

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7919-0203-00

Planning Report Date: December 16, 2019

PROPOSAL:

- **Development Permit**

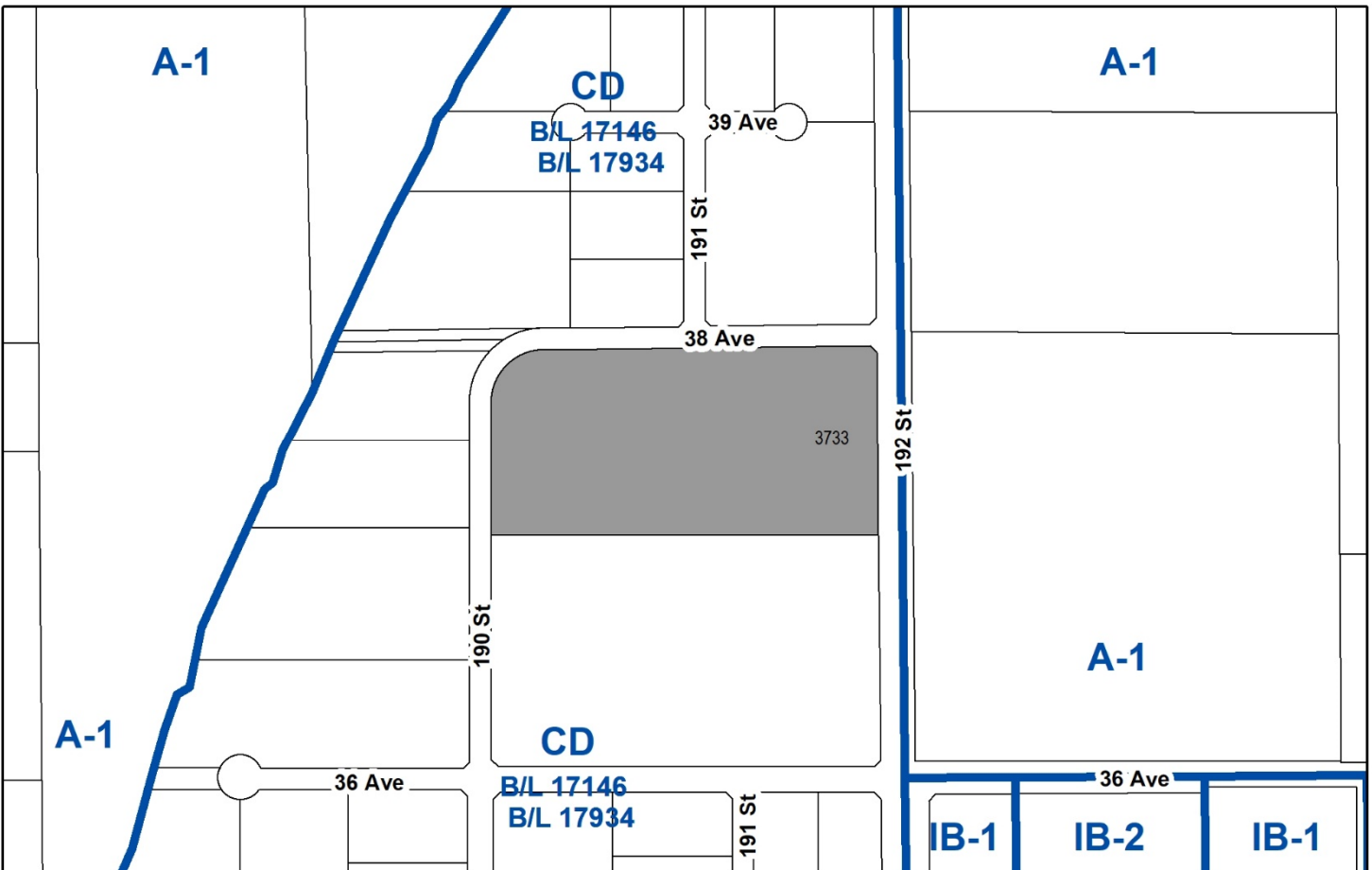
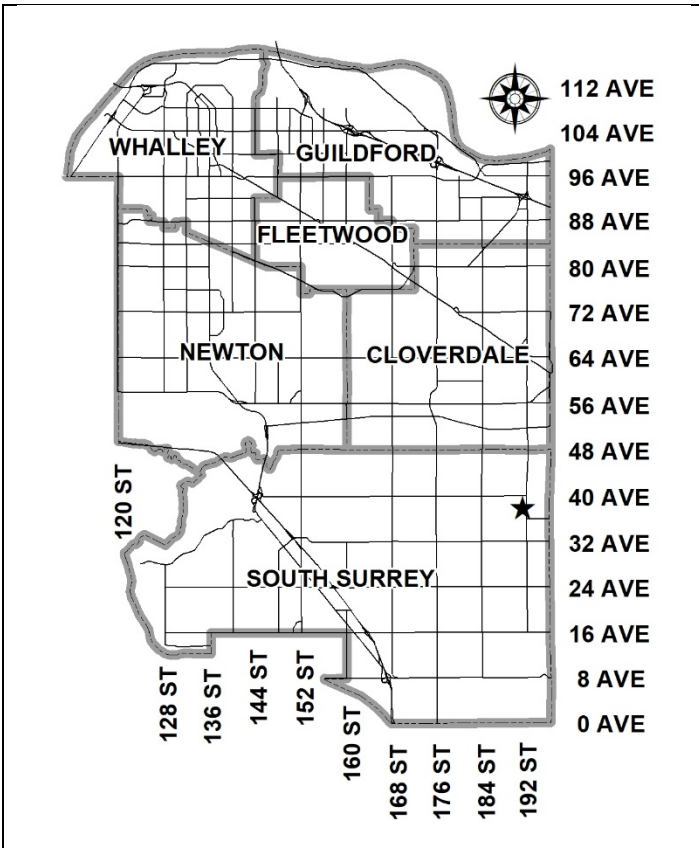
to permit the development of a 34,478-square-metre multi-tenant industrial building.

LOCATION: 3733 - 192 Street

ZONING: CD (By-law No. 17146, as amended by By-law No. 17934)

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park



RECOMMENDATION SUMMARY

- Approval and issuance of Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal is consistent with the concept that was developed for the site as part of the development of the property to the south at 19091 36 Avenue (Development Application No. 7916-0002-00), which houses the offices and manufacturing facility for Starline Windows.
- The proposal complies with the site's "Mixed Employment" designation in the OCP.
- The proposal complies with the site's "Business Park" designation in the Campbell Heights LAP.
- The proposed density and building form are appropriate for this part of Campbell Heights and are consistent with the design guidelines outlined in the general Development Permit and Design Guidelines for Campbell Heights North.

RECOMMENDATION

- Council approve Development Permit No. 7919-0203-00 (Appendix III) including a comprehensive sign design package and authorize the Mayor and Clerk to execute the Permit.

NOTE: If the Development Permit as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, including signage, Council may refer the Development Permit back to staff with direction regarding any of these matters.

REFERRALS

Engineering: The Engineering Department has no objection to the project as outlined in Appendix II.

Parks, Recreation & Culture: No concerns.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Vacant Land

Adjacent Area:

Direction	Existing Use	LAP Designation	Existing Zone
North (Across 38 Avenue):	Vacant land	Business Park	CD (By-law No. 17146, as amended by By-law No. 17934)
East (Across 192 Street):	Farm	Technology Park/ Business Park and Landscape Strips	A-1
South:	Industrial	Business Park and Landscape Strips	CD (By-law No. 17146, as amended by By-law No. 17934)
West (Across 190 Street):	Industrial	Business Park	CD (By-law No. 17146, as amended by By-law No. 17934)

DEVELOPMENT CONSIDERATIONS

Background

- The 6.2 hectare subject site is located at 3733 192 Street in Campbell Heights North. The site is designated "Mixed Employment" in the Official Community Plan (OCP) and "Business Park" in the Campbell Heights Local Area Plan (LAP).
- On June 7, 2010, the site was rezoned from "General Agricultural Zone (A-1)" to "Comprehensive Development Zone (CD)" (By-law No. 17146) under Development Application No. 7910-0032-00. CD By-law No. 17146 was subsequently amended (By-law No. 17934) on June 17, 2013 under Development Application No. 7912-0170-00, to adjust the outdoor storage area boundaries.
- The current CD zoning permits light impact industry, warehouse uses, distribution centres, transportation industry, office uses, and other accessory uses, forming part of a comprehensive design.
- The site was cleared and serviced for development under the original rezoning and subdivision applications. There are no trees or vegetation on the site.

Proposal

- The applicant is proposing a Development Permit (DP) that will permit a 34,478 square metre multi-tenant industrial building on the site (Appendix III).
- The 34,478 square metres floor area is proposed as warehouse space. No office space is proposed at this time and will be determined at time of occupancy when prospective tenants are secured.
- The proposal represents a floor area ratio (FAR) of 0.56, which complies with the maximum 1.0 FAR permitted under the current CD zoning.
- The form, character and density of the proposed development complies with the Campbell Heights Local Area Plan (LAP) and the proposed development meets the requirements of the CD zoning, including for floor area, lot coverage, building height and building setbacks.

Site Layout and Design

- A vehicular access is proposed to the site from 38 Avenue and 190 Street. Surface parking and rooftop parking is provided on site, with access to the rooftop parking from a ramp located along the 190 Street frontage.
- The proposal includes a total of 369 parking spaces, which exceeds the Zoning By-law requirement of 366 parking spaces. 176 spaces are provided on the surface level, and 193 spaces are provided on the rooftop.

- The applicant's proposal to provide rooftop parking is an innovative approach to use the available land in the most efficient manner possible. Given the limited amount of employment lands available in Surrey and elsewhere in Metro Vancouver, staff are supportive of this approach.

Design Proposal & Review

- The proposed building is generally consistent with the design guidelines outlined in the Campbell Heights North Design Guidelines and reflective of the standards within the area. The development concept behind Campbell Heights is a high quality, sustainable industrial business park.
- The building will have a modern linear appearance. Given the dimensions and scale of the building, an effort has also been made to emphasize the horizontality of the building through glazing and colour panels.
- The building will be accentuated by projections, window openings and horizontal and vertical accents using windows and concrete panels. Collectively these treatments, provided along all facades of the building facing the street, will provide interest to the structure.
- The applicant is anticipating four tenants will occupy the building in the future, therefore, the colour scheme for the building is used to differentiate the building units. The building will be finished in a light grey, dark grey, light blue, dark blue and white accent colours.
- The rear (south elevation) of the building contains 59 grade level loading doors. In keeping with the Campbell Heights guidelines, the rear yard loading area will be fully screened from the public view with a precast concrete panel matching the colors of the building at the southeast and southwest portions of the building.

Access and Parking

- The BC Building Code permits up to 40% of the ground floor area to be constructed as second-storey mezzanine space. The applicant has not provided any mezzanine space at this time; however, the parking calculation has anticipated approximately 3.5% of mezzanine space for the entire building. The applicant has agreed to register a Section 219 Restrictive Covenant restricting the mezzanine space to avoid a situation where there may be insufficient parking for the development in the future.
- Portions of the parking lot will be finished and enclosed by concrete retaining walls given that the elevation of 192 Street is considerably higher than the grade of the finished site, particularly at the southeast corner.

Landscaping

- There is no existing vegetation on the site. The landscaping plan proposes 186 trees, including Vine Maple, Japanese Maple, Karpick Maple, Weeping Nootka Cypress, Spruce, and Western Red Cedar, along with shrubs and ground cover to be planted on-site in the parking lots, landscaping strips and within the rooftop parking. The overall intent is to introduce a variety of layered, different coloured trees on site, to help break up the scale of the building.

- The application proposes a 6 metre wide landscape buffer along 192 Street and a 3 metre landscape buffer along 38 Avenue and 190 Street. The landscape strip along 190 Street and 38 Avenue will incorporate the bioswales that are required in Campbell Heights to treat storm water runoff and allow for site bio-filtration.
- The retaining walls will be finished with accent reveals and patterns to match the building, and will be located 6 metres into the site, at the edge of the landscaping strip along 192 Street and 3 metres into the site, at the edge of the landscaping strip along 38 Avenue. Fencing atop of the retaining walls will be located away and hidden from the street edge by planting (trees and shrubs).
- One benefit of the retaining wall will be to minimize the look of the paved parking lot from the edge of 192 Street and 36 Avenue and to soften the look of the site and building with landscaping.

Air Emissions

- As is current practice in Campbell Heights, the applicant has agreed to register a Section 219 Restrictive Covenant to prohibit any use that requires a Metro Vancouver air quality permit from locating on the site.

PRE-NOTIFICATION

- A development proposal sign was posted on the site in early December, and the proposal was referred to the Little Campbell Watershed Society (LCWS) for review and comment. No comments had been received at the time of finalizing this report.

ADVISORY DESIGN PANEL

- The application was not referred to the Advisory Design Panel (ADP), but was reviewed by City staff including the City Architect and found to be acceptable. The proposed development was evaluated based on compliance with the design guidelines for Campbell Heights North and the OCP.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I. Project Data Sheets
Appendix II. Engineering Summary
Appendix III. Development Permit No. 7919-0203-00

approved by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

HS/cm

DEVELOPMENT DATA SHEET

Existing Zoning: CD

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		61,541
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	60	56
Paved & Hard Surfaced Areas		37
Total Site Coverage		93
SETBACKS (in metres)		
Front	16.0	26.2
Rear	7.5	16.0
Side #1 (N,S,E, or W)	7.5	43.9
Side #2 (N,S,E, or W)	9.0	17.6
BUILDING HEIGHT (in metres)		
Principal	14.0	14.0
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		34,478
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		34,478

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)	1.0	0.56
FAR (net)	1.0	0.56
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial	366	369
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	366	369
Number of accessible stalls	4	5
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Engineer, Engineering Department**

DATE: **Sep 30, 2019** PROJECT FILE: **7819-0203-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 3733-192 Street**

DEVELOPMENT PERMIT

The applicant requests a Development Permit in order to construct a four unit industrial building. There are no engineering requirements relative to the Development Permit.


BUILDING PERMIT

The site was serviced under Surrey Project 7814-0294-00 for which works have fully completed.

The following are to be addressed prior to issuance of the Building Permit:

- Evaluate services (e.g. driveways, water connections, sanitary sewer connections, storm water drainage) provided to the site by 7814-0294-00 and relocate/modify through the BP process. This will also include abandonment of redundant service connections as required;
- Construct driveway letdowns to City standard (11.0m concrete driveway at 3.0 m offset from property line); and
- Design/Construct on site infiltration and water treatment features as per Campbell Heights Land Use Plan requirements and as described in servicing plans under City project 7814-0294-00 and Restrictive Covenants on title.

The applicant is advised to review the sustainable drainage and water quality control restrictive covenants registered on title prior to submitting building permit application.



Jeffrey Pang, P.Eng.
Development Engineer
LRt

CITY OF SURREY

(the "City")

DEVELOPMENT PERMIT

NO.: 7919-0203-00

Issued To:

(the "Owner")

Address of Owner:

A. General Provisions

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 029-621-658

Lot 2 Section 28 Township 7 New Westminster District Plan EPP49074

3733 - 192 Street

(the "Land")

3. This development permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached to and forms part of this development permit.
4. The Land has been designated as a development permit area in Surrey Official Community Plan, 2013, No. 18020, as amended.

B. Form and Character

1. The character of the development including landscaping, siting, form, exterior design and finish of buildings and structures, truck parking specifications, free standing signs, sign design packages and comprehensive sign packages on the Land shall be in accordance with the drawings numbered 7919-0203-00 (1) through to and including 7919-0203-00 (34) (the "Drawings").
2. Signage shall be installed in conformance with the Drawings 7919-0203-00 (7) and 7919-0203-00 (8).
3. Minor changes to the Drawings that do not affect the general form and character of the landscaping, siting, form, exterior design and finish of buildings and structures, truck parking specifications, free standing signs, sign design packages and comprehensive sign details on the Land, may be permitted subject to the approval of the City.

C. Landscaping Installation and Maintenance

1. The landscaping shall be constructed, planted, installed and maintained in good order in accordance with the landscaping plans prepared by PMG Landscape Architects, and numbered attached as 7919-0203-00 (26) through to 7919-0203-00 (34) (the "Landscaping").
2. For Form and Character development permits, or for that portion of a development permit pertaining to Form and Character, the Landscaping shall be installed and completed within six (6) months after the date of the final inspection of the buildings and structures.
3. For Form and Character development permits, Landscaping shall be maintained for a minimum of twelve (12) months after the date of substantial completion.

D. Security and Inspections

1. Security must be submitted to the City prior to the installation of any Landscaping.
2. For Form and Character development permits, security may be submitted after the issuance of a Development Permit.
3. For development permits that include shared vehicles in exchange for reduced minimum parking requirements, shared vehicle security must be submitted prior to the issuance of a Building Permit.

4. The security for Landscaping is to be submitted as follows:
 - i. Cash or an Irrevocable Letter of Credit, in a form acceptable to the City, in the amount of \$401,622.38 (the "Security")
5. Security release will only be considered once installation of the Landscaping has been completed, after final approval of the installation has been given by the City, and after the completion by the Owner of any required maintenance periods identified in this development permit, to the satisfaction of the City.
6. For Form and Character development permits, when the Landscaping has been determined to be substantially complete, as determined by the City, and without the City having to use the Security, 90%, less deficiencies, of the original Security will be returned. When the Landscaping requirements and permit requirements receive final approval by the City, 10% of the original Security will be returned.
7. If final approval of the Landscaping installation and maintenance is not given by the City, the City has the option of using the Security to complete the Landscaping (or to hire a contractor to complete the work on the City's behalf) with any remaining money returned to the Owner. The Owner authorizes the City or its agent to enter upon the Land to complete the Landscaping.
8. If the City elects not to enter upon the Land to complete the Landscaping and the Owner does not complete the Landscaping, the Security is forfeited to the City five (5) years after the date of the provisional or final inspection of the buildings and structures referred to in the Drawings.
9. This development permit supplements and amends Development Permit No. 7910-0032-00.

E. Administration

1. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.
2. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued within two (2) years after the date this development permit is issued. The terms and conditions of this development permit, and any amendment to it, are binding on any and all persons who acquire an interest in the Land.

3. This development permit is only valid for the development that is described in this development permit. If a change to development is considered, a new development permit or an amendment to this permit is required before any work is started.

4. All reports, documents and drawings referenced in this development permit shall be attached to and form part of this development permit.

5. This development permit is issued subject to compliance by the Owner and the Owner's employees, contractors and agents with all applicable City bylaws, including the Tree Protection Bylaw, Erosion and Sediment Control Bylaw and the Soil Removal and Deposition Bylaw, all as may be amended or replaced from time to time.

6. This development permit is NOT A BUILDING PERMIT.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE ___ DAY OF _____, 20__.

ISSUED THIS ___ DAY OF _____, 20__.

