalds	High-Rise Mixed Use	CD (Bylaw No. 13881)
West (Across Martin Drive):	4-storey apartment buildings	Low-Rise Residential	CD (Bylaw No. 11141)

**Context & Background**

- The subject site includes 2 smaller parcels located at 1797 – 152 Street, 15150 – 18 Avenue and the large Semiahmoo Mall parcel located at 1711– 152 Street. Only the north portion of the Semiahmoo Mall site is proposed for redevelopment at this time– the existing mall is being retained. The existing buildings at 1797 – 152 Street, 15150 – 18 Avenue and the Chevron gas station at 1776 Martin Drive are proposed to be demolished to allow for the proposed development. The development portion of the site has an area of 1.11 hectares (2.75 acres).
- The parcels are currently zoned "Community Commercial Zone" (C-8) and "Comprehensive Development Zone" (CD) (Bylaw No. 13881) and are designated Town Centre in the Official Community Plan (OCP) and High-Rise Mixed-Use and Mid-Rise Mixed-Use in the Semiahmoo Town Centre Plan (TCP).
- The subject site is bordered to the west and north (across Martin Drive and 18 Avenue) by 3- and 4-storey apartment buildings, a firehall, police station and Semiahmoo Library. To the east (across 152 Street) there are commercial business, and south of the site is the main Semiahmoo Mall building and also a McDonalds restaurant, which is on a separate lot.
- The applicant has provided a concept plan showing how the neighbouring McDonalds parcel at 1789 – 152 Street may feasibly redevelop, as the McDonalds parcel is surrounded by the lands owned by the applicant. Prior to final adoption, the applicant is required to amend the existing easements and restrictive covenants on title, namely, the Access and Parking Easement (including provision of ultimate access arrangement for the McDonalds site at 1789 – 152 Street), Storm Drainage Easement, Water System Easement and Building Restrictive Covenant that are associated with both the First Capital and McDonalds lands located at 1789 - 152 Street, 1797 - 152 Street, and 15150 - 18 Avenue.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant is proposing:
  - A rezoning from "Community Commercial Zone" (C-8) and "Comprehensive Development Zone" (CD) (Bylaw No. 13881) to "Comprehensive Development Zone (CD)" to allow for the development of a mixed-use development consisting of two high-rise mixed-used towers (both 20 storeys) and one mixed use mid-rise tower (12 storeys), containing market condo units and ground floor commercial space;
  - A Form and Character Detailed Development Permit for Tower 1 and a General Development Permit for Towers 2 and 3;
  - A Development Variance Permit to defer Works and Services for the remainder of the mall site; and
  - A Master Plan for the full mall site for Council endorsement.
- The 3 buildings proposed are as follows:
  - Tower 1 (Detailed Development Permit) is located along Martin Drive on Lot 1 and consists of a 12-storey mixed use tower which includes 168 residential dwelling units, and 801 square metres of ground floor commercial space.
  - Tower 2 (General Development Permit) is located along 18 Avenue on Lot 2 and consists of a 20-storey mixed-use tower which includes 206 residential dwelling units, and 2,263 square metres of ground floor and second floor commercial space, including a proposed City-owned community art space.
  - Tower 3 (General Development Permit) is located at the corner of 18 Avenue and 152 Street on Lot 3 and consists of a 20-storey mixed-use tower which includes 180 residential dwelling units, and 1,124 square metres of ground floor and second floor commercial space.
- In addition, the applicant is providing road dedication, and is proposing a subdivision that reconfigures the existing 3 parcels into 3 development parcels and the remainder mall lot.

### Proposed Variance

- The applicant is requesting the following variance:
  - to waive the requirement of the Surrey Subdivision and Development By-law, 1986, No. 8830 to provide works and services on the remainder of the Semiahmoo Mall site (1711 – 152 Street).

- The proposed variance to defer Works and Services for the remainder of the mall site is appropriate given the anticipated long term redevelopment time frame of the mall site. As part of the subject application, the applicant is required to register a Section 219 No-Build Restrictive Covenant on the remainder mall parcel, identifying that no additional floor area is permitted on the remainder mall lot until such time as the road dedications, works and services and park site are provided.

### Master Plan Concept

- The applicant has created a Master Plan for the entire Semiahmoo Mall site, which demonstrates the intended long-term development concept for the site.
- The Master Plan concept is to ultimately subdivide the remainder mall property into approximately 7 lots in order to develop a mixed-use, multiple residential and commercial development, consisting of multiple mid- and high-rise buildings, ground floor commercial space, along with a new public park space along Martin Drive. A Translink bus layover facility is also anticipated to be provided on the site, at a future date. The Master Plan corresponds with the Semiahmoo Town Centre Plan's designations and Building Height Strategy.
- The applicant anticipates redevelopment of the mall site to be a longer term proposition, as the applicant intends to operate the existing mall in the near term. Only the three towers currently proposed under this application on the north part of the site are proposed in the near term.
- The Master Plan also shows a future road concept which helps guide the statutory right-of-way plan identifying future road alignments and the park site on the remainder mall parcel, which is to be put on title through the subject application.
- Although a Master Plan is not legally binding, the applicant wishes to obtain Council's endorsement for the proposed overall concept. Therefore, the applicant is requesting that Council endorse the Master Plan concept attached as Appendix V.

	Proposed
<b>Lot Area</b>	
Gross Site Area of Phase 1:	12,196 sq.m.
Road Dedication for Phase 1:	4,603 sq.m.
Net Site Area of Phase 1:	7,593 sq.m.
<b>Number of Lots:</b>	3 lots
<b>Building Height:</b>	Tower 1 – 12 storeys, Towers 2 and 3 – 20 storeys each
<b>Floor Area Ratio (FAR):</b>	Total Net FAR = 5.99; Total Gross FAR = 3.73
<b>Floor Area</b>	
Residential:	42,097 sq.m.
Commercial:	4,189 sq.m.
Total:	46,286 sq.m.
<b>Residential Units:</b>	
Studio:	95
1-Bedroom:	270
2-Bedroom:	130
3-Bedroom:	59



	<b>Proposed</b>
Total:	554

**Referrals**

**Engineering:** The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

**School District:** The School District has advised that there will be approximately 47 school-age children generated by this development, of which the School District has provided the following expected student enrollment.

28 Elementary students at H.T. Thrift Elementary School  
 11 Secondary students at Semiahmoo Secondary School

(Appendix III)

Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Fall 2029.

**Parks, Recreation & Culture:** PRC has no concerns with the proposed development. The City is proposing to use the Tier 2 CAC contribution generated by this development to assist in acquiring a public community art space in Tower 2. An option to purchase or an alternative form of agreement to secure the proposed indoor community art space is required prior to final adoption. PRC will accept the open space component identified in the proposed Master Plan to be conveyed to the City in a subsequent phase of development.

The closest active park is Southmere Village Park, which includes walking paths and open space, and is 145 meters from the development site. The park includes natural areas.

**Surrey Fire Department:** No concerns.

**Advisory Design Panel:** The proposal was considered at the ADP meeting on January 11, 2024 and was supported. The applicant has resolved all of the outstanding items from the ADP review. Any additional revisions will be completed prior to Council’s consideration of Final Adoption of the rezoning by-law, to the satisfaction of the Planning and Development Department.

Ministry of Environment (Contaminated Sites):	The applicant is removing the existing Chevron gas station at 1776 Martin Drive, and is required to obtain Approval in Principle from the Ministry prior to final adoption.
City of White Rock:	No concerns with the proposed land use.

## Transportation Considerations

### Road Network and Infrastructure

- As part of the subject development, the applicant will be required to provide the following improvements:
  - Dedication of 20 metres and construction of an extension to Southmere Crescent to the City's local road standard;
  - Dedication of varying widths (10.0 metres to 12.0 metres) and construction for various roadways on the north portion of the existing mall site;
  - Dedication of approximately 3 metres in width along the frontage for the widening of Martin Drive and 18 Avenue; and
  - Dedication of approximately 3.5 metres in width along the frontage for the widening of 152 Street.

### Traffic Impacts

- As part of the Semiahmoo Town Centre Plan, an area-wide transportation impact assessment ("TIA") was conducted to assess cumulative traffic impacts of redevelopment of the TCP area and to inform the required transportation infrastructure improvements. Redevelopment of the subject site and the related site-generated traffic impacts were taken into account as part of the area-wide TIA. As a result, a site-specific TIA was not required as part of the subject application.
- According to industry standard rates, the proposal is anticipated to generate approximately 3 vehicle trips every minute in the peak hour.

### Transit

- The subject property is located within 300 metres of several bus stops on 16 Avenue and 152 Street, with several routes mostly within South Surrey and extending to North Surrey, Langley and Richmond.

### Access

- Access to the underground parking for Building 2 (on Lot 2) and Building 3 (on Lot 3) is proposed from 17A Avenue. A shared access easement will be required between these two lots. Access to the underground parking for Building 1 (on Lot 1) is proposed from 17A Avenue.

## Parkland

- In terms of park land, the City is not seeking any parkland as part of the current proposed application. Parks will accept the open space component identified in the proposed Master Plan to be conveyed to the City in a subsequent phase of development.
- However, Parks is seeking to provide an indoor community art space in this location, and, as a requirement of final adoption, an option to purchase agreement will be completed for the proposed indoor community art space in Tower 2.

## Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

## POLICY & BY-LAW CONSIDERATIONS

### Regional Growth Strategy

- The subject property is designated General Urban in the Regional Growth Strategy (RGS). The proposed development complies with the General Urban RGS designation.

### Official Community Plan

#### Land Use Designation

- The proposal complies with the subject site's Town Centre designation within the Official Community Plan (OCP).

#### Themes/Policies

- The proposed development complies with the following themes and policies in the OCP (staff comments are in italics):
  - A1.1 – Support compact and efficient land development that is consistent with the Metro Vancouver *Regional Growth Strategy (RGS) (2011)*.  
  
*(The proposed development complies with the RGS designation.)*
  - A4.2 – Encourage the full and efficient build-out of existing planned urban areas in order to:
    - provide housing options.  
  
*(The proposed development will provide apartment living options and therefore diversify the housing options in the Semiahmoo Town Centre Plan area.)*
  - B2.14 – Encourage underground parking and provide landscaped open spaces and pedestrian environments in place of surface parking.

*(The required residential parking is proposed to be underground.)*

- C1.2 – Encourage the development of more compact and efficient land uses and servicing systems, emphasizing infill and intensification in order to use existing infrastructure systems efficiently and to minimize the costs of new utility infrastructure.

*(The proposed development is of a sufficient density to utilize transit and existing infrastructure efficiently and is located on an infill site.)*

## Secondary Plans

### Land Use Designation

- The Phase one of the subject site is designated “Mid-Rise Mixed-Use” on the western portion and “High-Rise Mixed-Use” on the eastern portion in the Semiahmoo Town Centre Plan (TCP). These designations both permit a base density of 2.5 Floor Area Ratio (FAR). The applicant proposes an overall gross density of 3.73 FAR, which complies with the designations, as density bonusing is permitted in the Semiahmoo TCP.
- The proposal also complies with Building Height Strategy of the Semiahmoo TCP, as the three buildings are proposing heights of 12-storeys, 20-storeys, and 20-storeys for Towers 1-3, respectively.

### Themes/Objectives

- The proposed development is consistent with several Semiahmoo TCP goals, policies, and design guidelines, including:
  - *Building Height*: The buildings are in keeping with the Building Height Strategy.
  - *Family-Oriented Housing*: The applicant proposes approximately 32% of units as 2 or more bedrooms, including 11% as three or more bedrooms, exceeding the Family-Oriented Housing policy.
  - *Transportation Strategy*: The applicant is providing the road dedications identified in the Semiahmoo TCP.
  - *Cultural Facilities*: The applicant is proposing to provide approximately 1,060 square metres of indoor public community art space in the base of Tower 2.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation, as described in the Community Amenity Contribution section of this report.

## CD By-law

- The applicant proposes to rezone the subject site from "Single Family Residential Zone (RF)" and "Comprehensive Development Zone (CD)" to "Comprehensive Development Zone (CD)" (based upon the "Neighbourhood Commercial Zone (C-5)" and "Multiple Residential 135 Zone (RM-135)" in order to allow for the proposed mid-rise and high-rise mixed-use development.

- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-135 Zone, C-5 Zone and proposed CD Bylaw are illustrated in the following table:

Zoning	C-5 Zone (Part 35)	RMC-135 Zone (Part 25)	Proposed CD Zone
<b>Permitted Uses:</b>	<ul style="list-style-type: none"> <li>• Retail uses</li> <li>• Personal service uses</li> <li>• General service uses</li> <li>• Eating establishments (excluding drive-through restaurants)</li> <li>• Neighbourhood pub</li> <li>• Office uses</li> <li>• Indoor recreational facilities</li> <li>• Community services</li> <li>• Child care centres</li> <li>One caretaker unit</li> </ul>	<ul style="list-style-type: none"> <li>• Multiple unit residential buildings and ground-oriented multiple unit residential buildings</li> <li>• Child care centres</li> </ul>	<ul style="list-style-type: none"> <li>• Multiple unit residential buildings and ground-oriented multiple unit residential buildings</li> <li>• Retail stores, excluding adult entertainment stores, auction houses, and second-hand stores and pawnshops;</li> <li>• Personal service uses excluding body rub parlours</li> <li>• General service uses excluding funeral parlours, drive through banks and vehicle rentals</li> <li>• Eating establishments (limited to 150 sq. m.) and excluding drive-through restaurants</li> <li>• Liquor store</li> <li>• Office uses excluding social escort services, methadone clinics and marijuana dispensaries</li> <li>• Indoor recreational facilities excluding a gymnasium</li> <li>• Community services</li> <li>• Child care centres</li> <li>• Cultural uses</li> </ul>
<b>Floor Area Ratio (Net Density):</b>	0.50	2.50	Block 1: 4.79 Block 2: 6.05 Block 3: 7.75
<b>Lot Coverage:</b>	50%	33%	Block 1: 75% Block 2: 72% Block 3: 66%

<b>Yards and Setbacks</b> <b>North:</b> <b>East:</b> <b>South:</b> <b>West:</b>	7.5 metres 7.5 metres 7.5 metres 7.5 metres	7.5 metres or 50% of the building height	<b>Block 1:</b> North/West (Martin Dr): 4.5 metres East: 4.5 metres South: 3.0 metres <b>Block 2:</b> North (18 Ave): 4.5 metres East: 0.0 metres South: 4.5 metres West: 4.5 m <b>Block 3:</b> North (18 Ave): 4.5 metres East (152 St): 3.0 metres South: 0.0 metres West: 11.3 metres
<b>Principal Building Height:</b>	9 metres	N/A	Block 1: 45.5 metres Block 2: 72.5 metres Block 3: 74.0 metres
<b>Amenity Space</b>			
Indoor Amenity:	N/A	3 sq.m. per unit up to 557 sq.m. (186 units) and 1 sq.m. per unit for units above 186 units)	Block 1: The proposed 281 sq.m. and CIL meets the requirements. Block 2: The proposed 321 sq.m. and CIL meets the requirements. Block 3: The proposed 233 sq.m. and CIL meets the requirements.
Outdoor Amenity:	N/A	3 sq.m. per unit	Block 1: The proposed 675 sq. m. exceeds the requirement. Block 2: The proposed 636 sq. m. exceeds the requirement. Block 3: The proposed 1,023 sq. m. exceeds the requirement.
<b>Parking (Part 5)</b>		<b>Required</b>	<b>Proposed</b>
<b>Number of Stalls</b>			
Commercial:		127	127
Residential:		762	763
Residential Visitor:		111	111
Total:		1,000	1,001
<b>Bicycle Spaces</b>			
Residential Secure Parking:		665	689
Residential Visitor:		18	18

- The accessory commercial uses proposed in the CD Zone largely reflect the uses of the C-5 Zone with the main difference being that the neighbourhood pub use is not proposed in the CD Zone, and personal services are not limited as they are in the C-5 Zone. Liquor store use is added, and eating establishments are limited to a maximum floor area of 1,070 square metres.
- The CD Zone proposes a higher net floor area ratio (FAR) with Block 1 at 4.79, Block 2 at 6.05, and Block 3 at 7.75, as compared to the 2.50 FAR permitted under the RM-135 Zone. As this is a Town Centre location, FAR is permitted to be measured on a gross basis for density bonus

purposes, and the gross FAR of Block 1 is 2.80, Block 2 is 4.09 and Block 3 is 6.55. The overall gross FAR of the three blocks is 3.73 FAR, and the overall net FAR of the three blocks is 5.96. The proposed FAR is in keeping with the site's "High-Rise Mixed Use" and "Mid-Rise Mixed-Use" designations in the Semiahmoo TCP, which allow bonus density.

- The maximum lot coverage has been increased from 33% in the RM-135 Zone to a maximum of 74% for Block 1, 71% for Block 2 and 65% for Block 3 in the CD Bylaw to accommodate the proposed built form.
- The RM-135 Zone requires the building setbacks to be 7.5 metres or a minimum of fifty percent (50%) of the building height, whichever is greater. The applicant is proposing reduced setbacks in the CD Bylaw which is supportable given that it allows for more active engagement with the street.
- The setbacks comply with the Semiahmoo Town Centre Plan along Martin Drive, 18 Avenue and 152 Street, with 4.5 metre setbacks to Martin Drive and 18 Avenue and 3.0 metre setbacks to 152 Street. A 3.0 metre setback is proposed along the south elevation of Tower 1, which faces the existing mall building. These setbacks allow for circulation and gathering space in front of the CRUs. There are a few places where a smaller setback is proposed, primarily at upper floors and at corner "pinchpoints", and these are reflected in the proposed CD Zone.

#### On-site Parking and Bicycle Storage

- The proposed development includes a total of 1,001 parking spaces consisting of 763 resident parking spaces, 111 parking spaces for visitors and 127 parking spaces for commercial uses. In addition, the applicant will provide 12 accessible parking spaces. The applicant is meeting the Zoning Bylaw parking requirements.
- All parking spaces on-site will be provided within enclosed underground parkades that are accessed from the new internal road south of Tower 1 and Tower 2. Towers 2 and 3 are proposed to share the same underground parkade and an access easement for the shared parkade is required prior to final adoption.
- The Zoning Bylaw requires that no parking facilities be constructed within 2.0 metres of the front lot line or a lot line along a flanking street. The underground parkades are proposed to be located at 0 metres of the various property lines in various places. As a result, the proposed CD Bylaw will permit the underground parkade facility to be placed at 0.0 metres of these lot lines.
- The development will provide a total of 689 secure bicycle parking spaces in the underground parkade. This will exceed the minimum bicycle parking stalls required under the Zoning Bylaw. In addition, the applicant will provide 6 bicycle parking spaces for each building, at grade for visitors, which complies with the Zoning Bylaw requirement.

### Capital Projects Community Amenity Contributions (CACs)

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan. A fee update was approved in April 2024, under Corporate Report No. Ro46; 2024.
- The proposed development will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Final Subdivision Approval. The current rate is \$2,227.85 per new unit.
- The proposed development will be subject to the Tier 2 Capital Plan Project CACs for proposed density greater than the Secondary Plan designation. The proposed development will be required to pay the rates that are applicable at the time of Final Adoption.

### Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects. A fee update was approved in April 2024, under Corporate Report No. Ro46; 2024, and the contribution is currently \$1,113.92 per unit.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.

### Public Art Policy

- The applicant will be required to provide public art, or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.

### PUBLIC ENGAGEMENT

- Pre-notification letters were sent on January 5, 2021, March 14, 2022 and updated again on September 12, 2023. Development Proposal Signs were installed on February 1, 2021 and updated on September 22, 2023. Staff received 22 phone calls, and 56 emails/letters over an approximately 4.5 year period. Of the 22 callers, 11 callers expressed concerns, and 11 callers expressed no concerns. Of the 56 emails/letters, 42 respondents expressed concerns and 14 respondents expressed no concerns about the proposal. Concerns raised included increased traffic, parking, pedestrian safety, building height and shadowing, construction impact, impacts on school and hospital capacity (*staff comments provided below in italics*).

*(The applicant is following the site's High-Rise Mixed-Use and Mid-Rise Mixed-Use designations within the Semiahmoo Town Centre Plan (TCP). The proposed 12-storey, 20-*



*storey and 20-storey buildings follow the Semiahmoo TCP's Building Height Strategy. A shadow plan is included in the architectural plans which shows the proposed shadow impact. Should the project be approved, the applicant will follow all the applicable construction bylaws.*

*As the proposed development complies with the Semiahmoo TCP, the applicant was not required to do a separate Traffic Impact Analysis (TIA), as a TIA was completed as part of the Semiahmoo TCP process – the Semiahmoo TCP was adopted by Council in January 2022. The applicant is providing road dedication along 152 Street, 18 Avenue and Martin Drive, and is also conveying road allowance within the mall site to support the proposal. In addition, a new full-movement traffic signal is proposed at Martin Drive/Southmere Crescent East. A new pedestrian traffic signal is also proposed further south on Martin Drive, which will enhance walkability and pedestrian safety. In terms of parking, the applicant is proposing to provide parking in accordance with the current Zoning Bylaw requirements.)*

- The subject development application was reviewed by the Semiahmoo Residents Association (SRA), and they provided comments, including (*staff comments in italics*):

- In March 2021, the SRA indicated they'd like more consultation than the two virtual Public Information Meetings (PIM) held in February 2021, and that the online format of the virtual meetings was not satisfactory.

*(During the Covid-19 pandemic, which occurred during the course of the subject application, public gathering restrictions were in place at various points in time, and staff sought to comply with Provincial orders regarding gatherings. Staff did a "walkabout" tour of the Semiahmoo Mall area with SRA members on June 11, 2021. Staff, the SRA and the applicant met on September 29, 2021 to review the SRA's concerns. An in-person PIM was held on December 6, 2023 as well, to update area residents and the SRA).*

- The proposed building heights are too tall and height and density should be significantly reduced to a maximum of 12 storeys for the subject proposal. The proposed heights should not interface with the 3- and 4-storey apartments on the north/west side of 18 Avenue/Martin Drive. Shadowing is a concern.

*(The proposed 12-, 20- and 20-storey building heights comply with the Semiahmoo TCP, which was adopted by Council in January 2022. A shadow plan is included in the architectural plans which shows the proposed shadow impact.)*

- With respect to the proposed Master Plan, it should allow for continuation of a small mall to act as an indoor community gathering place.

*(The applicant indicates the existing mall will be operating for the foreseeable future. The Master Plan proposed an indoor "Hub" gathering space, as well as outdoor plaza area, and a public park along Martin Drive.)*

- The Master Plan should have a clearer design character, that is unique to Semiahmoo Town Centre. An environmentally-friendly "green" theme should be emphasized in the Master Plan.

*(The proposed development meets the typical sustainable development criteria. The current design character is appropriate for this location. The form and character of the remainder of the mall site will be worked out through subsequent future land development applications.)*

- The SRA expressed a desire for the project to use mass timber construction.

*(The applicant prefers to use more conventional concrete construction at this time.)*

## Public Information Meetings

### February 23 and 25, 2021 Virtual PIMs

- The applicant held two virtual Public Information Meetings (PIM) during Covid on February 23, 2021 and February 25, 2021. The applicant created a website with project information, presentation boards and a “frequently asked questions” (FAQ) section in connection with the virtual PIMs. According to the Summary Report submitted by the applicant to the City, approximately 20 people attended the February 23, 2021 PIM and approximately 34 people attended the February 25, 2021 PIM. The main comments received were around: traffic, transit, parking and congestion, construction noise and timelines, additional civic amenities, school/police/fire/hospital capacity, building height and density, impact to existing mall, Semiahmoo Trail and pedestrian circulation. An indication of the number of questions and comments received is below:

Format	Number of questions/comments
Sent in via email or website	107
Received during February 23, 2021 PIM	36
Received during February 25, 2021 PIM	49
Sent in via phone call	10
Total	202

### December 6, 2023 In-Person PIM

- The applicant also more recently held an in person Public Information Meeting on December 6, 2023 at the Semiahmoo Mall. According to the Summary Report submitted by the applicant to the City, approximately 80 households signed in. The main comments received were very similar to the items mentioned at the February 2021 virtual PIMs.
- Interestingly, another common theme in the responses was a desire to see this project move forward, to provide more housing for the area. This was more commonly expressed at the December 6, 2023 PIM than in the February 2021 virtual PIMs.
- An indication of the number of questions and comments received is below:

Format	Number of questions/comments
Comment Sheets filled out at PIM	10
Sent in via email or website	18
Sent in via phone call	3
Total	31

## DEVELOPMENT PERMITS

### Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the Semiahmoo Town Centre Plan (TCP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the Semiahmoo Town Centre Plan (TCP).

- The applicant is seeking both a General Development Permit (for Towers 2 and 3) and a Detailed Development Permit (for Tower 1) as part of the current application. Future Detailed Development Permit applications are anticipated for Towers 2 and 3.
- The development proposal includes three mixed-use towers at 12, 20 and 20 storeys in height all accompanied by podiums with heights between 2 and 6 storeys on the north portion of the Semiahmoo Mall site (1711 – 152 Street) and at 1797 – 152 Street and 15150 – 18 Avenue.
- The total proposal consists of 554 dwelling units and 4,325 square metres of commercial floor space with an overall gross FAR of 3.73 and an overall net FAR of 5.99. The commercial space includes an approximately 1,060 square metre two-floor unit in the southern portion of the base of Tower 2 which is proposed to become a City-owned community art space. This supports the Semiahmoo Town Centre Plan’s goal of providing an approximately 930 square metre (10,000 square feet) art studio space for community and professional art making.
- The proposed site design starts to “open up” the mall site, as public roads are introduced in the proposed development area of the site. The proposal introduces street activating facades on Martin Drive, 18 Avenue and 152 Street, and also the internally facing south facades, which introduce a measure of vibrancy into the north portion of the existing mall site.
- The ground-floor commercial/retail units (CRUs) actively engage the streets and provide a strong urban edge and active street wall on Martin Drive, 18 Avenue and 152 Street. The ground floor of Towers 1 and 3 step back from the street at the northeast corner of both proposed lots to provide small plaza areas. Painted steel canopies with glazing help define the ground floor commercial units and provide weather protection.
- The three mixed-use towers have been positioned to maximize the tower separations within the site, while prioritizing site objectives of the applicant. Minimum recommended tower separations have been achieved between the towers or to all future and adjacent towers. The proposed tower building heights of 12 storeys and the two 20-storey towers complies with the Building Height Strategy of the Semiahmoo TCP. The proposed massing of the three buildings reflects a downward height transition from 152 Street, which is the main arterial in the Semiahmoo Town Centre Plan, towards the west, to the existing 3- and 4-storey apartment buildings.
- The proposed building façades reflects a contemporary and dynamic built form with particular attention given to tower and podium placement, building height, and street interface. The podiums below each residential tower have landscaped amenity roofscapes providing valuable outdoor green space and social gathering areas for occupants of the residential units above. Each tower features a distinguished design, offering distinctive characters that are simple and elegant, while providing for a common cohesive design theme.
- The proposed building materials include fiber cement panels (charcoal, white, sandstone, gray), brick (white and charcoal), horizontal aluminum fins (black), aluminum spandrel panels (charcoal), glazed spandrel panel (gray), laminate panel (walnut) and metal and glass guardrails. The proposed building forms adopt a modern architectural vocabulary, that, while distinctive, is compatible with the current high-rise typology in Surrey’s town centres.

Signage

- Signage for the commercial units is proposed under the weather canopy. The signage consists of channel letter fascia signage and also blade signage, in a design compatible with the architectural features of the building.
- The applicant is proposing to have a fascia sign identifying the building name near the main residential lobby entrance of each building.

Landscaping

## Ground Level:

- The landscape concept has been designed to respond to the urban core of the Semiahmoo Town Centre as an active, pedestrian-friendly space, oriented to people living, working, and recreating in the Town Centre. The overall design considers site circulation and incorporates an inclusive interface between the public and private realm.
- There is a ground level public plaza space at the northeast corner of Tower 1 and at the northeast corner of Tower 3. Both plaza areas provide tree planting, outdoor seating and a water feature. A smaller plaza area is also provided at the southwest corner of Tower 1. Seating and bicycle racks are provided along the street frontages, encouraging pedestrian and cycling activity.
- The individual ground-oriented residential units along Martin Drive in Tower 1 will have a small private patio enclosed by a privacy hedge, raised planter and/or privacy fence with layered planting that includes by-law size trees, small shrubs and low-lying groundcover.

## Upper levels:

- Landscaping is provided in the outdoor amenity areas on Level 7 of Tower 1, Levels 2 and 7 of Tower 2, Level 6 and the roof deck of Tower 3. Additional details regarding indoor and outdoor amenity areas are included in the sections below.

Indoor Amenity Space

- The total required indoor amenity space is 3 square metres per unit up to 557 square metres (186 units) and 1 square metre per unit for units above 186 units), as per the below table:

	Required Indoor Amenity Space	Proposed Indoor Amenity Space
Tower 1	504 sq.m.	281 sq.m.
Tower 2	560 sq.m.	321 sq.m.
Tower 3	540 sq.m.	233 sq.m.

- Each tower meets the minimum Zoning Bylaw requirements for physical indoor amenity space (186 square metres) and the applicant will provide cash-in-lieu of indoor amenity space for the total deficit at the rate in effect at the time of Final Adoption of the Rezoning By-law.

- Tower 1's indoor amenity space is located on the seventh floor, adjacent to the seventh floor outdoor amenity area on top of the podium. The indoor amenity space is divided into several areas and includes a large lounge area with kitchenette, a gym and meeting/workspace rooms.
- Tower 2's indoor amenity space is located on the second floor, adjacent to the second floor outdoor amenity area on top of the podium. The indoor amenity space is divided into several areas and includes a large lounge area with kitchenette, a gym and meeting/workspace rooms.
- Tower 3's indoor amenity space is located on the sixth floor, adjacent to the sixth floor outdoor amenity area on top of the podium. The indoor amenity space is divided into several areas and includes a large lounge area with kitchenette, a gym and meeting/workspace rooms.

#### Outdoor Amenity Space and Proposed Landscaping

- The total required outdoor amenity space is 3 sq.m. per unit, and each tower exceeds the minimum Zoning Bylaw requirements for outdoor amenity space, as per the below table:

	Required Outdoor Amenity Space	Proposed Outdoor Amenity Space
Tower 1	504 sq.m.	675 sq.m.
Tower 2	618 sq.m.	636 sq.m.
Tower 3	540 sq.m.	1,023 sq.m.

- Tower 1's outdoor amenity space is located on the seventh floor podium, adjacent to the seventh floor indoor amenity area. The outdoor amenity space contains landscaping, outdoor seating, a BBQ area, a lounge area and a children's play area.
- Tower 2's outdoor amenity space is located in two areas, on the third floor podium adjacent to the indoor amenity space, and on the seventh floor on the north side of the building. The third floor outdoor amenity space contains landscaping, outdoor seating, a BBQ area, and a yoga deck. The seventh floor outdoor amenity area contains a sunset lounge area and a children's play area.
- Tower 3's outdoor amenity space is located in two areas, on the sixth floor podium adjacent to the indoor amenity space, and on the building rooftop. The sixth floor outdoor amenity space contains landscaping, outdoor seating, a BBQ area, a sun deck and a flex use artificial turf area. The building rooftop outdoor amenity area contains landscaping, outdoor seating areas, a children's play area, and community garden plots with a gardening shed.

**TREES**

- Glenn Murray, ISA Certified Arborist of Froggers Creek Tree Consultants Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

**Table 1: Summary of Proposed Tree Preservation by Tree Species:**

<b>Tree Species</b>	<b>Existing</b>	<b>Remove</b>	<b>Retain</b>
<b>Deciduous Trees</b> (excluding Alder and Cottonwood Trees)			
Angelica	1	1	0
Crimson Maple King	1	1	0
Dogwood	2	2	0
Hornbeam	5	5	0
Japanese Maple	1	1	0
Linden	14	14	0
Purple Plum	1	1	0
Silver Maple	1	1	0
Southern Magnolia	1	1	0
Tulip	5	5	0
<b>Coniferous Trees</b>			
Black Pine	7	7	0
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>39</b>	<b>39</b>	<b>0</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>82</b>	
<b>Total Retained and Replacement Trees Proposed</b>		<b>82</b>	
<b>Green City Fund</b>		<b>N/A</b>	

- The Arborist Assessment states that there are a total of 39 mature trees on the site. There are no Alder and Cottonwood trees on the site. The applicant proposes to retain no trees as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a proposed total of 78 replacement trees on the site. The applicant is proposing 82 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees, including maples, spruce, magnolia, katsura and redbud.
- In summary, a total of 82 trees are proposed to be retained or replaced on the site.

## INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Block Plans, Site Plan, Proposed Subdivision Layout, Building Elevations, Landscape Plans and Perspective
- Appendix II. Engineering Summary
- Appendix III. School District Comments
- Appendix IV. Summary of Tree Survey, Tree Preservation and Tree Plans
- Appendix V. Master Plan
- Appendix VI. Development Variance Permit No. 7919-0285-00
- Appendix VII. ADP Comments and Written Response

*approved by Shawn Low*

Don Luymes  
General Manager  
Planning and Development

KB/ar

**SURVEY PLAN TO ACCOMPANY  
CITY OF SURREY ZONING BYLAW  
OVER PART OF LOT 2 EXCEPT PLANS LMP45557 AND BCP44800  
SECTION 15 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN 56401**

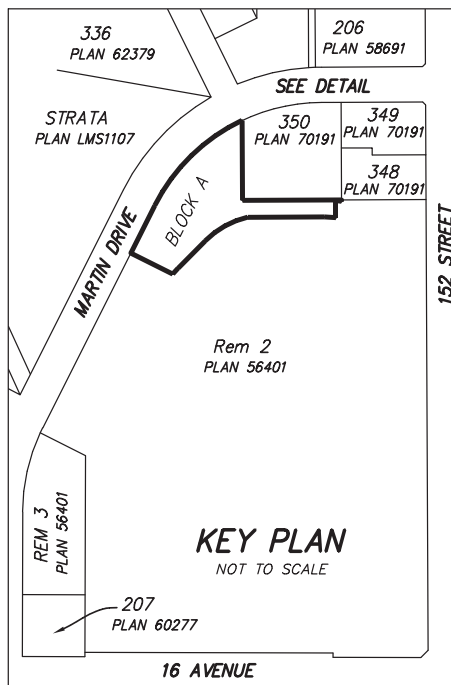
BCGS 92G.006

**NOTE:**

LEGAL BOUNDARIES ARE BASED ON LAND TITLE  
OFFICE RECORDS AND FIELD SURVEY

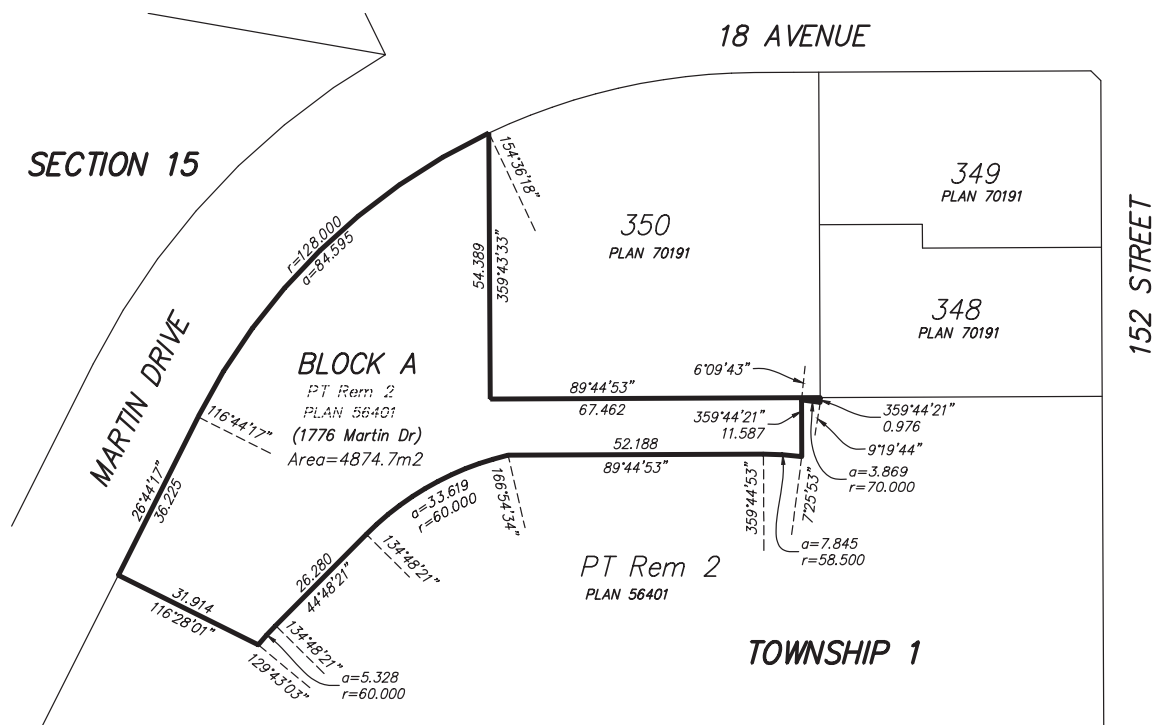
**BOOK OF REFERENCE**

ZONE	LEGAL DESCRIPTION	AREA
BLOCK A	PART OF LOT 2 SECTION 15 TOWNSHIP 1 NEW WESTMINSTER DISTRICT EXCEPT PLANS LMP45557 AND BCP44800 SECTION 15 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN 56401	4874.7m <sup>2</sup>



**SECTION 15**

**18 AVENUE**



**DETAIL**



ALL DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN  
IS 280mm IN WIDTH BY 432mm IN HEIGHT (B SIZE)  
WHEN PLOTTED AT A SCALE OF 1:1000

**APLIN & MARTIN**  
GEOMATICS LAND SURVEYING LTD.  
201, 12448 82nd AVENUE  
SURREY, BC V3W3E9 604-597-9189



CERTIFIED CORRECT THIS  
3th DAY OF MAY, 2024

G. A. HOL

BCLS



**SURVEY PLAN TO ACCOMPANY CITY OF SURREY ZONING BYLAW — — —  
OVER LOTS 349 and 350 PLAN 70191 AND PART OF LOT 2 PLAN 56401  
EXCEPT PLANS LMP45557 AND BCP44800  
BOTH OF SECTION 15 TOWNSHIP 1 NEW WESTMINSTER DISTRICT**

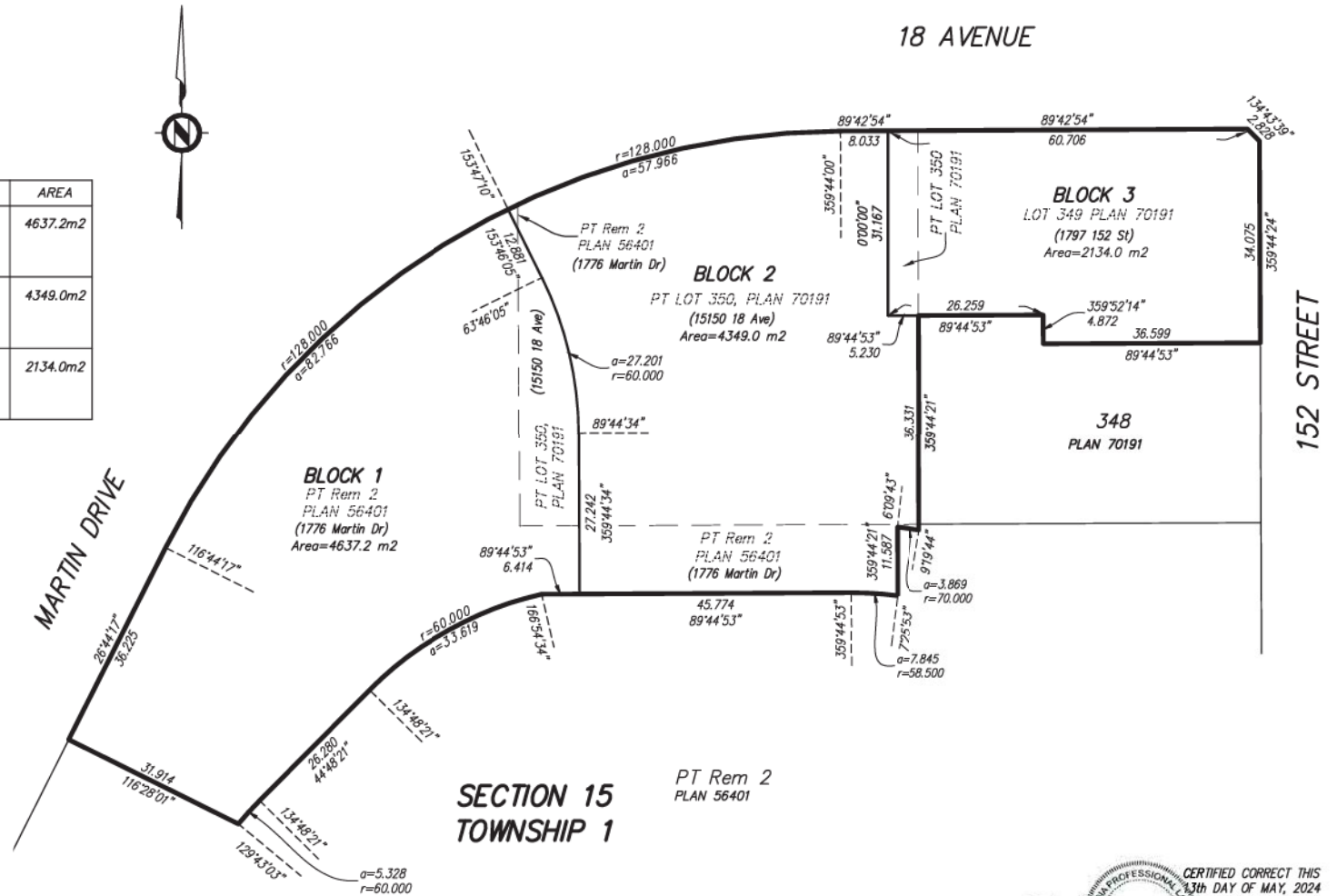
BCGS 92G.006

**NOTE:**

LEGAL BOUNDARIES ARE BASED ON LAND TITLE  
OFFICE RECORDS AND FIELD SURVEY

**BOOK OF REFERENCE**

BLOCK	LEGAL DESCRIPTION	AREA
1	PART OF LOT 2 PLAN 56401 SECTION 15 TOWNSHIP 1 NEW WESTMINSTER DISTRICT EXCEPT PLANS LMP45557 AND BCP44800 PART OF LOT 350 SECTION 15 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN 70191	4637.2m <sup>2</sup>
2	PART OF LOT 2 PLAN 56401 SECTION 15 TOWNSHIP 1 NEW WESTMINSTER DISTRICT EXCEPT PLANS LMP45557 AND BCP44800 PART OF LOT 350 SECTION 15 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN 70191	4349.0m <sup>2</sup>
3	PART OF LOT 350 SECTION 15 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN 70191 LOT 349 SECTION 15 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN 70191	2134.0m <sup>2</sup>



THE INTENDED PLOT SIZE OF THIS PLAN  
IS 432mm IN WIDTH BY 280mm IN HEIGHT (B SIZE)  
WHEN PLOTTED AT A SCALE OF 1:750

**APLIN & MARTIN**  
GEOMATICS LAND SURVEYING LTD.  
201, 12448 82nd AVENUE  
SURREY, BC V3W3E9 604-597-9189

CERTIFIED CORRECT THIS  
3<sup>rd</sup> DAY OF MAY, 2024  
GORDON ALBERT HOL  
NO. 646  
G.A. HOL BCLS

FILE - 19-1022-03 R05 BLOCK ZONING



# Semiahmoo Centre Redevelopment - Phase 1

Surrey, British Columbia

## OWNER

**First Capital Realty**  
85 Hannah Ave, Suite 400  
Toronto, Ontario  
M6K 3S3  
Tel.: 416 504 4114  
www.fc.ca

## ARCHITECTURAL

**Formosis Architecture**  
200 - 211 Columbia Street  
Vancouver, British Columbia  
V6A 2R5  
Tel.: 604 688 7582  
www.formosis.ca

## PLANNING / CIVIL

**Aplin & Martin Consultants**  
1680 - 13450 102nd Avenue  
Surrey, British Columbia  
V3T 5X3  
Tel.: 604 639 3456  
www.aplinmartin.com

## SURVEYOR

**Aplin Survey**  
1680 - 13450 102nd Avenue  
Surrey, British Columbia  
V3T 5X3  
Tel.: 604 639 3456  
www.aplinmartin.com

## CODE

**McAuley Consulting**  
116 - 119 W Pender Street  
Vancouver, British Columbia  
V6B 1S5  
Tel.: 778 834 6569  
www.mcauleyconsulting.ca

## STRUCTURAL

**Weiler Smith Bowers**  
118 - 3855 Henning Drive  
Burnaby, British Columbia  
V5C 5N3  
Tel.: 604 294 3755  
www.wsb-eng.com

## ELECTRICAL

**Nemetz & Associates Ltd.**  
2009 W 4th Avenue  
Vancouver, British Columbia  
V6J 1N3  
Tel.: 604 736 6562  
www.nemetz.com

## LANDSCAPE

**Perry + Associates**  
112 E Broadway  
Vancouver, British Columbia  
V5T 1V9  
Tel.: 604 738 4118  
www.perryandassociates.ca

## MECHANICAL

**AME Group**  
200 - 638 Smith Street  
Vancouver, British Columbia  
V6B 1E3  
Tel.: 604 366 6220  
www.AMEgroup.ca

## SITE SUMMARY

**CIVIC ADDRESSES:** 1789 152ND STREET, SURREY, BC.  
1797 152ND STREET, SURREY, BC.  
15150 18TH AVENUE, SURREY, BC.  
1601 152ND STREET, SURREY, BC.

**LEGAL DESCRIPTION:** LOTS 348 TO 350, PLAN 70191 AND PORTION OF THE LOT 2 PLAN 56401 EXCEPT PLAN LMP4557 AND BCP 44800 ALL OF SECTION 15 TOWNSHIP 1, N.W.D.

**USAGE:** RETAIL, RESIDENTIAL, PARKING,

**ZONING:** EXISTING: C8, CD  
PROPOSED: CD

## DRAWING INDEX

A000 COVER PAGE/ DRAWING LISTS  
A001 PROJECT DATA + STATISTICS  
A100 CONTEXT PLAN: EXISTING  
A101 CONTEXT PLAN: MASTERPLAN  
A102 CONTEXT PLAN: PHASE 01  
A103 SUBDIVISION PLAN  
A104 CONTEXT PHOTOS  
A105 SITE PHOTOS  
A106 URBAN DESIGN CONTEXT  
A107 URBAN DESIGN CONTEXT  
A108 DESIGN RATIONALE + SUSTAINABILITY  
A109 RENDERS  
A110 RENDERS  
A111 RENDERS  
A112 RENDERS  
A113 SHADOW STUDIES  
A151 PHASE 1 SITE PLAN  
A301 BUILDING 1: PARKING PLAN P5-P3  
A302 BUILDING 1: PARKING PLAN P2  
A303 BUILDING 1: PARKING PLAN P1  
A304 BUILDING 1: GROUND FLOOR PLAN  
A305 BUILDING 1: TOWNHOUSE L1 + RETAIL MEZZANINE PLAN  
A306 BUILDING 1: LOWRISE FLOOR PLAN L2  
A307 BUILDING 1: LOWRISE FLOOR PLAN L3-L5  
A308 BUILDING 1: LOWRISE FLOOR PLAN L6  
A309 BUILDING 1: LOWRISE FLOOR PLAN L7, AMENITY  
A310 BUILDING 1: TOWER FLOOR PLAN L8-L11  
A311 BUILDING 1: TOWER FLOOR PLAN L12  
A312 BUILDING 1: ROOF PLAN  
A321 BUILDING 2+3: PARKING PLAN P6  
A322 BUILDING 2+3: PARKING PLAN P5-P2  
A323 BUILDING 2+3: PARKING PLAN P1  
A324 BUILDING 2+3: GROUND FLOOR PLAN  
A325 BUILDING 2+3: RETAIL MEZZANINE PLAN  
A326 BUILDING 2+3: FLOOR PLAN L2; BUILDING 2 AMENITY  
A327 BUILDING 2+3: FLOOR PLAN L3-L5;  
A328 BUILDING 2+3: FLOOR PLAN L6; BUILDING 3 AMENITY  
A329 BUILDING 2: FLOOR PLAN L7; BUILDING 3: FLOOR PAN L7-17  
A330 BUILDING 2: FLOOR PLAN L8-L17; BUILDING 3: FLOOR PLAN L7-17  
A331 BUILDING 2+3: FLOOR PLAN L18-20  
A332 BUILDING 2+3: ROOF PLANS  
A401 BUILDING 1: SECTION  
A402 BUILDING 1: SECTION  
A403 BUILDING 1: SECTION  
A404 BUILDING 2: SECTION  
A405 BUILDING 2+3: SECTION  
A406 BUILDING 3: SECTION  
A451 WALL SECTIONS  
A501 PHASE 01 NORTH + SOUTH ELEVATION  
A502 PHASE 01 EAST + WEST ELEVATION  
A510 BUILDING 1: NORTH + SOUTH ELEVATIONS  
A511 BUILDING 1: EAST ELEVATION  
A512 BUILDING 1: WEST ELEVATION  
A513 BUILDING 1: NORTH-WEST ELEVATION  
A514 BUILDING 1: SOUTH-EAST ELEVATION  
A515 BUILDING 1: ENLARGED ELEVATIONS + MATERIAL BOARD  
A520 BUILDING 2: NORTH + EAST ELEVATIONS  
A521 BUILDING 2: SOUTH + WEST ELEVATIONS  
A522 BUILDING 2: ENLARGED ELEVATIONS + MATERIAL BOARD  
A530 BUILDING 3: NORTH + EAST ELEVATIONS  
A531 BUILDING 3: SOUTH + WEST ELEVATIONS  
A532 BUILDING 3: ENLARGED ELEVATIONS + MATERIAL BOARD  
A600 BUILDING 1: SIGNAGE  
A601 BUILDING 2: SIGNAGE  
A602 BUILDING 2: SIGNAGE  
A603 BUILDING 3: SIGNAGE  
A700 MISCELLANEOUS DETAILS



ISSUED FOR:  
REZONING /  
DEVELOPMENT PERMIT

DATE:  
DATE: JUNE 13, 2024

SET:  
SET No.: 01

FORMOSIS PROJECT No.:

**SEMIAHMOO CENTRE REDEVELOPMENT**  
Surrey, British Columbia

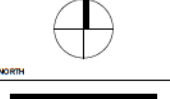
PROJECT STATISTICS

SEMIHMOO PROJECT STATISTICS May 3, 2024 LOT COVERAGE, SETBACKS, AREA SUMMARY. Table with columns for Zone, Existing, Proposed, and various area and setback metrics.

