

CORPORATE REPORT

**As per memo dated July 26, 2024
Appendix I has been updated**

NO: R147

COUNCIL DATE: July 22, 2024

REGULAR COUNCIL

TO: **Mayor & Council** DATE: **July 18, 2024**

FROM: **General Manager, Planning & Development** FILE: **6745-20 (SSMUH)**

SUBJECT: **Transition from Single-Family Residential Zones to Small-Scale Multi-Unit Housing Zones for In-stream Development Applications**

RECOMMENDATION

The Planning & Development Department recommends that Council:

1. Receive this report for information;
2. Authorize staff to close and file in-stream zoning by-law amendments to *Surrey Zoning Bylaw, 1993, No. 12000*, as amended, and associated development variance permits, to align with provincial housing legislation and new Small-Scale Multi-Unit Housing zones, which reference original single-family or duplex zones, as provided in Appendix "I"; and
3. Authorize staff to close and file in-stream development variance permits without any associated rezoning, to align with provincial housing legislation and new Small-Scale Multi-Unit Housing zones, which reference original single-family or duplex zones, as provided in Appendix "II"; and
4. Authorize the City Clerk to provide notification for replacement of new amendment bylaws, and any associated development variance permits, and schedule for Council consideration of first, second, and third readings of new bylaw amendments for September 9, 2024, and approval as to form for associated development variance permits after final adoption.

INTENT

The intent of this report is to facilitate alignment of in-stream rezoning and development variance permit applications with the new Small-Scale Multi-Unit Housing zoning bylaw requirements mandated by provincial legislation and as adopted by the City on July 8, 2024 to allow in-stream application processes to proceed under the zoning currently in effect.

BACKGROUND

In November 2023, the Provincial Government introduced legislation under Bill 44, which included Small-Scale Multi-Unit Housing ("SSMUH") requirements intended to facilitate additional housing supply and affordability in British Columbia communities.

On June 10, 2024, Council endorsed Corporate Report No. R0109; 2024, titled “Small-Scale Multi-Unit Housing: Zoning By-law Amendments Related to Provincial Housing Legislation”. These amendments to *Surrey Zoning By-law, 1993, No. 12000* (the “Zoning By-law”) align with provincial housing legislation by replacing 14 single-family zones, one semi-detached zone, four gross density zones, and one duplex zone with nine new SSMUH zones.

DISCUSSION

The new SSMUH Zoning By-law amendments adopted on July 8, 2024 impact about 150 single-family and duplex development applications at third reading. Applications that received final adoption prior to July 8, 2024, or that are proposed to be rezoned from an old single-family or duplex zone to a non-SSMUH zone are not impacted. The impacted in-stream bylaws will need to be filed and closed and new bylaw replacements and associated development variance permits introduced to align to with new SSMUH zones.

In order to streamline this administrative requirement, it is proposed that these bylaws be brought forward for Council’s consideration in batches over the next few months. Appendix “I” lists the first batch in-stream zoning bylaw amendment applications, including any associated development variance permits. Appendix “II” lists the first batch in-stream development variance permits without rezoning.

Notification

Section 464 of the *Local Government Act* prohibits public hearings solely for zoning bylaw amendments related to Section 481.3 (zoning bylaws and small-scale multi-family housing), and therefore no public hearing is required. Notification will be provided in accordance with applicable bylaws and legislative requirements.

Legal Services Review

Legal Services has reviewed this report.

CONCLUSION

This report provides for a first batch of in-stream Zoning By-law amendment applications to ensure conformity with the new SSMUH framework and alignment with updated zones and regulations.

Original signed by

Don Luymes

General Manager, Planning & Development

Appendix “I” Table of Original and Replacement Bylaws in compliance with SSMUH Zoning By-law Amendments with any associated DVPs

Appendix “II” Table of Original and Replacement DVPs in compliance with SSMUH Zoning By-law Amendments without Rezoning

APPENDIX “I”

Table of Original and Replacement Bylaws in compliance with SSMUH Zoning By-law Amendments with any associated DVPs

DEVELOPMENT APPLICATION AND PLANNING REPORT	ORIGINAL BYLAW (CLOSED & FILED)				REPLACEMENT BYLAW (NEW)			
	Original Amendment Bylaw	From Zone(s)	To Zone(s)	Associated DVP	Replacement Amendment Bylaw	From Zone(s)	To Zone(s)	Associated DVP
21-0261	20646	RA	RF-13 RF-10	Yes	21328	RA	R4 R5	Yes 7921-0261-01 (See Attachment A)
21-0232	20712	RF	RF-13	Yes	21329	R3	R4	Yes 7921-0232-01 (See Attachment B)
21-0342	20713	RA RF-13	RF-13	Yes	21330	RA R4	R4	Yes 7921-0342-01 (See Attachment C)
23-0185	21158	RF	RF-10	Yes	21331	R3	R5	Yes 7923-0185-01 (See Attachment D)
21-0264	20993	RA	RF-13	Yes	21332	RA	R4	Yes 7921-0264-01 (See Attachment E)
21-0349	20817	RA	RF	Yes	21333	RA	R3	Yes 7921-0349-01 (See Attachment F)
22-0233	20819	RA	RQ	Yes	21334	RA	R2	Yes 7922-0233-01 (See Attachment G)
22-0231	21013	RA	RF-13	Yes	21335	RA	R4	Yes 7922-0231-01 (See Attachment H)

18-0305	19750	RA	RF-13	No	21336	RA	R4	No
15-0101	18639	RF	RF-10	No	21337	R3	R5	No
17-0381	19584	RF	RF-10	No	21338	R3	R5	No
18-0025	19874	RF	RF-10	No	21339	R3	R5	No
23-0097	21031	RA	RF	No	21340	RA	R3	No

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0261-01

Issued To:

("the Owner")

Address of Owner:

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-240-638
Lot 28 Section 15 Township 8 New Westminster District Plan 54452

19309 - 71 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In sub-Section C.2 of Part 17 “Compact Lot Residential Zone (R5)” the minimum lot depth of the R5 (Corner Type III) is reduced from 36.0 metres to 29.1 metres for proposed Lot 1;
- (b) In sub-Section C.2 of Part 17 “Compact Lot Residential Zone (R5)” the minimum lot width of the R5 (Interior Type I) is reduced from 9.7 metres to 9.1 metres for proposed Lots 2 and 3;
- (c) In sub-Section C.2 of Part 16 “Small Lot Residential Zone (R4)” the minimum lot width of the R4 (Corner Type II) is reduced from 15.4 metres to 14.5 metres for proposed Lot 5; and
- (d) In sub-Section C.2 of Part 16 “Small Lot Residential Zone (R4)” the minimum lot depth of the R4 (Interior Type I) is reduced from 28.0 metres to 27.9 metres for proposed Lot 6.

5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.