 Mayor

 City Clerk

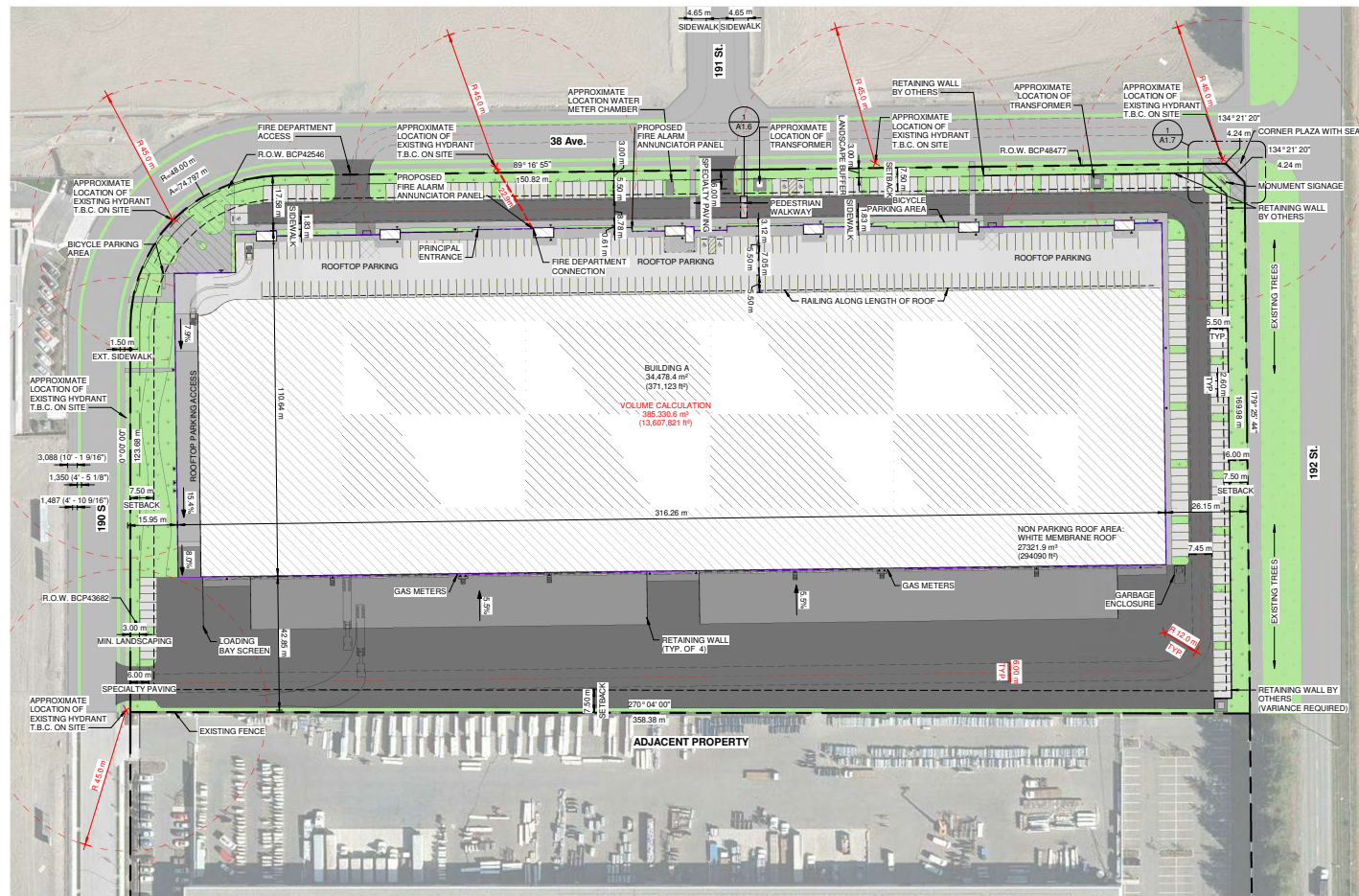
IN CONSIDERATION OF COUNCIL APPROVAL OF THIS DEVELOPMENT PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREE TO THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

 Authorized Agent: (Signature)

 Name: (Please Print)

NOTES CONCERNING BUILDING LOCATION

- THIS SITE PLAN IS BASED ON INFORMATION PROVIDED BY THE OWNER, AND NOT A SURVEY OR ACTUAL SITE MEASUREMENTS. ENGINEERS TO BE ADVISED BEFORE START OF CONSTRUCTION OF ANY UNKNOWN FEATURES ON THIS OR THE ADJACENT SITES THAT MIGHT IMPACT ON THE PROJECT EITHER DURING CONSTRUCTION OR FUTURE USE.
- THE "NORTH" ORIENTATION REFERS TO NOMINAL NORTH RATHER THAN TRUE OR MAGNETIC NORTH.
- ANY DIMENSIONS THAT SHOW THE LOCATION OF EXISTING FEATURES ARE APPROXIMATE ONLY, AND ARE TO BE CONFIRMED BEFORE CONSTRUCTION START AS REQUIRED BY A CERTIFIED ALBERTA LAND SURVEYOR.



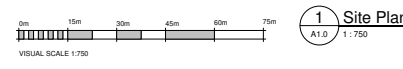
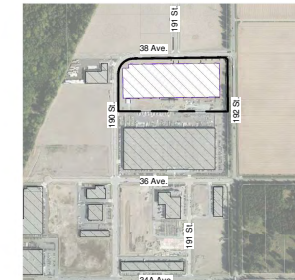
Stall Type	Count
BARRIER FREE PARKING STALL	5
STANDARD PARKING STALL	365
TOTAL STALLS	370

PROPERTY LINE	---
SETBACK LINE	----
RIGHT OF WAY LINE	=====
PROPOSED BUILDING	▭
FENCE	+
MAN DOOR	⬇
OVERHEAD DOOR	⬇

Item	Area (sq ft)	Area (sq m)
APRON - 6"	1,111.64	103.3
APRON - 8"	1,544.58	143.5
DOCK APRON	46,989.22	4,365.4
HEAVY DUTY ASPHALT	147,242.47	13,688.6
LANDSCAPING	54,344.54	5,048.8
LIGHT DUTY ASPHALT	31,245.22	2,902.8
SEWELINE	13,920.11	1,293.2
	296,477.78	27,545.5

SITE MATERIAL LEGEND

- APRON
- SIDEWALK
- LIGHT DUTY ASPHALT
- HEAVY DUTY ASPHALT
- GRAVEL
- LANDSCAPING



NO.	DESCRIPTION	DATE
S	ISSUED FOR ENGINEERING REVIEW	2019-09-27
T	ISSUED FOR ENGINEERING REVIEW	2019-10-07
U	ISSUED FOR DEVELOPMENT PERMIT	2019-11-15
V	ISSUED FOR DEVELOPMENT PERMIT	2019-11-26
W	ISSUED FOR DEVELOPMENT PERMIT	2019-11-29
X	ISSUED FOR DEVELOPMENT PERMIT	2019-12-02
Y	ISSUED FOR DEVELOPMENT PERMIT	2019-12-03
Z	ISSUED FOR DEVELOPMENT PERMIT	2019-12-09

Surrey Spec. Building

3733 192 St.
Surrey, British Columbia
Lot 2, Section 28, Township 7, New
Westminster District, Plan EPP49074

EAGLE BUILDERS
THE PRECAST CONCRETE CONNECTION

Stamp: PLACE architect ltd.
heather la. johnson abc, asa
6021 la. george avenue
west vancoeur, bc v7a 2j7
779.366.4093

2019-12-09

aggregate design studio ltd.

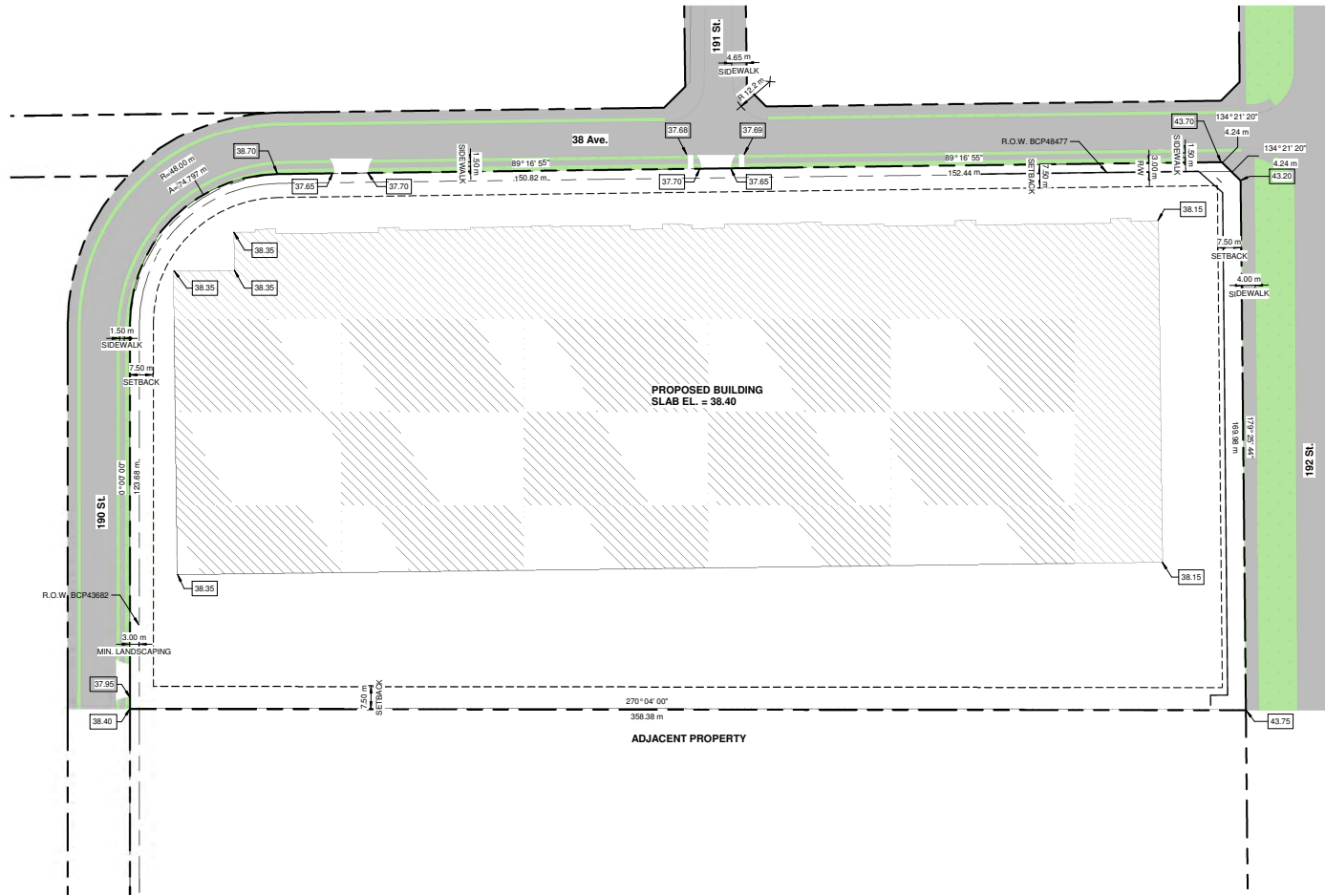
(403) 885-5525 P.O. BOX 1690 BLACKFALDS, AB, T0M 0J0

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Site Plan Overall

A1.0

Project number: B19206
Date: 2019-12-09 9:11:02 AM
Drawn by: AB/TC/KL
Checked by: BH/RO
Scale: As indicated



1 Base Site Plan
A1.2 1:750

NO.	DESCRIPTION	DATE
K	ISSUED FOR DEVELOPMENT PERMIT	2019-05-29
N	ISSUED FOR DEVELOPMENT PERMIT	2019-07-16
O	ISSUED FOR REVIEW	2019-07-22
U	ISSUED FOR DEVELOPMENT PERMIT	2019-11-15
W	ISSUED FOR DEVELOPMENT PERMIT	2019-11-29

Surrey Spec. Building

3733 192 St.
Surrey, British Columbia
Lot 2, Section 28, Township 7, New
Westminster District, Plan EPP49074

EAGLE BUILDERS
THE PRECAST CONCRETE CONNECTION

PLACE architect ltd.
heather l. johnson abc, asa
4020 la. garage avenue
west vanouver, bc v7a 1z7
779.366.8769

Stamp:

aggregate design studio ltd.

(603) 885-5525 P.O. BOX 1690 BLACKFALDS, AB, T0M 0J0

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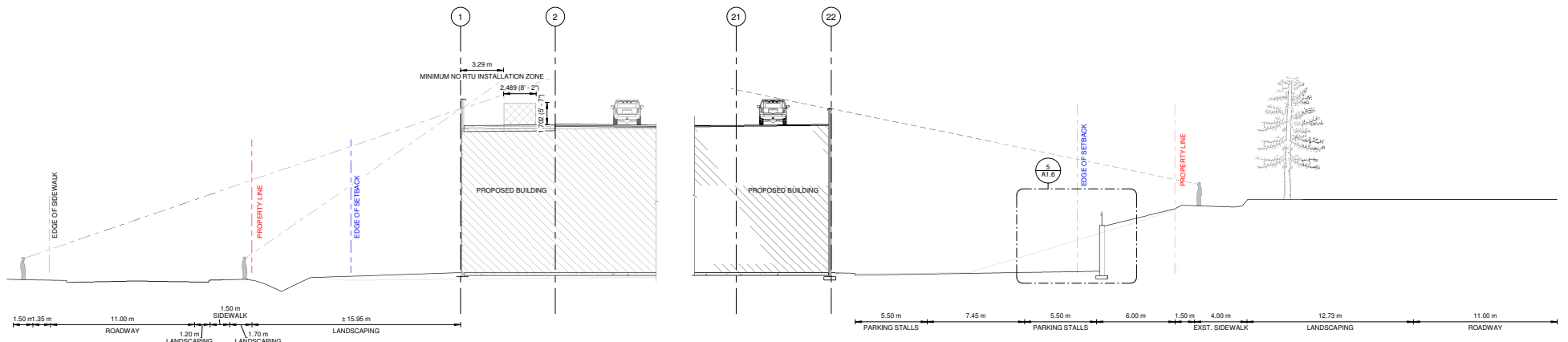
Base Site Plan Overall

A1.2

Project number:	B19206
Date:	2019-12-09 9:11:02 AM
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Scale:	As indicated



3 Site Lines 190 St. through 192 St.
A1.3 1:500



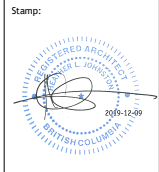
2 Site Lines 190 St.
A1.3 1:150

1 Site Lines 192 St.
A2.0 1:150

NO.	DESCRIPTION	DATE
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K	ISSUED FOR DEVELOPMENT PERMIT	2019-05-29
N	ISSUED FOR DEVELOPMENT PERMIT	2019-07-16
U	ISSUED FOR DEVELOPMENT PERMIT	2019-11-15
V	ISSUED FOR DEVELOPMENT PERMIT	2019-11-26

Surrey Spec. Building

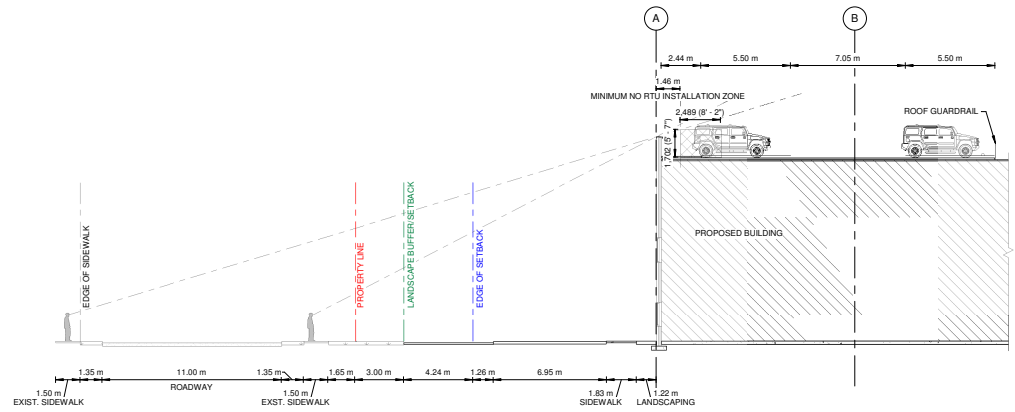
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Surrey, British Columbia
Lot 2, Section 28, Township 7, New
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Site Details	
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Drawn by:	AB/TC/KL
Checked by:	BH/RO
Scale:	As indicated

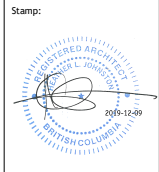


4 Site Lines 38 Ave.
A1.4 1:150

NO.	DESCRIPTION	DATE
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K	ISSUED FOR DEVELOPMENT PERMIT	2019-05-29
N	ISSUED FOR DEVELOPMENT PERMIT	2019-07-16
U	ISSUED FOR DEVELOPMENT PERMIT	2019-11-15
V	ISSUED FOR DEVELOPMENT PERMIT	2019-11-26

Surrey Spec. Building

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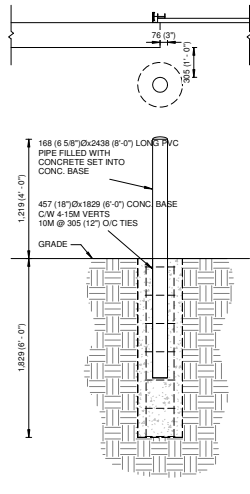
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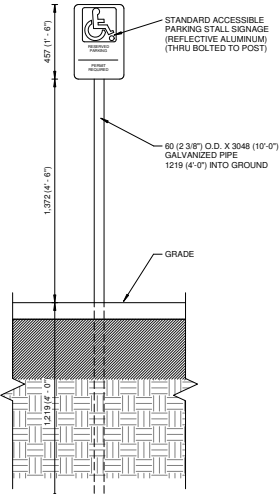
Site Details

A1.4

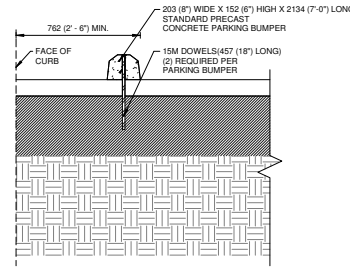
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Checked by:	BH/RO
Scale:	As indicated



