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TO: City Clerk

FROM: General Manager, Planning & Development

DATE: July 22, 2019 FILE: 7919-0218-00

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RE: Regular Council – Land Use Agenda Item No. B.5  
5528 – 148 Street  
Development Application No. 7919-0218-00

Please replace the front cover of the planning report for the subject application with the one attached to this memo, as the map on the current page incorrectly shows additional property that is not included in the subject application.

: Jean Lamontagne  
General Manager, Planning & Development

RH

CLERKS DEPT.  
7919-0218-00  
JUL 22 2019  
B.S. RAW JUL 22, 19

City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7919-0218-00

Planning Report Date: July 22, 2019

**PROPOSAL:**

- **Development Permit Amendment**

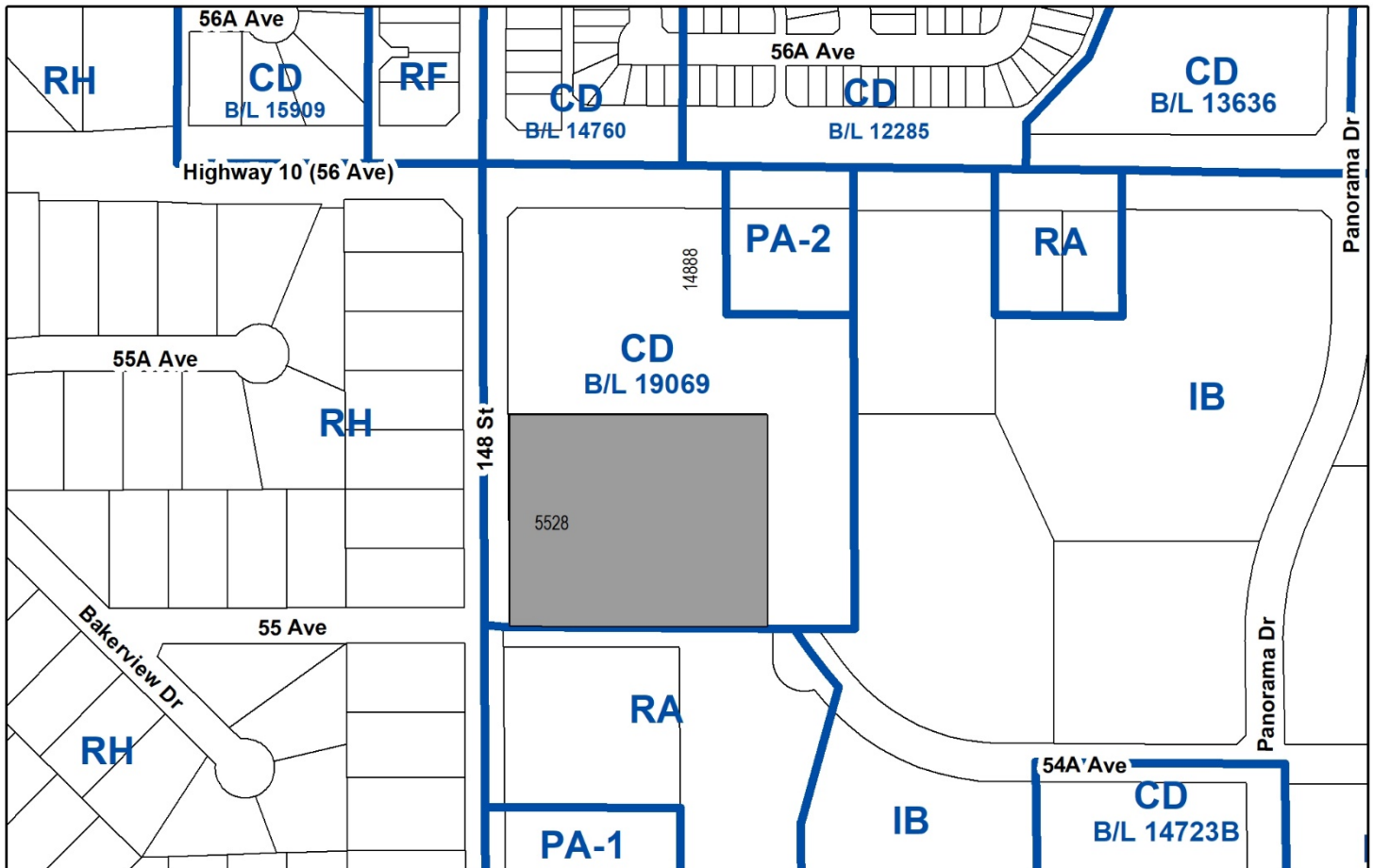
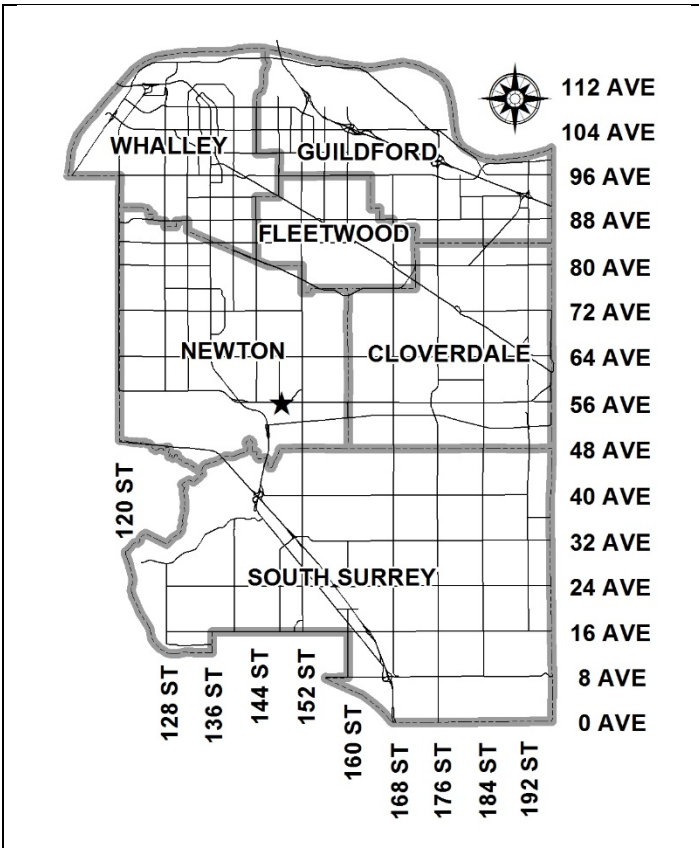
to eliminate upper-storey for all of the proposed 36 townhouse units that were previously approved under Development Permit No. 7916-0057-00.

**LOCATION:** 5528 - 148 Street

**ZONING:** CD (By-law No. 19069)

**OCP DESIGNATION:** Urban

**LAP DESIGNATION:** Residential (10 upa)



### RECOMMENDATION SUMMARY

- Approval to amend Development Permit No. 7916-0057-00.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

### RATIONALE OF RECOMMENDATION

- The townhouse development was approved under Development Application No. 7916-0057-00 in 2018. The applicant is proposing an amendment to Development Permit No. 7916-0057-00 to eliminate the upper-storey for all of the 36 proposed townhouse units.
- The building form and character has been amended to single storey townhouse units with basements. No other changes to the site plan, landscape plan, or civil plans have been proposed. These changes are consistent with the form of six of the units that were originally approved along 148 Street, in order to provide a sensitive interface with the existing single family homes on the west side of 148 Street.
- The revised scale and massing are appropriate for the site and neighbourhood.

RECOMMENDATION

The Planning & Development Department recommends that Council approve amendments to Development Permit No. 7916-0057-00 in accordance with the drawings that are attached as part of Appendix III.

REFERRALS

Engineering: The Engineering Department has no objection to the amendments.

SITE CHARACTERISTICS

Existing Land Use: Vacant

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North (Across Highway No. 10):	Vacant Lot (Site of proposed Village Church)	Assembly Hall	PA-2
East:	Office building and vacant site	Business Park	IB
South:	Bob Rutledge Park	Park	RA
West (Across 148 Street):	Half acre single family lots	OCP: Suburban	RH

DEVELOPMENT CONSIDERATIONS

- The subject site is located at 5528 148 Street, south of Highway No. 10 (56 Avenue) and on the east side of 148 Street, with a total area of 1.5 hectares (3.7 acres). The properties are designated Urban in the Official Community Plan (OCP) and zoned "Comprehensive Development By-law No. 19069".
- The site is part of Development Application No. 7916-0057-00 which proposed to redesignate the site from Suburban to Mixed Employment and Urban in the OCP, and introduced new land uses designations: Assembly Hall and Residential (10 upa) to the East Panorama Ridge Concept Plan, and rezoned the site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" based on the "Multiple Residential 10 Zone (RM-10)" and "Assembly Hall 2 Zone (PA-2)" in order to permit the development of thirty-six (36) townhouses and a 6,450 square metres (69,429 square feet) church. Development Application No. 7916-0057-00 received Final Adoption of the associated by-laws at the Regular Council-Land Use Meeting of December 3, 2018.

- When the site was developed under Development Application No. 7916-0057-00, the applicants proposed 36 units: thirty (30) two (2) storey townhouse units with basements, plus six (6) one-storey rancher type townhouse units with basements. The applicant is now proposing to modify the form of units so that all the units are on one (1) storey townhouse units with basements. A sample of the current and proposed changes to the elevations can be reviewed in Appendix II.
- Under the approved development the gross total floor area was 6,404 square metres (68,934 square feet), representing a net floor area ratio (FAR) of 0.44.
- The upper storey of each townhouse unit is now proposed to be eliminated which reduces the gross floor area of the development to 5,617 square metres (60,461 sq.ft.), representing a net floor area ratio (FAR) of 0.39.

### PRE-NOTIFICATION

The development proposal sign was installed June 10, 2019. To date, no correspondence have been received from area residents.

### DESIGN PROPOSAL AND REVIEW

- The proposed townhouses are designed with high quality design features and materials envisioned for the area. The revised building elevations were evaluated by City Staff based on compliance with the design guidelines in the Official Community Plan (OCP).
- The primary cladding materials include asphalt shingles, board and batten & horizontal siding, and wood entries and posts. The colour scheme proposed consists of white, grey, and black accents. The proposed materials have been selected based on durability, architectural quality and overall composition of the project.
- There have been no significant changes to the site plan. The upper-storeys are now proposed to be eliminated for each unit. The proposed units range in size between 102 square metres (1,101 sq.ft.) to 222 square metres (2,390 sq.ft.).
- Under the approved Development Permit, six units within Buildings 11, 12 and 13 along 148 Street were designed to give the appearance of suburban one-storey single-family dwelling in order to provide a sensitive interface with the existing single-family homes on the west side of 148 Street. The revised drawings will now provide a similar sensitive interface for all the 36 units.
- Staff supports the proposed amendment to Development Permit No. 7916-0057-00.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Project Data Sheet
- Appendix II. Previous & Current Elevation Sample
- Appendix III. Development Permit No. 7919-0218-00

*original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

HS/cm

## DEVELOPMENT DATA SHEET

Proposed/Existing Zoning: CD

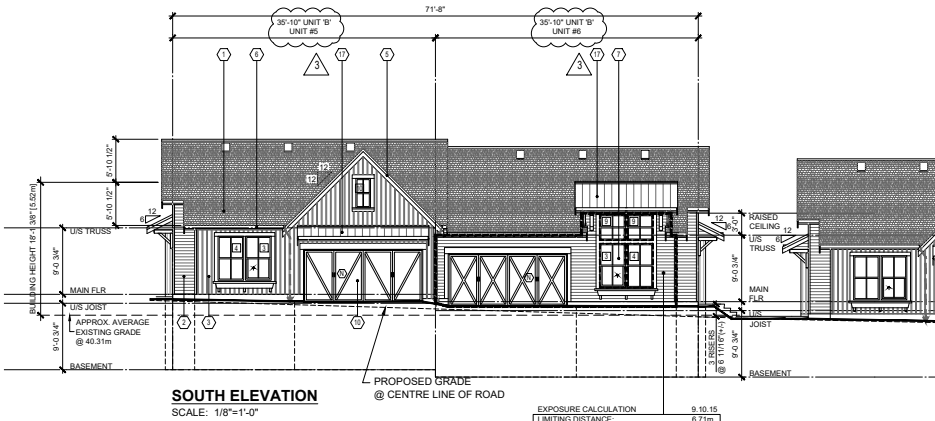
Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		14,910 sq.m.
Road Widening area		329 sq.m.
Undevelopable area		
Net Total		14,581 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage	40 %	38 %
SETBACKS ( in metres)		
South	4.5 m	7.0 m
North	4.0 m	5.2 m
East	4.0 m	5.2 m
West	10.0 m	10.7 m
BUILDING HEIGHT (in metres/storeys)		
Principal	8.8 m	7.9 m
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		36
Three Bedroom +		
Total		
FLOOR AREA: Residential		5,617 sq.m.
TOTAL BUILDING FLOOR AREA		5,617 sq.m.

\* If the development site consists of more than one lot, lot dimensions pertain to the entire site.

# Proposed Development Permit No. 7919-0218-00 Building #2 Elevation

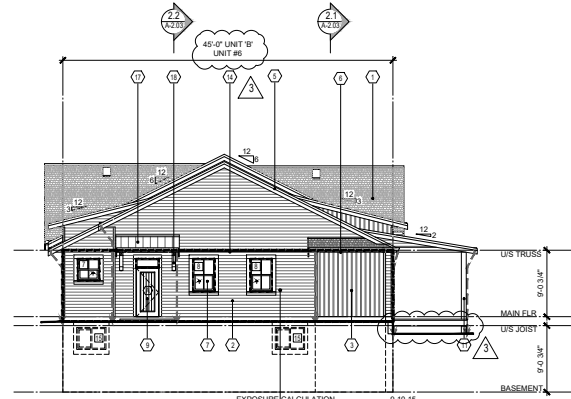


CITY OF SURREY FILE NUMBER  
7916-0057



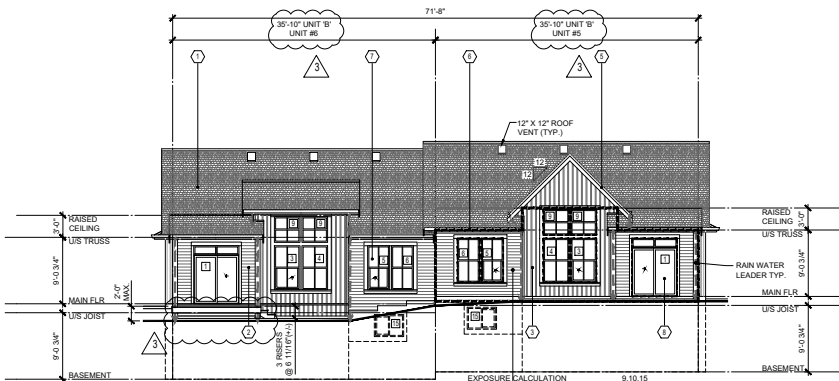
**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION		9.10.15
LIMITING DISTANCE:	AREA OF EXPOSING BUILDING FACE:	6.7m <sup>2</sup>
AREA OF GLAZED OPENINGS:	ACTUAL GLAZED OPENINGS:	23.1m <sup>2</sup>
ALLOWED GLAZED OPENINGS:	FIRE RESISTANCE RATING:	18.7%
WALL CONSTRUCTION:	WALL CLADDING:	0
		COMBUSTIBLE
		COMBUSTIBLE



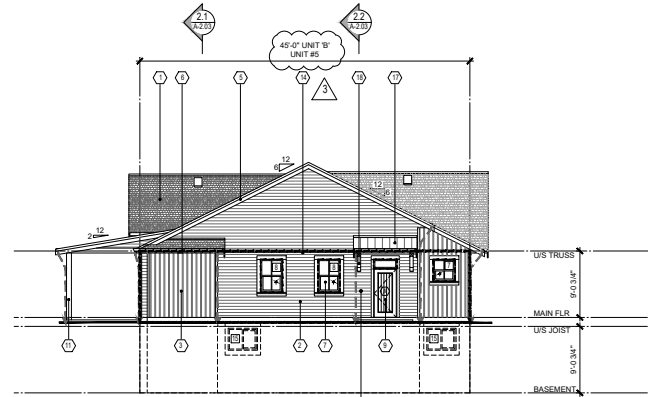
**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION		9.10.15
LIMITING DISTANCE:	AREA OF EXPOSING BUILDING FACE:	1.98m <sup>2</sup>
AREA OF GLAZED OPENINGS:	ACTUAL GLAZED OPENINGS:	40.7m <sup>2</sup>
ALLOWED GLAZED OPENINGS:	FIRE RESISTANCE RATING:	3.6m <sup>2</sup>
WALL CONSTRUCTION:	WALL CLADDING:	9.1%
		10.8%
		0
		COMBUSTIBLE
		COMBUSTIBLE



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION		9.10.15
LIMITING DISTANCE:	AREA OF EXPOSING BUILDING FACE:	5.52m <sup>2</sup>
AREA OF GLAZED OPENINGS:	ACTUAL GLAZED OPENINGS:	36.0m <sup>2</sup>
ALLOWED GLAZED OPENINGS:	FIRE RESISTANCE RATING:	14.1m <sup>2</sup>
WALL CONSTRUCTION:	WALL CLADDING:	39.1%
		66.6%
		0
		COMBUSTIBLE
		COMBUSTIBLE



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION		9.10.15
LIMITING DISTANCE:	AREA OF EXPOSING BUILDING FACE:	1.98m <sup>2</sup>
AREA OF GLAZED OPENINGS:	ACTUAL GLAZED OPENINGS:	40.7m <sup>2</sup>
ALLOWED GLAZED OPENINGS:	FIRE RESISTANCE RATING:	3.6m <sup>2</sup>
WALL CONSTRUCTION:	WALL CLADDING:	9.1%
		10.8%
		0
		COMBUSTIBLE
		COMBUSTIBLE

**ELEVATION MATERIAL LEGEND**

- ① COMPOSITE ASPHALT SHINGLES
- ② CEMENT BOARD HORIZONTAL SIDING
- ③ CEMENT BOARD AND BATTEN SIDING
- ④ 2x10 PAINTED WOOD FASCIA c/w 1x4 WOOD TRIM
- ⑤ 2x6 PAINTED WOOD TRIM
- ⑥ 2x6 PAINTED WOOD TRIM
- ⑦ 2x6 PAINTED WOOD TRIM
- ⑧ 2x6 PAINTED WOOD TRIM
- ⑨ 2x6 PAINTED WOOD TRIM
- ⑩ 2x6 PAINTED WOOD TRIM
- ⑪ 2x6 PAINTED WOOD TRIM
- ⑫ 2x6 PAINTED WOOD TRIM
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COLOUR SCHEME A:  
SEE A-00.05

- ① ENTRY DOOR c/w 2x6 WOOD TRIM
- ② OVERHEAD GARAGE DOOR c/w 2x6
- ③ SIDE TRIM & 2x10 RENDER TRIM
- ④ PAINTED WOOD POST
- ⑤ 2x6 PAINTED WOOD TRIM
- ⑥ PREFINISHED METAL THROUGH WALL FLASHING
- ⑦ PREFINISHED BLACK ALUMINUM GUARDRAIL
- ⑧ METAL ROOF
- ⑨ WOOD BRACKET
- ⑩ CEMENT BOARD PANEL ON BUILT-UP WOOD COLUMN c/w CORNER TRIM

DATE	BY	REVISIONS
2019-06-28	PLANNING REVISIONS	
2019-03-28	BP AMENDMENT	
2018-11-23	REVISED AS PER PLAN REVISION COMMENTS	
2018-10-12	REVISED AS PER BP PRELIMINARY REVIEW	
2018-05-25	ISSUED FOR BP	
2017-11-26	PROGRESS SET	

CLIENT  
INFINITY PROPERTIES

PROJECT  
EASTRIDGE

5628 - 148 Street  
SURREY, BC

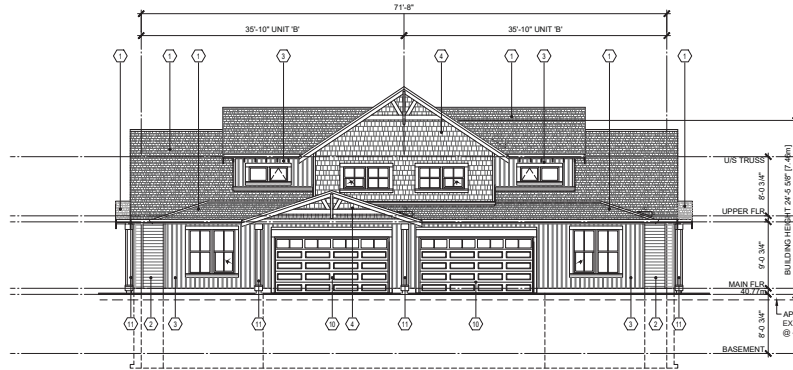
DRAWING TITLE  
BUILDING 2 ELEVATIONS

DATE: 2017-09-07 FILE NO.  
OWN: ID  
CHK: ch 1521

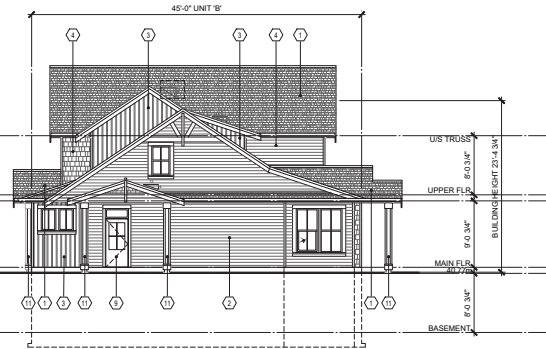
SEAL  
SHEET NO.



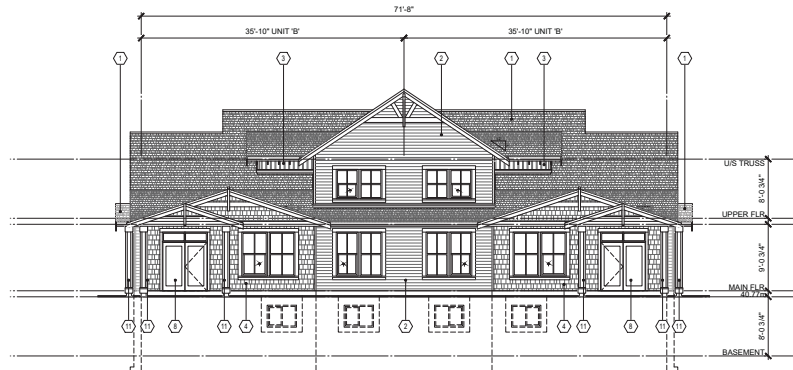
# Approved Development Permit No. 7916-0057-00 Building #2 Elevation



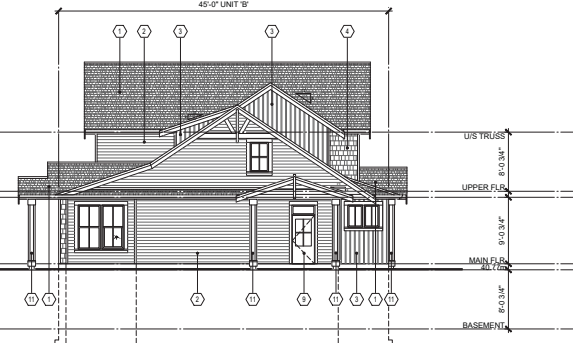
**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

**ELEVATION MATERIAL LEGEND**

- ① COMPOSITE ASPHALT SHINGLES
- ② CEMENT BOARD HORIZONTAL SIDING
- ③ CEMENT BOARD AND BATTEN SIDING
- ④ CEMENT SHAKES SIDING
- ⑤ 2X10 PAINTED WOOD FASCIA c/w 1X4 WOOD TRIM
- ⑥ 1" PREFINISHED ALUMINUM GUTTER ON 2X6 PAINTED WOOD FASCIA
- ⑦ SEALED DOUBLE GLAZED P.V.C. WINDOW
- ⑧ SEALED DOUBLE GLAZED P.V.C. SLIDING DOOR c/w 2X6 WOOD TRIM AROUND
- ⑨ ENTRY DOOR c/w 2x6 WOOD TRIM AROUND
- ⑩ OVERHEAD GARAGE DOORS
- ⑪ CEMENT BOARD PANEL ON BUILTUP WOOD COLUMN c/w CORNER TRIM
- ⑫ 2x10 PAINTED WOOD TRIM c/w PREFINISHED METAL FLASHING
- ⑬ 2x6 PAINTED WOOD TRIM c/w PREFINISHED METAL FLASHING
- ⑭ PREFINISHED METAL THROUGH WALL FLASHING

CITY OF SURREY FILE NUMBER  
7916-0057

▲	NOV. 23, 2016	PLANNING COMMENTS
▲	NOV. 08, 2016	PLANNING COMMENTS
▲	OCT. 06, 2016	ISSUED FOR DP
<b>REVISIONS</b>		
CONSULTANT		

CLIENT  
**INFINITY PROPERTIES**

PROJECT  
**PROPOSED TOWNHOUSE DEVELOPMENT**

14844 85 Ave (HWY 16)  
SURREY, BC

DRAWING TITLE  
**BUILDING 2 ELEVATIONS**

DATE: 2016-11-30 FILE NO.  
DWN: NW  
CHK: ch **1521**

SEAL  
SHEET NO.

**DP-2.02**

CITY OF SURREY

(the "City")

DEVELOPMENT PERMIT AMENDMENT

NO.: 7919-0218-00

Issued To:

(the "Owner")

Address of Owner:

**A. General Provisions**

1. This development permit is an amendment to Development Permit No. 7916-0057-00 which was issued by Council on December 3, 2018. The architectural drawings and landscaping drawings with respect to Development Permit No. 7916-0057-00 are being amended to reflect the new proposed building and landscaping plans as shown in Schedule A.
2. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
3. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 030-695-741

Lot 2 Section 3 Township 2 New Westminster District Plan EPP78007

5528 - 148 Street

(the "Land")

4. This development permit applies to only the portion of the Land shown on Schedule A which is attached to and forms part of this development permit.
5. The Land has been designated as a development permit area in Surrey Official Community Plan, 2013, No. 18020, as amended.

**B. Form and Character**

1. The character of the development including landscaping, siting, form, exterior design and finish of buildings and structures, truck parking specifications, free standing signs, sign design packages and comprehensive sign packages on the Land shall be in accordance with the drawings in Schedule A, which hereto amend Development Permit No. 7916-0057-00 (the "Drawings").
2. Minor changes to the Drawings that do not affect the general form and character of the landscaping, siting, form, exterior design and finish of buildings and structures, truck parking specifications, free standing signs, sign design packages and comprehensive sign details on the Land, may be permitted subject to the approval of the City.

**C. Landscaping Installation and Maintenance**

1. The landscaping shall be constructed, planted, installed and maintained in good order in accordance with the landscaping plans prepared by Van Der Zalm & Associates Inc. and attached as Schedule B (the "Landscaping").
2. For Form and Character development permits, or for that portion of a development permit pertaining to Form and Character, the Landscaping shall be installed and completed within six (6) months after the date of the final inspection of the buildings and structures.
3. For Form and Character development permits, Landscaping shall be maintained for a minimum of twelve (12) months after the date of substantial completion.