SEMIHMOO PROJECT STATISTICS May 3, 2024 UNIT SUMMARY, PARKING, AMENITY AREAS. Table with columns for PHASE 01, TOWER 1, TOWER 2, TOWER 3, and various unit and parking counts.

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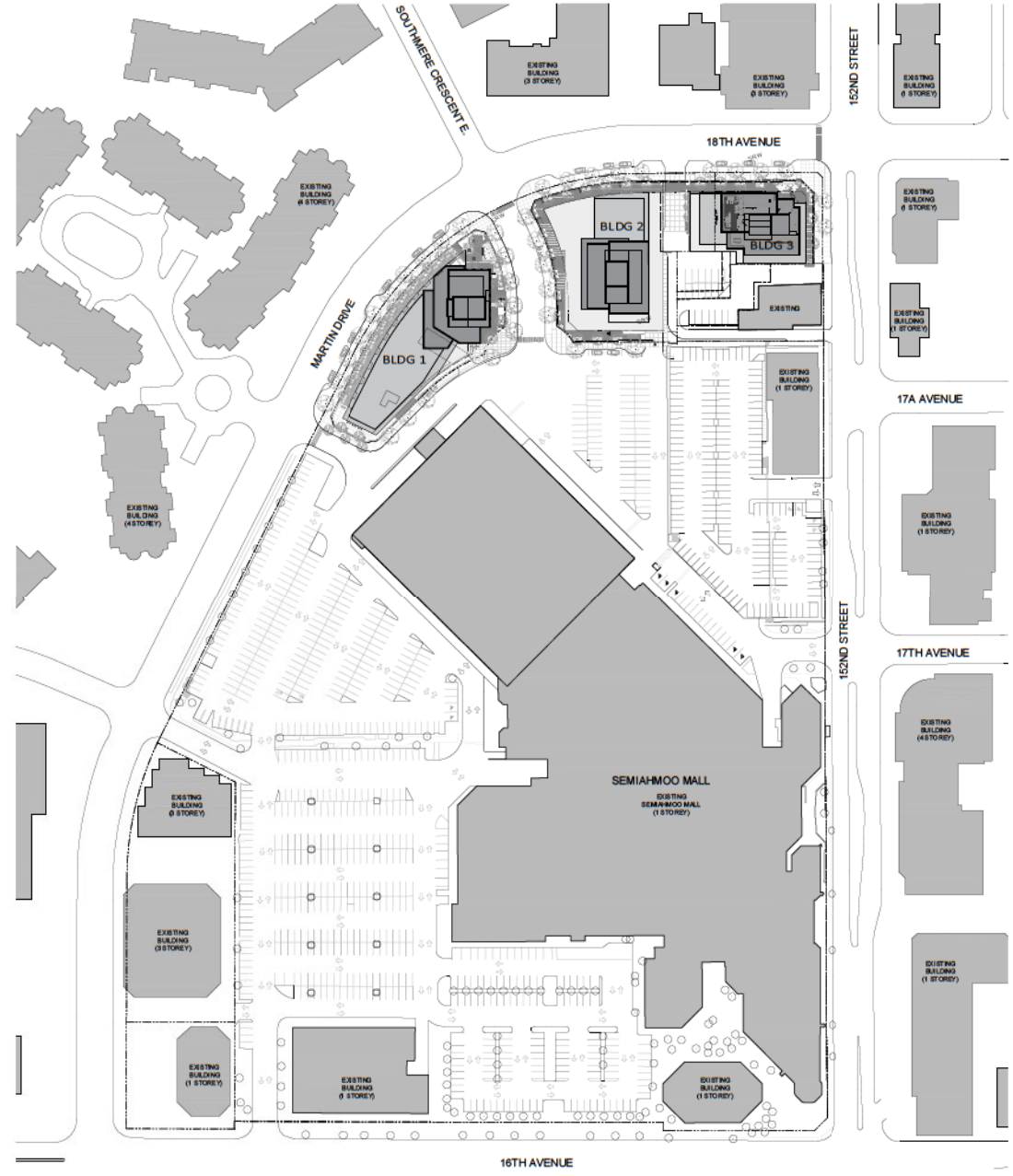
PRIME CONSULTANT

CONSULTANT

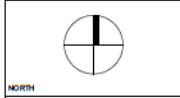
REAL

Table with columns: ID, DATE, RESPONSE TO DRG #, COMMENTS. Includes entries like 07 18/03/2024 ADP RESPONSE 02 and 01 10/02/2019 ISSUED FOR REZONING / OP.

SEMIHMOO Town Centre Surrey, British Columbia PROJECT STATISTICS



I. THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF FORMOSIS ARCHITECTURE. NO PART OF THESE PLANS OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF FORMOSIS ARCHITECTURE.



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 PRIME CONSULTANT

CONSULTANT

REAL

NO	DATE	REMARKS
07	09/19/2024	ADP RESPONSE 02
06	04/01/2024	ADP RESPONSE 01
05	10/16/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
03	03/01/2022	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
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Semiahmoo  
 Town Centre  
 Surrey, British Columbia


CONTEXT PLAN  
(PHASE 1)

**A102**

SCALE: N.T.S. PROJECT NO: 1807  
 DRAWN BY: BL DATE: JAN 2022

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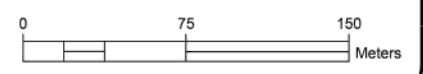
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First Capital Realty  
Mixed-Use Development  
Semiahmoo Mall, Surrey, BC

## SUBDIVISION CONCEPT

- SITE BOUNDARY
  - GROSS AREA (PHASE 1)  
1.13 Ha (2.79 Ac)
  - NET AREA (PHASE 1)  
0.76 Ha (1.88 Ac)
  - REM  
6.76 Ha (16.70 Ac)
  - EASEMENT
- ROAD DEDICATION (PHASE 1):  
0.37 Ha (0.92 Ac)



<b>LEGAL DESCRIPTION</b> PID 002-321-483 PID 002-269-503 PID 002-269-490	<b>GROSS AREA (PHASE 1)</b> 1.13 hectares / 2.79 acres	<b>EXISTING DESIGNATIONS</b> OCP: Town Centre Semiahmoo Town Centre Plan: Town Centre Zoning: CD, C-8	<b>LOT YIELD</b> Existing: 3 Lots Proposed: 3 Lots + 1 REM
<b>PROPOSED DESIGNATIONS</b> OCP: Town Centre Semiahmoo Town Centre Plan: TBD Zoning: CD			

NOTE: Conceptual layout only, subject to change without notice. Property of Aplin & Martin Consultants Ltd. and not to be reproduced or used without written permission by the Company.  
 M:\SRP\19-1022\DWG\PLANNING\19-1022 - Subdivision Plan - 2024-08-14.dwg



Scale: 1:2000



**Project 19-1022**  
14 / 06 / 2024  
Drawn by: AR

Drawing  
**1**

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SCALE

07	19/13/2024	ADP RESPONSE 02
06	04/01/2024	ADP RESPONSE 01
05	10/16/2023	RESPONSE TO DRG 04
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01	10/01/2019	ISSUED FOR REZONING / OP

NO	DATE	REMARKS
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Semiahmoo  
Town Centre

Surrey, British Columbia

SUBDIVISION  
PLAN

**A103**

SCALE: 1/8" = 1'-0"	PROJECT NO: 1807
DRAWN BY: BL	DATE: JAN 2022

## DESIGN RATIONALE

### Urban Design

The three first phase buildings, following the approved Semiahmoo Town Centre Plan, are arranged with the tallest building (Building 2) positioned in the Centre of the site, with a low-rise building (Building 1) to the west, and a slightly lower Building 3 to the east, at 18th Avenue and 152nd Street.

Tower/building spacings were determined through an extensive consultation process with City Planning, and located to fit within the emerging, and future City road network through the site. The Phase 1 buildings edge the existing City grid along 18th Street to the north with a more urban or town character. Along the south and future local street system, local retail, a community space and residential entries compliment the existing retail.

The tallest of the buildings, at 24 stories, is positioned to the middle of the site, with the east building stepping down slightly to the 152nd corner, and the west building stepping more sharply to the existing low-rise residential neighborhood.

### Architectural Concept

The buildings are conceived of as a visual family. Consistency of materials, detailing, color and texture, applied individually to the separate buildings allows for individual contextual conditions within the family.

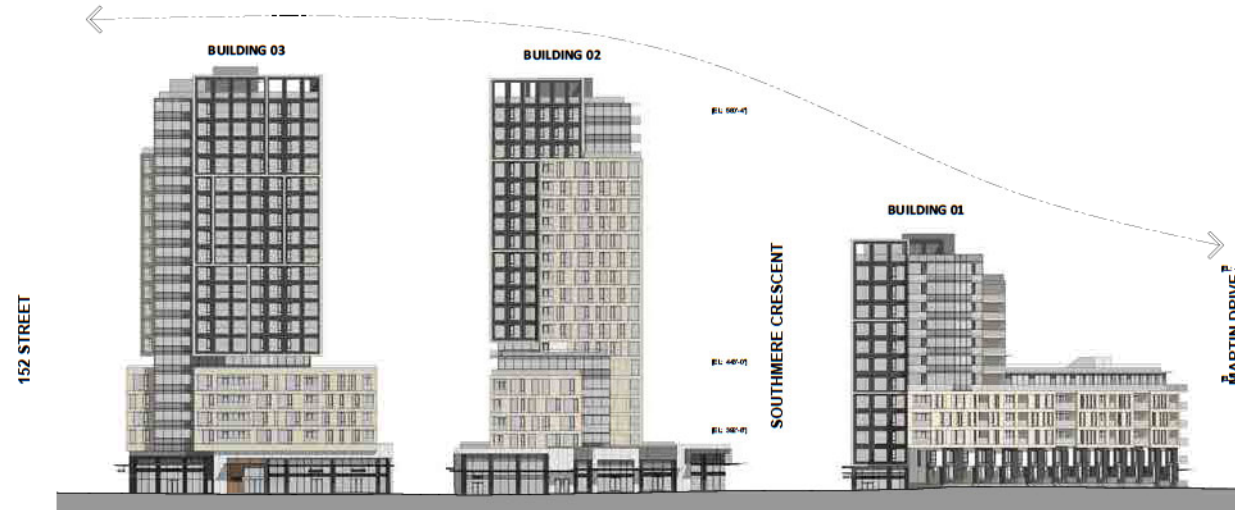
Massing is broken down into three components to help elongate proportions and reduce the perception of mass. As relatively short 'towers', we have broken the towers from the base to add lightness to the tripart tower form. The towers components interlock with 3 distinct, but complimentary materials and glazing designs.

The concept of this massing and exterior envelope is heavily influenced by step level three energy and livability targets and requirements. We have designed the envelope to achieve an approximately 40% window-to-wall ratio, which has been substantiated (through initial Energy Modelling studies) to achieve Step Code 3 Energy compliance.

## MASSING CONSIDERATIONS



## HEIGHT DIAGRAM



## SUSTAINABILITY

### PHASE 1 REDEVELOPMENT

#### Sustainability

- The fundamental pursuit of sustainability in development and construction is to build smarter, produce less waste, and optimize the connection of the site with its context. Building smarter encompasses using less energy to condition indoor spaces; producing less waste can be applied to both controlling water use and discharge, and realizing efficiencies in materials and resources; and optimizing the connection of the site to its context includes strategic densification of under-utilized sites, careful placement of buildings on the site, using vernacular planting and landscaping, and optimizing connections to transportation networks and systems. These sustainability targets, as they relate to Phase 1, are further elaborated as follows:

#### Energy

- Phase 1 has been designed to achieve compliance with Level 3 of the BC Energy Step Code; this is achieved by reducing the window-wall ratio to approx. 45%, increasing the thermal resistance of the envelope assembly, and utilizing appropriate mechanical systems.
- Reducing the glazing area decreases heat loss during cooler months as well as solar heat gain in warmer months, reducing dependence on mechanical systems and thereby increasing thermal efficiency;
- The assembly of materials and attachment methodology of cladding to structure will be carefully considered to reduce thermal bridging, thereby reducing heat loss through the building envelope;
- Careful attention to air barrier connection details will increase building envelope airtightness, and therefore, heat loss;
- Greatly minimizing cantilevered, exposed balconies reduces heat loss during the cooler months;
- The energy model was analyzed with 2 different mechanical systems:
  - 4-pipe fan-coil with Air Cooled Chiller and gas-fired boiler
  - Watersource Heat Pump with gas-fired boiler and cooling tower
- Both systems achieve compliance with Step Code Level 3 and allow for owner flexibility as the design progresses;

#### Water

- Site stormwater will be managed to mitigate runoff surges by retaining rainwater within vegetated roof areas of the development (and treating excess rainwater prior to release into the municipal stormwater system? – FC to confirm)

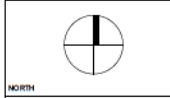
#### Mechanical Systems

- Special attention will be paid to the longevity and durability of all materials within the building envelope and interior finishes, taking into account the specific uses, functions, and component lifecycles;
- Materials will be climate appropriate, durable, and easily maintainable in order to ensure actual building longevity meets the intended service life of the building;
- Where appropriate, materials will be made of recycled content
- Roofs have been programmed to include common residential amenity areas, private roof decks, green roofs, or lightly coloured roofing materials to reduce the heat island effect of the building and site; mechanical systems.

#### Transportation

- Densification of the existing mall site with residential use provides easy access to existing shopping and amenities, significantly reducing dependence on vehicle traffic;
- Proximity to two existing FTN routes and future R1 – King George RapidBus provides quick, frequent, and an accessible transportation options;
- Connections with the existing bicycle network including bike lanes, multi-use pathways, and neighbourhood bike routes provides opportunities for alternate modes of transportation
- Bicycle storage and maintenance facilities will be provided with clear and easy access routes from outdoors. FC to confirm maintenance facilities.
- Electric vehicle charging stations will be provided in designated spots within the underground parking levels. FC to confirm.

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Semiahmoo  
Town Centre

Surrey, British Columbia

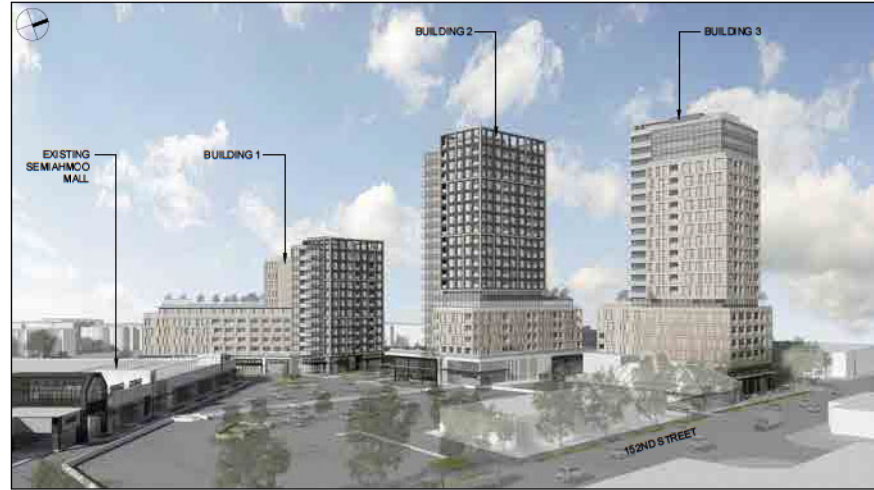
DESIGN RATIONALE  
& SUSTAINABILITY

A108

SCALE: N.T.S. PROJECT NO: 1807  
DRAWN BY: BL DATE: JAN 2022



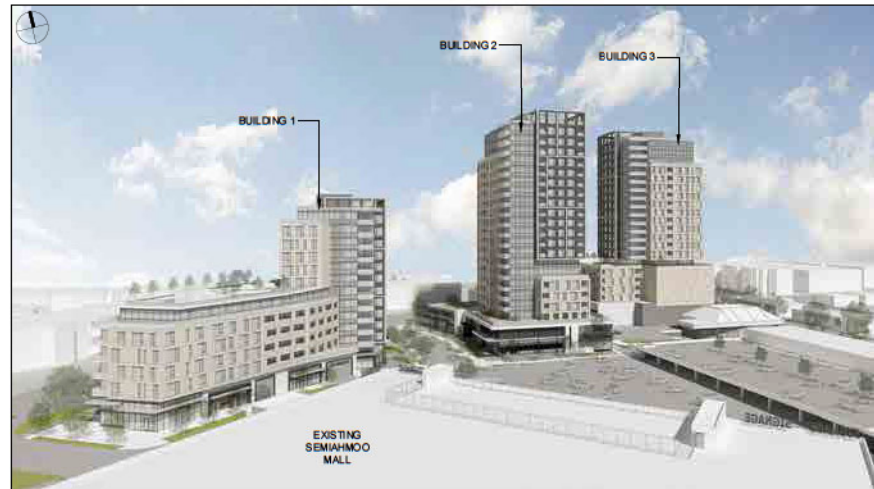
1 | PHASE 1 OVERVIEW - LOOKING SOUTH-WEST FROM 152ND ST AND 18TH AVE



2 | PHASE 1 OVERVIEW - LOOKING NORTH-WEST FROM 152ND ST AND 17TH AVE



3 | PHASE 1 OVERVIEW - LOOKING SOUTH-EAST FROM SOUTHERE CRES. AND MARTIN DRIVE



4 | PHASE 1 OVERVIEW - LOOKING NORTH-EAST FROM ABOVE EXISTING MALL



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Semiahmo  
Town Centre

Surrey, British Columbia

RENDERS

A110

SCALE:	N.T.S.	PROJECT NO:	1807
DRAWN BY:	BL	DATE:	JAN 2022



1 | PERSPECTIVE FROM 152ND ST AND 18TH AVE - BUILDING 3 COMMERCIAL + RESIDENTIAL LOBBY ENTRY



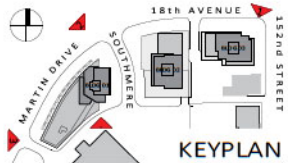
2 | PERSPECTIVE FROM 18TH AVENUE AND SOUTHMERE CRESCENT - BUILDING 1 ENTRY PLAZA AND BUILDING 2 COMMERCIAL + RESIDENTIAL LOBBY ENTRY



3 | PERSPECTIVE FROM SOUTHMERE CRESCENT AND MARTINE DRIVE - BUILDING 1 TOWNHOMES AND INTERPARK ADJACENT



4 | PERSPECTIVE FROM SOUTHMERE CRESCENT EXTENSION / EXISTING MALL - BUILDING 1 COMMERCIAL AND BUILDING 2 COMMUNITY AMENITY SPACE



KEYPLAN

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Semiahmoo  
Town Centre

Surrey, British Columbia

RENDERS

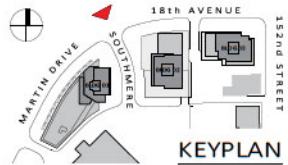
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SCALE:	N.T.S.	PROJECT NO:	1807
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PERSPECTIVE FROM SOUTHERE ORESCENT LOOKING SOUTH TOWARDS 18TH AVENUE



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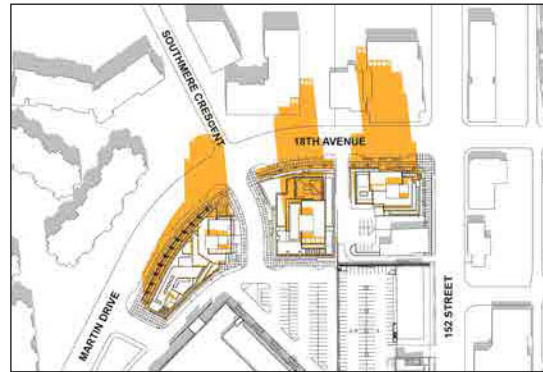
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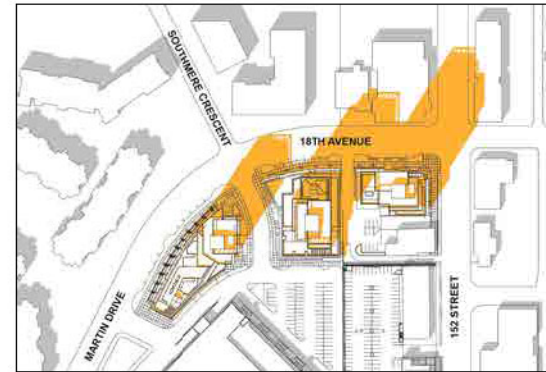
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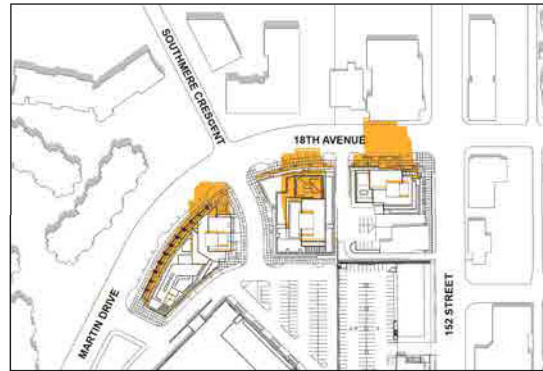
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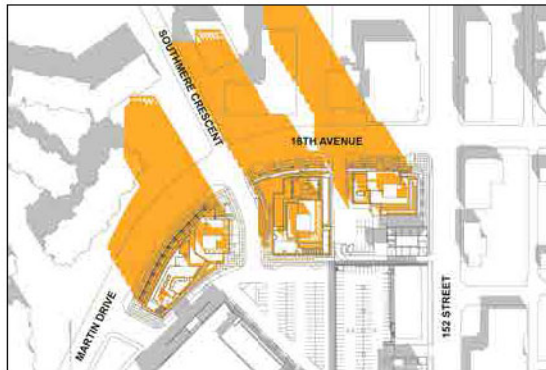
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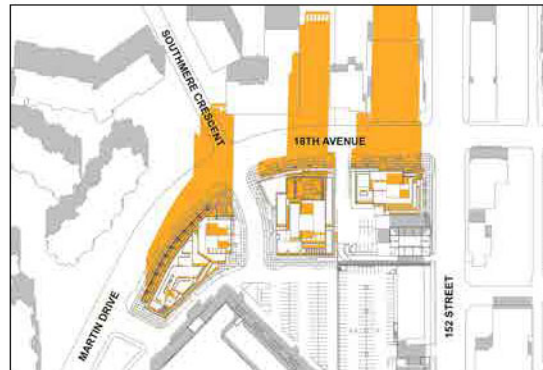
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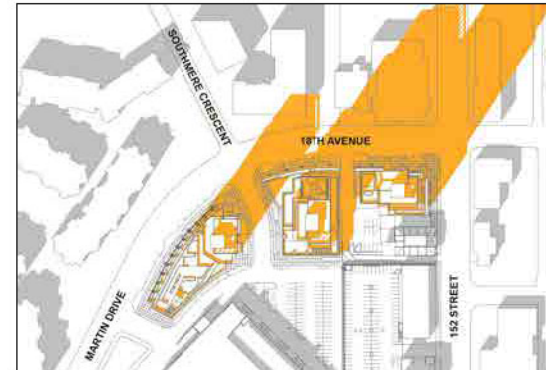
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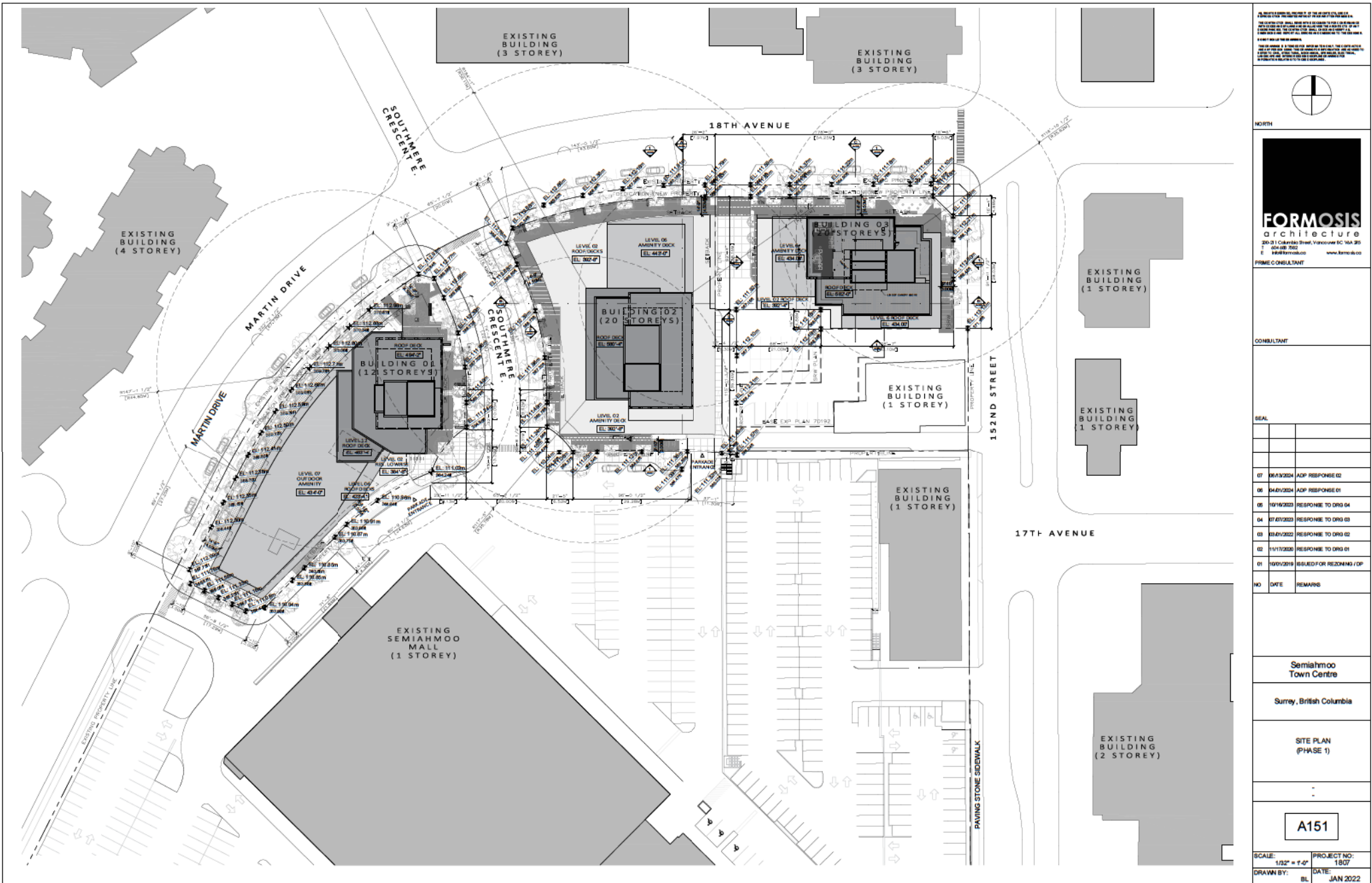
Semiahmoo  
Town Centre

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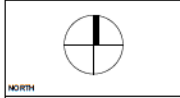
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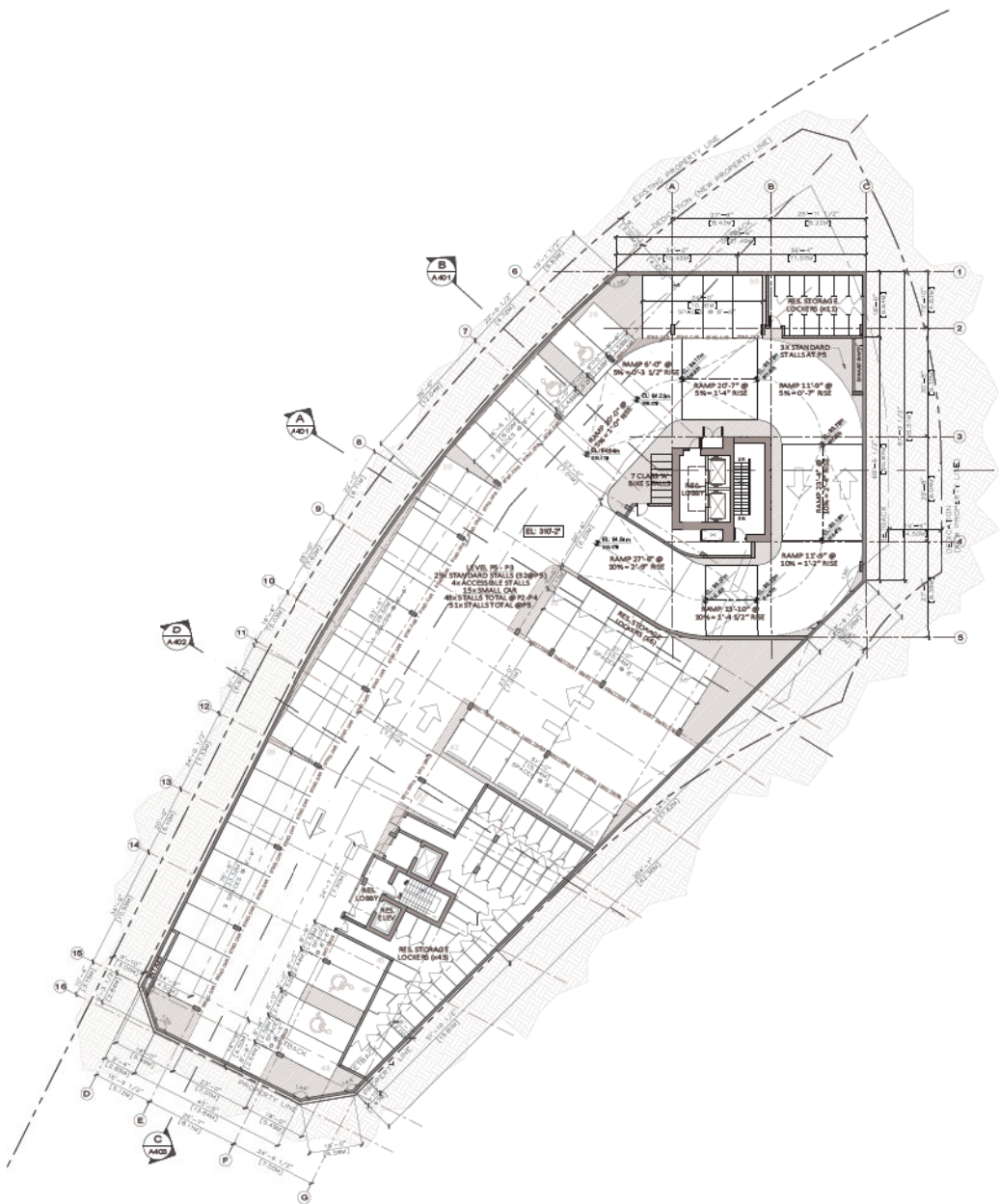
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Semiahmoo  
Town Centre  
Surrey, British Columbia

SITE PLAN  
(PHASE 1)

**A151**

SCALE: 1/32" = 1'-0"  
PROJECT NO: 1807  
DRAWN BY: BL  
DATE: JAN 2022



**CITED REQUIREMENTS FOR UNDERGROUND PARKING**

THE FOLLOWING IS A SUMMARY OF THE CITED REQUIREMENTS FOR THE UNDERGROUND PARKING AS RECOMMENDED BY THE SURREY RCMP.

- PAIN THE UNDERGROUND PARKING WALLS AND COLUMNS WHITE.
- INSTALL HARD-WIRED VIDEO SURVEILLANCE EQUIPMENT IN UNDERGROUND PARKING.
- AVOID HIDDEN CORNERS AND INSTALL CONVEX MIRRORS AS NEEDED IN UNDERGROUND PARKING AND STAIRWELLS.
- PROVIDE VISION PANELS IN ALL DOORS IN UNDERGROUND PARKING LEADING TO PUBLICLY ACCESSIBLE AREAS.
- ELEVATOR LOBBY IN UNDERGROUND PARKING AREA SHOULD BE GLAZED TO PERMIT NATURAL SURVEILLANCE.
- ENSURE ADEQUATE LIGHTING THROUGHOUT THE UNDERGROUND PARKING.
- PROVIDE ROUGH SURFACE FINISH ON RAMPS TO DETER SKATEBOARDERS.

**GENERAL NOTES**

- CONSTRUCT AND INSTALL FOR EVERY RESIDENTIAL PARKING SPACES AND 50% OF VISITOR PARKING SPACES, AN ENERGIZED ELECTRICAL-OUTLET CAPABLE OF PROVIDING LEVEL 2 OR A HIGHER LEVEL OF ELECTRIC VEHICLE CHARGING, AS DEFINED BY SAE INTERNATIONAL'S 11772 STANDARD, AS AMENDED OR REPLACED FROM TIME TO TIME, FOR EACH SUCH PARKING SPACE.
- GARAGE CLEAR HEIGHT IS 2.3m UP TO ACCESSIBLE STALLS AND DRIVE AISLES, AND 2.1m BEYOND.

THE CLIENT SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE CLIENT SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE CLIENT SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES.



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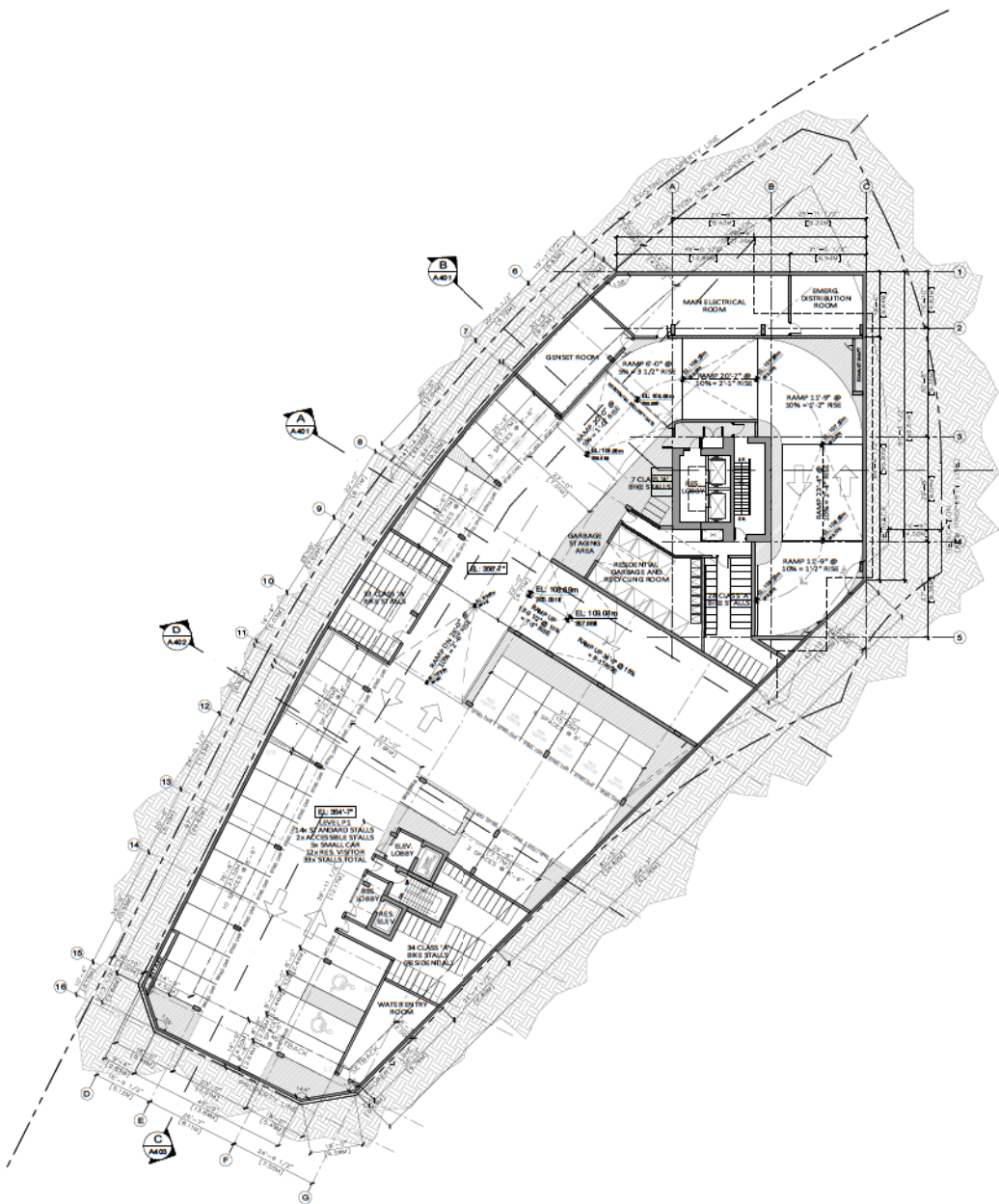
Surrey, British Columbia

BUILDING 1  
PARKING PLAN P5 - P3

A301

SCALE: 1/16" = 1'-0"  
DRAWN BY: BL

PROJECT NO: 1807  
DATE: JAN 2022



**CITED REQUIREMENTS FOR UNDERGROUND PARKING**

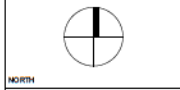
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- CONSTRUCT AND INSTALL FOR EVERY RESIDENTIAL PARKING SPACES AND 50% OF VISITOR PARKING SPACES, AN ENERGIZED ELECTRICAL-OUTLET CAPABLE OF PROVIDING LEVEL 2 OR A HIGHER LEVEL OF ELECTRIC VEHICLE CHARGING, AS DEFINED BY SAE INTERNATIONAL'S 11772 STANDARD, AS AMENDED OR REPLACED FROM TIME TO TIME, FOR EACH SUCH PARKING SPACE.
- GARAGE CLEAR HEIGHT IS 2.3m UP TO ACCESSIBLE STALLS AND DRIVE AISLES, AND 2.1m BEYOND.

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02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / DP

Semiahmoo  
Town Centre

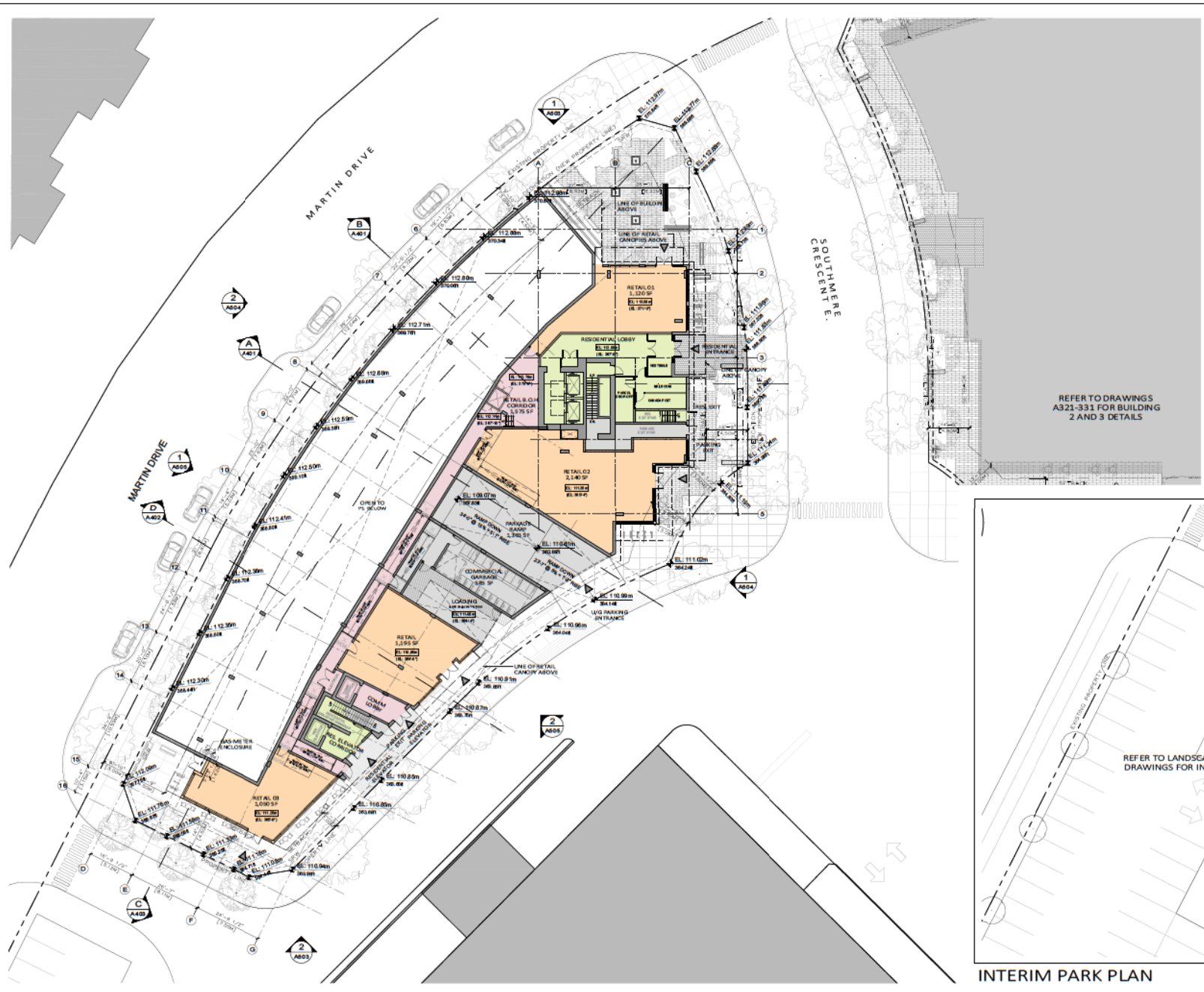
Surrey, British Columbia

BUILDING 1  
PARKING PLAN P1

**A303**

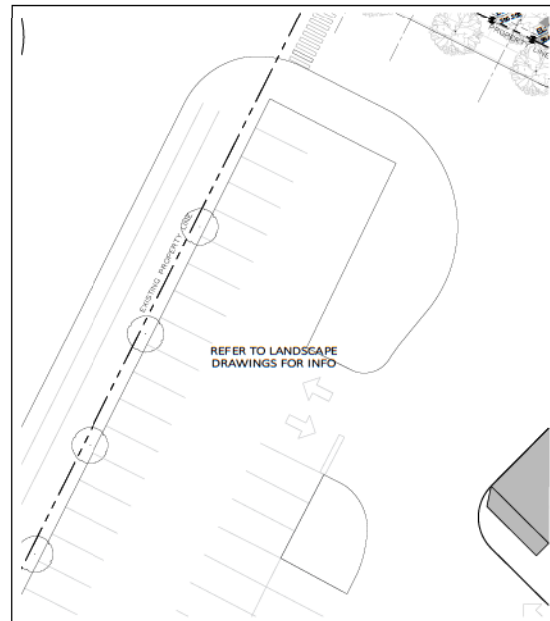
SCALE: 1/16" = 1'-0"  
DRAWN BY: BL

PROJECT NO: 1807  
DATE: JAN 2022



- LOWER LEVEL LEGEND**
- RETAIL
  - RETAIL CIRCULATION
  - RESIDENTIAL CIRCULATION - LOBBY, EXITS
  - TOWNHOUSE
  - RESIDENTIAL CIRCULATION - LOBBY, EXITS
  - STAIRS + ELEVATORS
  - LOADING

REFER TO DRAWINGS  
A321-331 FOR BUILDING  
2 AND 3 DETAILS



INTERIM PARK PLAN

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Semiahmoo  
Town Centre

Surrey, British Columbia

BUILDING 1  
GROUND FLOOR PLAN

**A304**

SCALE: 1/16" = 1'-0"	PROJECT NO: 1807
DRAWN BY: BL	DATE: JAN 2022





**UPPER LEVEL LEGEND**

- AMENITY
- RESIDENTIAL CIRCULATION - LOBBY, STAIRS
- TOWNHOUSE
- RESIDENTIAL 3-BED
- RESIDENTIAL 2-BED
- RESIDENTIAL 1-BED
- RESIDENTIAL STUDIO
- BALCONY, ROOF DECKS

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REFER TO DRAWINGS A321-331 FOR BUILDING 2 AND 3 DETAILS

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01	10/01/2019	ISSUED FOR REZONING / DP

Semiahmoo  
Town Centre

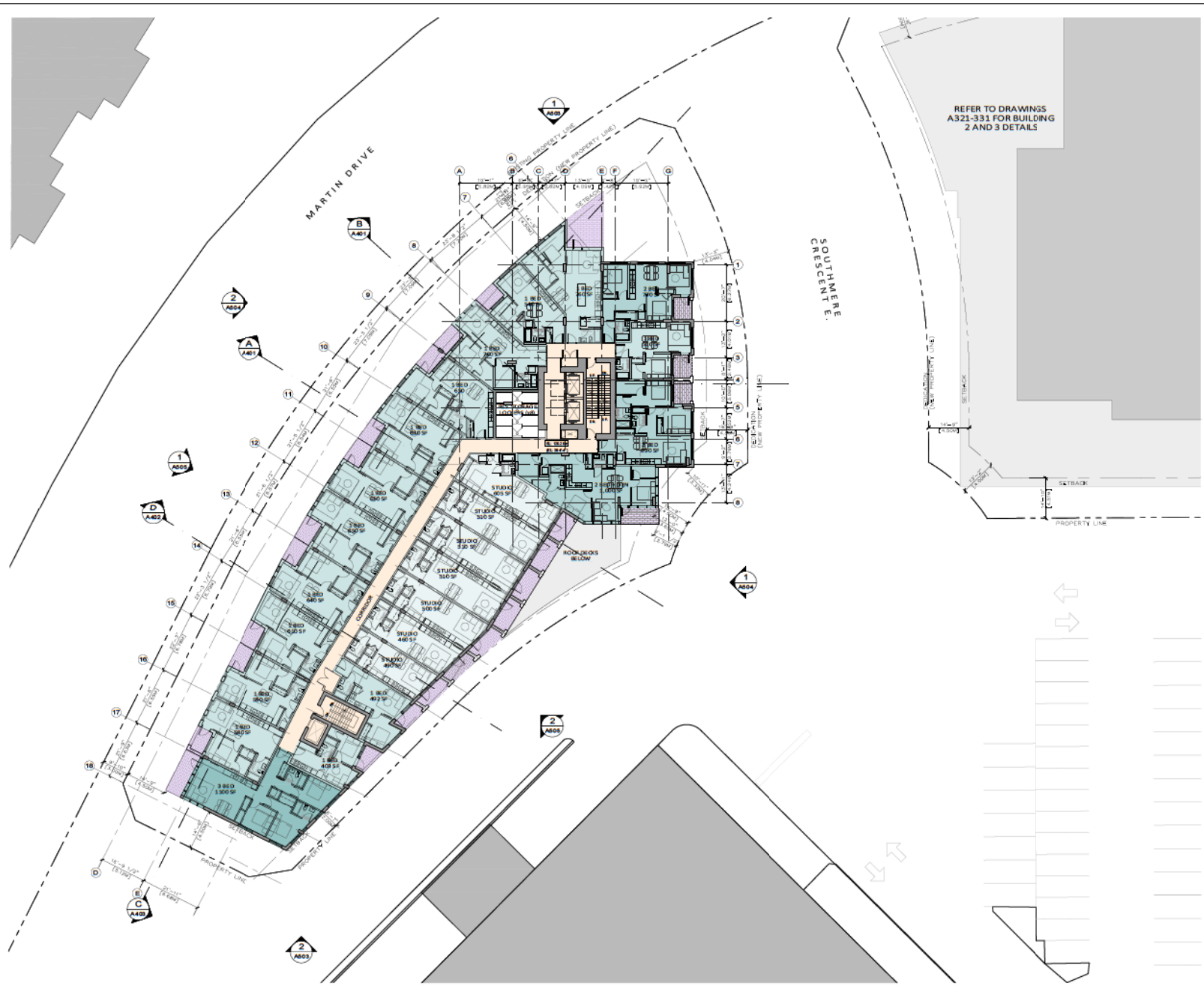
Surrey, British Columbia

BUILDING 1  
LOW-RISE RESIDENTIAL  
LEVEL 02

**A306**

SCALE: 1/16" = 1'-0"  
PROJECT NO: 1807  
DRAWN BY: BL DATE: JAN 2022

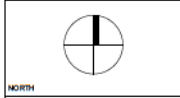




UPPER LEVEL LEGEND

[Pink Box]	AMENITY
[Light Blue Box]	RESIDENTIAL CIRCULATION - LOBBY, STAIRS
[Light Green Box]	TOWNHOUSE
[Dark Green Box]	RESIDENTIAL 3-BED
[Medium Green Box]	RESIDENTIAL 2-BED
[Light Blue Box]	RESIDENTIAL 1-BED
[Light Blue Box]	RESIDENTIAL STUDIO
[Purple Box]	BALCONY, ROOF DECKS

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02	11/17/2020	RESPONSE TO DRG 01
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Semiahmoo  
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Surrey, British Columbia

BUILDING 1  
LOW-RISE TYPICAL FLOOR PLAN  
LEVEL S 03-05

**A307**

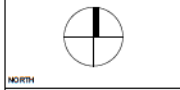
SCALE: 1/16" = 1'-0"	PROJECT NO.:
DRAWN BY: BL	DATE: JAN 2022



- UPPER LEVEL LEGEND
- AMENITY
  - RESIDENTIAL CIRCULATION - LOBBY, STAIRS
  - TOWNHOUSE
  - RESIDENTIAL 3-BED
  - RESIDENTIAL 2-BED
  - RESIDENTIAL 1-BED
  - RESIDENTIAL STUDIO
  - BALCONY, ROOF DECKS