8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

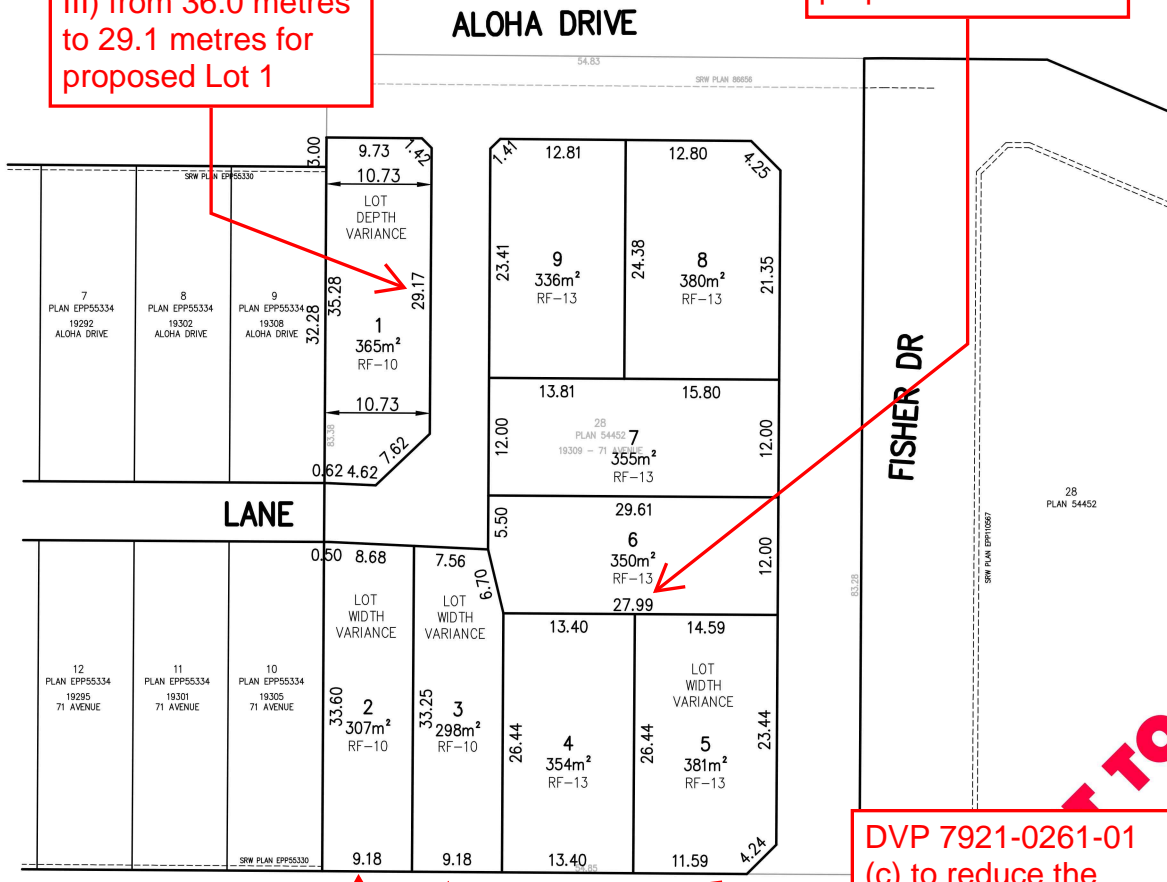
Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli



DVP 7921-0261-01 (a) to reduce the minimum lot depth of the R5 (Corner Type III) from 36.0 metres to 29.1 metres for proposed Lot 1

DVP 7921-0261-01 (d) to reduce the minimum lot depth of the R4 (Interior Type I) from 28.0 metres to 27.9 metres for proposed Lot 6



DVP 7921-0261-01 (b) to reduce the minimum lot width of the R5 (Interior Type I) from 9.7 metres to 9.1 metres for proposed Lots 2 and 3

DVP 7921-0261-01 (c) to reduce the minimum lot width of the R4 (Corner Type II) from 15.4 metres to 14.5 metres for proposed Lot 5

**PRELIMINARY
REVIEW AND
APPROVAL**

Hub Engineering Inc. Member PACIFIC LAND GROUP
 Engineering and Development Consultants
 Suite 212, 12992 - 76 Avenue, Surrey, B.C. V3W 2V6
 tel: 604-572-4328 | fax: 604-501-1625 | mail@hub-inc.com | www.hub-inc.com

G:\Projects\21041\AO Drawings\Layouts\ACAD-Lot_Layout - op 9 - Apr 29, 2022.dwg [Lot_Porrait 11x17] 5/03/2022 9:50AM

CLIENT:	PROJECT:	19309 71 AVENUE, SURREY		
DRAWING TITLE: RESIDENTIAL SUBDIVISION				
PROJECT No. 21041	DATE: JAN 2022	LEGAL:	SCALE: 1:500	MUNICIPAL PROJECT No:

PRELIMINARY PLAN - SUBJECT TO APPROVAL(S) FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0232-01

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 008-167-044
 LOT 1 SECTION 16 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 210008
 14224 68 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) to reduce the minimum lot depth of the R4 Zone (Type II Interior) from 24 metres to 12.3 metres for proposed Lot 1;
 - (a) to reduce the minimum lot depth of the R4 Zone (Type II Interior) from 24 metres to 15.71 metres for proposed Lot 2;
 - (b) to reduce the minimum lot depth of the R3 Zone from 28 metres to 19.07 metres for proposed Lot 3;
 - (c) to reduce the minimum front yard setback of the R4 Zone from 5.5 metres to 2.0 metres to the principal building face for proposed Lots 1 and 2;
 - (d) to reduce the minimum front yard setback of the R3 Zone from 6.5 metres to 2.0 metres to the principal building face for proposed Lot 3;
 - (e) to reduce the minimum rear yard setback of the R4 Zone from 7.5 metres to 3.0 metres for proposed Lot 1;
 - (f) to reduce the minimum rear yard setback of the R4 Zone from 7.5 metres to 4.5 metres for proposed Lot 2;
 - (g) to reduce the minimum rear yard setback of the R3 Zone from 7.5 metres to 6.0 metres for proposed Lot 3; and
 - (h) to increase the maximum driveway width of the R4 Zone from 6.0 metres to 8.93 metres for proposed Lot 1.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

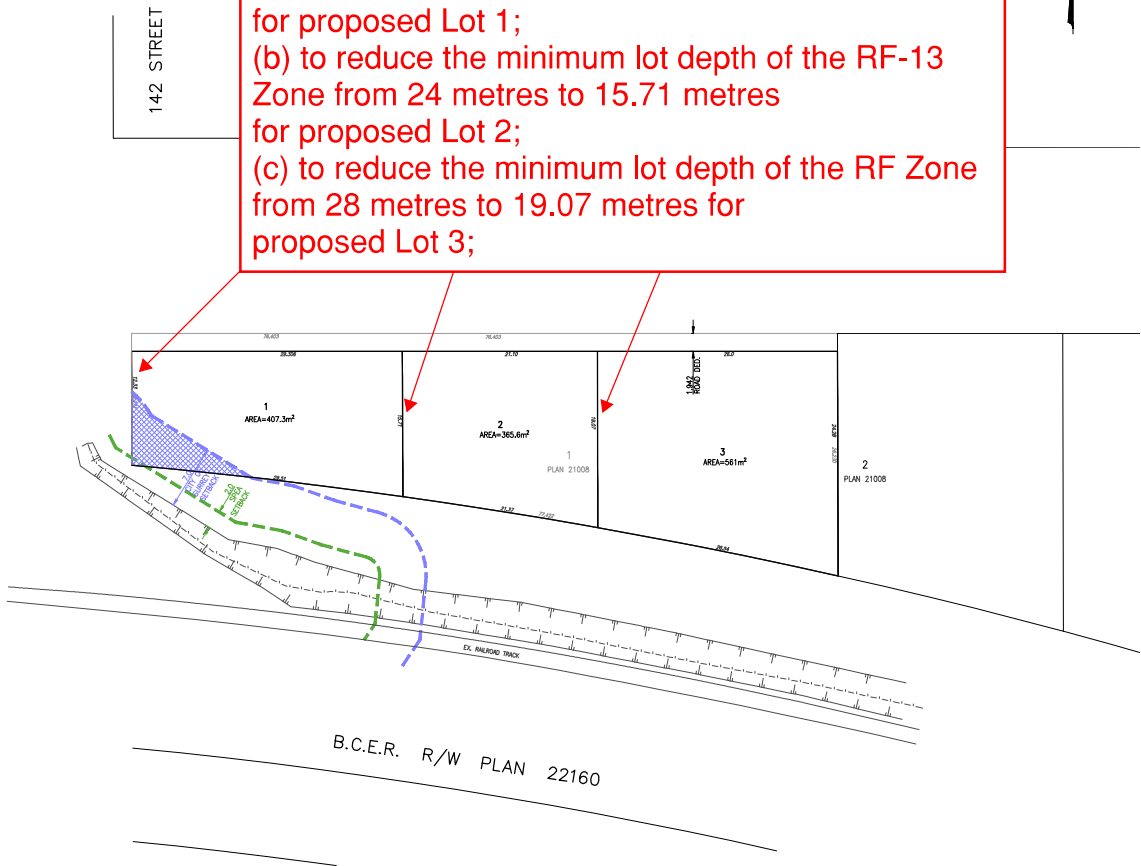
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