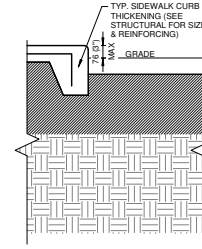
8 Bollard Detail
A1.5 1:25



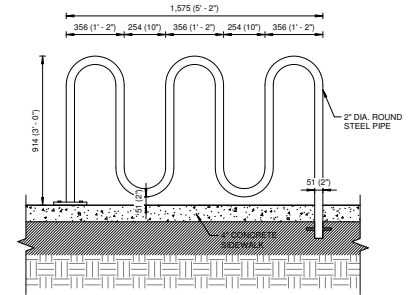
7 Barrier Free Sign
A1.5 1:15



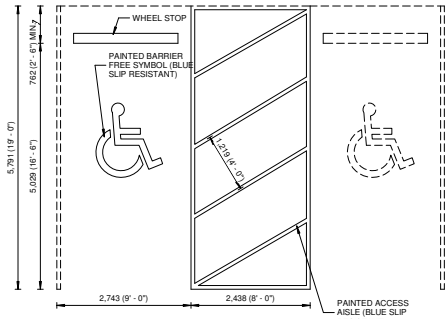
6 Wheel Stop Detail
A1.5 1:15



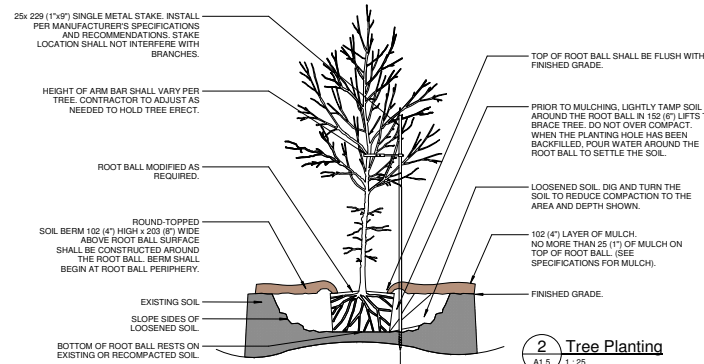
5 Curb Detail
A1.5 1:15



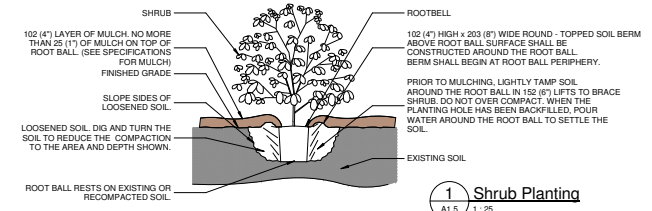
4 Bicycle Rack
A1.5 1:15



3 Barrier Free Parking Stall
A1.5 1:50



2 Tree Planting
A1.5 1:25

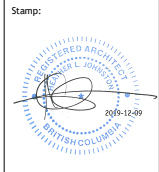


1 Shrub Planting
A1.5 1:25

NO.	DESCRIPTION	DATE
J	ISSUED FOR DEVELOPMENT PERMIT	2019-05-22
M	ISSUED FOR DEVELOPMENT PERMIT	2019-06-27
N	ISSUED FOR DEVELOPMENT PERMIT	2019-07-16
V	ISSUED FOR DEVELOPMENT PERMIT	2019-11-26

Surrey Spec. Building

3733 192 St.
Surrey, British Columbia
Lot 2, Section 28, Township 7, New
Westminster District, Plan EPP49074

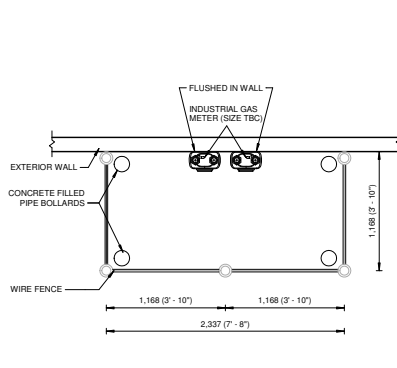


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Site Details
A1.5

Project number: B19206
Date: 2019-12-09 9:11:09 AM
Drawn by: AB/TC/KL
Checked by: BH/RO
Scale: As indicated

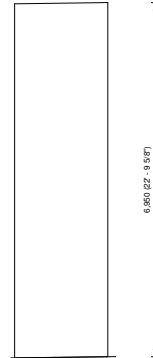
RETAINING WALL FINISH EXAMPLE:



Gas Meter Enclosure (Single)

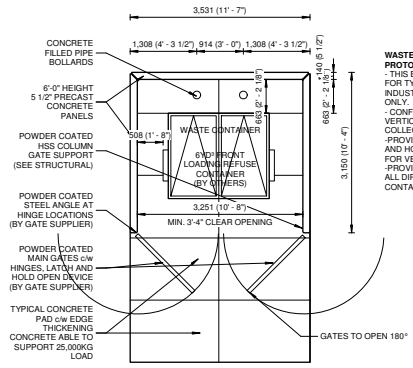
1/2" = 1'-0"

1.829 (6'-0")
CONCRETE



Site Walkway

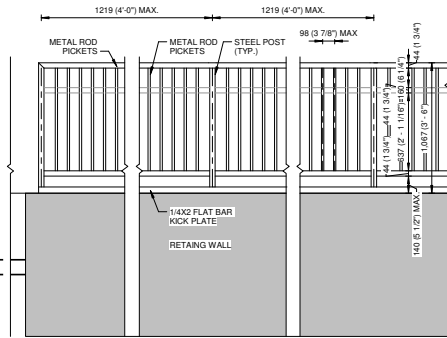
1/4" = 1'-0"



Garbage Enclosure (Single)

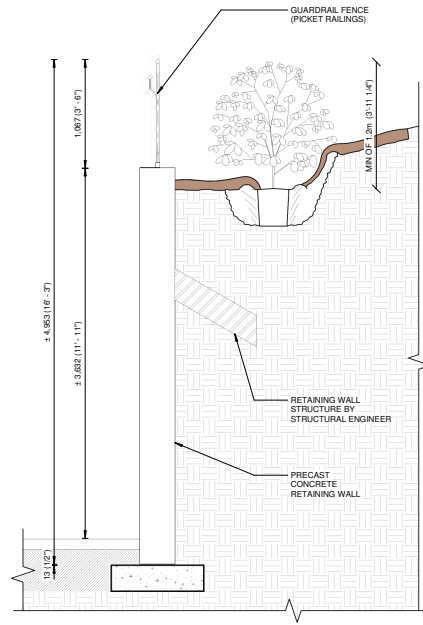
1/4" = 1'-0"

WASTE AND RECYCLING PROTOCOL:
- THIS ENCLOSURE IS INTENDED FOR TYPICAL COMMERCIAL / INDUSTRIAL GENERATED WASTE ONLY.
- CONFIRM MINIMUM 21'-0" VERTICAL CLEARANCE OVER COLLECTION LOCATION
- PROVIDE A MIN. 16'-0" VERTICAL AND HORIZONTAL CLEARANCE FOR VEHICLE ACCESS.
- PROVIDE MIN. 1'-0" CLEARANCE IN ALL DIRECTIONS AROUND CONTAINERS.



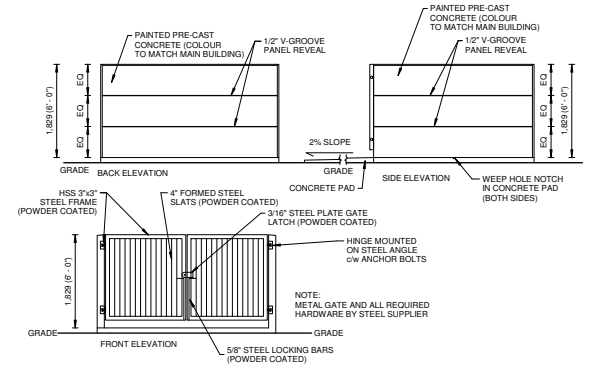
Retaining Wall Guardrail Detail

1:20



Retaining Wall Detail

1/2" = 1'-0"



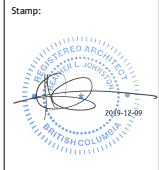
Garbage Enclosure Elevation (Single)

1/4" = 1'-0"

NO.	DESCRIPTION	DATE
N	ISSUED FOR DEVELOPMENT PERMIT	2019-07-16
U	ISSUED FOR DEVELOPMENT PERMIT	2019-11-15
V	ISSUED FOR DEVELOPMENT PERMIT	2019-11-26
W	ISSUED FOR DEVELOPMENT PERMIT	2019-11-29
X	ISSUED FOR DEVELOPMENT PERMIT	2019-12-02

Surrey Spec. Building

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Site Details

A1.6

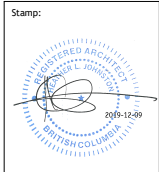
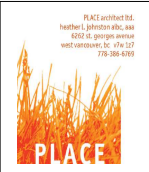
Project number: B19206
Date: 2019-12-09 9:11:10 AM
Drawn by: AB/TC/KL
Checked by: BH/RO
Scale: As indicated



NO.	DESCRIPTION	DATE
U	ISSUED FOR DEVELOPMENT PERMIT	2019-11-15
V	ISSUED FOR DEVELOPMENT PERMIT	2019-11-26
W	ISSUED FOR DEVELOPMENT PERMIT	2019-11-29

Surrey Spec. Building

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 Lot 2, Section 28, Township 7, New
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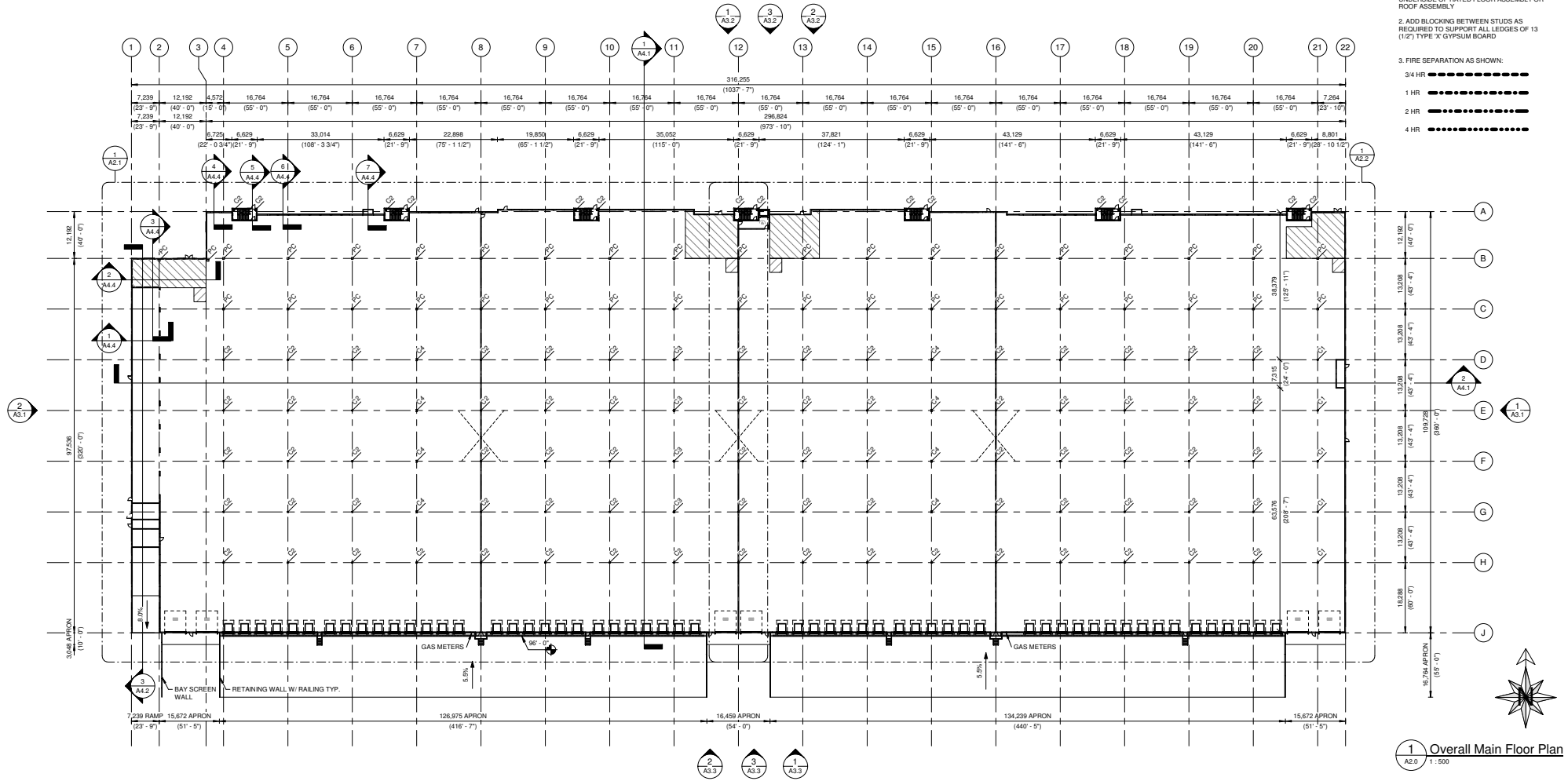
Signage Render

A1.8

Project number:	B19206
Date:	2019-12-09 9:11:11 AM
Drawn by:	AB/TC/KL
Checked by:	BH/RO
Scale:	As indicated

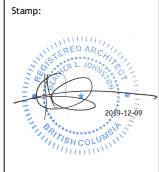
NOTES

1. RATED WALLS SHALL BE FRAMED TO UNDERSIDE OF RATED FLOOR ASSEMBLY OR ROOF ASSEMBLY
2. ADD BLOCKING BETWEEN STUDS AS REQUIRED TO SUPPORT ALL LEDGES OF 13 (1/2) TYPE X GYPSUM BOARD
3. FIRE SEPARATION AS SHOWN:
 - 3/4 HR - - - - -
 - 1 HR - - - - -
 - 2 HR - - - - -
 - 4 HR - - - - -



Surrey Spec Building

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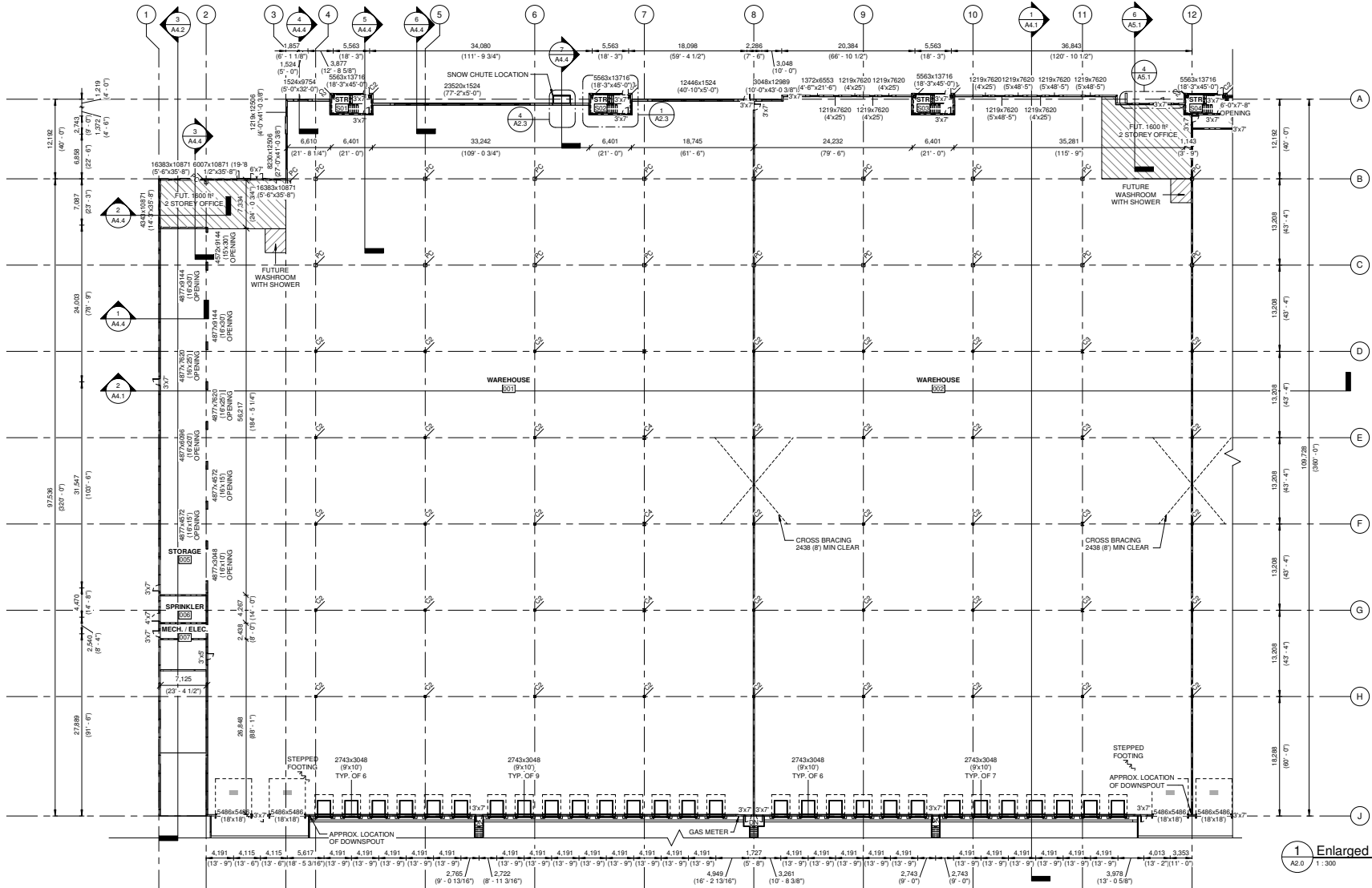


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Floor Plan Overall

Project number: B19206
 Date: 2019-12-09 9:02:57 AM
 Drawn by: AB/TC/KL
 Checked by: BH/RO
 Scale: As indicated

A2.0



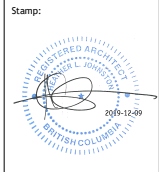
1 Enlarged Floor Plan - West
A2.0 1:300



NO.	DESCRIPTION	DATE
S	ISSUED FOR ENGINEERING REVIEW	2019-09-27
T	ISSUED FOR ENGINEERING REVIEW	2019-10-07
U	ISSUED FOR DEVELOPMENT PERMIT	2019-11-15
V	ISSUED FOR DEVELOPMENT PERMIT	2019-11-26
W	ISSUED FOR DEVELOPMENT PERMIT	2019-11-29