REFER TO BUILDING 2 AND 3 DRAWINGS A321-331 FOR INFO

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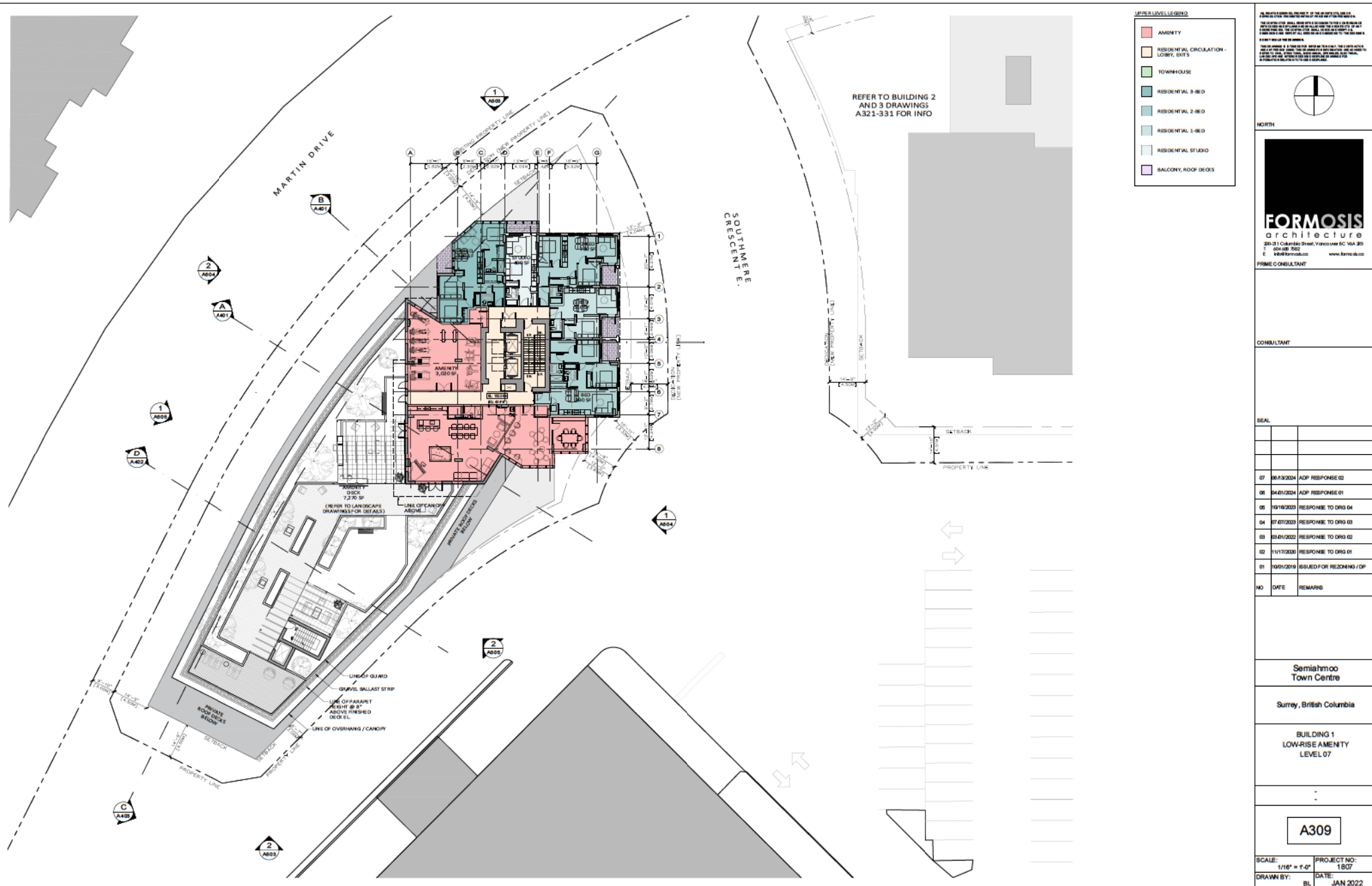
Semiahmoo  
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BUILDING 1  
LOW-RISE PENTHOUSE PLAN  
LEVEL 06

**A308**

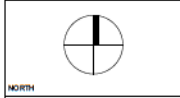
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PROJECT NO: 1807  
DRAWN BY: BL  
DATE: JAN 2022



- UPPER LEVEL LEGEND**
- AMENITY
  - RESIDENTIAL CIRCULATION - LOBBY, STAIRS
  - TOWNHOUSE
  - RESIDENTIAL 3-BED
  - RESIDENTIAL 2-BED
  - RESIDENTIAL 1-BED
  - RESIDENTIAL STUDIO
  - BALCONY, ROOF DECKS

REFER TO BUILDING 2 AND 3 DRAWINGS A321-331 FOR INFO

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02	11/17/2020	RESPONSE TO DRG 01
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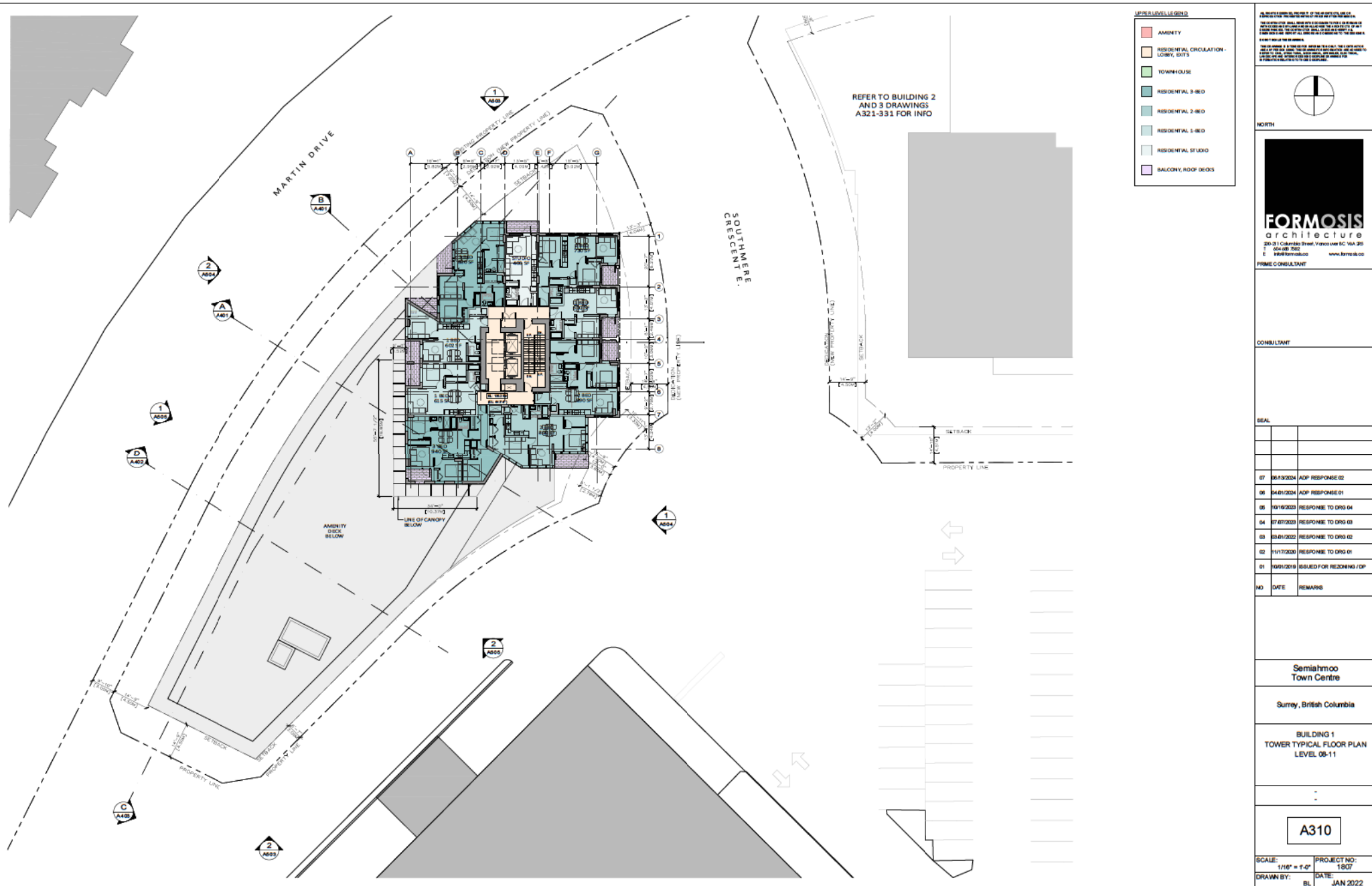
Semiahmoo  
Town Centre

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BUILDING 1  
LOW-RISE AMENITY  
LEVEL 07

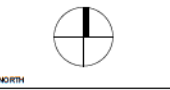
**A309**

SCALE: 1/16" = 1'-0"  
PROJECT NO: 1807  
DRAWN BY: BL  
DATE: JAN 2022



- UPPER LEVEL LEGEND**
- AMENITY
  - RESIDENTIAL CIRCULATION - LOBBY, STAIRS
  - TOWNHOUSE
  - RESIDENTIAL 3-BED
  - RESIDENTIAL 2-BED
  - RESIDENTIAL 1-BED
  - RESIDENTIAL STUDIO
  - BALCONY, ROOF DECKS

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01	10/01/2019	ISSUED FOR REZONING / OP

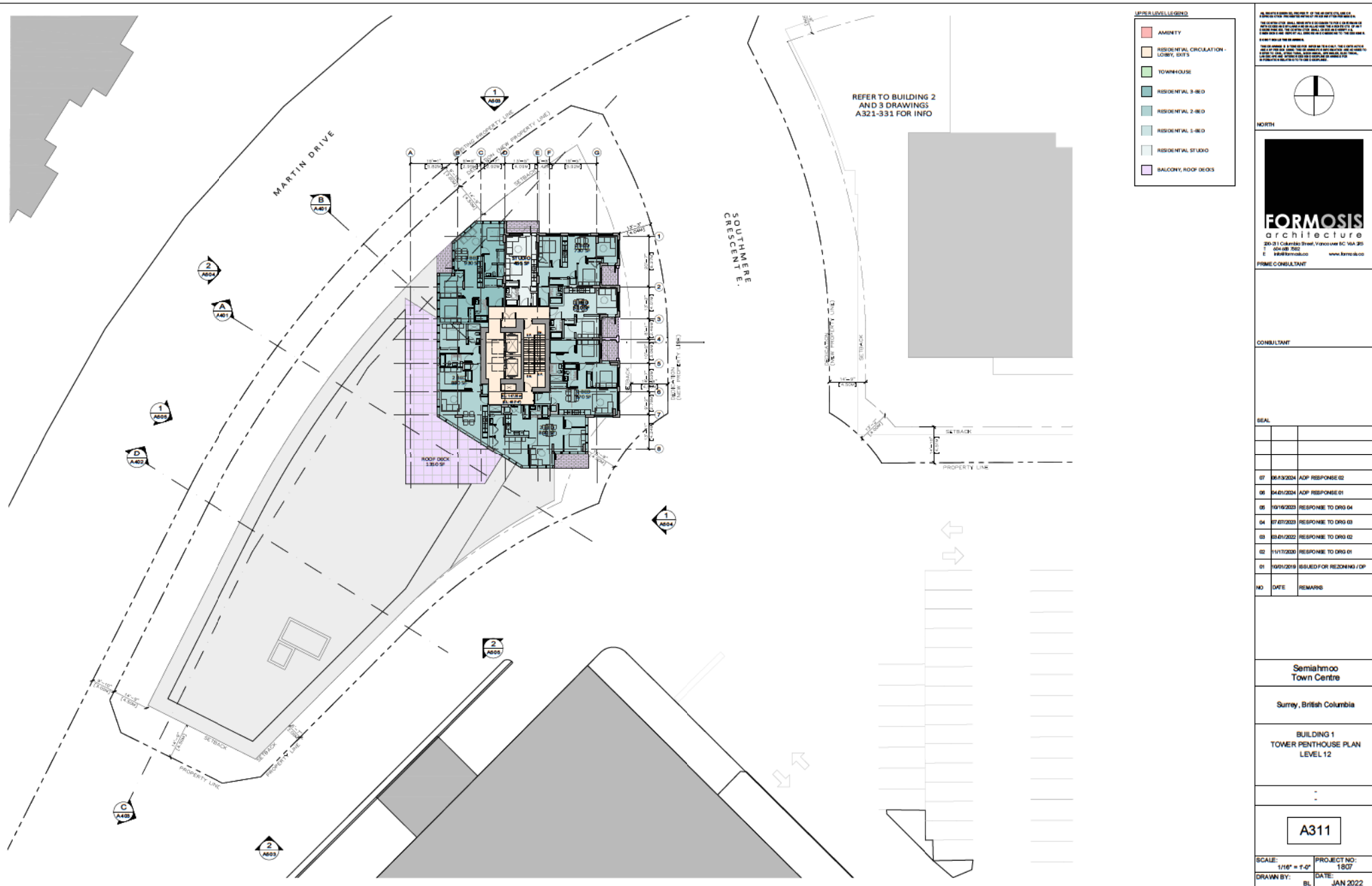
Semiahmoo  
Town Centre

Surrey, British Columbia

BUILDING 1  
TOWER TYPICAL FLOOR PLAN  
LEVEL 08-11

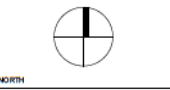
**A310**

SCALE: 1/16" = 1'-0"  
 PROJECT NO: 1807  
 DRAWN BY: BL DATE: JAN 2022



- UPPER LEVEL LEGEND**
- AMENITY
  - RESIDENTIAL CIRCULATION - LOBBY, STAIRS
  - TOWNHOUSE
  - RESIDENTIAL 3-BED
  - RESIDENTIAL 2-BED
  - RESIDENTIAL 1-BED
  - RESIDENTIAL STUDIO
  - BALCONY, ROOF DECKS

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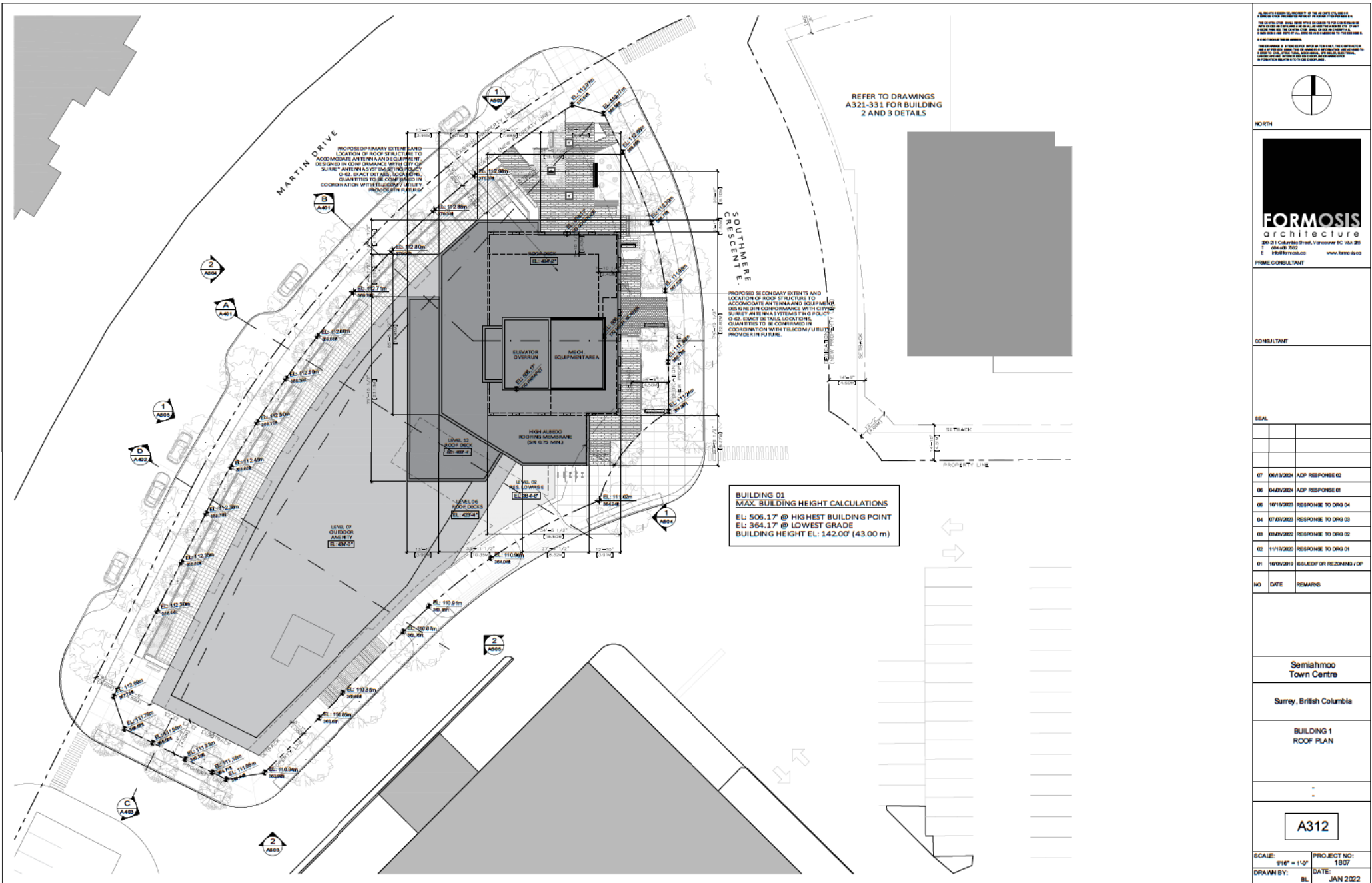
Semiahmoo  
Town Centre

Surrey, British Columbia

BUILDING 1  
TOWER PENTHOUSE PLAN  
LEVEL 12

**A311**

SCALE: 1/16" = 1'-0"  
PROJECT NO: 1807  
DRAWN BY: BL  
DATE: JAN 2022



REFER TO DRAWINGS  
A321-331 FOR BUILDING  
2 AND 3 DETAILS

**BUILDING 01  
MAX. BUILDING HEIGHT CALCULATIONS**  
 EL: 506.17 @ HIGHEST BUILDING POINT  
 EL: 364.17 @ LOWEST GRADE  
 BUILDING HEIGHT EL: 142.00' (43.00 m)

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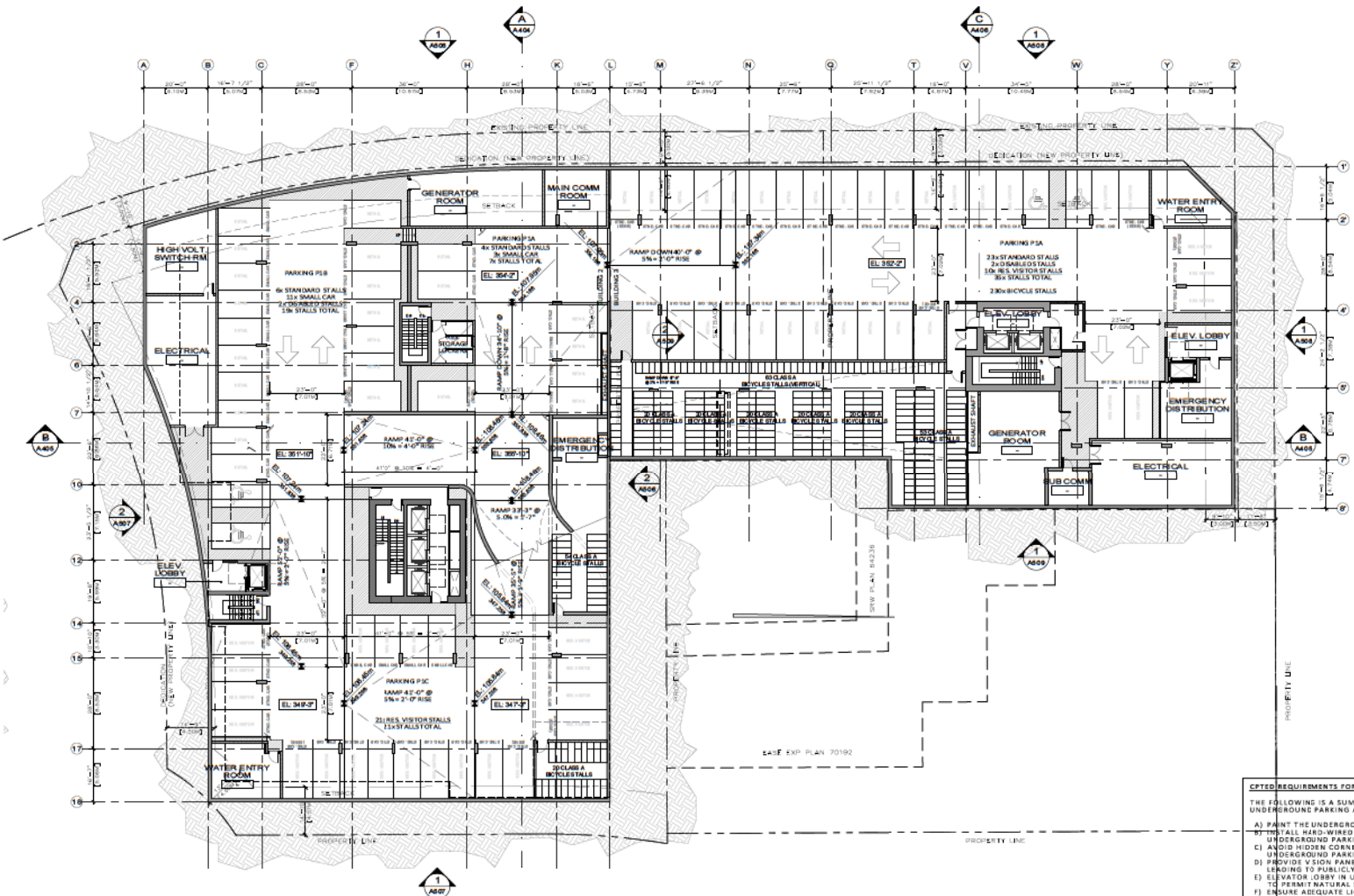
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Surrey, British Columbia

BUILDING 1  
ROOF PLAN

**A312**

SCALE: 1/8" = 1'-0"  
 PROJECT NO: 1807  
 DRAWN BY: BL  
 DATE: JAN 2022



**CEPT REQUIREMENTS FOR UNDERGROUND PARKING**

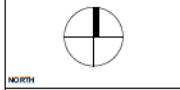
THE FOLLOWING IS A SUMMARY OF THE CEPTD REQUIREMENTS FOR THE UNDERGROUND PARKING AS RECOMMENDED BY THE SURREY RCMP.

- PAINT THE UNDERGROUND PARKING WALLS AND COLUMNS WHITE.
- INSTALL HARD-WIRED VIDEO SURVEILLANCE EQUIPMENT IN UNDERGROUND PARKING.
- AVOID HIDDEN CORNERS AND INSTALL CONVEX MIRRORS AS NEEDED IN UNDERGROUND PARKING AND STAIRWELLS.
- PROVIDE VISION PANELS IN ALL DOORS IN UNDERGROUND PARKING LEADING TO PUBLICLY ACCESSIBLE AREAS.
- ELEVATOR LOBBY IN UNDERGROUND PARKING AREA SHOULD BE GLAZED TO PERMIT NATURAL SURVEILLANCE.
- ENSURE ADEQUATE LIGHTING THROUGHOUT THE UNDERGROUND PARKING.
- PROVIDE ROUGH SURFACE FINISH ON RAMPS TO DETER SKATEBOARDERS.

**GENERAL NOTE**

- CONSTRUCT AND INSTALL FOR EVERY RESIDENTIAL PARKING SPACES AND 50% OF VISITOR PARKING SPACES, AN ENERGIZED ELECTRICAL OUTLET CAPABLE OF PROVIDING LEVEL 2 OR A HIGHER LEVEL OF ELECTRIC VEHICLE CHARGING, AS DEFINED BY SAE INTERNATIONAL'S 11772 STANDARD, AS AMENDED OR REPLACED FROM TIME TO TIME, FOR EACH SUCH PARKING SPACE.
- GARAGE CLEAR HEIGHT IS 2.3m UP TO ACCESSIBLE STALLS AND DRIVE AISLES, AND 2.1m BEYOND.

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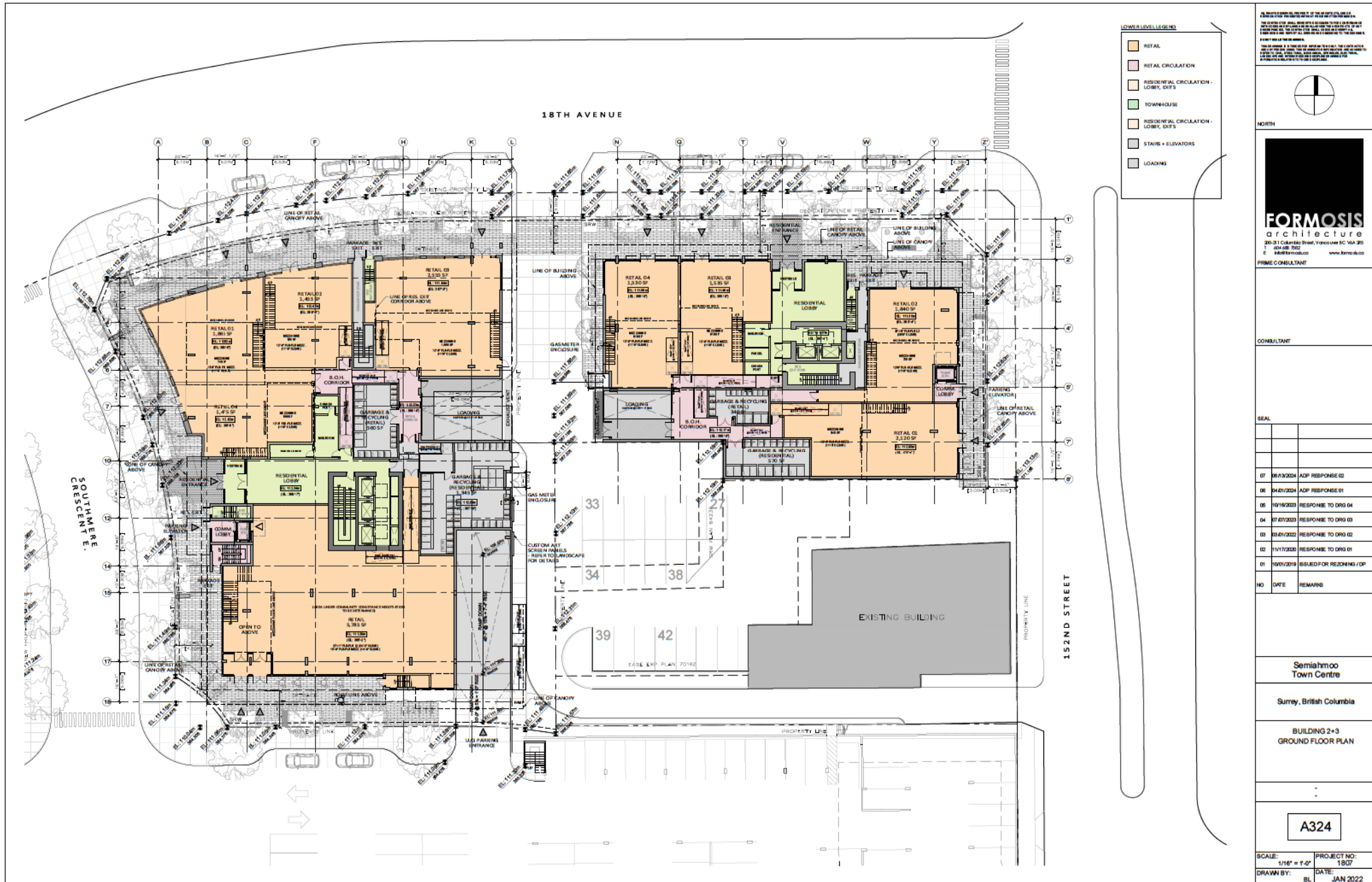
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**BUILDING 2-3  
PARKING PLAN P1**

**A323**

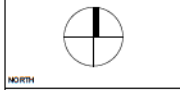
SCALE: 1/16" = 1'-0"  
 PROJECT NO: 1807  
 DRAWN BY: BL  
 DATE: JAN 2022



**LOW LEVEL LEGEND**

- RETAIL
- RETAIL CIRCULATION - LOBBY, EXITS
- RESIDENTIAL CIRCULATION - LOBBY, EXITS
- TOWNHOUSE
- RESIDENTIAL CIRCULATION - LOBBY, EXITS
- STAIRS + ELEVATORS
- LOADING

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03	03/01/2022	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / OP

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Surrey, British Columbia

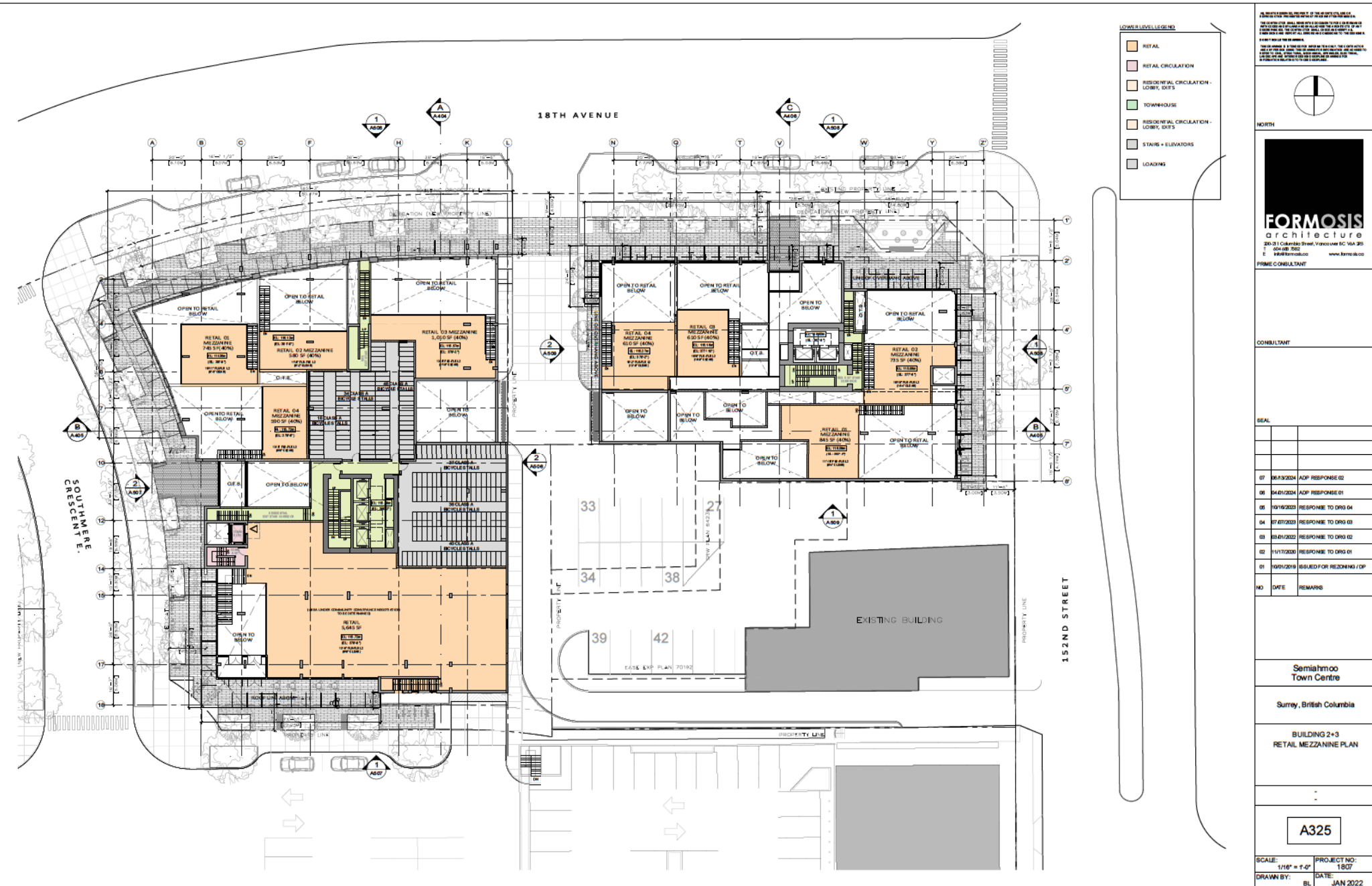
BUILDING 2+3  
GROUND FLOOR PLAN

**A324**

SCALE: 1/16" = 1'-0"  
DRAWN BY: BL

PROJECT NO: 1807  
DATE: JAN 2022

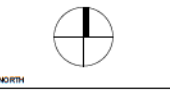




**LOWER LEVEL LEGEND**

- RETAIL
- RETAIL CIRCULATION
- RESIDENTIAL CIRCULATION - LOBBY, EATS
- TOWNHOUSE
- RESIDENTIAL CIRCULATION - LOBBY, EATS
- STAIRS + ELEVATORS
- LOADING

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04	07/07/2023	RESPONSE TO DRG 03
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02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / OP

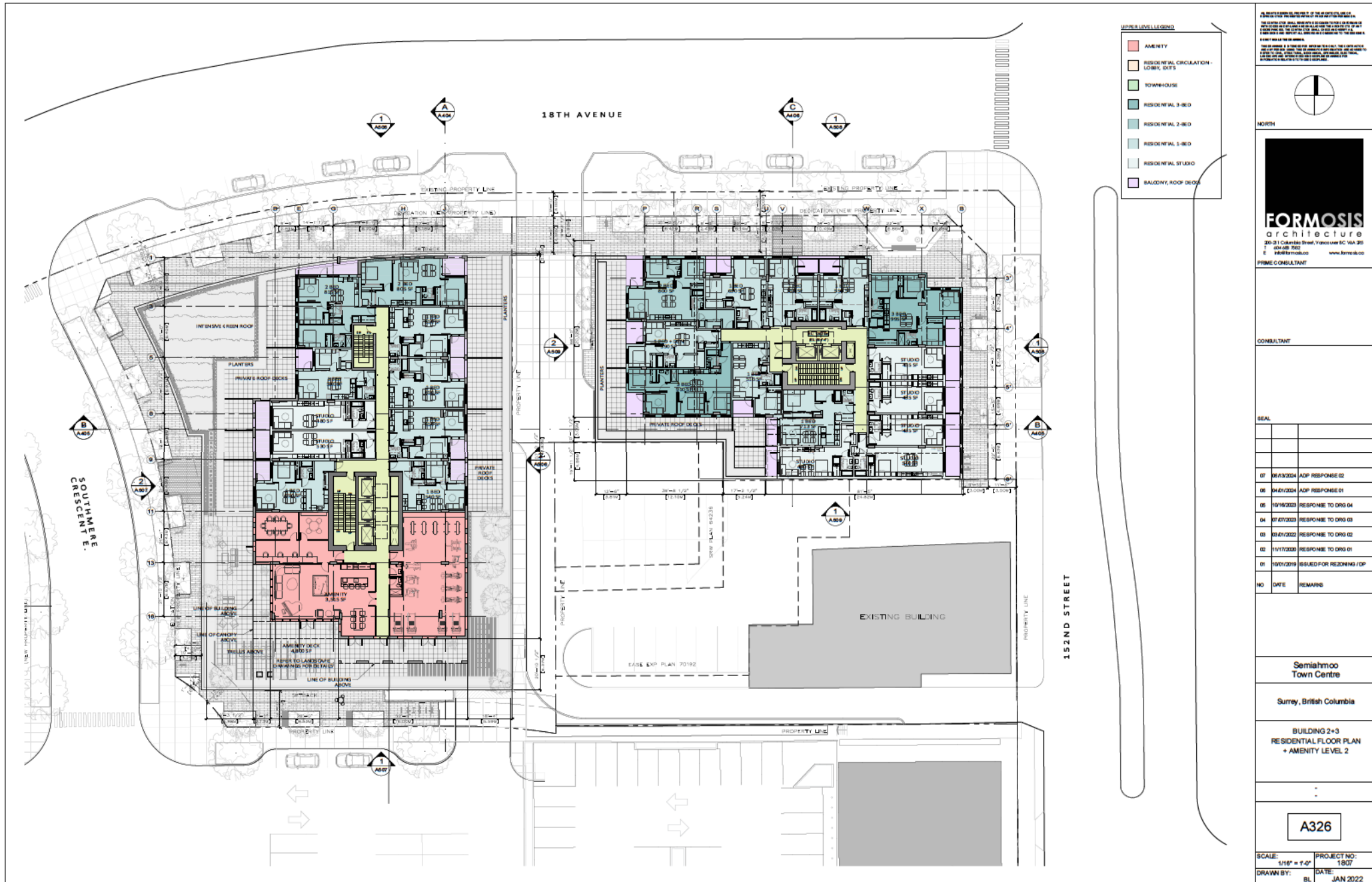
Semiahmoo  
Town Centre

Surrey, British Columbia

BUILDING 2+3  
RETAIL MEZZANINE PLAN

A325

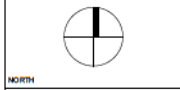
SCALE: 1/16" = 1'-0"  
PROJECT NO: 1807  
DRAWN BY: BL  
DATE: JAN 2022



**UPPER LEVEL LEGEND**

- AMENITY
- RESIDENTIAL CIRCULATION - LOBBY, CORES
- TOWNHOUSE
- RESIDENTIAL 3-BED
- RESIDENTIAL 2-BED
- RESIDENTIAL 1-BED
- RESIDENTIAL STUDIO
- BALCONY, ROOF DECK

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Semiahmoo  
Town Centre

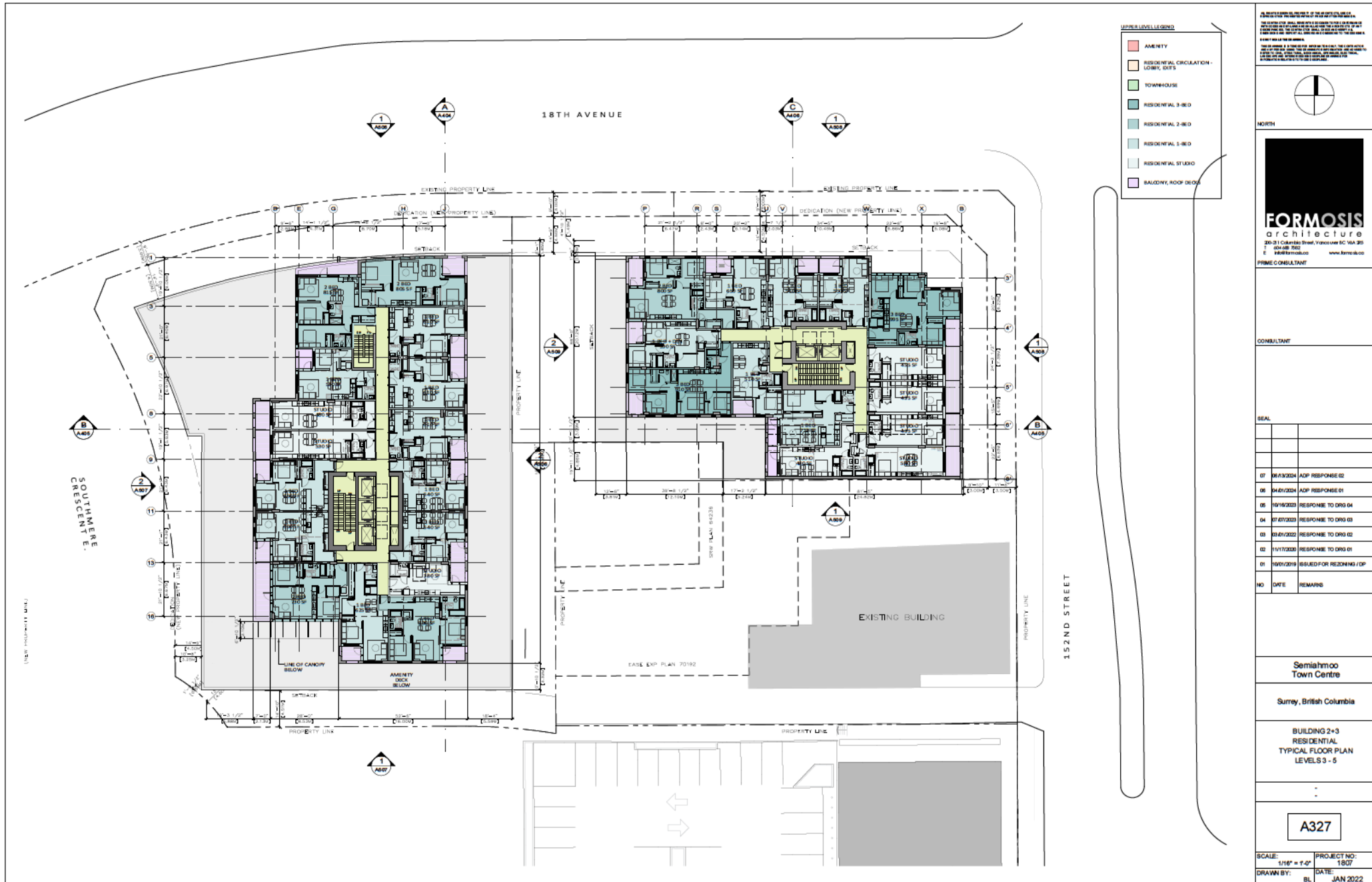
Surrey, British Columbia

BUILDING 2+3  
RESIDENTIAL FLOOR PLAN  
+ AMENITY LEVEL 2

**A326**

SCALE: 1/16" = 1'-0"  
DRAWN BY: BL

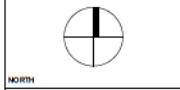
PROJECT NO: 1807  
DATE: JAN 2022



**UPPER LEVEL LEGEND**

- AMENITY
- RESIDENTIAL CIRCULATION - LOBBY, STCS
- TOWNHOUSE
- RESIDENTIAL 3-BED
- RESIDENTIAL 2-BED
- RESIDENTIAL 1-BED
- RESIDENTIAL STUDIO
- BALCONY, ROOF DECK

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02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / O/P

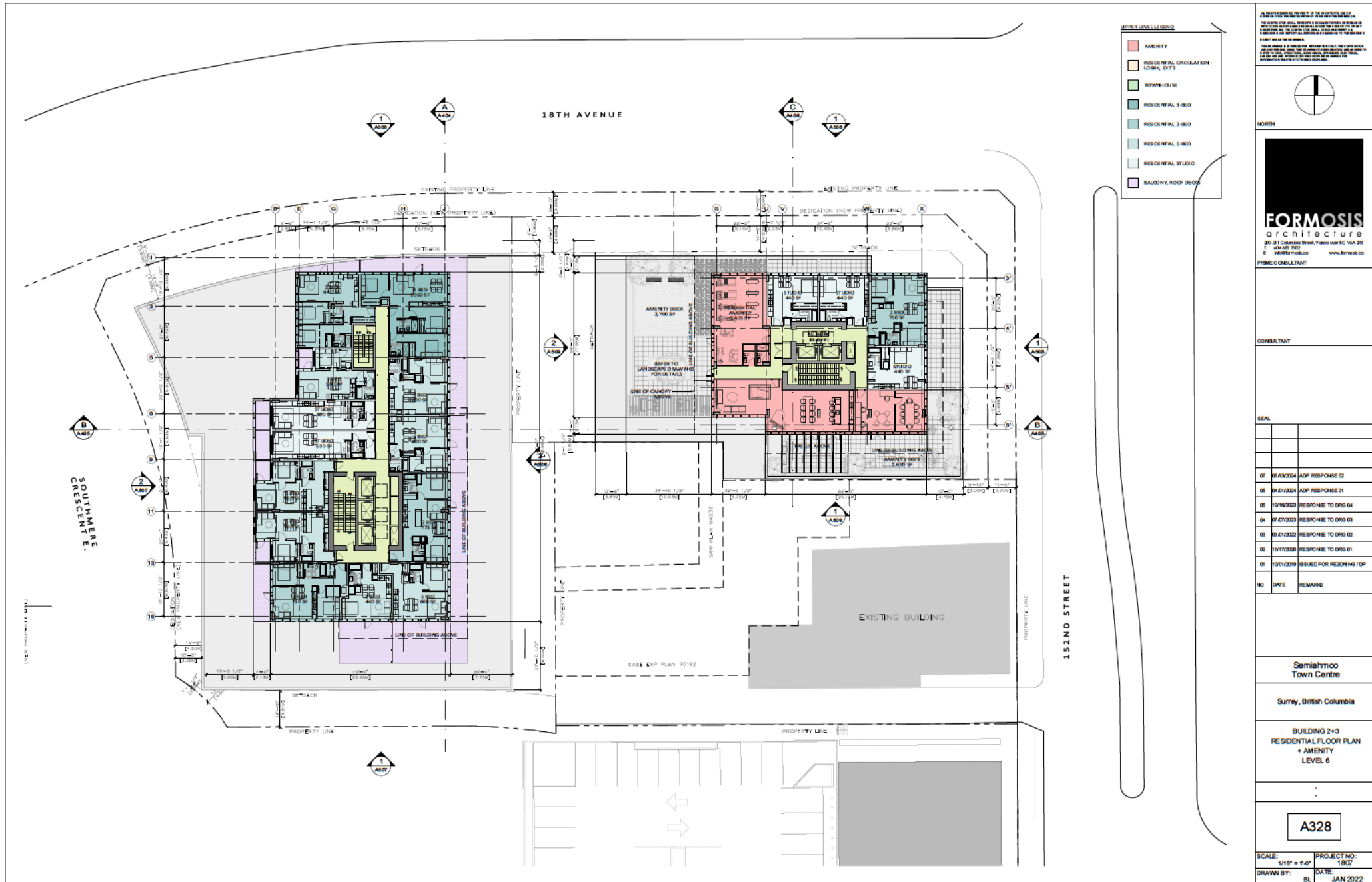
Semiahmoo  
Town Centre

Surrey, British Columbia

BUILDING 2+3  
RESIDENTIAL  
TYPICAL FLOOR PLAN  
LEVELS 3 - 5

**A327**

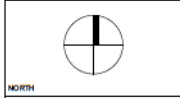
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PROJECT NO: 1807  
DRAWN BY: BL  
DATE: JAN 2022



**UPPER LEVEL LEGEND**

- AMENITY
- RESIDENTIAL CIRCULATION - LOBBY, STS
- TOWNHOUSE
- RESIDENTIAL 3-BED
- RESIDENTIAL 2-BED
- RESIDENTIAL 1-BED
- RESIDENTIAL STUDIO
- BALCONY, ROOF DECK

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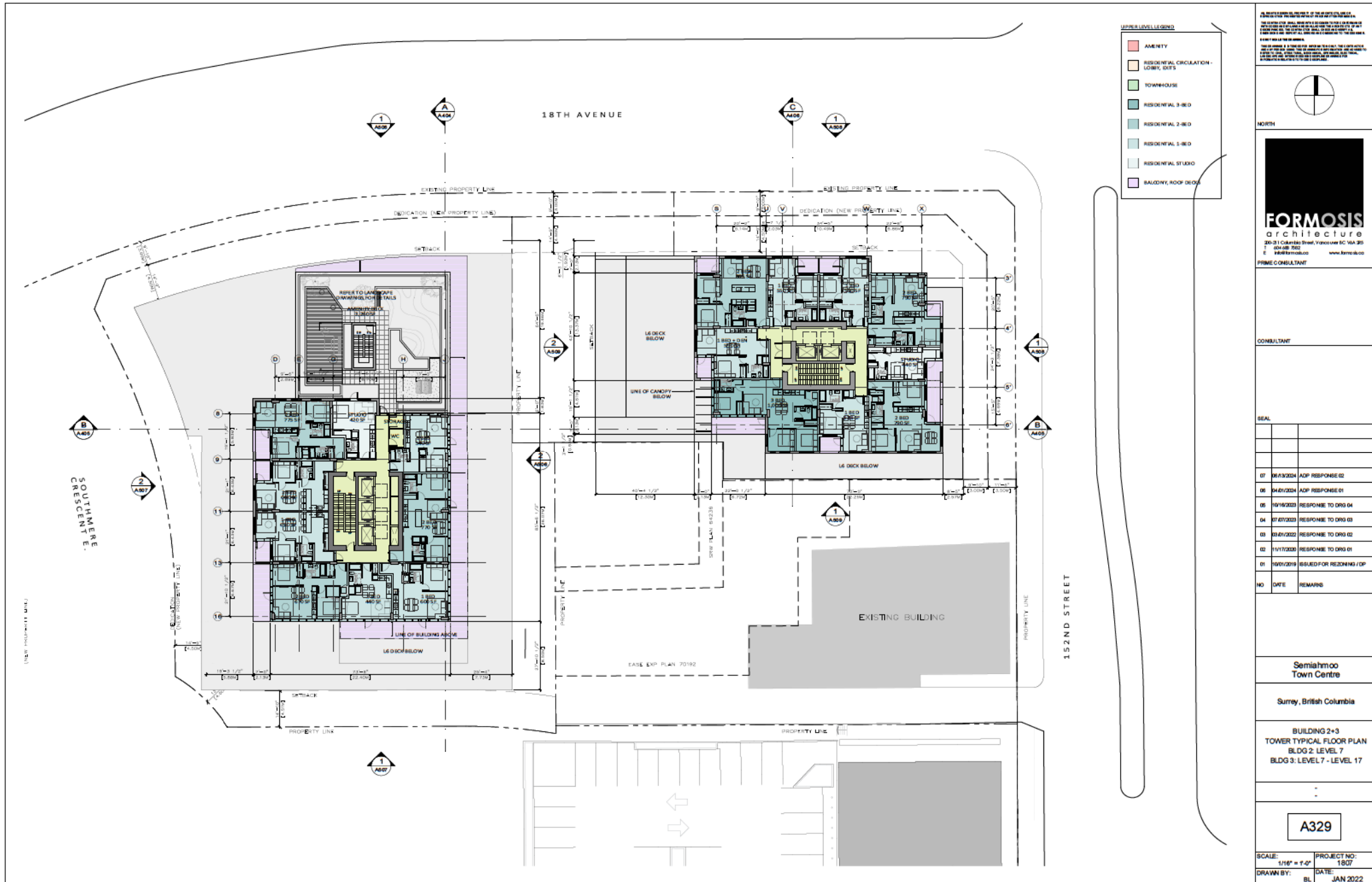
Semiahmoo  
Town Centre