DVP 7921-0232-01:
 (a) To reduce the minimum lot depth of the RF-13 Zone from 24 metres to 12.3 metres for proposed Lot 1;
 (b) to reduce the minimum lot depth of the RF-13 Zone from 24 metres to 15.71 metres for proposed Lot 2;
 (c) to reduce the minimum lot depth of the RF Zone from 28 metres to 19.07 metres for proposed Lot 3;



NOT FOR CONSTRUCTION

LEGAL DESCRIPTION			
LOT 1, SEC 16, TP 2, WND PLAN 21008			
SURVEY BENCHMARK		SCALE FACTOR	
MON-8747 LOCATED AT 64 AVE & 142 ST		ELEV. 37.806m	
REV.	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			

CONSULTANT

GurSimer Design and Management Inc.
 Tel: 778-895-0358 | Email: nival@gs-dm.com



CLIENT

1018797 BC LTD
 6688-1288 STREET
 SURREY
 TEL: 604-780-4312

TITLE

LOT LAYOUT
 14224 - 68 AVE

SCALE: HOR. 1:250	DATE (YYYYMMDD)	SURREY PROJECT NUMBER
VERT. -	2021.06.30	7921-0232-00
DESIGNED NS	CONSULTANT PROJ. NO.	DRAWING TYPE
DRAWN NS	21-030	LOT LAYOUT
REVIEWED NS	DWC NO.	
	A	REV. -

142 ST

68 AVENUE

**PROPOSED BUILDING ENVELOPE
ANALYSIS for SUKHI RANDHAWA on
14224 68 AVE, SURREY, BC**

(d) to reduce the minimum front yard setback of the R4 Zone from 5.5 metres to 2.0 metres to the principal building face for proposed Lots 1 and 2

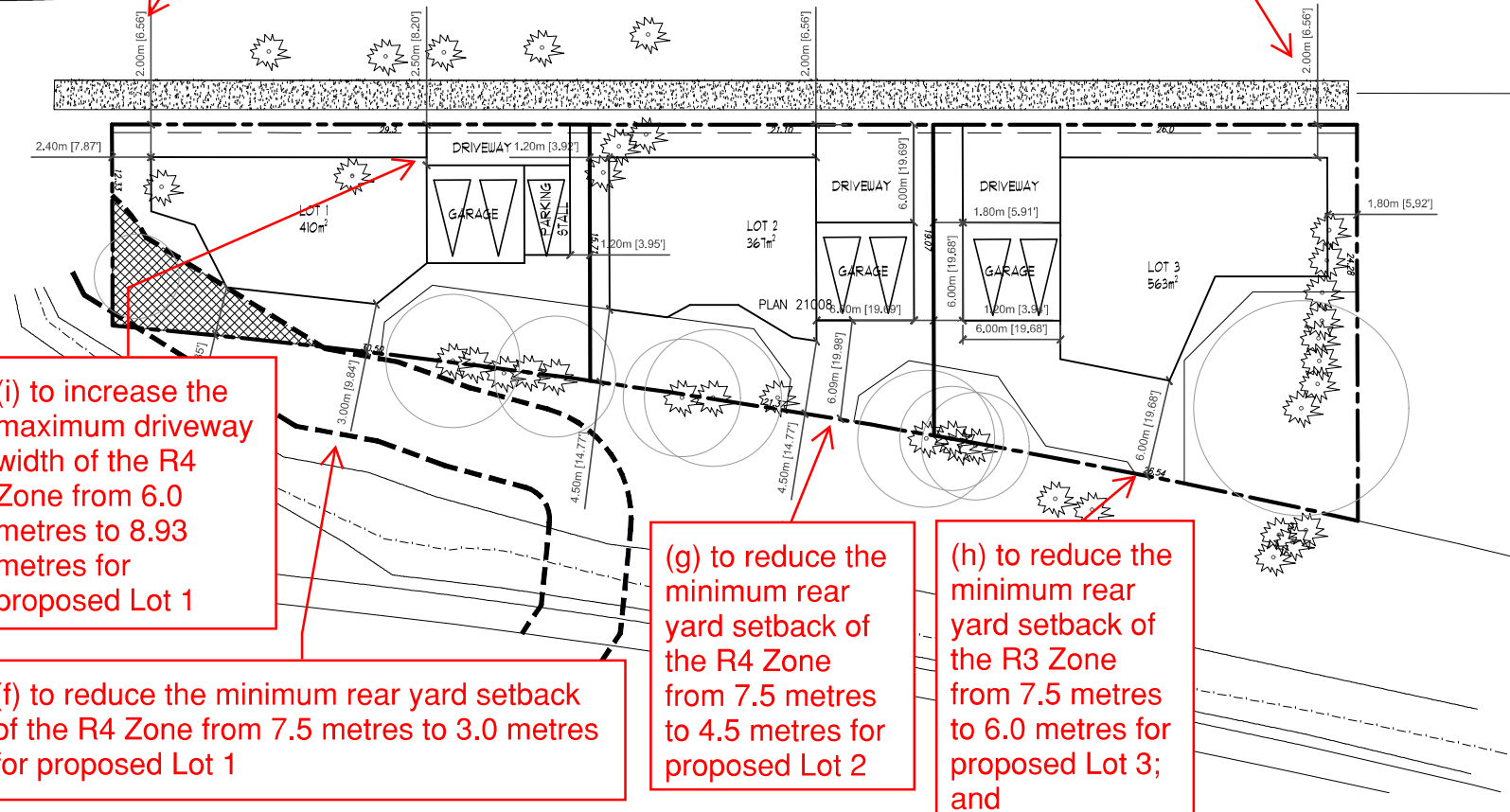
(e) to reduce the minimum front yard setback of the R3 Zone from 6.5 metres to 2.0 metres to the principal building face for proposed Lot 3

(i) to increase the maximum driveway width of the R4 Zone from 6.0 metres to 8.93 metres for proposed Lot 1

(f) to reduce the minimum rear yard setback of the R4 Zone from 7.5 metres to 3.0 metres for proposed Lot 1

(g) to reduce the minimum rear yard setback of the R4 Zone from 7.5 metres to 4.5 metres for proposed Lot 2

(h) to reduce the minimum rear yard setback of the R3 Zone from 7.5 metres to 6.0 metres for proposed Lot 3; and



LOT 1 (RF-13)	
MAX LOT COVERAGE PERMITTED (50%)	= 2211.00 SF
LOT COVERAGE PROPOSED	= 1720.00 SF
MAX FSR PERMITTED	= 2860.00 SF
FSR PROPOSED	= 2860.00 SF
PROPOSED GARAGE	= 420.00 SF

LOT 2 (RF-13)	
MAX LOT COVERAGE PERMITTED (50%)	= 1978.00 SF
LOT COVERAGE PROPOSED	= 1721.00 SF
MAX FSR PERMITTED	= 2769.00 SF
FSR PROPOSED	= 2769.00 SF
PROPOSED GARAGE	= 420.00 SF

LOT 3 (RF)	
MAX LOT COVERAGE PERMITTED (38%)	= 2290.00 SF
LOT COVERAGE PROPOSED	= 2179.00 SF
MAX FSR PERMITTED	= 3628.00 SF
FSR PROPOSED	= 3628.00 SF
PROPOSED GARAGE	= 420.00 SF

PLAN: 13B-7921-0232-00

DRAWN: JL

SCALE:

DATE: JULY 11, 2022



this drawing/design is the exclusive property belongs to SIMPLEX HOME DESIGN. no body is authorized to use or reproduce without the written approval from SIMPLEX HOME DESIGN.