Surrey Spec Building

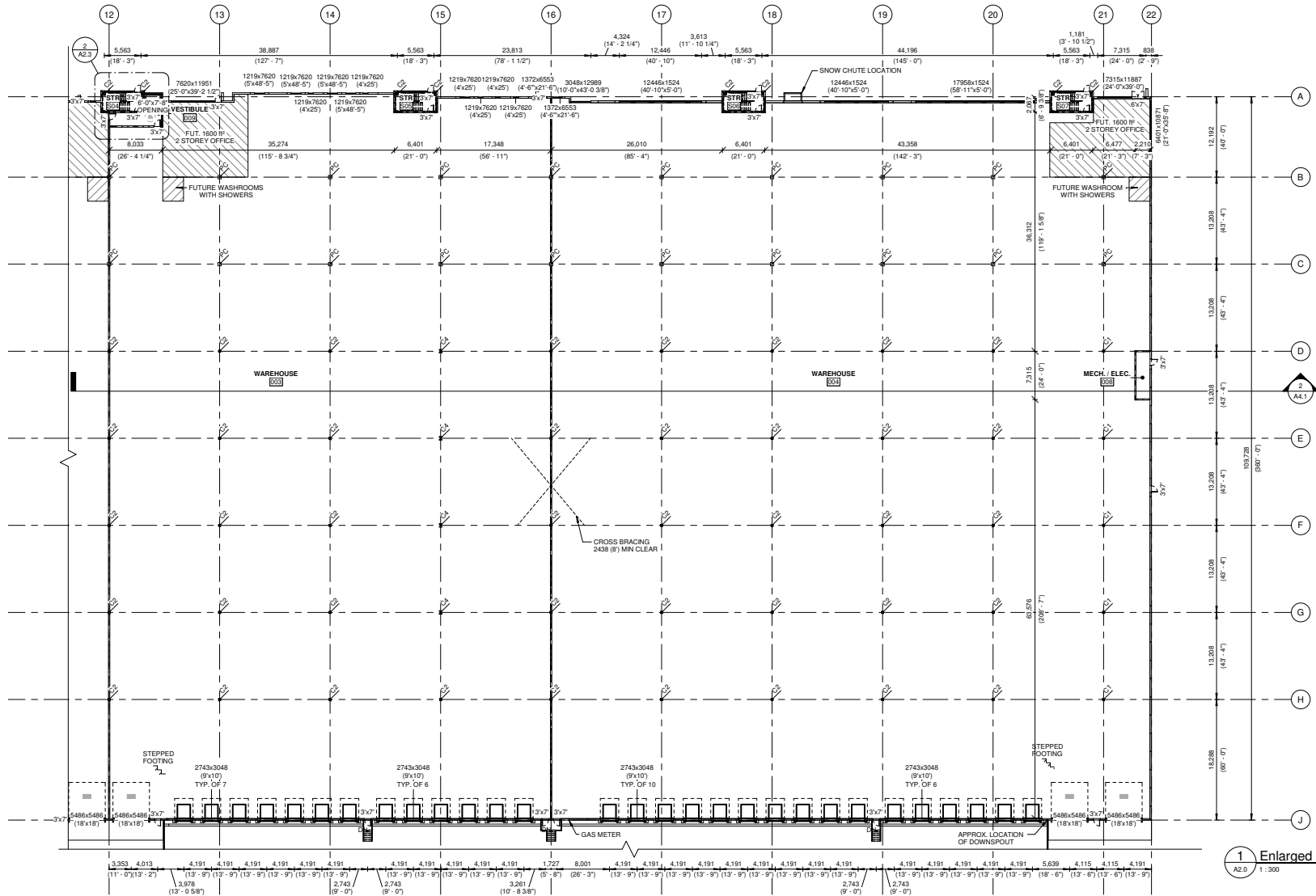
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Enlarged Floor Plan - West
A2.1

Project number: B19206
 Date: 2019-12-09 9:02:59 AM
 Drawn by: AB/TC/KL
 Checked by: BH/RO
 Scale: As indicated

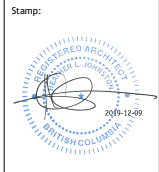


1 Enlarged Floor Plan - East
A2.0 1:300

NO.	DESCRIPTION	DATE
S	ISSUED FOR ENGINEERING REVIEW	2019-09-27
T	ISSUED FOR ENGINEERING REVIEW	2019-10-07
U	ISSUED FOR DEVELOPMENT PERMIT	2019-11-15
V	ISSUED FOR DEVELOPMENT PERMIT	2019-11-26
W	ISSUED FOR DEVELOPMENT PERMIT	2019-11-29

Surrey Spec Building

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Lot 2, Section 28, Township 7, New
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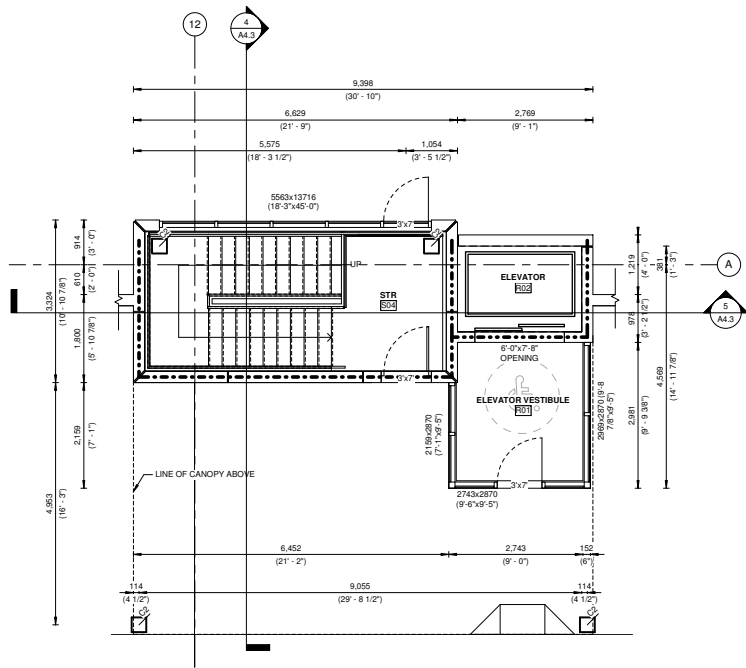
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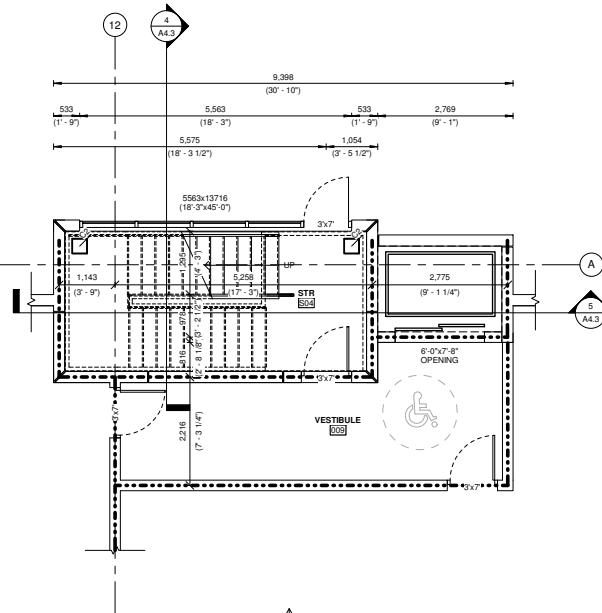
Enlarged Floor Plan - East

A2.2

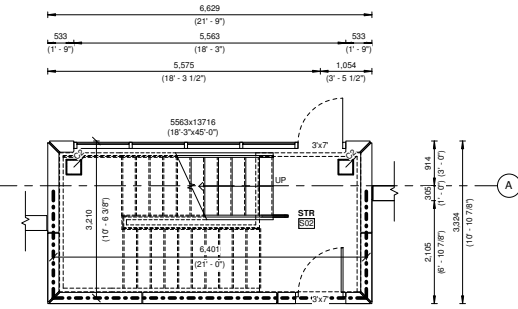
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Date: 2019-12-09 9:03:02 AM
Drawn by: AB/TC/KL
Checked by: BH/RO
Scale: As indicated



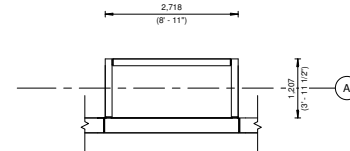
3 Stair Callout 3
A2.4 1:50



2 Stair Callout 2
A2.2 1:50



1 Stair Callout 1
A2.1 1:50



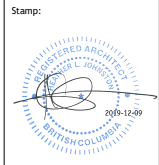
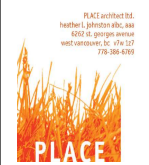
4 Snow Chute Plan
A2.1 1:50



NO.	DESCRIPTION	DATE
N	ISSUED FOR DEVELOPMENT PERMIT	2019-07-16
P	ISSUED FOR DEVELOPMENT PERMIT	2019-08-14
S	ISSUED FOR ENGINEERING REVIEW	2019-09-27
T	ISSUED FOR ENGINEERING REVIEW	2019-10-07
U	ISSUED FOR DEVELOPMENT PERMIT	2019-11-15
V	ISSUED FOR DEVELOPMENT PERMIT	2019-11-26
W	ISSUED FOR DEVELOPMENT PERMIT	2019-11-29

Surrey Spec Building

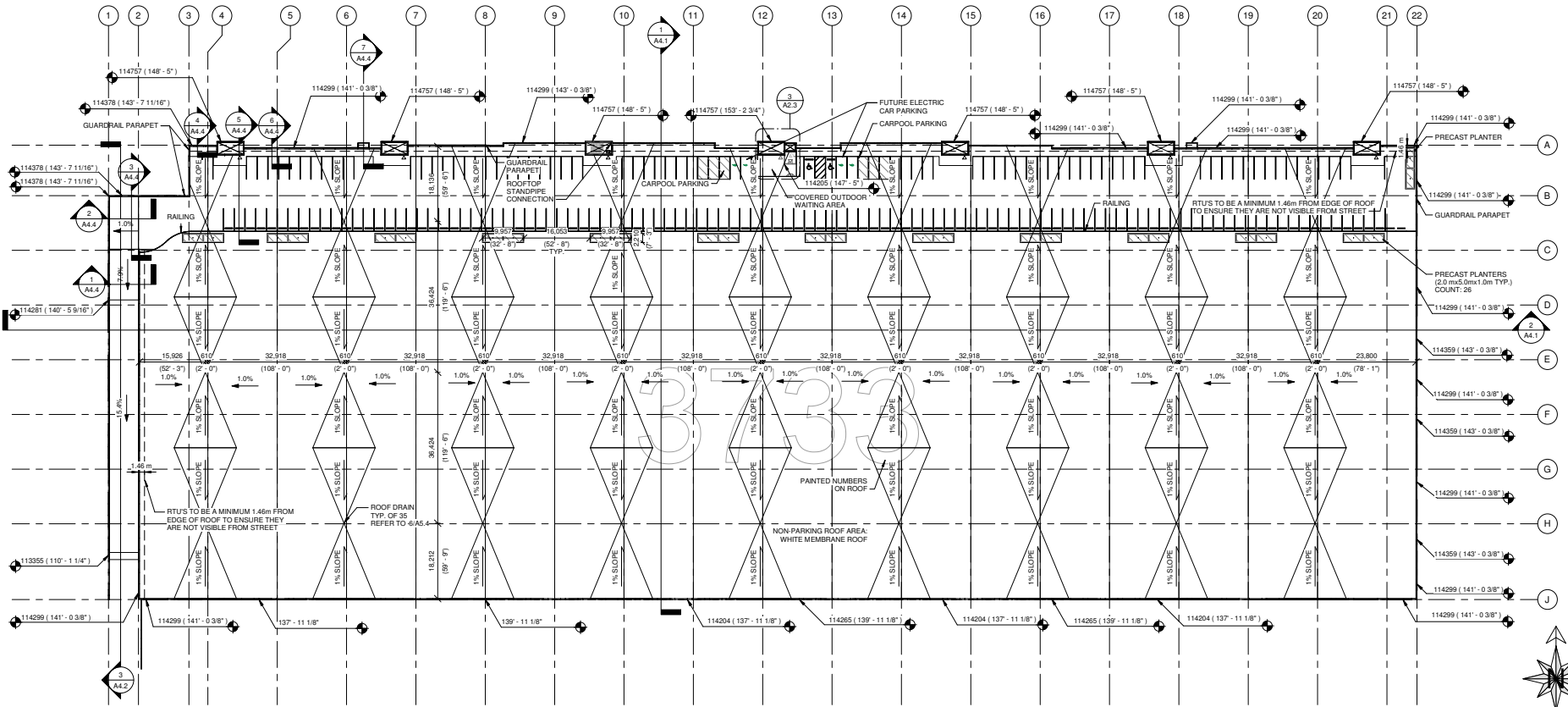
3733 192 St.
Surrey, British Columbia
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Enlarged Floor Plans
A2.3

Project number: B19206
Date: 2019-12-09 9:03:03 AM
Drawn by: AB/TC/KL
Checked by: BH/RO
Scale: As indicated



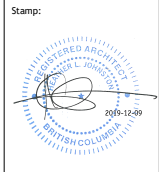
1 Roof Plan Overall
A2.4 1:500



NO.	DESCRIPTION	DATE
S	ISSUED FOR ENGINEERING REVIEW	2019-09-27
T	ISSUED FOR ENGINEERING REVIEW	2019-10-07
U	ISSUED FOR DEVELOPMENT PERMIT	2019-11-15
V	ISSUED FOR DEVELOPMENT PERMIT	2019-11-26
W	ISSUED FOR DEVELOPMENT PERMIT	2019-11-29
X	ISSUED FOR DEVELOPMENT PERMIT	2019-12-02

Surrey Spec Building

3733 192 St.
Surrey, British Columbia
Lot 2, Section 28, Township 7, New
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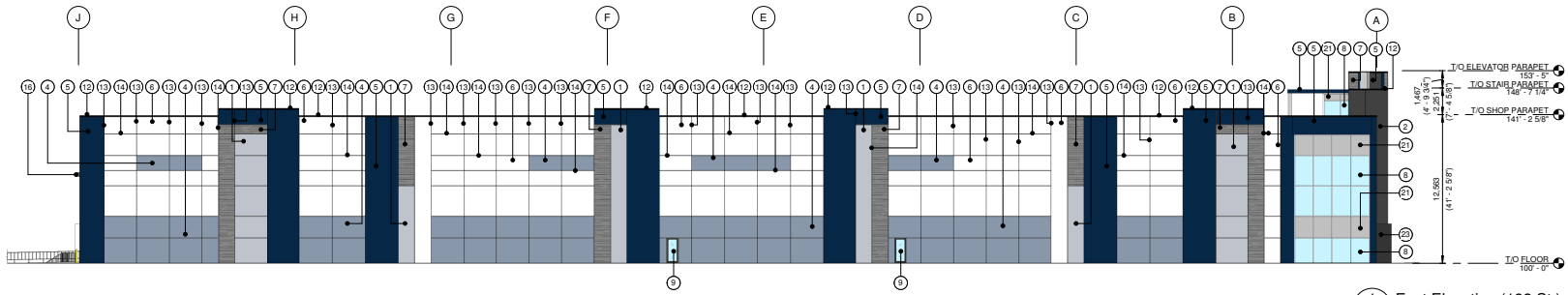


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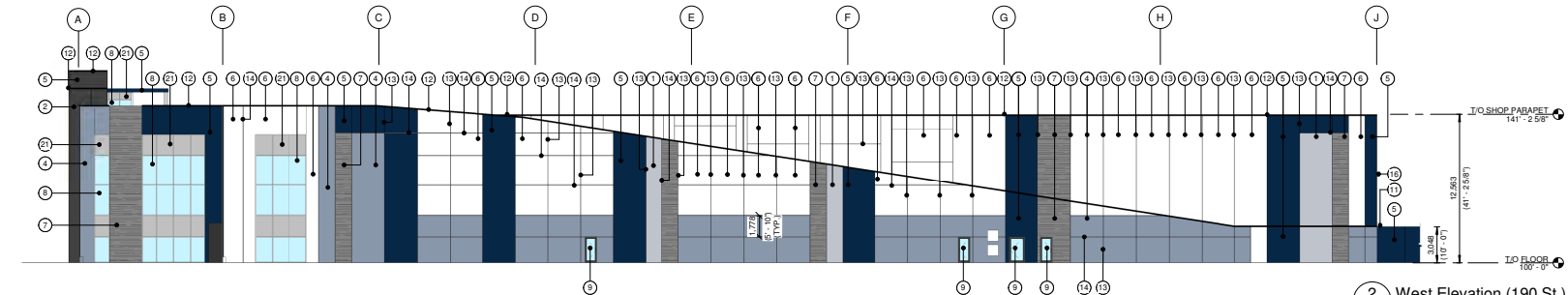
Roof Plan Overall

Project number: B19206
 Date: 2019-12-09 9:03:06 AM
 Drawn by: AB/TC/KL
 Checked by: BH/RO
 Scale: As indicated

A2.4



1 East Elevation (192 St.)
A2.0 1:200



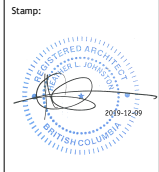
2 West Elevation (190 St.)
A2.0 1:200

- MATERIAL LEGEND**
- ① PRECAST CONCRETE PANEL (COLOUR LIGHT GREY-SMOOTH FINISH)
 - ② PRECAST CONCRETE PANEL (COLOUR MEDIUM GREY-SMOOTH FINISH)
 - ③ PRECAST CONCRETE PANEL (COLOUR CHARCOAL-SMOOTH FINISH)
 - ④ PRECAST CONCRETE PANEL (COLOUR LIGHT BLUE-SMOOTH FINISH)
 - ⑤ PRECAST CONCRETE PANEL (COLOUR DARK BLUE-SMOOTH FINISH)
 - ⑥ PRECAST CONCRETE PANEL (COLOUR WHITE-SMOOTH FINISH)
 - ⑦ PRECAST CONCRETE FORMLINER (RECKLI 248 RUHR)
 - ⑧ CLEAR ANODIZED ALUMINUM WINDOW/DOOR FRAME
 - ⑨ PRIMED AND PAINTED INSULATED METAL-FRAMED DOOR WITH GLASS PANEL
 - ⑩ PRE-FINISHED INSULATED METAL OVERHEAD DOOR (COLOUR WHITE)
 - ⑪ PRE-FINISHED INSULATED METAL DOCK DOOR (COLOUR WHITE)
 - ⑫ PARAPET FLASHING (COLOUR BLACK)
 - ⑬ PRECAST CONCRETE PANEL JOINT
 - ⑭ PRECAST CONCRETE REVEAL
 - ⑮ CONCRETE FILLED BOLLARDS (COLOUR SAFETY YELLOW)
 - ⑯ WALL MOUNTED EXTERIOR LIGHTS (SEE ELECTRICAL)
 - ⑰ PRIMED AND PAINTED METAL GUARDRAIL (COLOUR GREY)
 - ⑱ PRIMED AND PAINTED METAL STAIRS (COLOUR BLACK)
 - ⑲ PRE-FINISHED METAL SPANDREL PANEL (COLOUR LIGHT GREY)
 - ⑳ EXTERIOR CONCRETE RAMP
 - ㉑ CANOPY: COLOUR SOOT EX0092 (BY SUPPLIER)
 - ㉒ SNOW CHUTE - PAINTED PRECAST CONCRETE
 - ㉓ GAS METER

NO.	DESCRIPTION	DATE
P	ISSUED FOR DEVELOPMENT PERMIT	2019-08-14
Q	ISSUED FOR DEVELOPMENT PERMIT	2019-08-28
R	REVISED MECH/ELEC/SPRINKLER ROOMS	2019-08-30
S	ISSUED FOR ENGINEERING REVIEW	2019-09-27
T	ISSUED FOR ENGINEERING REVIEW	2019-10-07
U	ISSUED FOR DEVELOPMENT PERMIT	2019-11-15
V	ISSUED FOR DEVELOPMENT PERMIT	2019-11-26
W	ISSUED FOR DEVELOPMENT PERMIT	2019-11-29