**D. Security and Inspections**

1. Security must be submitted to the City prior to the installation of any Landscaping.
2. For Form and Character development permits, security may be submitted after the issuance of a Development Permit.
3. For development permits that include shared vehicles in exchange for reduced minimum parking requirements, shared vehicle security must be submitted prior to the issuance of a Building Permit.
4. The security for Landscaping has been updated to reflect the changes to the form and character, and is to be submitted as follows:
  - i. Phase 1A \$164,413.10

ii.	Phase 1B	\$61,003.64
iii.	Phase 2	\$123,324.55
iv.	Phase 3	\$100,428.41
v.	Phase 4	\$123,768.07

5. Security release will only be considered once installation of the Landscaping has been completed, after final approval of the installation has been given by the City, and after the completion by the Owner of any required maintenance periods identified in this development permit, to the satisfaction of the City.
  
6. For Form and Character development permits, when the Landscaping has been determined to be substantially complete, as determined by the City, and without the City having to use the Security, 90%, less deficiencies, of the original Security will be returned. When the Landscaping requirements and permit requirements receive final approval by the City, 10% of the original Security will be returned.
  
7. If final approval of the Landscaping installation and maintenance is not given by the City, the City has the option of using the Security to complete the Landscaping (or to hire a contractor to complete the work on the City's behalf) with any remaining money returned to the Owner. The Owner authorizes the City or its agent to enter upon the Land to complete the Landscaping.
  
8. If the City elects not to enter upon the Land to complete the Landscaping and the Owner does not complete the Landscaping, the Security is forfeited to the City five (5) years after the date of the provisional or final inspection of the buildings and structures referred to in the Drawings.
  
9. If the Owner or shared vehicle operator fails to supply the shared vehicle as required, the City has the option of using the Security to cover all costs of fulfilling the obligations of the shared vehicle agreement. The Owner authorizes the City or its agent to enter upon the Land to complete any work necessary to fulfill the obligations of the shared vehicle agreement.

**E. Administration**

1. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.
  
2. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued within two (2) years after the date this development permit is issued. The terms and conditions of this development permit, and any amendment to it, are binding on any and all persons who acquire an interest in the Land.

3. This development permit is only valid for the development that is described in this development permit. If a change to development is considered, a new development permit or an amendment to this permit is required before any work is started.
  
4. All reports, documents and drawings referenced in this development permit shall be attached to and form part of this development permit.
  
5. This development permit is issued subject to compliance by the Owner and the Owner's employees, contractors and agents with all applicable City bylaws, including the Tree Protection Bylaw, Erosion and Sediment Control Bylaw and the Soil Removal and Deposition Bylaw, all as may be amended or replaced from time to time.
  
6. This Development Permit amends Development Permit No. 7916-0057-00.
  
7. This development permit is NOT A BUILDING PERMIT.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE DAY OF \_\_\_\_\_, 20\_\_ .

ISSUED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_ .

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

IN CONSIDERATION OF COUNCIL APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREE TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

\_\_\_\_\_  
Authorized Agent: (Signature)

\_\_\_\_\_  
Name: (Please Print)

# SCHEDULE A

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CITY OF SURREY FILE NUMBER  
7916-0057

- 2019-08-29 PLANNING REVISIONS
- 2019-08-29 BP AMENDMENT
- 2018-11-23 REVISED AS PER PLAN REVIEW COMMENTS
- 2018-10-12 REVISED AS PER PRELIMINARY REVIEW
- 2018-05-25 SUBMITTED FOR BP
- 2017-11-26 PROGRESS SET

REVISIONS  
CONSULTANT

CLIENT  
INFINITY PROPERTIES

PROJECT  
EASTRIDGE

5828 - 148 Street  
SURREY, BC

DRAWING TITLE

SITE PLAN

DATE: 2017-09-07 FILE NO.  
OWN: ID  
CHK: ch 1521

SEAL  
SHEET NO.

A-00.03A

## SITE RECONCILIATION

LEGAL DESCRIPTION:  
LOT 2 SECTION 3 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN EPP78007

CIVIC ADDRESS:  
5828 - 148 Street

ZONING INFORMATION:  
ZONE: EXISTING: CD (BASED ON RM10)  
PROPOSED: CD (BASED ON RM10)

LOT AREAS:  
GROSS: 14,909 m<sup>2</sup> (3,684 ac)  
ROAD DEDICATION: 326.7 m<sup>2</sup> (0.81 ac)  
NET TOTAL: 14,581.0 m<sup>2</sup> (3,603 ac)

SETBACKS:  
MIN. REYD (TO BUILDING FACE) PROPOSED: (TO DECK SUPPORT/STAIRS)  
SOUTH (INT. SIDE) 4.5m 7.09m 4.78m  
NORTH (INT. SIDE) 4.8m 5.22m 4.83m  
EAST (REAR) 4.0m 5.22m 2.78m  
WEST (FRONT) 10.0m 10.72m 10.99m

LOT DENSITY: PERMITTED: 10 UPA x 3,603 ac = 36 units  
PROPOSED: 36 units

FLOOR AREA RATIO: PERMITTED: 0.50 IN RM10  
PROPOSED: 0.346 (NOT INCLUDING BASEMENT & GARAGE, INCLUDES BASEMENTS FOR UNITS #14, #15, #16, #17, #18, #19, #20, #21, #22, #23 & #25) [2670.96 M<sup>2</sup> + 2287.46 M<sup>2</sup>] / 14,581.0 M<sup>2</sup> = 0.346

LOT COVERAGE: PERMITTED: 40.0%  
PROPOSED: 38.3% (5,591.00 m<sup>2</sup> / 14,581.0 m<sup>2</sup> = 0.383)

BUILDING HEIGHT: PERMITTED: 5.0 m (IN RM10)  
PROPOSED: 7.89 m (BUILDING 8) - MAX. HEIGHT

AMENITY:  
OUTDOOR: REQUIRED: 36 UNITS x 3m<sup>2</sup> per unit = 108 m<sup>2</sup>  
PROPOSED: 1,994 S.F. (148m<sup>2</sup>)

INDOOR: REQUIRED: 36 UNITS x 3m<sup>2</sup> per unit = 108 m<sup>2</sup>  
PROPOSED: 658 S.F. (61.15m<sup>2</sup>) - CASH IN LEU FOR BALANCE

PARKING: REQUIRED: RESIDENT: 36 UNITS x 2 CARS/UNIT = 72 CARS  
VISITOR: 36 UNITS x 0.2 CARS/UNIT = 8 CARS  
PROPOSED: RESIDENT: 72 CARS (SIDE BY SIDE GARAGES)  
VISITOR: 12 CARS (INCLUDING 1 HC)

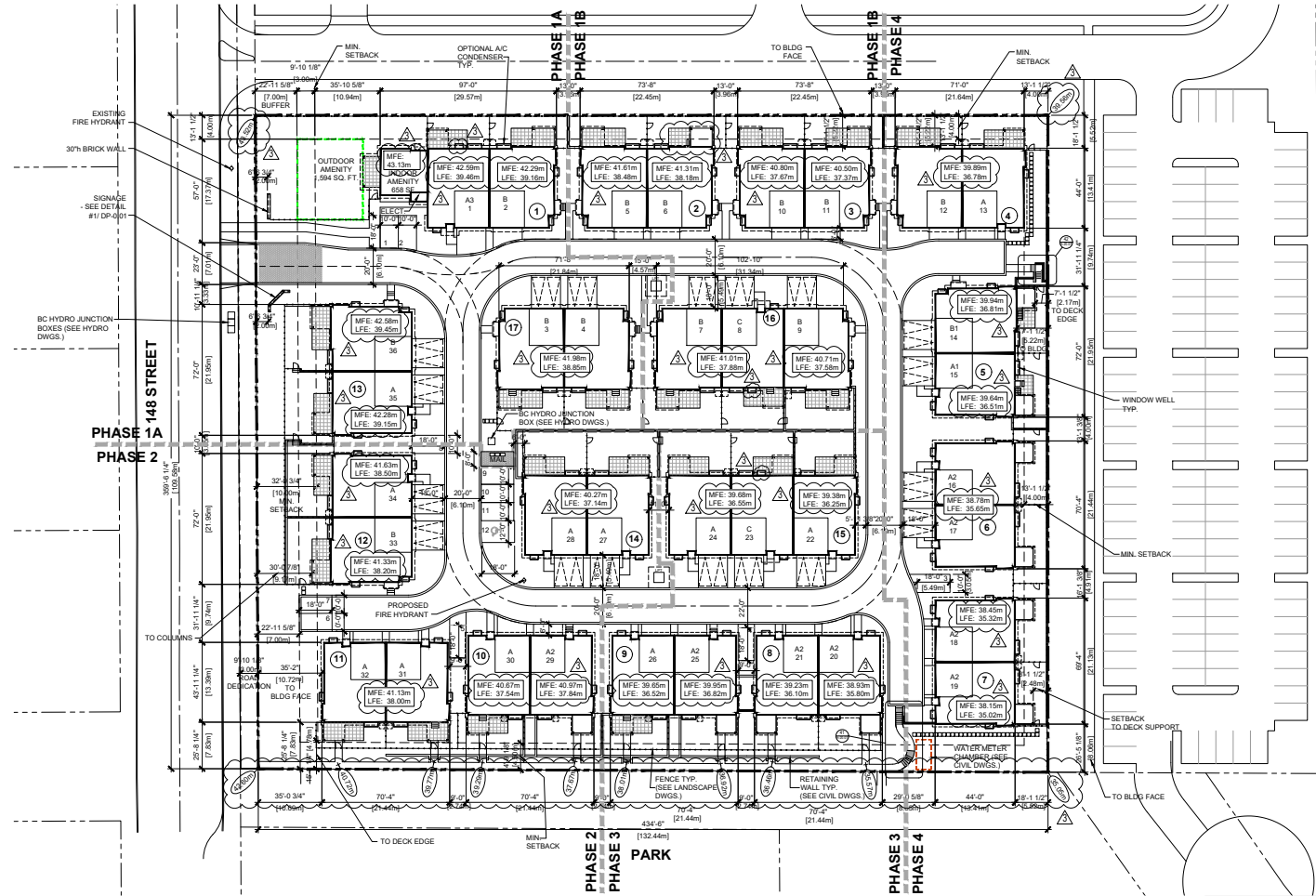
LOT COVERAGE SUMMARY			
BUILDING	# OF UNITS	LOT COVERAGE	LOT COVERAGE
1	2	4,176 sq.ft.	387.96 m <sup>2</sup>
2	2	3,417 sq.ft.	317.45 m <sup>2</sup>
3	2	3,417 sq.ft.	317.45 m <sup>2</sup>
4	2	3,334 sq.ft.	307.88 m <sup>2</sup>
5	2	3,314 sq.ft.	307.88 m <sup>2</sup>
6	2	3,230 sq.ft.	300.08 m <sup>2</sup>
7	2	3,230 sq.ft.	300.08 m <sup>2</sup>
8	2	3,230 sq.ft.	300.08 m <sup>2</sup>
9	2	3,230 sq.ft.	300.08 m <sup>2</sup>
10	2	3,230 sq.ft.	300.08 m <sup>2</sup>
11	2	3,230 sq.ft.	300.08 m <sup>2</sup>
12	2	3,324 sq.ft.	308.81 m <sup>2</sup>
13	2	3,324 sq.ft.	308.81 m <sup>2</sup>
14	2	3,250 sq.ft.	300.08 m <sup>2</sup>
15	3	4,835 sq.ft.	449.19 m <sup>2</sup>
16	3	5,023 sq.ft.	466.65 m <sup>2</sup>
17	2	3,417 sq.ft.	317.45 m <sup>2</sup>
TOTAL	36	60,181 sq.ft.	5,591.00 m <sup>2</sup>

### UNIT DATA AND FLOOR AREA SUMMARY - BASEMENT NOT INCLUDED IN F.A.R.

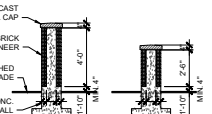
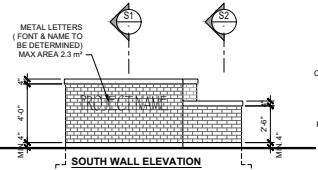
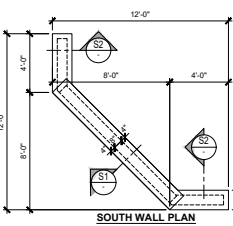
UNIT TYPE	#	BASEMENT	GARAGE	MAIN	UNIT TOTALS	TOTAL
A - 2 BED	10	1,113 sq.ft.	395 sq.ft.	1,110 sq.ft.	1,110 sq.ft.	11,100 sq.ft.
A3 - 2 BED	1	1,109 sq.ft.	395 sq.ft.	1,096 sq.ft.	1,096 sq.ft.	1,096 sq.ft.
B - 2 BED	12	1,196 sq.ft.	394 sq.ft.	1,196 sq.ft.	1,111 m <sup>2</sup>	14,332 sq.ft.
C - 2 BED	2	1,110 sq.ft.	395 sq.ft.	1,101 sq.ft.	1,102 sq.ft.	2,202 sq.ft.
TOTAL	25					28,736 sq.ft.
Basement Total: 28,811 sq.ft.						TOTAL (incl. basement): 57,561 sq.ft.
Garage Total: 9,863 sq.ft.						TOTAL (incl. basement & garage): 67,424 sq.ft.

### UNIT DATA AND FLOOR AREA SUMMARY - BASEMENT INCLUDED IN F.A.R.

UNIT TYPE	#	BASEMENT	GARAGE	MAIN	UNIT TOTALS	TOTAL
A1 - 2 BED	4	1,113 sq.ft.	395 sq.ft.	1,110 sq.ft.	2,223 sq.ft.	8,892 sq.ft.
A2 - 2 BED	6	1,113 sq.ft.	395 sq.ft.	1,110 sq.ft.	2,223 sq.ft.	13,338 sq.ft.
B1 - 2 BED	1	1,196 sq.ft.	394 sq.ft.	1,196 sq.ft.	2,222 sq.ft.	2,222 sq.ft.
TOTAL	11					24,622 sq.ft.
Garage Total: 4,344 sq.ft.						TOTAL (incl. basement & garage): 28,966 sq.ft.

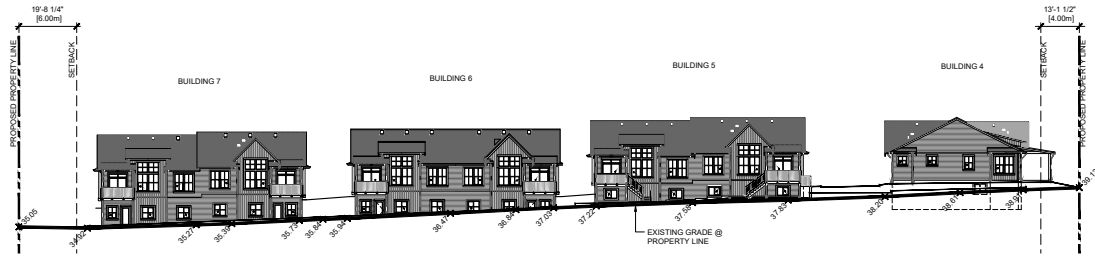


NOTE:  
FIRE DEPARTMENT ACCESS TO BUILDING 1 SHALL CONFORM TO THE REQUIREMENTS OF BCBC 2012 ARTICLES 3.2.5.5. & 3.2.5.6.



NOTE:  
FOR SITE GRADING INFORMATION SEE CIVIL DWGS.

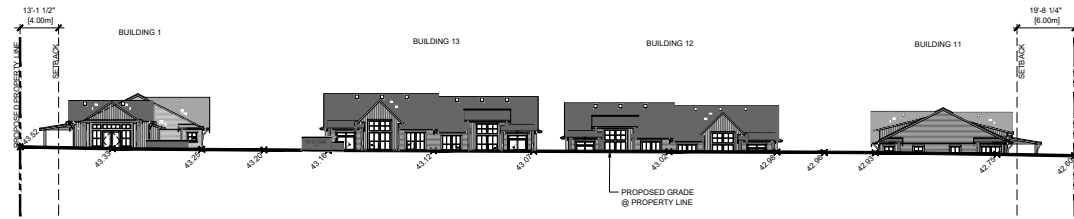




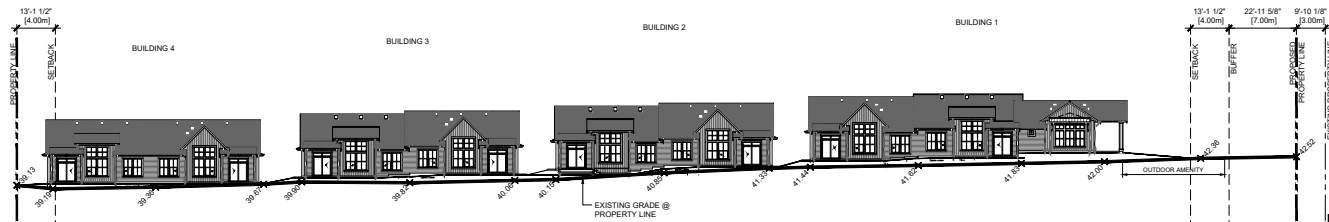
**EAST ELEVATION**  
SCALE: 1"=20'-0"



**SOUTH ELEVATION**  
SCALE: 1"=20'-0"



**WEST ELEVATION (148 STREET)**  
SCALE: 1"=20'-0"



**NORTH ELEVATION**  
SCALE: 1"=20'-0"

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e info@focus.ca

CITY OF SURREY FILE NUMBER  
7916-0057

REVISIONS
2019-06-20 PLANNING REVISIONS
2019-03-28 BP AMENDMENT
2018-11-23 REVISED AS PER PLAN REVIEWER COMMENTS
2018-10-12 REVISED AS FOR BP PRELIMINARY REVIEW
2018-05-25 SUBMITTED FOR BP
2017-11-20 PROGRESS SET

CONSULTANT

CLIENT  
INFINITY PROPERTIES

PROJECT  
EASTRIDGE

5228 - 148 Street  
SURREY, BC

DRAWING TITLE

STREETSCAPES

DATE: 2017-09-07 FILE NO.  
OWN: AL 1521  
CHK: ch

SEAL  
SHEET NO.

**A-00.04**

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## WEST STREETScape - 148 St.

### COLOUR SCHEME

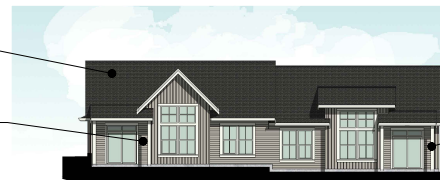
#### AMENITY

- BOARD & BATTEN SIDING:  
BM 2131-40 'SMOKESTACK GRAY'
- PAINTED WOOD ENTRY, POSTS, & FASICA  
BM OC-118 - 'SNOWFALL WHITE'
- VINYL SLIDING DOOR, WINDOW, PAINTED  
ENTRY DOOR, & METAL ROOF ACCENT:  
BLACK
- METAL FLASHING:  
TO MATCH SIDING



#### SCHEME A

- ASPHALT ROOF SHINGLES:  
IKO CAMBRIDGE - 'DUAL BLACK'
- BOARD AND BATTEN  
& HORIZONTAL SIDING (SMOOTH):  
SW 7023 - 'REQUISITE GRAY'



- ENTRANCE DOOR:  
BM 2119-10 - 'SPACE BLACK'
- PAINTED WOOD ENTRY, POSTS, WINDOW  
DOOR TRIM, FASICA, WOOD BRACKETS, &  
GARAGE DOOR:  
BM OC-118 - 'SNOWFALL WHITE'
- VINYL SLIDING DOOR, & WINDOWS:  
WHITE
- METAL FLASHING:  
TO MATCH SIDING

#### SCHEME B

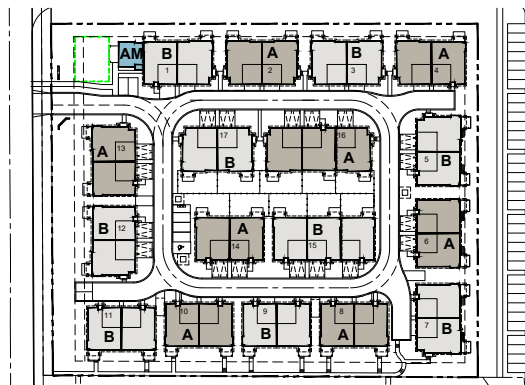
- ASPHALT ROOF SHINGLES:  
IKO CAMBRIDGE - 'DUAL BLACK'
- BOARD AND BATTEN  
& HORIZONTAL SIDING (SMOOTH):  
BM OC-118 - 'SNOWFALL WHITE'



- ENTRANCE DOOR:  
BM 2131-40 'SMOKESTACK GRAY'
- PAINTED WOOD ENTRY, POSTS, WINDOW  
DOOR TRIM, FASICA, WOOD BRACKETS, &  
GARAGE DOOR:  
BM OC-118 - 'SNOWFALL WHITE'
- VINYL SLIDING DOOR & WINDOW:  
BLACK
- METAL FLASHING:  
TO MATCH SIDING

#### COMMON TO BOTH SCHEMES FOR TOWNHOUSE

- PREFINISHED ALUMINUM GUTTER &  
DOWNSPOUT:  
WHITE
- METAL ROOF ACCENT:  
BLACK
- VINYL SOFFIT:  
GENTEK - SNOW WHITE 001



2019-06-28	PLANNING REVISIONS
2019-03-28	BP AMENDMENT
2018-11-23	REVISED AS PER PLAN REVIEWER COMMENTS
2018-10-12	REVISED AD FOR BP PRELIMINARY REVIEW
2018-05-25	REVISED FOR BP
2017-11-26	PROGRESS SET

REVISIONS  
CONSULTANT

CLIENT  
INFINITY PROPERTIES

PROJECT  
EASTRIDGE

5228 - 148 Street  
SURREY, BC

DRAWING TITLE

**COLOURED  
STREETSCAPE &  
COLOUR SCHEME**

DATE: 2017-09-07 FILE NO.  
OWN: AL  
CHK: ch 1521

SEAL  
SHEET NO.

**A-00.05**







2018-06-28	PLANNING REVISIONS
2018-03-29	BP AMENDMENT
2018-11-23	REVISED AS PER PLAN REVIEWER COMMENTS
2018-10-12	REVISED AS FOR BP PRELIMINARY REVIEW
2018-05-25	ISSUED FOR BP
2017-11-26	PROGRESS SET
REVISIONS	
CONSULTANT	

CLIENT  
**INFINITY PROPERTIES**

PROJECT  
**EASTRIDGE**

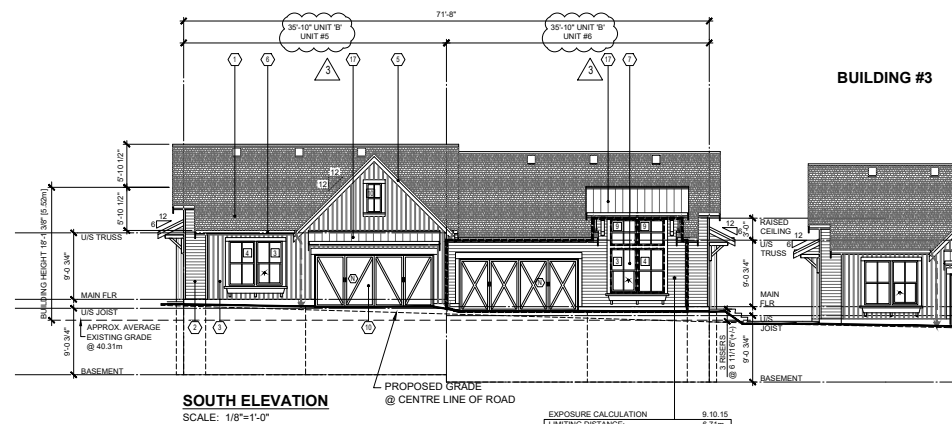
5228 - 148 Street  
SURREY, BC

DRAWING TITLE  
**BUILDING 2 ELEVATIONS**

DATE: **2017-09-07** FILE NO.  
OWN: ID  
CHK: ch **1521**

SEAL  
SHEET NO.  
**A-02.02**

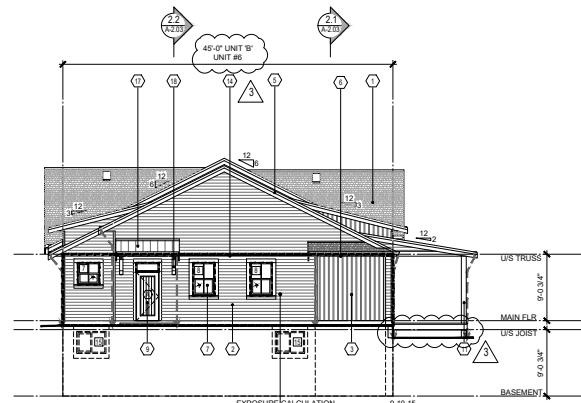
**BUILDING #3**



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION 9-10-15

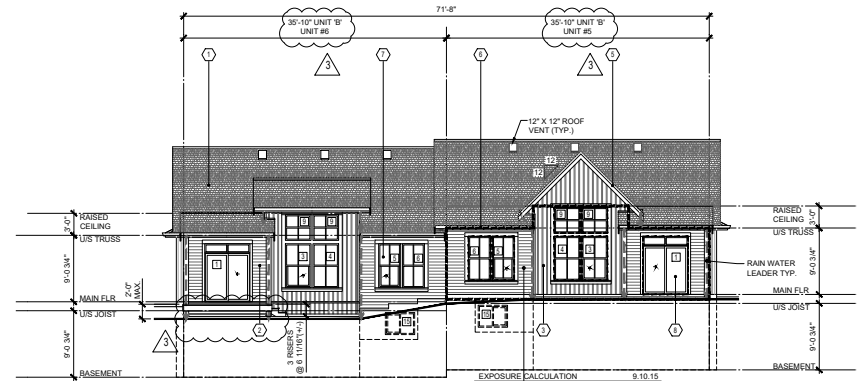
LIMITING DISTANCE:	6.7m
AREA OF EXPOSING BUILDING FACE:	23.1m²
AREA OF GLAZED OPENINGS:	6.2m²
ACTUAL GLAZED OPENINGS:	18.7%
ALLOWED GLAZED OPENINGS:	88.6%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION 9-10-15

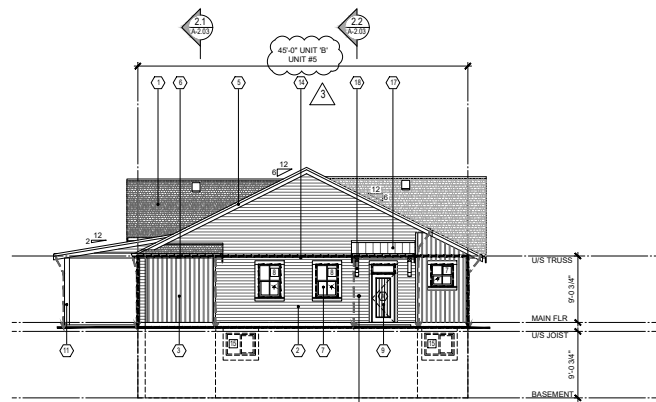
LIMITING DISTANCE:	1.98m
AREA OF EXPOSING BUILDING FACE:	40.7m²
AREA OF GLAZED OPENINGS:	3.6m²
ACTUAL GLAZED OPENINGS:	8.1%
ALLOWED GLAZED OPENINGS:	10.8%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION 9-10-15