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0342-01

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 004-749-561
 Lot 1 Section 10 Township 2 New Westminster District Plan 20412
 5930 147 Street

Parcel Identifier: 030-451-451
 Lot 2 Section 10 Township 2 New Westminster District Plan EPP73704
 14725 59 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

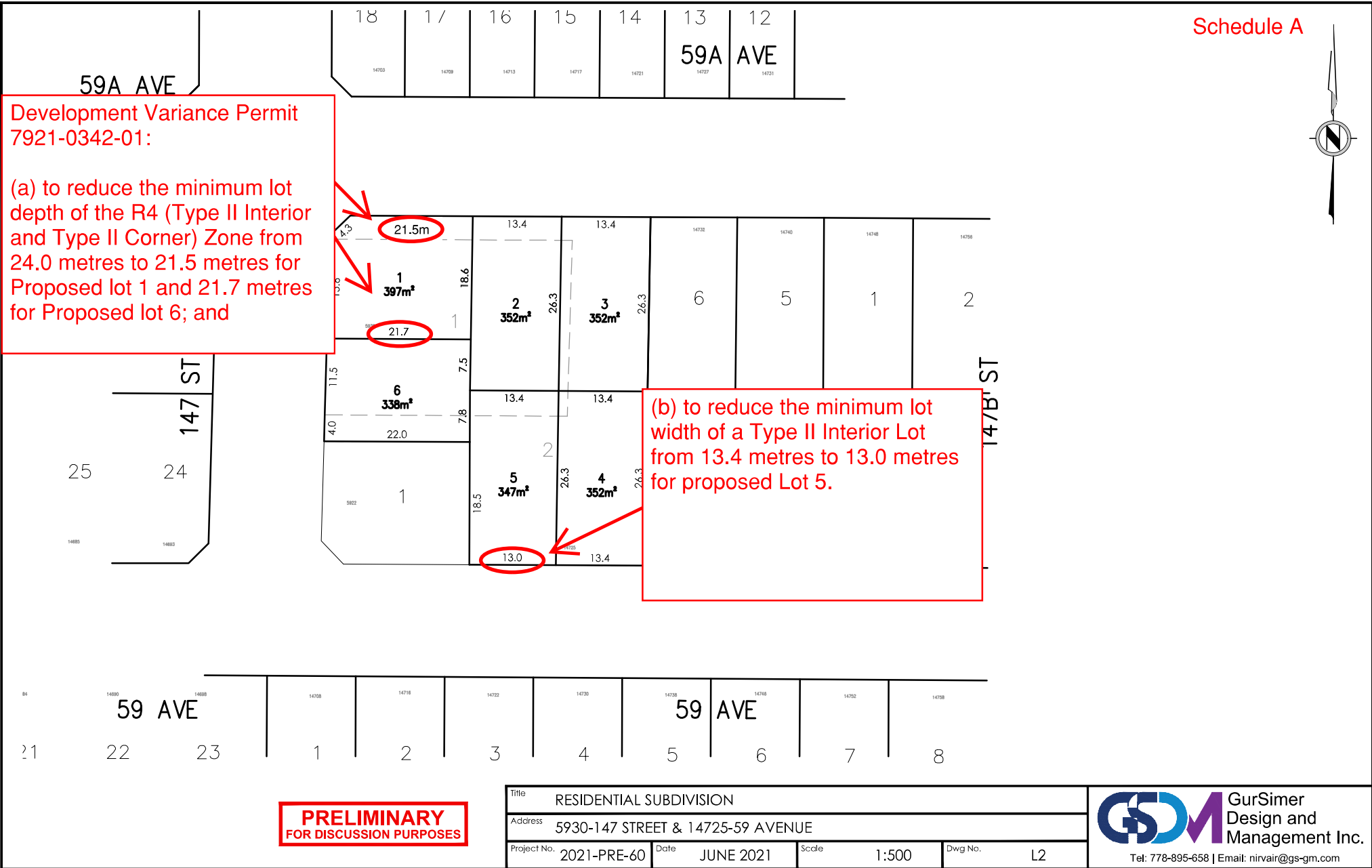
4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) to reduce the minimum lot depth of the R4 (Type II Interior and Type II Corner) Zone from 24.0 metres to 21.5 metres for Proposed lot 1 and 21.7 metres for Proposed lot 6; and
 - (b) to reduce the minimum lot width of the R4 (Type II Interior) Zone from 13.4 metres to 13.0 metres for proposed Lot 5.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli



**Development Variance Permit
7921-0342-01:**

(a) to reduce the minimum lot depth of the R4 (Type II Interior and Type II Corner) Zone from 24.0 metres to 21.5 metres for Proposed lot 1 and 21.7 metres for Proposed lot 6; and

(b) to reduce the minimum lot width of a Type II Interior Lot from 13.4 metres to 13.0 metres for proposed Lot 5.

**PRELIMINARY
FOR DISCUSSION PURPOSES**

Title				RESIDENTIAL SUBDIVISION			
Address				5930-147 STREET & 14725-59 AVENUE			
Project No.	2021-PRE-60	Date	JUNE 2021	Scale	1:500	Dwg No.	L2

**GurSimer
Design and
Management Inc.**
Tel: 778-895-658 | Email: nirvair@gs-gm.com

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7923-0185-01

Issued To:

(**"the Owner"**)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 003-405-907
 Lot 25 Section 27 Block 5 North Range 2 West NWD Plan 20923
 10068 - 133 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Sub-Section C.2. of Part 15 “Compact Residential Zone (R5)”, the minimum lot width for a “Type I – Interior” lot is reduced from 9.7 metres to 9.5 metres for proposed Lot 2.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
 6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
 7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
 9. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
 10. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and Director, Legislative Services
Jennifer Ficocelli

SUBDIVISION PLAN OF:

- LOTS 25, 26 AND 27 PLAN 20923
- LOT 160 PLAN 45323
- PARCEL 'A' PLAN EPP136382

PLAN EPP136386

ALL OF SECTION 27 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT

City of Surrey B.C.G.S. 92G.016

Pursuant To Section 67 of the Land Title Act



SCALE - 1 : 500

All distances are in metres

The intended plot size of this plan is 432mm in width by 560mm in height (C Size) when plotted at a scale of 1:500.

Integrated Survey Area No. 1
City of Surrey NAD83 (CSRS) 4.0.0.BC.1.MVRD

Grid Bearings are derived from observations between Control Monuments 5791 and 80H2057 and are referenced to the central meridian of UTM zone 10.

The UTM co-ordinates and estimated absolute accuracy achieved are derived from the MASCOT published coordinates and standard deviations for geodetic control monuments 5791 and 80H2057.

This plan shows horizontal ground-level distances unless otherwise specified. To compute grid distances, multiply ground-level distances by the average combined factor of 0.9995902 which has been derived from geodetic control monument 80H2057.

Datum: NAD83 (CSRS) UTM Zone 10 4.0.0.BC.1.MVRD
UTM Northing: 5,448,510.256
UTM Easting: 510,458,586
Estimated horizontal positional accuracy: 0.02 m

Legend:

- ⊙ Denotes control monument found
- Denotes standard iron post found
- Denotes standard lead plug found
- Denotes standard iron post set
- NF Denotes nothing found
- Ex Denotes explanatory
- Pcl Denotes parcel
- WT Denotes witness

Note: This plan shows one or more witness posts which are not set on the true corner(s).
Witness posts are set along the production of a boundary unless otherwise noted.
Some symbols and lines have been exaggerated for clarity.



To vary the minimum lot width requirements for a "Type I - Interior" lot under the R5 Zone from 9.7 metres to 9.5 metres for proposed Lot 2.