Surrey Spec Building

3733 192 St.
Surrey, British Columbia
Lot 2, Section 28, Township 7, New
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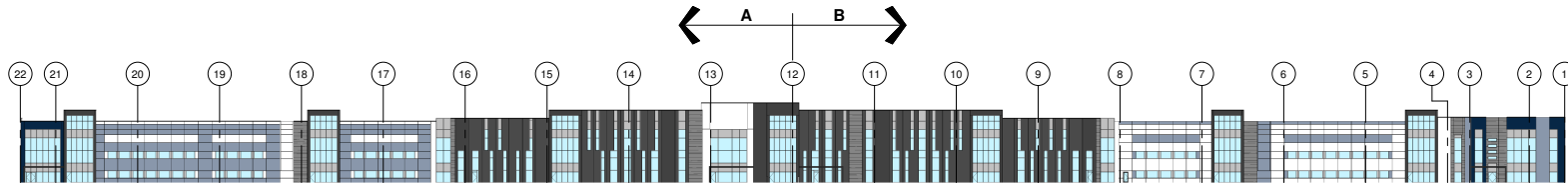
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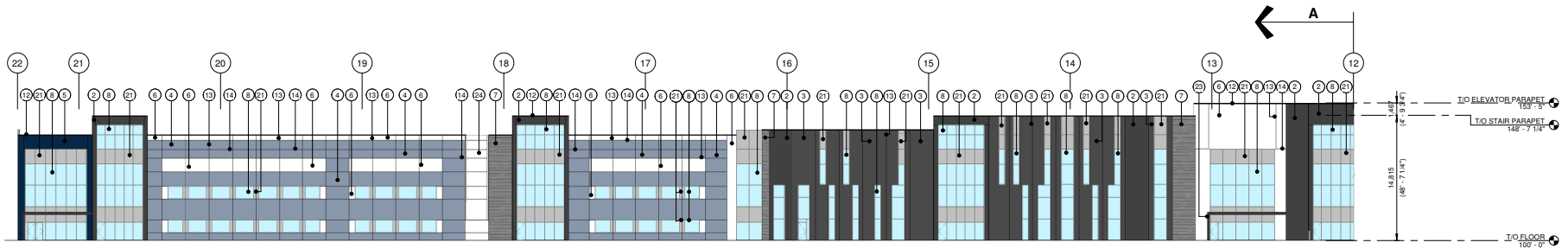
Elevations

A3.1

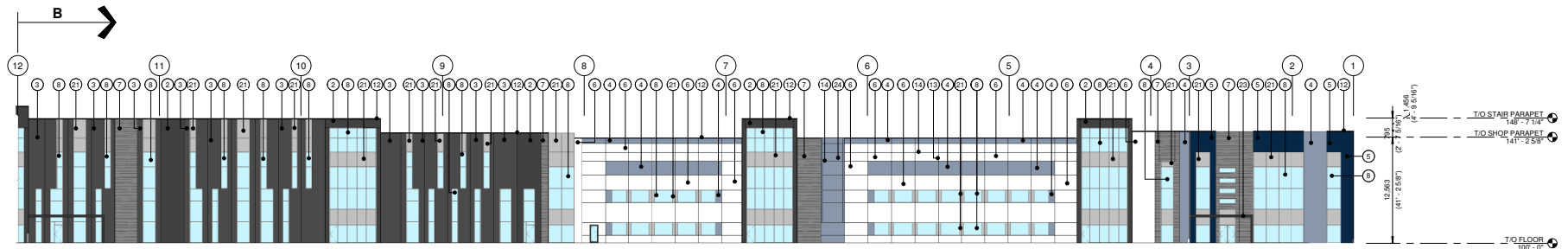
Project number:	B19206
Date:	2019-12-09 9:03:11 AM
Drawn by:	AB/TC/KL
Checked by:	BH/RO
Scale:	As indicated



3 North Elevation (38 Ave)
A2.0 1:500



2 North Elevation A (38 Ave)
A2.0 1:250

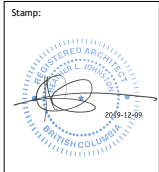


1 North Elevation B (38 Ave)
A2.0 1:250

NO.	DESCRIPTION	DATE
P	ISSUED FOR DEVELOPMENT PERMIT	2019-08-14
Q	ISSUED FOR DEVELOPMENT PERMIT	2019-08-28
R	REVISED MECH/ELEC/SPRINKLER ROOMS	2019-08-30
S	ISSUED FOR ENGINEERING REVIEW	2019-09-27
T	ISSUED FOR ENGINEERING REVIEW	2019-10-07
U	ISSUED FOR DEVELOPMENT PERMIT	2019-11-15
V	ISSUED FOR DEVELOPMENT PERMIT	2019-11-26
W	ISSUED FOR DEVELOPMENT PERMIT	2019-11-29

Surrey Spec Building

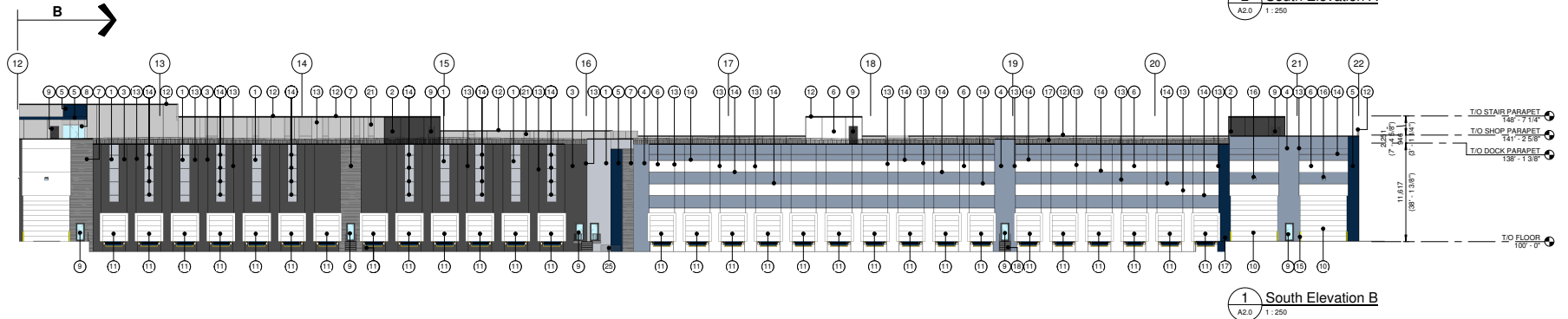
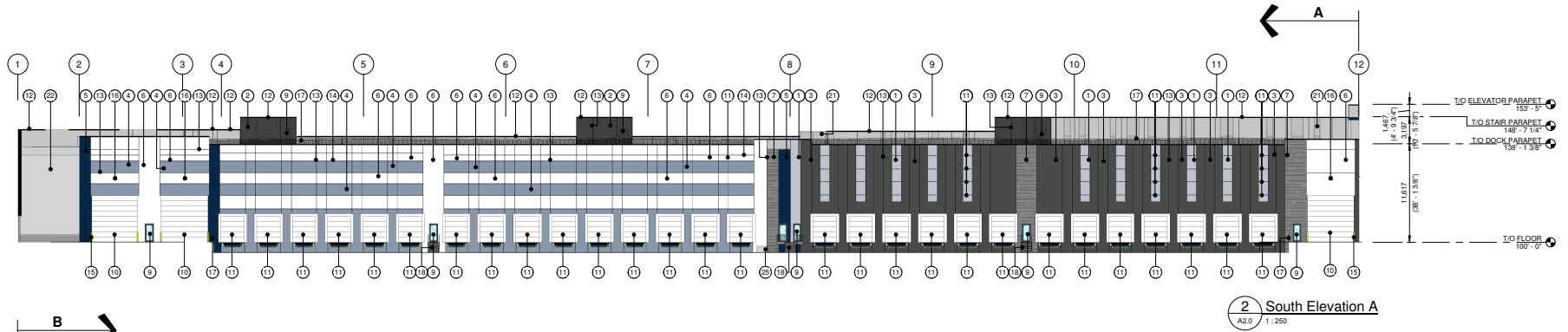
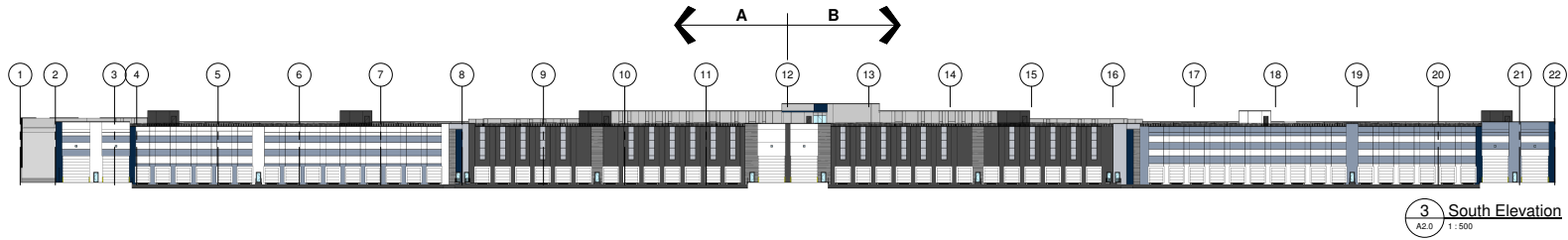
3733 192 St.
Surrey, British Columbia
Lot 2, Section 28, Township 7, New
Westminster District, Plan EPP49074



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OMISSIONS TO THE ARCHITECT IMMEDIATELY.
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GOVERNMENT AUTHORITIES.
THIS IS A COPYRIGHT DRAWING AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT THE WRITTEN CONSENT OF THE
CONSULTANT.

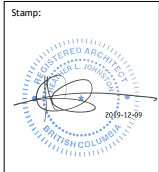
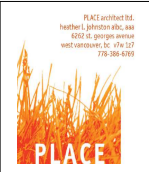
Project number: B19206	
Drawn by: AB/TC/KL	
Checked by: BH/RO	
Scale: As indicated	



NO.	DESCRIPTION	DATE
U	ISSUED FOR DEVELOPMENT PERMIT	2019-11-15
V	ISSUED FOR DEVELOPMENT PERMIT	2019-11-26
W	ISSUED FOR DEVELOPMENT PERMIT	2019-11-29

Surrey Spec Building

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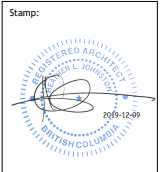
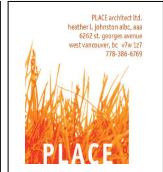
Elevations		Project number:	B19206
		Date:	2019-12-09 9:03:59 AM
A3.3		Drawn by:	AB/TC/KL
		Checked by:	BH/RO
		Scale:	As indicated



NO.	DESCRIPTION	DATE
P	ISSUED FOR DEVELOPMENT PERMIT	2019-08-14
Q	ISSUED FOR DEVELOPMENT PERMIT	2019-08-28
R	REVISED MECH/ELEC/SPRINKLER ROOMS	2019-08-30
U	ISSUED FOR DEVELOPMENT PERMIT	2019-11-15
V	ISSUED FOR DEVELOPMENT PERMIT	2019-11-26
Y	ISSUED FOR DEVELOPMENT PERMIT	2019-12-03

Surrey Spec Building

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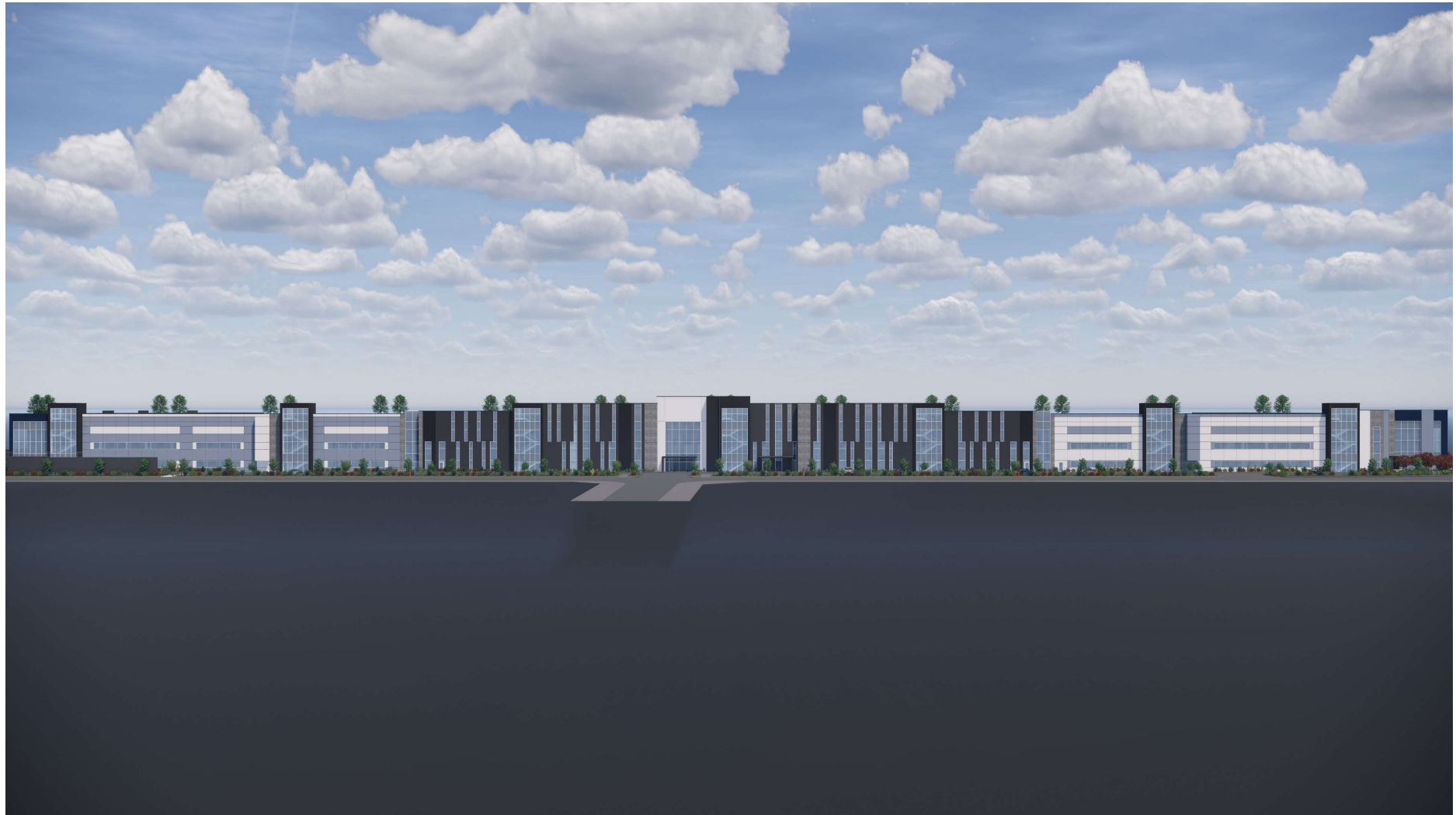
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 GOVERNING AUTHORITIES.
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 FIRM/INDIVIDUAL.

Exterior Render

A3.4

Project number:	B19206
Date:	2019-12-09 9:04:00 AM
Drawn by:	AB/TC/KL
Checked by:	BH/RO
Scale:	As indicated



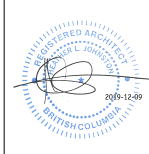
NO.	DESCRIPTION	DATE
P	ISSUED FOR DEVELOPMENT PERMIT	2019-08-14
U	ISSUED FOR DEVELOPMENT PERMIT	2019-11-15
V	ISSUED FOR DEVELOPMENT PERMIT	2019-11-26
Y	ISSUED FOR DEVELOPMENT PERMIT	2019-12-03

Surrey Spec Building

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Stamp:



aggregate
design studio ltd.

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OMISSIONS TO THE ARCHITECT IMMEDIATELY.
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CONSULTANT.

Exterior Render -
Centered

A3.5

Project number: B19206

Date: 2019-12-09 9:04:00 AM

Drawn by: AB/TC/KL

Checked by: BH/RO

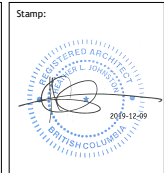
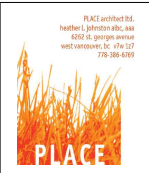
Scale: As indicated



NO.	DESCRIPTION	DATE
P	ISSUED FOR DEVELOPMENT PERMIT	2019-08-14
Q	ISSUED FOR DEVELOPMENT PERMIT	2019-08-28
R	REVISED MECH/ELEC/SPRINKLER ROOMS	2019-08-30
U	ISSUED FOR DEVELOPMENT PERMIT	2019-11-15
V	ISSUED FOR DEVELOPMENT PERMIT	2019-11-26

Surrey Spec Building

3733 192 St.
 Surrey, British Columbia
 Lot 2, Section 28, Township 7, New
 Westminster District, Plan EPP49074

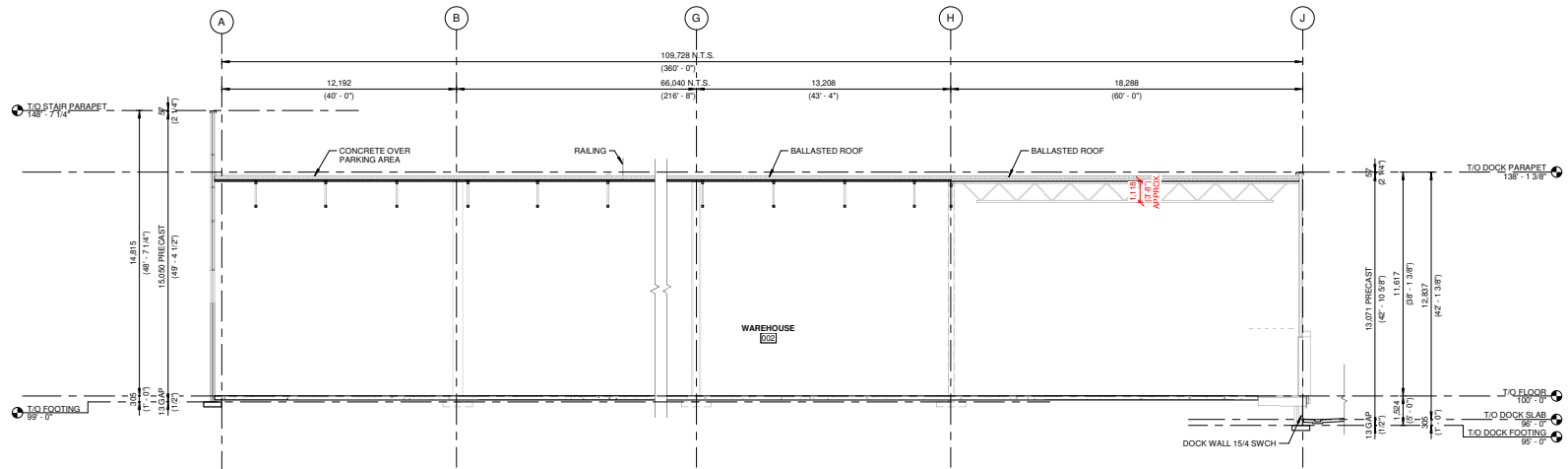


aggregate
 design studio ltd.