LIMITING DISTANCE:	5.52m
AREA OF EXPOSING BUILDING FACE:	36.0m²
AREA OF GLAZED OPENINGS:	14.1m²
ACTUAL GLAZED OPENINGS:	39.1%
ALLOWED GLAZED OPENINGS:	66.6%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION 9-10-15

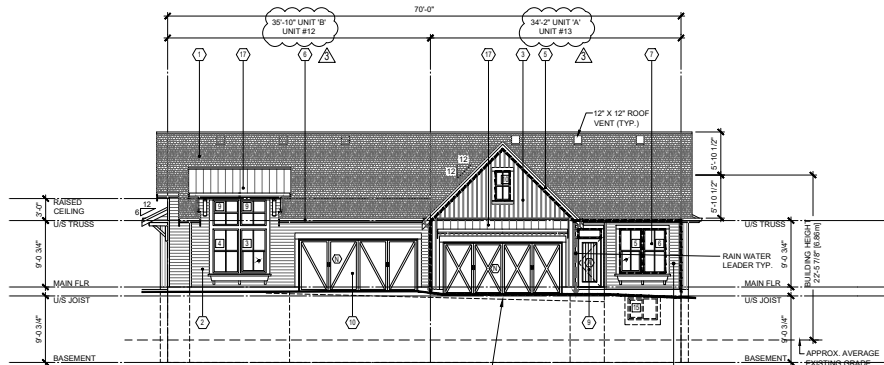
LIMITING DISTANCE:	1.98m
AREA OF EXPOSING BUILDING FACE:	40.7m²
AREA OF GLAZED OPENINGS:	3.6m²
ACTUAL GLAZED OPENINGS:	8.1%
ALLOWED GLAZED OPENINGS:	10.8%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE

**ELEVATION MATERIAL LEGEND**

- ① COMPOSITE ASPHALT SHINGLES
- ② CEMENT BOARD HORIZONTAL SIDING
- ③ CEMENT BOARD AND BATTEN SIDING
- ④ 2x6 PAINTED WOOD FASCIA c/w 1x4 WOOD TRIM
- ⑤ 2x6 PAINTED WOOD TRIM
- ⑥ PREFINISHED ALUMINUM GUTTER ON 2x6 PAINTED WOOD FASCIA
- ⑦ SCALED DOUBLE GLAZED P.V.C. WINDOW
- ⑧ SEALED DOUBLE GLAZED P.V.C. SLIDING DOOR c/w 2x6 WOOD TRIM AROUND
- ⑨ ENTRY DOOR c/w 2x6 WOOD TRIM AROUND
- ⑩ OVERHEAD GARAGE DOOR c/w 2x6 SIDE TRIM & 2x10 HEADER TRIM
- ⑪ PAINTED WOOD POST
- ⑫ 2x6 PAINTED WOOD TRIM
- ⑬ PREFINISHED METAL THROUGH WALL FLASHING
- ⑭ PREPARED BY METAL ROOFING CONTRACTOR
- ⑮ METAL ROOF
- ⑯ WOOD BRACKET
- ⑰ CEMENT BOARD PANEL ON BUILT-UP WOOD COLUMN w/ CORNER TRIM

**COLOUR SCHEME A:**  
SEE A-00.05

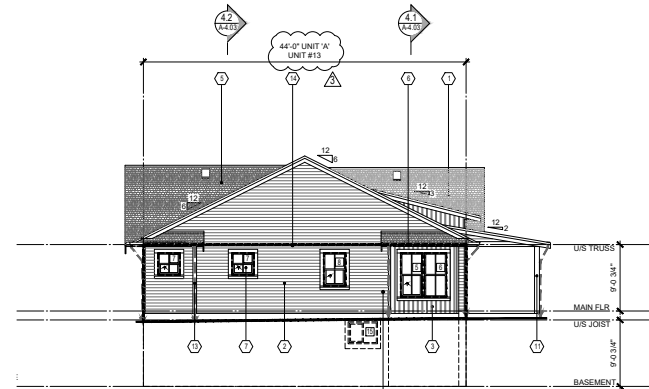




**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

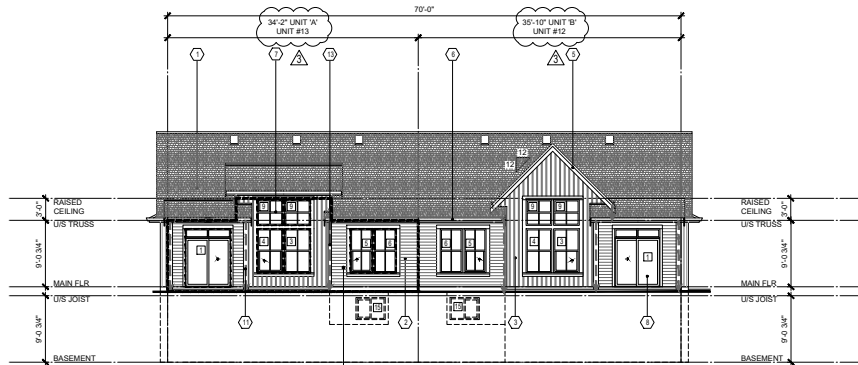
PROPOSED GRADE  
@ CENTRE LINE OF ROAD

EXPOSURE CALCULATION	9.10.15
LIMITING DISTANCE:	4.30m
AREA OF EXPOSING BUILDING FACE:	49.9m <sup>2</sup>
AREA OF GLAZED OPENINGS:	4.9m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	10.9%
ALLOWED GLAZED OPENINGS:	47.7%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE



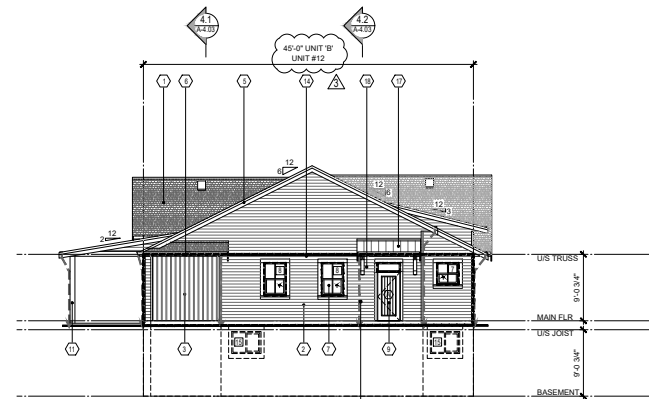
**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION	9.10.15
LIMITING DISTANCE:	4.00m
AREA OF EXPOSING BUILDING FACE:	42.9m <sup>2</sup>
AREA OF GLAZED OPENINGS:	6.3m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	15.0%
ALLOWED GLAZED OPENINGS:	32.2%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION	9.10.15
LIMITING DISTANCE:	5.05m
AREA OF EXPOSING BUILDING FACE:	34.9m <sup>2</sup>
AREA OF GLAZED OPENINGS:	10.7m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	31.1%
ALLOWED GLAZED OPENINGS:	69.0%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION	9.10.15
LIMITING DISTANCE:	1.98m
AREA OF EXPOSING BUILDING FACE:	49.9m <sup>2</sup>
AREA OF GLAZED OPENINGS:	3.7m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	9.2%
ALLOWED GLAZED OPENINGS:	10.8%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE

**ELEVATION MATERIAL LEGEND**

- ① COMPOSITE ASPHALT SHINGLES
- ② CEMENT BOARD HORIZONTAL SIDING
- ③ CEMENT BOARD AND BATTEN SIDING
- ④ 2x10 PAINTED WOOD FASCIA c/w 1x4 WOOD TRIM
- ⑤ 2" PREFINISHED ALUMINUM GUTTER ON 2x8 PAINTED WOOD FASCIA
- ⑥ SEALED DOUBLE GLAZED P.V.C. WINDOW
- ⑦ SEALED DOUBLE GLAZED P.V.C. SLIDING DOOR c/w 2x6 WOOD TRIM AROUND
- ⑧ ENTRY DOOR c/w 2x6 WOOD TRIM AROUND
- ⑨ OVERHEAD GARAGE DOOR c/w 2x6 SIDE TRIM & 2x10 HEADERS TRIM
- ⑩ PAINTED WOOD POST
- ⑪ 2x6 PAINTED WOOD TRIM
- ⑫ PREFINISHED METAL THROUGH WALL FLASHING
- ⑬ 2x4 PAINTED WOOD TRIM
- ⑭ METAL ROOF
- ⑮ WOOD BRACKET
- ⑯ CEMENT BOARD PANEL ON BUILT-UP WOOD COLUMN c/w CORNER TRIM

COLOUR SCHEME A:  
SEE A-00.05

Page 13 of 40

2019-06-28	PLANNING REVISIONS
2019-03-29	BP AMENDMENT
2018-11-23	REVISED AS PER PLANNING REVIEWER COMMENTS
2018-10-12	REVISED AS PER BP PRELIMINARY REVIEW
2018-05-25	REVISED FOR BP
2017-11-26	PROGRESS SET

REVISIONS  
CONSULTANT

CLIENT  
INFINITY PROPERTIES

PROJECT  
EASTRIDGE

5228 - 148 Street  
SURREY, BC

DRAWING TITLE  
BUILDING 4 ELEVATIONS

DATE: 2017-09-07 FILE NO.  
OWN: ID  
CHK: ch 1521

SEAL  
SHEET NO.

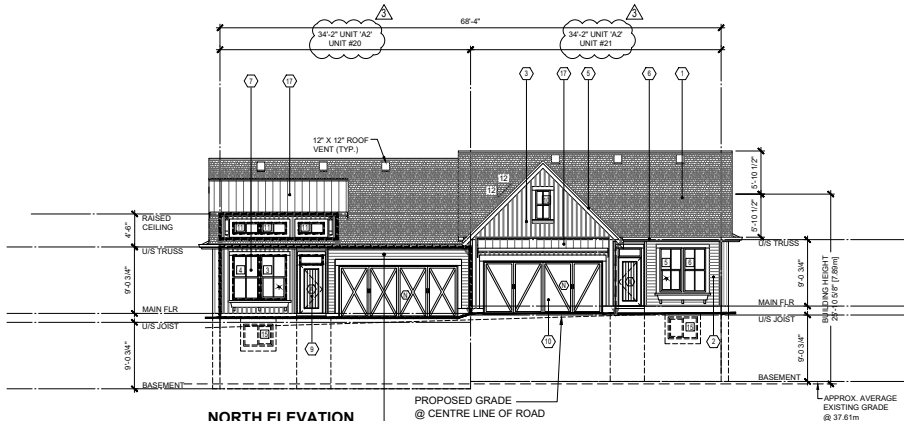
A-04.02











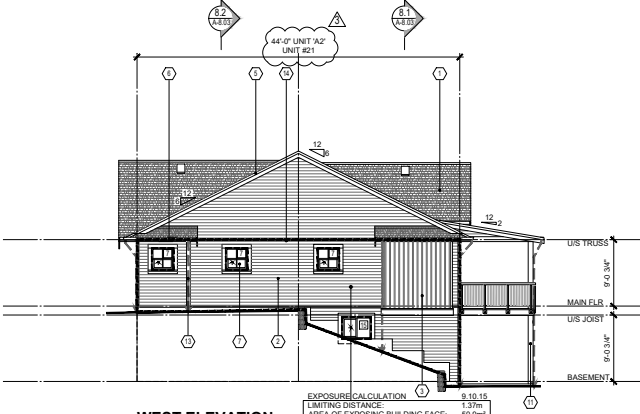
**NORTH ELEVATION**

SCALE: 1/8"=1'-0"

PROPOSED GRADE @ CENTRE LINE OF ROAD

EXPOSURE CALCULATION	
LIMITING DISTANCE:	9.10.15
AREA OF EXPOSING BUILDING FACE:	8.71m <sup>2</sup>
AREA OF GLAZED OPENINGS:	35.7m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	5.7m <sup>2</sup>
ALLOWED GLAZED OPENINGS:	16.1%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE

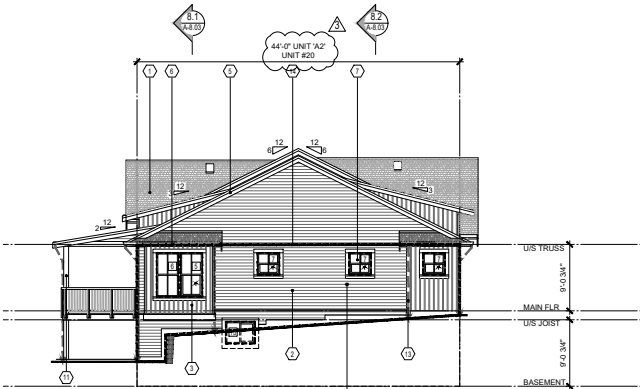
APPROX. AVERAGE EXISTING GRADE @ 37.81m



**WEST ELEVATION**

SCALE: 1/8"=1'-0"

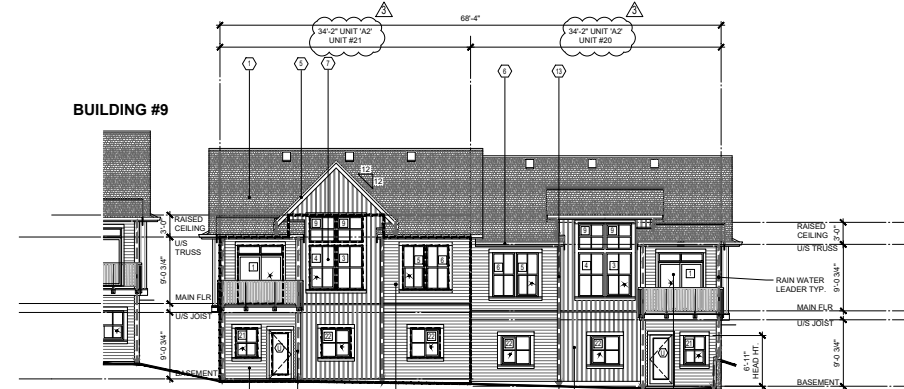
EXPOSURE CALCULATION	
LIMITING DISTANCE:	9.10.15
AREA OF EXPOSING BUILDING FACE:	1.37m <sup>2</sup>
AREA OF GLAZED OPENINGS:	50.9m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	3.6m <sup>2</sup>
ALLOWED GLAZED OPENINGS:	7.1%
FIRE RESISTANCE RATING:	7.6%
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE



**EAST ELEVATION**

SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION	
LIMITING DISTANCE:	9.10.15
AREA OF EXPOSING BUILDING FACE:	4.43m <sup>2</sup>
AREA OF GLAZED OPENINGS:	46.6m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	7.0m <sup>2</sup>
ALLOWED GLAZED OPENINGS:	15.0%
FIRE RESISTANCE RATING:	33.3%
WALL CONSTRUCTION:	0
WALL CLADDING:	COMBUSTIBLE



**SOUTH ELEVATION**

SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION	
LIMITING DISTANCE:	9.10.15
AREA OF EXPOSING BUILDING FACE:	9.42m <sup>2</sup>
AREA OF GLAZED OPENINGS:	66.4m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	19.3m <sup>2</sup>
ALLOWED GLAZED OPENINGS:	29.1%
FIRE RESISTANCE RATING:	100%
WALL CONSTRUCTION:	0
WALL CLADDING:	COMBUSTIBLE

**ELEVATION MATERIAL LEGEND**

- 1 COMPOSITE ASPHALT SHINGLES
- 2 CEMENT BOARD HORIZONTAL SIDING
- 3 PAINTED WOOD POST
- 4 2x10 PAINTED WOOD FASCIA c/w 1x4 WOOD TRIM
- 5 PREFINISHED ALUMINUM GUTTER ON 2x8 PAINTED WOOD FASCIA
- 6 SEALED DOUBLE GLAZED P.V.C. WINDOW
- 7 SEALED DOUBLE GLAZED P.V.C. SLIDING DOOR c/w 2x6 WOOD TRIM
- 8 2x6 PAINTED WOOD TRIM
- 9 PREFINISHED METAL THROUGH WALL FLASHING
- 10 WOOD BRACKET
- 11 ENTRY DOOR c/w 2x6 WOOD TRIM
- 12 OVERHEAD GARAGE DOOR c/w 2x6 SIDE TRIM & 2x10 HEADERS TRIM
- 13 CEMENT BOARD AND BATTEN SIDING
- 14 2x6 PAINTED WOOD POST
- 15 PREFINISHED METAL THROUGH WALL FLASHING
- 16 METAL ROOF
- 17 WOOD BRACKET
- 18 CEMENT BOARD PANEL ON BUILT-UP WOOD COLUMN c/w CORNER TRIM

COLOUR SCHEME A: SEE A-00.05

DATE	DESCRIPTION
2019-06-28	PLANNING REVISIONS
2019-03-29	BP AMENDMENT
2018-11-23	REVISED AS PER PLAN REVIEWER COMMENTS
2018-10-12	REVISED AS PER BP PRELIMINARY REVIEW
2018-05-25	REVISED FOR BP
2017-11-26	PROGRESS SET

CLIENT: INFINITY PROPERTIES

PROJECT: EASTRIDGE

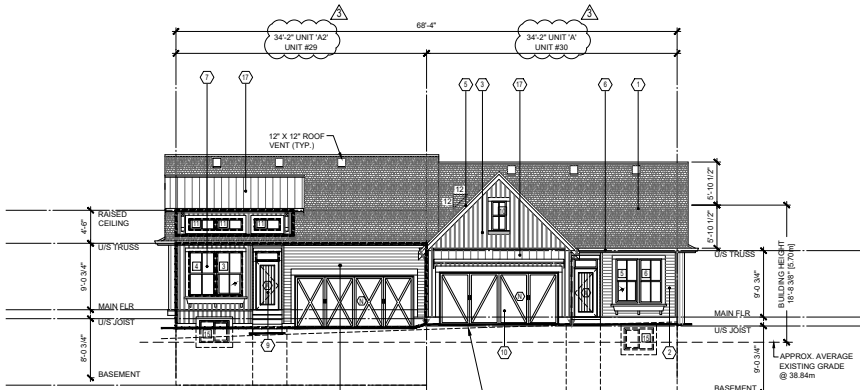
5228 - 148 Street SURREY, BC

DRAWING TITLE: BUILDING 8 ELEVATIONS

DATE: 2017-09-07 FILE NO. 1521

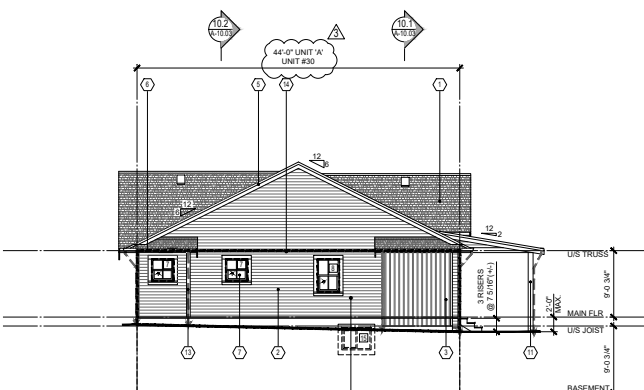


FILE NO. A-10-02  
 DRAWING TITLE: BUILDING 10 ELEVATIONS  
 DATE: 2017-09-07  
 DRAWN BY: 10145  
 CHECKED BY: ch1521  
 PROJECT: EASTRIDGE  
 CLIENT: INFINITY PROPERTIES  
 CONSULTANT:



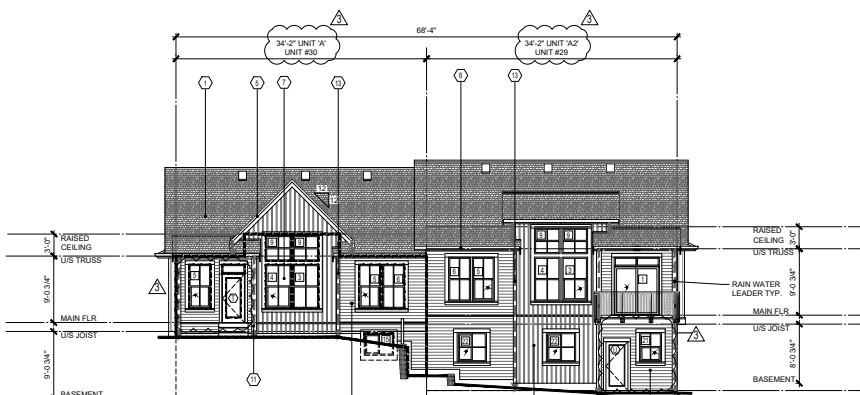
**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

PROPOSED GRADE @ CENTRE LINE OF ROAD  
EXPOSURE CALCULATION  
9.10.15  
LIMITING DISTANCE: 8.71m  
AREA OF EXPOSING BUILDING FACE: 36.4m<sup>2</sup>  
AREA OF GLAZED OPENINGS: 5.7m<sup>2</sup>  
ACTUAL GLAZED OPENINGS: 15.1%  
ALLOWED GLAZED OPENINGS: 89.3%  
FIRE RESISTANCE RATING: 0  
WALL CONSTRUCTION: COMBUSTIBLE  
WALL CLADDING: COMBUSTIBLE



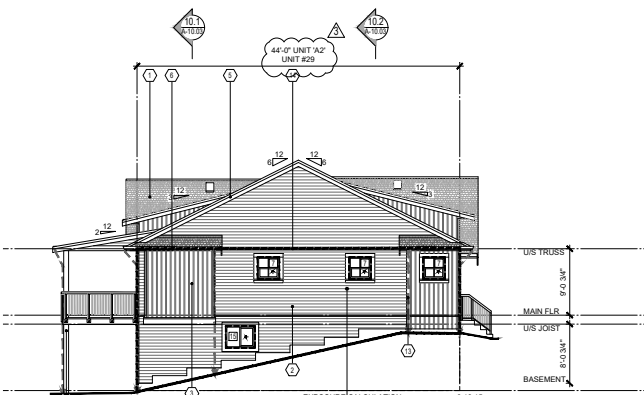
**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION  
9.10.15  
LIMITING DISTANCE: 1.37m  
AREA OF EXPOSING BUILDING FACE: 43.2m<sup>2</sup>  
AREA OF GLAZED OPENINGS: 3.0m<sup>2</sup>  
ACTUAL GLAZED OPENINGS: 6.9%  
ALLOWED GLAZED OPENINGS: 9.6%  
FIRE RESISTANCE RATING: 0  
WALL CONSTRUCTION: COMBUSTIBLE  
WALL CLADDING: COMBUSTIBLE



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION  
9.10.15  
LIMITING DISTANCE: 9.26m  
AREA OF EXPOSING BUILDING FACE: 40.6m<sup>2</sup>  
AREA OF GLAZED OPENINGS: 13.1m<sup>2</sup>  
ACTUAL GLAZED OPENINGS: 32.3%  
ALLOWED GLAZED OPENINGS: 100%  
FIRE RESISTANCE RATING: 0  
WALL CONSTRUCTION: COMBUSTIBLE  
WALL CLADDING: COMBUSTIBLE



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION  
9.10.15  
LIMITING DISTANCE: 1.37m  
AREA OF EXPOSING BUILDING FACE: 60.5m<sup>2</sup>  
AREA OF GLAZED OPENINGS: 3.6m<sup>2</sup>  
ACTUAL GLAZED OPENINGS: 6.0%  
ALLOWED GLAZED OPENINGS: 7.4%  
FIRE RESISTANCE RATING: 0  
WALL CONSTRUCTION: COMBUSTIBLE  
WALL CLADDING: COMBUSTIBLE

**ELEVATION MATERIAL LEGEND**

- ① COMPOSITE ASPHALT SHINGLES
- ② CEMENT BOARD HORIZONTAL SIDING
- ③ CEMENT BOARD AND BATTEN SIDING
- ④ 2x10 PAINTED WOOD FASCIA c/w 1x4 WOOD TRIM
- ⑤ PREFINISHED ALUMINUM GUTTER ON 2x8 PAINTED WOOD FASCIA
- ⑥ SEALED DOUBLE GLAZED P.V.C. WINDOW
- ⑦ SEALED DOUBLE GLAZED P.V.C. SLIDING DOOR c/w 2x8 WOOD TRIM AROUND
- ⑧ ENTRY DOOR c/w 2x8 WOOD TRIM AROUND
- ⑨ OVERHEAD GARAGE DOOR c/w 2x6 SIDE TRIM & 2x10 HEADERS TRIM
- ⑩ PAINTED WOOD POST
- ⑪ 2x6 PAINTED WOOD TRIM
- ⑫ PREFINISHED METAL THROUGH WALL FLASHING
- ⑬ SEALED METAL ROOF
- ⑭ WOOD BRACKET
- ⑮ CEMENT BOARD PANEL ON BUILT-UP WOOD COLUMN c/w CORNER TRIM

**COLOUR SCHEME A:**  
SEE A-00.05

Page 19 of 40

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**FOCUS**  
ARCHITECTURE  
INCORPORATED  
Suite 109 - 1528 McCallum Road  
Abbotsford, British Columbia V2S 3A3  
1 604 853 5222 1 604 863 1442  
info@focus.ca

CITY OF SURREY FILE NUMBER  
7916-0057

△	2019-06-29	PLANNING REVISIONS
	2019-03-28	BP AMENDMENT
△	2018-11-23	REVISED AS PER PLAN REVIEWER COMMENTS
△	2018-10-12	REVISED AS PER BP PRELIMINARY REVIEW
△	2018-05-25	REVISED FOR BP
△	2017-11-26	PROGRESS SET
		REVISIONS
		CONSULTANT

CLIENT  
**INFINITY PROPERTIES**

PROJECT  
**EASTRIDGE**

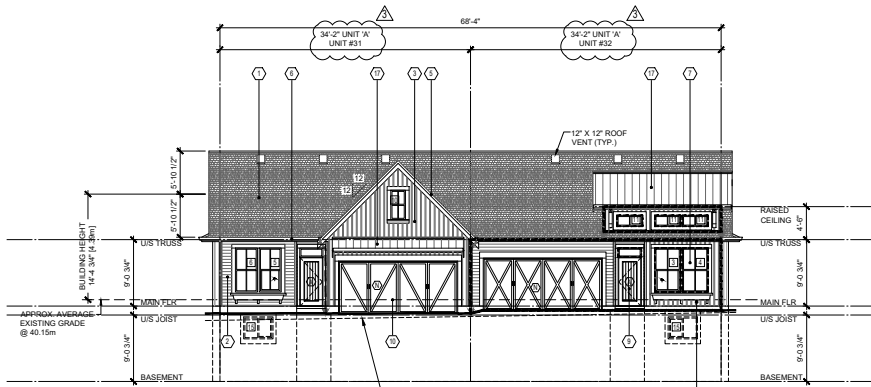
5228 - 148 Street  
SURREY, BC

DRAWING TITLE  
**BUILDING 10 ELEVATIONS**

DATE: 2017-09-07  
OWN: ID  
CHK: ch1521

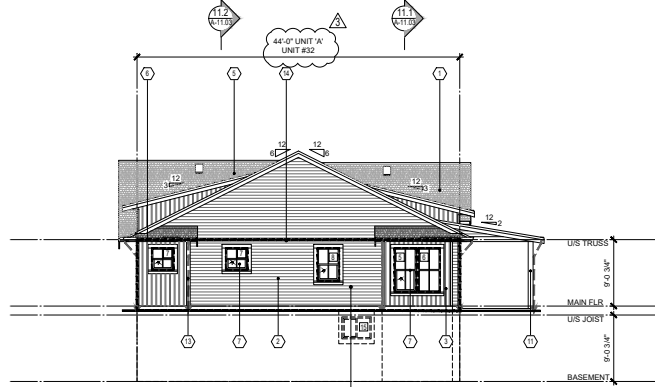
FILE NO.  
**1521**  
SHEET NO.