Datum: NAD83 (CSRS) UTM Zone 10 4.0.0.BC.1.MVRD
UTM Northing: 5,447,957,854
UTM Easting: 510,704,371
Estimated horizontal positional accuracy: 0.02 m

Cameron Land Surveying Ltd.
B.C. Land Surveyors
Unit 234 - 18525-53rd Avenue
Surrey, B.C. V3S 7A4
Phone: 604-597-3777
File: 8507-SUB

This plan lies within the jurisdiction of the Approving Officer for the City of Surrey
This plan lies within the Metro Vancouver Regional District

The field survey represented by this plan was completed on the 10th day of June, 2024.
Sean Costello, B.C.L.S. (900)

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0264-01

Issued To:

("the Owners")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 003-036-189

Lot 37 Section 17 Township 8 New Westminster District Plan 62186
6617 - 181 Street

Parcel Identifier: 003-036-197

Lot 38 Section 17 Township 8 New Westminster District Plan 62186
6618 - 180 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Section B.1 of Part 7A "Streamside Protection", the minimum distance (streamside setback area) from top of bank for a "Natural Class A Stream" is reduced from 30 metres to 20 metres;
 - (b) In Section B.1 of Part 7A "Streamside Protection", the minimum distance (streamside setback area) from top of bank for a "Natural Class B Stream" is reduced from 15 metres to 10 metres;
 - (c) In In sub-Section C.2 of Part 16 "Small Lot Residential Zone (R4)" the minimum lot depth of the R4 (Interior Type I) is reduced from 28 metres to 26.9 metres for proposed Lots 3 and 4;
 - (d) In sub-Section C.2 of Part 16 "Small Lot Residential Zone (R4)" the minimum lot depth of the R4 (Interior Type II) is reduced from 24 metres to 18.4 metres for proposed Lot 6;
 - (e) In sub-Section C.2 of Part 16 "Small Lot Residential Zone (R4)" the minimum lot depth of the R4 (Interior Type II) is reduced from 24 metres to 21 metres for proposed Lot 7;
 - (f) In sub-Section C.2 of Part 16 "Small Lot Residential Zone (R4)" the minimum lot depth of the R4 (Interior Type I) is reduced from 28 metres to 25.6 metres for proposed Lot 8;
 - (g) In sub-Section C.2 of Part 16 "Small Lot Residential Zone (R4)" the minimum lot width of the R4 (Corner Lot Type I) is reduced from 14 metres to 12 metres for proposed Lot 13; and
 - (h) In sub-section H.4(a) Off-Street Parking of Part 16 "Small Lot Residential Zone (R4)" a front access, side-by-side double garage shall be permitted on a lot less than 13.4 metres in width for proposed Lots 1, 3-5 and 8-12, and on a Type I corner lot for proposed Lot 13.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.

8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli

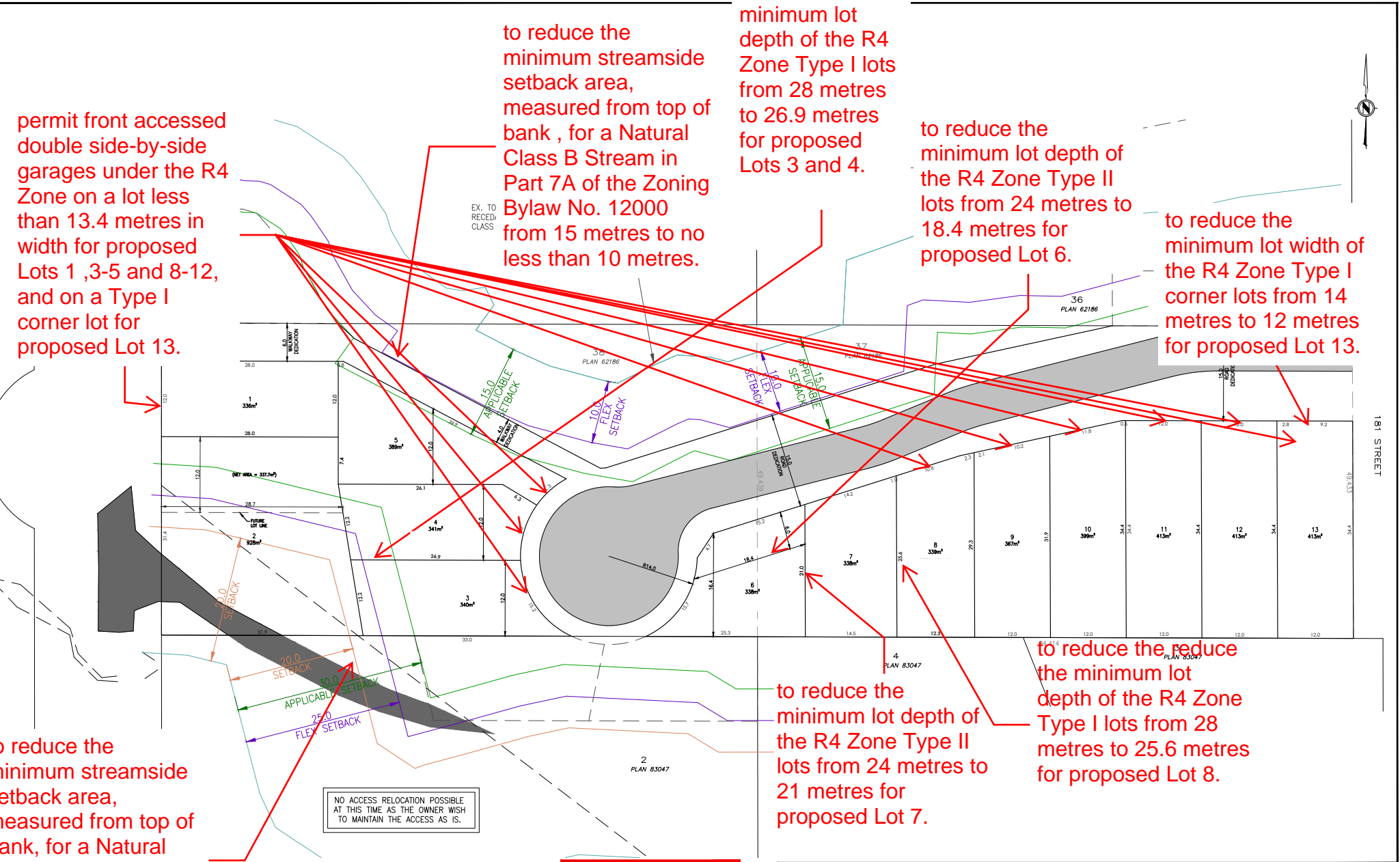
permit front accessed double side-by-side garages under the R4 Zone on a lot less than 13.4 metres in width for proposed Lots 1, 3-5 and 8-12, and on a Type I corner lot for proposed Lot 13.

to reduce the minimum streamside setback area, measured from top of bank, for a Natural Class B Stream in Part 7A of the Zoning Bylaw No. 12000 from 15 metres to no less than 10 metres.

to reduce the minimum lot depth of the R4 Zone Type I lots from 28 metres to 26.9 metres for proposed Lots 3 and 4.

to reduce the minimum lot depth of the R4 Zone Type II lots from 24 metres to 18.4 metres for proposed Lot 6.

to reduce the minimum lot width of the R4 Zone Type I corner lots from 14 metres to 12 metres for proposed Lot 13.



to reduce the minimum streamside setback area, measured from top of bank, for a Natural Class A Stream in Part 7A of the Zoning Bylaw No. 12000 from 30 metres to no less than 20 metres.

to reduce the minimum lot depth of the R4 Zone Type II lots from 24 metres to 21 metres for proposed Lot 7.

to reduce the minimum lot depth of the R4 Zone Type I lots from 28 metres to 25.6 metres for proposed Lot 8.

NO ACCESS RELOCATION POSSIBLE AT THIS TIME AS THE OWNER WISH TO MAINTAIN THE ACCESS AS IS.

PRELIMINARY
FOR DISCUSSION PURPOSES
SUBJECT TO APPROVAL FROM GOVERNMENT AGENCIES AND OTHER CONSULTANTS

Title				PROPOSED SUBDIVISION	
Address				6618-180 STREET & 6617-181 STREET, SURREY	
Project No.	21-013	Date	OCTOBER 2022	Scale	1:250
Dwg No.	-				

GS GurSimer Design and Management Inc.
Tel: 778-895-6358 | Email: nirvair@gs-dm.com

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7921-0349-01

Issued To:

("the Owners")

Address of Owners:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 005-870-640