Surrey, British Columbia

BUILDING 2+3  
RESIDENTIAL FLOOR PLAN  
+ AMENITY  
LEVEL 6

**A328**

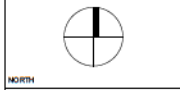
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PROJECT NO: 1807  
DRAWN BY: BL  
DATE: JAN 2022



**UPPER LEVEL LEGEND**

- AMENITY
- RESIDENTIAL CIRCULATION - LOBBY, STOS
- TOWNHOUSE
- RESIDENTIAL 3-BED
- RESIDENTIAL 2-BED
- RESIDENTIAL 1-BED
- RESIDENTIAL STUDIO
- BALCONY, ROOF DECK

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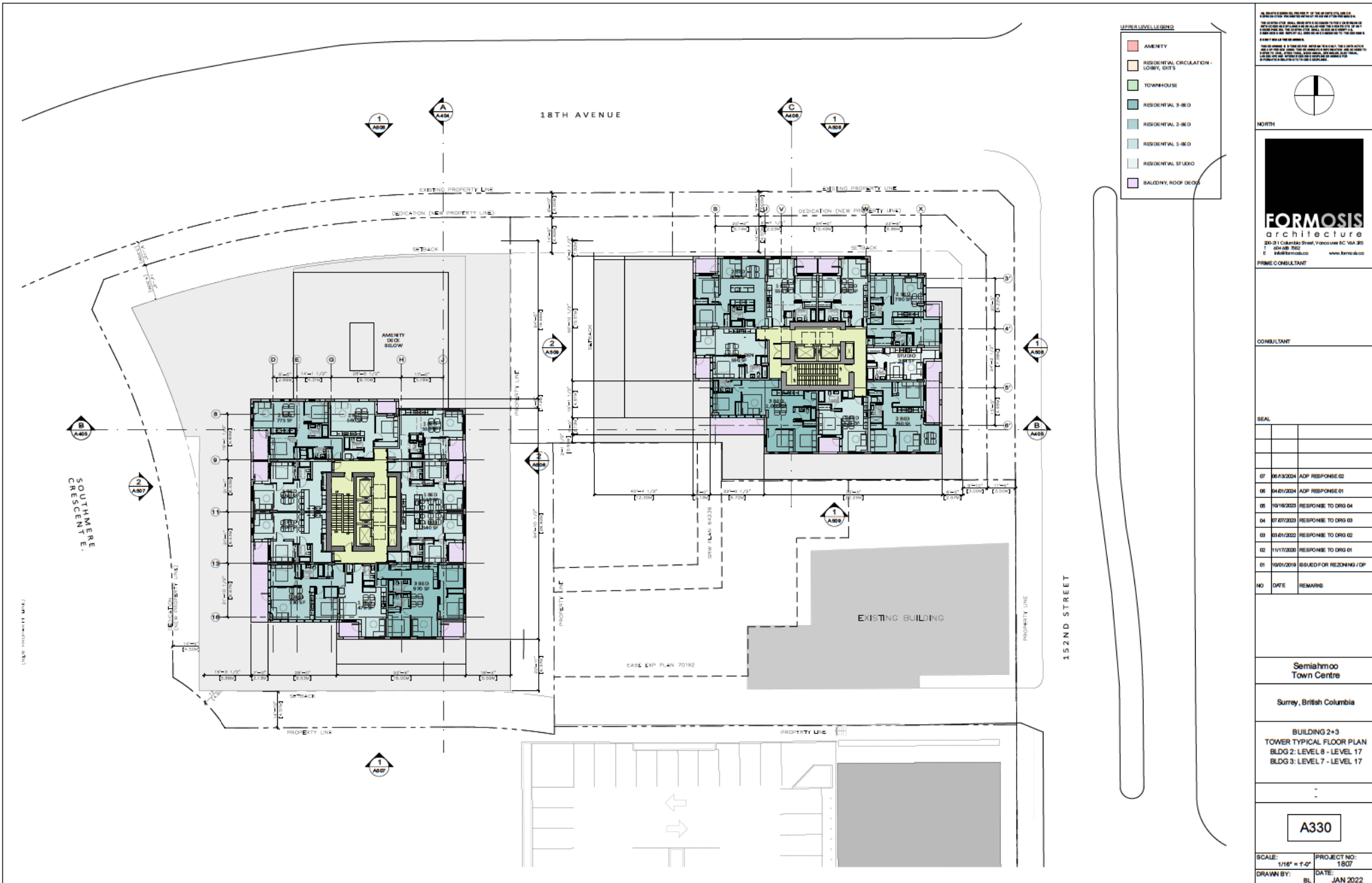
Semiahmoo  
Town Centre

Surrey, British Columbia

BUILDING 2+3  
TOWER TYPICAL FLOOR PLAN  
BLDG 2: LEVEL 7  
BLDG 3: LEVEL 7 - LEVEL 17

**A329**

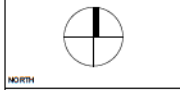
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PROJECT NO: 1807  
DRAWN BY: BL  
DATE: JAN 2022



**UPPER LEVEL LEGEND**

- AMENITY
- RESIDENTIAL CIRCULATION - LOBBY, STAIRS
- TOWNHOUSE
- RESIDENTIAL 3-BED
- RESIDENTIAL 2-BED
- RESIDENTIAL 1-BED
- RESIDENTIAL STUDIO
- BALCONY, ROOF DECK

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01	10/01/2019	ISSUED FOR REZONING / DP

Semiahmoo  
Town Centre

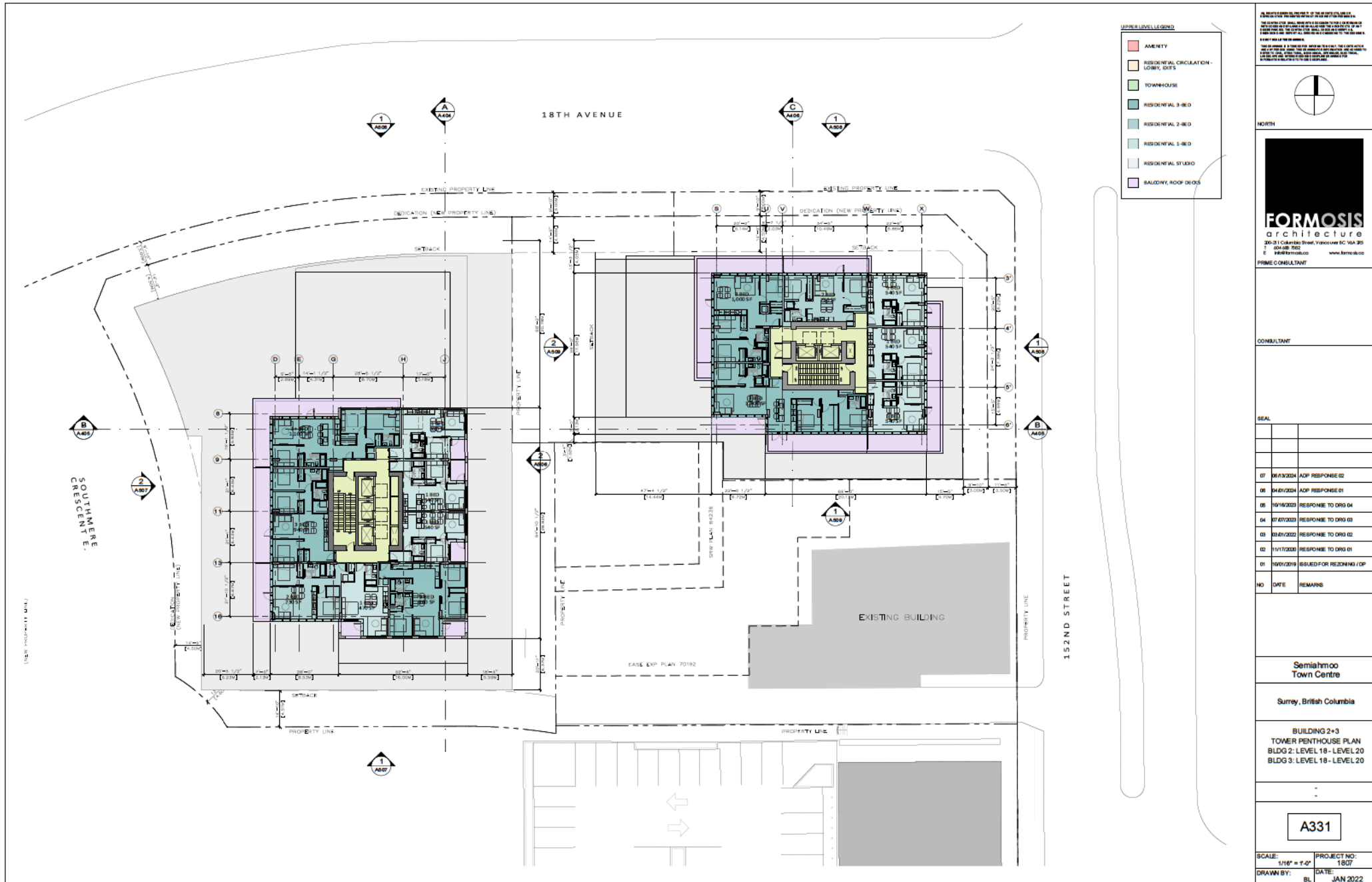
Surrey, British Columbia

BUILDING 2+3  
TOWER TYPICAL FLOOR PLAN  
BLDG 2: LEVEL 8 - LEVEL 17  
BLDG 3: LEVEL 7 - LEVEL 17

**A330**

SCALE: 1/16" = 1'-0"  
DRAWN BY: BL

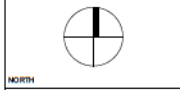
PROJECT NO: 1807  
DATE: JAN 2022



**UPPER LEVEL LEGEND**

- AMENITY
- RESIDENTIAL CIRCULATION - LOBBY, STCS
- TOWNHOUSE
- RESIDENTIAL 3-BED
- RESIDENTIAL 2-BED
- RESIDENTIAL STUDIO
- RESIDENTIAL STUDIO
- BALCONY, ROOF DECKS

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01	10/01/2019	ISSUED FOR REZONING / OP

Semiahmoo  
Town Centre

Surrey, British Columbia

BUILDING 2+3  
TOWER PENTHOUSE PLAN  
BLDG 2: LEVEL 18 - LEVEL 20  
BLDG 3: LEVEL 18 - LEVEL 20

**A331**

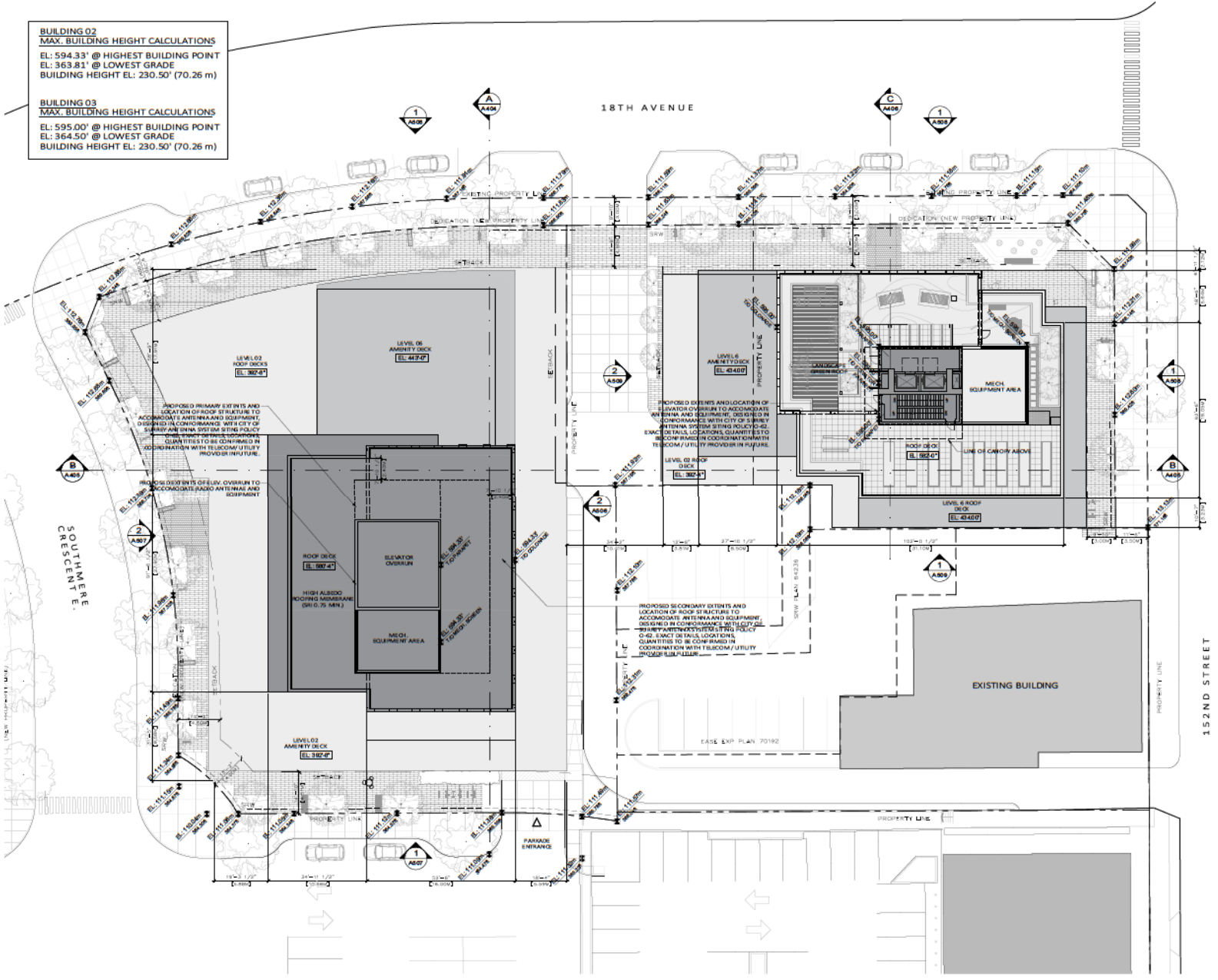
SCALE: 1/16" = 1'-0"  
PROJECT NO: 1807  
DRAWN BY: BL  
DATE: JAN 2022

**BUILDING 02**  
**MAX. BUILDING HEIGHT CALCULATIONS**  
 EL: 534.33' @ HIGHEST BUILDING POINT  
 EL: 363.81' @ LOWEST GRADE  
 BUILDING HEIGHT EL: 230.50' (70.26 m)

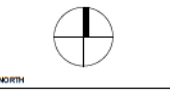
**BUILDING 03**  
**MAX. BUILDING HEIGHT CALCULATIONS**  
 EL: 595.00' @ HIGHEST BUILDING POINT  
 EL: 364.50' @ LOWEST GRADE  
 BUILDING HEIGHT EL: 230.50' (70.26 m)

**UPPER LEVEL LEGEND**

- AMENITY
- RESIDENTIAL CIRCULATION - LOBBY, DECS
- TOWNHOUSE
- RESIDENTIAL 3-BED
- RESIDENTIAL 2-BED
- RESIDENTIAL 1-BED
- RESIDENTIAL STUDIO
- BALCONY, ROOF DECK



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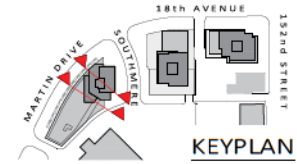
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BUILDING 2-3  
 ROOF PLAN

**A332**

SCALE: 1/8" = 1'-0"  
 PROJECT NO: 1807  
 DRAWN BY: BL  
 DATE: JAN 2022





- LEGEND**
- RETAIL
  - RETAIL CIRCULATION
  - RESIDENTIAL CIRCULATION - LOBBY, EXITS
  - TOWNHOUSE
  - RESIDENTIAL
  - RESIDENTIAL CIRCULATION - LOBBY, EXITS
  - STAIRS + ELEVATORS
  - LOADING + PARKADE

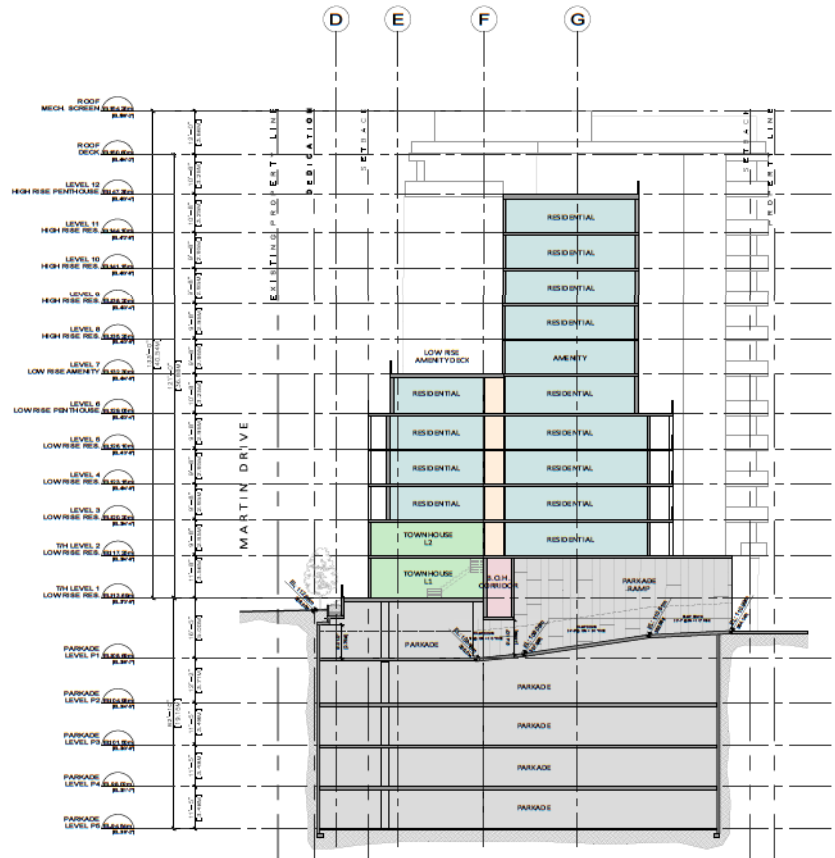
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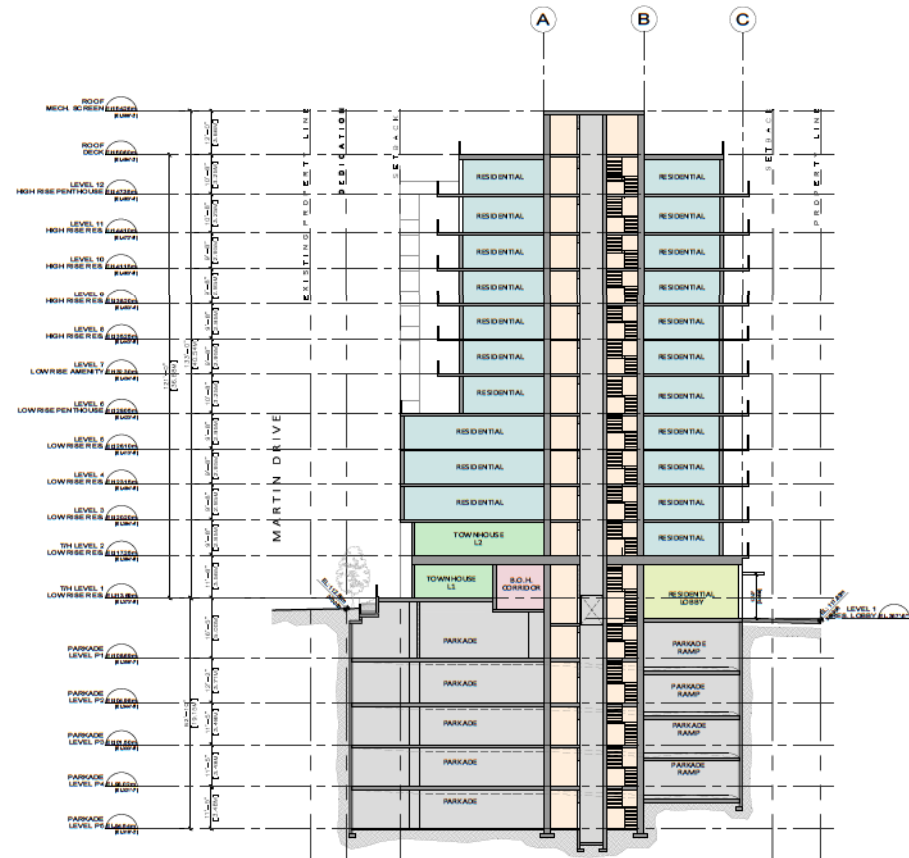
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BUILDING SECTION A



BUILDING SECTION B

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01	10/01/2019	ISSUED FOR REZONING / DP

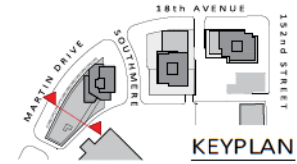
Semiahmoo  
Town Centre

Surrey, British Columbia

PHASE ONE  
BUILDING 1  
BUILDING SECTIONS

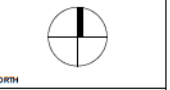
A401

SCALE: 1/16" = 1'-0"  
PROJECT NO: 1807  
DRAWN BY: DPM  
DATE: FEB 2020



- LEGEND**
- RETAIL
  - RETAIL CIRCULATION
  - RESIDENTIAL CIRCULATION - LOBBY, EXITS
  - TOWNHOUSE
  - RESIDENTIAL
  - RESIDENTIAL CIRCULATION - LOBBY, EXITS
  - STAIRS + ELEVATORS
  - LOADING + PARKADE

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Semiahmoo  
Town Centre

Surrey, British Columbia

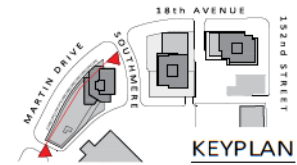
PHASE ONE  
BUILDING 1  
BUILDING SECTIONS

A402

SCALE: 1/16" = 1'-0"  
 PROJECT NO: 1807  
 DRAWN BY: DPM  
 DATE: FEB 2020

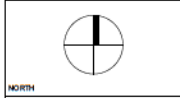


BUILDING SECTION D



- LEGEND**
- RETAIL
  - RETAIL CIRCULATION
  - RESIDENTIAL CIRCULATION - LOBBY, EXITS
  - TOWNHOUSE
  - RESIDENTIAL
  - RESIDENTIAL CIRCULATION - LOBBY, EXITS
  - STAIRS + ELEVATORS
  - LOADING + PARKADE

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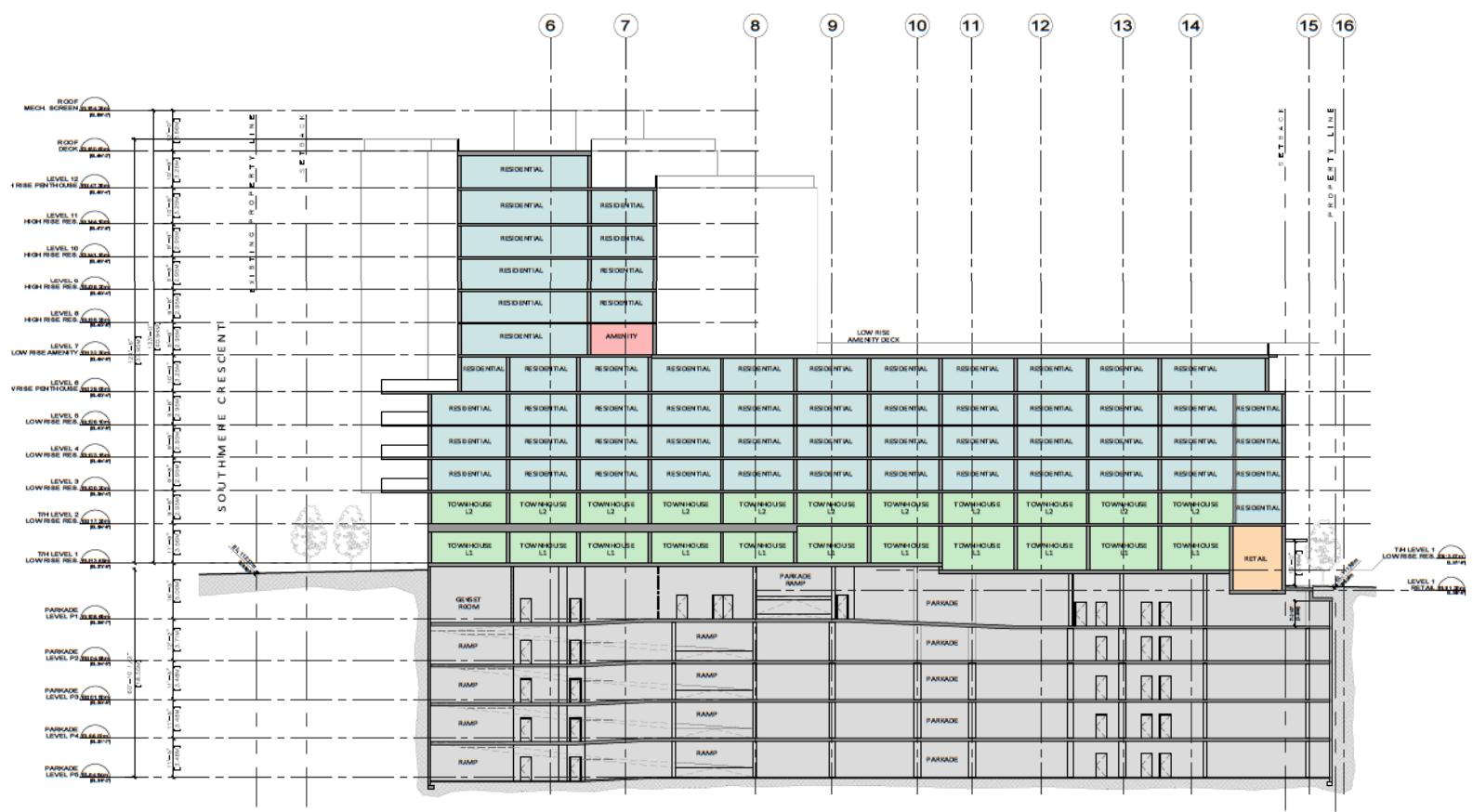
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Town Centre

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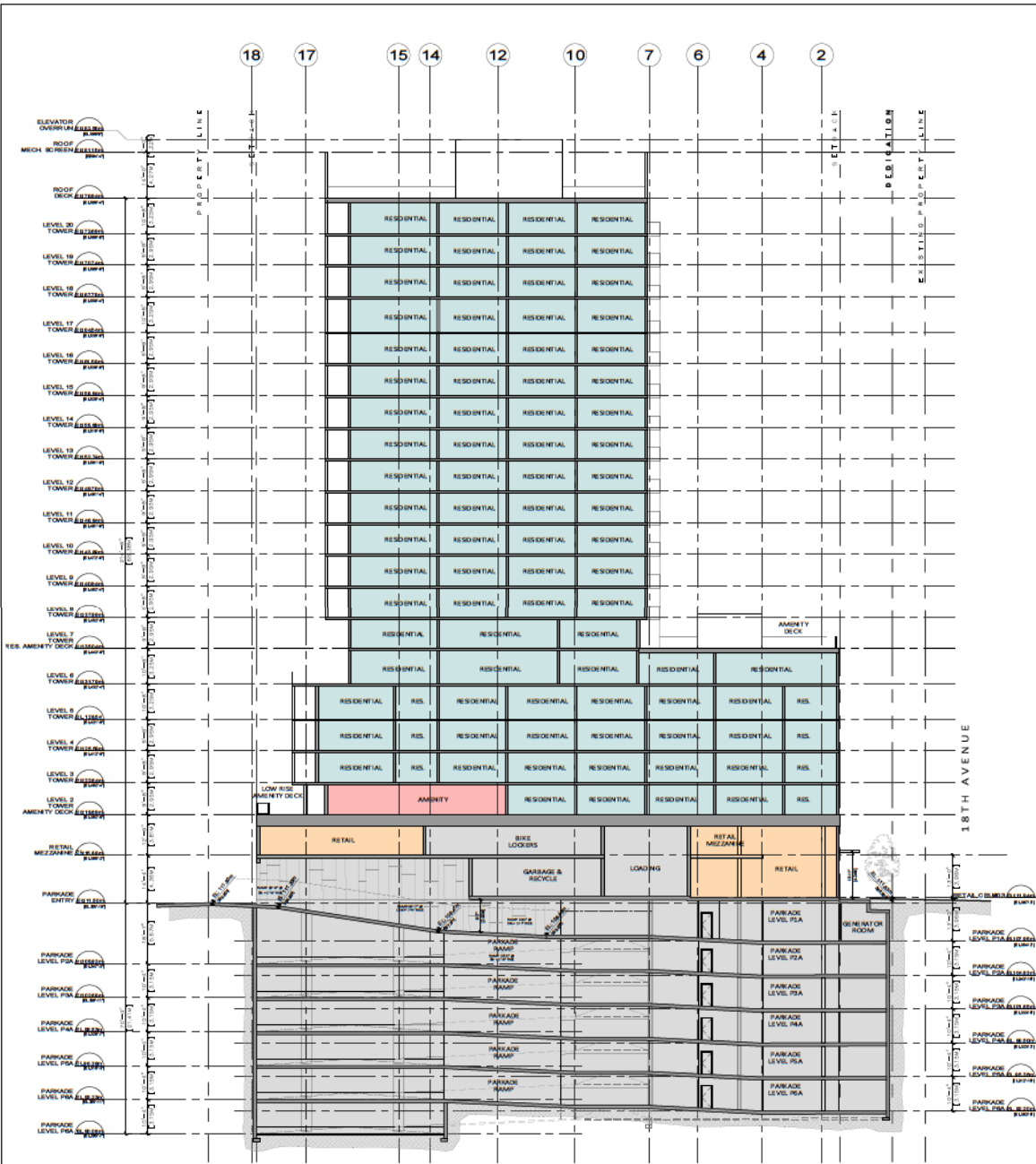
PHASE ONE  
BUILDING 1  
BUILDING SECTIONS

**A403**

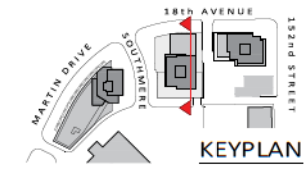
SCALE: 1/16" = 1'-0"  
PROJECT NO: 1807  
DRAWN BY: DPM  
DATE: FEB 2020



BUILDING SECTION C



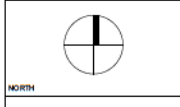
BUILDING SECTION A



**LEGEND**

- RETAIL
- RETAIL CIRCULATION
- RESIDENTIAL CIRCULATION - LOBBY, EXITS
- TOWNHOUSE
- RESIDENTIAL
- RESIDENTIAL CIRCULATION - LOBBY, EXITS
- STAIRS + ELEVATORS
- LOADING + PARKADE

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NO	DATE	REMARKS
07	09/19/2024	ADP RESPONSE 02
06	04/01/2024	ADP RESPONSE 01
05	10/16/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
03	03/01/2022	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / DP

Semiahmoo  
Town Centre

Surrey, British Columbia

PHASE ONE  
BUILDING 2  
BUILDING SECTIONS

**A404**

SCALE: 1/16" = 1'-0"  
PROJECT NO: 1807  
DRAWN BY: DPM  
DATE: FEB 2020

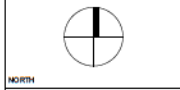
KEYPLAN



**LEGEND**

- RETAIL
- RETAIL CIRCULATION
- RESIDENTIAL CIRCULATION - LOBBY, EXITS
- TOWNHOUSE
- RESIDENTIAL
- RESIDENTIAL CIRCULATION - LOBBY, EXITS
- STAIRS + ELEVATORS
- LOADING + PARKADE

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06	04/01/2024	ADP RESPONSE 01
05	10/16/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
03	03/01/2022	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REVISION / DP

Semiahmoo  
Town Centre

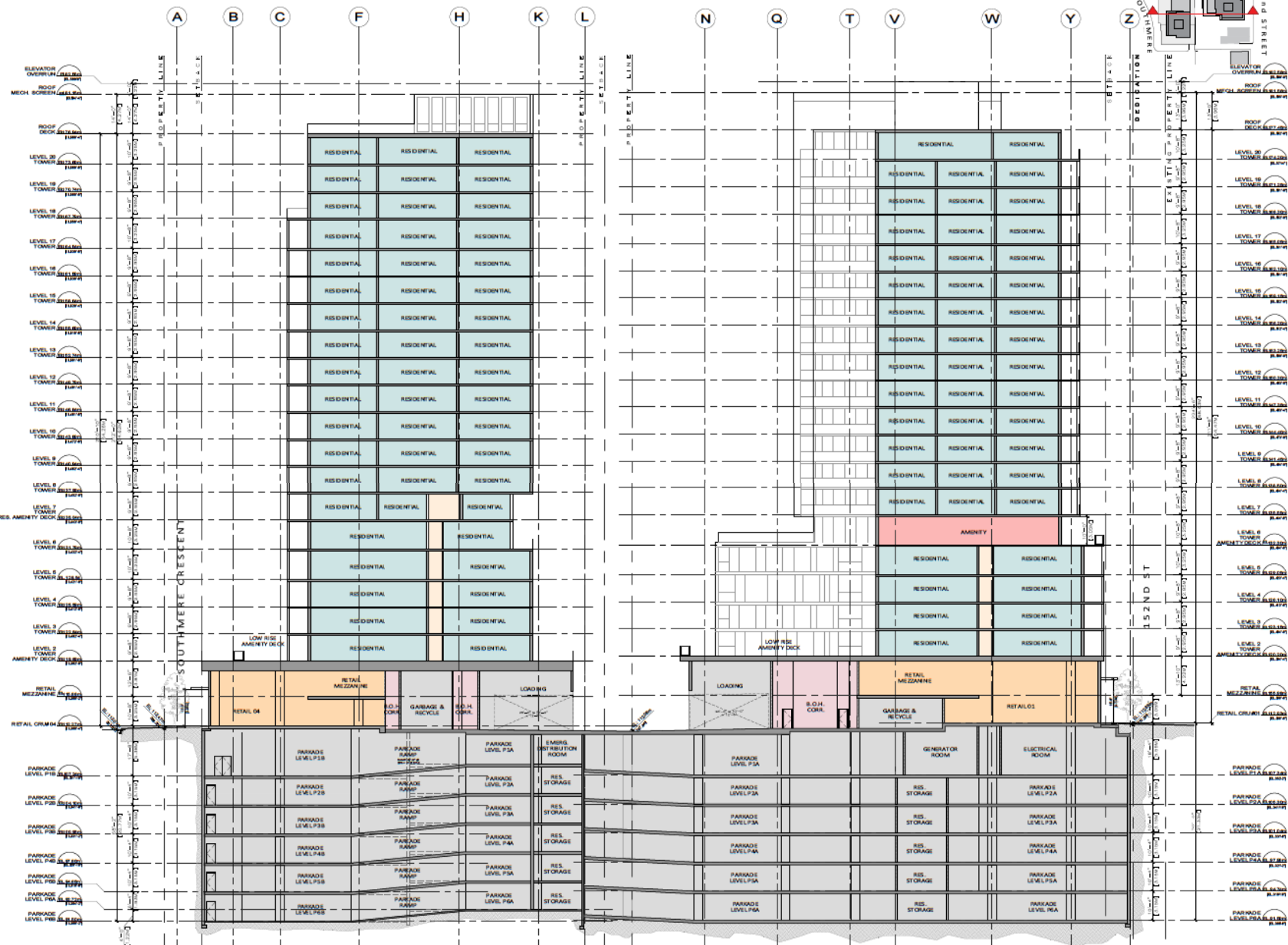
Surrey, British Columbia

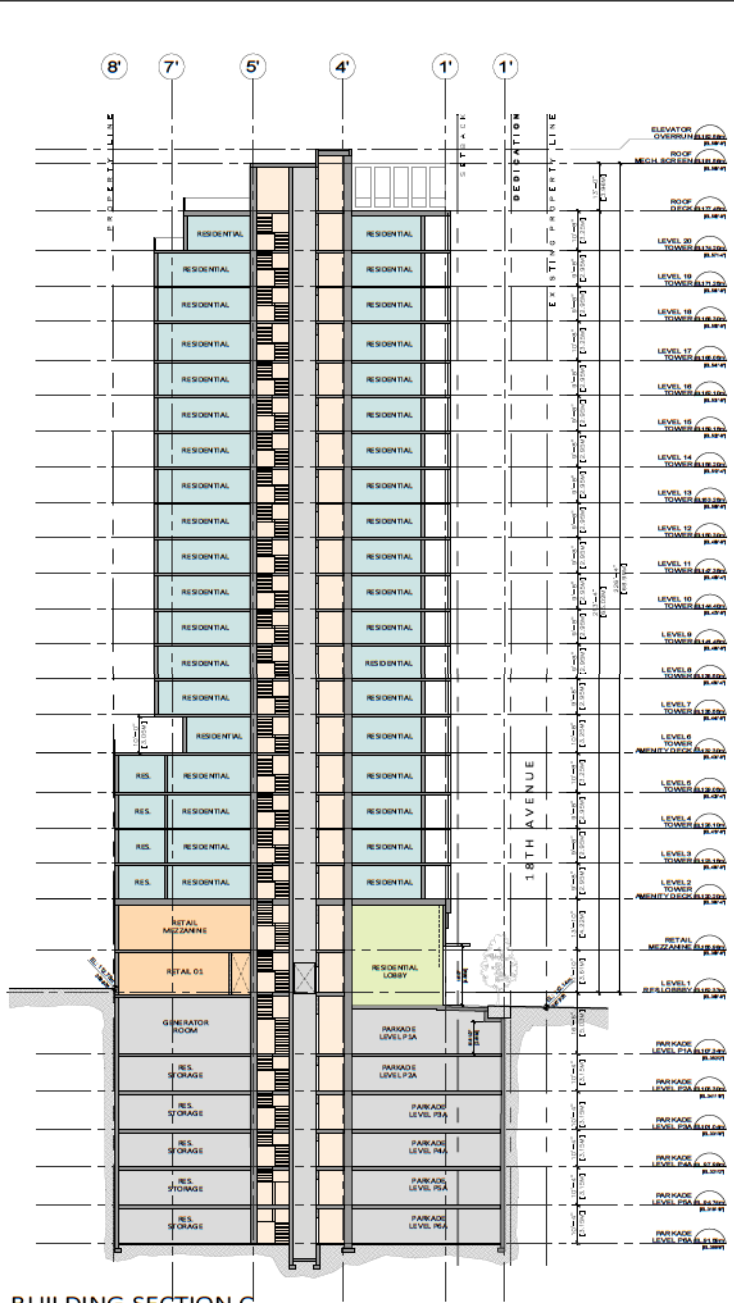
PHASE ONE  
BUILDING 2 + 3  
BUILDING SECTION

A405

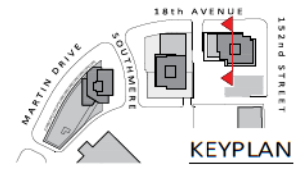
SCALE: 1/8" = 1'-0"  
PROJECT NO: 1807  
DRAWN BY: DPM  
DATE: FEB 2020

BUILDING SECTION B



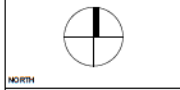


**BUILDING SECTION C**



- LEGEND**
- RETAIL
  - RETAIL CIRCULATION
  - RESIDENTIAL CIRCULATION - LOBBY, EXITS
  - TOWNHOUSE
  - RESIDENTIAL
  - RESIDENTIAL CIRCULATION - LOBBY, EXITS
  - STAIRS + ELEVATORS
  - LOADING + PARKING

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07	09/19/2024	ADP RESPONSE 02
06	04/01/2024	ADP RESPONSE 01
05	10/16/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
03	03/01/2022	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / DP

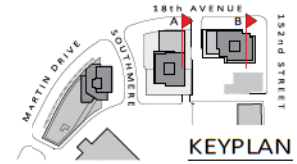
Semiahmoo  
Town Centre

Surrey, British Columbia

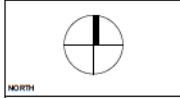
PHASE ONE  
BUILDING 3  
BUILDING SECTIONS

**A406**

SCALE: 1/16" = 1'-0"  
PROJECT NO: 1807  
DRAWN BY: DPM  
DATE: FEB 2020



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06	04/01/2024	ADP RESPONSE 01
05	19/10/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
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02	11/17/2020	RESPONSE TO DRG 01
01	16/01/2019	ISSUED FOR REZONING / OP

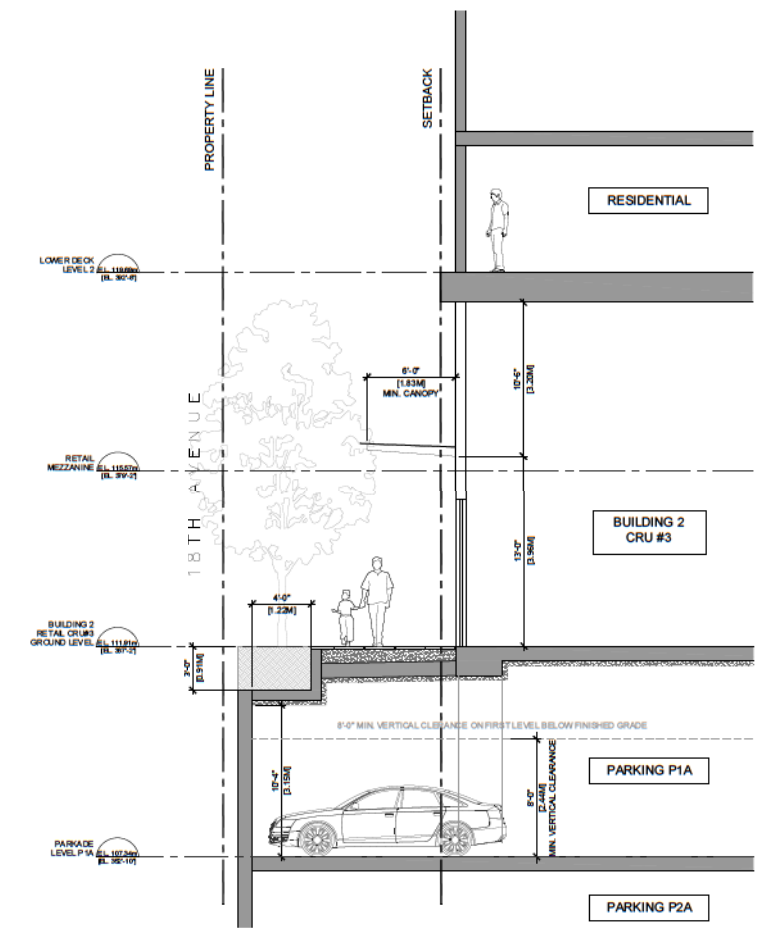
Semiahmoo  
Town Centre

Surrey, British Columbia

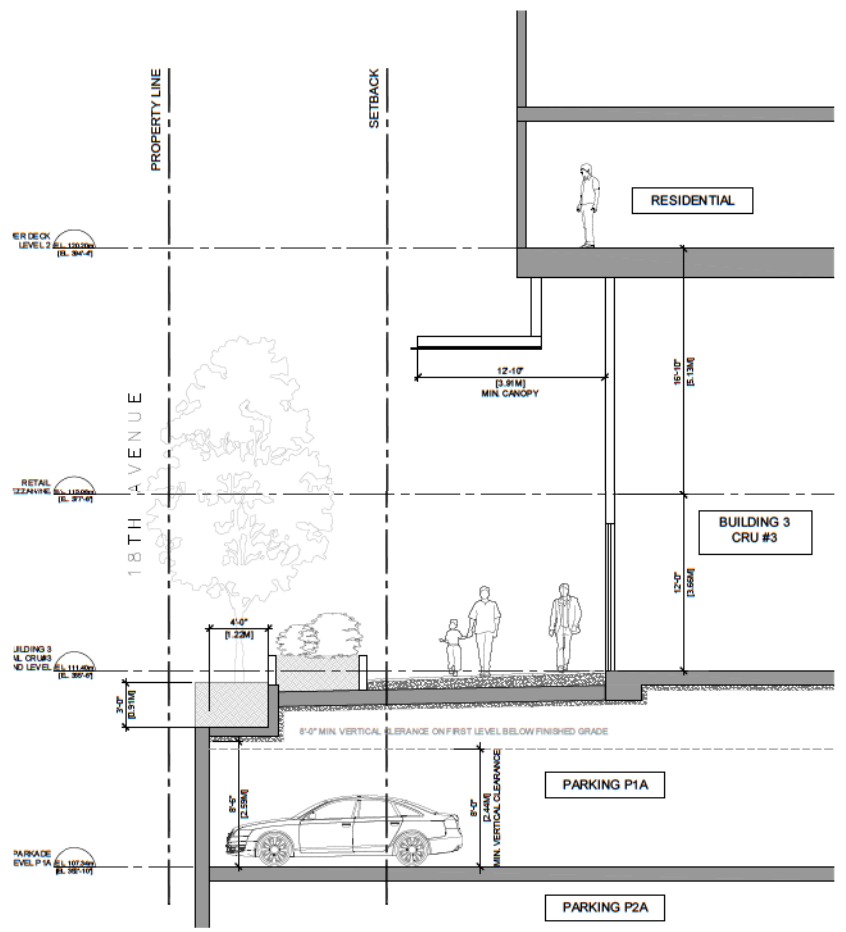
PHASE ONE  
BUILDING 3  
WALL SECTIONS

A451

SCALE: 1/16" = 1'-0"  
PROJECT NO: 1807  
DRAWN BY: DPM  
DATE: FEB 2020



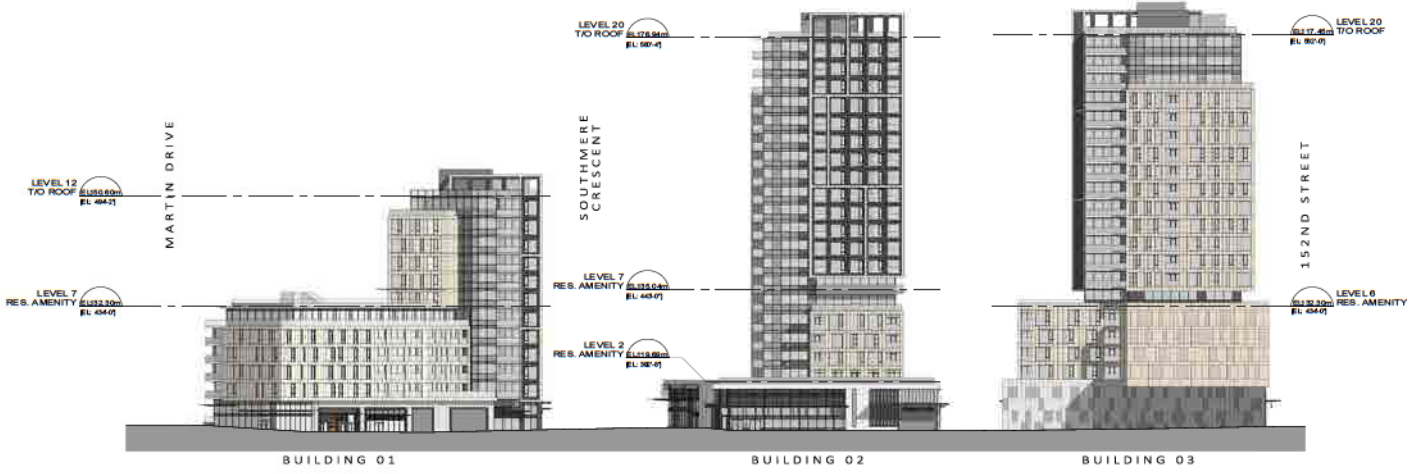
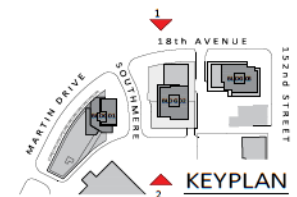
WALL SECTION A



WALL SECTION B

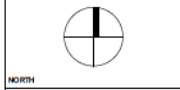


1 - NORTH ELEVATION (18TH AVENUE/ MARTIN DRIVE)



2 - SOUTH ELEVATION (EXISTING SEMIAHMOO SHOPPING CENTRE)

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05	10/19/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
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02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / DP

Semiahmoo  
Town Centre

Surrey, British Columbia

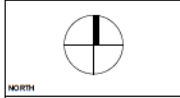
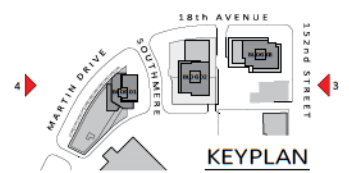
PHASE ONE  
SITE ELEVATION  
NORTH AND SOUTH

A501

SCALE: 1/32" = 1'-0"	PROJECT NO:
DRAWN BY: DG	DATE: FEB 2020



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04	07/07/2023	RESPONSE TO DRG 03
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02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / O/P

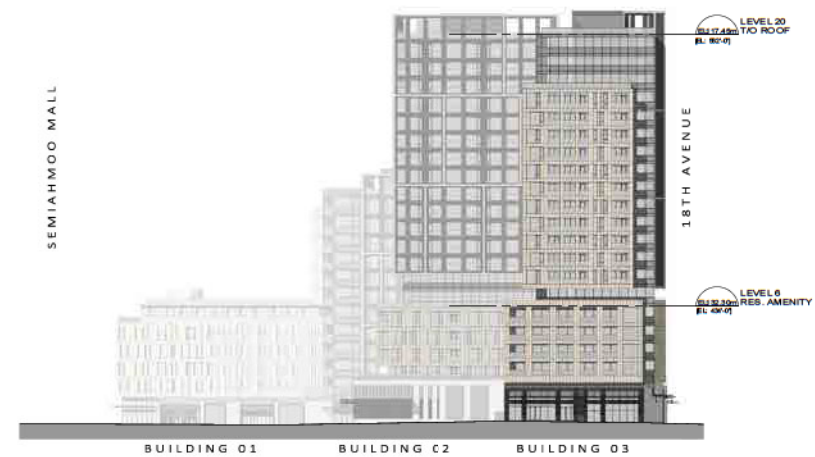
Semiahmoo  
Town Centre

Surrey, British Columbia

PHASE ONE  
SITE ELEVATION  
EAST AND WEST

A502

SCALE: 1/32" = 1'-0"	PROJECT NO:
DRAWN BY: DG	DATE: FEB 2020

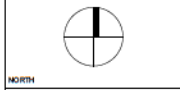


3 - EAST ELEVATION (152 STREET)



4 - WEST ELEVATION

THESE ELEVATIONS ARE PRELIMINARY AND SUBJECT TO CHANGE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.