**A-10.02**



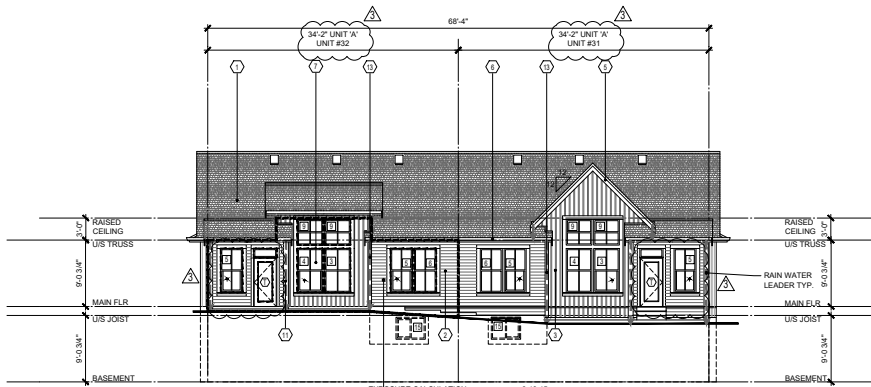
**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION	
LIMITING DISTANCE	9.10.15
AREA OF EXPOSING BUILDING FACE:	4.87m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	36.7m <sup>2</sup>
ALLOWED GLAZED OPENINGS:	16.0%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE



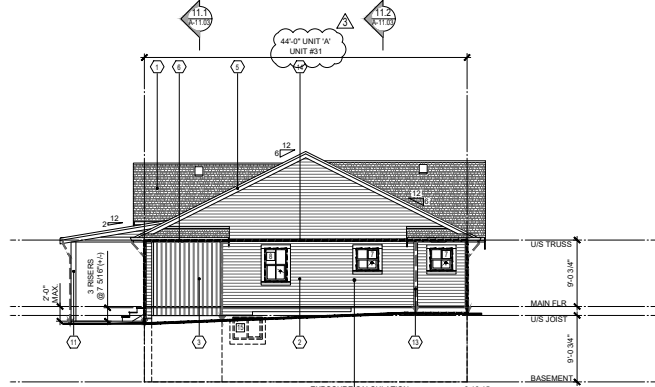
**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION	
LIMITING DISTANCE	9.10.15
AREA OF EXPOSING BUILDING FACE:	10.63m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	6.3m <sup>2</sup>
ALLOWED GLAZED OPENINGS:	15.9%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION	
LIMITING DISTANCE	9.10.15
AREA OF EXPOSING BUILDING FACE:	7.88m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	12.8m <sup>2</sup>
ALLOWED GLAZED OPENINGS:	36.0%
FIRE RESISTANCE RATING:	98.7%
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION	
LIMITING DISTANCE	9.10.15
AREA OF EXPOSING BUILDING FACE:	13.97m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	2.9m <sup>2</sup>
ALLOWED GLAZED OPENINGS:	6.8%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE

**ELEVATION MATERIAL LEGEND**

- ① COMPOSITE ASPHALT SHINGLES
- ② CEMENT BOARD HORIZONTAL SIDING
- ③ CEMENT BOARD AND BATTEN SIDING
- ④ 2X10 PAINTED WOOD FASCIA c/w 1X4 WOOD TRIM
- ⑤ 2" PREFINISHED ALUMINUM GUTTER ON 2X8 PAINTED WOOD FASCIA
- ⑥ SCALED DOUBLE GLAZED P.V.C. WINDOW
- ⑦ SEALED DOUBLE GLAZED P.V.C. SLIDING DOOR c/w 2X6 WOOD TRIM AROUND
- ⑧ ENTRY DOOR c/w 2x6 WOOD TRIM AROUND
- ⑨ OVERHEAD GARAGE DOOR c/w 2x6 SIDE TRIM & 2X10 HEADERS TRIM
- ⑩ PAINTED WOOD POST
- ⑪ 2x6 PAINTED WOOD TRIM
- ⑫ PREFINISHED METAL THROUGH WALL FLASHING
- ⑬ 2X4 METAL ROOF
- ⑭ WOOD BRACKET
- ⑮ CEMENT BOARD PANEL ON BUILT-UP WOOD COLUMN c/w CORNER TRIM

COLOUR SCHEME B:  
SEE A-00.05

Page 20 of 40



CITY OF SURREY FILE NUMBER  
7916-0057

REVISIONS
2019-06-28 PLANNING REVISIONS
2019-03-28 BP AMENDMENT
2018-11-23 REVISED AS PER PLANNING REVIEWER COMMENTS
2018-10-12 REVISED AS PER BP PRELIMINARY REVIEW
2018-05-25 REVISED FOR BP
2017-11-26 PROGRESS SET

CONSULTANT

CLIENT  
INFINITY PROPERTIES

PROJECT  
EASTRIDGE

5228 - 148 Street  
SURREY, BC

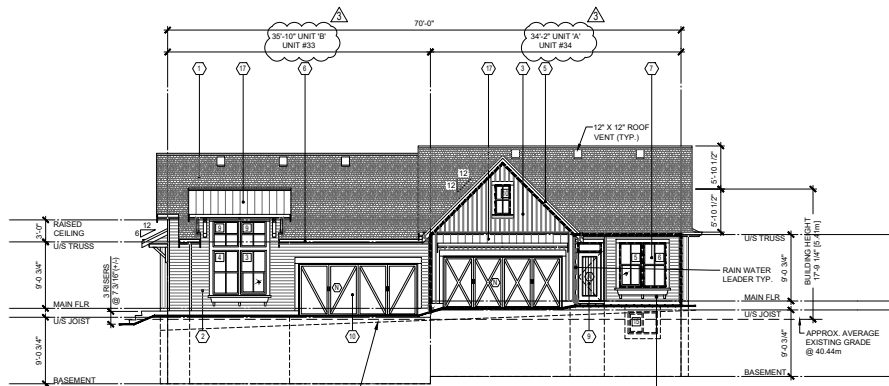
DRAWING TITLE

**BUILDING 11  
ELEVATIONS**

DATE: 2017-09-07 FILE NO.  
OWN: ID  
CHK: ch 1521

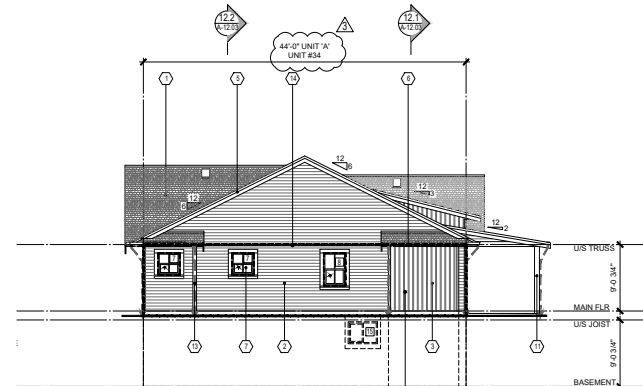
SEAL  
SHEET NO.

**A-11.02**



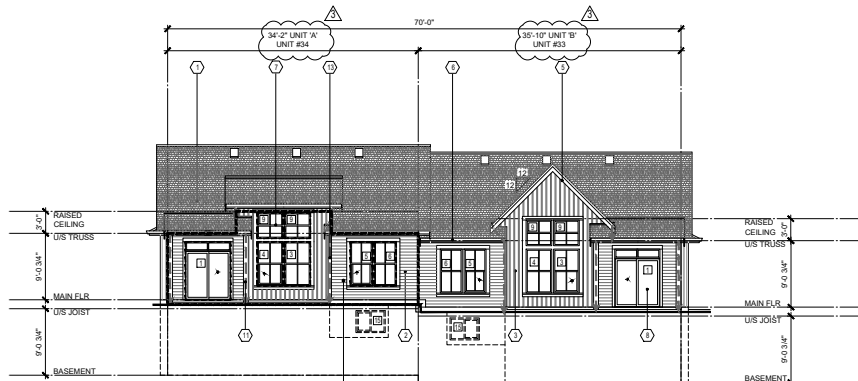
**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION		9.10.15
LIMITING DISTANCE:		4.30m
AREA OF EXPOSING BUILDING FACE:		40.3m <sup>2</sup>
AREA OF GLAZED OPENINGS:		4.6m <sup>2</sup>
ACTUAL GLAZED OPENINGS:		11.4%
ALLOWED GLAZED OPENINGS:		100%
FIRE RESISTANCE RATING:		0
WALL CONSTRUCTION:	COMBUSTIBLE	
WALL CLADDING:	COMBUSTIBLE	



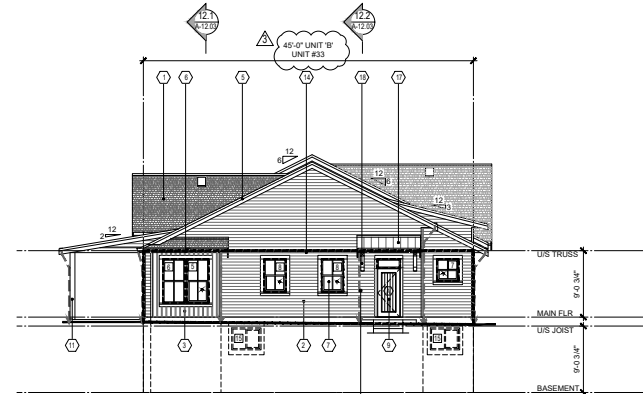
**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION		9.10.15
LIMITING DISTANCE:		1.52m
AREA OF EXPOSING BUILDING FACE:		39.8m <sup>2</sup>
AREA OF GLAZED OPENINGS:		2.9m <sup>2</sup>
ACTUAL GLAZED OPENINGS:		7.4%
ALLOWED GLAZED OPENINGS:		8.1%
FIRE RESISTANCE RATING:		0
WALL CONSTRUCTION:	COMBUSTIBLE	
WALL CLADDING:	COMBUSTIBLE	



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION		9.10.15
LIMITING DISTANCE:		12.54m
AREA OF EXPOSING BUILDING FACE:		34.4m <sup>2</sup>
AREA OF GLAZED OPENINGS:		10.7m <sup>2</sup>
ACTUAL GLAZED OPENINGS:		31.1%
ALLOWED GLAZED OPENINGS:		100%
FIRE RESISTANCE RATING:		0
WALL CONSTRUCTION:	COMBUSTIBLE	
WALL CLADDING:	COMBUSTIBLE	



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION		9.10.15
LIMITING DISTANCE:		4.87m
AREA OF EXPOSING BUILDING FACE:		41.4m <sup>2</sup>
AREA OF GLAZED OPENINGS:		7.0m <sup>2</sup>
ACTUAL GLAZED OPENINGS:		17.0%
ALLOWED GLAZED OPENINGS:		47.1%
FIRE RESISTANCE RATING:		0
WALL CONSTRUCTION:	COMBUSTIBLE	
WALL CLADDING:	COMBUSTIBLE	

**ELEVATION MATERIAL LEGEND**

- |                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                         |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> <li>① COMPOSITE ASPHALT SHINGLES</li> <li>② CEMENT BOARD HORIZONTAL SIDING</li> <li>③ CEMENT BOARD AND BATTEN SIDING</li> <li>④ 2x10 PAINTED WOOD FASCIA c/w 1x4 WOOD TRIM</li> <li>⑤ 2" PREFINISHED ALUMINUM GUTTER ON 2x8 PAINTED WOOD FASCIA</li> <li>⑥ SEALED DOUBLE GLAZED P.V.C. WINDOW</li> <li>⑦ SEALED DOUBLE GLAZED P.V.C. SLIDING DOOR c/w 2x6 WOOD TRIM AROUND</li> </ul> | <ul style="list-style-type: none"> <li>⑧ ENTRY DOOR c/w 2x6 WOOD TRIM AROUND</li> <li>⑨ OVERHEAD GARAGE DOOR c/w 2x6 SIDE TRIM &amp; 2x10 HEADERS TRIM</li> <li>⑩ PAINTED WOOD POST</li> <li>⑪ 2x6 PAINTED WOOD TRIM</li> <li>⑫ PREFINISHED METAL THROUGH WALL FLASHING</li> <li>⑬ 2x6 PAINTED WOOD TRIM</li> <li>⑭ METAL ROOF</li> <li>⑮ WOOD BRACKET</li> <li>⑯ CEMENT BOARD PANEL ON BUILT-UP WOOD COLUMN c/w CORNER TRIM</li> </ul> |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

**COLOUR SCHEME B:**  
SEE A-00.05

REVISIONS
2019-06-28 PLANNING REVISIONS
2019-08-29 BP AMENDMENT
2018-11-23 REVISED AS PER PLANNING REVIEW COMMENTS
2018-10-12 REVISED AS PER BP PRELIMINARY REVIEW
2018-05-25 REVISED FOR BP
2017-11-26 PROGRESS SET

CLIENT  
**INFINITY PROPERTIES**

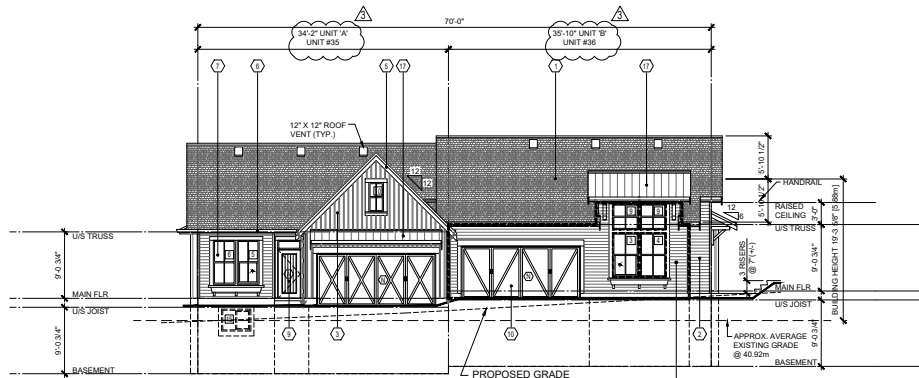
PROJECT  
**EASTRIDGE**

5628 - 148 Street  
SURREY, BC

DRAWING TITLE  
**BUILDING 12  
ELEVATIONS**

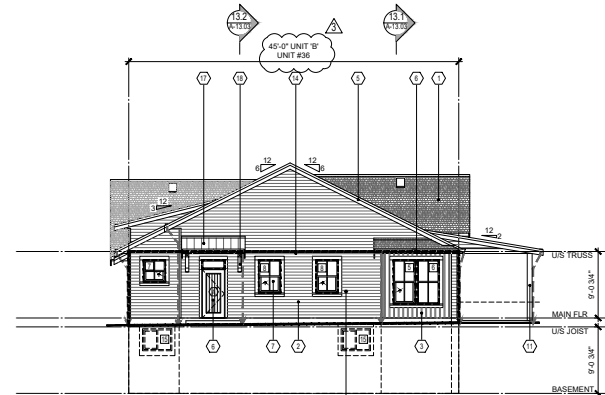
DATE: 2017-09-07 FILE NO.  
OWN: ID  
CHK: ch 1521

SHEET NO.  
**A-12.02**



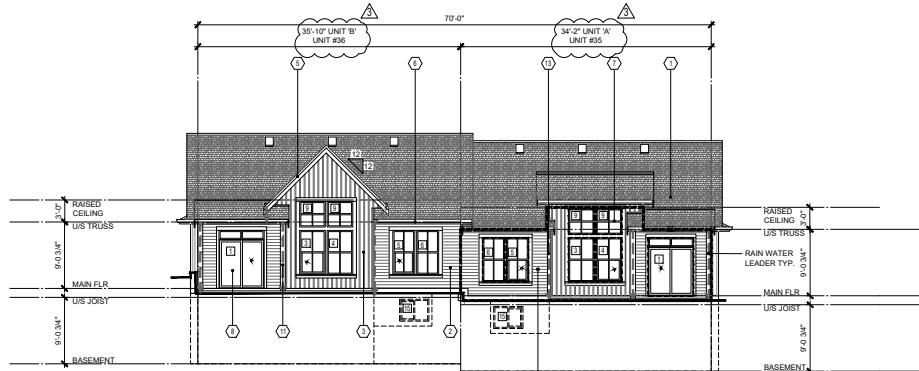
**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION		9.10.15
LIMITING DISTANCE:		7.34m
AREA OF EXPOSING BUILDING FACE:		34.0m <sup>2</sup>
AREA OF GLAZED OPENINGS:		6.2m <sup>2</sup>
ACTUAL GLAZED OPENINGS:		18.2%
ALLOWED GLAZED OPENINGS:		91.6%
FIRE RESISTANCE RATING:		0
WALL CONSTRUCTION:	COMBUSTIBLE	
WALL CLADDING:	COMBUSTIBLE	



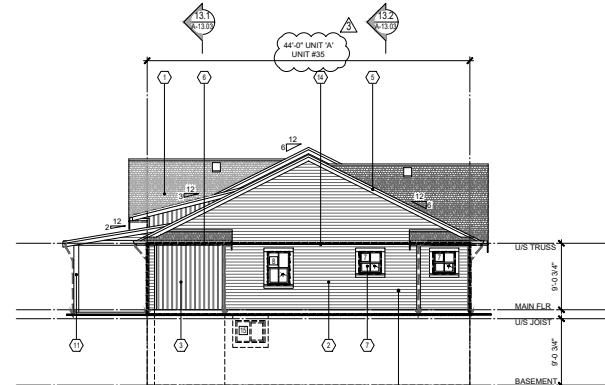
**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION		9.10.15
LIMITING DISTANCE:		8.53m
AREA OF EXPOSING BUILDING FACE:		41.4m <sup>2</sup>
AREA OF GLAZED OPENINGS:		7.1m <sup>2</sup>
ACTUAL GLAZED OPENINGS:		17.1%
ALLOWED GLAZED OPENINGS:		86.0%
FIRE RESISTANCE RATING:		0
WALL CONSTRUCTION:	COMBUSTIBLE	
WALL CLADDING:	COMBUSTIBLE	



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION		9.10.15
LIMITING DISTANCE:		12.05m
AREA OF EXPOSING BUILDING FACE:		34.5m <sup>2</sup>
AREA OF GLAZED OPENINGS:		14.1m <sup>2</sup>
ACTUAL GLAZED OPENINGS:		40.7%
ALLOWED GLAZED OPENINGS:		100%
FIRE RESISTANCE RATING:		0
WALL CONSTRUCTION:	COMBUSTIBLE	
WALL CLADDING:	COMBUSTIBLE	



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION		9.10.15
LIMITING DISTANCE:		1.52m
AREA OF EXPOSING BUILDING FACE:		38.8m <sup>2</sup>
AREA OF GLAZED OPENINGS:		2.9m <sup>2</sup>
ACTUAL GLAZED OPENINGS:		7.4%
ALLOWED GLAZED OPENINGS:		8.1%
FIRE RESISTANCE RATING:		0
WALL CONSTRUCTION:	COMBUSTIBLE	
WALL CLADDING:	COMBUSTIBLE	

**ELEVATION MATERIAL LEGEND**

- ① COMPOSITE ASPHALT SHINGLES
- ② CEMENT BOARD HORIZONTAL SIDING
- ③ CEMENT BOARD AND BATTEN SIDING
- ④ 2x10 PAINTED WOOD FASCIA c/w 1x4 WOOD TRIM
- ⑤ 2" PREFINISHED ALUMINUM GUTTER ON 2x8 PAINTED WOOD FASCIA
- ⑥ SEALED DOUBLE GLAZED P.V.C. WINDOW
- ⑦ SEALED DOUBLE GLAZED P.V.C. SLIDING DOOR c/w 2x6 WOOD TRIM AROUND
- ⑧ ENTRY DOOR c/w 2x6 WOOD TRIM AROUND
- ⑨ OVERHEAD GARAGE DOOR c/w 2x6 SIDE TRIM & 2x10 HEADERS TRIM
- ⑩ PAINTED WOOD POST
- ⑪ 2x6 PAINTED WOOD TRIM
- ⑫ PREFINISHED METAL THROUGH WALL FLASHING
- ⑬ 2x4 PAINTED WOOD BRACKET
- ⑭ CEMENT BOARD PANEL ON BUILT-UP WOOD COLUMN c/w CORNER TRIM

**COLOUR SCHEME A:**  
SEE A-00.05



CITY OF SURREY FILE NUMBER  
7516-0057

REVISIONS	CONSULTANT
2019-06-28 PLANNING REVISIONS	
2019-03-28 BP AMENDMENT	
2018-11-23 REVISED AS PER PLAN REVIEWER COMMENTS	
2018-10-12 REVISED AS PER BP PRELIMINARY REVIEW	
2018-05-25 REVISED FOR BP	
2017-11-26 PROGRESS SET	

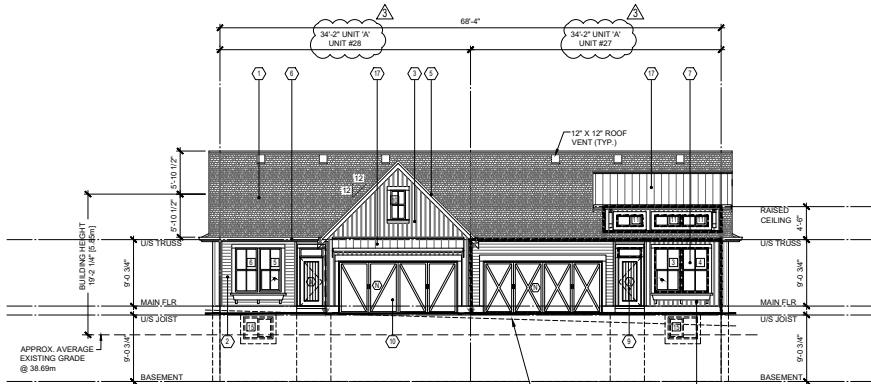
CLIENT  
**INFINITY PROPERTIES**

PROJECT  
**EASTRIDGE**

5228 - 148 Street  
SURREY, BC

DRAWING TITLE  
**BUILDING 13  
ELEVATIONS**

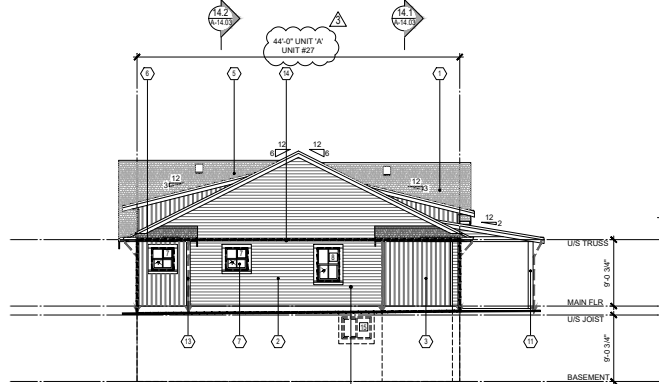
DATE: 2017-09-07 FILE NO.  
OWN: ID  
CHK: ch 1521



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

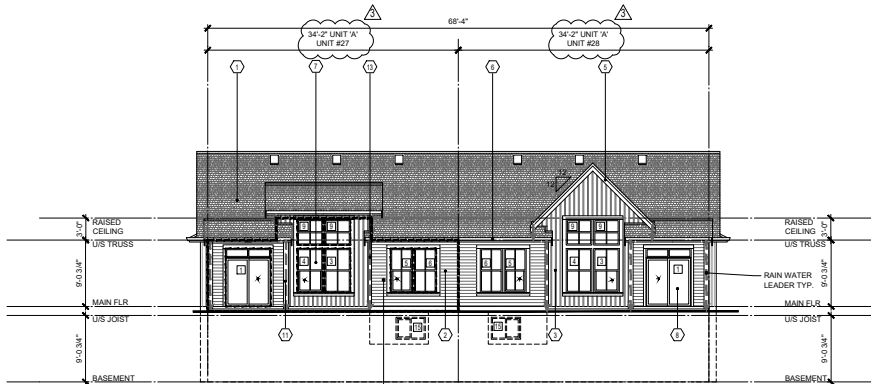
PROPOSED GRADE  
@ CENTRE LINE OF ROAD

EXPOSURE CALCULATION		9.10.15
LIMITING DISTANCE:	AREA OF EXPOSING BUILDING FACE:	6.71m <sup>2</sup>
AREA OF GLAZED OPENINGS:	ACTUAL GLAZED OPENINGS:	15.5%
ALLOWED GLAZED OPENINGS:	FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	WALL CLADDING:	COMBUSTIBLE



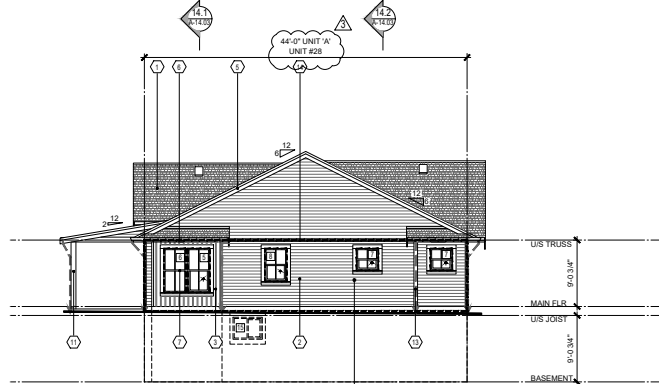
**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION		9.10.15
LIMITING DISTANCE:	AREA OF EXPOSING BUILDING FACE:	13.71m <sup>2</sup>
AREA OF GLAZED OPENINGS:	ACTUAL GLAZED OPENINGS:	2.9m <sup>2</sup>
ALLOWED GLAZED OPENINGS:	FIRE RESISTANCE RATING:	7.6%
WALL CONSTRUCTION:	WALL CLADDING:	COMBUSTIBLE



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION		9.10.15
LIMITING DISTANCE:	AREA OF EXPOSING BUILDING FACE:	7.46m <sup>2</sup>
AREA OF GLAZED OPENINGS:	ACTUAL GLAZED OPENINGS:	40.8%
ALLOWED GLAZED OPENINGS:	FIRE RESISTANCE RATING:	91.2%
WALL CONSTRUCTION:	WALL CLADDING:	COMBUSTIBLE