Lot 41 Section 15 Block 5 North Range 1 West New Westminster District Plan 40925

15694 - 112 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

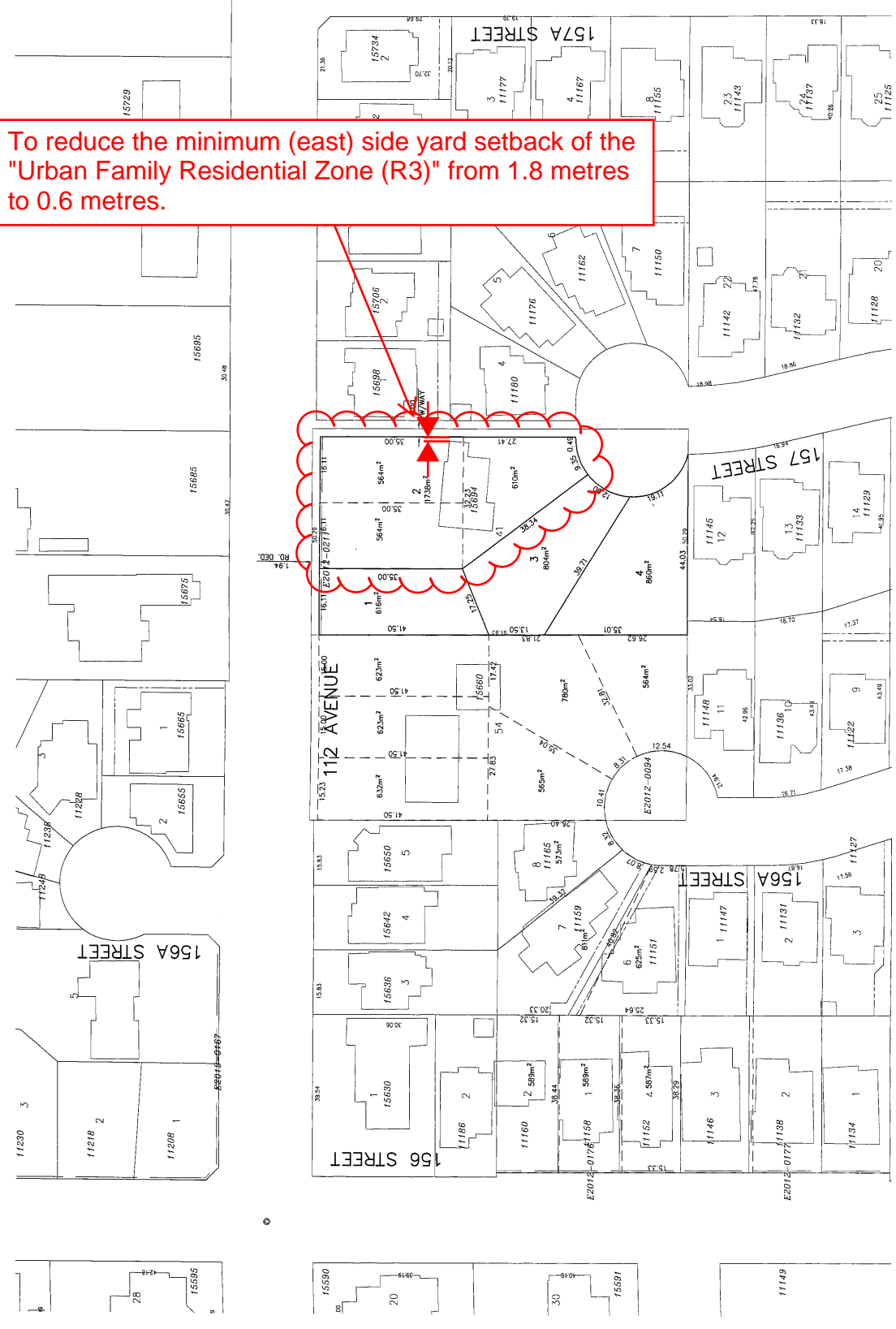
- (a) In Section F. Yards and Setbacks of Part 15 “Urban Residential Zone (R3)”, the minimum (east) side yard setback for a principal building is reduced from 1.8 metres to 0.6 metres.
5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
 6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
 7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
 8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
 9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli



To reduce the minimum (east) side setback of the "Urban Family Residential Zone (R3)" from 1.8 metres to 0.6 metres.

Schedule A

NOTES:
1. ALL DIMENSIONS ARE APPROXIMATE ONLY BASED ON MASTER PLANS.
2. LAYOUT IS PRELIMINARY AND SUBJECT TO APPROVALS AND SURVEY.
3. EXISTING HOUSE TO BE REMOVED (LOCATION TO BE CONFIRMED).
4. POOL TO BE REMOVED.
5. DWP REQUIRED ON HOUSE ALONG THE EAST SIDE FRONT TO 0.60m.

Scale:	1:1000	Mun. Proj. No.	
Drawn:	LC	Mun. Drg. No.	
Designed:	JK	Job No.	21-4336
P.U.		Date	NOV/2021
Approved:		Revised:	

1316782 BC LTD./1316784 BC LTD.
15694 - 112 AVENUE, SURREY, BC, V4N 1A6, PH: 604-807-8388, Email: csp@onlinow.co

PRELIMINARY LOT LAYOUT
SUBDIVISION AT 15694 - 112 AVENUE, SURREY, BC



CitiWest Consulting Ltd.
NO.101-9030 KING GEORGE BLVD., SURREY, BC, V3V 7Y3
TELEPHONE 604-591-2213 FAX 604-591-5518
E-MAIL: office@citiwest.com
EIBC Permit to Practice #1001824

No.	Date	Revision	Dr.	Ch.

This drawing and design is the property of CITIWEST CONSULTING LTD. and cannot be used, re-used or reprinted without the written consent of said company.

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0233-01

Issued To:

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 000-547-654

Lot 67 Section 24 Township 1 New Westminster District Plan 67389
16487 - 28 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once titles have been issued, as follows:

Parcel Identifier:

(b) If the civic addresses change, the City Clerk is directed to insert the new civic addresses for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

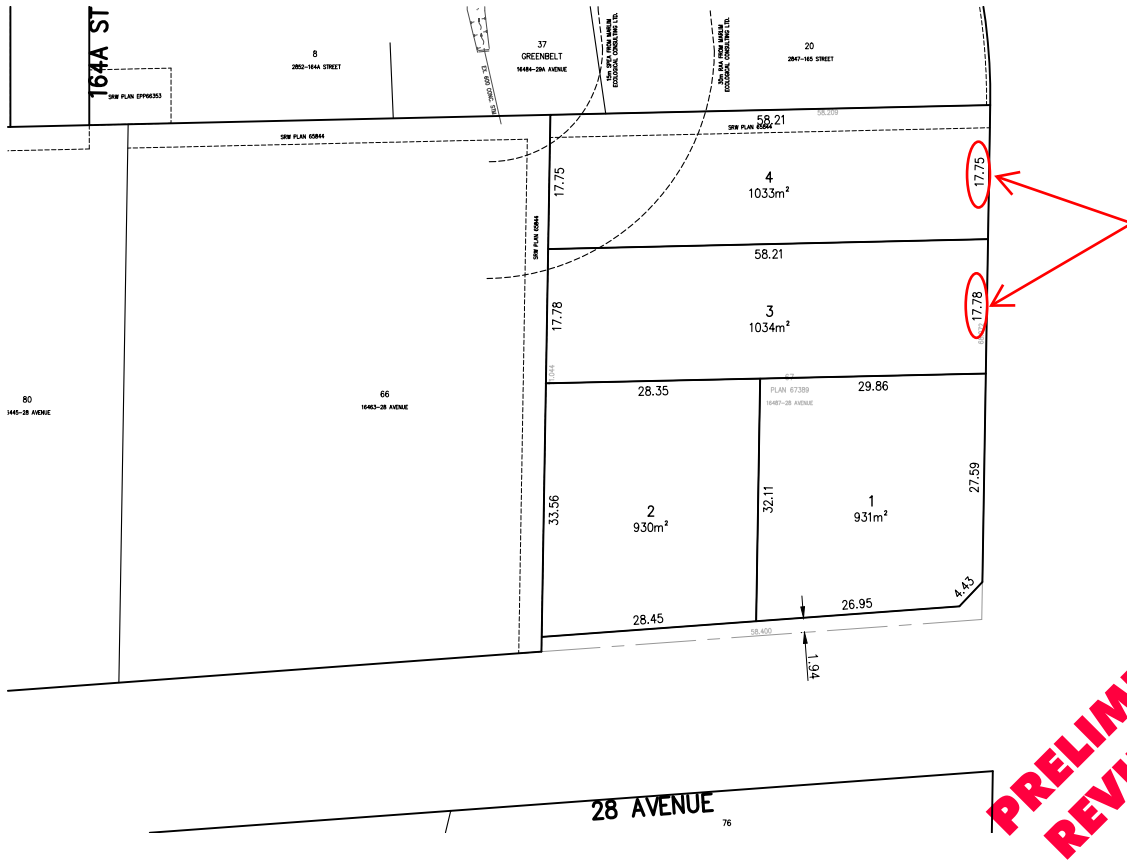
(a) In Section C. Subdivision of Part 14 "Quarter Acre Residential Zone (R2)", the minimum lot width is reduced from 24 metres to 17.7 metres for proposed Lots 3 and 4.