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06	04/01/2024	ADP RESPONSE 01
05	10/16/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
03	03/01/2022	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / DP

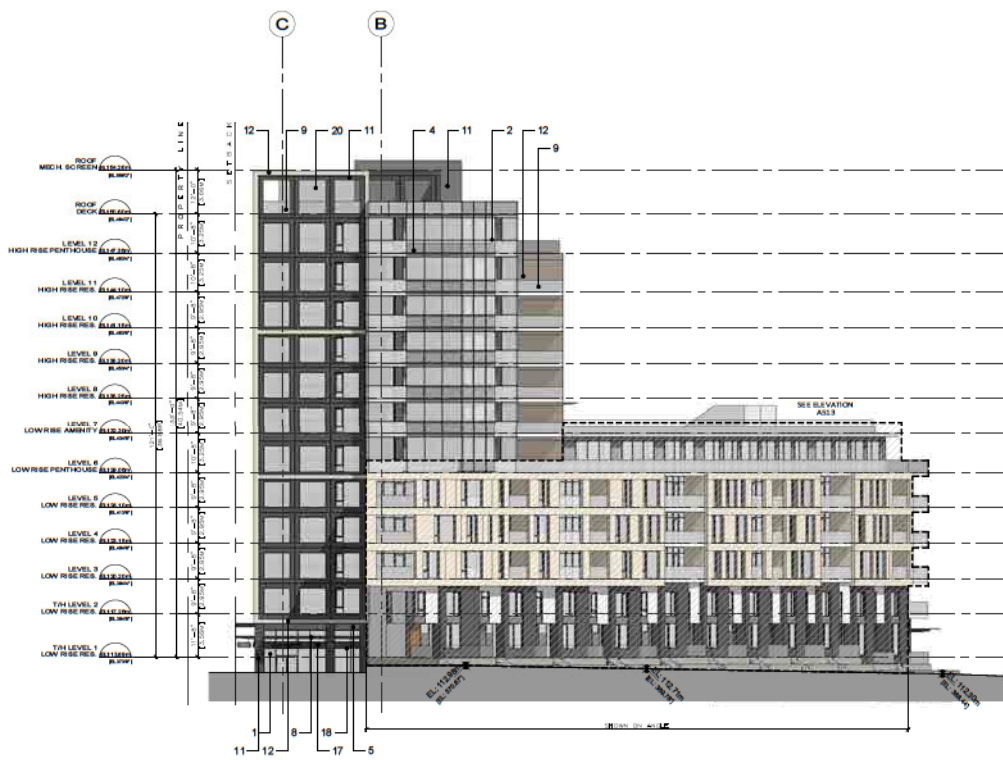
Semiahmoo  
Town Centre

Surrey, British Columbia

BUILDING 1  
NORTH & SOUTH  
ELEVATIONS

A510

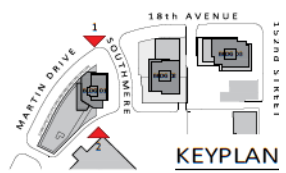
SCALE: 1/8" = 1'-0"  
PROJECT NO: 1807  
DRAWN BY: DPM  
DATE: OCT 2020



1 - NORTH ELEVATION (18TH AVENUE/ MARTIN DRIVE)



2 - SOUTH ELEVATION (EXISTING SEMIAHMOO SHOPPING CENTRE)



EXTERIOR MATERIAL FINISH SCHEDULE	
1. DOUBLE GLAZED ALUM. STOREFRONT (BLACK)	14. FIBER CEMENT PANEL (MED. GRAY)
2. DOUBLE GLAZED ALUM. WINDOW WALL (GRAY)	15. BRCK MASONRY (CHARCOAL)
3. DOUBLE GLAZED ALUM. WINDOW WALL (BLACK)	16. BRCK MASONRY (WHITE)
4. GLAZED SPANDREL PANEL (GRAY)	17. HORIZONTAL ALUM. FINI (BLACK)
5. PRE-FINISHED ALUMINUM LOUVER (GRAY)	18. ALUM. SPANDREL PANEL (CHARCOAL)
6. PERFORATED ALUMINUM GUARD (CHARCOAL)	19. PAINTED METAL C-CHANNEL (CHARCOAL)
7. CAST-IN-PLACE CONCRETE W/ CLEAR SEALER	20. POLISHED METAL SCREEN, ANODIZED (GRAY)
8. TEMPERED LAMINATED GLASS (WALNUT)	21. VERTICAL ALUMINUM FINI (WHITE)
9. HIGH PRESSURE LAMINATE PANEL (WALNUT)	22. TRANSLUCENT GLASS PRIVACY SCREEN W/ ALUMINUM FRAME
10. FIBER CEMENT PANEL (CHARCOAL)	
11. FIBER CEMENT PANEL (SANDSTONE)	
12. FIBER CEMENT PANEL (WHITE)	

THE ARCHITECT'S RESPONSIBILITY IS TO PREPARE ARCHITECTURAL DRAWINGS THAT COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE AND TO PROVIDE TECHNICAL SUPPORT TO THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITY.



NORTH

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04	07/07/2023	RESPONSE TO DRG 03
03	03/01/2022	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / DP

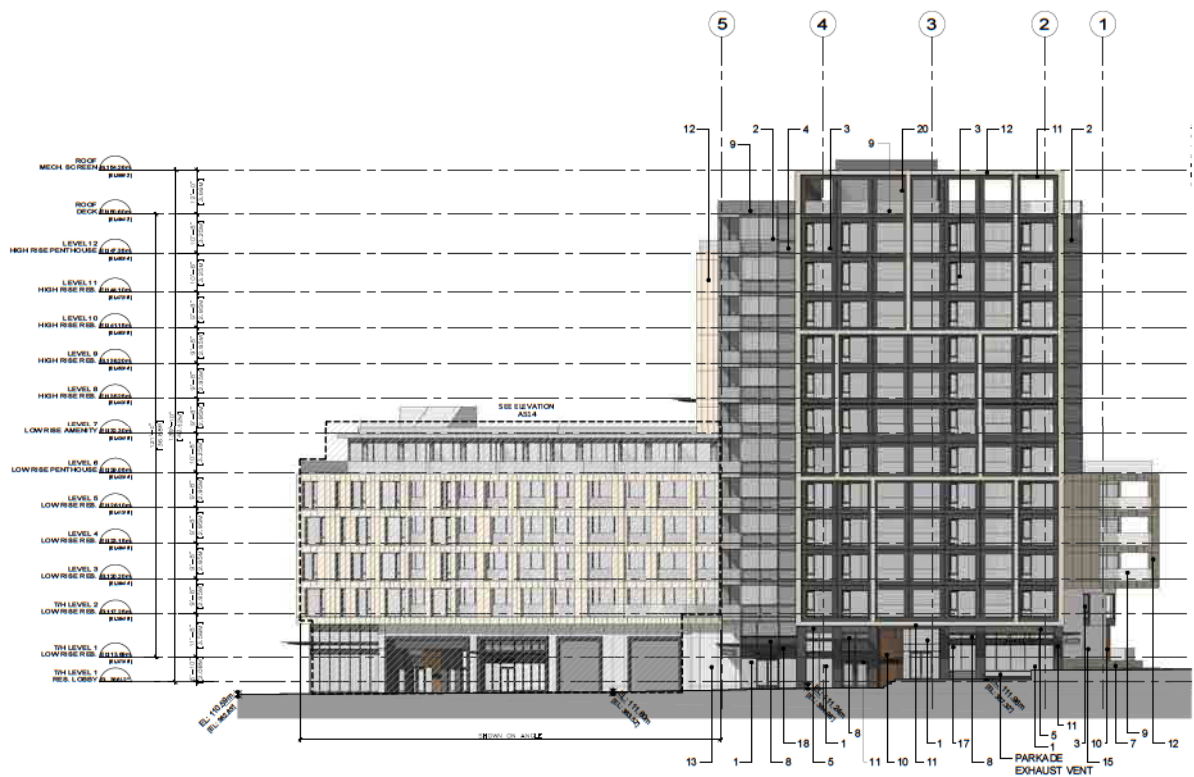
Semiahmoo  
Town Centre

Surrey, British Columbia

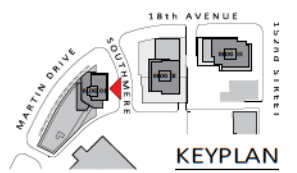
BUILDING 1  
EAST ELEVATIONS

A511

SCALE: 1/8" = 1'-0"  
PROJECT NO: 1807  
DRAWN BY: DPM  
DATE: OCT 2020

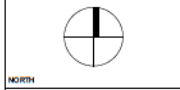


**EAST ELEVATION (EXISTING SEMIAHMOO SHOPPING CENTRE)**



EXTERIOR MATERIAL FINISH SCHEDULE	
1. DOUBLE GLAZED ALUM. STOREFRONT (BLACK)	14. FIBER CEMENT PANEL (MED. GRAY)
2. DOUBLE GLAZED ALUM. WINDOW WALL (GRAY)	15. BRCK MASONRY (CHARCOAL)
3. DOUBLE GLAZED ALUM. WINDOW WALL (BLACK)	16. BRCK MASONRY (WHITE)
4. GLAZED SPANDREL PANEL (GRAY)	17. HORIZONTAL ALUM. FINI (BLACK)
5. PRE-FINISHED ALUMINUM LOUVER (GRAY)	18. ALUM. SPANDREL PANEL (CHARCOAL)
6. PERFORATED ALUMINUM GUARD (CHARCOAL)	19. PAINTED METAL C-CHANNEL (CHARCOAL)
7. CAST-IN-PLACE CONCRETE W/ CLEAR SEALER	20. PRE-FINISHED METAL SCREEN, ANODIZED GRAY
8. TEMPERED LAMINATED GLASS QUARD	21. VERTICAL ALUMINUM FINI (WHITE)
9. HIGH PRESSURE LAMINATE PANEL (WALNUT)	22. TRANSLUCENT GLASS PRIVACY SCREEN W/ ALUMINUM FRAME
10. FIBER CEMENT PANEL (CHARCOAL)	
11. FIBER CEMENT PANEL (SANDSTONE)	
12. FIBER CEMENT PANEL (WHITE)	

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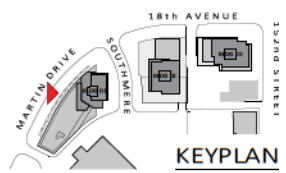
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**WEST ELEVATION (18TH AVENUE/ MARTIN DRIVE)**



EXTERIOR MATERIAL FINISH SCHEDULE	
1. DOUBLE GLAZED ALUM. STOREFRONT (BLACK)	14. FIBER CEMENT PANEL (MED. GRAY)
2. DOUBLE GLAZED ALUM. WINDOW WALL (GRAY)	15. BRCK MASONRY (CHARCOAL)
3. DOUBLE GLAZED ALUM. WINDOW WALL (BLACK)	16. BRCK MASONRY (WHITE)
4. GLAZED SPANDREL PANEL (GRAY)	17. HORIZONTAL ALUM. FINI (BLACK)
5. PRE-FINISHED ALUMINUM LOUVER (GRAY)	18. ALUM. SPANDREL PANEL (CHARCOAL)
6. PERFORATED ALUMINUM GUARD (CHARCOAL)	19. PAINTED METAL C-CHANNEL (CHARCOAL)
7. CAST-IN-PLACE CONCRETE W/ CLEAR SEALER	20. PRE-FINISHED METAL SCREEN, ANODIZED (GRAY)
8. TEMPERED LAMINATED GLASS (WALNUT)	21. VERTICAL ALUMINUM FINS (WHITE)
9. HIGH PRESSURE LAMINATE PANEL (WALNUT)	22. TRANSLUCENT GLASS PRIVACY SCREEN W/ ALUMINUM FRAME
10. FIBER CEMENT PANEL (CHARCOAL)	
11. FIBER CEMENT PANEL (SANDSTONE)	
12. FIBER CEMENT PANEL (WHITE)	

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SCALE

NO	DATE	REMARKS
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06	04/01/2024	ADP RESPONSE 01
05	10/16/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
03	03/01/2022	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / O/P

Semiahmoo  
Town Centre

Surrey, British Columbia

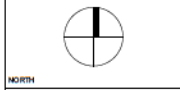
BUILDING 1  
WEST ELEVATION

A512

SCALE: 1/16" = 1'-0"  
DRAWN BY: DPM

PROJECT NO: 1807  
DATE: OCT 2020

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SCALE

NO	DATE	REMARKS
07	09/19/2024	ADP RESPONSE 02
06	04/01/2024	ADP RESPONSE 01
05	10/16/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
03	03/01/2022	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / O/P

SCALE

Semiahmoo  
Town Centre

Surrey, British Columbia

BUILDING 1  
NORTH-WEST  
ELEVATION

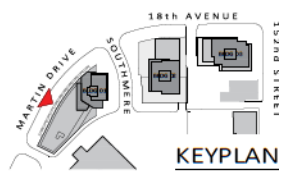
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PROJECT NO: 1807  
DRAWN BY: DPM  
DATE: OCT 2020



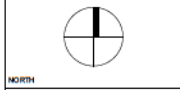
**NORTH-WEST ELEVATION (18TH AVENUE/ MARTIN DRIVE)**

EXTERIOR MATERIAL FINISH SCHEDULE	
1. DOUBLE GLAZED ALUM. STOREFRONT (BLACK)	14. FIBER CEMENT PANEL (MED. GRAY)
2. DOUBLE GLAZED ALUM. WINDOW WALL (GRAY)	15. BRCK MASONRY (CHARCOAL)
3. DOUBLE GLAZED ALUM. WINDOW WALL (BLACK)	16. BRCK MASONRY (WHITE)
4. GLAZED SPANDREL PANEL (GRAY)	17. HORIZONTAL ALUM. FINI (BLACK)
5. PRE-FINISHED ALUMINUM LOUVER (GRAY)	18. ALUM. SPANDREL PANEL (CHARCOAL)
6. PERFORATED ALUMINUM GUARD (CHARCOAL)	19. PAINTED METAL C-CHANNEL (CHARCOAL)
7. CAST-IN-PLACE CONCRETE W/ CLEAR SEALER	20. PRE-FINISHED METAL SCREEN, ANODIZED GRAY
8. TEMPERED LAMINATED GLASS CANDP	21. VERTICAL ALUMINUM FINS (WHITE)
9. TEMPERED LAMINATED GLASS GUARD W/ ALUMINUM FRAME	22. TRANSLUCENT GLASS PRIVACY SCREEN W/ ALUMINUM FRAME
10. HIGH PRESSURE LAMINATE PANEL (WALNUT)	
11. FIBER CEMENT PANEL (CHARCOAL)	
12. FIBER CEMENT PANEL (SANDSTONE)	
13. FIBER CEMENT PANEL (WHITE)	



**KEYPLAN**

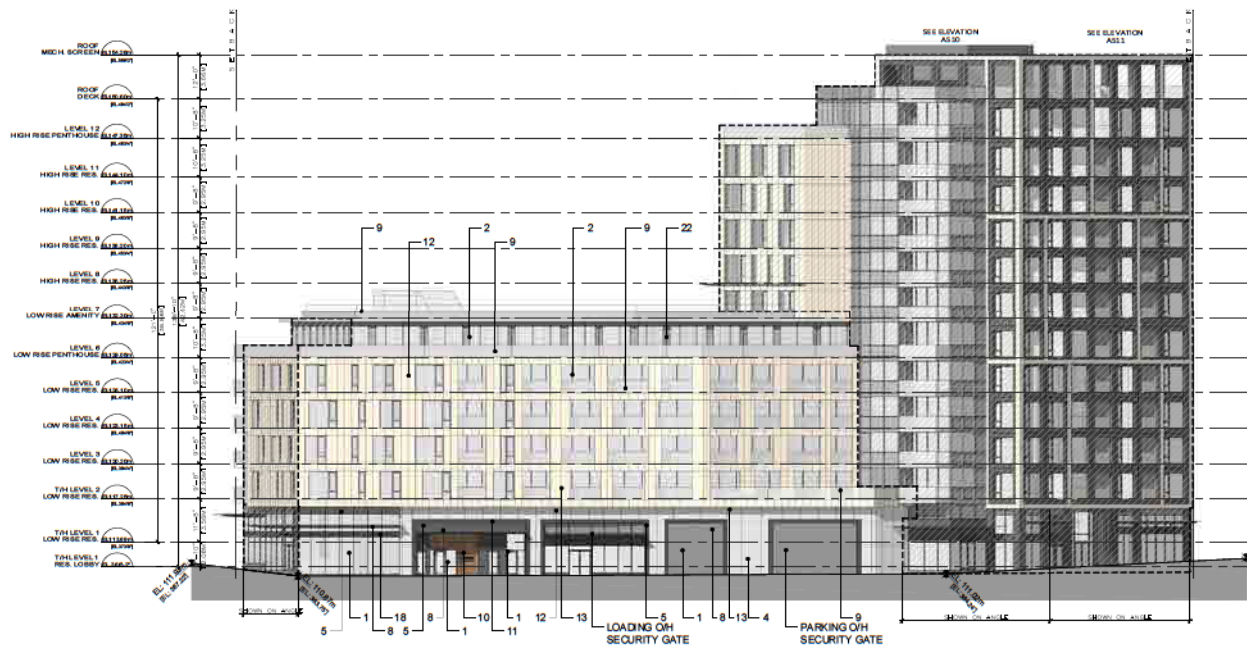
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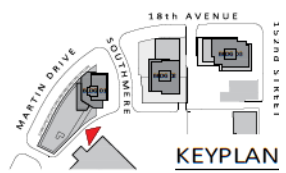
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E: info@formosis.ca www.formosis.ca

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**SOUTH-EAST ELEVATION (EXISTING SEMIAHMOO SHOPPING CENTRE)**



EXTERIOR MATERIAL FINISH SCHEDULE	
1. DOUBLE GLAZED ALUM. STOREFRONT (BLACK)	14. FIBER CEMENT PANEL (MED. GRAY)
2. DOUBLE GLAZED ALUM. WINDOW WALL (GRAY)	15. BRCK MASONRY (CHARCOAL)
3. DOUBLE GLAZED ALUM. WINDOW WALL (BLACK)	16. BRCK MASONRY (WHITE)
4. GLAZED SPANDREL PANEL (GRAY)	17. HORIZONTAL ALUM. FINI (BLACK)
5. PRE-FINISHED ALUMINUM LOUVER (GRAY)	18. ALUM. SPANDREL PANEL (CHARCOAL)
6. PERFORATED ALUMINUM GUARD (CHARCOAL)	19. PAINTED METAL C-CHANNEL (CHARCOAL)
7. CAST-IN-PLACE CONCRETE W/ CLEAR SEALER	20. PRE-FINISHED METAL SCREEN, ANODIZED (GRAY)
8. TEMPERED LAMINATED GLASS (WALNUT)	21. VERTICAL ALUMINUM FINS (WHITE)
9. TEMPERED LAMINATED GLASS QUARD W/ ALUMINUM FRAME	22. TRANSLUCENT GLASS PRIVACY SCREEN W/ ALUMINUM FRAME
10. HIGH PRESSURE LAMINATE PANEL (WALNUT)	
11. FIBER CEMENT PANEL (CHARCOAL)	
12. FIBER CEMENT PANEL (SANDSTONE)	
13. FIBER CEMENT PANEL (WHITE)	

CONSULTANT

SCALE

NO	DATE	REMARKS
07	09/19/2024	ADP RESPONSE 02
06	04/01/2024	ADP RESPONSE 01
05	10/16/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
03	03/01/2022	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / O/P

Semiahmoo  
Town Centre

Surrey, British Columbia

BUILDING 1  
SOUTH-EAST  
ELEVATIONS

A514

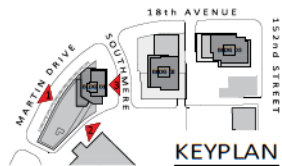
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PROJECT NO: 1807  
DRAWN BY: DPM  
DATE: OCT 2020



1 - TYPICAL TOWNHOUSE ENTRANCE ALONG MARTIN DR.

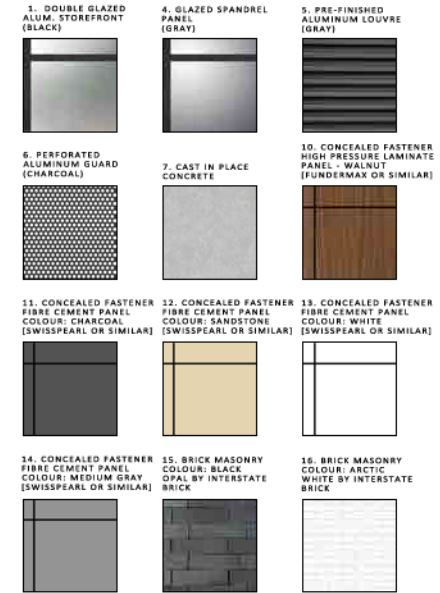


2 - LOADING AND PARKADE ENTRANCE



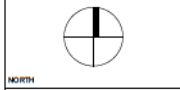
3 - PRIMARY RESIDENTIAL ENTRANCE

EXTERIOR MATERIAL BOARD



EXTERIOR MATERIAL FINISH SCHEDULE	
1. DOUBLE GLAZED ALUM. STOREFRONT (BLACK)	14. FIBER CEMENT PANEL (MED. GRAY)
2. DOUBLE GLAZED ALUM. WINDOW WALL (GRAY)	15. BRICK MASONRY (CHARCOAL)
3. DOUBLE GLAZED ALUM. WINDOW WALL (BLACK)	16. BRICK MASONRY (WHITE)
4. GLAZED SPANDELM PANEL (GRAY)	17. HORIZONTAL ALUM. FINIS (BLACK)
5. PRE-FINISHED ALUMINUM LOUVRE (GRAY)	18. ALUM. SPANDELM PANEL (CHARCOAL)
6. PERFORATED ALUMINUM GUARD (CHARCOAL)	19. PAINTED METAL C-CHANNEL (CHARCOAL)
7. CAST-IN-PLACE CONCRETE W/ CLEAR SEALER	20. PRE-FINISHED METAL SCREEN, ANODIZED (GRAY)
8. TEMPERED LAMINATED GLASS CANOPY	21. VERTICAL ALUMINUM FINIS (WHITE)
9. HIGH PRESSURE LAMINATE PANEL (WALNUT)	22. TRANSLUCENT GLASS PRIVACY SCREEN W/ ALUMINUM FRAME
10. FIBER CEMENT PANEL (CHARCOAL)	
11. FIBER CEMENT PANEL (WHITE)	
12. FIBER CEMENT PANEL (MEDIUM GRAY)	
13. FIBER CEMENT PANEL (SWISSPEARL OR SIMILAR)	

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NO	DATE	REMARKS
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06	04/01/2024	ADP RESPONSE 01
05	10/16/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
03	03/01/2022	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
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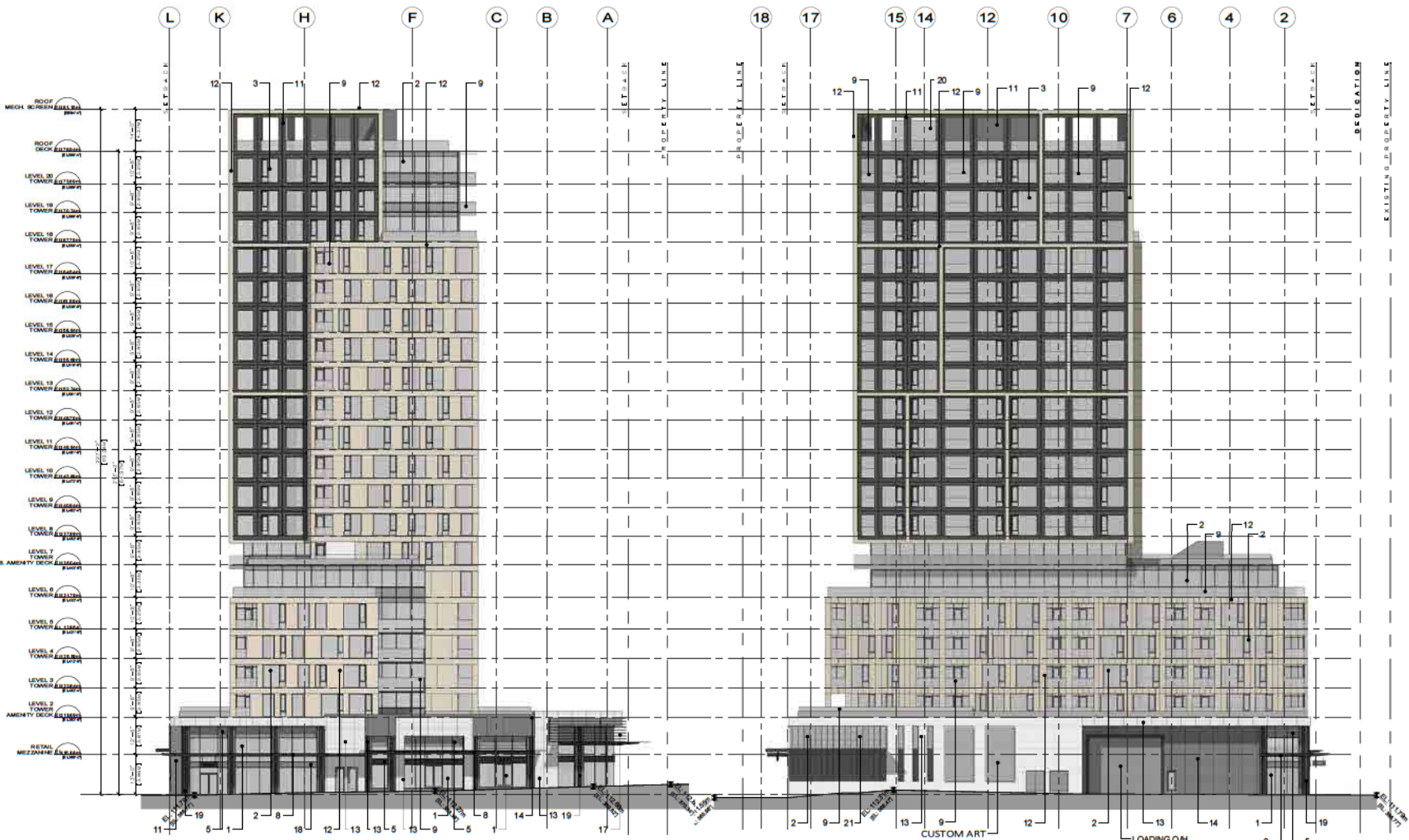
Semiahmoo  
Town Centre

Surrey, British Columbia

BUILDING 1  
ENLARGED ELEVATIONS

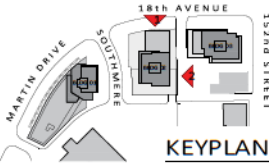
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DATE: FEB 2020



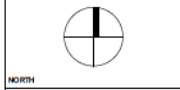
1 | NORTH ELEVATION (18TH AVENUE)

2 | EAST ELEVATION



EXTERIOR MATERIAL FINISH SCHEDULE	
1. DOUBLE GLAZED ALUM. STOREFRONT (BLACK)	14. FIBER CEMENT PANEL (MED. GRAY)
2. DOUBLE GLAZED ALUM. WINDOW WALL (GRAY)	15. BRCK MASONRY (CHARCOAL)
3. DOUBLE GLAZED ALUM. WINDOW WALL (BLACK)	16. BRCK MASONRY (WHITE)
4. GLAZED SPANDREL PANEL (GRAY)	17. HORIZONTAL ALUM. FINI (BLACK)
5. PRE-FINISHED ALUMINUM LOUIVE (GRAY)	18. ALUM. SPANDREL PANEL (CHARCOAL)
6. PERFORATED ALUMINUM GUARD (CHARCOAL)	19. PAINTED METAL C-CHANNEL (CHARCOAL)
7. CAST-IN-PLACE CONCRETE W/ CLEAR SEALER	20. PLS-FINISHED METAL SCREEN, ANODIZED GRAY
8. TEMPERED LAMINATED GLASS CANDP	21. VERTICAL ALUMINUM FINS (WHITE)
9. TEMPERED LAMINATED GLASS QUARD W/ ALUMINUM FRAME	22. TRANSLUCENT GLASS PRIVACY SCREEN W/ ALUMINUM FRAME
10. HIGH PRESSURE LAMINATE PANEL (WALNUT)	
11. FIBER CEMENT PANEL (CHARCOAL)	
12. FIBER CEMENT PANEL (SANDSTONE)	
13. FIBER CEMENT PANEL (WHITE)	

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NO	DATE	REMARKS
07	09/19/2024	ADP RESPONSE 02
06	04/01/2024	ADP RESPONSE 01
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02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / DP

Semiahmoo  
Town Centre

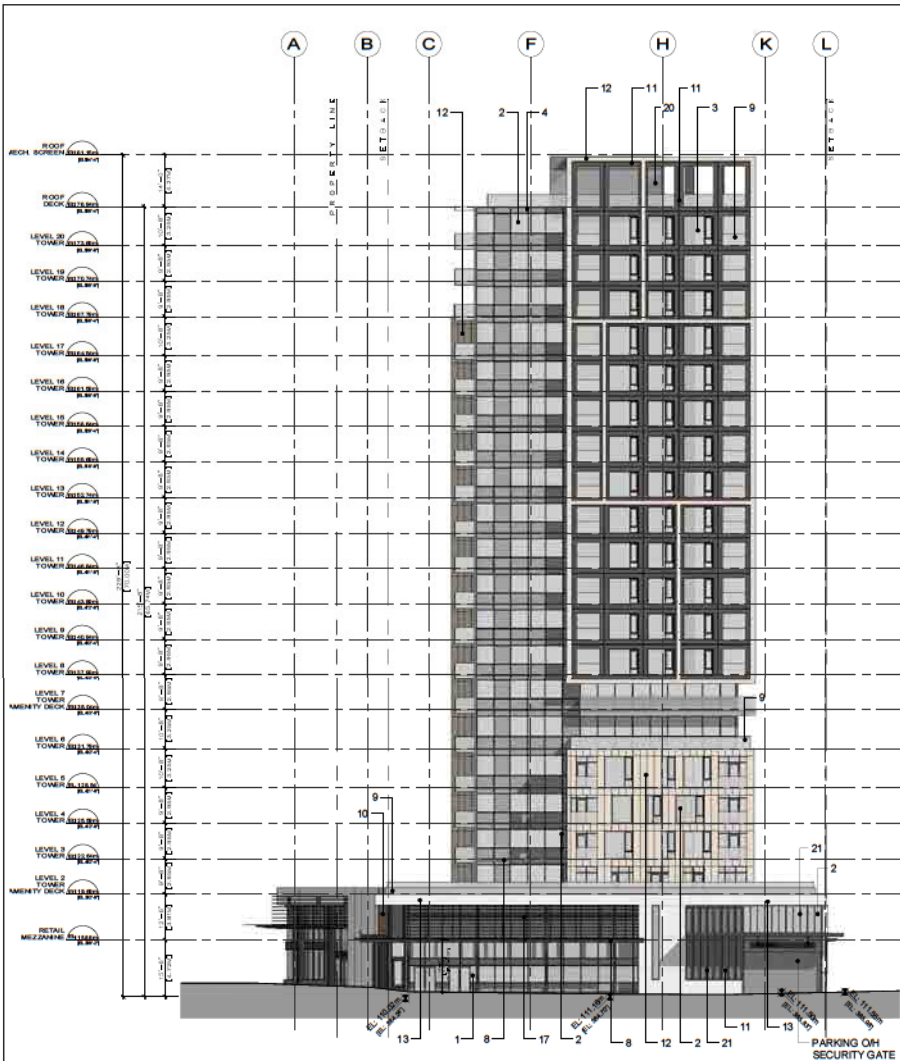
Surrey, British Columbia

BUILDING 2  
NORTH AND EAST ELEVATION

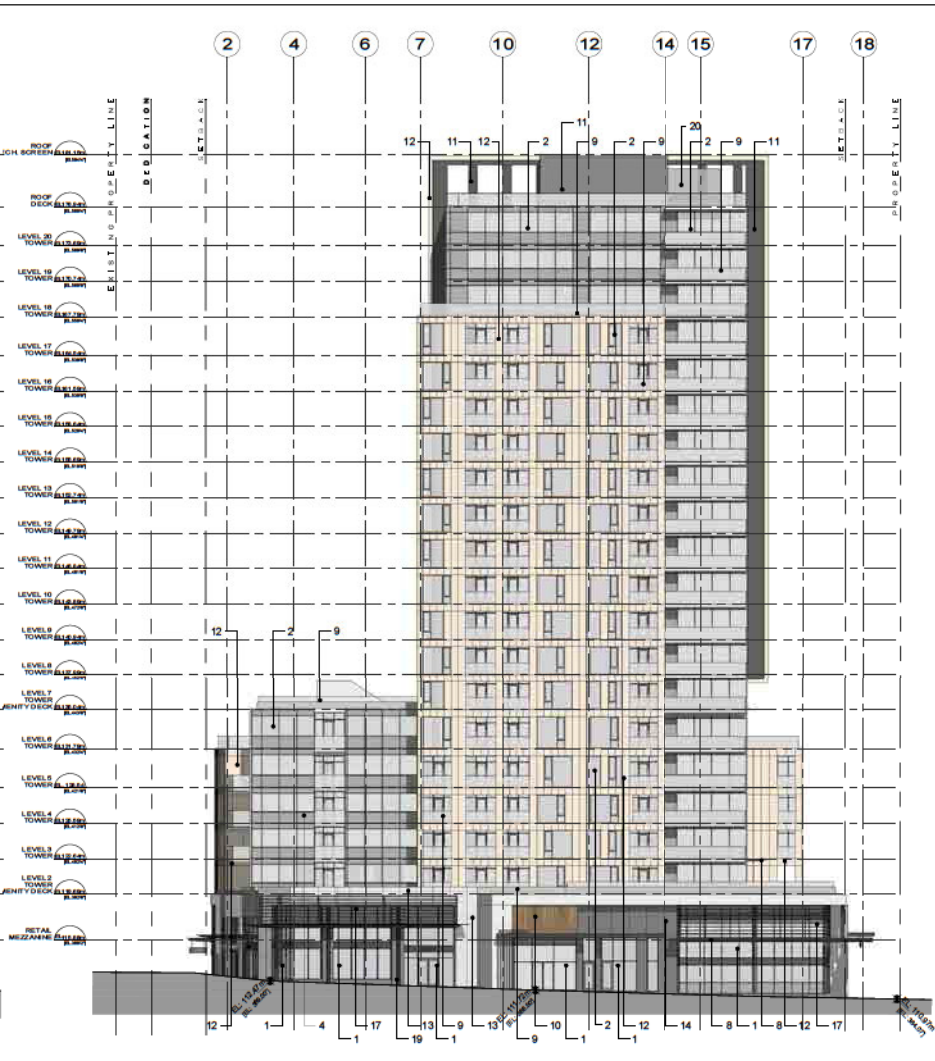
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DRAWN BY: DPM  
DATE: OCT 2020

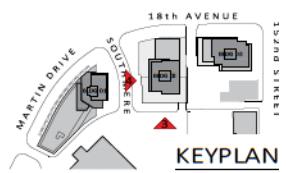




3 | SOUTH ELEVATION

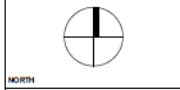


4 | WEST ELEVATION  
(SOUTHMERE CRESCENT E.)



EXTERIOR MATERIAL FINISH SCHEDULE	
1. DOUBLE GLAZED ALUM. STOREFRONT (BLACK)	14. FIBER CEMENT PANEL (MED. GRAY)
2. DOUBLE GLAZED ALUM. WINDOW WALL (GRAY)	15. BRCK MASONRY (WHITE)
3. DOUBLE GLAZED ALUM. WINDOW WALL (BLACK)	16. BRCK MASONRY (WHITE)
4. GLAZED SPANDREL PANEL (GRAY)	17. HORIZONTAL ALUM. FINI (BLACK)
5. PRE-FINISHED ALUMINUM LOUIVE (GRAY)	18. ALUM. SPANDREL PANEL (CHARCOAL)
6. PERFORATED ALUMINUM GUARD (CHARCOAL)	19. PAINTED METAL C-CHANNEL (CHARCOAL)
7. CAST-IN-PLACE CONCRETE W/ CLEAR SEALER	20. PLS-FINISHED METAL SCREEN, ANODIZED GRAY
8. TEMPERED LAMINATED GLASS QUARD	21. VERTICAL ALUMINUM FINI (WHITE)
9. TEMPERED LAMINATED GLASS QUARD W/ ALUMINUM FRAME	22. TRANSLUCENT GLASS PRIVACY SCREEN W/ ALUMINUM FRAME
10. HIGH PRESSURE LAMINATE PANEL (WALNUT)	
11. FIBER CEMENT PANEL (CHARCOAL)	
12. FIBER CEMENT PANEL (SANDSTONE)	
13. FIBER CEMENT PANEL (WHITE)	

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NO	DATE	REMARKS
07	09/19/2024	ADP RESPONSE 02
06	04/01/2024	ADP RESPONSE 01
05	10/16/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
03	03/01/2023	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REVISIONS / DP

Semiahmoo  
Town Centre

Surrey, British Columbia

BUILDING 2  
SOUTH AND WEST ELEVATION

A521

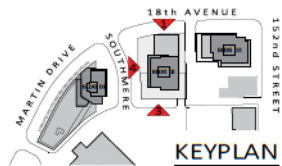
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PROJECT NO: 1807  
DRAWN BY: DPM  
DATE: FEB 2020



3 | SOUTH RETAIL ENTRANCES



1 | RETAIL ALONG MARTIN DR. / 18TH AVENUE



KEYPLAN



4 | WEST RESIDENTIAL ENTRANCE

EXTERIOR MATERIAL BOARD

1. DOUBLE GLAZED ALUM. STOREFRONT (BLACK)	4. GLAZED SPANDREL PANEL (GRAY)	5. PRE-FINISHED ALUMINUM LOUVRE (GRAY)
6. PERFORATED ALUMINUM GUARD (CHARCOAL)	7. CAST IN PLACE CONCRETE	10. CONCEALED FASTENER HIGH PRESSURE LAMINATE PANEL - WALNUT (FINDERMAX OR SIMILAR)
11. CONCEALED FASTENER FIBRE CEMENT PANEL COLOUR: CHARCOAL (SWISSPEARL OR SIMILAR)	12. CONCEALED FASTENER FIBRE CEMENT PANEL COLOUR: SANDSTONE (SWISSPEARL OR SIMILAR)	13. CONCEALED FASTENER FIBRE CEMENT PANEL COLOUR: WHITE (SWISSPEARL OR SIMILAR)
14. CONCEALED FASTENER FIBRE CEMENT PANEL COLOUR: MEDIUM GRAY (SWISSPEARL OR SIMILAR)	15. BRICK MASONRY COLOUR: BLACK OPAL BY INTERSTATE BRICK	16. BRICK MASONRY COLOUR: ARCTIC WHITE BY INTERSTATE BRICK

EXTERIOR MATERIAL FINISH SCHEDULE

1. DOUBLE GLAZED ALUM. STOREFRONT (BLACK)	14. FIBRE CEMENT PANEL (MED. GRAY)
2. DOUBLE GLAZED ALUM. WINDOW WALL (GRAY)	15. BRICK MASONRY (CHARCOAL)
3. DOUBLE GLAZED ALUM. WINDOW WALL (BLACK)	16. BRICK MASONRY (WHITE)
4. GLAZED SPANDREL PANEL (GRAY)	17. HORIZONTAL ALUM. FINIS (BLACK)
5. PRE-FINISHED ALUMINUM LOUVRE (GRAY)	18. ALUM. SPANDREL PANEL (CHARCOAL)
6. PERFORATED ALUMINUM GUARD (CHARCOAL)	19. PAINTED METAL C-CHANNEL (CHARCOAL)
7. CAST-IN-PLACE CONCRETE W/ CLEAR SEALER	20. PRE-FINISHED METAL SCREEN, ANODIZED (GRAY)
8. TEMPERED LAMINATED GLASS CANOPY	21. VERTICAL ALUMINUM FINIS (WHITE)
9. TEMPERED LAMINATED GLASS GUARD W/ ALUMINUM FRAME	22. TRANSLUCENT GLASS PRIVACY SCREEN W/ ALUMINUM FRAME
10. HIGH PRESSURE LAMINATE PANEL (WALNUT)	
11. FIBRE CEMENT PANEL (CHARCOAL)	
12. FIBRE CEMENT PANEL (SANDSTONE)	
13. FIBRE CEMENT PANEL (WHITE)	

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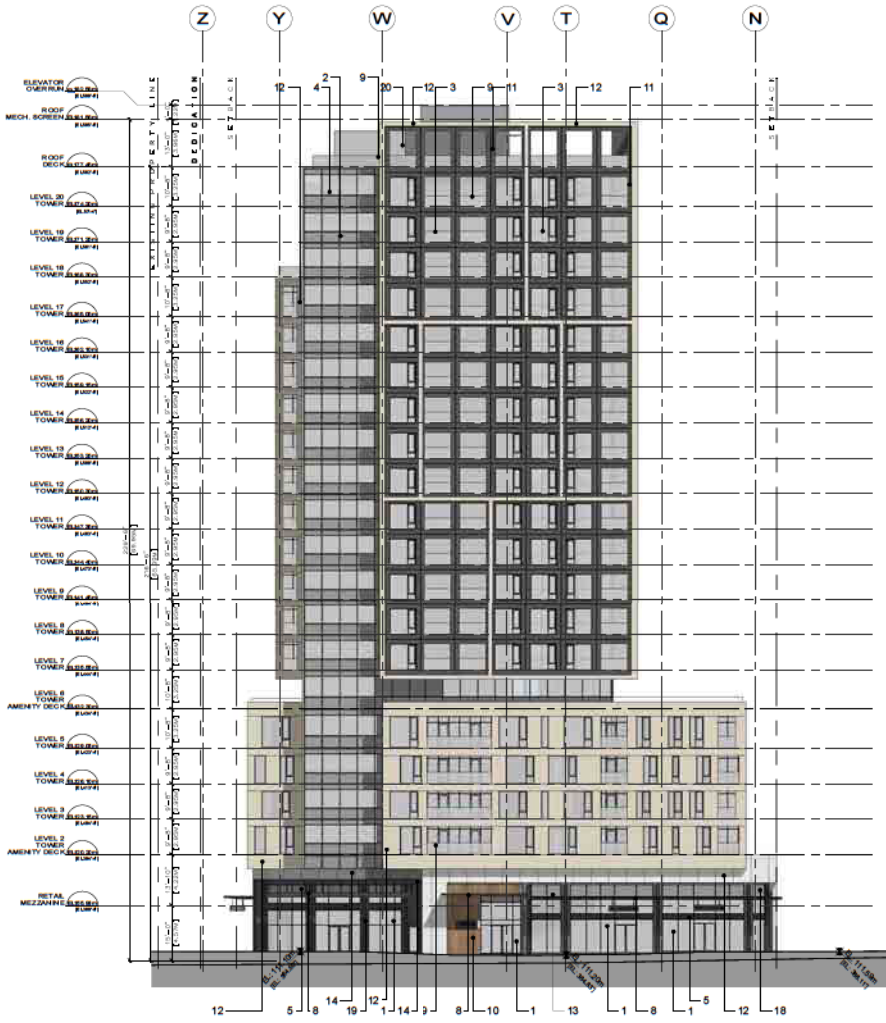
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Semiahmoo Town Centre  
 Surrey, British Columbia

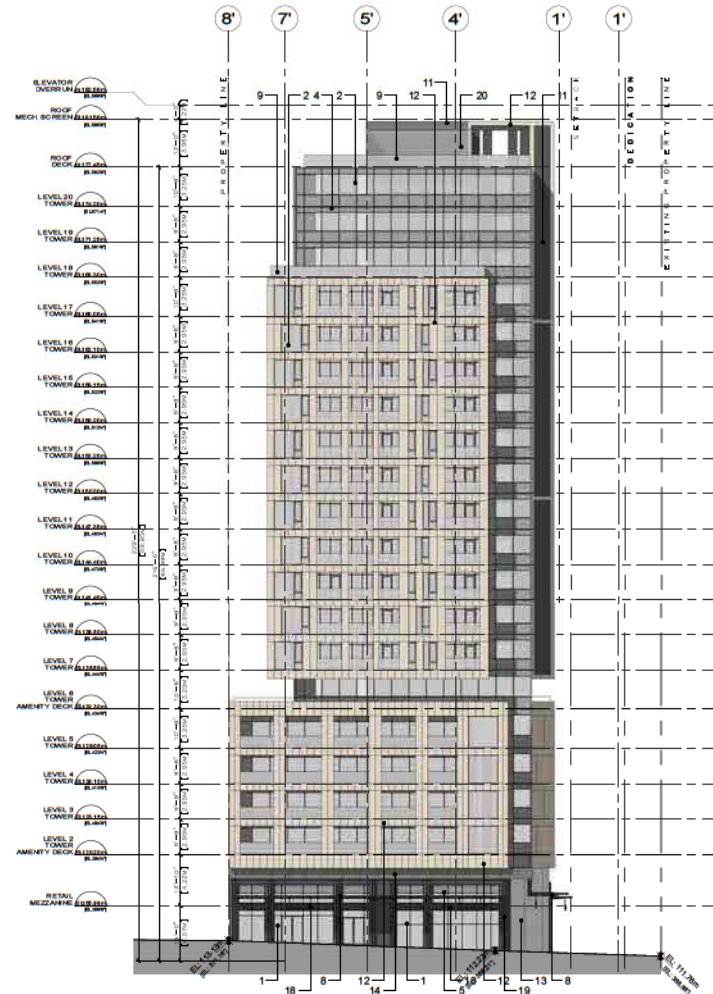
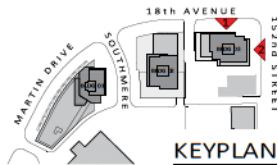
BUILDING 2  
 ENLARGED ELEVATIONS

A522

SCALE: 1/8" = 1'-0"  
 PROJECT NO: 1807  
 DRAWN BY: DPM  
 DATE: FEB 2020



1 | NORTH ELEVATION (18TH AVENUE)



2 | EAST ELEVATION (152 STREET)

**EXTERIOR MATERIAL FINISH SCHEDULE**

1. DOUBLE GLAZED ALUM. STOREFRONT (BLACK)	14. FIBER CEMENT PANEL (MED. GRAY)
2. DOUBLE GLAZED ALUM. WINDOW WALL (GRAY)	15. BRCK MASONRY (CHARCOAL)
3. DOUBLE GLAZED ALUM. WINDOW WALL (BLACK)	16. BRCK MASONRY (WHITE)
4. GLAZED SPANDREL PANEL (GRAY)	17. HORIZONTAL ALUM. FINI (BLACK)
5. PRE-FINISHED ALUMINUM LOUIRE (GRAY)	18. ALUM. SPANDREL PANEL (CHARCOAL)
6. PERFORATED ALUMINUM GUARD (CHARCOAL)	19. PAINTED METAL C-CHANNEL (CHARCOAL)
7. CAST-IN-PLACE CONCRETE W/ CLEAR SEALER	20. PLS-FINISHED METAL SCREEN, ANODIZED GRAY
8. TEMPERED LAMINATED GLASS QUARD	21. VERTICAL ALUMINUM FINS (WHITE)
9. HIGH PRESSURE LAMINATE PANEL (WALNUT)	22. TRANSLUCENT GLASS PRIVACY SCREEN W/ ALUMINUM FRAME
10. FIBER CEMENT PANEL (SANDSTONE)	
11. FIBER CEMENT PANEL (WHITE)	

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 NORTH

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NO	DATE	REMARKS
07	09/19/2024	ADP RESPONSE 02
06	04/01/2024	ADP RESPONSE 01
05	10/16/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
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02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / DP

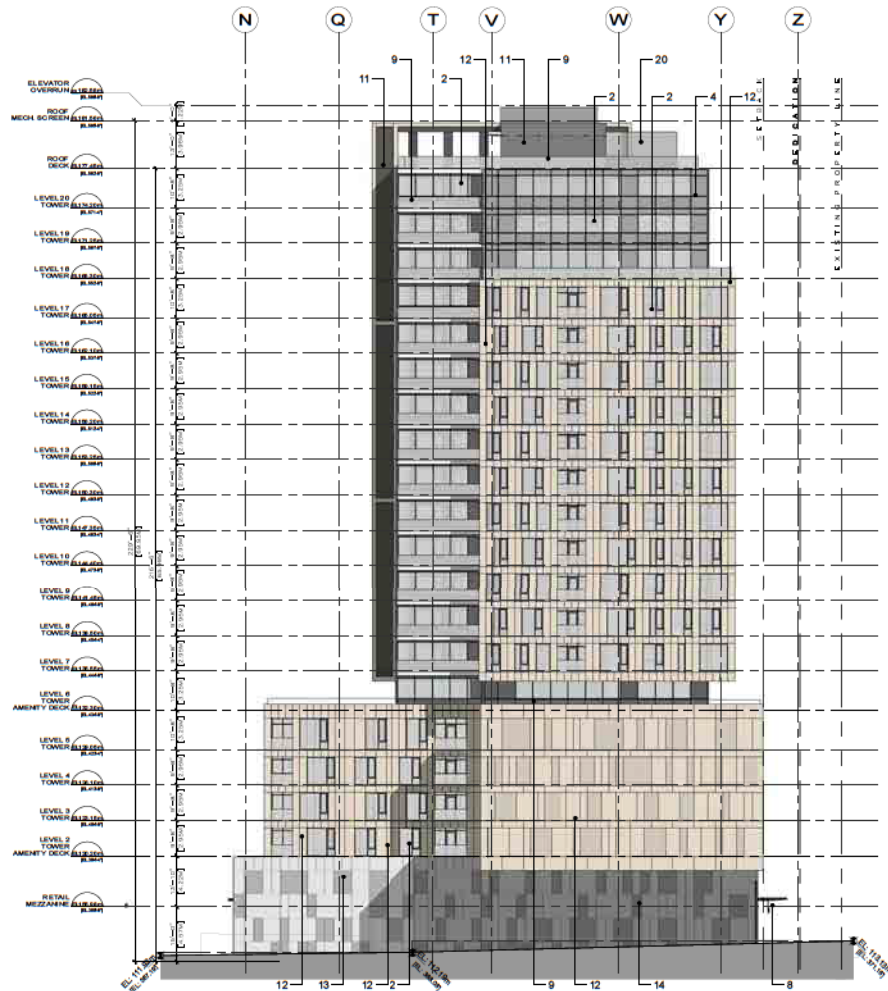
Semiahmoo  
Town Centre

Surrey, British Columbia

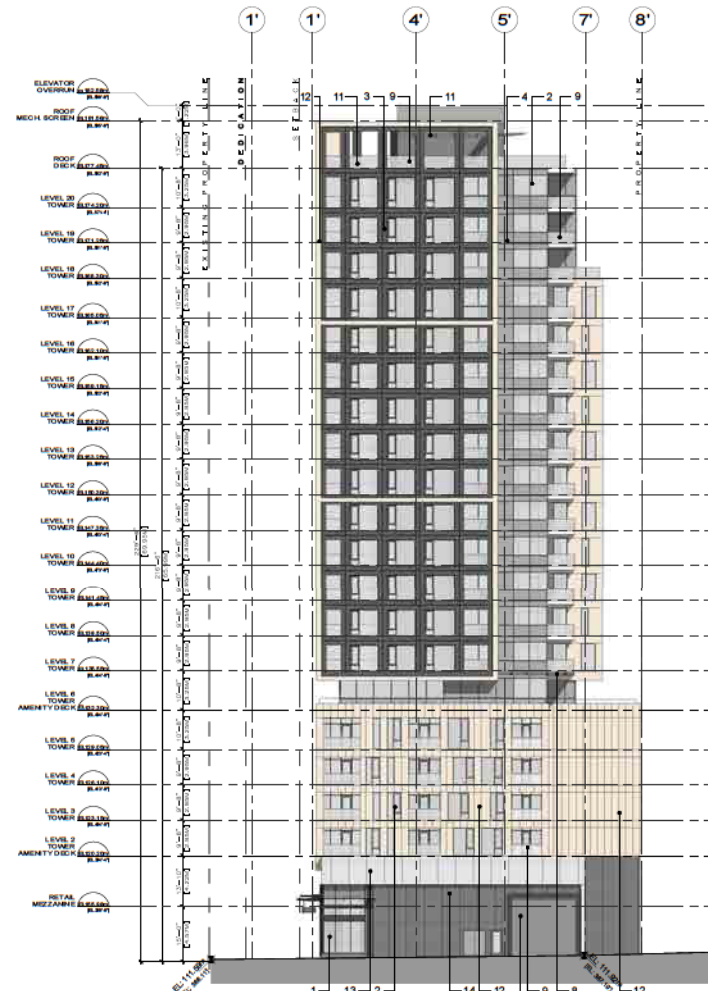
BUILDING 3  
NORTH AND EAST ELEVATION

A530

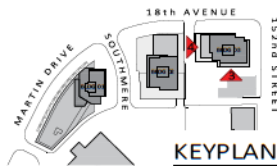
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PROJECT NO: 1807  
DRAWN BY: DPM  
DATE: FEB 2020



3 | SOUTH ELEVATION



4 | WEST ELEVATION



KEYPLAN

EXTERIOR MATERIAL FINISH SCHEDULE	
1. DOUBLE GLAZED ALUM. STOREFRONT (BLACK)	14. FIBER CEMENT PANEL (MED. GRAY)
2. DOUBLE GLAZED ALUM. WINDOW WALL (GRAY)	15. BRCK MASONRY (WHITE)
3. DOUBLE GLAZED ALUM. WINDOW WALL (BLACK)	16. BRCK MASONRY (WHITE)
4. GLAZED SPANDREL PANEL (GRAY)	17. HORIZONTAL ALUM. FINI (BLACK)
5. PRE-FINISHED ALUMINUM LOUVER (GRAY)	18. ALUM. SPANDREL PANEL (CHARCOAL)
6. PERFORATED ALUMINUM GUARD (CHARCOAL)	19. PAINTED METAL C-CHANNEL (CHARCOAL)
7. CAST-IN-PLACE CONCRETE W/ CLEAR SEALER	20. PLS-FINISHED METAL SCREEN, ANODIZED GRAY
8. TEMPERED LAMINATED GLASS (WALNUT)	21. VERTICAL ALUMINUM FINI (WHITE)
9. HIGH PRESSURE LAMINATE PANEL (WALNUT)	22. TRANSLUCENT GLASS PRIVACY SCREEN W/ ALUMINUM FRAME
10. FIBER CEMENT PANEL (CHARCOAL)	
11. FIBER CEMENT PANEL (SANDSTONE)	
12. FIBER CEMENT PANEL (WHITE)	

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SCALE

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06	04/01/2024	ADP RESPONSE 01
05	10/16/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
03	03/01/2022	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / DP

Semiahmoo  
Town Centre

Surrey, British Columbia

BUILDING 3  
SOUTH AND WEST ELEVATION

A531

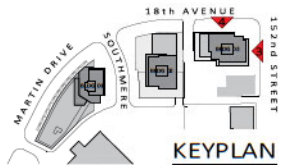
SCALE: 1/16" = 1'-0"  
PROJECT NO: 1807  
DRAWN BY: DPM  
DATE: FEB 2020



3 | RETAIL ENTRANCES ALONG 152ND ST.