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION		9.10.15
LIMITING DISTANCE:	AREA OF EXPOSING BUILDING FACE:	9.30m <sup>2</sup>
AREA OF GLAZED OPENINGS:	ACTUAL GLAZED OPENINGS:	6.3m <sup>2</sup>
ALLOWED GLAZED OPENINGS:	FIRE RESISTANCE RATING:	100%
WALL CONSTRUCTION:	WALL CLADDING:	COMBUSTIBLE

**ELEVATION MATERIAL LEGEND**

- ① COMPOSITE ASPHALT SHINGLES
- ② CEMENT BOARD HORIZONTAL SIDING
- ③ CEMENT BOARD AND BATTEN SIDING
- ④ 2x10 PAINTED WOOD FASCIA c/w 1x4 WOOD TRIM
- ⑤ 2x6 PAINTED WOOD TRIM
- ⑥ 2x6 PREFINISHED ALUMINUM GUTTER ON 2x8 PAINTED WOOD FASCIA
- ⑦ SCALED DOUBLE GLAZED P.V.C. WINDOW
- ⑧ SEALED DOUBLE GLAZED P.V.C. SLIDING DOOR c/w 2x6 WOOD TRIM AROUND
- ⑨ ENTRY DOOR c/w 2x6 WOOD TRIM AROUND
- ⑩ OVERHEAD GARAGE DOOR c/w 2x6 SIDE TRIM & 2x10 HEADER TRIM
- ⑪ PAINTED WOOD POST
- ⑫ 2x6 PAINTED WOOD TRIM
- ⑬ PREFINISHED METAL THROUGH WALL FLASHING
- ⑭ 2x4 METAL ROD
- ⑮ WOOD BRACKET
- ⑯ CEMENT BOARD PANEL ON BUILT-UP WOOD COLUMN w/ CORNER TRIM

COLOUR SCHEME A:  
SEE A-00.05

Page 23 of 40



CITY OF SURREY FILE NUMBER  
7916-0057

REVISIONS	
①	2019-06-25 PLANNING REVISIONS
②	2019-06-25 BP AMENDMENT
③	2018-11-23 REVISED AS PER PLAN REVIEWER COMMENTS
④	2018-10-12 REVISED AS FOR BP PRELIMINARY REVIEW
⑤	2018-05-25 SUBMITTED FOR BP
⑥	2017-11-26 PROGRESS SET

CONSULTANT

CLIENT  
INFINITY PROPERTIES

PROJECT  
EASTRIDGE

5228 - 148 Street  
SURREY, BC

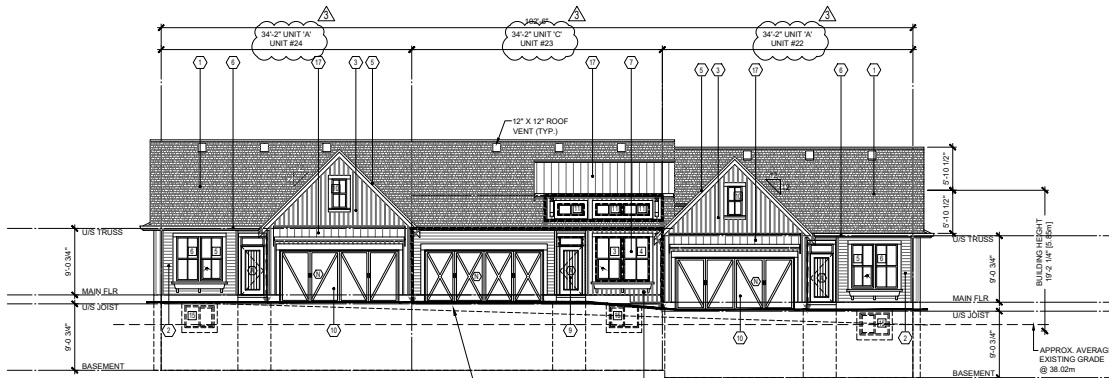
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**BUILDING 14 ELEVATIONS**

DATE: 2017-09-07 FILE NO.  
 DWN: ID  
 CHK: ch 1521

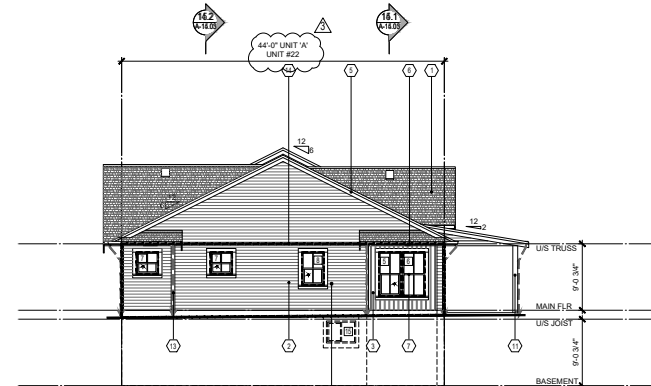
SEAL  
SHEET NO.

**A-14.02**



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"  
PROPOSED GRADE @ CENTRE LINE OF ROAD

EXPOSURE CALCULATION	
LIMITING DISTANCE:	9.10.15
AREA OF EXPOSING BUILDING FACE:	6.71m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	37.46m <sup>2</sup>
ALLOWED GLAZED OPENINGS:	5.7m <sup>2</sup>
FIRE RESISTANCE RATING:	15.3%
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE



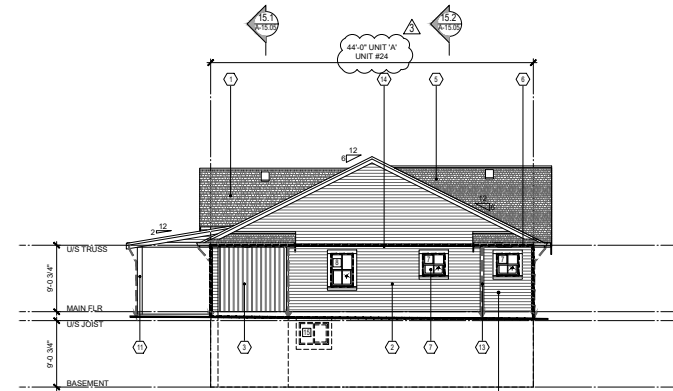
**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION	
LIMITING DISTANCE:	9.10.15
AREA OF EXPOSING BUILDING FACE:	6.35m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	40.4m <sup>2</sup>
ALLOWED GLAZED OPENINGS:	6.3m <sup>2</sup>
FIRE RESISTANCE RATING:	15.5%
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION	
LIMITING DISTANCE:	9.10.15
AREA OF EXPOSING BUILDING FACE:	7.14m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	34.56m <sup>2</sup>
ALLOWED GLAZED OPENINGS:	14.1m <sup>2</sup>
FIRE RESISTANCE RATING:	40.9%
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE



**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION	
LIMITING DISTANCE:	9.10.15
AREA OF EXPOSING BUILDING FACE:	1.37m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	40.6m <sup>2</sup>
ALLOWED GLAZED OPENINGS:	2.8m <sup>2</sup>
FIRE RESISTANCE RATING:	7.2%
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE

**ELEVATION MATERIAL LEGEND**

- ① COMPOSITE ASPHALT SHINGLES
- ② CEMENT BOARD HORIZONTAL SIDING
- ③ CEMENT BOARD AND BATTEN SIDING
- ④ 2X10 PAINTED WOOD FASCIA c/w 1X4 WOOD TRIM
- ⑤ 2" PREFINISHED ALUMINUM GUTTER ON 2X8 PAINTED WOOD FASCIA
- ⑥ SCALED DOUBLE GLAZED P.V.C. WINDOW
- ⑦ SCALED DOUBLE GLAZED P.V.C. SLIDING DOOR c/w 2X6 WOOD TRIM AROUND
- ⑧ ENTRY DOOR c/w 2x6 WOOD TRIM AROUND
- ⑨ OVERHEAD GARAGE DOOR c/w 2x6 SIDING TRIM & 2X10 HEADER TRIM
- ⑩ PAINTED WOOD POST
- ⑪ 2x6 PAINTED WOOD TRIM
- ⑫ PREFINISHED METAL THROUGH WALL FLASHING
- ⑬ 2X4 BRACKET
- ⑭ WOOD BRACKET
- ⑮ CEMENT BOARD PANEL ON BUILT UP WOOD COLUMN c/w CORNER TRIM

COLOUR SCHEME B:  
SEE A-00.05

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DATE	REVISIONS
2019-06-28	PLANNING REVISIONS
2019-03-28	BP AMENDMENT
2018-11-23	REVISED AS PER PLAN REVIEWER COMMENTS
2018-10-12	REVISED AS PER BP PRELIMINARY REVIEW
2018-05-25	REVISED FOR BP
2017-11-26	PROGRESS SET

CONSULTANT

CLIENT  
INFINITY PROPERTIES

PROJECT  
EASTRIDGE

5028 - 148 Street  
SURREY, BC

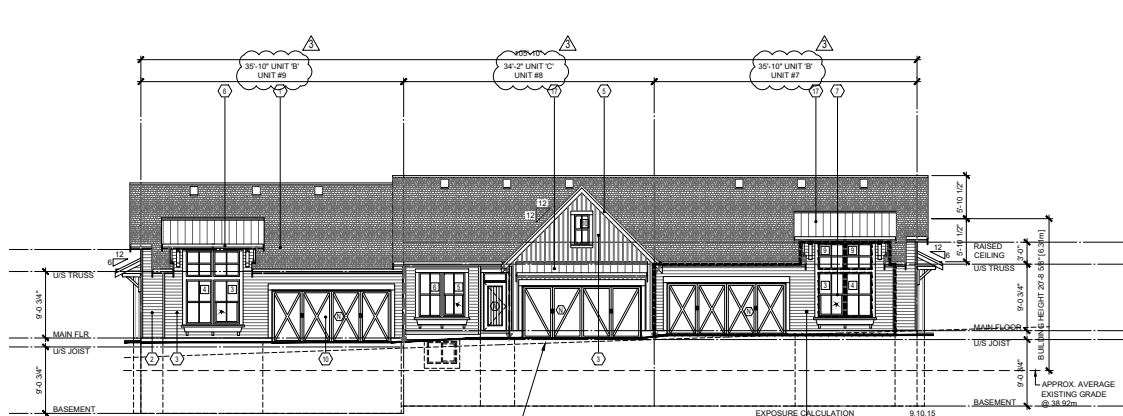
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BUILDING 15  
ELEVATIONS

DATE: 2017-09-07 FILE NO.  
OWN: ID  
CHK: ch 1521

SEAL  
SHEET NO.

A-15.04

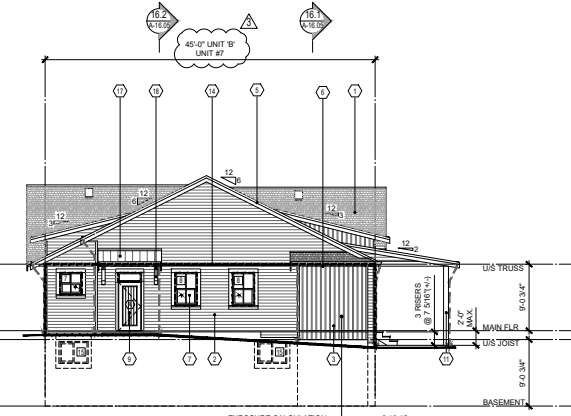




**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"

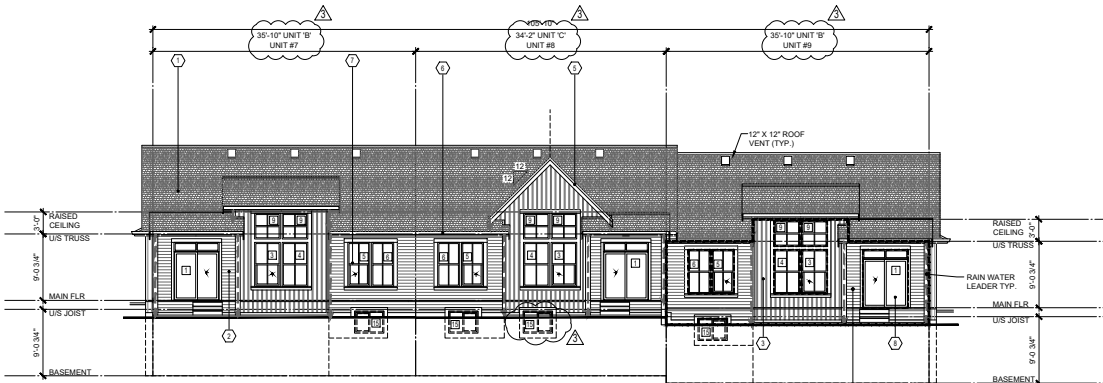
PROPOSED GRADE  
@ CENTRE LINE OF ROAD

EXPOSURE CALCULATION	
LIMITING DISTANCE:	9.10.15
AREA OF EXPOSING BUILDING FACE:	62.7m <sup>2</sup>
AREA OF GLAZED OPENINGS:	62.2m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	18.8%
ALLOWED GLAZED OPENINGS:	88.8%
FIRE RESISTANCE RATINGS:	0
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE



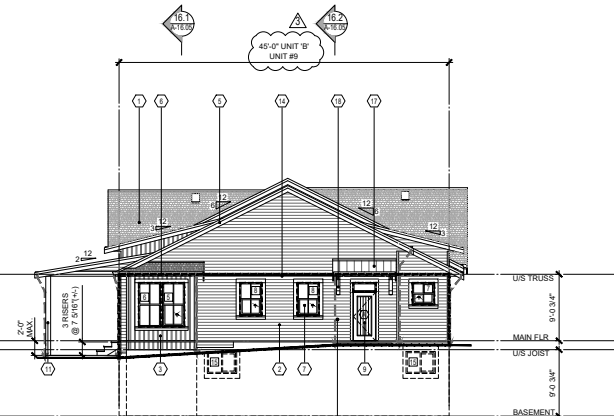
**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION	
LIMITING DISTANCE:	9.10.15
AREA OF EXPOSING BUILDING FACE:	1.99m <sup>2</sup>
AREA OF GLAZED OPENINGS:	42.7m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	8.7%
ALLOWED GLAZED OPENINGS:	10.6%
FIRE RESISTANCE RATINGS:	0
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION	
LIMITING DISTANCE:	9.10.15
AREA OF EXPOSING BUILDING FACE:	7.14m <sup>2</sup>
AREA OF GLAZED OPENINGS:	41.6m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	14.4m <sup>2</sup>
ALLOWED GLAZED OPENINGS:	34.6%
FIRE RESISTANCE RATINGS:	85.9%
FIRE RESISTANCE RATINGS:	0
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION	
LIMITING DISTANCE:	9.10.15
AREA OF EXPOSING BUILDING FACE:	7.58m <sup>2</sup>
AREA OF GLAZED OPENINGS:	76.2m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	7.1m <sup>2</sup>
ALLOWED GLAZED OPENINGS:	18.5%
FIRE RESISTANCE RATINGS:	84.2%
FIRE RESISTANCE RATINGS:	0
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE

REVISIONS
2019-06-28 PLANNING REVISIONS
2019-03-29 BP AMENDMENT
2018-11-23 REVISED AS PER PLANNING REVIEW COMMENTS
2018-10-12 REVISED AS PER BP PRELIMINARY REVIEW
2018-05-25 REVISED FOR BP
2017-11-26 PROGRESS SET

CLIENT  
**INFINITY PROPERTIES**

PROJECT  
**EASTRIDGE**  
5828 - 148 Street  
SURREY, BC

DRAWING TITLE  
**BUILDING 16  
ELEVATIONS**

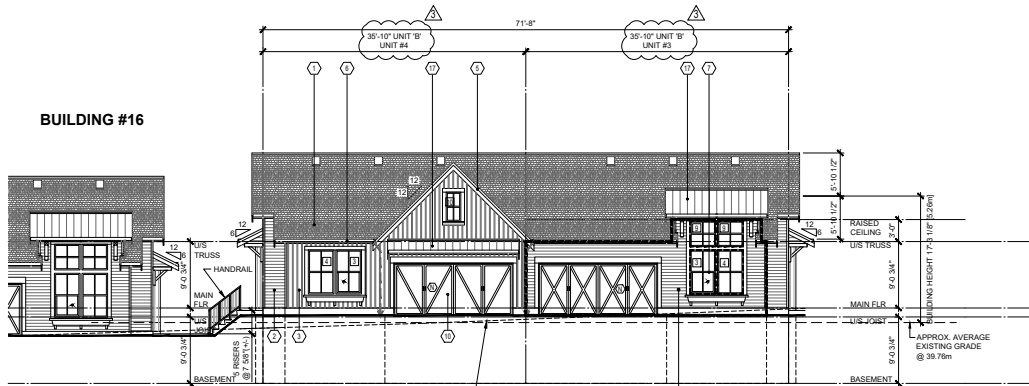
DATE: 2017-09-07 FILE NO.  
OWN: ID  
CHK: ch 1521

ELEVATION MATERIAL LEGEND	
① COMPOSITE ASPHALT SHINGLES	① ENTRY DOOR c/w 2x6 WOOD TRIM AROUND
② CEMENT BOARD HORIZONTAL SIDING	② OVERHEAD GARAGE DOOR c/w 2x6 SIDE TRIM & 2x10 HEADER TRIM
③ CEMENT BOARD AND BATTEN SIDING	③ PAINTED WOOD POST
④ 2x10 PAINTED WOOD FASCIA c/w 1x4 WOOD TRIM	④ 2x6 PAINTED WOOD TRIM
⑤ 2\"/>	
⑥ 2\"/>	
⑦ 2\"/>	
⑧ 2\"/>	
⑨ 2\"/>	
⑩ 2\"/>	

COLOUR SCHEME A:  
SEE A-00.05

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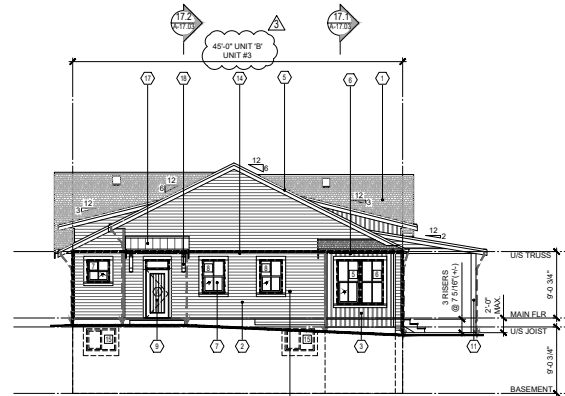
**BUILDING #16**



**NORTH ELEVATION**  
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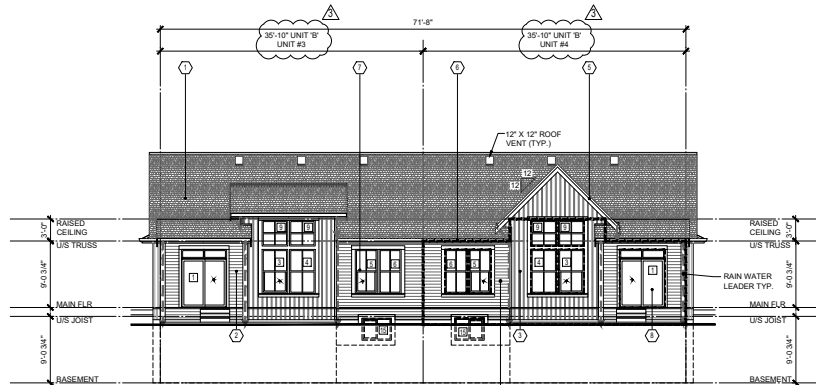
PROPOSED GRADE  
@ CENTRE LINE OF ROAD

EXPOSURE CALCULATION	9.10.15
LIMITING DISTANCE	6.71m
AREA OF EXPOSING BUILDING FACE:	34.1m <sup>2</sup>
AREA OF GLAZED OPENINGS:	6.2m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	18.1%
ALLOWED GLAZED OPENINGS:	87.2%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE



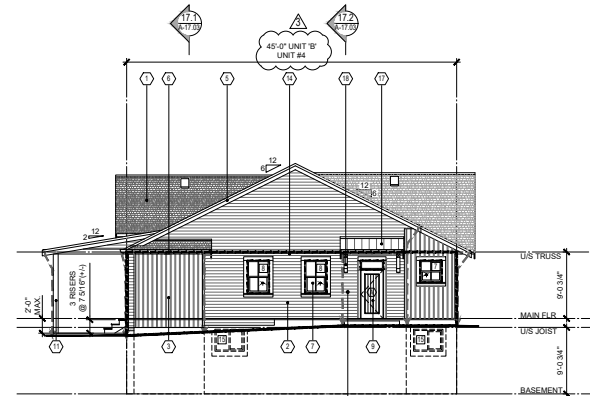
**WEST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION	9.10.15
LIMITING DISTANCE	7.14m
AREA OF EXPOSING BUILDING FACE:	43.9m <sup>2</sup>
AREA OF GLAZED OPENINGS:	7.5m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	16.1%
ALLOWED GLAZED OPENINGS:	84.7%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION	9.10.15
LIMITING DISTANCE	7.14m
AREA OF EXPOSING BUILDING FACE:	41.6m <sup>2</sup>
AREA OF GLAZED OPENINGS:	14.6m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	34.6%
ALLOWED GLAZED OPENINGS:	85.9%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE



**EAST ELEVATION**  
SCALE: 1/8"=1'-0"

EXPOSURE CALCULATION	9.10.15
LIMITING DISTANCE	1.58m
AREA OF EXPOSING BUILDING FACE:	43.9m <sup>2</sup>
AREA OF GLAZED OPENINGS:	3.7m <sup>2</sup>
ACTUAL GLAZED OPENINGS:	8.5%
ALLOWED GLAZED OPENINGS:	10.9%
FIRE RESISTANCE RATING:	0
WALL CONSTRUCTION:	COMBUSTIBLE
WALL CLADDING:	COMBUSTIBLE

**ELEVATION MATERIAL LEGEND**

- ① COMPOSITE ASPHALT SHINGLES
- ② CEMENT BOARD HORIZONTAL SIDING
- ③ CEMENT BOARD AND BATTEN SIDING
- ④ 2x10 PAINTED WOOD FASCIA c/w 1x4 WOOD TRIM
- ⑤ 2x6 PREFINISHED ALUMINUM GUTTER ON 2x8 PAINTED WOOD FASCIA
- ⑥ SEALED DOUBLE GLAZED P.V.C. WINDOW
- ⑦ SEALED DOUBLE GLAZED P.V.C. SLIDING DOOR c/w 2x6 WOOD TRIM AROUND
- ⑧ ENTRY DOOR c/w 2x6 WOOD TRIM AROUND
- ⑨ OVERHEAD GARAGE DOOR c/w 2x6 SIDE TRIM & 2x10 HEADERS TRIM
- ⑩ PAINTED WOOD POST
- ⑪ 2x6 PAINTED WOOD TRIM
- ⑫ 2x6 PAINTED WOOD POST
- ⑬ PREFINISHED METAL THROUGH WALL FLASHING
- ⑭ 2x4x8 METAL ROOF
- ⑮ WOOD BRACKET
- ⑯ CEMENT BOARD PANEL ON BUILT UP WOOD COLUMN w/ CORNER TRIM

**COLOUR SCHEME B:**  
SEE A-00.05

Page 26 of 40

2019-06-28	PLANNING REVISIONS
2019-02-28	BP AMENDMENT
2018-11-23	REVISED AS PER PLAN REVIEWER COMMENTS
2018-10-12	REVISED AS PER BP PRELIMINARY REVIEW
2018-05-25	REVISED FOR BP
2017-11-26	PROGRESS SET

REVISIONS
CONSULTANT

CLIENT  
**INFINITY PROPERTIES**

PROJECT  
**EASTRIDGE**

5228 - 148 Street  
SURREY, BC

DRAWING TITLE

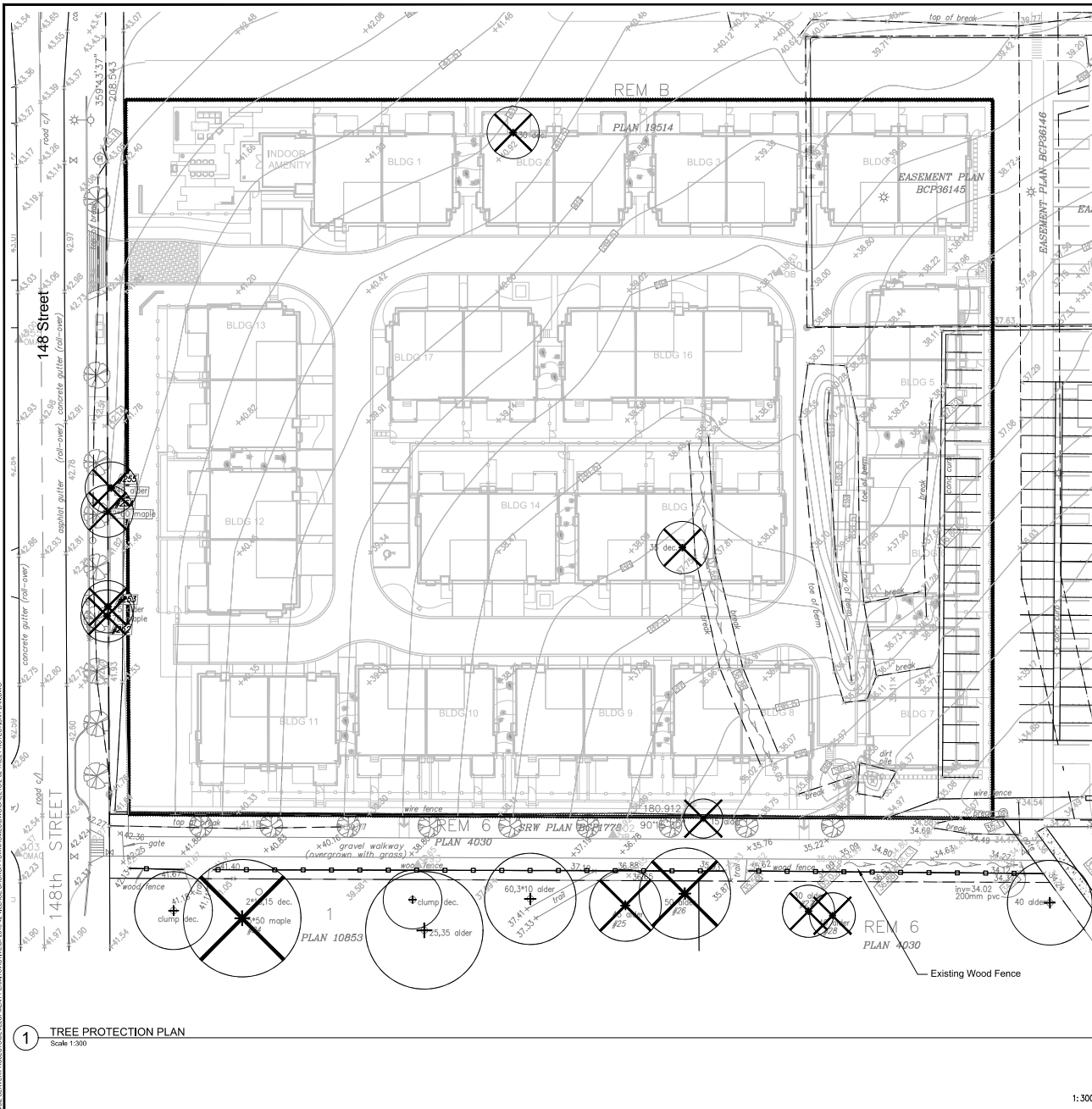
**BUILDING 17 ELEVATIONS**

DATE	2017-09-07	FILE NO.
OWN	ID	
CHK	ch	1521

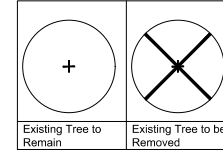
SEAL  
SHEET NO.