5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A, which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk – Jennifer Ficocelli



In Section C. Subdivision of Part 14 "Quarter Acre Residential Zone (R2)", the minimum lot width is reduced from 24 metres to 17.7 metres for proposed Lots 3 and 4.

PRELIMINARY SUBJECT TO REVIEW AND APPROVAL

G:\Projects\21098\plan\MO Drawings\Layouts\Lot Layout_11x17_8/20/2022_3:10PM

CLIENT:	PROJECT:	16487 28 AVENUE, SURREY		
DRAWING TITLE:	RESIDENTIAL SUBDIVISION			
PROJECT No.:	DATE:	LEGAL:	SCALE:	MUNICIPAL PROJECT No.:
21098	DEC 2021		1:500	
PRELIMINARY PLAN - SUBJECT TO APPROVAL(S) FROM FEDERAL, PROVINCIAL AND LOCAL AUTHORITIES				

Hub Engineering Inc.
 Engineering and Development Consultants
 Member PACIFIC LAND GROUP
 Suite 212, 12992 - 76 Avenue, Surrey, B.C. V3W 2V6
 tel: 604-572-4328 | fax: 604-501-1625 | mail@hub-inc.com | www.hub-inc.com

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7922-0231-01

Issued To:

(“the Owner”)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 018-991-769

Lot 1 Section 31 Township 8 New Westminster District Plan LMP19397

17077 - 92 Avenue

Parcel Identifier: 018-991-777

Lot 2 Section 31 Township 8 New Westminster District Plan LMP19397

17121 - 92 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

(b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section C.2 of Part 16 “Small Lot Residential Zone (R4)” the minimum lot width for a Type II Interior Lot created through subdivision is reduced from 13.4 metres to 13.1 metres for proposed Lots 1, 13, and 16;
 - (b) In Section C.2 of Part 16 “Small Lot Residential Zone (R4)” the minimum lot width for a Type II Corner Lot created through subdivision is reduced from 15.4 metres to 15.2 metres for proposed Lots 2, 14, and 15; and
 - (c) In Section H.4 of Part 16 “Small Lot Residential Zone (R4)” a front access, side-by-side double garage shall be permitted on a lot less than 13.4 metres wide for proposed Lots 1, 3-13, and 16-27.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

Table of Original and Replacement DVPs in compliance with SSMUH Zoning By-law Amendments without Rezoning

DEVELOPMENT APPLICATION AND PLANNING REPORT	ORIGINAL DVP ZONE	ORIGINAL DVP	CURRENT DVP ZONE	REPLACEMENT DVP (NEW SSMUH ZONE)
<u>18-0373</u>	RF	7918-0373-00	R3	7918-0373-02 (See Attachment I)
<u>19-0154</u>	RH	7919-0154-00	R1	7919-0154-02 (See Attachment J)
<u>24-0139</u>	RF	7924-0139-00	R3	7924-0139-01 (See Attachment K)
<u>24-0149</u>	RF	7924-0149-00	R3	7924-0149-01 (See Attachment L)

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7918-0373-02

Issued To:

(the "Owner")

Address of Owner:

This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 031-696-244
Lot 1 Section 8 Township 1 New Westminster District Plan EPP116328
13048 - 13 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section G.1 Height of Buildings and Structures of Part 15 "Urban Residential Zone (R3)", the maximum building height for of any portion of a single family dwelling with a roof slope of less than 1:4 is increased from 7.3 metres to 11.5 metres;
 - (b) In the table in Section B.2 of Part 7A "Streamside Protection", the minimum distance from top of bank for a "Natural Class B Stream" (yellow-coded) is reduced from 15.0 metres, as measured from top-of-bank, to a minimum of 31 metres from the high water mark (equivalent to a maximum of approximately 26 metres below top-of-bank).
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A and Schedule B which are attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A or Schedule B which is attached hereto and forms part of this development variance permit.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

SCHEDULE A



CHRISTOPHE VAISSEAU
BUILDING DESIGNER
17 604 844 0677
E. chrisme@christophe.ca
WWW.CVDESIGNS.CA

13048 13TH AVE

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REV	DATE	REMARKS
1	NOV 21, 2022	DESIGN FOR PERMIT
2	MAY 12, 2023	PERMIT RECEIVED
3	JAN 12, 2023	PERMIT RECEIVED
4	OCT 12, 2022	PERMIT RECEIVED

CLIENT :	DATE :
PROJECT :	SCALE :
CONTENT :	PROJECT No. :
	SHEET No. :
	REVISION :

DATE :	OCT 2022
SCALE :	1/16" = 1'-0"
PROJECT No. :	
SHEET No. :	A 1.1
REVISION :	