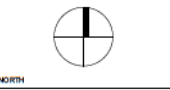
4 | RESIDENTIAL AND RETAIL ENTRANCES ALONG 18TH AVENUE



**EXTERIOR MATERIAL BOARD**

<p>1. DOUBLE GLAZED ALUM. STOREFRONT (BLACK)</p>	<p>4. GLAZED SPANDREL PANEL (GRAY)</p>	<p>5. PRE-FINISHED ALUMINUM LOUVRE (GRAY)</p>
<p>6. PERFORATED ALUMINUM GUARD (CHARCOAL)</p>	<p>7. CAST IN PLACE CONCRETE</p>	<p>10. CONCEALED FASTENER HIGH PRESSURE LAMINATE PANEL - WALNUT (FINDERMAX OR SIMILAR)</p>
<p>11. CONCEALED FASTENER FIBRE CEMENT PANEL COLOUR: CHARCOAL (SWISSPEARL OR SIMILAR)</p>	<p>12. CONCEALED FASTENER FIBRE CEMENT PANEL COLOUR: SANDSTONE (SWISSPEARL OR SIMILAR)</p>	<p>13. CONCEALED FASTENER FIBRE CEMENT PANEL COLOUR: WHITE (SWISSPEARL OR SIMILAR)</p>
<p>14. CONCEALED FASTENER FIBRE CEMENT PANEL COLOUR: MEDIUM GRAY (SWISSPEARL OR SIMILAR)</p>	<p>15. BRICK MASONRY COLOUR: BLACK OPAL BY INTERSTATE BRICK</p>	<p>16. BRICK MASONRY COLOUR: ARCTIC WHITE BY INTERSTATE BRICK</p>

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05	10/16/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
03	03/01/2022	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / DP

Semiahmoo  
Town Centre

Surrey, British Columbia

BUILDING 3  
ENLARGED ELEVATIONS

A532

SCALE: 1/8" = 1'-0"  
PROJECT NO: 1807  
DRAWN BY: DPM  
DATE: FEB 2020

EXTERIOR MATERIAL FINISH SCHEDULE	
1. DOUBLE GLAZED ALUM. STOREFRONT (BLACK)	14. FIBRE CEMENT PANEL (MED. GRAY)
2. DOUBLE GLAZED ALUM. WINDOW WALL (GRAY)	15. BRICK MASONRY (CHARCOAL)
3. DOUBLE GLAZED ALUM. WINDOW WALL (BLACK)	16. BRICK MASONRY (WHITE)
4. GLAZED SPANDREL PANEL (GRAY)	17. HORIZONTAL ALUM. FINI (BLACK)
5. PRE-FINISHED ALUMINUM LOUVRE (GRAY)	18. ALUM. SPANDREL PANEL (CHARCOAL)
6. PERFORATED ALUMINUM GUARD (CHARCOAL)	19. PAINTED METAL C-CHANNEL (CHARCOAL)
7. CAST-IN-PLACE CONCRETE W/ CLEAR SEALER	20. PRE-FINISHED METAL SCREEN (ANODIZED GRAY)
8. TEMPERED LAMINATED GLASS CANOPY	21. VERTICAL ALUMINUM FINI (WHITE)
9. HIGH PRESSURE LAMINATE PANEL (WALNUT)	22. TRANSLUCENT GLASS PRIVACY SCREEN W/ ALUMINUM FRAME
11. FIBRE CEMENT PANEL (CHARCOAL)	
12. FIBRE CEMENT PANEL (SANDSTONE)	
13. FIBRE CEMENT PANEL (WHITE)	



1 | RETAIL ENTRANCES ALONG 17A AVE. [SOUTH WEST ELEVATION]



2 | RETAIL AND RESIDENTIAL ENTRANCES ALONG SOUTHMERE CR. [EAST ELEVATION]

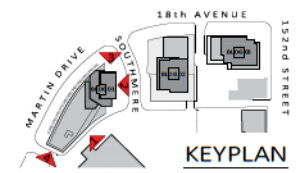


3 | RETAIL ENTRANCE ALONG MARTIN DR. [NORTH ELEVATION]



4 | RETAIL ENTRANCE [SOUTH WEST ELEVATION]

NOTE: BLADE SIGNAGE NOTED FOR GENERAL DESIGN LOCATION AND CONFORMANCE WITH SIGNAGE BY-LAW ONLY. PROVISION OF BLADE SIGNAGE TO BE CONFIRMED BY EACH COMMERCIAL TENANT AT TENANT IMPROVEMENT APPLICATION.



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06	04/01/2024	ADP RESPONSE 01
05	10/16/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
03	03/01/2022	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / O/P

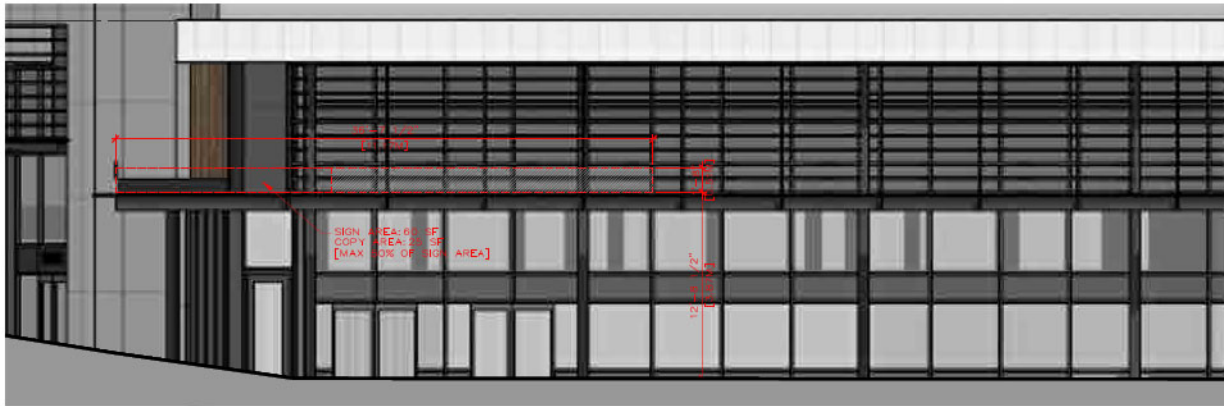
Semiahmoo  
Town Centre

Surrey, British Columbia

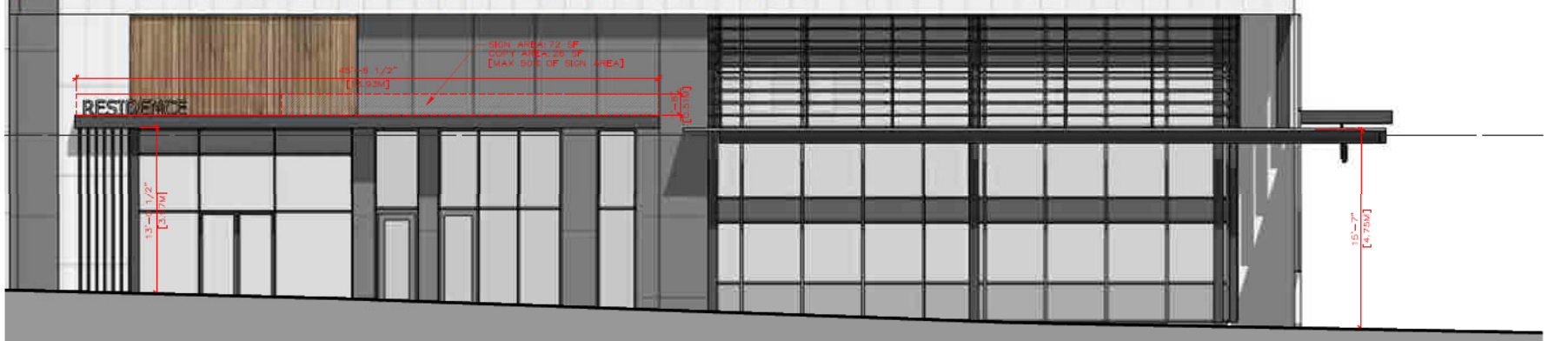
BUILDING 1  
SIGNAGE

A601

SCALE: 1/4" = 1'-0"	PROJECT NO: 1807
DRAWN BY: BL	DATE: FEB 2022



1 | RETAIL AND PARKING ENTRANCE ALONG 17A AVE. [SOUTH ELEVATION]

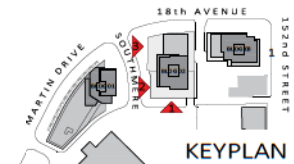


2 | RESIDENTIAL AND RETAIL ENTRANCES ALONG SOUTHMERE CR. [WEST ELEVATION]

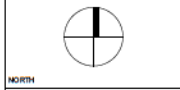


3 | RETAIL ENTRANCES ALONG SOUTHMERE CR. [WEST ELEVATION]

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06	04/01/2024	ADP RESPONSE 01
05	10/16/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
03	03/01/2022	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / OP

Semiahmoo  
Town Centre

Surrey, British Columbia

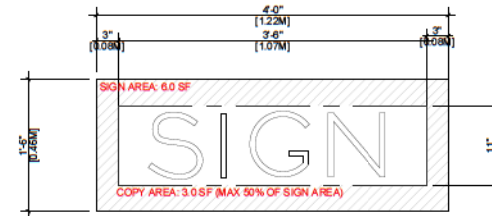
BUILDING 2  
SIGNAGE

A602

SCALE: 1/4" = 1'-0"  
PROJECT NO: 1807  
DRAWN BY: BL DATE: FEB 2022



1 | RETAIL ENTRANCES ALONG 18TH AVENUE [NORTH ELEVATION]



4 | TYPICAL AWNING / CANOPY BLADE SIGNAGE - TYPE B



2 | RETAIL ENTRANCES ALONG 18TH AVENUE [NORTH ELEVATION]

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06	04/01/2024	ADP RESPONSE 01
05	10/16/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
03	03/01/2022	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / O/P

Semiahmoo  
Town Centre

Surrey, British Columbia

BUILDING 2  
SIGNAGE

A603

SCALE: 1/4" = 1'-0"  
DRAWN BY: BL  
PROJECT NO: 1807  
DATE: FEB 2022

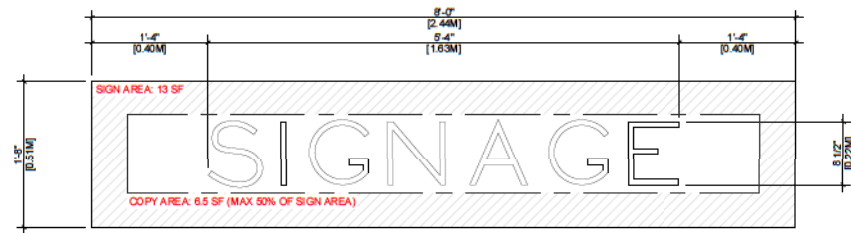




1 | RETAIL ENTRANCES ALONG 152ND STREET [EAST ELEVATION]



2 | RETAIL ENTRANCES ALONG 18TH AVENUE [NORTH ELEVATION]



4 | TYPICAL AWNING / CANOPY SIGNAGE - TYPE A

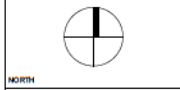


3 | RESIDENTIAL AND RETAIL ENTRANCES ALONG 18TH AVENUE [NORTH ELEVATION]

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05	10/10/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
03	03/01/2022	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / OP

Semiahmoo  
Town Centre

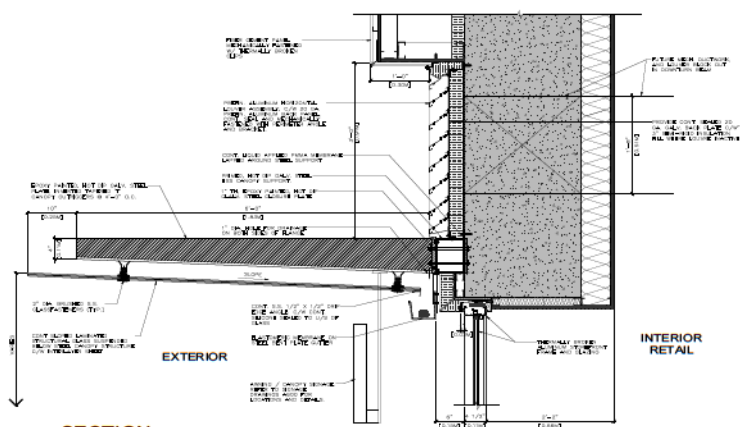
Surrey, British Columbia

BUILDING 3  
SIGNAGE

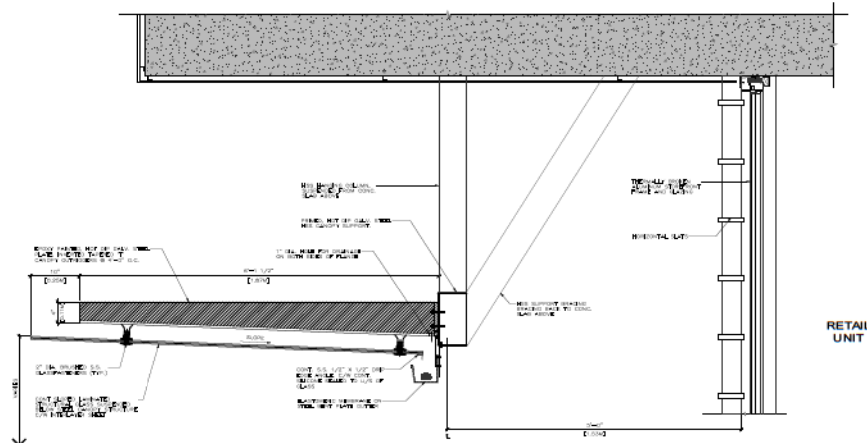
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SCALE: 1/4" = 1'-0"  
DRAWN BY: BL

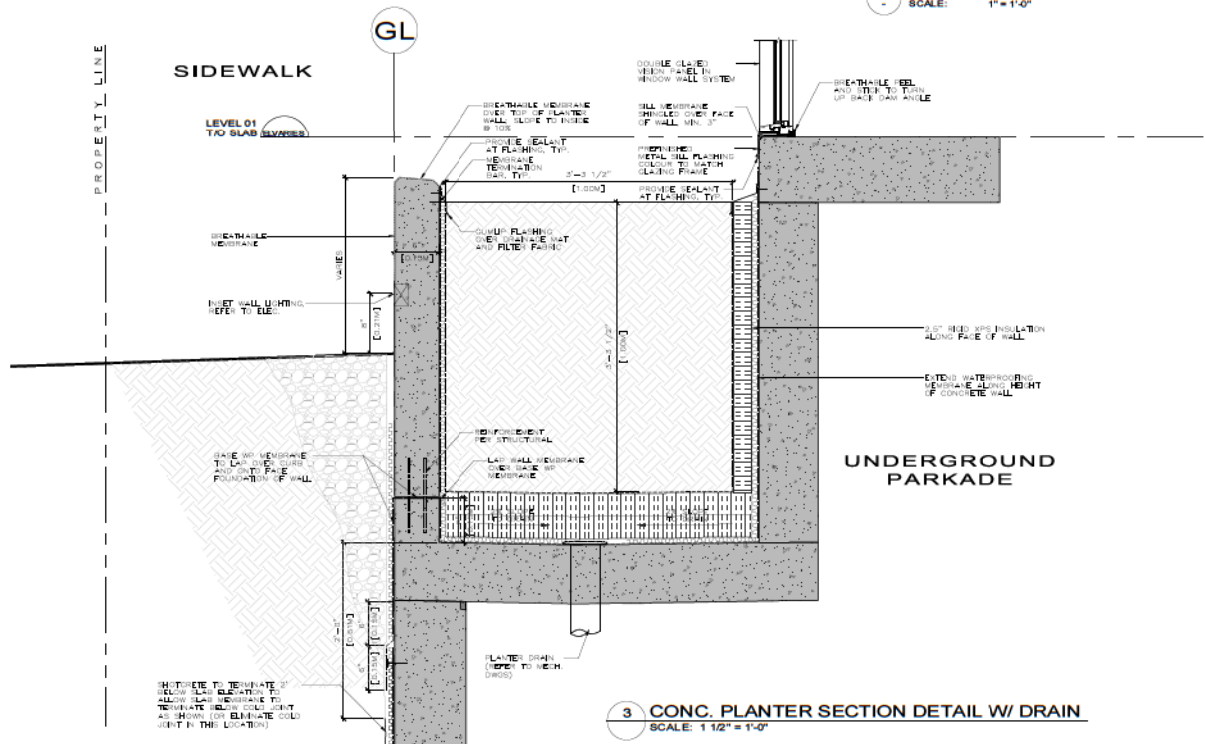
PROJECT NO: 1807  
DATE: FEB 2022



**SECTION 1**  
**SUSPENDED CANOPY OVER PORTAL**  
 SCALE: 1" = 1'-0"




**SECTION 2**  
**SUSPENDED CANOPY**  
 SCALE: 1" = 1'-0"



**SECTION 3**  
**CONC. PLANTER SECTION DETAIL W/ DRAIN**  
 SCALE: 1 1/2" = 1'-0"

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05	10/16/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
03	03/01/2022	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / O/P

Semlahmoo  
 Town Centre

Surrey, British Columbia

MISC. DETAILS

**A700**

SCALE: 1/16" = 1'-0" PROJECT NO: 1807  
 DRAWN BY: DPM DATE: FEB 2020

Issues	No.	Description	Date
	1	Issued for RZ / DP	2020-11-12
	2	Revised for RZ / DP	2022-03-08
	3	Revised for RZ / DP	2023-07-05
	4	Revised for RZ / DP	2023-11-15
	5	Issued for AOP Response 01	2024-03-20
	6	Issued for AOP Response 02	2024-06-06



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Project Title: **Semiahmoo Town Centre**

Drawing Title: **Building 1 Ground Level Layout + Grading Plan**

Project Month: **10** Drawn By: **TH**  
 Checked By: **MP**  
 Scale: **1/16" = 1'-0"** Job No.: **20-071**  
 Sheet No.:

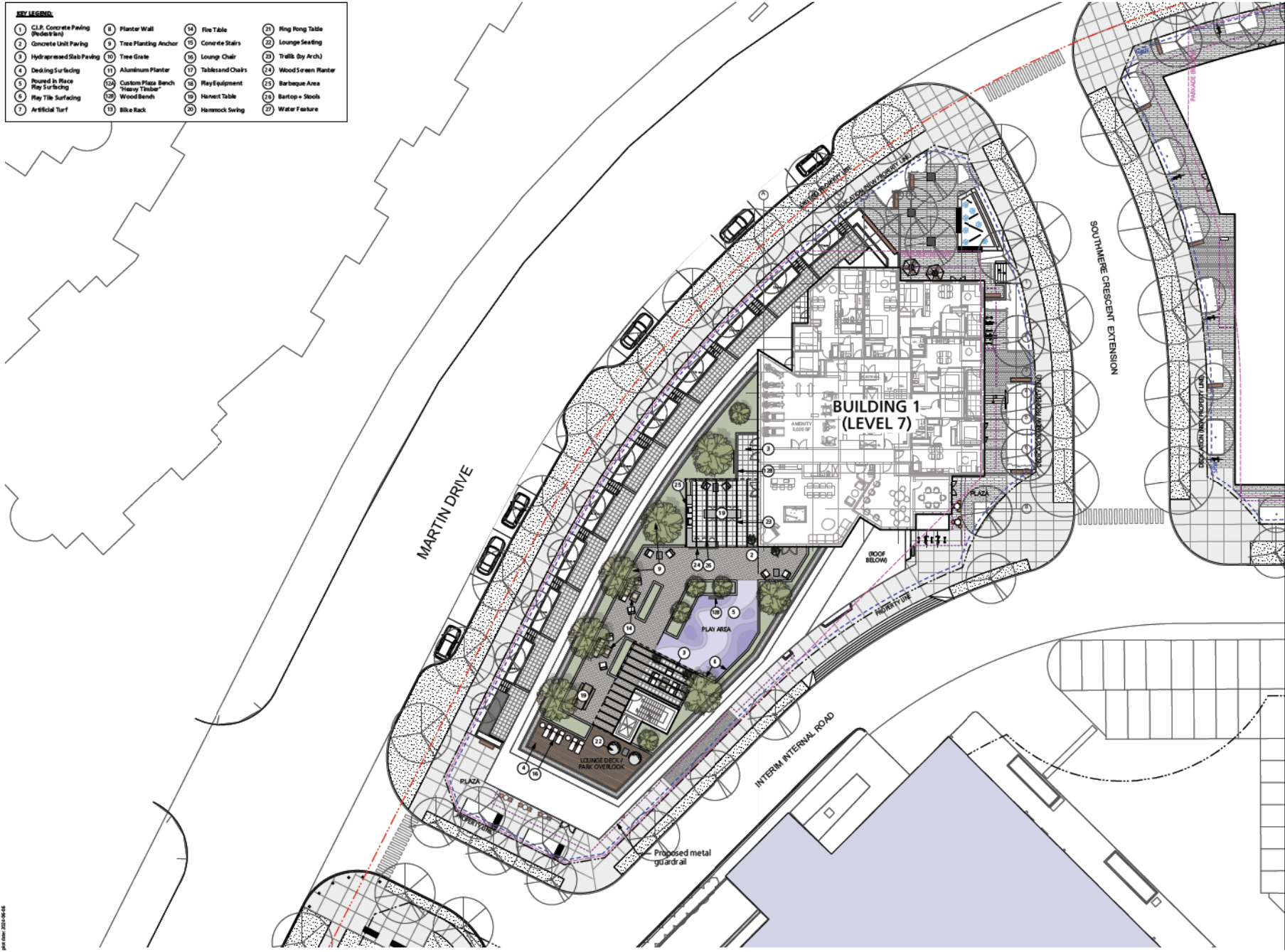
**GRADING LEGEND:**

- +0.300m Existing Finish Grade
- +0.100m Civil Finish Grade
- +0.000m Architectural Grade
- Finish Grade
- +0.100m Top of Wall Grade
- +0.000m Bottom of Wall Grade
- +0.100m Top of Step Grade
- +0.000m Bottom of Step Grade
- +0.100m Interpolated Grade
- +0.000m Finish Floor Elevation

**KEY LEGEND:**

1 CLP Concrete Paving (Pedestrians)	8 Planter Wall	14 Fire Table	21 Ring Pong Table
2 Concrete Unit Paving	9 Tree Planting Anchor	15 Concrete Stairs	22 Lounge Seating
3 Hydrated Slab Paving	10 Tree Grate	16 Lounge Chair	23 Trills (By Arch)
4 Decking Surfacing	11 Aluminum Planter	17 Tables and Chairs	24 Wood Screen Planter
5 Poured in Place Ray Surfacing	12 Custom Plaza Bench "Heavy Timber"	18 Play Equipment	25 Barbecue Area
6 Ray Tile Surfacing	13 Wood Bench	19 Harvest Table	26 Bar-top + Stools
7 Artificial Turf	14 Bike Rack	20 Hammock Swing	27 Water Feature

KEY LEGEND			
1	CLP Concrete Paving (Pedestrian)	8	Planter Wall
2	Concrete Unit Paving	9	Tree Planting Anchor
3	Hydressed Slab Paving	10	Tree Grate
4	Decking Surfacing	11	Aluminum Planter
5	Poured in Place Play Surfacing	12	Custom Plaza Bench "Heavy Timber"
6	Play Tile Surfacing	13	Wood Bench
7	Artificial Turf	14	Bike Rack
15	Fire Table	21	Ring Pong Table
16	Concrete Stairs	22	Lounge Seating
17	Lounge Chair	23	Trails (By Arch)
18	Tables and Chairs	24	Wood Screen Planter
19	Play Equipment	25	Barbecue Area
20	Harvest Table	26	Bar-top + Stools
		27	Water Feature




Issue	Description	Date
1	Issued for RZ / DP	2020-11-12
2	Revised for RZ / DP	2022-03-08
3	Revised for RZ / DP	2023-07-05
4	Revised for RZ / DP	2023-11-15
5	Issued for AOP Response 01	2024-02-28
6	Issued for AOP Response 02	2024-06-06

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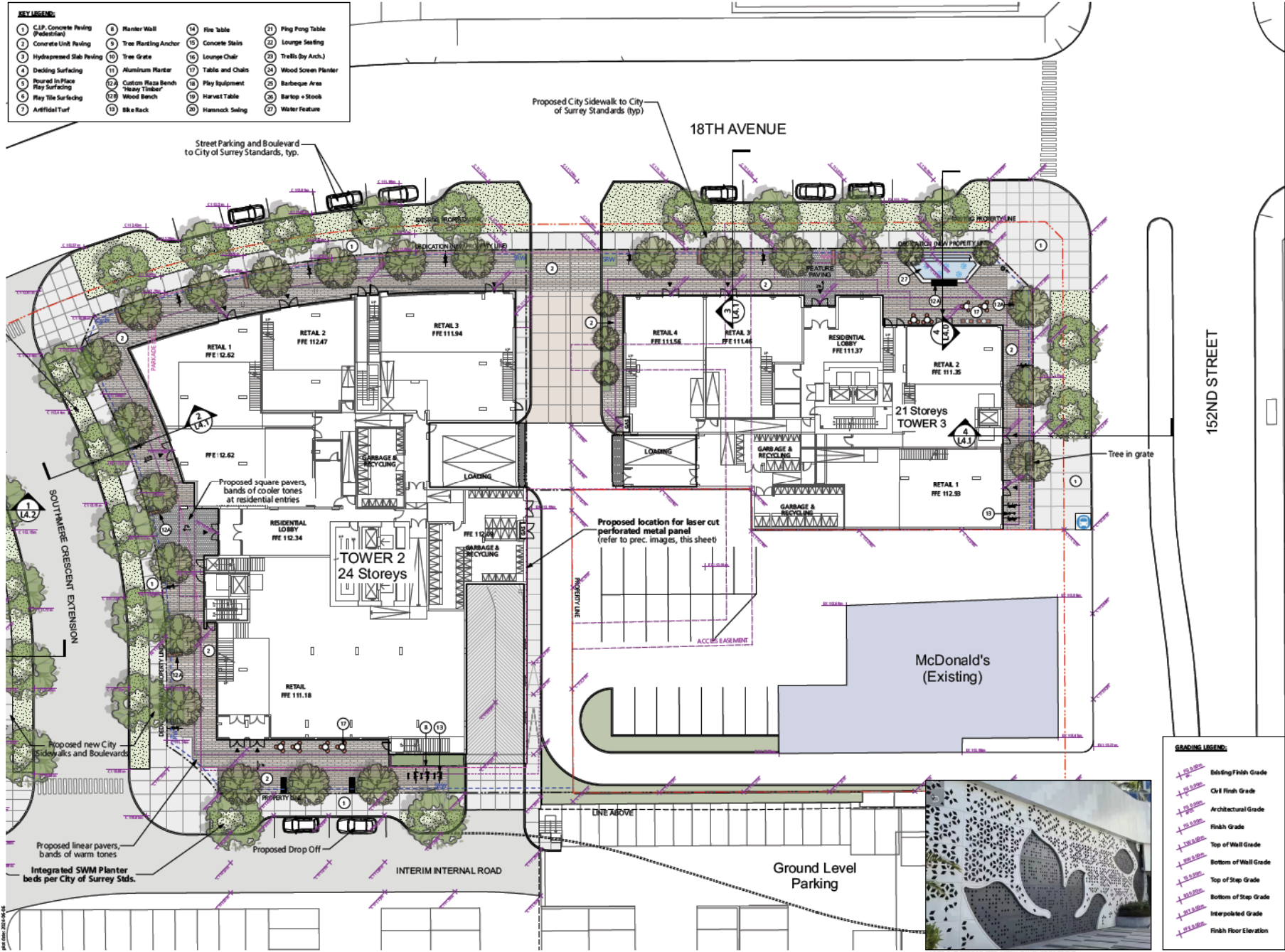
Project Title:  
**Semiahmoo Town Centre**

Drawing Title:  
**Building 1 Level 7 Layout Plan**

Project North:  Drawn By: TH  
Checked By: MP  
Scale: 1/16" = 1'-0" Job No.: 20-071  
Sheet No.:

**KEY LEGEND:**

1 C.I.P. Concrete Paving (Pedestrian)	9 Planter Wall	14 Fire Table	21 Ping Pong Table
2 Concrete Unit Paving	10 Tree Planting Anchor	15 Concrete Stain	22 Lounge Seating
3 Hydropressed Slab Paving	11 Tree Grate	16 Lounge Chair	23 Trellis (By Arch.)
4 Decking Surfacing	12 Aluminum Planter	17 Table and Chairs	24 Wood Screen Planter
5 Poured In-Place Play Surfacing	13 Custom Relax Bench "Heavy Timber"	18 Play Equipment	25 Barbecue Area
6 Play Tile Surfacing	14 Wood Bench	19 Harvest Table	26 Bartop + Stool
7 Artificial Turf	15 Bike Rack	20 Hammock Swing	27 Water Feature



**Issues**

No.	Description	Date
1	Issued for RZ / DP	2020-11-12
2	Revised for RZ / DP	2022-03-08
3	Revised for RZ / DP	2023-07-05
4	Revised for RZ / DP	2023-11-15
5	Issued for AOP Response 01	2024-09-28
6	Issued for AOP Response 02	2024-06-06

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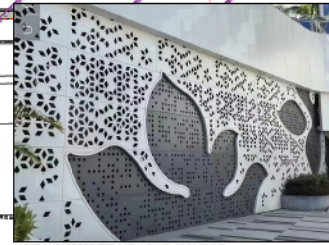
Project Title:  
**Semlahmoo Town Centre**

Drawing Title:  
**Buildings 2 / 3 Ground Level Layout + Grading Plan**

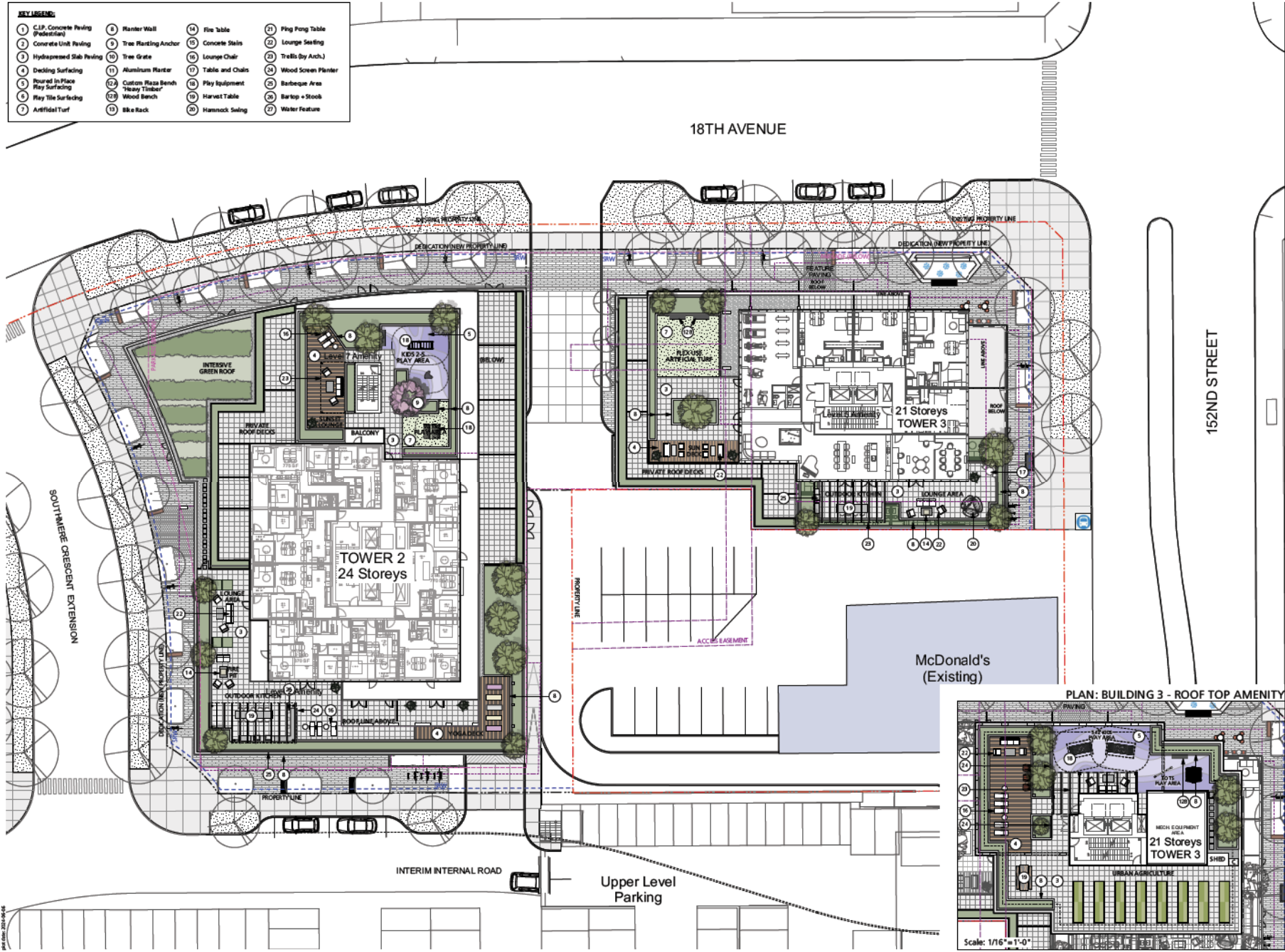
Project North: Drawn By: TH  
Checked By: MP  
Scale: 1/16" = 1'-0" Job No.: 20-071  
Sheet No.:

**GRADING LEGEND:**

+ 0.00	Existing Finish Grade
+ 0.10	Civil Finish Grade
+ 0.20	Architectural Grade
+ 0.30	Finish Grade
+ 0.40	Top of Wall Grade
+ 0.50	Bottom of Wall Grade
+ 0.60	Top of Step Grade
+ 0.70	Bottom of Step Grade
+ 0.80	Interpolated Grade
+ 0.90	Finish Floor Elevation



KEY LEGEND:			
1	C.I.P. Concrete Paving (Pedestrian)	9	Planter Wall
2	Concrete Unit Paving	10	Tree Planting Anchor
3	Hydressed Slab Paving	11	Tree Grate
4	Decking Surfacing	12	Aluminum Planter
5	Poured In-Place Play Surfacing	13	Custom Relaxa Bench "Heavy Timber"
6	Play Tile Surfacing	15	Wood Bench
7	Artificial Turf	16	Bike Rack
8	Fire Table	17	Table and Chairs
9	Concrete Stairs	18	Play Equipment
10	Lounge Chair	19	Harvest Table
11	Lounge Seating	20	Hammock Swing
12	Trellis (By Arch.)	21	Ping Pong Table
13	Wood Screen Planter	22	Barbecue Area
14	Bartop + Stool	23	Water Feature

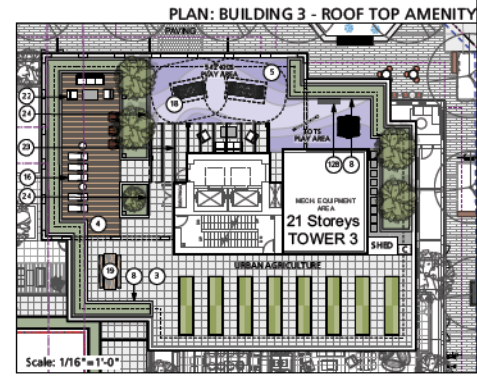


**P+A**  
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 Landscape Architecture  
 Site Planning  
 112 East Broadway  
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 perryandassociates.ca

Issues	Description	Date
1	Issued for DP / IE	2020-11-12
2	Revised for RZ / DP	2022-03-08
3	Revised for RZ / DP	2023-07-05
4	Revised for RZ / DP	2023-11-15
5	Issued for ADP Response 01	2024-02-28
6	Issued for ADP Response 02	2024-06-06

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Client:  
**FIRST CAPITAL**



Project Title:  
**Semlahmoo Town Centre**

Drawing Title:  
**Building 2 (Levels 2, 7)  
 Building 3 (Levels 6, Roof)  
 Layout Plan**

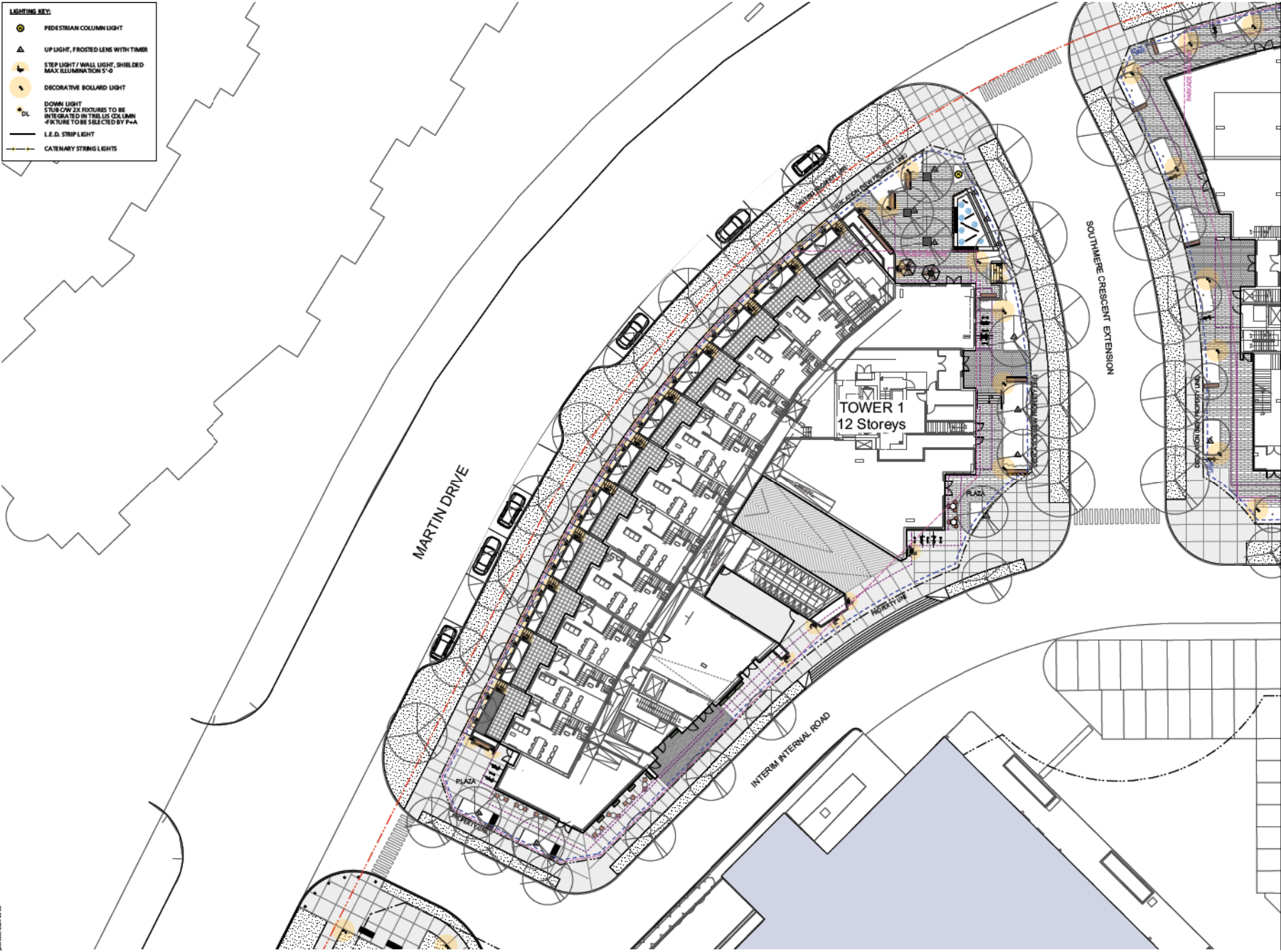
Project Month: **JK** Drawn By: **TH**  
 Checked By: **MP**

Scale: Job No.: **20-071**  
 Sheet No.:

**L1.3**

**LIGHTING KEY:**

-  PEDESTRIAN COLUMN LIGHT
-  UP LIGHT, FROSTED LENS WITH TIMER
-  STEP LIGHT / WALL LIGHT, SHILDED MAX ILLUMINATION 5'-0"
-  DECORATIVE BOLLARD LIGHT
-  DOWN LIGHT, STUB CAST FIXTURES TO BE INTEGRATED IN TREE'S COLUMN - FIXTURE TO BE SELECTED BY P+A
-  L.E.D. STRIP LIGHT
-  CATENARY STRING LIGHTS




Issues	Description	Date
1	Issued for RZ / DP	2020-11-12
2	Revised for RZ / DP	2022-03-08
3	Revised for RZ / DP	2023-07-05
4	Revised for RZ / DP	2023-11-15
5	Issued for AOP Response 01	2024-02-28
6	Issued for AOP Response 02	2024-06-06

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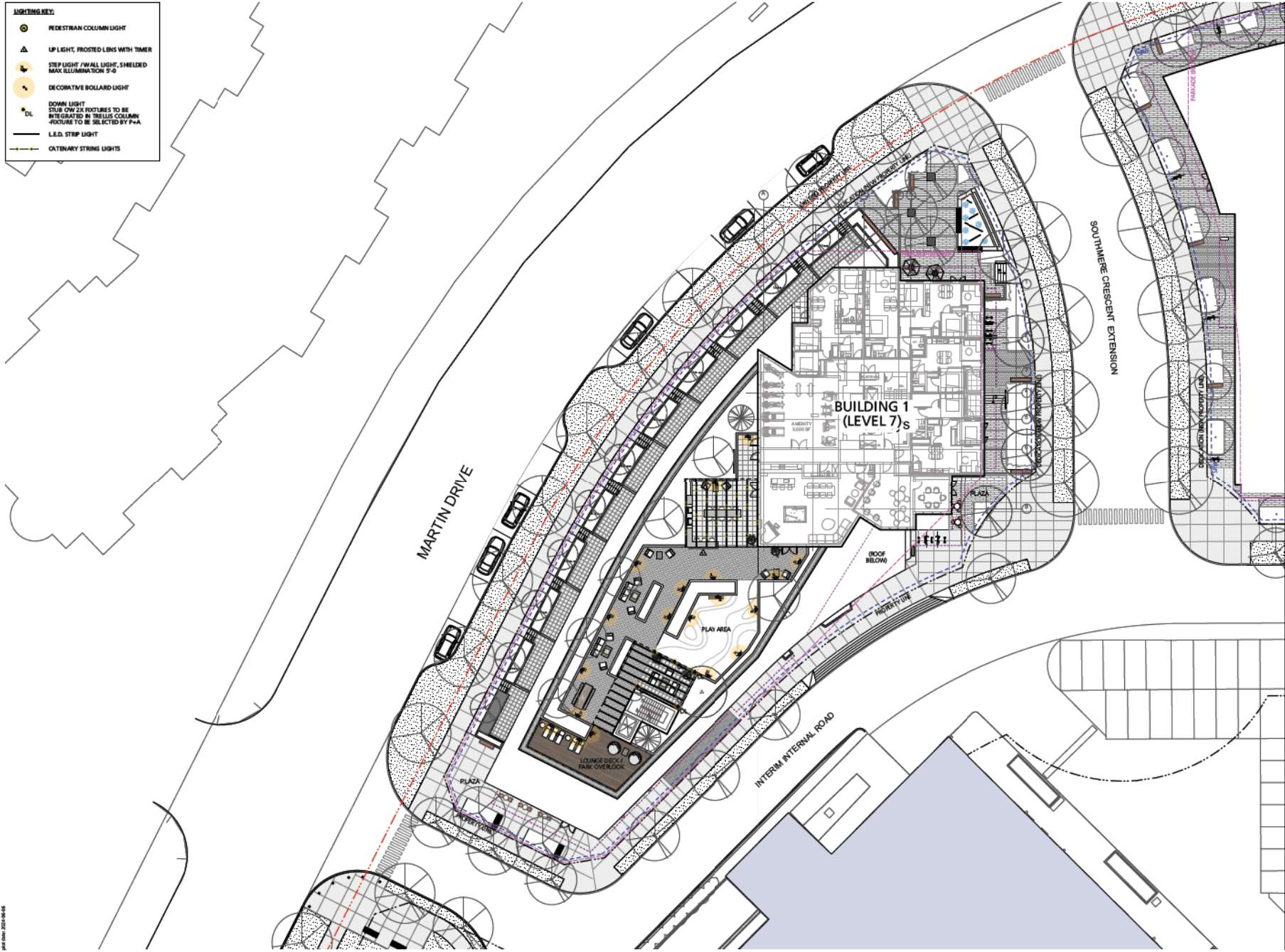
Project Title:  
**Semiahmoo Town Centre**

Drawing Title:  
**Building 1 Ground Level Lighting Plan**

Project North:  Drawn By: TH  
Checked By: MP  
Scale: 1/16" = 1'-0" Job No.: 20-071  
Sheet No.:

**LIGHTING KEY:**

-  PEDESTRIAN COLUMN LIGHT
-  UP LIGHT, FROSTED LENS WITH TIMER
-  STEP LIGHT / WALL LIGHT, SHIELDED MAX ILLUMINATION 5'-0"
-  DECORATIVE BOLLARD LIGHT
-  DOWN LIGHT, STUB CW 2X FIXTURES TO BE INTEGRATED IN TRUSS COLUMN - FIXTURE TO BE SELECTED BY P+A
-  L.E.D. STRIP LIGHT
-  CANTENARY STRING LIGHTS



**Issues**

No.	Description	Date
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4	Revised for RZ / DP	2023-11-15
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Client:

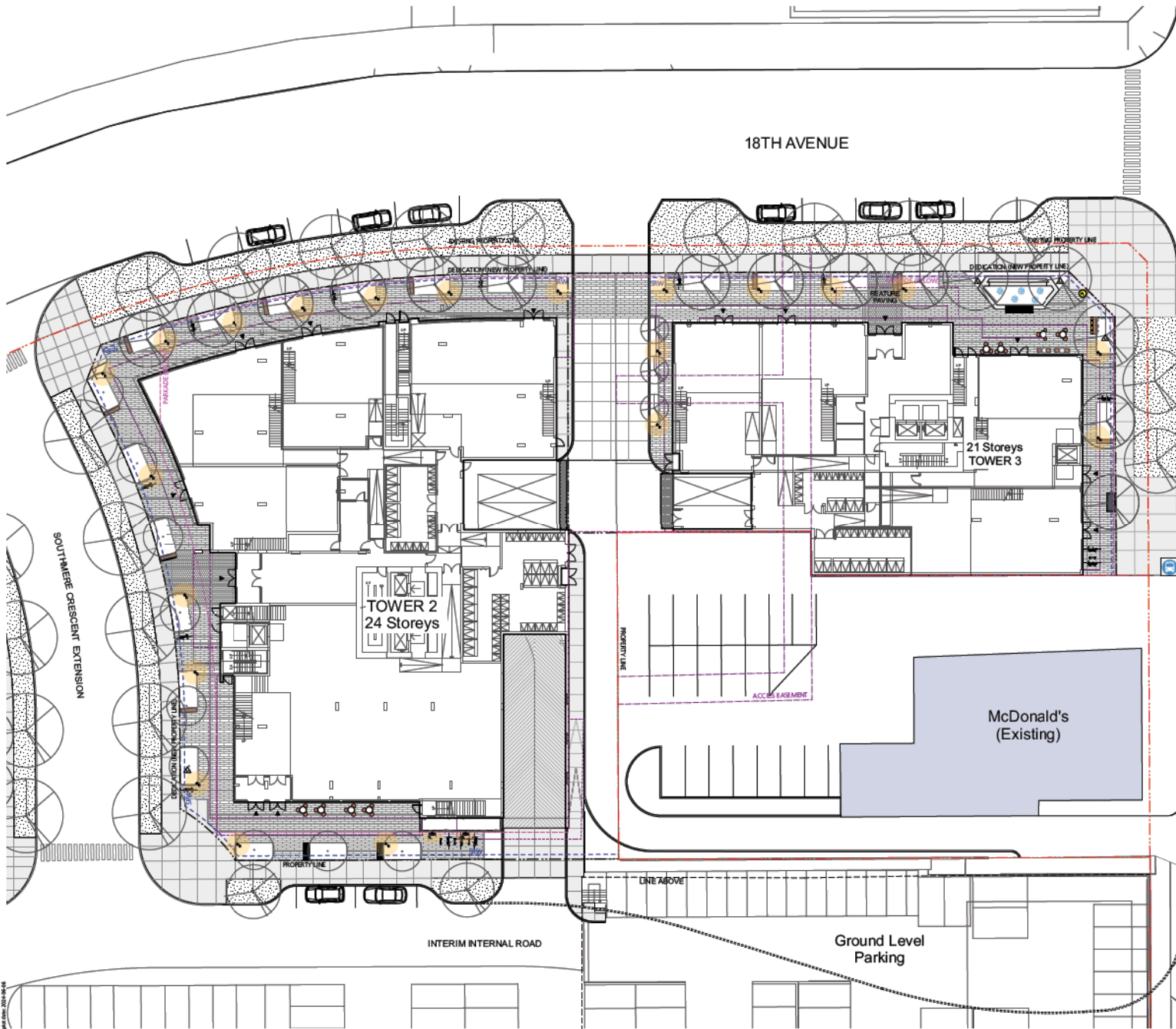


Project Title:  
**Semiahmoo Town Centre**

Drawing Title:  
**Building 1 Level 7 Lighting Plan**

Project North:	TH	Drawn By:	TH
		Checked By:	MP
Scale:	1/8" = 1'-0"	Job No.:	20-071
Sheet No.:			





Issues	No.	Description	Date
	1	Issued for RZ / DP	2020-11-12
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	3	Revised for RZ / DP	2023-07-05
	4	Revised for RZ / DP	2023-11-15
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	6	Issued for ADP Response 02	2024-06-06

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Client:  
**FIRST CAPITAL**

Project Title:  
**Semlahmoo Town Centre**

Drawing Title:  
**Building 2 / 3 Ground Level Lighting Plan**

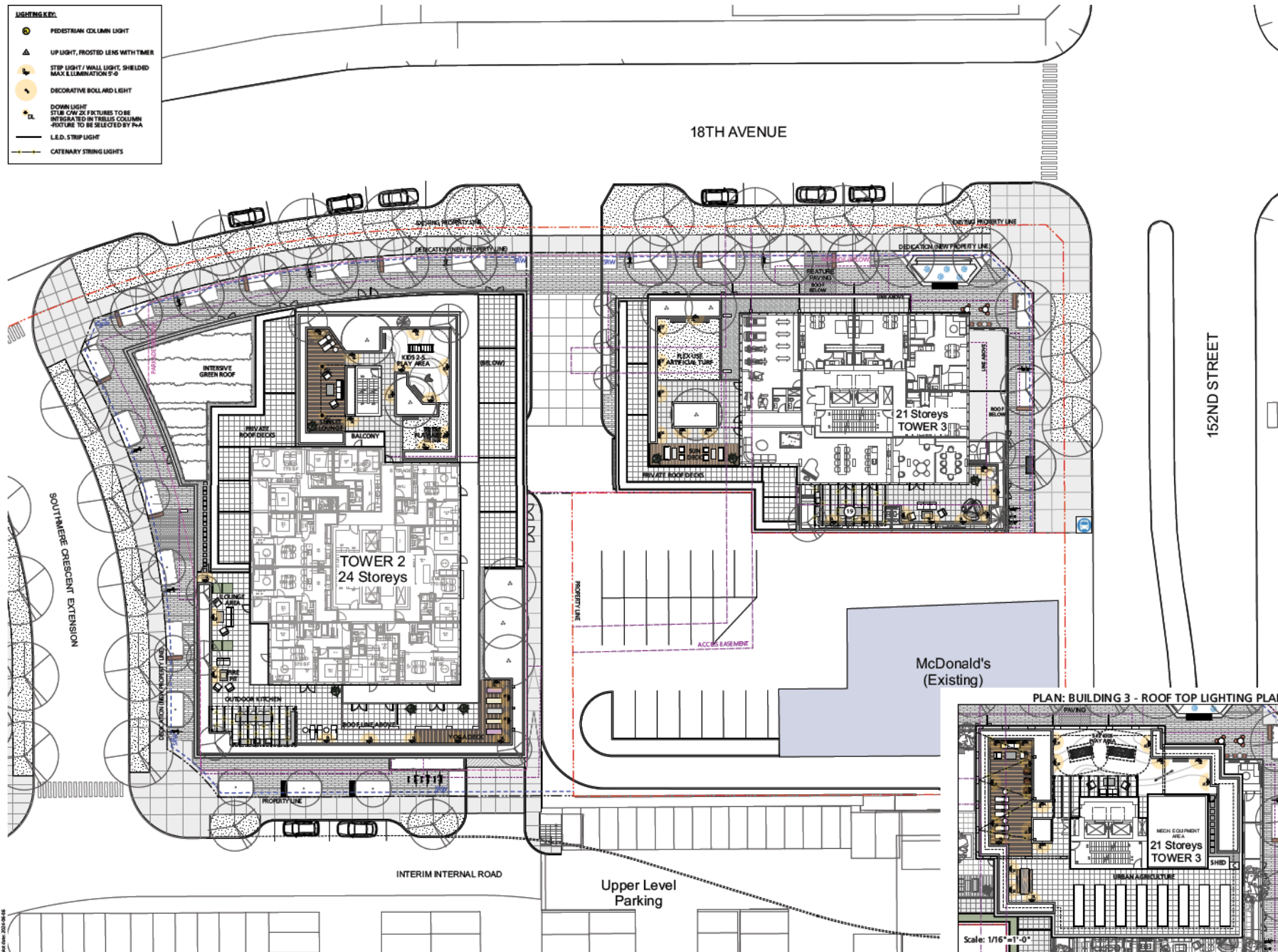
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Checked By: **MP**  
Scale: **1/16" = 1'-0"** Job No.: **20-071**  
Sheet No.:

**LIGHTING KEY:**

- PEDESTRIAN COLUMN LIGHT
- UP LIGHT, FROSTED LENS WITH TIMER
- STEP LIGHT / WALL LIGHT, SHIELDED MAX ILLUMINATION 5'-0"
- DECORATIVE ROLLARD LIGHT
- DOWN LIGHT  
STUB CAN 2X RFTURES TO BE INTEGRATED IN TRUSS COLUMN RFTURE TO BE SELECTED BY P+A
- L.E.D. STRIP LIGHT
- CATENARY STRING LIGHTS

**LIGHTING KEY:**

	PEDESTRIAN COLUMN LIGHT
	UP LIGHT, FROSTED LENS WITH TIMER
	STEP LIGHT / WALL LIGHT, SHIELDED MAX ILLUMINATION 5'-0"
	DECORATIVE BOLLARD LIGHT
	DOWN LIGHT, STUB CAN 2x FIXTURES TO BE INTEGRATED IN TRUSSES COLUMN - FIXTURE TO BE SELECTED BY P+A
	L.E.D. STRIP LIGHT
	CATENARY STRING LIGHTS



**Issues**

No.	Description	Date
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4	Revised for RZ / DP	2023-11-15
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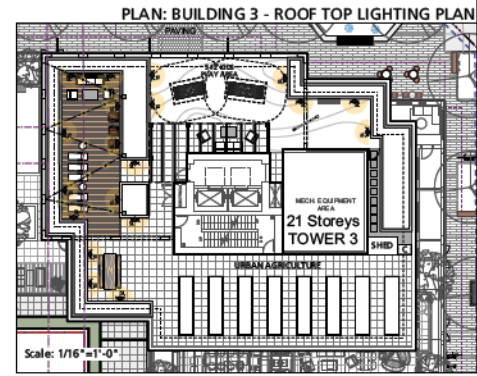
Client:  
**FIRST CAPITAL**

Project Title:  
**Semlahmoo Town Centre**

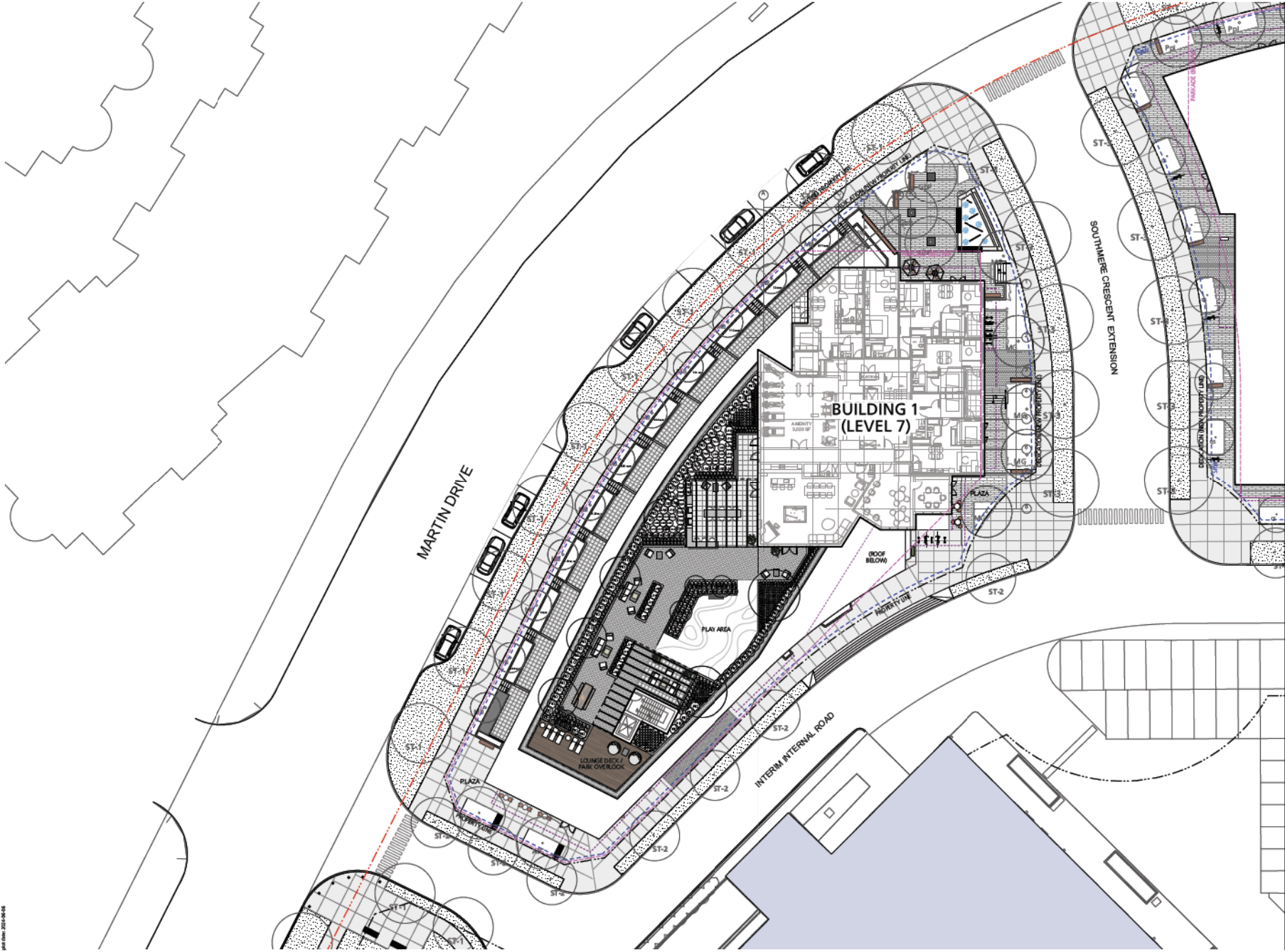
Drawing Title:  
**Building 2 (Levels 2, 7)  
Building 3 (Levels 5, Roof)  
Lighting Plan**

Project Month: **JK** Drawn By: **TH**  
Checked By: **MP**

Scale: **1/16" = 1'-0"** Job No.: **20-071**  
Sheet No.:



Symbol	Qty	Botanical Name	Common Name	Scheduled Size	Remarks
<b>Phase 1 - Building 1 Overall Plant List</b>					
<b>Trees</b>					
APR	1	<i>Azalea japonicum</i> 'Hoodwood'	Hoodwood Japanese Maple	3m ht. 8cm db. W8	Specimen grade
APR	1	<i>Aster a. fraxinifolius</i> 'Schubertii'	Golden Starburst	3m cal. W8	1.5m Starburst
CB	1	<i>Cercidiphyllum japonicum</i> 'Retzcher'	Red Fox Kagura Tree	3m cal. W8	
CA	1	<i>Cornus canadensis</i>	Winter Reddog	3m cal. W8	
CB	1	<i>Crataegus mollis</i> 'Fraxionensis' (male form)	Crataegus 'Softly Maidenhead' Tree	3m cal. W8	
MB	11	<i>Magnolia 'Betty'</i>	Betty Magnolia	3m cal. W8	
MB	1	<i>Magnolia x 'Vaney'</i>	Globe Magnolia	3m cal. W8	
SB	1	<i>Platanus orientalis</i> 'Bauer'	Bauer Sycamore Sycamore	3m ht. mlt.	
SB	1	<i>Platanus orientalis</i>	Japanese Sycamore	3m cal. W8	
ST	10	Street Tree - 1	Street Tree - 1	3m cal. W8	T.B.C. by COS Parks
ST	10	Street Tree - 2	Street Tree - 2	3m cal. W8	T.B.C. by COS Parks
ST	10	Street Tree - 3	Street Tree - 3	3m cal. W8	T.B.C. by COS Parks
<b>Shrubs</b>					
BL	34	<i>Abies balsamea</i> 'Newsp'	Newsp Balsam Fir	#1 pot	'Waldens'
BLW	248	<i>Buxum microphylla</i> 'Winter Gem'	Winter Gem Boxwood	#1 pot	
CP	1	<i>Cornus 'Merlot'</i>	Merlot Cornus	#1 pot	
CA	1	<i>Cornus sericea</i> 'Asteri' form	Winter Reddog	#1 pot	0.6m spread
DOA	10	<i>Daphne odora</i> 'Aureomarginata'	Vigilant Winter Daphne	#1 pot	syn. Daphne odora 'Marginalia'
CS	10	<i>Euonymus alatus</i>	Red	#1 pot	'Norton'
LC	10	<i>Leucophaea glabra</i>	Red Flower Heavenly Bamboo	#1 pot	
HO	110	<i>Platanus incanescens</i> 'Orto Larkspur'	Orto Larkspur Platanus	#1 pot	
SH	1	<i>Shadeclimber 'Venus Secret'</i>	Venus Secret Shadeclimber	#1 pot	
SR	1	<i>Sansevieria rostrata</i>	Inugant Sansevieria	#1 pot	
SH	1	<i>Schima japonica</i> 'Schubertii'	Schubertii Schima	#1 pot	
SH	1	<i>Shadeclimber 'Tracy'</i> (male form)	Tracy Shadeclimber	#1 pot	
SH	4	<i>Vaccinium ovatum</i> 'Scarlet Ovation'	Scarlet Ovation Blueberry	#1 pot	
SH	1	<i>Viburnum davidii</i>	David Viburnum	#1 pot	
VB	1	<i>Viburnum x bodnantense</i> 'Dawn'	Dawn Bodnantense Viburnum	#1 pot	
<b>Groundcovers, Vines, Ferns, Perennials and Grasses</b>					
CA	2	<i>Carex subterminalis</i> 'Bernard'	Bernard Carex	#1 pot	
CA	2	<i>Carex verticillata</i>	Verticillata Carex	#1 pot	
CA	2	<i>Carex obovata</i>	Obovata Carex	#1 pot	
CA	2	<i>Carex muscicola</i>	Muscicola Carex	#1 pot	
EM	2	<i>Erigeron annuus</i> 'New York Blue'	New York Blue Erigeron	#1 pot	
EM	2	<i>Erigeron annuus</i> 'Scarlet Ovation'	Scarlet Ovation Erigeron	#1 pot	
EM	2	<i>Erigeron annuus</i> 'White Star'	White Star Erigeron	#1 pot	
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EM	2	<i>Erigeron annuus</i> 'White Star'	White Star Erigeron	#1 pot	
EM	2	<i>Erigeron annuus</i> 'Yellow Star'	Yellow Star Erigeron	#1 pot	
EM	2	<i>Erigeron annuus</i> 'White Star'	White Star Erigeron	#1 pot	
EM	2	<i>Erigeron annuus</i> 'Yellow Star'	Yellow Star Erigeron	#1 pot	
EM	2	<i>Erigeron annuus</i> 'White Star'	White Star Erigeron	#1 pot	
EM	2	<i>Erigeron annuus</i> 'Yellow Star'	Yellow Star Erigeron	#1 pot	
EM	2	<i>Erigeron annuus</i> 'White Star'	White Star Erigeron	#1 pot	
EM	2	<i>Erigeron annuus</i> 'Yellow Star'	Yellow Star Erigeron	#1 pot	
EM	2	<i>Erigeron annuus</i> 'White Star'	White Star Erigeron	#1 pot	
EM	2	<i>Erigeron annuus</i> 'Yellow Star'	Yellow Star Erigeron	#1 pot	
EM	2	<i>Erigeron annuus</i> 'White Star'	White Star Erigeron	#1 pot	
EM	2	<i>Erigeron annuus</i> 'Yellow Star'	Yellow Star Erigeron	#1 pot	
EM	2	<i>Erigeron annuus</i> 'White Star'	White Star Erigeron	#1 pot	
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EM	2	<i>Erigeron annuus</i> 'Yellow Star'	Yellow Star Erigeron	#1 pot	
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EM	2	<i>Erigeron annuus</i> 'White Star'	White Star Erigeron	#1 pot	
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EM	2	<i>Erigeron annuus</i> 'White Star'	White Star Erigeron	#1 pot	
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EM	2	<i>Erigeron annuus</i> 'White Star'	White Star Erigeron	#1 pot	
EM	2	<i>Erigeron annuus</i> 'Yellow Star'	Yellow Star Eriger		




Issue No.	Description	Date
1	Issued for RZ / DP	2020-11-12
2	Revised for RZ / DP	2022-03-08
3	Revised for RZ / DP	2023-07-05
4	Revised for RZ / DP	2023-11-15
5	Issued for AOP Response 01	2024-02-28
6	Issued for AOP Response 02	2024-06-06

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Client:  
 **FIRST CAPITAL**

Project Title:  
**Semlahmoo Town Centre**

Drawing Title:  
**Building 1  
Level 7  
Planting Plan**

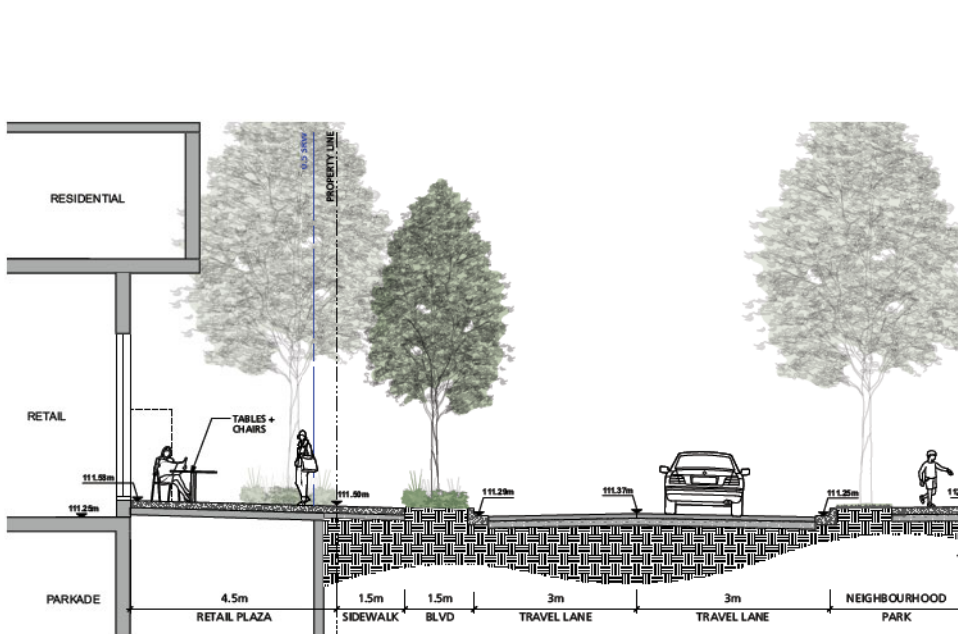
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Checked By: **MP**

Scale: **1/16" = 1'-0"** Job No.: **20-071**  
Sheet No.:

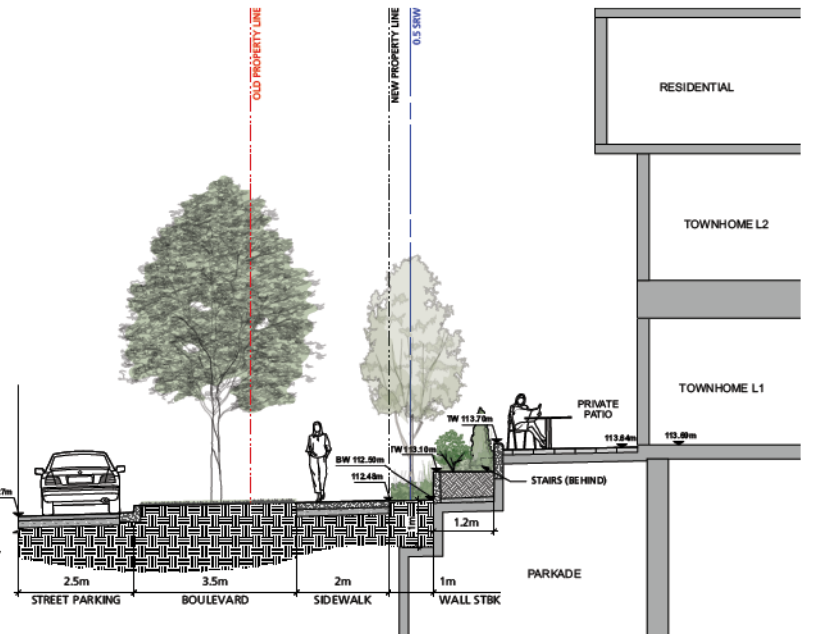




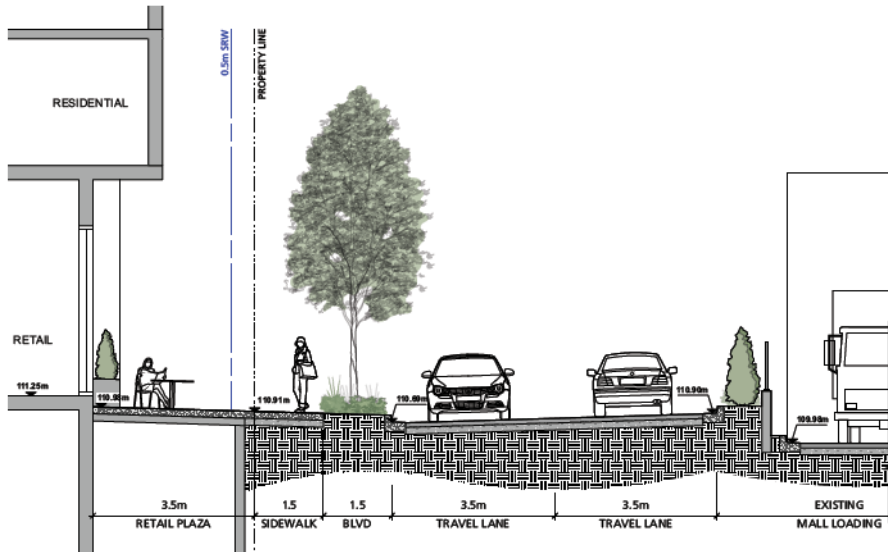
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4	Revised for RZ / DP	2023-11-11
5	Issued for ADP Response 01	2024-03-28
6	Issued for ADP Response 02	2024-06-06



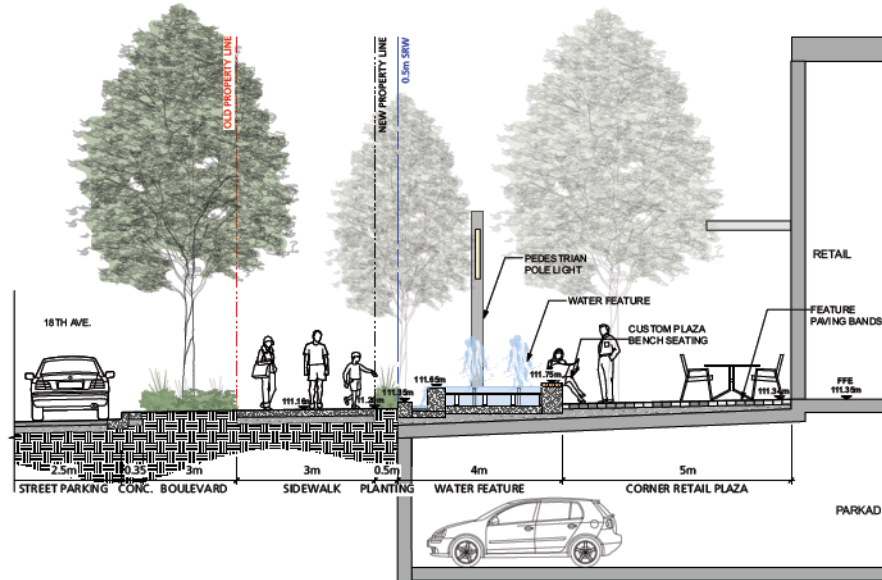
1 BUILDING 1 RETAIL FACING NEIGHBOURHOOD PARK  
4.0 1:50



3 BUILDING 1 TOWNHOMES ALONG MARTIN DRIVE  
4.0 1:50



2 BUILDING 1 RETAIL FACING EXISTING MALL  
4.0 1:75



4 BUILDING 3 CORNER ENTRY PLAZA AT 18TH AVE. AND 152ND STREET  
4.0 1:75

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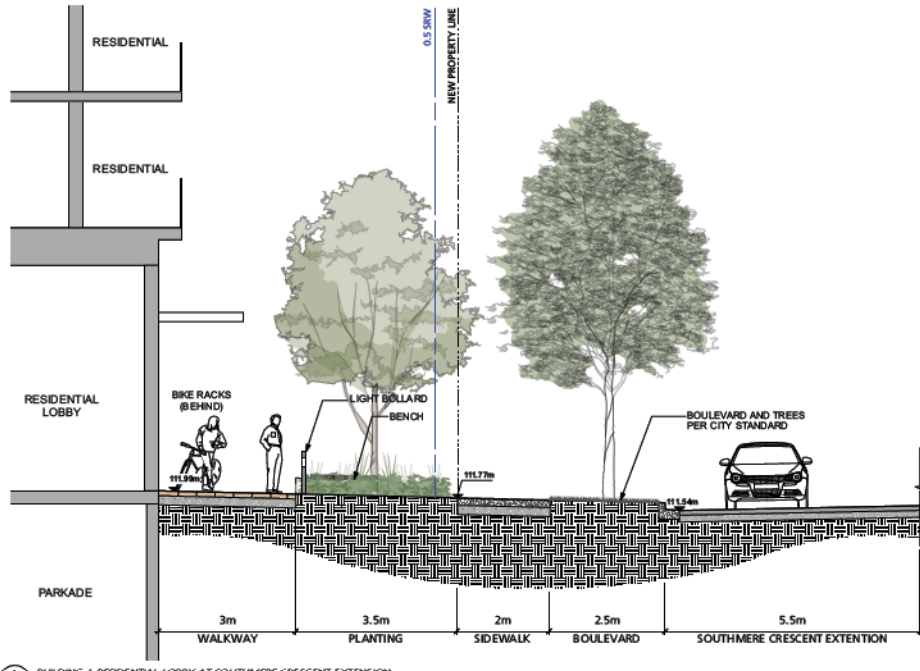
Client:  
**FIRST CAPITAL**

Project Title:  
**Semiahmoo Town Centre**

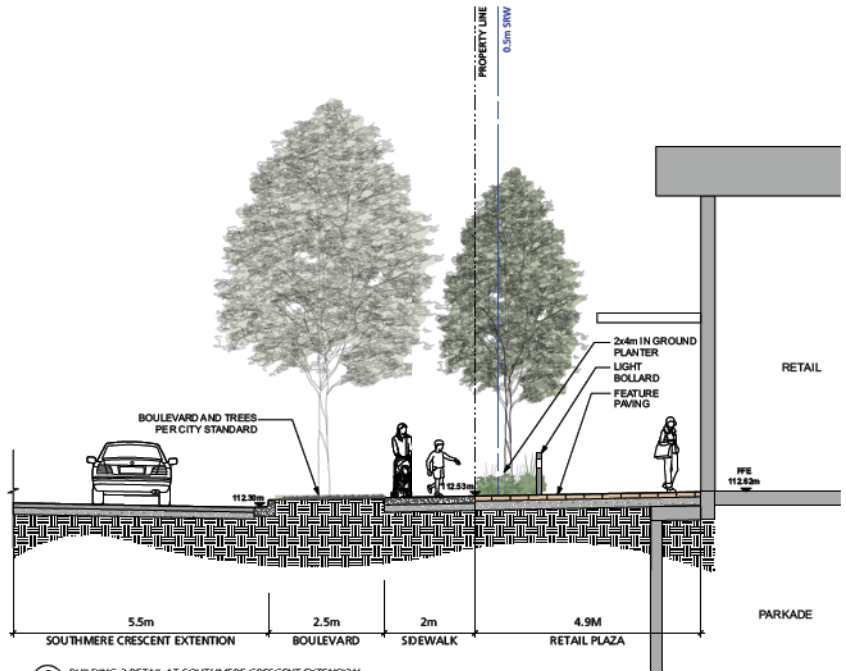
Drawing Title:  
**Landscape Sections**

Project Month: Drawn By: TH  
Checked By: MP  
Scale: As Shown Job No.: 20-071  
Sheet No.:

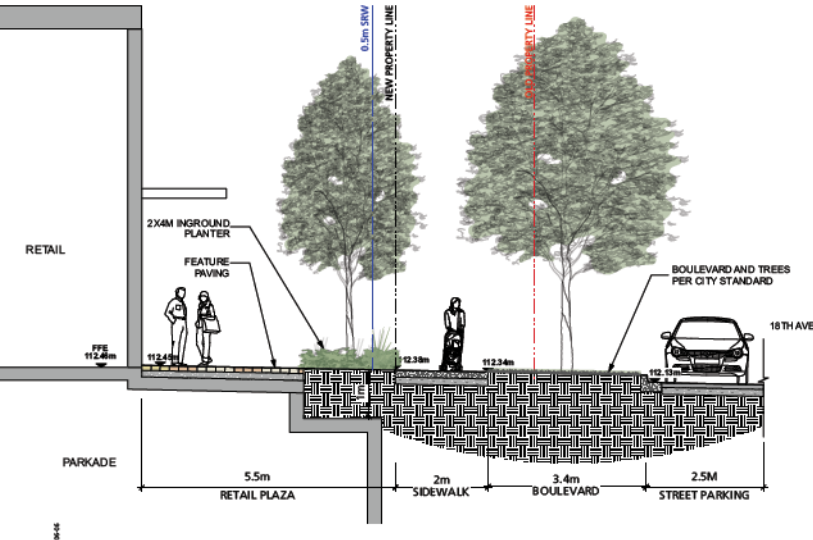
Issue No.	Description	Date
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6	Issued for AOP Response 02	2024-06-06



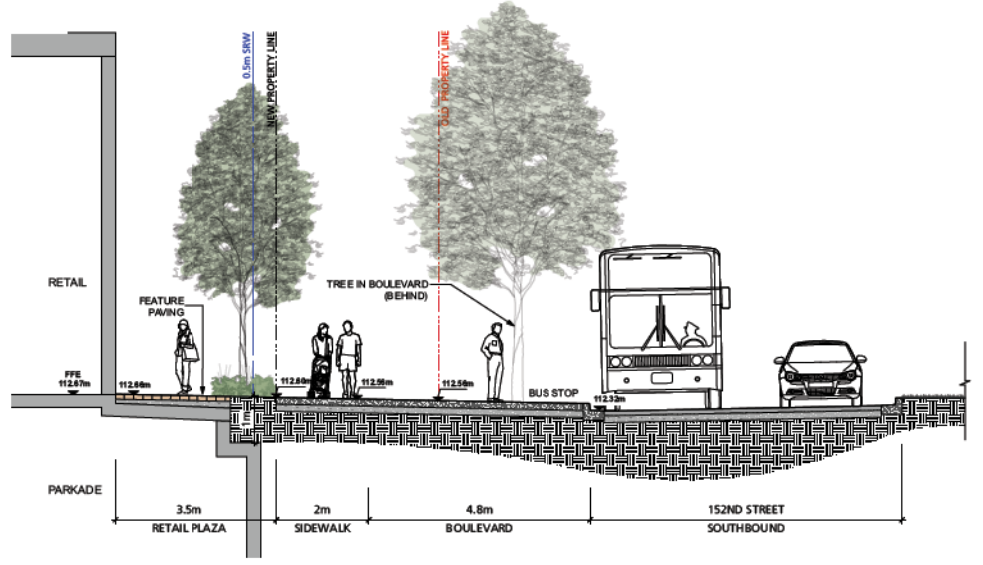
1 BUILDING 1 RESIDENTIAL LOBBY AT SOUTHMERE CRESCENT EXTENSION  
4.1 1:50



2 BUILDING 2 RETAIL AT SOUTHMERE CRESCENT EXTENSION  
4.1 1:50



3 BUILDING 3 RETAIL ALONG 18TH AVENUE  
4.1 1:50



4 BUILDING 3 RETAIL ALONG 152ND STREET  
4.1 1:50

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Client:  
**FIRST CAPITAL**

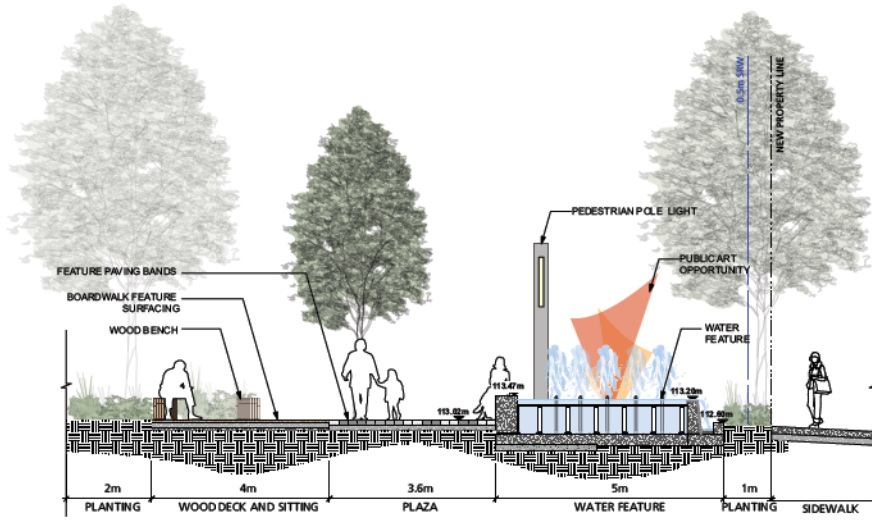
Project Title:  
**Semiahmoo Town Centre**

Drawing Title:  
**Landscape Sections**

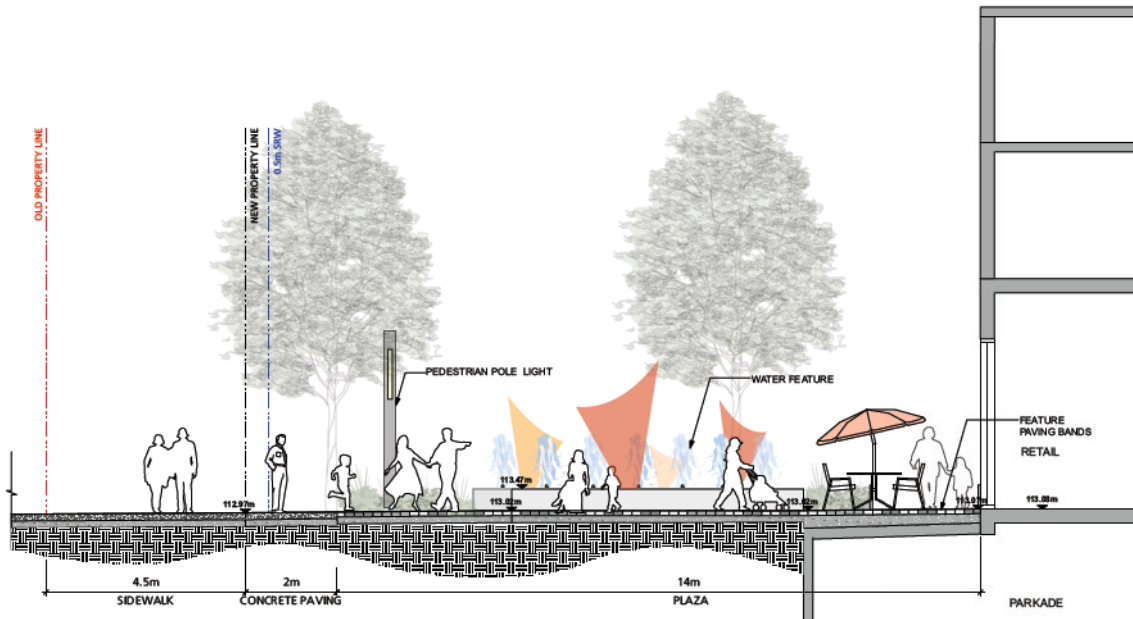
Project Month: Drawn By: TH  
Checked By: MP  
Scale: As Shown Job No.: 20-071  
Sheet No.:



Issues	No.	Description	Date
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	4	Revised for RZ / DP	2023-11-15
	5	Issued for ADP Response 01	2024-03-28
	6	Issued for ADP Response 02	2024-06-06



1 BUILDING 1 RESIDENTIAL LOBBY AT SOUTHMERE CRESCENT EXTENSION  
4.2 1:50



2 BUILDING 2 RETAIL AT SOUTHMERE CRESCENT EXTENSION  
4.2 1:50

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Client:



Project Title:

Semiahmoo  
Town Centre

Drawing Title:

Landscape Sections

Project Month:

Drawn By: TH

Checked By: MP

Scale:

As Shown Job No.: 20-071

Sheet No.:

LANDSCAPE DESIGN RATIONALE

The landscape design for the project responds to the contemporary design of the architecture, its urban context and natural setting. The landscape design aims to provide an engaging and safe public/private realm for the enjoyment of the residents and the larger community.

The project frontage is located on 18th Avenue/Martin Drive and extends from 152nd Street west to 17th Avenue. A small urban plaza with banded paving, seating, planting, water feature, and pillar lights engages the corner at 152nd and 18th Avenue. A double row of street trees along 18th Avenue buffers the ground floor commercial activity from the vehicular traffic. Locations for seating and bikes have been provided along the commercial frontages. Lobby entries have been articulated through the paving pattern and have been provided with both seating and bike parking. Building number 1 ground floor retail allows for a larger plaza space at the entrance to the mall off 18th Avenue. Feature lighting elements, seating and warm tone banded paving provide variety and interest to the landscape while allowing clear site lines for retail visibility. As the Building tower transitions to the townhome frontage, the landscape reinforces the street edge through planters and layered planting buffering views of the private patios. Each patio is provided overlook and direct connection to the sidewalk enhancing neighbourhood safety by this activated use at the ground plane.

An interim neighbourhood park/open space will be constructed with the first phase of this development and the design reflects the input received from City Planning. The future expansion of the park will provide a dedicated one acre park parcel for the greater community.

Each tower is provided exterior amenity spaces at different podium/roof levels. These exterior spaces have been programmed to provide a range of activities for residents including; urban gardening, social gathering spaces, small seating enclaves, flexible open space and programmed children's play areas and other activities.

The planting design includes a variety of plant materials to provide structure and interest throughout the year. Plantings will be irrigated with a 50% potable water reduction irrigation system.



MAIN ENTRY PLAZA PAVING



PLANK PAVING



BOARDWALK



HEAVY TIMBER BENCH



ENTRY PLAZA WITH SEATING AND PLANTING



LIGHT PILLAR



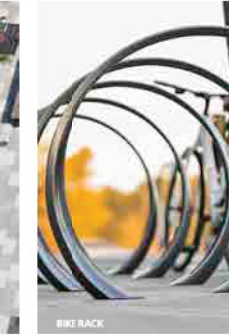
PAVING PATTERN PRECEDENT



COLOURED GLASS PUBLIC ART



STREET TREES IN THE GREYS



BIKE RACK



WATER FEATURE

GROUND LEVEL ENTRY LANDSCAPE AND STREETScape



HAMMOCKS



OUTDOOR FITNESS GROUP ON ARTIFICIAL TURF



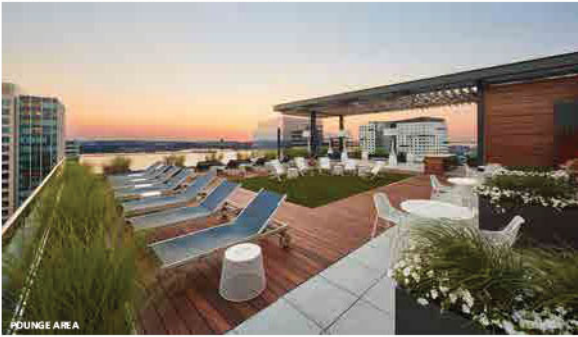
LOUNGE DAYBED



OPEN WOOD DECK WITH SEATING AND FIRE TABLE



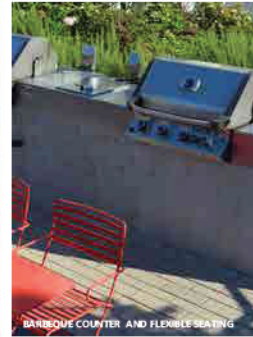
URBAN AGRICULTURE BEDS



POUNGIE AREA



FLEXIBLE WOOD DECK FOR YOGA, PILATES AND TAI CHI



BARBECUE COUNTER AND FLEXIBLE SEATING



OUTDOOR KITCHEN WITH BARBECUE AND TABLE SEATING & TRILLISS

UPPER LEVEL AMENITY DECKS

Issues	Description	Date
1	Issued for RZ / OP	2020-11-12
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4	Revised for RZ / OP	2023-11-15
5	Issued for AOP Response 01	2024-08-28
6	Issued for AOP Response 02	2024-09-06

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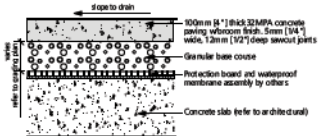
Client:

Project Title:  
**Semlahmoo Town Centre**

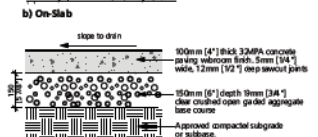
Drawing Title:  
**Precedents & Images**

Project Month: Drawn By: TH  
 Checked By: MP  
 Scale: N/A Job No.: 20-071  
 Sheet No.:

- Notes:**
- Control joints to be provided as shown on plan with no reveal marks.
  - Expansion joints over floorboard to be provided @ 50' max o.c. and at interface with structure such as walls, steps and curbs. Refer to grading plan and sections for the amount of buildup required over slab to final grade.
  - Subgrade preparation must be reviewed by the geotechnical engineer prior to placement of fill.
  - Fill material to consist of free draining granular fill with less than 5% fines content compacted to a minimum 95% MPOD.
  - Structural to review location of construction joints prior to forming.



c) Sawcut Concrete Joint  
Scale = 1:5

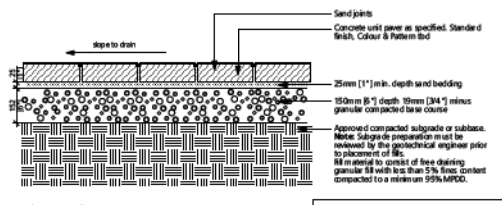


d) Expansion Joint  
Scale = 1:5

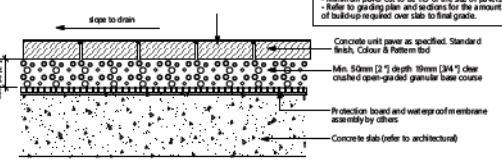


a) On-Grade

**Product:** Promenade Plank Paver by Unil-Lock  
**Size:** Assembly Area: 610x305x50mm, Lobby Entrance: Field: 610x315x50mm, Bands: 610x305x50mm  
**Colour:** Assembly Area: Charcoal, Private Patio: Natural, Lobby Entrance: Field: Natural, Bands: Charcoal  
**Pattern:** Assembly Area: Stacked bond, Private Patio: Running bond, Lobby Entrance: Stacked Bond  
**Finish:** Mixture of smooth finished



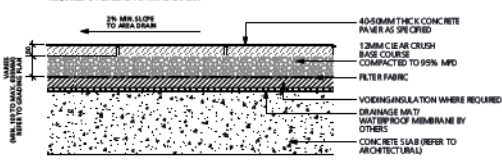
a) On-Grade



b) On-Slab

**Notes:**

- CUT PAVES RADICALLY TO FIT AROUND CIRCULAR MANHOLES.
- MINIMUM PAVES CUT TO BE 1/8 OF THE SIZE OF PAVES.
- REFER TO GRADING PLANS AND SECTIONS FOR THE AMOUNT OF BUILDUP REQUIRED OVER SLAB TO FINAL GRADE.