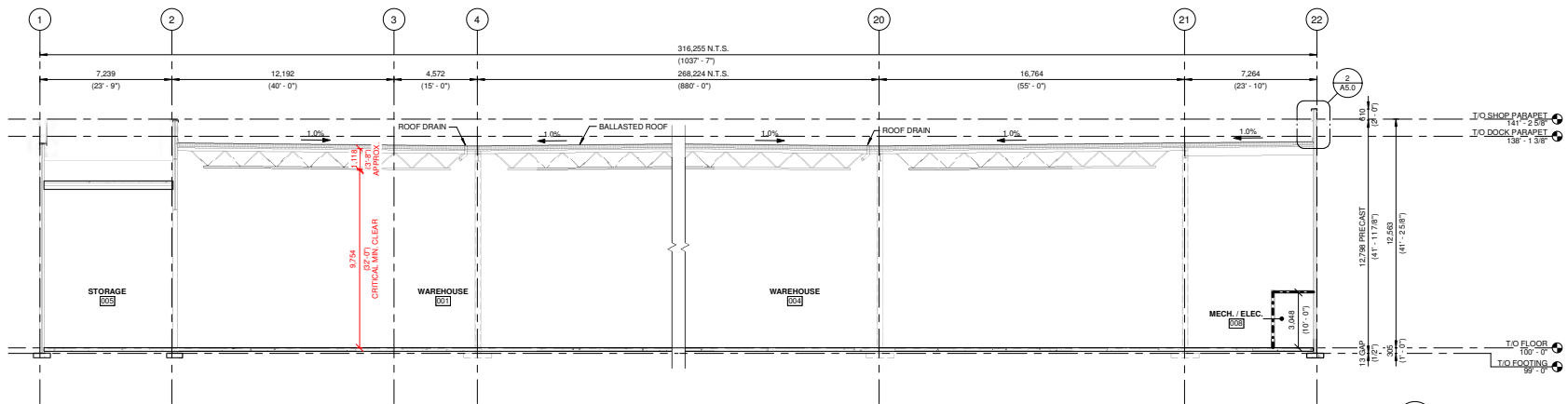
(403) 885-5525 P.O. BOX 1690 BLACKFALDS, AB, T0M 0J0

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 CONSULTANT.

Project number:	B19206
Date:	2019-12-09 9:04:02 AM
Drawn by:	AB/TC/KL
Checked by:	BH/RO
Scale:	As indicated



1 Building Section 1
A2.0 1:125

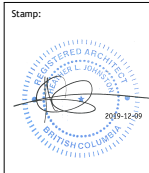


2 Building Section 2
A2.0 1:125

NO.	DESCRIPTION	DATE
P	ISSUED FOR DEVELOPMENT PERMIT	2019-08-14
S	ISSUED FOR ENGINEERING REVIEW	2019-09-27
T	ISSUED FOR ENGINEERING REVIEW	2019-10-07
U	ISSUED FOR DEVELOPMENT PERMIT	2019-11-15
W	ISSUED FOR DEVELOPMENT PERMIT	2019-11-29

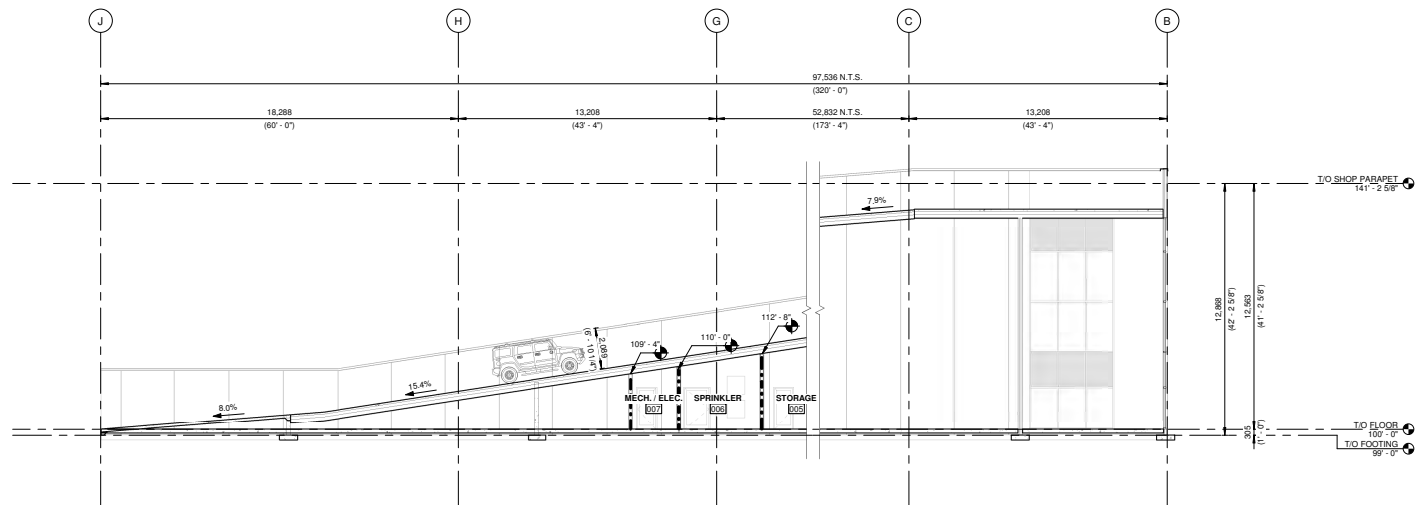
Surrey Spec Building

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Building Sections	
Project number:	B19206
Date:	2019-12-09 9:04:03 AM
Drawn by:	AB/TC/KL
Checked by:	BH/RO
Scale:	As indicated

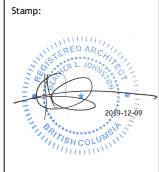


3 Building Section 3
A2.0 1:125

NO.	DESCRIPTION	DATE
R	REVISED MECH/ELEC/SPRINKLER ROOMS	2019-08-30
S	ISSUED FOR ENGINEERING REVIEW	2019-09-27
T	ISSUED FOR ENGINEERING REVIEW	2019-10-07
U	ISSUED FOR DEVELOPMENT PERMIT	2019-11-15
W	ISSUED FOR DEVELOPMENT PERMIT	2019-11-29

Surrey Spec Building

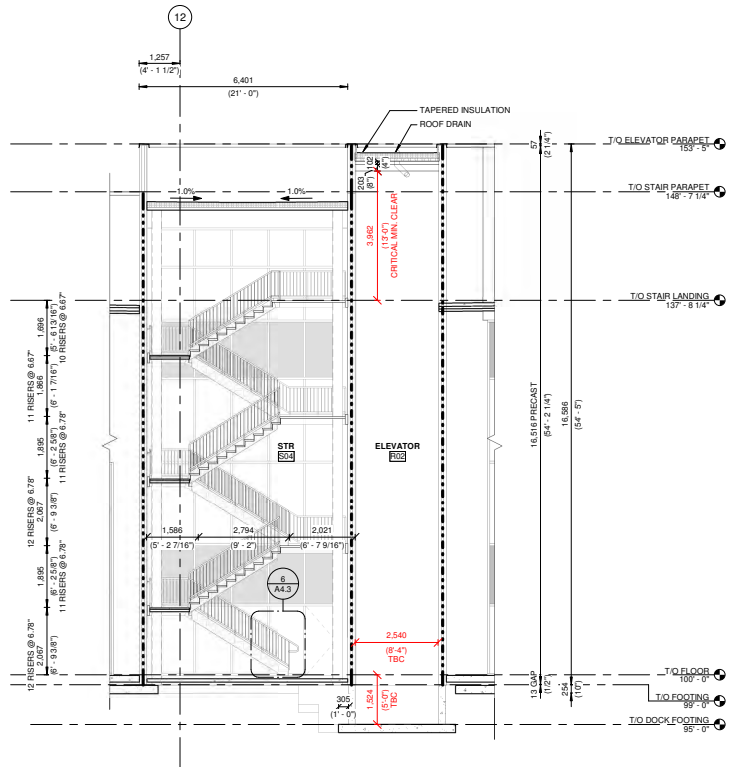
3733 192 St.
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Westminster District, Plan EPP49074



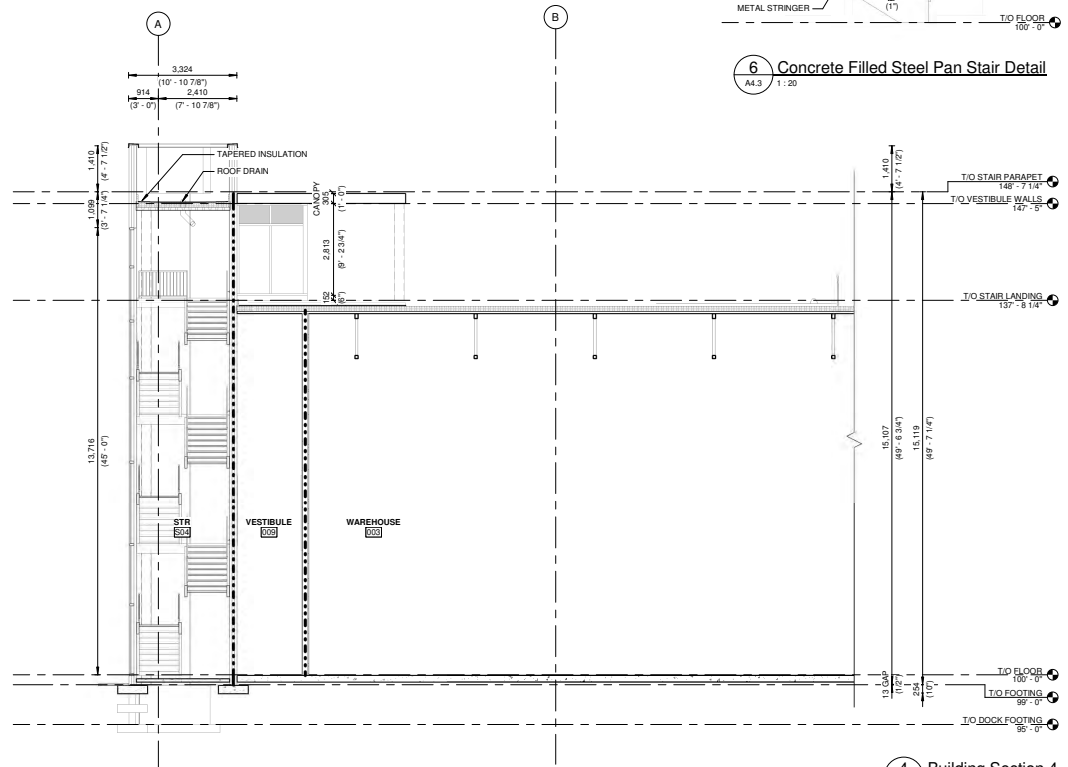
aggregate design studio ltd.
(403) 885-5525 P.O. BOX 1690 BLACKFALDS, AB, T0M 0J0

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CONSULTANT.

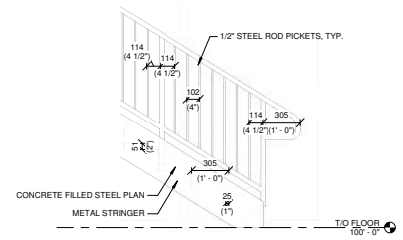
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		Date:	2019-12-09 9:04:05 AM
A4.2		Drawn by:	AB/TC/KL
		Checked by:	BH/RO
		Scale:	As indicated



5 Building Section 5
A2.3 1:75



4 Building Section 4
A2.3 1:75

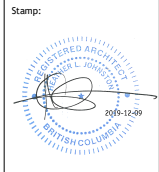


6 Concrete Filled Steel Pan Stair Detail
A4.3 1:20

NO.	DESCRIPTION	DATE
S	ISSUED FOR ENGINEERING REVIEW	2019-09-27
T	ISSUED FOR ENGINEERING REVIEW	2019-10-07
W	ISSUED FOR DEVELOPMENT PERMIT	2019-11-29

Surrey Spec Building

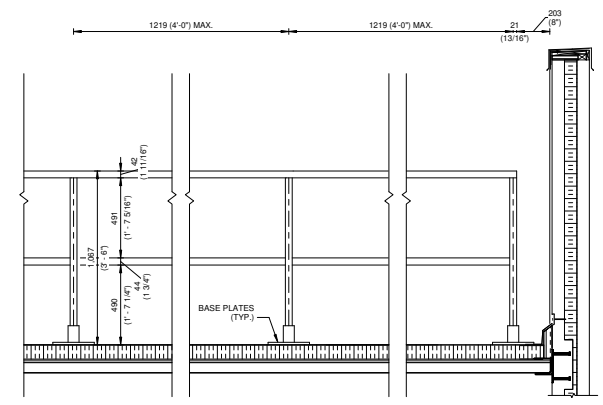
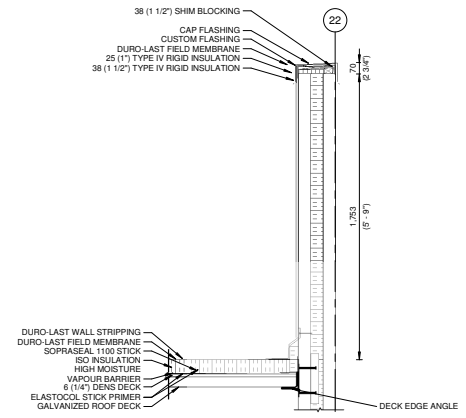
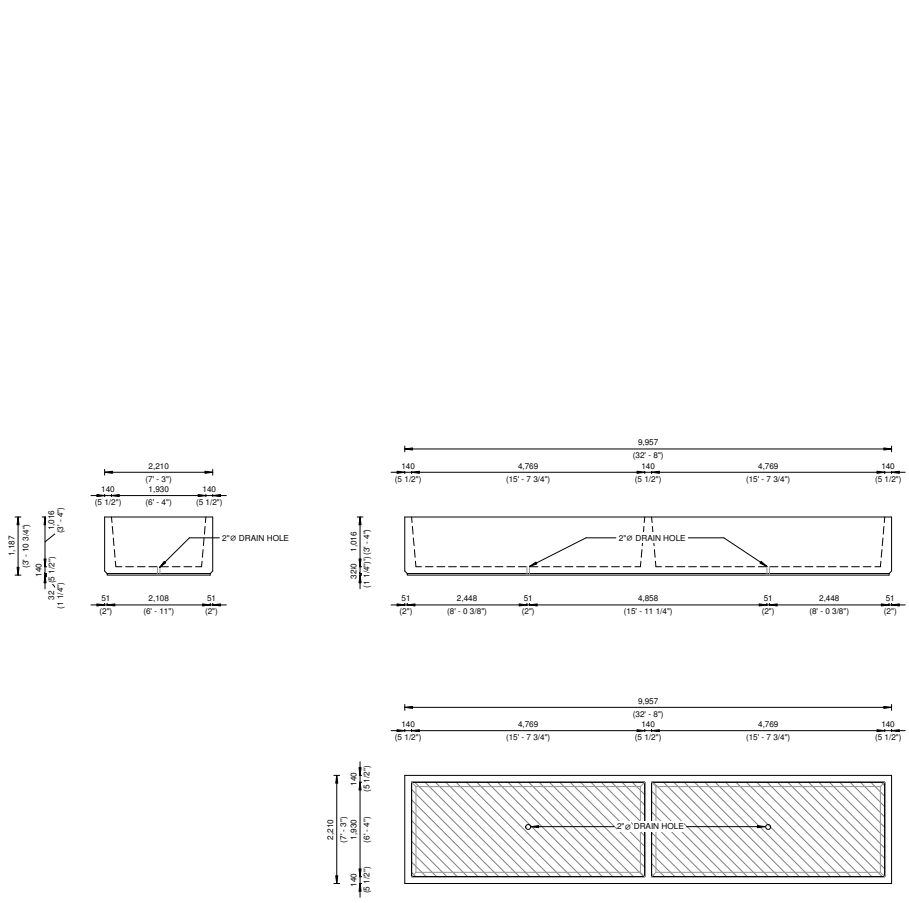
3733 192 St.
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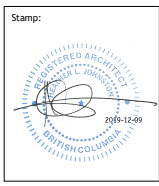
Building Sections	
Project number:	B19206
Date:	2019-12-09 9:04:07 AM
Drawn by:	AB/TC/KL
Checked by:	BH/RO
Scale:	As indicated



NO.	DESCRIPTION	DATE
J	ISSUED FOR DEVELOPMENT PERMIT	2019-05-22
M	ISSUED FOR DEVELOPMENT PERMIT	2019-06-27
N	ISSUED FOR DEVELOPMENT PERMIT	2019-07-16
S	ISSUED FOR ENGINEERING REVIEW	2019-09-27
T	ISSUED FOR ENGINEERING REVIEW	2019-10-07
V	ISSUED FOR DEVELOPMENT PERMIT	2019-11-26
W	ISSUED FOR DEVELOPMENT PERMIT	2019-11-29

Surrey Spec Building

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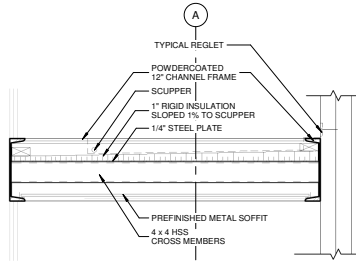
(403) 885-5525 P.O. BOX 1690 BLACKFALDS, AB, T0M 0J0

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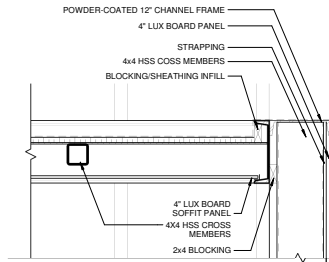
Architectural Details

A5.0

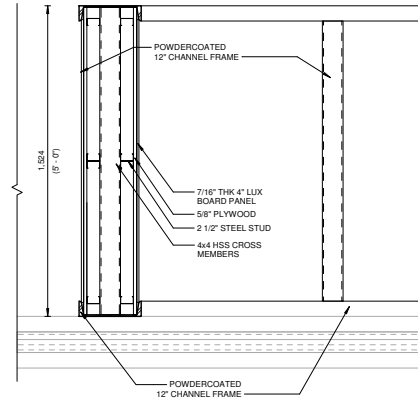
Project number: B19206
 Date: 2019-12-09 9:04:08 AM
 Drawn by: AB/TC/KL
 Checked by: BH/RO
 Scale: As indicated



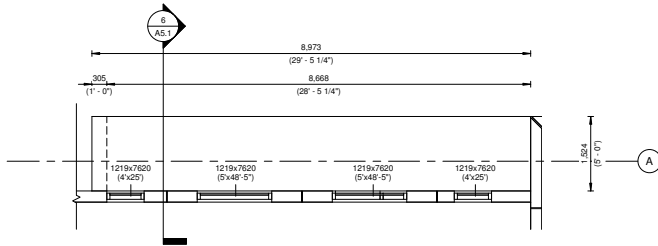
1 Canopy Connection Detail
AS.1 1" = 1'-0"