**A-17.02**

# SCHEDULE A



## TREE LEGEND



**Note:**  
- Refer to Arborist's Tree Inventory and Assessment List for full details.

2017 10th Avenue  
 Suite 1, 2017 10th Avenue  
 Surrey, British Columbia  
 V1M 4B9  
 P 604.282.2204  
 F 604.282.2202  
 info@vca.ca



No.	By	Description	Date
12	AD	Revised for BP Amendment	July 16, 2019
11	AD	Revised for BP Amendment	July 8, 2019
10	AD	Issued for BP Amendment	June 28, 2019
9	AD	Issued for BP Amendment	March 1, 2019
8	AD	Issued for Building Permit	Nov 23, 2018
7	MW	Issued for Building Permit	Aug 16, 2018
6	AD	Issued for Building Permit	Jun 25, 2018
5	MR	Issue for DP	Mar. 02, 2017
4	MW	Issue for DP	Nov. 07, 2016
3	MW	Issue for DP	Oct. 07, 2016
2	MW	Issue for Draft Review	Oct. 03, 2016
1	AD	Issue for Draft Review	Sep. 23, 2016

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**Project:**  
 EASTRIDGE  
**Location:**  
 5528 - 148 Street  
 Surrey, BC

**Drawn:** AD  
**Checked:** DJ  
**Approved:** VCA

**Stamp:**  
 Original Sheet Size:  
 A1

**Scale:**  
 1:300

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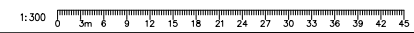
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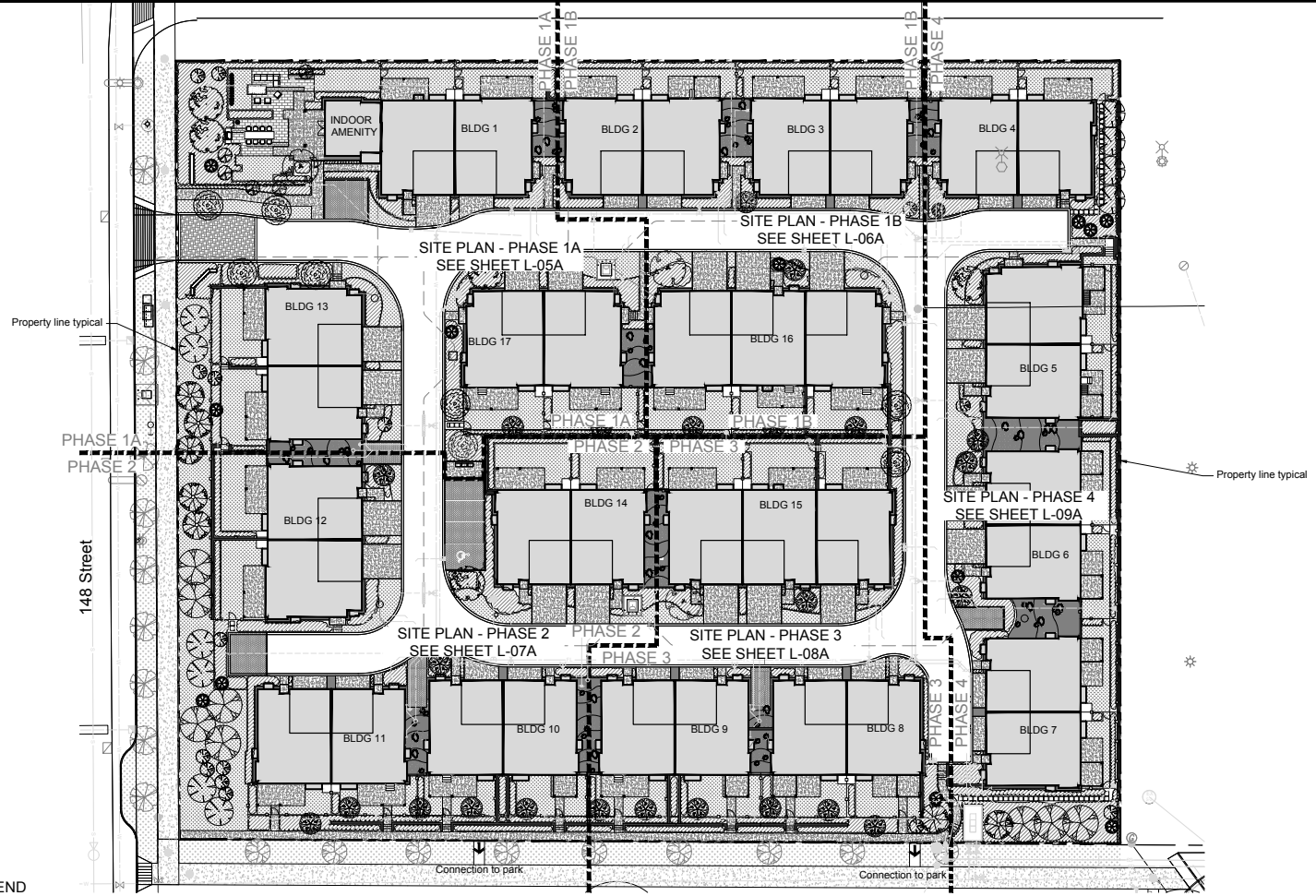


VZD Project #:  
**DP2016-42**

Drawing #:  
**L-02**

**1 TREE PROTECTION PLAN**  
 Scale 1:300





**TREE LEGEND**

Acer platanoides 'Crimson Sentry'	Acer palmatum 'Sango Kaku'	Cercidiphyllum japonicum 'Red Fox'	Cercis canadensis 'Appalachian Red'	Cornus x 'Starlight'	Magnolia kobus var. stellata 'Pink Star' (Off-site)
Picea omorika	Pinus flexilis 'Vanderwolfs Pyramid'	Pinus uncinata	Chamaecyparis obtusa 'Gracilis'	Tilia cordata	(Street Tree) By City

**TREE SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
See Legend	3	Acer platanoides 'Crimson Sentry'	Crimson Sentry Maple	B+B: 6cm cal.	Per Plan
See Legend	5	Acer palmatum 'Sango Kaku'	Coral Bark Japanese Maple	B+B: 6cm cal.	Per Plan
See Legend	8	Cercidiphyllum japonicum 'Red Fox'	Red Fox Katsura	B+B: 6cm cal.	Per Plan
See Legend	5	Cercis canadensis 'Appalachian Red'	Appalachian Red Redbud	B+B: 6cm cal.	Per Plan
See Legend	24	Cornus x 'Starlight'	Starlight Dogwood	B+B: 6cm cal.	Per Plan
See Legend	9	Magnolia kobus var. stellata 'Pink Star' (Off-site)	Pink Star Magnolia	B+B: 3.0m Height	Per Plan
See Legend	8	Picea omorika	Serbian Spruce	B+B: 3.0m Height; Single Leader	Per Plan
See Legend	15	Pinus flexilis 'Vanderwolfs Pyramid'	Vanderwolf's Pyramid Pine	B+B: 3.0m Height; Single Leader	Per Plan
See Legend	7	Pinus uncinata	Mountain Pine	B+B: 3.0m Height; Single Leader	Per Plan
See Legend	13	Chamaecyparis obtusa 'Gracilis'	Dwarf Hinoki Cypress	B+B: 3.0m Height; Single Leader	Per Plan
See Legend	10	Tilia cordata	Littleleaf Linden	B+B: 6cm cal.	Per Plan
See Legend	9	(Street Tree) by City			

No.	By	Description	Date
12	AD	Re-issued for BP Amendment	July 16, 2019
11	AD	Re-issued for BP Amendment	July 8, 2019
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No.	By	Description	Date

**REVISIONS TABLE FOR SHEET**

Project:  
EASTRIDGE

Location:  
5528 - 148 Street  
Surrey, BC

Drawn: AD	Stamp:
Checked: DJ	
Approved: VZ	Original Sheet Size: A0
Scale: 1:300	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. EXCLUSIVE PROPERTY OF THE OWNER AND MADE IN RELIANCE ON THE CONSULTANT'S WORK. ALL REVISIONS TO THE DRAWING SHALL BE MADE BY THE CONSULTANT. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION.



Drawing Title:  
**OVERALL SITE PLAN**



VDZ Project #:  
**DP2016-42**

Drawing #:  
**L-03**

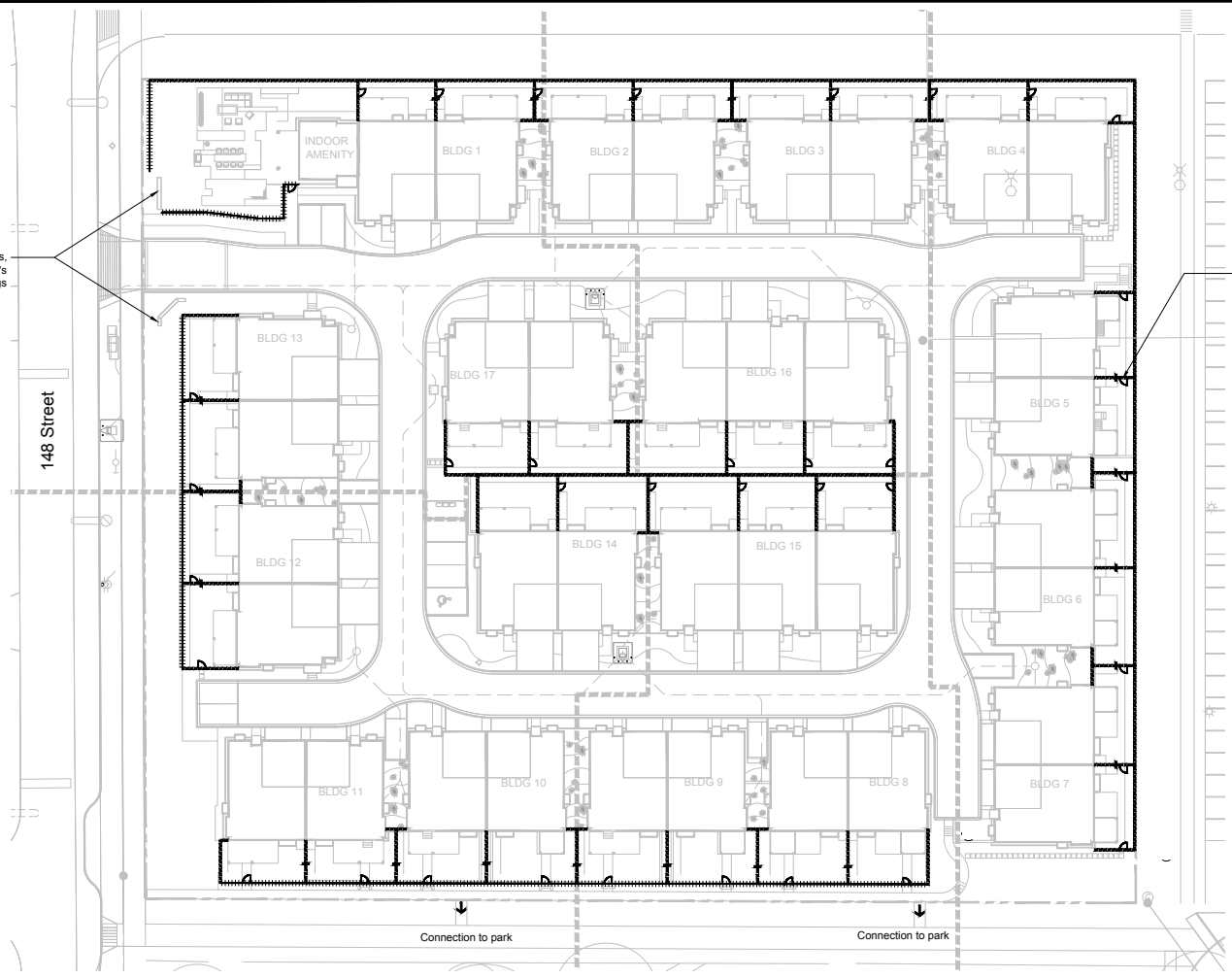
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Entry signage walls, refer to Architect's drawings

148 Street

Start 1200mm cedar fence- typ.



- NOTES:
1. All fences along property lines to be set 150mm within property boundary.
  2. Gate heights to match fence heights and type.
  3. Where gates are located at a change in fence height gate to be installed to height of lower fence.

FENCING LEGEND

KEY	REF.	DESCRIPTION
	1 LD-02	1200mm CEDAR FENCE
	1 LD-02	1800mm CEDAR FENCE First 2 panels out from house to be 1800mm step down to 1200mm at panel 3.
	2 LD-02	900mm PICKET FENCE
	1/2 LD-02	GATE

No.	By:	Description	Date
12	AD	Re-issued for BP Amendment	July 16, 2019
11	AD	Re-issued for BP Amendment	July 8, 2019
10	AD	Issued for BP Amendment	June 28, 2019
9	AD	Issued for BP Amendment	March 1, 2019
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No.	By:	Description	Date

REVISIONS TABLE FOR SHEET

Project:  
EASTRIDGE

Location:  
5528 - 148 Street  
Surrey, BC

Drawn: AD	Stamp:
Checked: DJ	
Approved: VZ	Original Sheet Size: A1

Page 29 of 40

Scale:  
1:300

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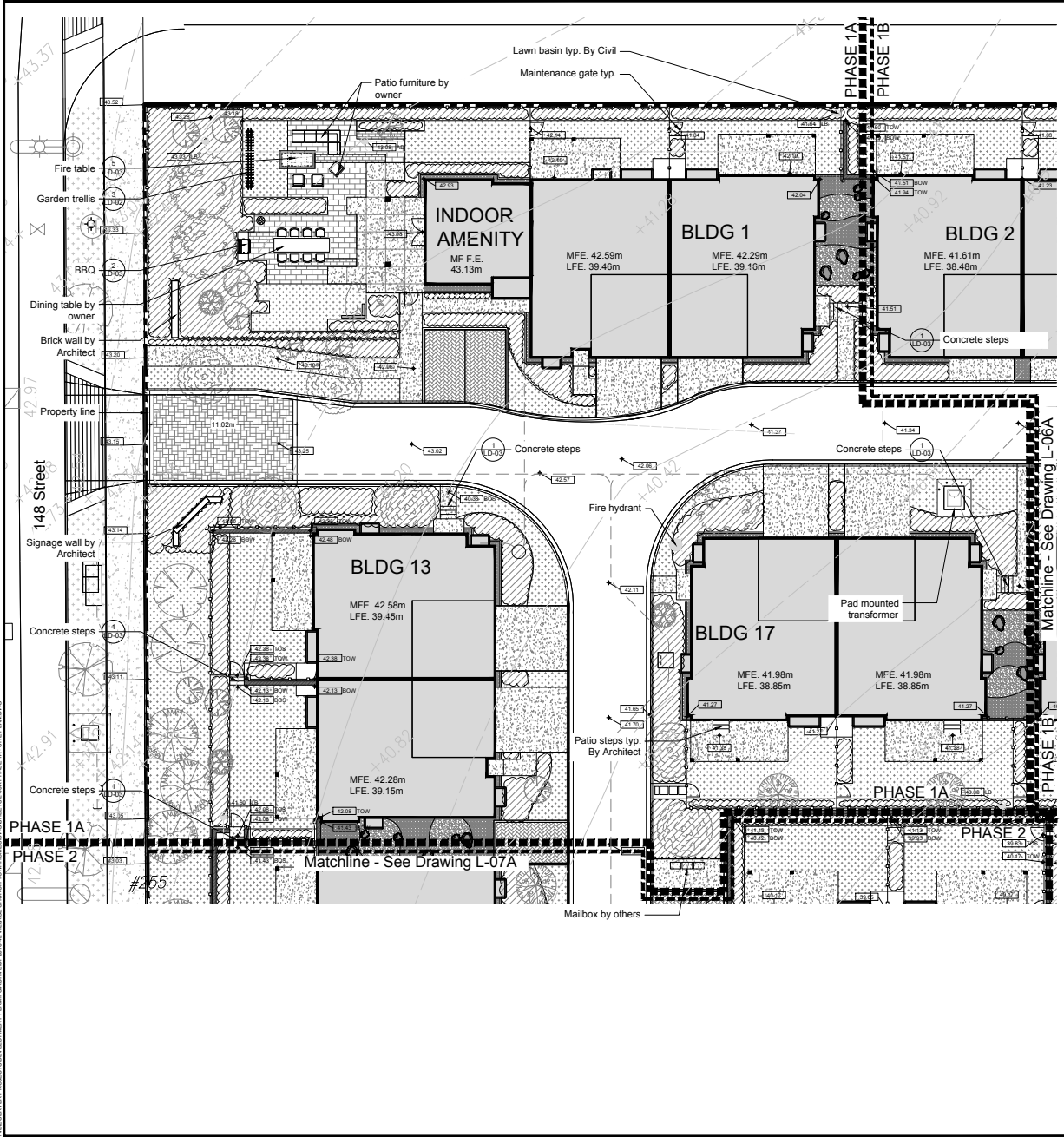


Drawing Title:  
FENCING PLAN



VZ Project #:  
DP2016-42

Drawing #:  
L-04



LANDSCAPE LEGEND

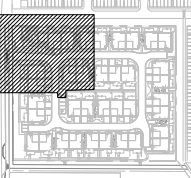
KEY	REF.	DESCRIPTION
	3 LD-01	CONCRETE SLAB
	6 LD-01	PERMEABLE PAVERS
		RIVER ROCK 35-50mm Round River Rock
		MIXED RIVER ROCK 50-150mm Round River Rock
	5 LD-01	VEHICULAR CONCRETE PAVERS (80mm)
	4 LD-01	CONCRETE PAVERS
	4 LD-01	CONCRETE PAVERS
	40.7	SPOT ELEVATION
	1 LD-01	BLOCK RETAINING WALL
	2 LD-01	DRIP STRIP
	1/2 LD-02	FENCE See Fencing Plan L-04 for fence types
		SOD See Critical Landscape Notes for Specifications
		PLANTING AREA
	3 LD-03	LANDSCAPE BOULDERS
	7 LD-01	HYDRAPRESSED SLAB WALKWAY
	1/2 LD-02	GATE
	4 LD-03	BENCH

NOTE:  
Concrete driveways are by Architect.

van der Zalm + associates inc.  
Landscape Architecture  
Suite 1, 20177 97th Avenue  
Langley, British Columbia  
V1W 4B9  
P 604 882 0264  
F 604 882 0942  
info@vaz.ca



Key Map (NTS)



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No.	By	Description	Date
12	AD	Re-issued for BP Amendment	July 16, 2019
11	AD	Re-issued for BP Amendment	July 8, 2019
10	AD	Issued for BP Amendment	June 28, 2019
9	AD	Issued for BP Amendment	March 1, 2019
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3	MW	Issue for DP	Oct. 07, 2016
2	MW	Issue for Draft Review	Oct. 03, 2016
1	AD	Issue for Draft Review	Sep. 23, 2016

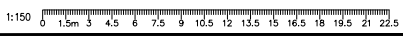
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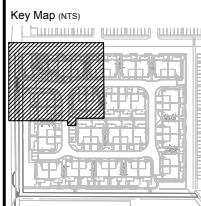
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Project:  
EASTRIDGE

Location:  
5528 - 148 Street  
Surrey, BC

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Approved: [Signature]  
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No.	By	Description	Date
12	AD	Re-issued for BP Amendment	July 16, 2019
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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:  
EASTRIDGE

Location:  
5528 - 148 Street  
Surrey, BC

Drawn: AD  
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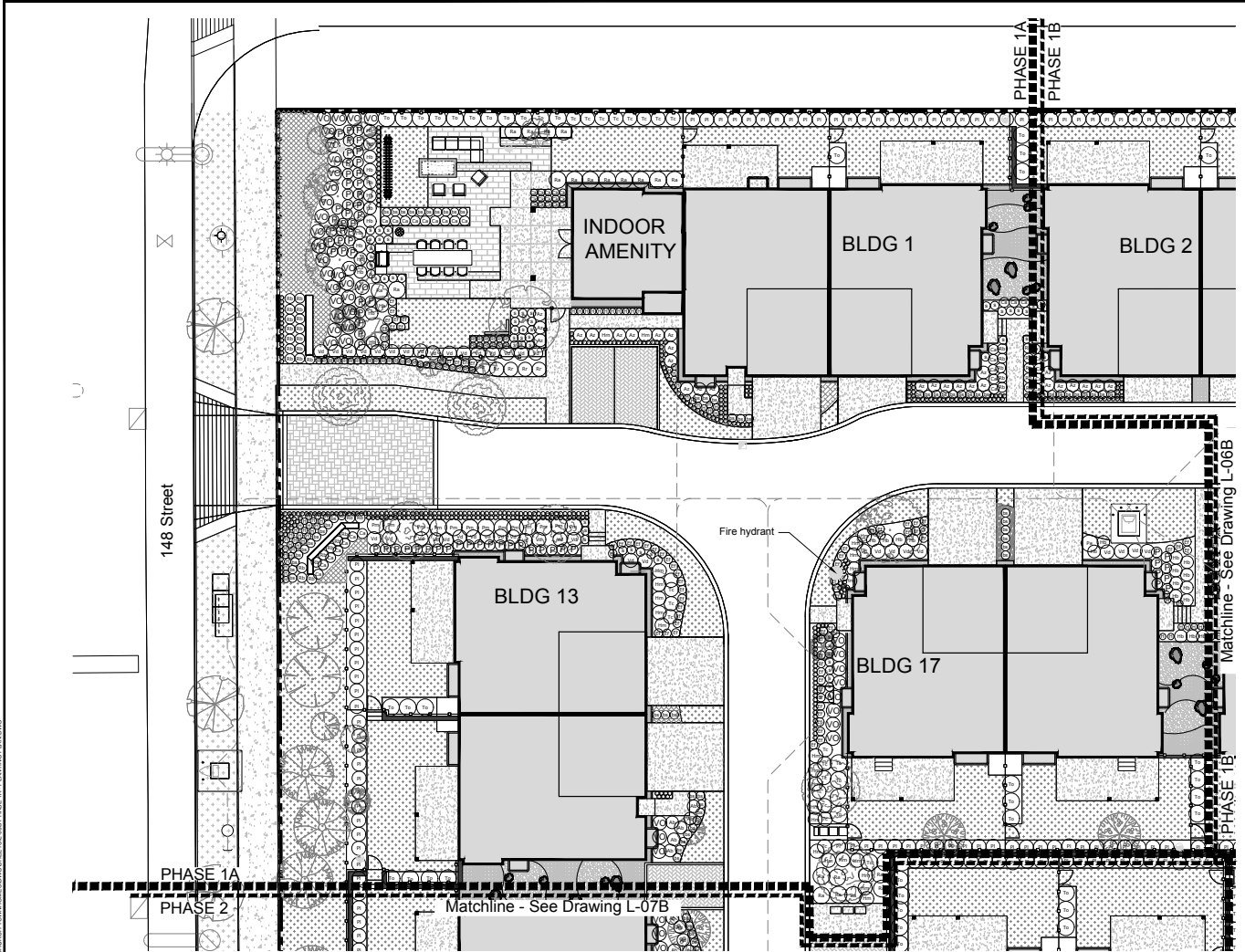
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Drawing Title: PHASE 1A - PLANTING PLAN



VDZ Project #: DP2016-42

Drawing #: L-05B

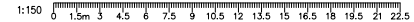


PHASE 1A PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>SHRUBS</b>					
Ab	6	Abies balsamea 'Nana'	Dwarf Balsam Fir	#2 Pot	900mm o.c.
Az	21	Azalea 'Mandarin Lights'	Mandarin Lights Azalea	#2 Pot	1000mm o.c.
Bs	55	Buxus sempervirens 'Suffruticosa'	Dwarf English Boxwood	#1 Pot	600mm o.c.
Ck	15	Cornus sericea 'Kelsey'	Kelsey Redtwig Dogwood	#2 Pot	500mm o.c.
Hm	24	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea	#2 Pot	1000mm o.c.
Pa	1	Picea abies 'Nidiformis'	Nest Spruce	#3 Pot	1200mm o.c.
Pm	13	Pinus mugo 'Pumilio'	Dwarf Mugo Pine	#3 Pot	1200mm o.c.
Pl	72	Prunus lusitanica	Portuguese Laurel	#2 Pot	1000mm o.c.
Rb	30	Rhododendron 'Blue Diamond'	Blue Diamond Rhododendron	#2 Pot	700mm o.c.
Ra	21	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	#3 Pot	1200mm o.c.
Rr	5	Rosa rugosa 'Purple Pavement'	Purple Pavement Rose	#2 Pot	1000mm o.c.
S	52	Spirea japonica 'Magic Carpet'	Magic Carpet Spirea	#1 Pot	600mm o.c.
Tc	18	Taxus cuspidata 'Nana'	Dwarf Japanese Yew	#2 Pot	1000mm o.c.
To	34	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	#3 Pot	1200mm o.c.
Vo	39	Vaccinium ovatum	Evergreen Huckleberry	#2 Pot	1000mm o.c.

Vd	41	Viburnum davidii	David's Viburnum	#2 Pot	1000mm o.c.
Ca	24	Calamagrostis x acutiflora 'Karl Foerster'	Foerster's Feather Reed Grass	#1 Pot	700mm o.c.
Er	511	Cotoneaster dammeri 'Strep's Finding'	Juneherry	#1 Pot	300mm o.c.
Sp	22	Erica carnea 'Springwood White'	Springwood White Winter Heather	#1 Pot	300mm o.c.
Ef	72	Euonymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	#1 Pot	600mm o.c.
F	176	Festuca glauca	Blue Fescue	#1 Pot	300mm o.c.
H	61	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	#1 Pot	450mm o.c.
Hb	32	Hosta 'Big Daddy'	Big Daddy Hosta	#1 Pot	900mm o.c.
L	179	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue English Lavender	#1 Pot	300mm o.c.
P	66	Polystichum minimum	Western Sword Fern	#1 Pot	750mm o.c.
Rf	37	Rudbeckia fulgida 'Goldstrum'	Black-Eyed Susan	#1 Pot	450mm o.c.
S	13	Sedum spurium 'Dragon's Blood'	Dragon's Blood Stonecrop	#1 Pot	450mm o.c.