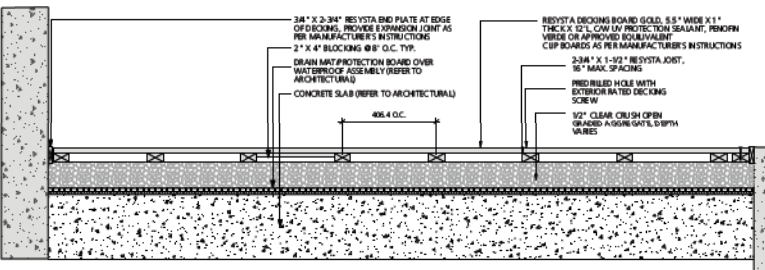
3) Hydrapressed Slab Paving

**Product:** Hydrapressed Slab by Alkathoid Concrete  
**Size:** Assembly Area: 610x305x50mm, Private Patio: 610x305x50mm, Lobby Entrance: Field: 610x305x50mm, Bands: 610x305x50mm  
**Colour:** Assembly Area: Charcoal/Private Patio: Natural, Lobby Entrance: Field: Natural, Bands: Charcoal  
**Pattern:** Assembly Area: Stacked bond/Private Patio: Running bond, Lobby Entrance: Stacked Bond  
**Finish:** Treaded (fall)

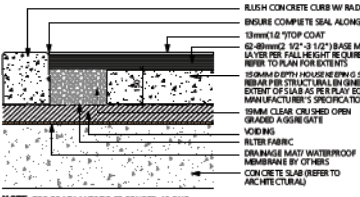
1) CIP Concrete Paving (Pedestrian)  
1:10

2) Concrete Unit Paving  
1:10

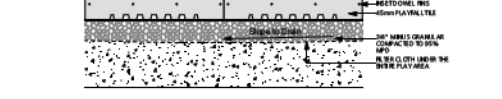
3) Hydrapressed Slab Paving  
1:10



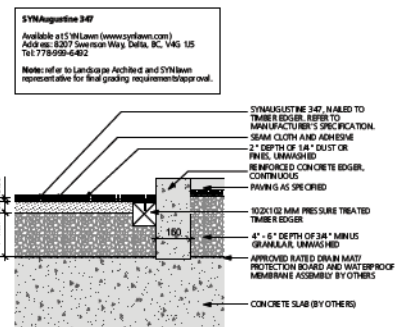
4) Decking Surfacing  
1:10



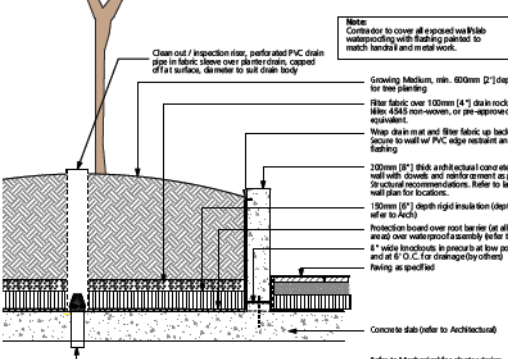
5) Play Surfacing  
1:10



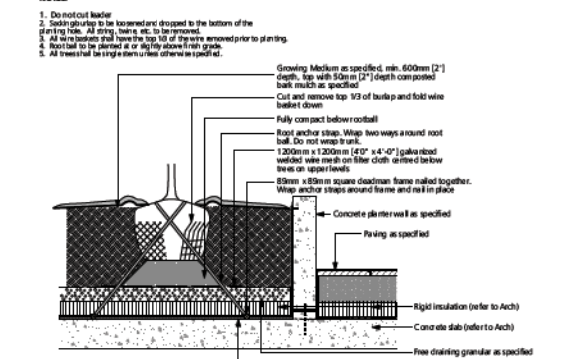
6) Play Tile Surfacing  
1:10



7) Artificial Turf  
1:10



8) Planter Wall  
1:20



9) Tree Planting Anchor  
1:20

Issues	Description	Date
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3	Revised for RZ/OP	2023-07-05
4	Revised for RZ/OP	2023-11-11
5	Issued for AOP Response 01	2024-03-28
6	Issued for AOP Response 02	2024-06-06

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Client:

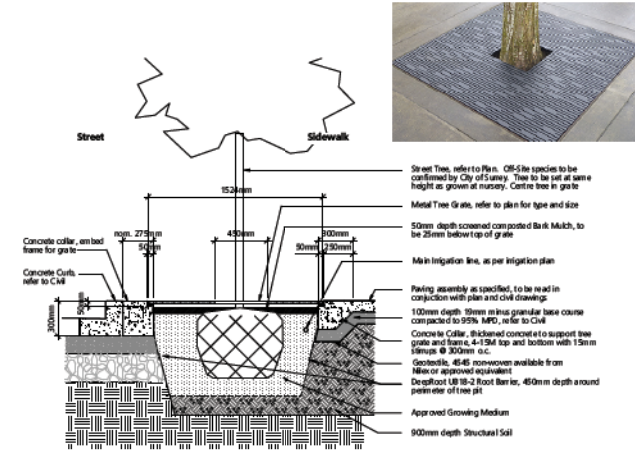


Project Title: Semiahmoo Town Centre

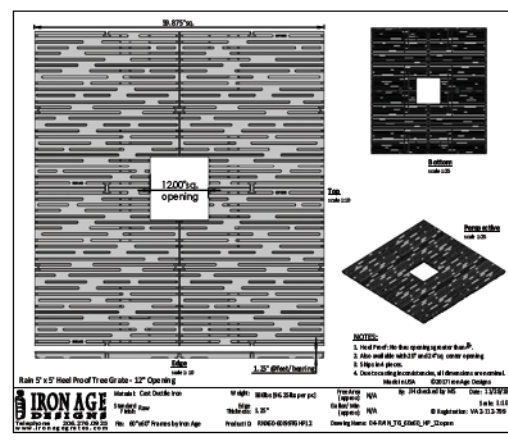
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Project Month:	Drawn By:	TH
	Checked By:	MP
Scale:	Job No.:	20-071
Sheet No.:		

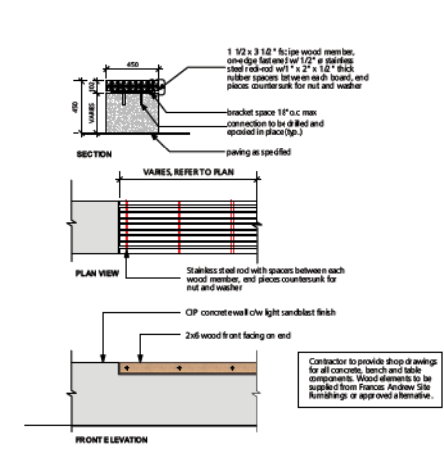
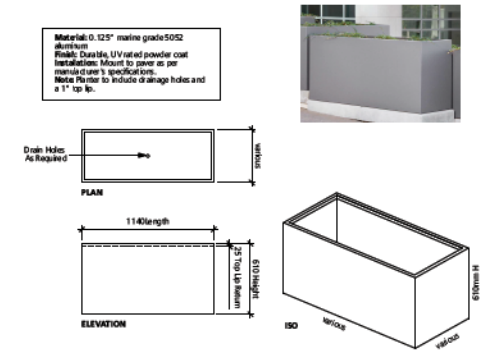
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6	Issued for ADP Response 02	2024-06-06



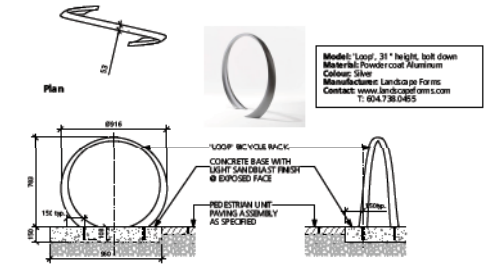
10 Tree Grate  
1:20



11 Aluminum Planter  
1:20



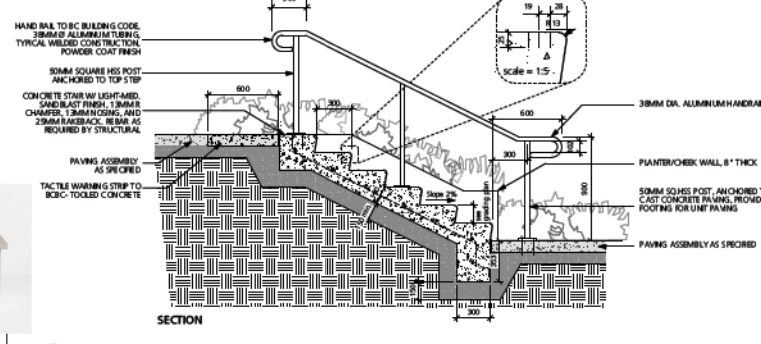
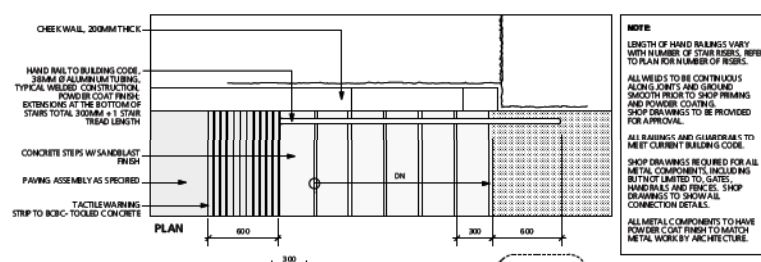
12A Custom Bench  
1:20



13 Bike Rack  
1:20



14 Fire Table  
NTS



15 Concrete Stairs  
1:20

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Project Title: Semiahmoo Town Centre

Drawing Title: Details

Project North:	Drawn By:	TH
	Checked By:	MP
Scale:	Job No.:	20-071
Sheet No.:		

Issues	Description	Date
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6	Issued for AOP Response 02	2024-06-06

**LANDSCAPE**

**JUNIOR FORM - CURED LARGE**  
REVISION: 02/2024

FORM ID: 0000000000

REVISIONS: For the purpose of this drawing, the information is provided for informational purposes only. It is not intended to be used as a contract document. The information is provided as a guide only. The information is provided as a guide only. The information is provided as a guide only.

**LANDSCAPE**

**JUNIOR FORM - CURED SMALL**  
REVISION: 02/2024

FORM ID: 0000000000

REVISIONS: For the purpose of this drawing, the information is provided for informational purposes only. It is not intended to be used as a contract document. The information is provided as a guide only. The information is provided as a guide only. The information is provided as a guide only.

**Arch Ladder, 4 ft**  
02/2024

**KOMPANET**  
See us at: 02/2024-02-01

REVISIONS: For the purpose of this drawing, the information is provided for informational purposes only. It is not intended to be used as a contract document. The information is provided as a guide only. The information is provided as a guide only. The information is provided as a guide only.

**Spring Board**  
02/2024

**KOMPANET**  
See us at: 02/2024-02-01

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**Forest Shop**  
02/2024

**KOMPANET**  
See us at: 02/2024-02-01

REVISIONS: For the purpose of this drawing, the information is provided for informational purposes only. It is not intended to be used as a contract document. The information is provided as a guide only. The information is provided as a guide only. The information is provided as a guide only.

16 Play Equipment  
T:20

**MAGLIN MCL720 SERIES CHAISE LOUNGE**

All steel components are protected with S-Coat Rust Protection. The Maglin Powdercoat System provides a durable finish on all metal surfaces. The wood slats are finished with pre-weathering sealant. Bolted into place with tamper proof bolts.

16 Chaise Lounger  
T:20

**PARC TABLE 30" DIAMETER**

QUANTITY: REFER TO SPECIFICATIONS  
COLOR: REFER TO SPECIFICATIONS  
SUPPLIER: LANDSCAPE FORMS  
CONTACT: JULIA RYAN  
PH: 1-800-404-6206 Ext. 326  
E: julia@landscapeforms.com

**PARC CHAIR W/ ARMS 01" X 22" X 33"**

QUANTITY: REFER TO SPECIFICATIONS  
COLOR: REFER TO SPECIFICATIONS  
SUPPLIER: LANDSCAPE FORMS  
CONTACT: JULIA RYAN  
PH: 1-800-404-6206 Ext. 326  
E: julia@landscapeforms.com

17 Table & Chairs - Amenity Level  
T:20

**Multiplicity Table & Benches**  
Color: Cast Alum Inlay with Wood Top  
Quantity: Refer to specifications  
Available from: landscapeforms.com  
www.landscapeforms.com  
T: 604.738.0465

CAST ALUMINUM FRAME  
NON-SLIP GRIP GUIDES  
LEAVE INSTALLED FOR ALL MOUNTING OPTIONS.

18 Harvest Table  
T:20

**Water Feature**

400mm x 200mm x 2.5mm BAS ALT  
COVERING STONE (TYPE D)  
AS SPECIFIED

VERTICAL WALL (BRICK WALL) STONE  
TO BE BLACK TUSK BAS ALT TILE  
500mm WIDTH x 12.5mm THICK  
HONEY COMBED FINISH (REFER  
REFER TO GRADING PLAN)

CONCRETE WATER FEATURE WALL  
AS SPECIFIED REFER TO KEY PLAN

WASHED RIVER ROCK, 100mm DEPTH  
FROM WALLS

CONCRETE HOUSE KEEPING SLAB  
REFER TO FOUNTAIN MOUNT  
200mm CONCRETE WALL

CONC. FOOTING OVER APPROVED  
BASE COURSE

CONCRETE SLAB (REFER TO  
ARCHITECTURAL)

20 Water Feature  
T:20

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Project Title: Semiahmoo Town Centre

Drawing Title: Details

Project Month: Drawn By: TH  
Checked By: MP  
Scale: As Shown Job No.: 20-071  
Sheet No.:

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TO: **Director, Development Planning, Planning and Development Department**  
FROM: **Development Process Manager, Engineering Department**  
DATE: **June 17, 2024** PROJECT FILE: **7819-0285-00**

---

RE: **Engineering Requirements (Commercial/Industrial)**  
**Location: 1711 152 Street**

**REZONE/SUBDIVISION**

***Property and Right-of-Way Requirements***

- Dedicate approximately 3.0 m on Martin Drive/18 Avenue.
- Dedicate approximately 3.5 m on 152 Street.
- Dedicate 20.0 m for Southmere Crescent East.
- Dedicate 12.0 m for the Green Lane.
- Dedicate varying width for 17A Avenue.
- Dedicate required corner cuts, including those required at the future roundabout.
- Register 0.5 m Statutory Right-of-Way (SRW) along all frontage roads.
- Register SRWs on the remnant lot for the future road alignments and on the Park site.

***Works and Services***


- Construct the south side of Martin Drive/18 Avenue.
- Construct signalized intersection at 18 Avenue and Southmere Crescent East.
- Construct pedestrian signal at Martin Drive and Green Lane.
- Construct the west side of 152 Street.
- Construct Southmere Crescent East.
- Construct interim Green Lane.
- Construct interim 17A Avenue and provide cash-in-lieu for ultimate works.
- Provide cash-in-lieu for future roundabout at 17A Avenue and Southmere Crescent East.
- Provide storm and sanitary catchment plans and resolve capacity constraints.
- Construct storm drainage system to service the proposed lots and to drain the roads.
- Provide onsite sustainable storm mitigation works per the Semiahmoo Town Centre Plan.
- Provide water quality treatment prior to discharging off-site.
- Construct water and sanitary mains to service the proposed lots.
- Provide 50% cash-in-lieu for the construction of a sanitary main along 152 Street.
- Construct adequately-sized sanitary, storm and metered water service connections.

A Servicing Agreement is required prior to Rezone/Subdivision.

**DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT**

The following are to be addressed as a condition of issuance of the Development Variance Permit:

- Register a No-build Restrictive Covenant on title of the remnant lot.



Daniel Sohn, P.Eng.  
Development Process Manager  
IK1

NOTE: Detailed Land Development Engineering Review available on file

Department: **Planning and Demographics**  
Date: **May 6, 2024**  
Report For: **City of Surrey**

**Development Impact Analysis on Schools For:**

Application #: **19 025 00 (updated May 2024)**

The proposed development of **554** High Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

<b>School-aged children population projection</b>	47
---	----

<b>Projected Number of Students From This Development In:</b>	
Elementary School =	28
Secondary School =	11
Total Students =	39

<b>Current Enrolment and Capacities:</b>	
<b>H T Thrift Elementary</b>	
Enrolment	338
Operating Capacity	252
# of Portables	4
<b>Semiahmoo Secondary</b>	
Enrolment	1518
Operating Capacity	1300
# of Portables	11

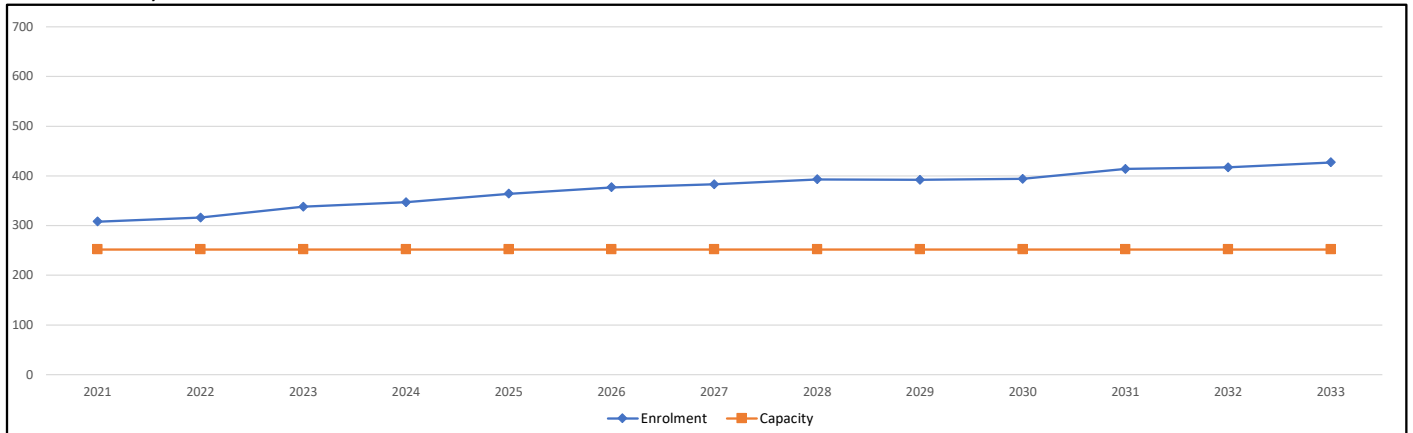
**Summary of Impact and Commentary**

The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

As of September 2023, there were four portables being used for enrolling classrooms in H T Thrift Elementary. The 10 year enrolment projections show this school growth is leveling off but the school is operating at 134% capacity. Portables will be used to manage enrolment growth over the next several years. There are no capital expansion projects planned for the school at this time.

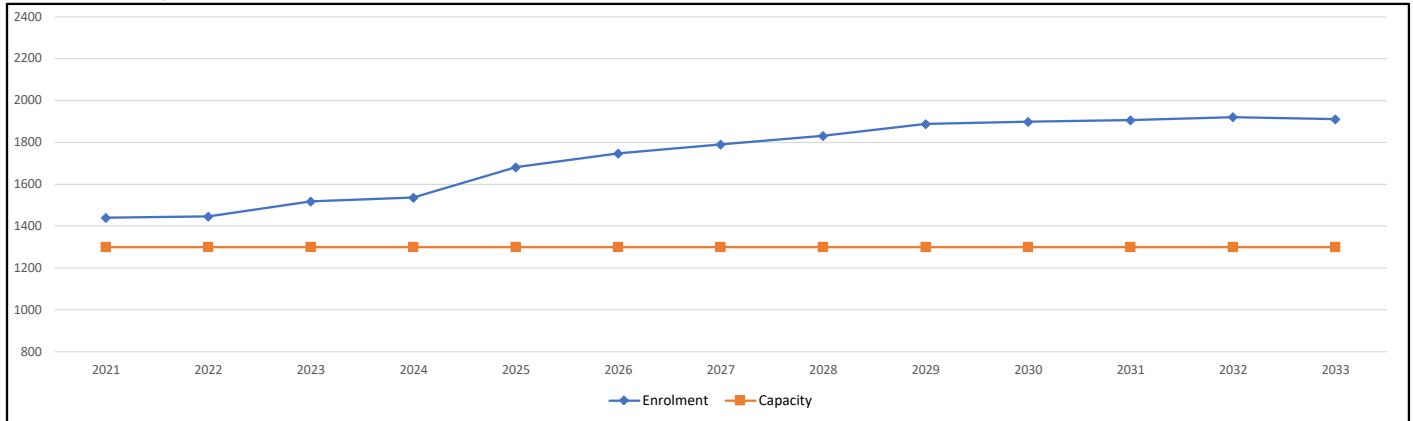
Grandview Heights Secondary opened September 2021; resulting in, significant boundary changes in the South Surrey, White Rock Education Region. All boundary changes are now in effect. As a result, enrolment at Semiahmoo Secondary has dropped but the school is still operating above capacity with an additional 11 portables on site.

**H T Thrift Elementary**



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

**Semiahmoo Secondary**



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

**Population** : The projected population of children aged 0-17 impacted by the development.  
**Enrolment** : The number of students projected to attend the Surrey School District ONLY.

## Tree Preservation Summary

Surrey Project No:

Address: Semiahmoo Mall Surrey

Registered Arborist: Glenn Murray

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	<b>39</b>
<b>Protected Trees to be Removed</b>	<b>39</b>
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	<b>0</b>
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio  <math>\underline{\quad 0 \quad} \times \text{one (1)} = 0</math></li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio  <math>\underline{\quad 39 \quad} \times \text{two (2)} = 78</math></li> </ul>	<b>78</b>
<b>Replacement Trees Proposed</b>	<b>82</b>
<b>Replacement Trees in Deficit</b>	<b>-4</b>
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	<b>0</b>

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	<b>0</b>
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio  <math>\underline{\quad \quad \quad} \times \text{one (1)} = 0</math></li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio  <math>\underline{\quad \quad \quad} \times \text{two (2)} = 0</math></li> </ul>	<b>0</b>
<b>Replacement Trees Proposed</b>	
<b>Replacement Trees in Deficit</b>	<b>0</b>

Summary, report and plan prepared and submitted by:



\_\_\_\_\_  
(Signature of Arborist)

13-Jun-24

\_\_\_\_\_  
Date



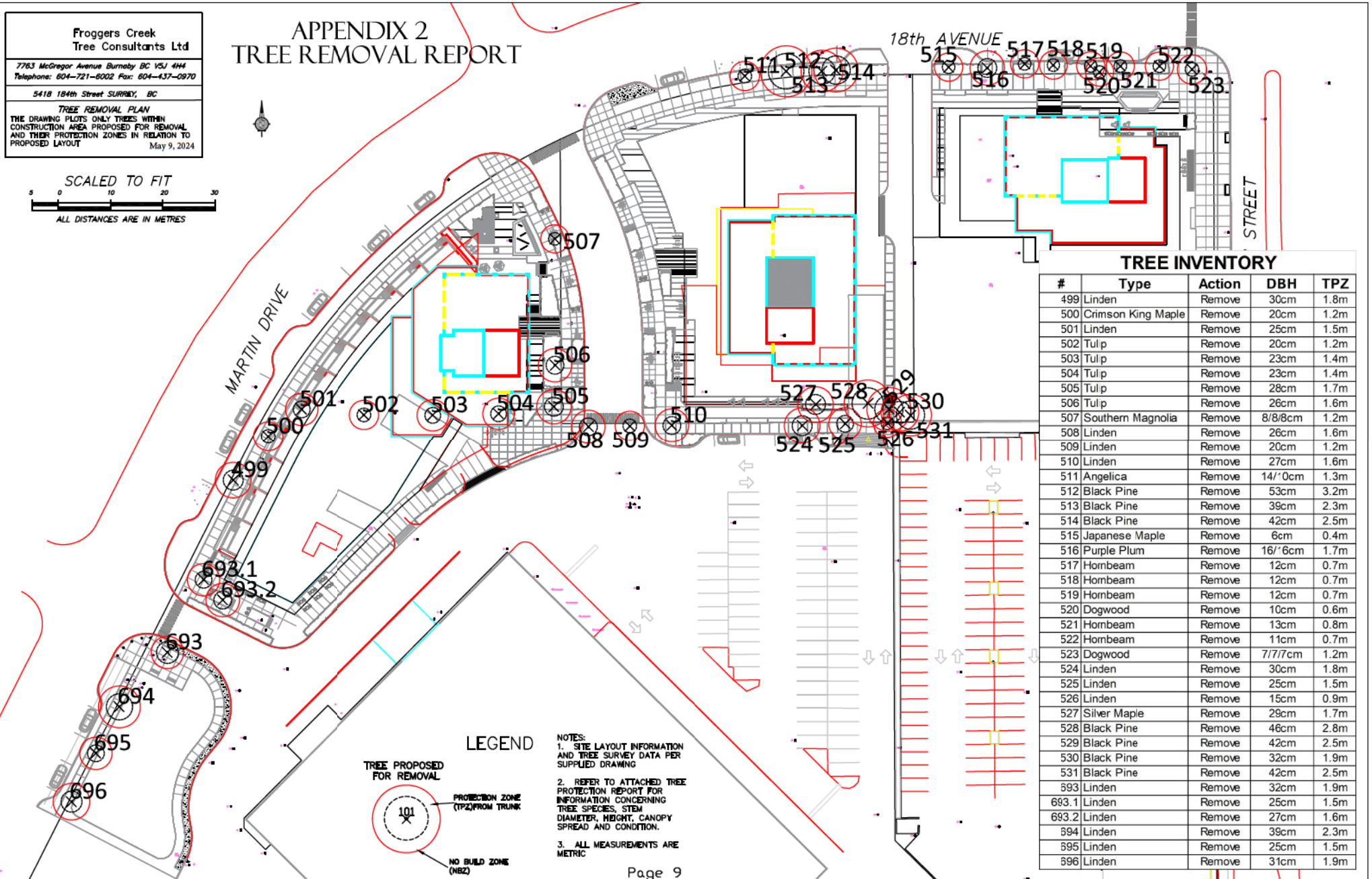
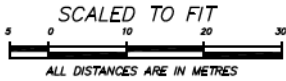
Froggers Creek  
Tree Consultants Ltd

7763 McGregor Avenue Burnaby BC V5J 4H4  
Telephone: 604-721-8002 Fax: 604-437-0970

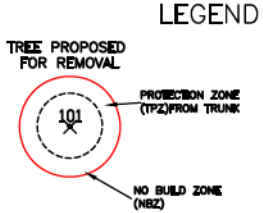
5418 184th Street SURREY, BC

**TREE REMOVAL PLAN**  
THE DRAWING PLOTS ONLY TREES WITHIN  
CONSTRUCTION AREA PROPOSED FOR REMOVAL  
AND THEIR PROTECTION ZONES IN RELATION TO  
PROPOSED LAYOUT May 9, 2024

# APPENDIX 2 TREE REMOVAL REPORT



TREE INVENTORY				
#	Type	Action	DBH	TPZ
499	Linden	Remove	30cm	1.8m
500	Crimson King Maple	Remove	20cm	1.2m
501	Linden	Remove	25cm	1.5m
502	Tulip	Remove	20cm	1.2m
503	Tulip	Remove	23cm	1.4m
504	Tulip	Remove	23cm	1.4m
505	Tulip	Remove	28cm	1.7m
506	Tulip	Remove	26cm	1.6m
507	Southern Magnolia	Remove	8/8/8cm	1.2m
508	Linden	Remove	26cm	1.6m
509	Linden	Remove	20cm	1.2m
510	Linden	Remove	27cm	1.6m
511	Angelica	Remove	14/10cm	1.3m
512	Black Pine	Remove	53cm	3.2m
513	Black Pine	Remove	39cm	2.3m
514	Black Pine	Remove	42cm	2.5m
515	Japanese Maple	Remove	6cm	0.4m
516	Purple Plum	Remove	16/16cm	1.7m
517	Hornbeam	Remove	12cm	0.7m
518	Hornbeam	Remove	12cm	0.7m
519	Hornbeam	Remove	12cm	0.7m
520	Dogwood	Remove	10cm	0.6m
521	Hornbeam	Remove	13cm	0.8m
522	Hornbeam	Remove	11cm	0.7m
523	Dogwood	Remove	7/7/7cm	1.2m
524	Linden	Remove	30cm	1.8m
525	Linden	Remove	25cm	1.5m
526	Linden	Remove	15cm	0.9m
527	Silver Maple	Remove	29cm	1.7m
528	Black Pine	Remove	46cm	2.8m
529	Black Pine	Remove	42cm	2.5m
530	Black Pine	Remove	32cm	1.9m
531	Black Pine	Remove	42cm	2.5m
593	Linden	Remove	32cm	1.9m
693.1	Linden	Remove	25cm	1.5m
693.2	Linden	Remove	27cm	1.6m
694	Linden	Remove	39cm	2.3m
695	Linden	Remove	25cm	1.5m
696	Linden	Remove	31cm	1.9m

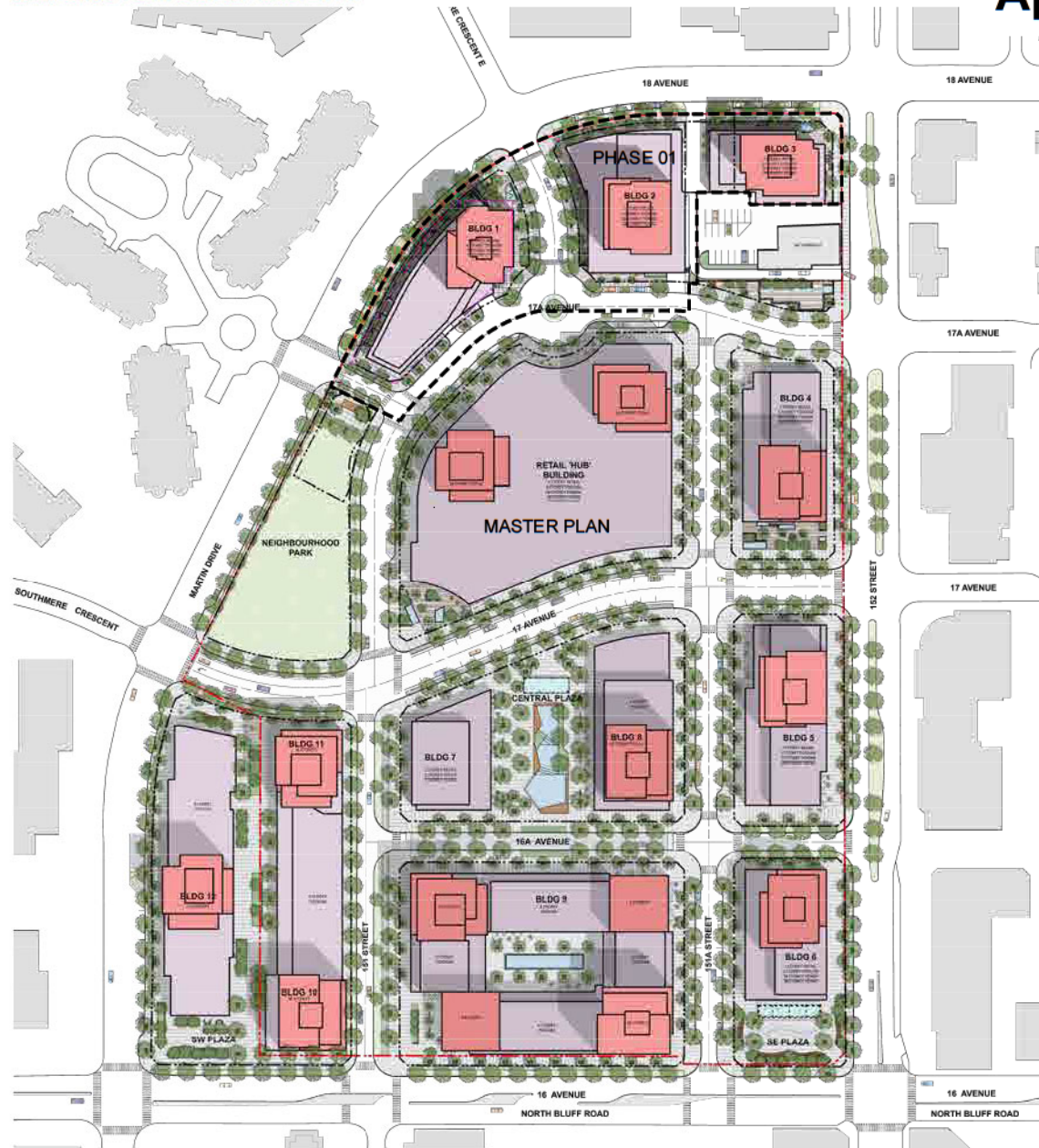



**NOTES:**

1. SITE LAYOUT INFORMATION AND TREE SURVEY DATA PER SUPPLIED DRAWING
2. REFER TO ATTACHED TREE PROTECTION REPORT FOR INFORMATION CONCERNING TREE SPECIES, STEM DIAMETER, HEIGHT, CANOPY SPREAD AND CONDITION.
3. ALL MEASUREMENTS ARE METRIC

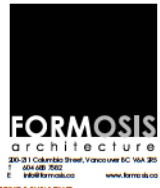
SEMAIHMOO TOWN CENTRE - MASTER PLAN

Appendix V





NORTH



**FORMOSIS**  
architecture

200-211 Columbia Street, Vancouver BC V6A 3P5  
404-688-7822  
M: 604-688-7822  
www.formosis.ca

PRIME CONSULTANT

CONSULTANT

NO	DATE	REMARKS
07	09/19/2024	ADP RESPONSE 02
06	04/01/2024	ADP RESPONSE 01
05	10/16/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
03	03/01/2022	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / OP

SEAL

Semiahmoo  
Town Centre

Surrey, British Columbia

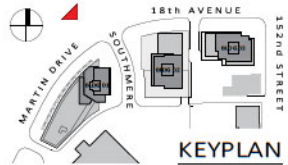
URBAN PLANNING  
CONTEXT

A107

SCALE:	N.T.S.	PROJECT NO:	1807
DRAWN BY:	BL	DATE:	JAN 2022



MASTERPLAN OVERVIEW - LOOKING SOUTH-EAST FROM SOUTHMERE CRESCENT AND MARTIN DRIVE TOWARDS 152ND ST AND 18TH AVENUE



KEYPLAN

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NORTH

**FORMOSIS**  
architecture

200-21 Columbia Street, Vancouver BC V6A 3P5  
604.681.7022 | info@formosis.ca | www.formosis.ca

PRIME CONSULTANT

CONSULTANT

SEAL

NO	DATE	REMARKS
07	09/19/2024	ADP RESPONSE 02
06	04/01/2024	ADP RESPONSE 01
05	10/16/2023	RESPONSE TO DRG 04
04	07/07/2023	RESPONSE TO DRG 03
03	03/01/2022	RESPONSE TO DRG 02
02	11/17/2020	RESPONSE TO DRG 01
01	10/01/2019	ISSUED FOR REZONING / DP

Semiahmoo  
Town Centre

Surrey, British Columbia

RENDERS

A109

SCALE:	N.T.S.	PROJECT NO:	1807
DRAWN BY:	BL	DATE:	JAN 2022

(the "City")

**DEVELOPMENT VARIANCE PERMIT**

NO.: 7919-0285-00

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 002-321-483

Lot 2 Section 15 Township 1 New Westminster District Plan 56401 Except Plans LMP45557  
and BCP44800

1711 - 152 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

---

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

---

4. Surrey Subdivision and Development By-law, 1986, No. 8830, as amended is varied as follows:

- (a) In Part V – Highway Dedication, Servicing and Construction Standards, Section 24(a), the requirement to provide vehicular and pedestrian highway systems, water distribution, sanitary sewer, drainage works, underground wiring, and street lighting systems in conjunction with the proposed subdivision and rezoning is deferred on the remainder mall parcel at 1715 – 152 Street, as shown on Schedule A.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
  6. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
  7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
  8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE  
DAY OF           , 20   .

ISSUED THIS    DAY OF           , 20   .

---

Mayor – Brenda Locke






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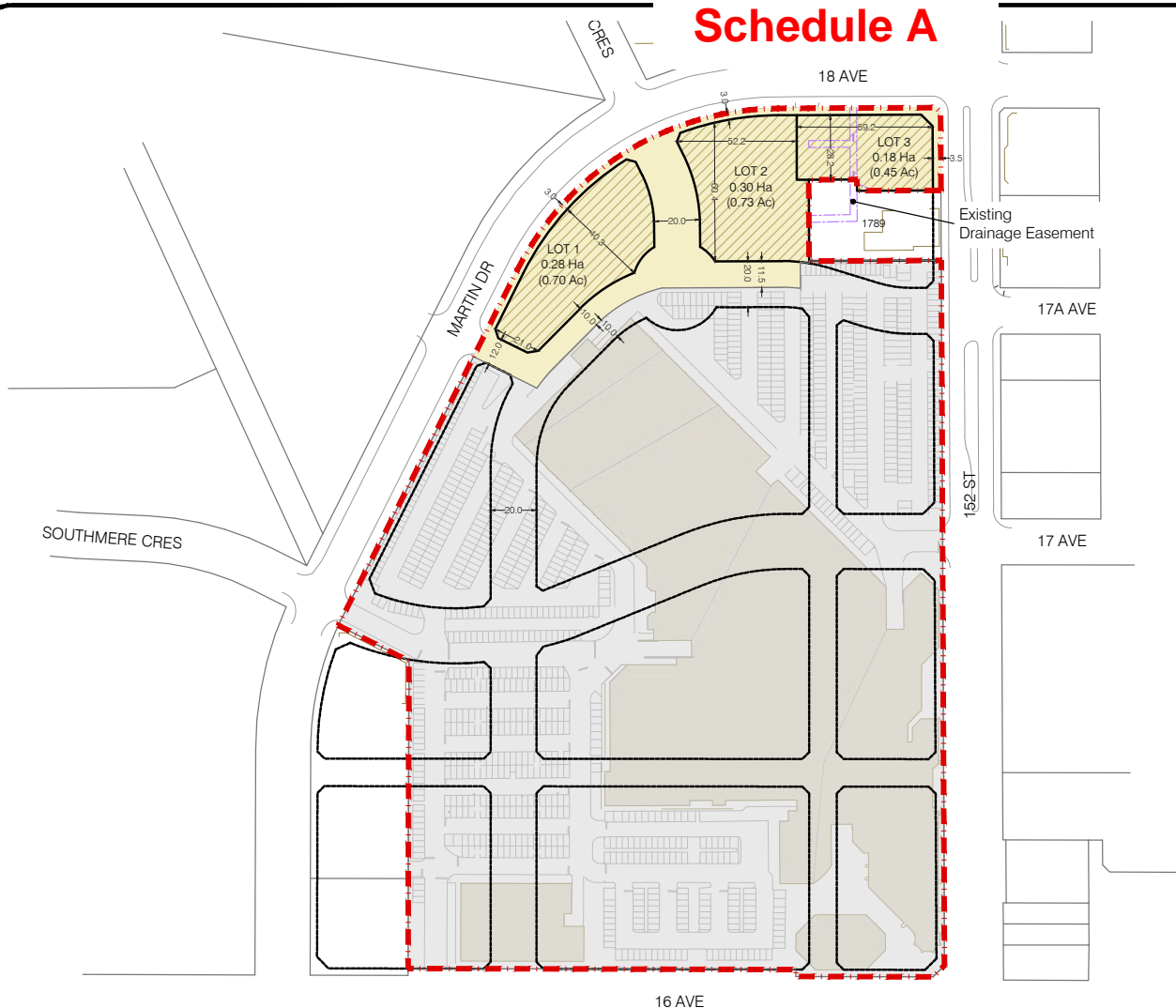
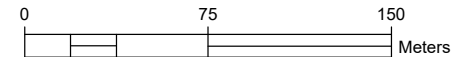
City Clerk and  
Director Legislative Services  
Jennifer Ficocelli

# Schedule A

First Capital Realty  
Mixed-Use Development  
Semiahmoo Mall, Surrey, BC

## SUBDIVISION CONCEPT

-  SITE BOUNDARY
  -  GROSS AREA (PHASE 1)  
1.13 Ha (2.79 Ac)
  -  NET AREA (PHASE 1)  
0.76 Ha (1.88 Ac)
  -  REM  
6.76 Ha (16.70 Ac)
  -  EASEMENT
- ROAD DEDICATION (PHASE 1):  
0.37 Ha (0.92 Ac)



### LEGAL DESCRIPTION

PID 002-321-483  
PID 002-269-503  
PID 002-269-490

### GROSS AREA (PHASE 1)

1.13 hectares / 2.79 acres

### EXISTING DESIGNATIONS

OCP: Town Centre  
Semiahmoo Town Centre Plan: Town Centre  
Zoning: CD, C-8

### PROPOSED DESIGNATIONS

OCP: Town Centre  
Semiahmoo Town Centre Plan: TBD  
Zoning: CD

### LOT YIELD

Existing: 3 Lots  
Proposed: 3 Lots + 1 REM



Scale: 1:2000



Project 19-1022  
14 / 06 / 2024  
Drawn by: AR

Drawing

1



## Advisory Design Panel Minutes

### **Present:**

Panel Members:  
N. Couttie, Chair  
R. Amies  
C. Cuthbert  
D. Dilts  
Y. Popovska  
R. Salcido

### **Guests:**

James Smith, Appelt Properties  
Jessie Arora, DF Architecture Inc.  
Zubin Billimoria, DF Architecture Inc.  
Caelen Griffiths, PMG Landscape Architects  
Chris Atkins, First Capital  
Adam Gruchala, Formosis Architecture  
Tom Bunting, Formosis Architecture Inc.  
Michael Patterson, Perry + Associates Inc.

### **Staff Present:**

A. McLean, City Architect  
S. Maleknia, Sr. Urban Design Planner  
N. Chow, Urban Design Planner  
A. Yahav, Clerk 3

## C. NEW SUBMISSIONS

### 2. 4:15 p.m.

File No.:	7919-0285-00
New or Resubmit:	New
Last Submission Date:	N/A
Description:	Proposed Rezoning to allow for the construction of 3 mixed-use buildings with amenity space, ground floor commercial uses and underground parking. Proposed Detailed Development Permit for Tower 1 (12 storeys) and General Development Permit for Towers 2 and 3 (20 storeys). Proposed Master Plan for full mall site for Council endorsement. 554 residential units and 4,325 sq.m. of commercial floor space are proposed.
Address:	1711 – 152 Street, 15150 – 18 Avenue and 1797 – 152 Street
Developer:	Chris Atkins, First Capital
Architect:	Adam Gruchala, Formosis Architecture Tom Bunting, Formosis Architecture Inc.
Landscape Architect:	Michael Patterson
Planner:	Keith Broersma
Urban Design Planner:	Nathan Chow

The Urban Design Planner outlined the town centre policy and the application process for the current proposal, which includes both a General and Detailed development permit. The remaining southern portion of the mall is illustrated as a future concept. He advised that staff generally support the project.

The Panel was asked to comment on the overall site planning, pedestrian and vehicular movement, architectural expression, overall landscape concept, and public realm interfaces.

The Project Architect presented an overview of the site planning, streetscapes, building concept, and 3D Views.

The Landscape Architect presented an overview of the general concept for the Landscape design.

#### ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by D. Dilts  
Seconded by Y. Popovska  
That the Advisory Design Panel (ADP)  
SUPPORT the project and recommends that the applicant address the following issues  
to the satisfaction of the Planning & Development Department.  
Carried

#### Key Points

- Consider developing a more distinct project vision for the property.
  - The phase 1 redevelopment plan utilizes a number of harmonizing design elements to create a distinct project vision for the property including common materials for the residential towers, commercial storefronts, and residential entries, similar landscaping elements including tree species and hardscaping materials. In addition, the composition of all three towers utilize similar detailing and colours, albeit employed in slightly different locations and scales to again create a harmonious design vision for Phase 1 of the Semiahmoo Center re-development. The proponent team is also currently engaging on masterplan next steps which includes strengthening the vision and framework of the masterplan, and how the future phasing connects with phase 1.
- Consider measures relating to sustainability within the project design and development.
  - The ADP booklet expanded on a number of sustainability focused measures employed in the design of the three buildings including energy efficiency through appropriate building design and window-wall ratio, extensive landscaping, reduction in hard surfacing through programming, activation and planting of roof decks, proximity to services and transit in creating a walkable community, etc. The incorporation of slag or fly ash into the structural concrete will also be explored to reduce embodied carbon due to cement content.
- Consider further design development on the ground floor retail areas.
  - It is our interpretation this comment related to introducing more design continuity between the towers and the ground oriented retail areas, as stated by one of the panel members. It is our position that, where the tower form is not interrupted by a podium, the proposal does achieve this (ie. Building 1 north and east elevations) however in all other instances, the towers are set-back from the podium below and a change in material, scale, and cadence is both required and employed by the proposal to distinguish the change in program, scale and massing. The current design does not propose large expanses of uninterrupted glazing at grade but utilizes maximum lengths of 20-25 ft of storefront to reduce scale and create pedestrian interest.



- Consider augmenting the number of family-oriented units.
  - The ownership team has reviewed the market demand and believes the development is offering an appropriate number of family-oriented units, including over 32% two or more bed units, with over 10% being three-bed units, including 11 townhomes.
- Consider the addition of adaptable units to accommodate people of varying abilities.
  - The design of the residential dwelling units comply with current building code requirements. Some of the larger one-bedroom and two-bedroom units can accommodate future modifications with minimal impact to comply with enhanced adaptable dwelling design requirements.
- Consider measures relating to sustainability within the project design and development.
  - The ADP booklet expanded on a number of sustainability focused measures employed in the design of the three buildings including energy efficiency through appropriate building design and window-wall ratio, extensive landscaping, reduction in hard surfacing through programming, activation and planting of roof decks, proximity to services and transit in creating a walkable community, etc. The incorporation of slag or fly ash into the structural concrete will also be explored to reduce embodied carbon due to cement content.

#### Site

- Consider providing more direct access to the amenity rooftop area, such as through a common corridor.
  - A common corridor providing access to outdoor amenity decks at building 1 level 7, building 2 level 2, and building 3 level 6 has been provided. Refer to architectural drawings A309, A326, and A328 for additional information.
- Recommend providing larger areas of family-oriented amenity areas.
  - We have aimed to provide a range of activities including outdoor, family oriented, exterior amenity spaces for each of the three towers. For tower #1 the multi-use lawn has been re-programmed into a children's play area that we envision without structured equipment and uses playful mounding of the surface. For tower #2 we feel that the children's play area is appropriately programmed but have revised the surface design to harmonize with the other play spaces and overall Phase as a whole. For tower #3 roof top amenity area, the dog run has been removed in favour of a play area. The social seating layout has been adjusted to suit and additional planting buffers have been accommodated.
- Consider increasing the amount of outdoor amenity space at grade.
  - The common outdoor amenity provided exceeds the by-law minimum by over 40%. In addition, increased open space at grade in the form of public plazas are provided adjacent buildings 1 and 3. The first phase of the new municipal park dedication is proposed for phase 1, this is subject to City Council approval and encompasses over 7,500 sf of new public park area.
- Consider providing outdoor space for each residential unit.
  - All two and three bed units are provided with private outdoor space in the form of either a roof deck or balcony. There are only 5 unit types which are not provided with private outdoor space. The project also provides over 40%

- additional outdoor amenity area in phase 1 which is easily accessible to residents of these units.
- Consider increasing the percentage of two-bedroom and three-bedroom family-friendly units.
  - The ownership team has reviewed the market demand and believes the development is offering an appropriate number of family-oriented units, including over 32% two or more bed units, with over 10% being three-bed units, including 11 townhomes.
- Consider opportunities for childcare spaces within the larger development.
  - The owner is in discussions with City of Surrey staff about the conveyance of approx. 10,000 SF of space in building 2 as a community amenity program. There is a childcare space which was recently added to the existing mall, directly across the road from buildings 1 and 2. The team will explore the suitability of adding additional childcare space in future phases.
- Appreciate the consideration of public art displays.
  - Noted.

#### Form and Character

- Consider increasing the percentage of two-bedroom and three-bedroom family-friendly units.
  - The ownership team has reviewed the market demand and believes the development is offering an appropriate number of family-oriented units, including over 32% two or more bed units, with over 10% being three-bed units, including 11 townhomes.
- Consider design opportunities to create a stronger masterplan vision of the development, paying specific attention to the relationship of building two and building three within the overall plan.
  - The proponent team is currently engaging on masterplan next steps which includes strengthening the vision and framework of the masterplan, and how the future phasing connects with buildings 2 and 3.
- Consider strategies to better relate the podium architecture with the architectural clarity of the tower architecture.
  - It is our position that, where the tower form is not interrupted by a podium, the proposal does achieve this (ie. building 1 north and east elevations) however in all other instances, the towers are set-back from the podium below and a change in material, scale, and cadence is both required and employed by the proposal to distinguish the change in program, scale and massing. The current design does not propose large expanses of uninterrupted glazing at grade but utilizes maximum lengths of 20-25 ft of storefront to reduce scale and create pedestrian interest.
- Consider strategies to maintain the sharpness of colour contrast on each elevation; in other words, do not combine the colours, but instead, emphasize the difference between materials and finishes.
  - The sandstone framing over the dark panel portions of the towers serves to reduce the perceived bulk, scale and massing of the towers, while unifying the composition of the overall architectural expression. We have explored deleting these sandstone frames however the resulting design loses the delicacy of form and creates a larger perceived massing.
- Concur with using perforated metal panels along the wall facing *McDonalds*.
  - Noted.

- Consider design opportunities to create a stronger masterplan vision of the development, paying specific attention to the relationship of building two and three within the overall plan.
  - The proponent team is currently engaging on masterplan next steps which includes strengthening the vision and framework of the masterplan, and how the future phasing connects with buildings 2 and 3.

### Landscape

- Appreciate the poetic concept.
  - Noted.
- Paving is simple and appropriate.
  - Noted.
- Consider including some covered outdoor space to be used in different weather.
  - Covered outdoor space has been added to all common outdoor amenity areas in the form of larger building overhangs, and varying sizes of weatherproof pergolas. One additional weatherproof pergola has been added to Tower 3 rooftop amenity. Each tower now has two weatherproof pergolas on the podiums. Refer to revised architectural drawings A309, A310, A326, A327, A328, A329, elevation drawings, and landscape drawings L1.1 and L1.3 for additional information.
- Consider opportunities for stormwater management within the larger masterplan.
  - The proponent team is currently engaging in masterplan next steps and will look at ways to incorporate opportunities for storm water management, which could include rain gardens in the boulevards and deeper soils at grade and on podium roof tops. Ultimately, the design of the stormwater management system within the larger masterplan will be developed further as detailed design progresses.
- Ensure that sufficient localized soil depth is provided to allow for some significant trees, given that that most of the outdoor amenity area is over structure.
  - Landscape design development will meet the Canadian landscape standards and Surrey standards for soil depths and soil volumes.

### CPTED

- No specific issues were identified.
  - Noted.

### Sustainability

- Consider energy modeling to future climate data (years 2050 – 2080) has been included to anticipate shock events (hot and cold).
  - This is a supported idea and will be discussed with ownership as well as envelope, energy, electrical, and mechanical consultants during design development and contract documentation.
- Consider establishing specific targets for project performance goals which exceed BC Step Code minimums for aspects like insulation values and/or air tightness.

- This is a supported idea and will be discussed with ownership as well as envelope, energy, electrical, and mechanical consultants during design development and contract documentation.
- Consider including slag or fly ash into the structural concrete to reduce embodied carbon due to cement content.
  - This is supported by the project team and will be considered in discussion with our structural engineer during design development and contract documents.
- Encourage team to continue looking for opportunities to develop master plan scale systems for water collection, re-use, and waste treatment.
  - The proponent team is currently engaging on masterplan next steps which includes strengthening the vision and framework of the masterplan, and will include investigating larger scale systems for water collection, re-use, and waste treatment.
- Consider opportunities to provide renewable energy for public art and water feature loads.
  - This is a supported idea and will be discussed with ownership as well as landscape, electrical, and mechanical consultants during design development and contract documentation.

#### Accessibility

- Consider implementing safety features and paving changes at the vehicle access point to parking, especially for people with visual impairments.
  - This is a supported idea and will be discussed and implemented with the Architect and Civil consultant during design development.