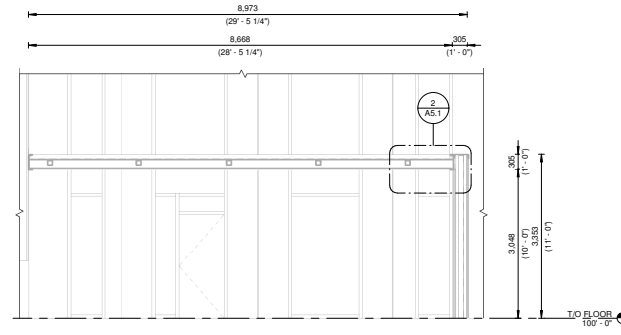
2 Canopy Connection Detail 2
AS.1 1" = 1'-0"



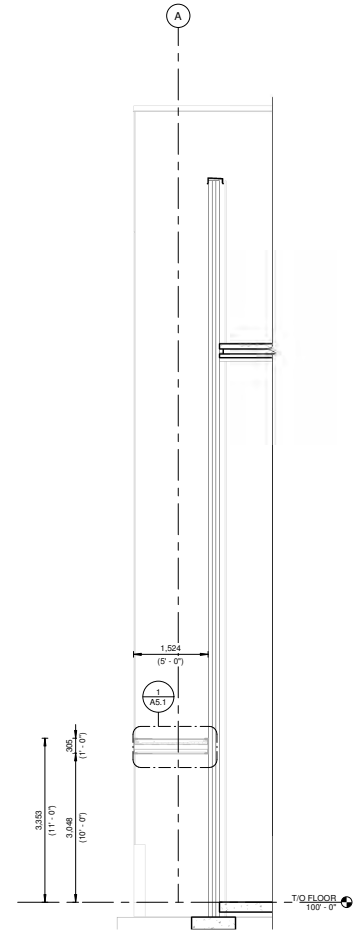
3 Canopy Connection Detail 3
AS.1 1" = 1'-0"



4 Canopy Plan
AS.1 1: 50



5 Canopy Elevation
AS.1 1: 50

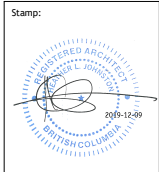
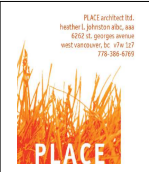


6 Canopy Section
AS.1 1: 50

NO.	DESCRIPTION	DATE
U	ISSUED FOR DEVELOPMENT PERMIT	2019-11-15
V	ISSUED FOR DEVELOPMENT PERMIT	2019-11-26
W	ISSUED FOR DEVELOPMENT PERMIT	2019-11-29

Surrey Spec Building

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Canopy Details

A5.1

Project number:	B19206
Date:	2019-12-09 9:04:10 AM
Drawn by:	AB/TC/KL
Checked by:	BH/RO
Scale:	As indicated

TREE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
1	2	ACER CIRCINATUM	VINE MAPLE	2M HT, BAB
2	2	ACER PALMATUM	JAPANESE MAPLE	5CM CAL, 1.2M STD, BAB
3	36	ACER RUBRUM 'KARPOK'	COLLIANAR KARPICK MAPLE	8CM CAL, 2M STD, BAB
4	31	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AMERICAN BRILLIANCE SERVICEBERRY	2M HT, BAB
5	24	CHAMAECYPARIS NODOKTENSIS 'PENDULA'	WEeping NOOTKA CYPRESS	3M HT, BAB
6	14	GINKGO BILBOA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR	8CM CAL, 2M STD, BAB
7	25	PICEA OMORICA	SERBIAN SPRUCE	3M HT, BAB
8	26	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	5CM CAL, 1.5M STD, BAB
9	6	THUJA PLICATA 'EXCELSA'	WESTERN RED CEDAR	2.5M HT, BAB

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CMAA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR BEHIND CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE: NO USE OF THE CITY MUP ALONG 192ND STREET IS PERMITTED FOR CONSTRUCTION OF ANY KIND. WORK ADJACENT TO THE MUP SHALL BE UNDER THE SUPERVISION OF THE PROJECT ARBORIST.

NOTE: ROOFTOP PLANTERS TO BE IRRIGATED WITH DESIGN BUILD HIGH EFFICIENT IRRIGATION SYSTEM. DESIGN MUST BE IN COMPLIANCE WITH IABC STANDARDS.

SITE PAVING:



BARKMAN - BROADWAY PAVER
SHORELINE SLATE



EXPOCRETE - VSF PAVER

SITE FURNISHINGS:



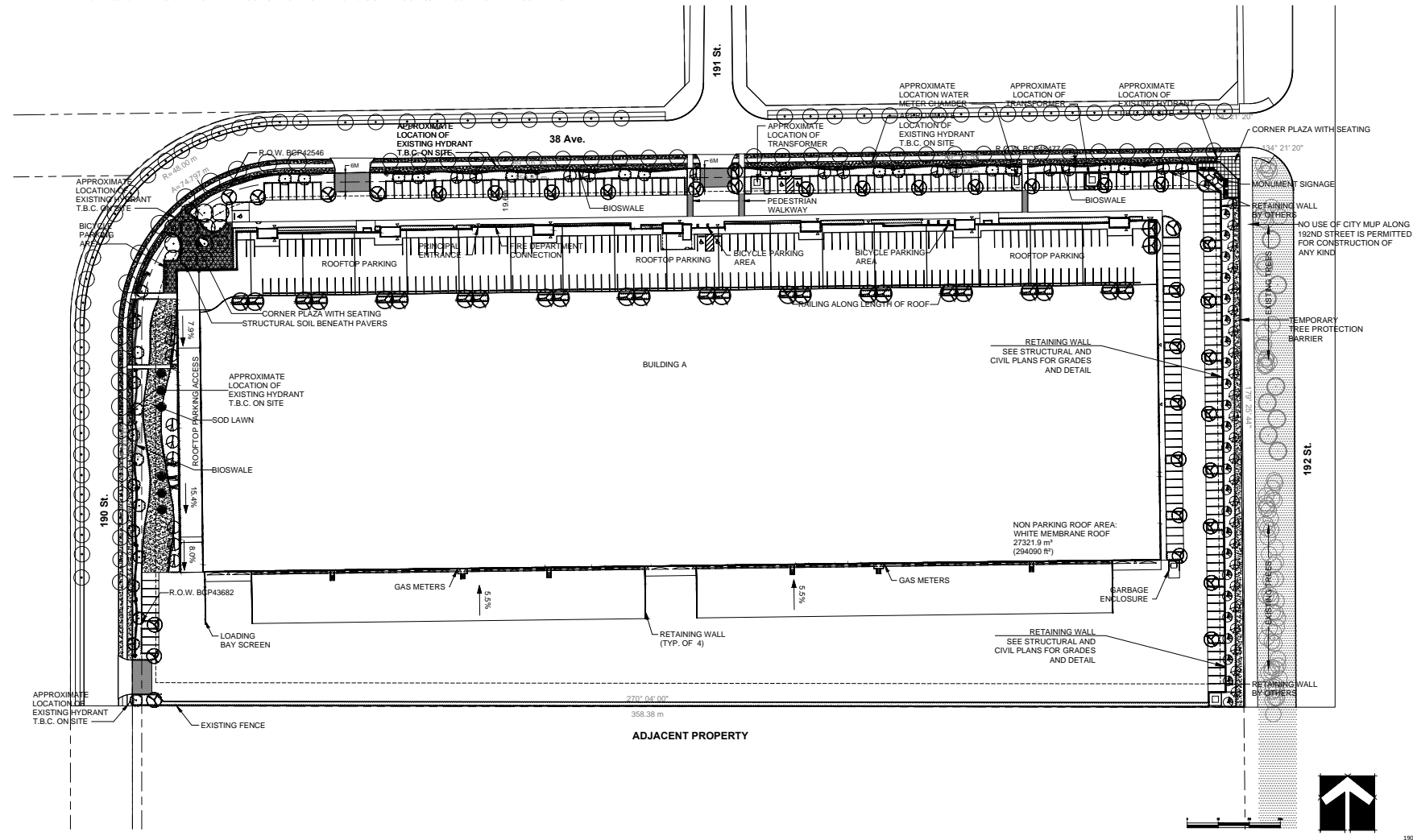
LANDSCAPE FORMS - PARALLEL 42
WEDGE BENCH



WISHBONE MODERNA BENCH
BROWN SLATE



CORA BIKE RACK



SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	19 DEC 06	MUP AREA HOTEL PLANTER BRIGADIER	
2	19 NOV 23	REVISE PER COMMENTS	JK
3	19 NOV 23	REVISE PER COMMENTS	JK
4	19 NOV 24	NEW SITE PLAN	JK
5	19 AUG 22	UPDATE PER NEW SITE PLAN	JK

CLIENT:

PROJECT:

SPEC BUILDING
3733 192ND STREET
SURREY, BRITISH COLUMBIA

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 19 JUN 12 DRAWING NUMBER:
SCALE: 1:600
DRAWN:
DESIGN:
CHKD: MCV OF 9



SEAL:

- CORNUS SERICEA
- ESCALONIA 'NEWPORT DWARF'
- MAHONIA AQUIFOLIUM
- NANNINA DOMESTICA 'FIREPOWER'
- RIBES SANGUINEUM
- ROSA 'NOARTRUM'
- SKIMMIA JAPONICA (10% MALE)
- SPIRAEA BETULIFOLIA 'TOUR'
- SPIRAEA JAPONICA 'SHROBANA'
- VACCINIUM OVALIFOLIUM
- VIBURNUM DAVOURI
- VIBURNUM P.T. 'SUMMER SNOWFLAKE'
- CAREX 'ICE DANCE'
- CAREX OSHIMENSIS 'EVERGOLD'
- CAREX PENDULA
- HELICTOTRICHON 'SEMPER VIRENS'
- IMPERATA CYLINDRICA 'RED BARON'
- JUNCUS EFFUSUS
- STIPA TENISSISSIMA
- BRUNNERA MACROPHYLLA
- HEMEROCALLIS 'STELLA D'ORO'
- ARCTOSTAPHYLOS UVA-URSI 'VANCOUVER JADE'
- LONICERA PILEATA

- NOTES:
1. TREE BASE COLLARS MUST BE SQUARE.
 2. DUCTILE IRON GRATE COVERS SHALL BE DOBNEY FOUNDRY LTD. DIMENSIONS SHALL BE 48" X 48" X .75" (D.F.LTD. SP48)
 3. DUCTILE IRON TREE GRATES SHALL BE IN TWO .75" THICK HALF SECTIONS WITH A 16" DIAM. OPENING AT CENTER OF GRATE. OUTER EDGE IS SUPPORTED BY A RECESSED CURB ANGLE IRON.
 4. STEEL FRAME ANGLE IRON SHALL BE GALVANIZED 1" X 1" X 1/4" COMPLETE WITH NELSON ANCHOR STUDS (D.F.LTD. FRAMING STYLE A) CAST INTO PLACE AND COMPATIBLE WITH GRATE.
 5. FRAMES MUST BE POSITIONED BEFORE CONCRETE IS POURED AND MUST BE LEVELLED TO PREVENT ANY ROCKING OF TREE GRATES.
 6. OVERALL TREE GRATE OPENING SHALL BE 48.5" SQUARE.
 7. LEDGE AND OPENING DIMENSIONS TO BE CONSTRUCTED WITHIN 1/4" ±
 8. TREE GRATES AND CONSTRUCTION SHALL BE PEDESTRIAN FRIENDLY, SAFE AND TO WITHSTAND MAXIMUM PEDESTRIAN LOADING.
 9. ALL TREE GRATES AND FRAMES SHALL BE RUST PROOF.
 10. ALL TREE GRATES SHALL BE DRY EPOXY COATED (BLACK IN COLOUR) BY HUDSON PLATING CO. LTD.
 11. CONTRACTOR SHALL CONFIRM ALL TREE GRATES, FRAMES AND COLLAR DIMENSIONS WITH THE MANUFACTURER TO ENSURE PROPER FIT PRIOR TO CONSTRUCTION.

NO.	DATE	REVISION DESCRIPTION	DR.
1	15 DEC 06	MAP AREA NOTES, PLANTER BRINGALONG	
4	19 NOV 23	REVISE PER COMMENTS	PM
5	28 NOV 23	REVISE PER COMMENTS	PM
2	19 NOV 24	NEW SITE PLAN	PM
1	19 AUG 22	UPDATE PER NEW SITE PLAN	PM

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

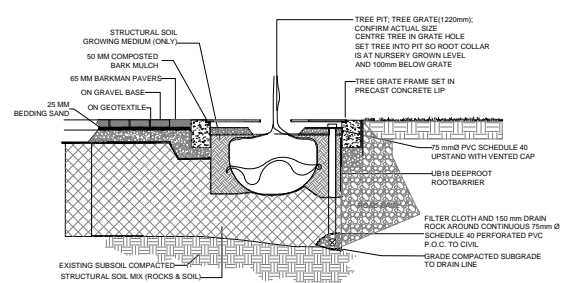
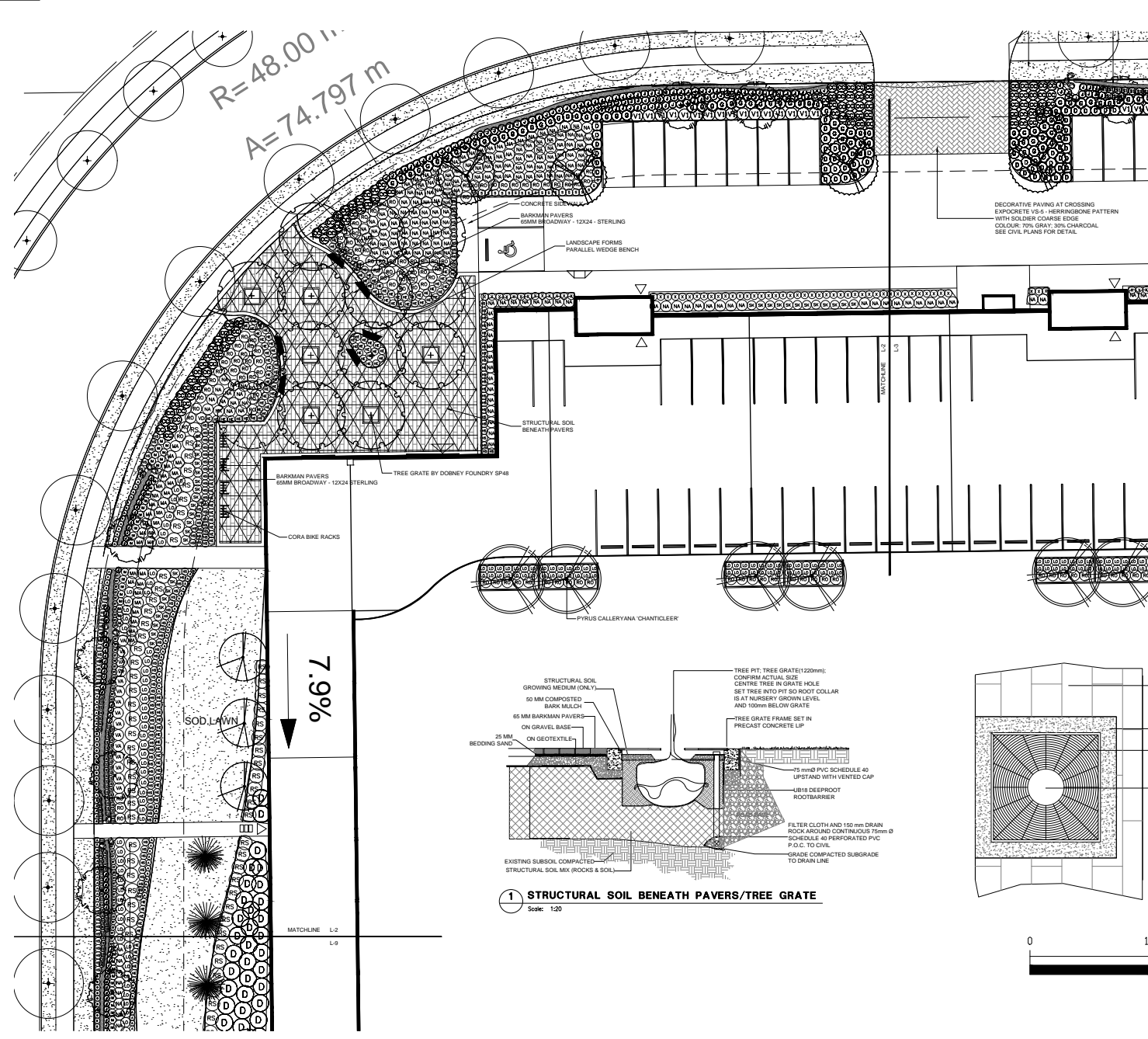
PROJECT:

SPEC BUILDING
3733 192ND STREET
SURREY, BRITISH COLUMBIA

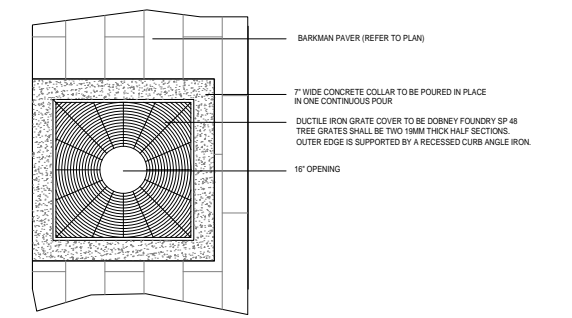
DRAWING TITLE:
SHRUB PLAN

DATE: 19 JUN 12 DRAWING NUMBER:
SCALE: 1:150
DRAWN:
DESIGN:
CHKD: MCY OF 9

L2



1 STRUCTURAL SOIL BENEATH PAVERS/TREE GRATE
Scale: 1:20

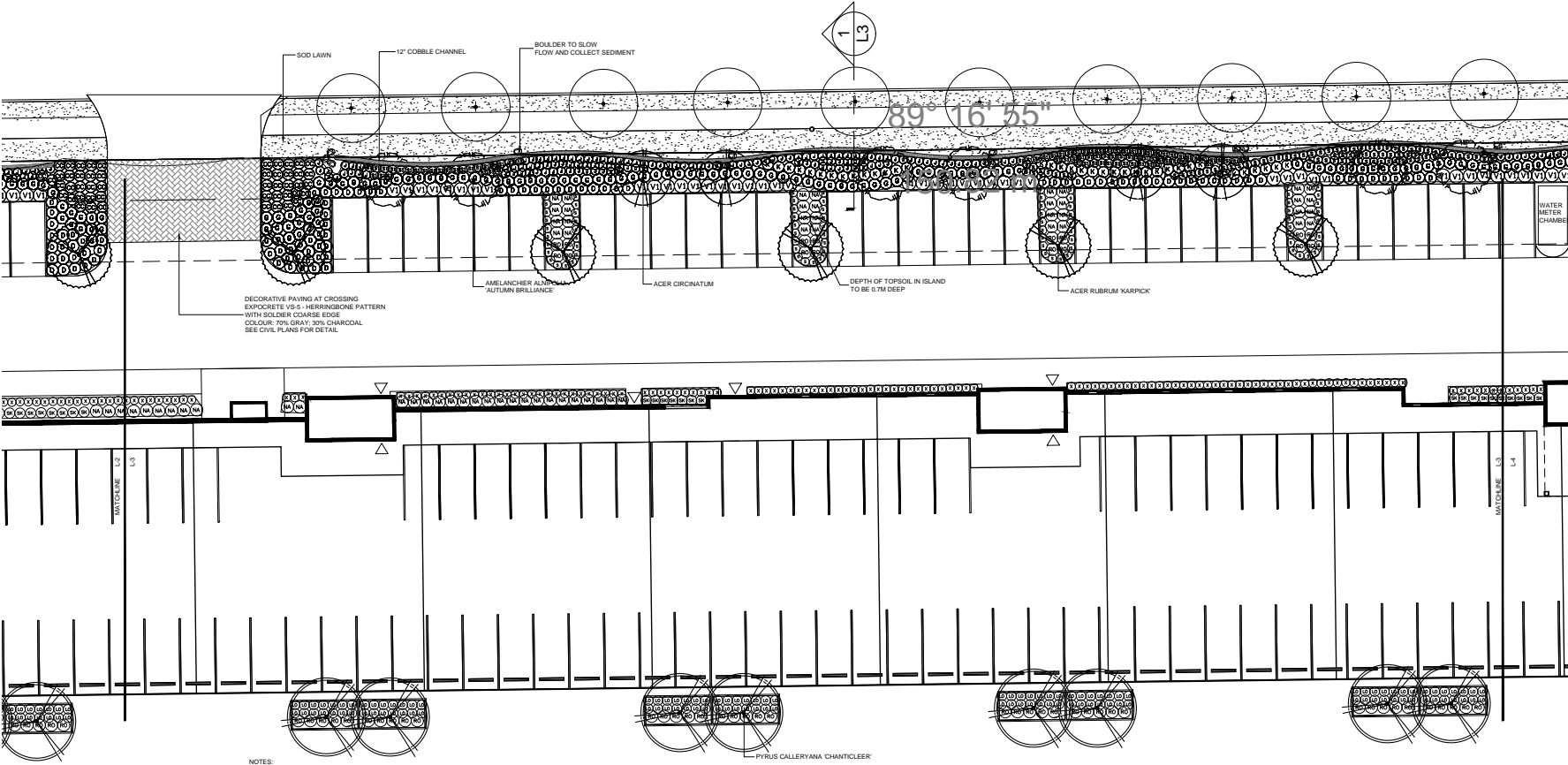


R=48.00 m
A=74.797 m

7.9%

MATCHLINE L-2
L-0

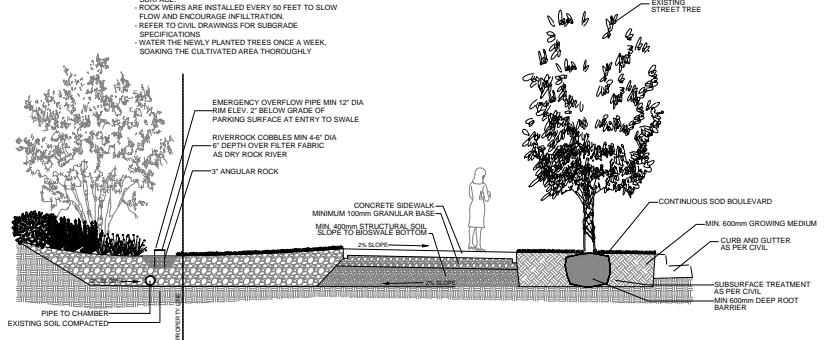
SEAL:



NOTES:
- BIOSWALES ARE MINIMUM 4' WIDE AND VARY IN LENGTH DEPENDING ON LOCATION IN SITE.
- THERE IS ONE 12" WIDE CURSCUT EVERY 20 FEET TO ALLOW RUNOFF TO ENTER THE SWALES FROM THE ROAD SURFACE.
- ROCK WIERS ARE INSTALLED EVERY 50 FEET TO SLOW FLOW AND ENCOURAGE INFILTRATION.
- REFER TO CIVIL DRAWINGS FOR SUBGRADE SPECIFICATIONS.
- WATER THE NEWLY PLANTED TREES ONCE A WEEK, SOAKING THE CULTIVATED AREA THOROUGHLY.

NOTE: SUPPLY AND INSTALL DESIGN BUILD IRRIGATION SYSTEM TO IRRIGATE ROOF TOP PLANTERS.

- CORNUS SERICEA
- ESCALLONIA NEWPORT DWARF
- NANDINA DOMESTICA 'FIREPOWER'
- ROSA 'NOARTRAIL'
- SKIMMIA JAPONICA (10% MALE)
- SPIRAEA BETULIFOLIA 'TOR'
- SPIRAEA BETULIFOLIA 'TOR'
- SPIRAEA JAPONICA 'SHIROBANA'
- VIRIBUNUM P.T. 'SUMMER SNOWFLAKE'
- CAREX 'ICE DANCE'
- CAREX OBOVATUS
- CAREX OSHIMENSIS 'EVERGOLD'
- JUNCUS EFFUSUS



1 BIOSWALE SECTION
SCALE 1:20

NO.	DATE	REVISION DESCRIPTION	DR.
5	19 DEC 06	MAP AREA HOTEL PLANTER IRRIGATION	
4	19 NOV 23	REVISE PER COMMENTS	JM
3	28 NOV 23	REVISE PER COMMENTS	JM
2	19 NOV 24	NEW SITE PLAN	JM
1	19 AUG 22	UPDATE PER NEW SITE PLAN	JM

CLIENT:

PROJECT:

SPEC BUILDING
3733 192ND STREET
SURREY, BRITISH COLUMBIA

DRAWING TITLE:
SHRUB PLAN

DATE: 19 JUN 12 DRAWING NUMBER:

SCALE: 1:150

DRAWN:

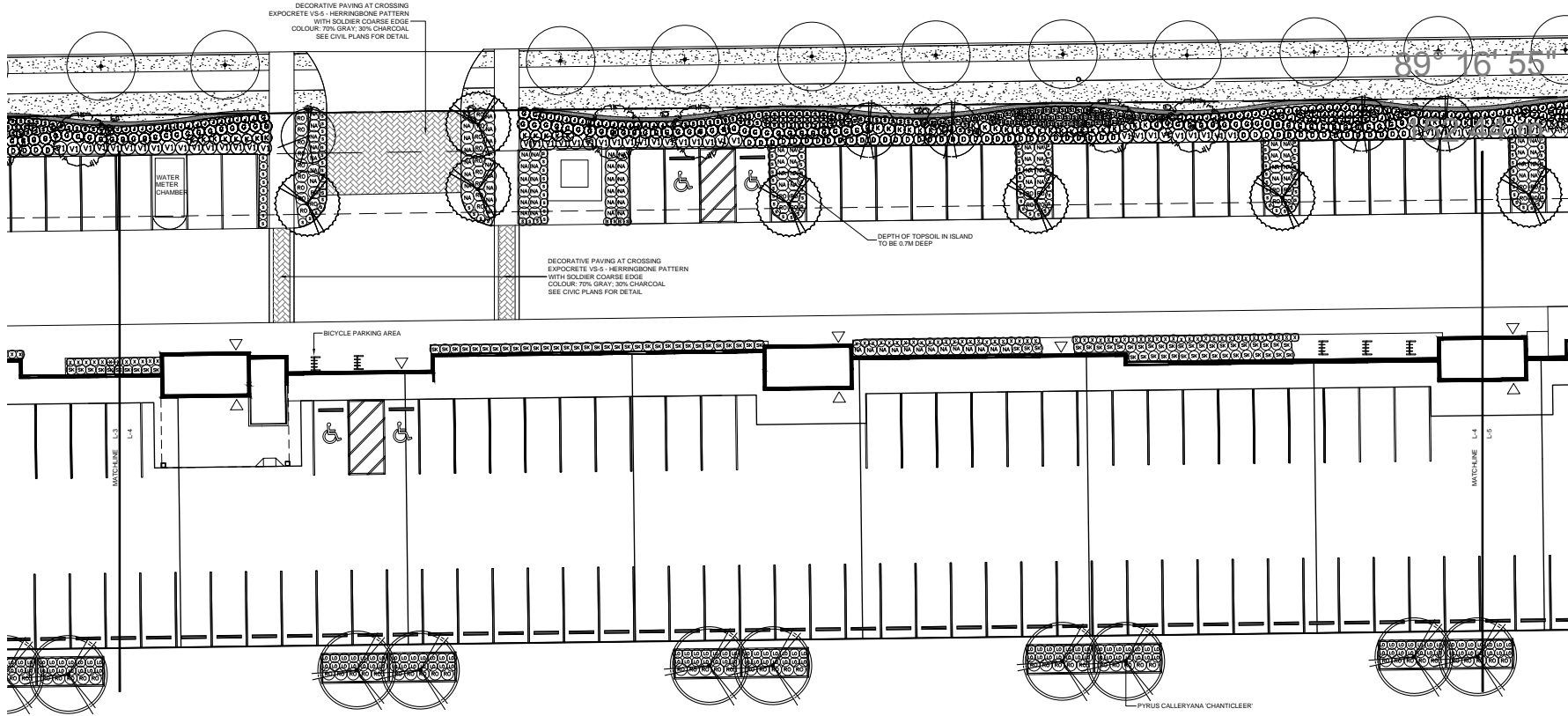
DESIGN:

CHKD: MCY

L3

OF 9

SEAL:



- ① ARBUTUS UNEDD 'COMPACTA'
- ② CORNUS SERICEA
- ③ ESCALLONIA 'NEWPORT DWARF'
- ④ NANIENA DOMESTICA 'FIREPOWER'
- ⑤ ROSA 'NOARTRAM'
- ⑥ SKIMMIA JAPONICA (10% MALE)
- ⑦ SPIRAEA BETULIFOLIA 'TOR'
- ⑧ SPIRAEA BETULIFOLIA 'TOR'
- ⑨ SPIRAEA JAPONICA 'SHROBANA'
- ⑩ VIBURNUM 'F.T. SUMMER SNOWFLAKE'
- ⑪ CAREX OBLIQUA
- ⑫ CAREX OSHIMENSIS 'EVERGOLD'
- ⑬ JUNCUS EFFUSUS



NO.	DATE	REVISION DESCRIPTION	DR.
3	19 DEC 06	MUP AREA HOTEL PLANTER BRIGADION	
4	19 NOV 28	REVISE PER COMMENTS	
5	19 NOV 28	REVISE PER COMMENTS	
2	19 NOV 24	NEW SITE PLAN	
1	19 AUG 22	UPDATE PER NEW SITE PLAN	

CLIENT:

PROJECT:
SPEC BUILDING
3733 192ND STREET
SURREY, BRITISH COLUMBIA

DRAWING TITLE:
SHRUB PLAN

DATE: 19 JUN 12 DRAWING NUMBER:
SCALE: 1:150
DRAWN:
DESIGN:
CHKD: MCV OF 9

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	19 DEC 06	MAP AREA HOTEL PLANTER BRINGING	
2	19 NOV 23	REVISE PER COMMENTS	DR
3	19 NOV 23	REVISE PER COMMENTS	DR
4	19 NOV 24	NEW SITE PLAN	DR
5	19 NOV 24	REVISE PER COMMENTS	DR
6	19 AUG 22	UPDATE PER NEW SITE PLAN	DR

CLIENT:

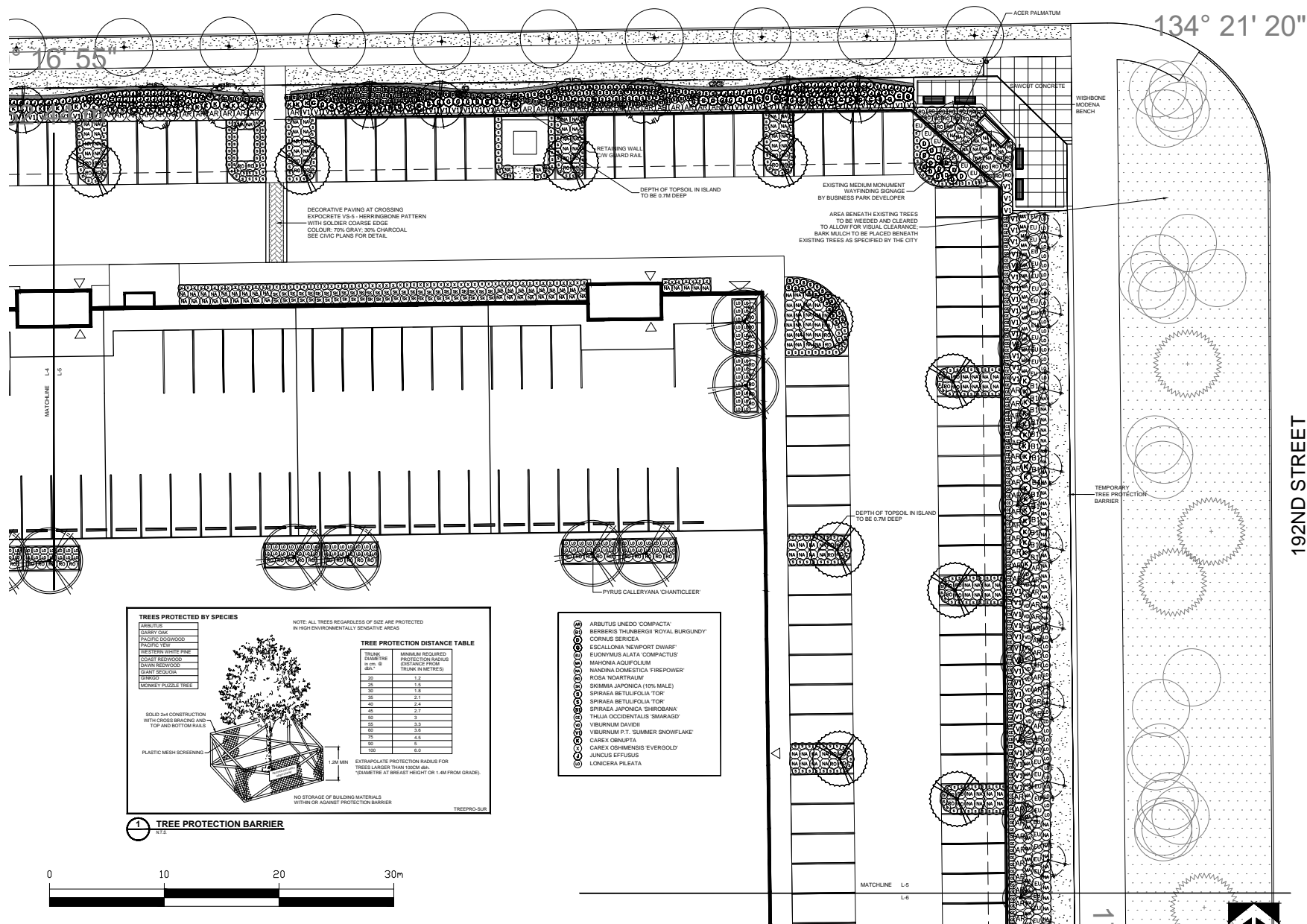
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L5



134° 21' 20"

192ND STREET

TREES PROTECTED BY SPECIES

NOTE: ALL TREES REGARDLESS OF SIZE ARE PROTECTED IN HIGH ENVIRONMENTALLY SENSITIVE AREAS

TREE SPECIES	MINIMUM REQUIRED PROTECTION RADIUS (M)	MINIMUM REQUIRED PROTECTION RADIUS (FEET)
20	1.2	4
25	1.5	5
30	1.8	6
35	2.1	7
40	2.4	8
45	2.7	9
50	3.0	10
55	3.3	11
60	3.6	12
65	4.0	13
70	4.5	15
80	5.0	16
100	6.0	20

EXTRAPOLATE PROTECTION RADIUS FOR TREES LARGER THAN 100 CM DBH (DIAMETER AT BREAST HEIGHT OR 1.4M FROM GRADE).

NO STORAGE OF BUILDING MATERIALS WITHIN OR AGAINST PROTECTION BARRIER

TREPRO-SUR

1 TREE PROTECTION BARRIER
N.T.E.

- ARBUTUS UNEDO 'COMPACTA'
- BERBERIS THUNBERGII 'ROYAL BURGUNDY'
- CORNUS SERICEA
- ESCALLONIA 'NEWPORT DWARF'
- EUONYMUS ALATA 'COMPACTUS'
- MAHONIA AQUIFOLIUM
- NANDINA DOMESTICA 'FIREPOWER'
- ROSA 'NOATRAUM'
- SKIMMIA JAPONICA (10% MALE)
- SPIRAEA BETULIFOLIA 'TOR'
- SPIRAEA BETULIFOLIA 'TOR'
- SPIRAEA JAPONICA 'SHROBANA'
- THUJA OCCIDENTALIS 'SMARAGD'
- VIBURNUM DAVIDII
- VIBURNUM P.T. 'SUMMER SNOWFLAKE'
- CAREX OBLIQUA
- CAREX OSHIBENSI 'EVERGOLD'
- JUNCUS EFFUSUS
- LONICERA PILEATA





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Burnaby, British Columbia, V5C 6G9
p. 604-294-0011 f. 604-294-0022

SCALE:

Table with 2 columns: NO., DATE, REVISION DESCRIPTION, DR.

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PROJECT:

SPEC BUILDING
3733 192ND STREET
SURREY, BRITISH COLUMBIA

DRAWING TITLE:

SHRUB PLAN

DATE: 19.JUN.12 DRAWING NUMBER:
SCALE: 1:50
DRAWN:
DESIGN:
CHKD: MCV OF 9

L9

SHRUB SCHEDULE table with columns: NO., BOTANICAL NAME, COMMON NAME, PLANTED SIZE, REMARKS

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED ARE PER CANA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND TRADES VALLEY. * SUBSTITUTION: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. * SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARDS AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY: * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * NO SOLIDS NOT PERMITTED IN GROUPING MEDIA UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

MATCHLINE L-2
L-9

12" COBBLE CHANNEL

BOULDER TO SLOW FLOW AND COLLECT SEDIMENT

15.4%

8.0%

SOD LAWN

DEPTH OF TOPSOIL IN ISLAND TO BE 0.7M DEEP

MATCHLINE L-9
L-8

- CORNUS SERICEA
MAHONIA AQUIFOLIUM
NANDINA DOMESTICA 'FIREPOWER'
RIBES SANGUINEUM
ROSSIA NODATRINUM
SPRIRAEA BETULIFOLIA 'TOR'
VACCINIUM OVALIFOLIUM
VIBURNUM DAVIDI
VIBURNUM TINUS 'DWARF'
CAREX PENDULA
HELECTOTRICHON ESPERIVIRENS
IMPERATA CYLINDRICA 'RED BARON'
JUNCEUS EFFUSUS
STIPA TENUSSISMA
BRUNNERA MACROPHYLLA
HEMEROCALLIS 'STELLA D'ORO'
ARCTOSTAPHYLOS UVA-URSI 'VANCOUVER JADE'
LONICERA PILEATA