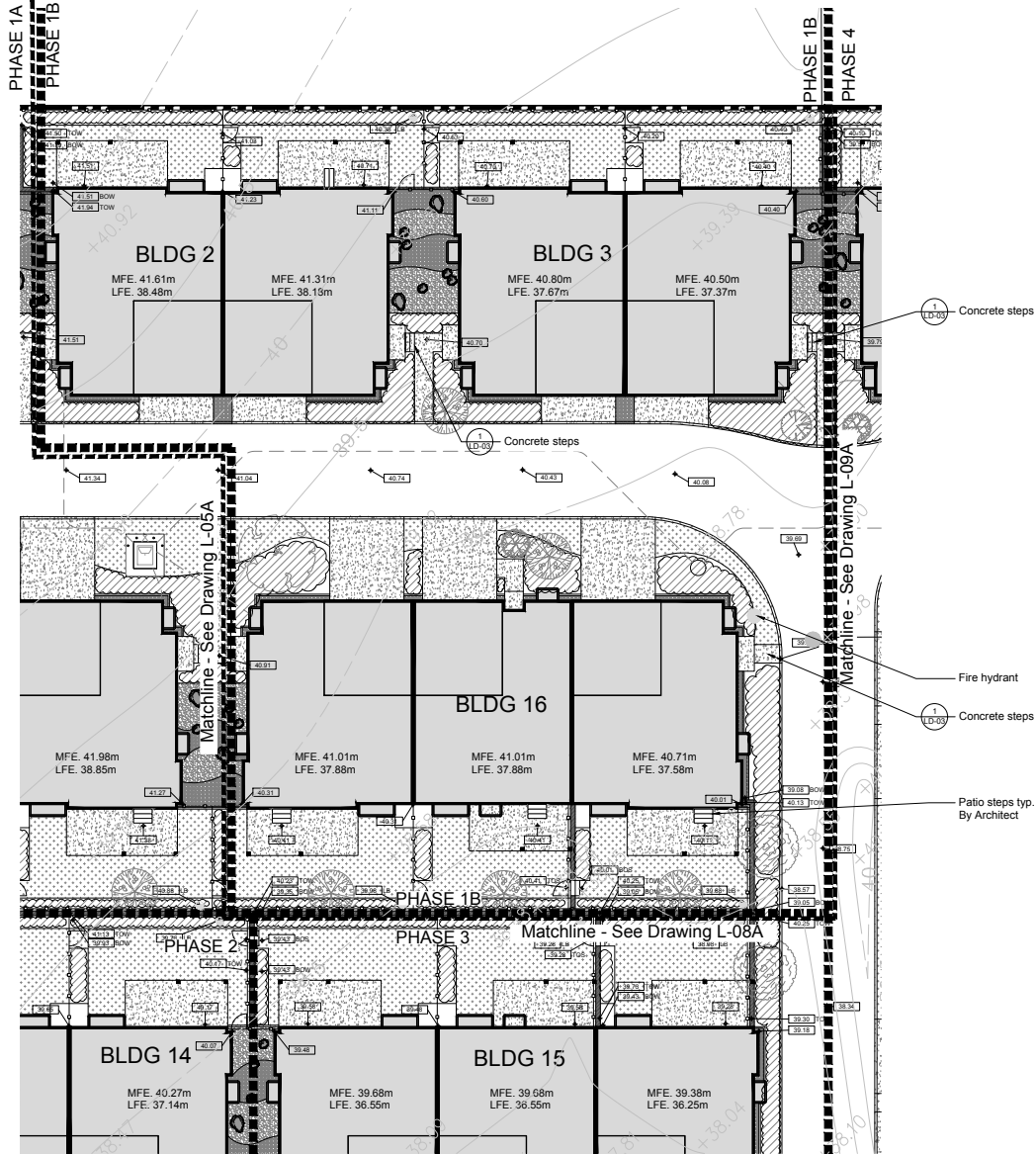
- All plant material shall meet or exceed standards required by balna or bosta guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the topsoil will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend topsoil per soil analysis recommendations prior to spreading on site. Rejected topsoil shall be removed off site immediately at the landscape contractor's expense.
- Topsoil depths for planting as follows:
  - a. Shrubs: 450mm
  - b. Sod: 150mm
  - c. Tree pits: 1000mm with 300mm (below root ball)
- 1" minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated to iabc standards.



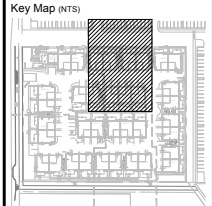
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**LANDSCAPE LEGEND**

KEY	REF.	DESCRIPTION
	3 LD-01	CONCRETE SLAB
	6 LD-01	PERMEABLE PAVERS
		RIVER ROCK 35-50mm Round River Rock
		MIXED RIVER ROCK 50-150mm Round River Rock
	5 LD-01	VEGETAL CONCRETE PAVERS (60mm)
	4 LD-01	CONCRETE PAVERS
	4 LD-01	CONCRETE PAVERS
		SPOT ELEVATION
	1 LD-01	BLOCK RETAINING WALL
	2 LD-01	DRIP STRIP
	1/2 LD-02	FENCE See Fencing Plan L-04 for fence types
		SOD See Critical Landscape Notes for Specifications
		PLANTING AREA
	3 LD-03	LANDSCAPE BOULDERS
	7 LD-01	HYDRAPRESSED SLAB WALKWAY
	1/2 LD-02	GATE
	4 LD-03	BENCH



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 Parks & Recreation • Civil Engineering  
 Urban Design • Landscape Architecture  
 Suite 1, 20177 97th Avenue | 604 482-0204  
 Surrey, British Columbia | 604 482-0460  
 V4W 4S9 | info@vaz.ca



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**REVISIONS TABLE FOR DRAWINGS**

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No.	By	Description	Date

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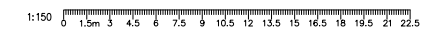
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**EASTRIDGE**

Location:  
5528 - 148 Street  
Surrey, BC

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Approved: 	Original Sheet Size: 

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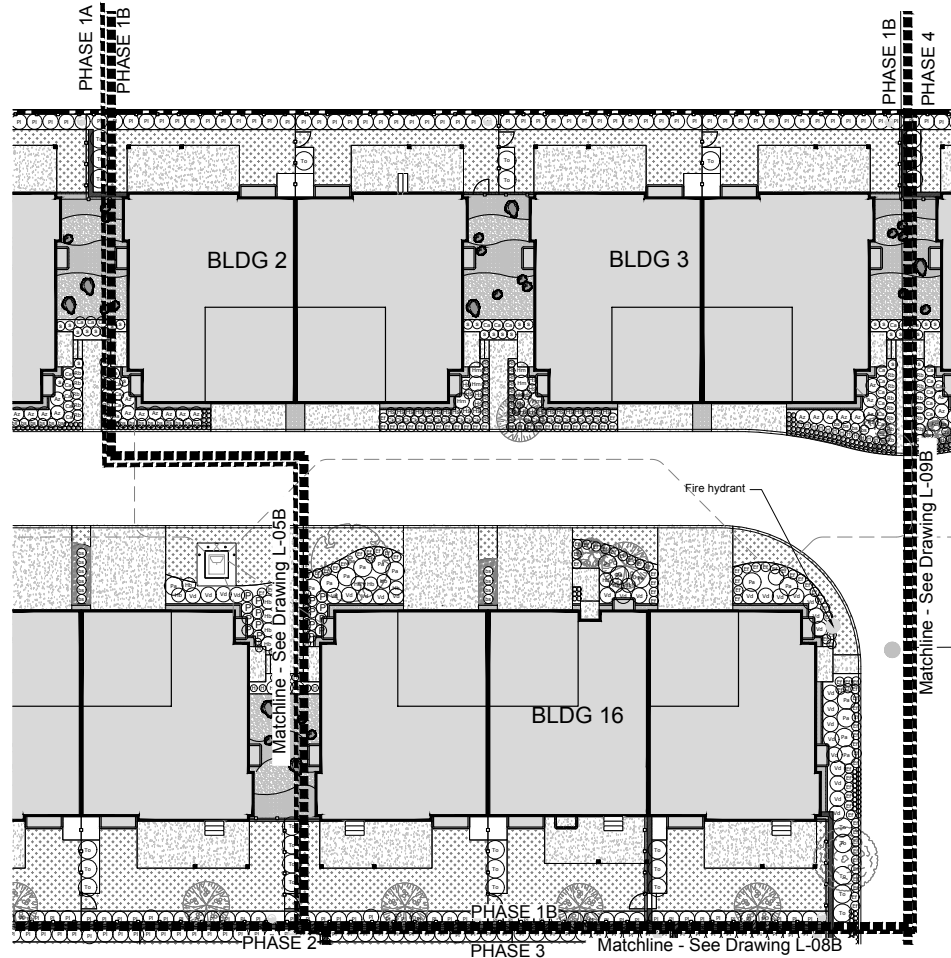
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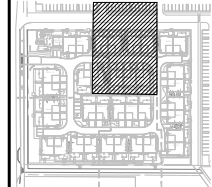
**PHASE 1B PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>SHRUBS</b>					
Az	16	Azalea 'Mandarin Lights'	Mandarin Lights Azalea	#2 Pot	1000mm o.c.
Bs	18	Buxus sempervirens 'Suffruticosa'	Dwarf English Boxwood	#1 Pot	600mm o.c.
Ck	24	Cornus sericea 'Kelsey'	Kelsey Redtwig Dogwood	#2 Pot	500mm o.c.
Hm	6	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea	#2 Pot	1000mm o.c.
Pa	15	Picea abies 'Nidiformis'	Nest Spruce	#3 Pot	1200mm o.c.
Pl	83	Prunus lusitana	Portuguese Laurel	#2 Pot	1000mm o.c.
Rb	12	Rhododendron 'Blue Diamond'	Blue Diamond Rhododendron	#2 Pot	700mm o.c.
S	17	Spirea japonica 'Magic Carpet'	Magic Carpet Spirea	#1 Pot	600mm o.c.
To	15	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	#3 Pot	1200mm o.c.
Vd	24	Viburnum davidii	David's Viburnum	#2 Pot	1000mm o.c.
<b>PERENNIALS/GROUNDCOVERS</b>					
Ca	16	Calamagrostis x acutiflora 'Karl Foerster'	Foerster's Feather Reed Grass	#1 Pot	700mm o.c.
Ef	101	Euonymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	#1 Pot	600mm o.c.
F	89	Festuca glauca	Blue Fescue	#1 Pot	300mm o.c.
H	23	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	#1 Pot	450mm o.c.
Hb	7	Hosta 'Big Daddy'	Big Daddy Hosta	#1 Pot	900mm o.c.
Hs	29	Helictotrichon sempervirens	Blue Oat Grass	#1 Pot	600mm o.c.
L	32	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue English Lavender	#1 Pot	300mm o.c.
P	9	Polystichum munifolium	Western Sword Fern	#1 Pot	750mm o.c.
Rf	18	Rudbeckia fulgida 'Goldstrum'	Black-Eyed Susan	#1 Pot	450mm o.c.
S	12	Sedum spurium 'Dragon's Blood'	Dragon's Blood Stonecrop	#1 Pot	450mm o.c.

- All plant material shall meet or exceed standards required by balsa or botis guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the topsoil will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend topsoil per soil analysis recommendations prior to spreading on site. Rejected topsoil shall be removed off site immediately at the landscape contractors expense.
- Topsoil depths for planting as follows:
  - Shrubs: 450mm
  - Soil: 150mm
  - Tree pits: 1000mm with 300mm (below root ball)
- 1" minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated to iabc standards.



**Key Map (N.T.S.)**



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**REVISIONS TABLE FOR SHEET**

No.	By	Description	Date

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EASTRIDGE

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5528 - 148 Street  
Surrey, BC

Drawn:  
AD

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Approved:  
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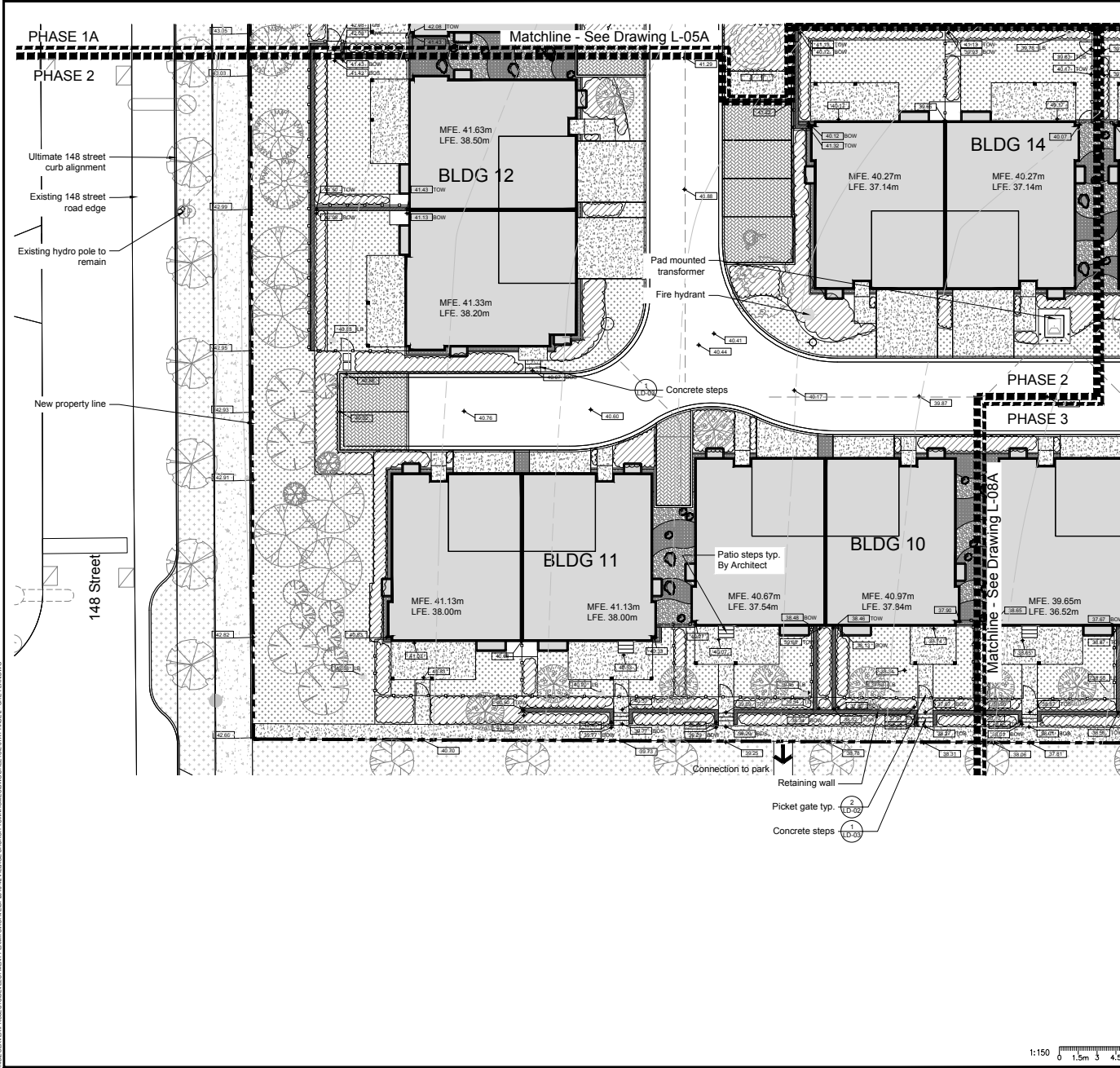
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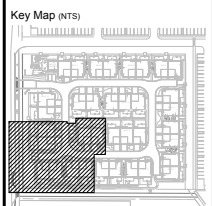


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### LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	3 LD-01	CONCRETE SLAB
	6 LD-01	PERMEABLE PAVERS
		RIVER ROCK 35-50mm Round River Rock
		MIXED RIVER ROCK 50-150mm Round River Rock
	5 LD-01	VEHICULAR CONCRETE PAVERS (80mm)
	4 LD-01	CONCRETE PAVERS
	4 LD-01	CONCRETE PAVERS
	40.17	SPOT ELEVATION
	1 LD-01	BLOCK RETAINING WALL
	2 LD-01	DRIP STRIP
	1/2 LD-02	FENCE See Fencing Plan L-04 for fence types
		SOD See Critical Landscape Notes for Specifications
		PLANTING AREA
	3 LD-03	LANDSCAPE BOULDERS
	7 LD-01	HYDRAPRESSED SLAB WALKWAY
	1/2 LD-02	GATE
	4 LD-03	BENCH



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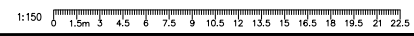
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Surrey, BC

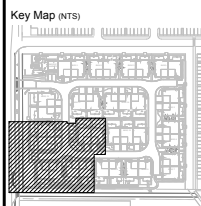
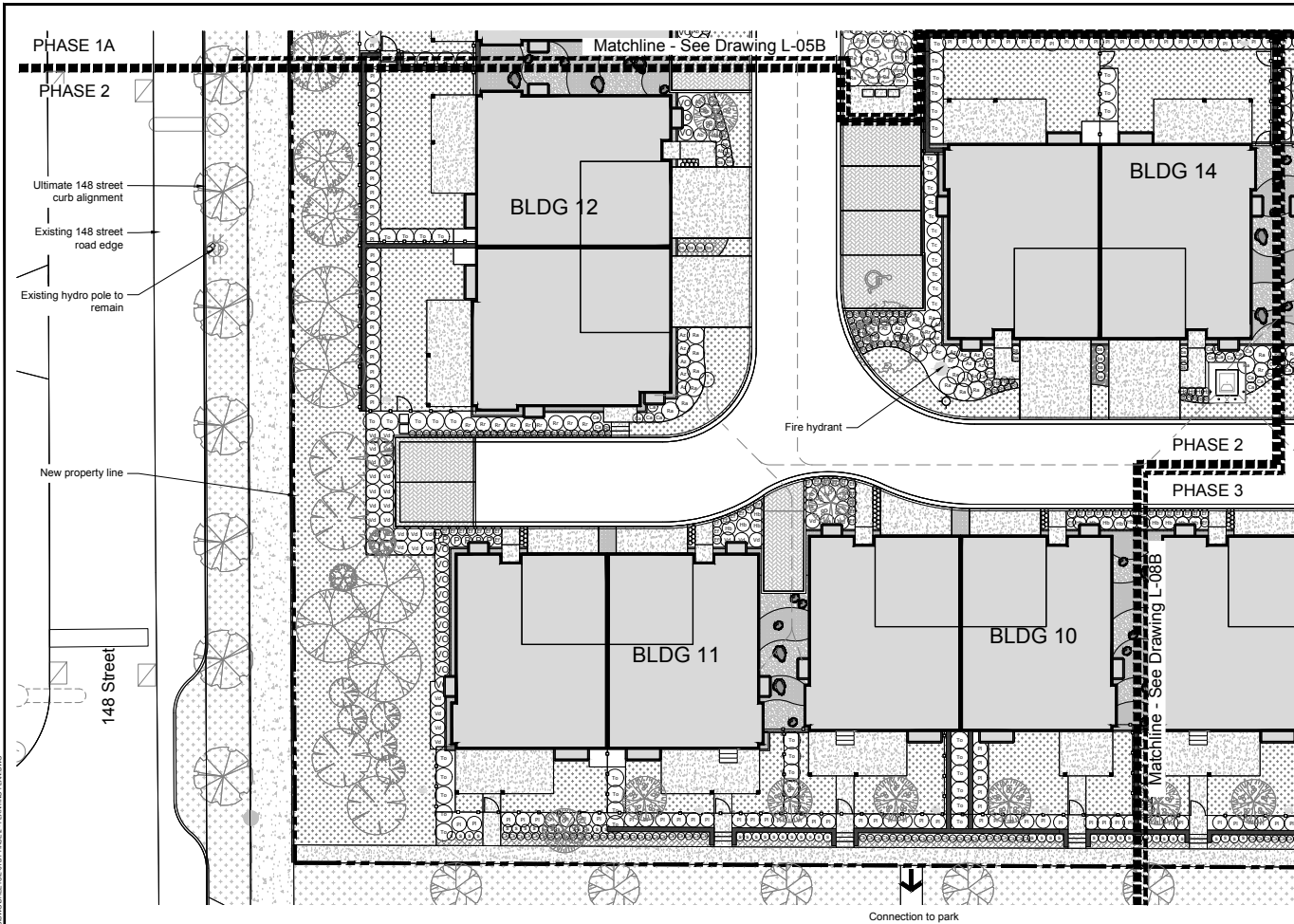
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van der Zalm + associates inc.  
Landscape Architecture  
Suite 1, 2017 97th Avenue  
Surrey, British Columbia  
V3W 4B9  
Phone: 604 462-0264  
Fax: 604 462-0943  
info@vaz.ca

Drawing Title: PHASE 2 - SITE PLAN  
VZ Project #: DP2016-42  
Drawing #: L-07A





No.	By	Description	Date
12	AD	Re-issued for BP Amendment	July 16, 2019
11	AD	Re-issued for BP Amendment	July 8, 2019
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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:  
 EASTRIDGE  
 Location:  
 5528 - 148 Street  
 Surrey, BC

Drawn: [Signature]  
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Checked:  
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Approved: [Signature]  
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Scale:  
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PHASE 2 PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>SHRUBS</b>					
Ab	6	Abies balsamea 'Nana'	Dwarf Balsam Fir	#2 Pot	900mm o.c.
Az	16	Azalea 'Mandarin Lights'	Mandarin Lights Azalea	#2 Pot	1000mm o.c.
Bs	22	Buxus sempervirens 'Suffruticosa'	Dwarf English Boxwood	#1 Pot	600mm o.c.
Ck	50	Cornus sericea 'Kelsey'	Kelsey Redtwig Dogwood	#2 Pot	500mm o.c.
Pa	1	Picea abies 'Nidiformis'	Nest Spruce	#3 Pot	1200mm o.c.
Pi	88	Prunus lusitanica	Portuguese Laurel	#2 Pot	1000mm o.c.
Ra	16	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	#3 Pot	1200mm o.c.
Rt	15	Rosa rugosa 'Purple Pavement'	Purple Pavement Rose	#2 Pot	1000mm o.c.
S	36	Spiraea japonica 'Magic Carpet'	Magic Carpet Spirea	#1 Pot	600mm o.c.
Tc	11	Taxus cuspidata 'Nana'	Dwarf Japanese Yew	#2 Pot	1000mm o.c.
To	38	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	#3 Pot	1200mm o.c.
Vo	13	Vaccinium ovatum	Evergreen Huckleberry	#2 Pot	1000mm o.c.
Vd	34	Viburnum davidii	David's Viburnum	#2 Pot	1000mm o.c.

<b>PERENNIAL/S/GROUNDCOVERS</b>					
Ca	22	Calamagrostis x acutiflora 'Karl Foerster'	Foerster's Feather Reed Grass	#1 Pot	700mm o.c.
Cd	22	Coloneaster dammeri 'Stein's Finding'	Juneberry	#1 Pot	300mm o.c.
Ef	194	Erica carnea 'Springwood White'	Springwood White Winter Heather	#1 Pot	300mm o.c.
Ef	36	Euonymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	#1 Pot	600mm o.c.
Hb	13	Hosta 'Big Daddy'	Big Daddy Hosta	#1 Pot	900mm o.c.
Hs	18	Helictotrichon sempervirens	Blue Oat Grass	#1 Pot	600mm o.c.
L	49	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue English Lavender	#1 Pot	300mm o.c.
P	5	Polystichum munium	Western Sword Fern	#1 Pot	750mm o.c.
Rt	65	Rudbeckia fulgida 'Goldstrum'	Black-Eyed Susan	#1 Pot	450mm o.c.
Sd	10	Sedum spurium 'Dragon's Blood'	Dragon's Blood Stonecrop	#1 Pot	450mm o.c.

- All plant material shall meet or exceed standards required by balsa or balsa guidelines.
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- Topsoil depths for planting as follows:
  - Shrubs: 450mm
  - Soil: 150mm
  - Tree pits: 1000mm with 300mm (below root ball)
- 1" minus compost must be installed in all shrub planting areas.
- All landscaped areas to be irrigated to fabric standards.



Drawing Title: PHASE 2 - PLANTING PLAN

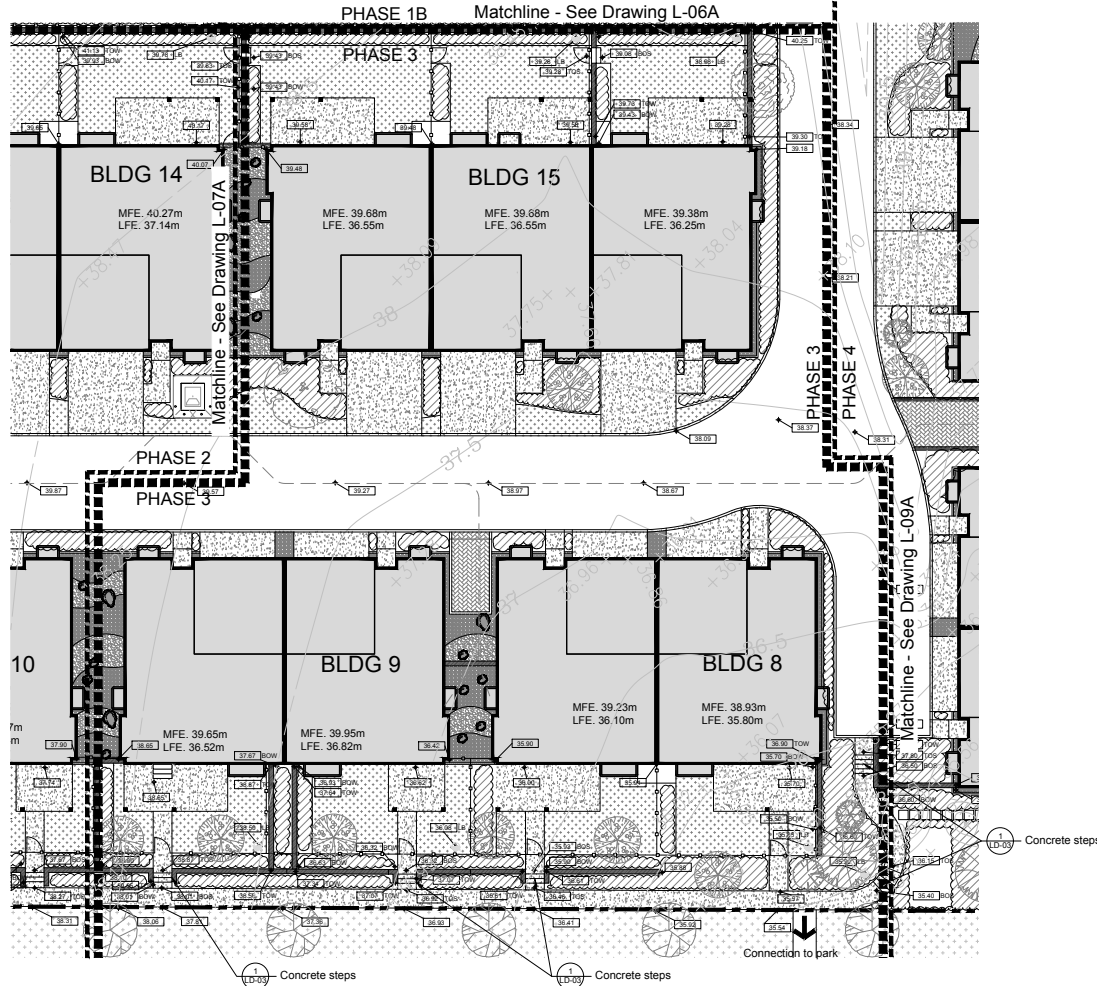


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Drawing #: L-07B

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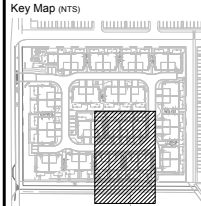
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LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	3 LD-01	CONCRETE SLAB
	6 LD-01	PERMEABLE PAVERS
		RIVER ROCK 35-50mm Round River Rock
		MIXED RIVER ROCK 50-150mm Round River Rock
	5 LD-01	VEHICULAR CONCRETE PAVERS (80mm)
	4 LD-01	CONCRETE PAVERS
	4 LD-01	CONCRETE PAVERS
	20.17	SPOT ELEVATION
	1 LD-01	BLOCK RETAINING WALL
	2 LD-01	DRIP STRIP
	1/2 LD-02	FENCE See Fencing Plan L-04 for fence types
		SOD See Critical Landscape Notes for Specifications
		PLANTING AREA
	3 LD-03	LANDSCAPE BOULDERS
	7 LD-01	HYDRAPRESSED SLAB WALKWAY
	1/2 LD-02	GATE
	4 LD-03	BENCH

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REVISIONS TABLE FOR DRAWINGS

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12	AD	Re-issued for BP Amendment	July 16, 2019
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3	MW	Issue for DP	Oct. 07, 2016
2	MW	Issue for Draft Review	Oct. 03, 2016
1	AD	Issue for Draft Review	Sep. 23, 2016

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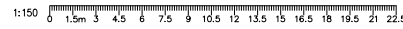
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Project:  
EASTRIDGE

Location:  
5528 - 148 Street  
Surrey, BC

Drawn: AD  
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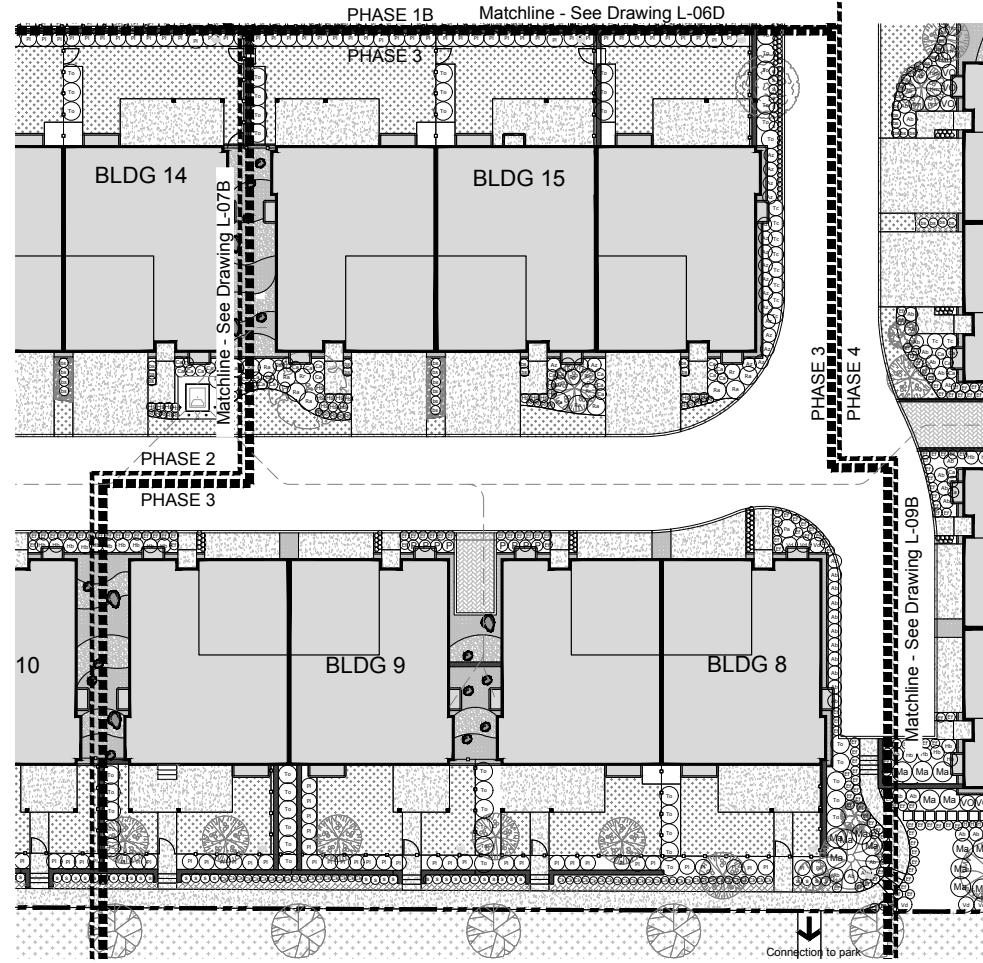




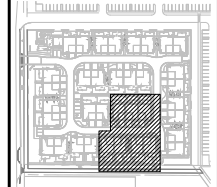
PHASE 3 PLANT SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>SHRUBS</b>					
Ab	15	Abies balsamea 'Nana'	Dwarf Balsam Fir	#2 Pot	900mm o.c.
Az	20	Azalea 'Mandarin Lights'	Mandarin Lights Azalea	#2 Pot	1000mm o.c.
Bs	12	Buxus sempervirens 'Suffruticosa'	Dwarf English Boxwood	#1 Pot	600mm o.c.
Ck	45	Cornus sericea 'Kelsey'	Kelsey Redtwig Dogwood	#2 Pot	500mm o.c.
Ma	5	Mahonia aquifolium	Oregon Grape	#3 Pot	1200mm o.c.
Pa	1	Picea abies 'Nidiformis'	Nest Spruce	#3 Pot	1200mm o.c.
Pi	69	Prunus lusitanica	Portuguese Laurel	#2 Pot	1000mm o.c.
Ra	11	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	#3 Pot	1200mm o.c.
Rr	6	Rosa rugosa 'Purple Pavement'	Purple Pavement Rose	#2 Pot	1000mm o.c.
S	35	Sprea japonica 'Magic Carpet'	Magic Carpet Spirea	#1 Pot	600mm o.c.
Tc	8	Taxus cuspidata 'Nana'	Dwarf Japanese Yew	#2 Pot	1000mm o.c.
To	43	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	#3 Pot	1200mm o.c.
Vd	3	Viburnum davidii	David's Viburnum	#2 Pot	1000mm o.c.
<b>PERENNIALS/GROUNDCOVERS</b>					
Ca	21	Calamagrostis x acutiflora 'Karl Foerster'	Foerster's Feather Reed Grass	#1 Pot	700mm o.c.
Ef	194	Erica carnea 'Springwood White'	Springwood White Winter Heather	#1 Pot	300mm o.c.
Et	67	Eucynymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	#1 Pot	600mm o.c.
F	29	Festuca glauca	Blue Fescue	#1 Pot	300mm o.c.
Hb	5	Hosta 'Big Daddy'	Big Daddy Hosta	#1 Pot	900mm o.c.
Hs	16	Helictotrichon sempervirens	Blue Oat Grass	#1 Pot	600mm o.c.
L	58	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue English Lavender	#1 Pot	300mm o.c.
P	8	Polystichum munium	Western Sword Fern	#1 Pot	750mm o.c.
Rf	14	Rudbeckia fulgida 'Goldstrum'	Black-Eyed Susan	#1 Pot	450mm o.c.
S	10	Sedum spurium 'Dragon's Blood'	Dragon's Blood Stonecrop	#1 Pot	450mm o.c.

- All plant material shall meet or exceed standards required by balsa or balsa guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the topsoil will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend topsoil per soil analysis recommendations prior to spreading on site. Rejected topsoil shall be removed off site immediately at the landscape contractor's expense.
- Topsoil depths for planting as follows:
  - Shrubs: 450mm
  - Spots: 150mm
  - Tree pits: 1000mm with 300mm (below root ball)
- T minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated to local standards.



Key Map (N.T.S.)



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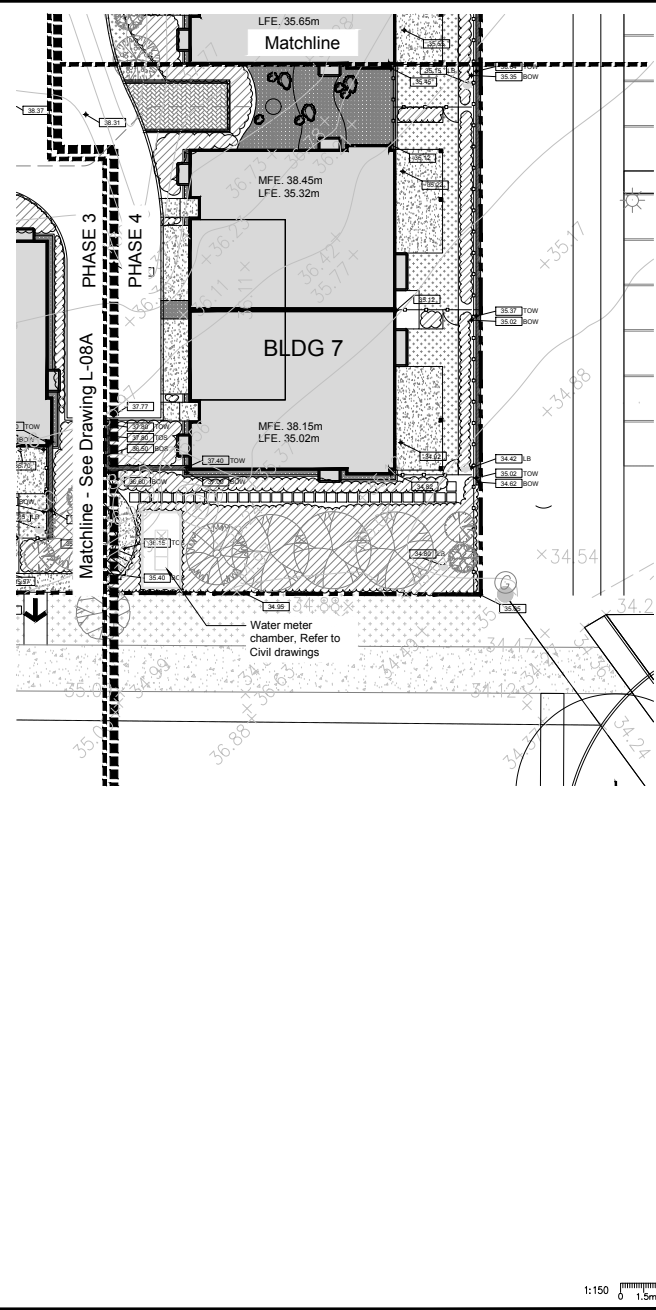
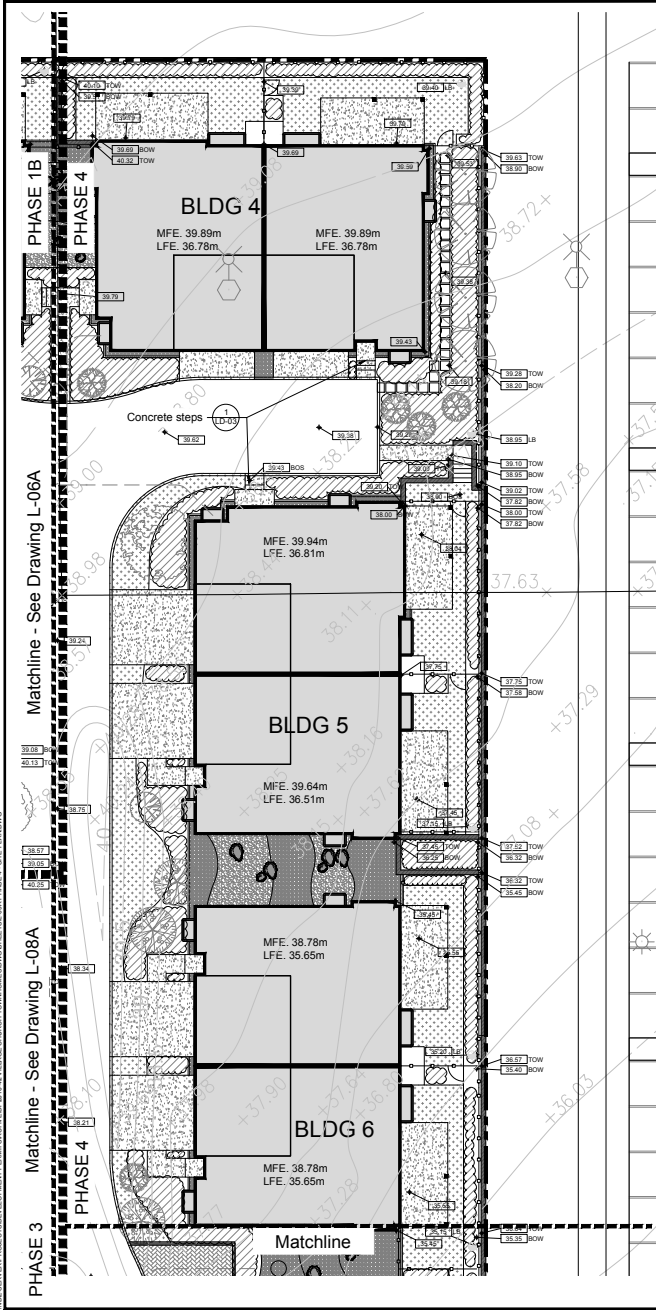
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EASTRIDGE  
Location:  
5528 - 148 Street  
Surrey, BC

Drawn:  
AD  
Checked:  
DJ  
Approved:  
vvd

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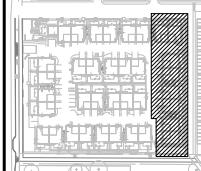
LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	3 LD-01	CONCRETE SLAB
	6 LD-01	PERMEABLE PAVERS
		RIVER ROCK 35-50mm Round River Rock
		MIXED RIVER ROCK 50-150mm Round River Rock
	5 LD-01	VEHICULAR CONCRETE PAVERS (80mm)
	4 LD-01	CONCRETE PAVERS
	4 LD-01	SPOT ELEVATION
	20.17	BLOCK RETAINING WALL
	1 LD-01	DRIP STRIP
	2 LD-01	FENCE See Fencing Plan L-04 for fence types
	1/2 LD-02	SOD See Critical Landscape Notes for Specifications
		PLANTING AREA
	3 LD-03	LANDSCAPE BOULDERS
	7 LD-01	HYDRAPRESSED SLAB WALKWAY
	1/2 LD-02	GATE
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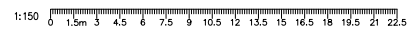
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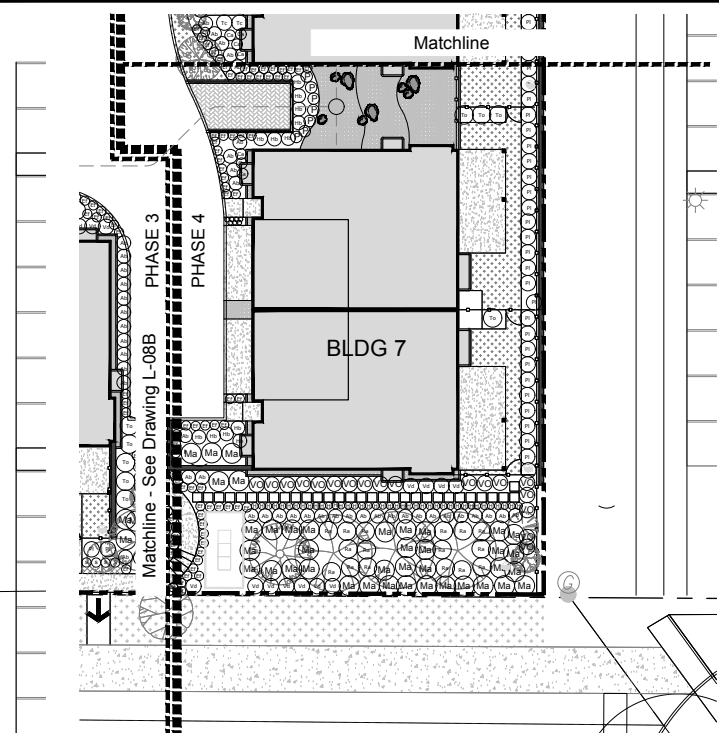
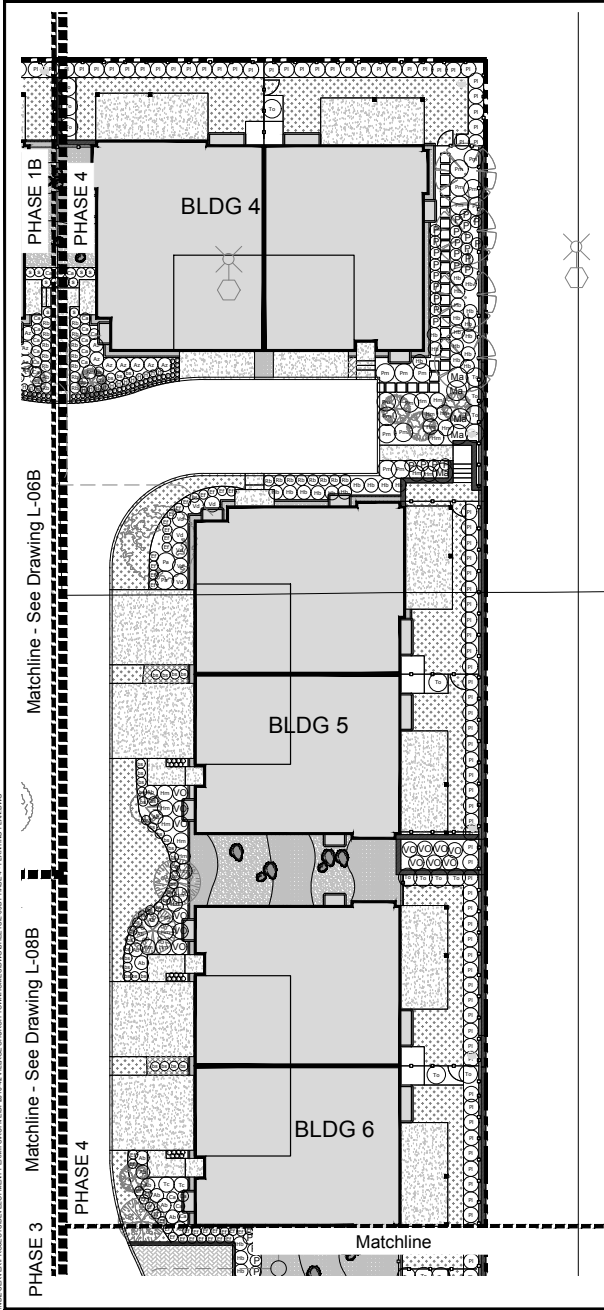


DP2016-42

Drawing #: L-09A

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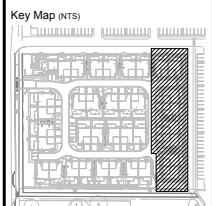




**PHASE 4 PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>SHRUBS</b>					
Ab	40	Abies balsamea 'Nana'	Dwarf Balsam Fir	#2 Pot	900mm o.c.
Az	8	Azalea 'Mandarin Lights'	Mandarin Lights Azalea	#2 Pot	1000mm o.c.
Bs	43	Buxus sempervirens 'Suffruticosa'	Dwarf English Boxwood	#1 Pot	600mm o.c.
Hm	21	Hydrangea macrophylla 'Endless Summer'	Endless Summer Hydrangea	#2 Pot	1000mm o.c.
Ma	44	Mahonia aquifolium	Oregon Grape	#3 Pot	1200mm o.c.
Pa	2	Pinus abies 'Nidiformis'	Nest Spruce	#3 Pot	1200mm o.c.
Pm	16	Pinus mugo 'Pumilio'	Dwarf Mugo Pine	#3 Pot	1000mm o.c.
Pl	106	Prunus lusitanica	Portuguese Laurel	#2 Pot	1000mm o.c.
Rb	15	Rhododendron 'Blue Diamond'	Blue Diamond Rhododendron	#2 Pot	700mm o.c.
Ra	16	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	#3 Pot	1200mm o.c.
S	5	Spirea japonica 'Magic Carpet'	Magic Carpet Spirea	#1 Pot	600mm o.c.
Tc	2	Taxus cuspidata 'Nana'	Dwarf Japanese Yew	#2 Pot	1000mm o.c.
To	19	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	#3 Pot	1200mm o.c.
Vc	31	Vaccinium ovatum	Evergreen Huckleberry	#2 Pot	1000mm o.c.
Vd	18	Viburnum davidii	David's Viburnum	#2 Pot	1000mm o.c.
<b>PERENNIALS/GROUNDCOVERS</b>					
Ca	14	Calamagrostis x acutiflora 'Karl Foerster'	Foerster's Feather Reed Grass	#1 Pot	700mm o.c.
	44	Coloneaster dammeri 'Streib's Finding'	Juneberry	#1 Pot	300mm o.c.
	11	Erica carnea 'Springwood White'	Springwood White Winter Heather	#1 Pot	300mm o.c.
Ef	88	Eucynymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	#1 Pot	600mm o.c.
F	64	Festuca glauca	Blue Fescue	#1 Pot	300mm o.c.
H	52	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	#1 Pot	450mm o.c.
Hb	38	Hosta 'Big Daddy'	Big Daddy Hosta	#1 Pot	900mm o.c.
L	28	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue English Lavender	#1 Pot	300mm o.c.
P	33	Polystichum munitum	Western Sword Fern	#1 Pot	750mm o.c.

- All plant material shall meet or exceed standards required by balsa or bosca guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the topsoil will be required at the contractor's expense, subject to landscape consultant for approval.
- Amended topsoil per soil analysis recommendations prior to spreading on site. Rejected topsoil shall be removed off site immediately at the landscape contractor's expense.
- Topsoil depths for planting as follows:
  - Shrubs: 450mm
  - Soil: 150mm
  - Trees: 1000mm with 300mm (below root ball)
- 1" minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated to fabric standards.



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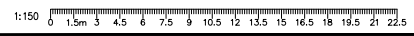
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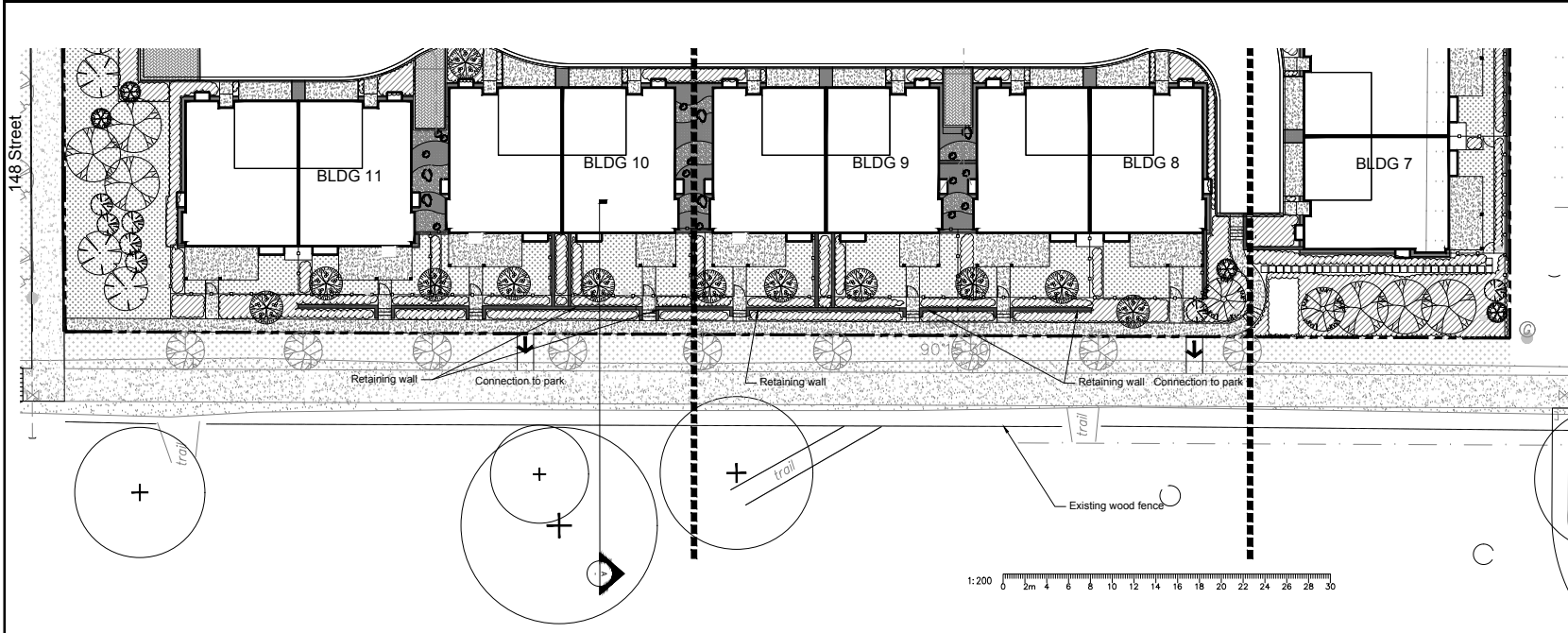
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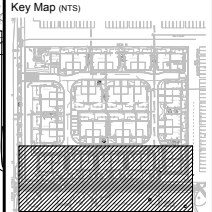
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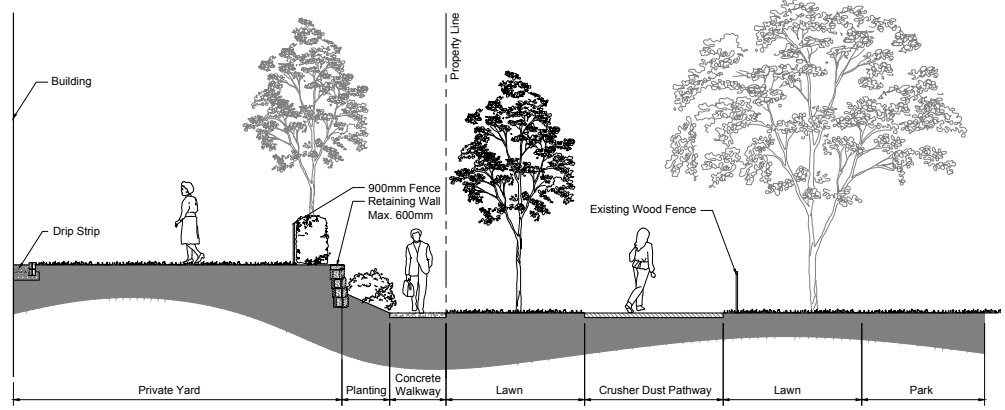
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1 SITE PLAN - SOUTH PROPERTY LINE  
 Scale 1:200



2 SECTION A-A  
 Scale 1:50

Drawing Title:  
SECTION



Project #:  
DP2016-42

Drawing #:  
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