GENERAL NOTES

- THESE DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE B.C. BUILDING CODE 2018.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND WILL BE RESPONSIBLE FOR SAME.
- ALL WORK SHALL CONFORM TO THE B.C. BUILDING CODE (2018) AND ALL LOCAL MUNICIPAL CODES AND BY-LAWS.
- CONTRACTOR OR BUILDER TO VERIFY ROUGH OPENINGS OF ALL DOORS, WINDOWS, FITTINGS, APPLIANCES, AND BUILT-IN EQUIPMENT PRIOR TO CONSTRUCTION.
- SLOPE FINISHED GRADE AWAY FROM THE BUILDING MINIMUM 1/4" 1'-0" TO PROVIDE ADEQUATE DRAINAGE.
- CONCRETE STRENGTH SHALL CONFORM TO 9.3.1.1 B.C. BUILDING CODE 2018.
- ARCHITECTURAL CONCRETE TO BE WELL VENTILATED, CLEAR OF ANY FIREHOLE AND TO HAVE A SMOOTH THEN TEXTURED FINISH.
- CONCRETE SLABS TO BE SEALED IN ACCORDANCE WITH SUBSECTION 9.13.4.7 OF THE B.C. BUILDING CODE (2018 EDITION).
- ROOF TRUSS MANUFACTURERS TO PROVIDE SHOP DRAWINGS SEALED BY A REGISTERED PROFESSIONAL ENGINEER PRIOR TO INSTALLATION.
- ROOF VENTING SHALL BE 1/300 OF INSULATED CEILING SPACE. VENTS SHALL BE UNIFORMLY DISTRIBUTED.
- WALL PLATES SHALL BE #2 OR BETTER KD SPRUCE. ALL BUI BEAMS SHALL BE #2 OR BETTER KD SPRUCE. STUDS SHALL CONFORM TO RESIDENTIAL STANDARDS OF THE CURRENT B.C.D.C. CONFIRM WITH STRUCTURAL ENGINEER.
- FRAMING TO BE ANCHORED WITH 1/2" DIA. ANCHOR BOLTS @ 4'-0" O.C. MAXIMUM OR ANCHOR STRAPS @ 4'-0" O.C. POSTS TO BE ANCHORED WITH METAL POST ANCHORS. CONFIRM WITH STRUCTURAL ENGINEER.
- DIMENSIONS SHOWN TO THE OUTSIDE OF BUILDING FACE ARE TO THE OUTSIDE FACE OF WALL SHEATHING.
- DOUBLE FLOOR JOISTS UNDER ALL PARALLEL PARTITIONS. PLACE JOISTS TO SUIT PLUMBING, HEATING, ETC.
- UNTELS TO BE 2 - 2" X 1-0" WITH DOUBLE PLATE ON TOP UNLESS NOTED OTHERWISE.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE DAMP PROOFED WITH 50# BUILDING FELT.
- PASTE IN ALL GYPSUM WALL BOARD (G.W.B.) IN CONFORMANCE WITH SUB SECTION 9.29.5.5 OF THE B.C. BUILDING CODE (2018 EDITION).
- 9.29.5.5 (1) - B.C.D.C. 2018 - FOR SINGLE-LAYER GYPSUM BOARD APPLICATION, NAILS SHALL BE SPACED NOT MORE THAN 180 mm O.C. ON CEILING SUPPORTS AND NOT MORE THAN 200 mm APART ALONG VERTICAL WALL SUPPORTS. EXCEPT THAT NAILS MAY BE SPACED IN PAIRS ABOUT 50 mm APART EVERY 300 mm ALONG SUCH WALL OR CEILING SUPPORTS.
- 9.29.5.5 (2) - B.C.D.C. 2018 - WHERE SINGLE-LAYER GYPSUM BOARD IS APPLIED WITH DRYWALL SCREWS, THE SCREWS SHALL BE SPACED NOT MORE THAN 300 mm O.C. ALONG SUPPORTS, EXCEPT ON VERTICAL SURFACES THE SCREWS MAY BE SPACED NOT MORE THAN 400 mm O.C. WHERE THE SUPPORTS ARE NOT MORE THAN 400 mm O.C.
- PRE-FAB. GAS FIREPLACE INSTALLED TO MANUFACTURER'S SPECIFICATIONS AND TO THE REQUIREMENTS OF THE CANADIAN GAS ASSOCIATION. INSTALL NON-COMBUSTIBLE HEARTH TO MEET THE REQUIREMENTS OF SUBSECTION 9.22.5 OF THE B.C. BUILDING CODE (2018 EDITION). FINISH MATERIALS AS PER OWNER'S SPECIFICATIONS.
- PROVIDE ATTIC ACCESS HATCHES AS PER ARTICLE 9.13.2 OF THE B.C. BUILDING CODE (2018 EDITION). ALL HATCHES TO BE MINIMUM 21.5" X 23.25" (545 mm X 590 mm)
- ELECTRICAL, PLUMBING AND VENTILATION MUST COMPLY WITH ALL RELEVANT CODES AND REGULATIONS IN ALL RESPECTS.
- EVERY EFFORT HAS BEEN MADE TO CAREFULLY PREPARE THESE DRAWINGS AND AVOID MISTAKES. HOWEVER, THE POSSIBILITY OF HUMAN ERROR DOES EXIST AND THEREFORE THE BUILDING CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, MATERIALS AND CONDITIONS SHOWN ON THE STRUCTURAL NOTES AND FLOOR PLANS AND ASSUME RESPONSIBILITY FOR ALL BY USING THE PLANS HE ACCEPTS THAT RESPONSIBILITY.
- THE SCOPE OF THIS HOME DESIGN DOES NOT ALLOW FOR SITE CONDITIONS WHICH MAY AFFECT THE STRUCTURE. THE CONTRACTOR AND/OR OWNER ENGAGE THE SERVICES OF A PROFESSIONAL STRUCTURAL ENGINEER TO FULLY ASSES THE ABILITY OF THE STRUCTURE TO HANDLE ALL THE LOADS TO WHICH IT MAY COME IN CONTACT WITH. THE DESIGNER HAS NEITHER THE LEGAL ABILITY OR THE RESPONSIBILITY TO COUNSEL THE OWNER IN THIS REGARD.

SITE INFO

LEGAL DESCRIPTION
PLAN OF LOT 1, SECTION 8, TOWNSHIP 11, N.W.D. PLAN BCF 42201 ZONE R2

CIVIC ADDRESS
13048 13 AVENUE
SURREY, B.C.

SITE AREA
16,022 S.F.

SITE COVERAGE
ALLOWABLE: 23% (3,687 S.F.)
PROPOSED: 21% (3,372 S.F.)

FLOOR AREA RATIO
ALLOWABLE: 5,000 S.F.
PROPOSED: 4,956 S.F.

FLOOR AREA
4TH LEVEL: 660 S.F.
ATTACHED GARAGE: 467 S.F.
3RD LEVEL: 1,562 S.F.
2ND LEVEL: 1,749 S.F.
BASEMENT LEVEL AREA OVER: 299 S.F.
COVERED AREA OVER: 179 S.F.
TOTAL AREA: 4,956 S.F.

TOTAL BASEMENT FLOOR AREA: 2,048 S.F.

COVERED PATIO/BALCONY
ALLOWABLE: (5,000 S.F. * 10%) = 500.0 S.F.
PROPOSED: 679.0 S.F.

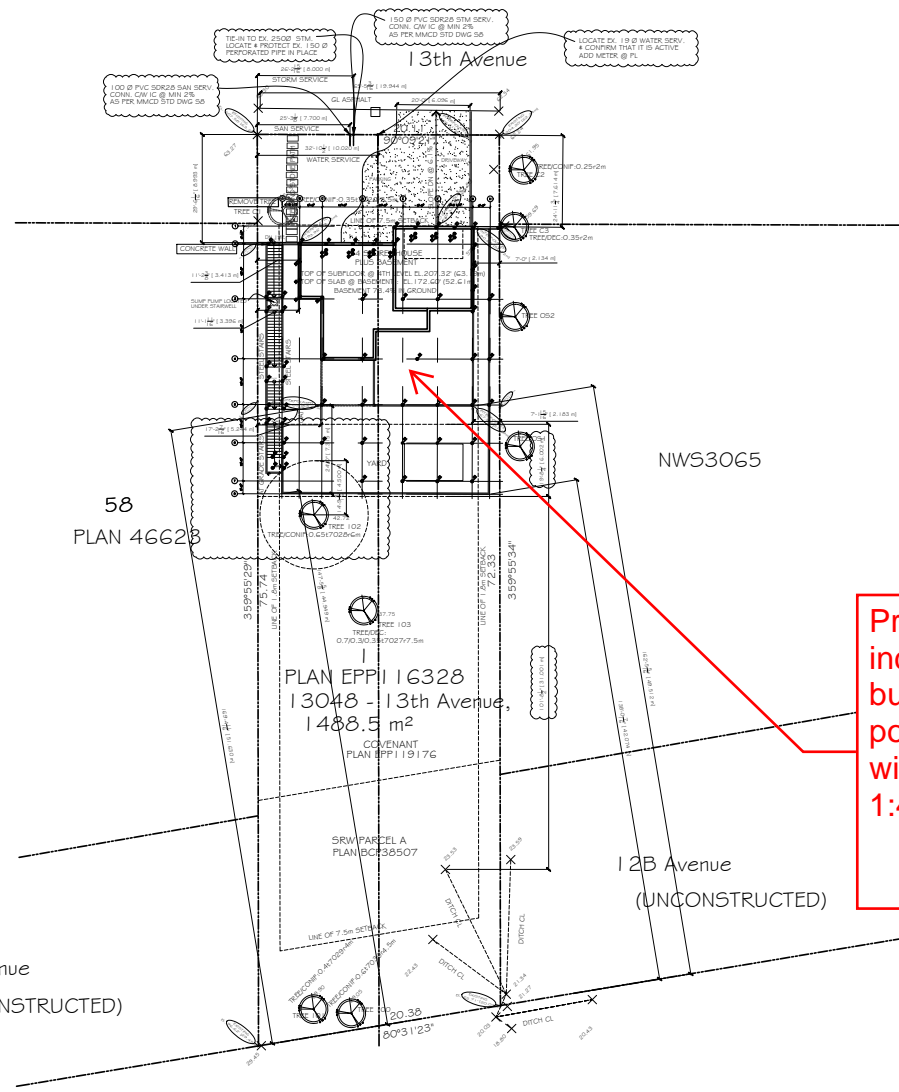
FRONT PORCH RESERVED: 160.0 S.F.
COVERED PATIO: 519.0 S.F.

TOTAL AREA: 679.0 S.F.

BUILDING HEIGHT
ALLOWABLE: 23.95' (7.3 m)
PROPOSED: 37.84' (11.53 m)

AVERAGE GRADE CALCULATION @ HOUSE
193.92 + 190.68 + 175.89 + 147.92 = EL. 182.12 (55.51 m)

Proposed variance to increase the maximum building height for any portion of a principal building with a roof slope less than 1:4 from 7.3 m to 11.5 m

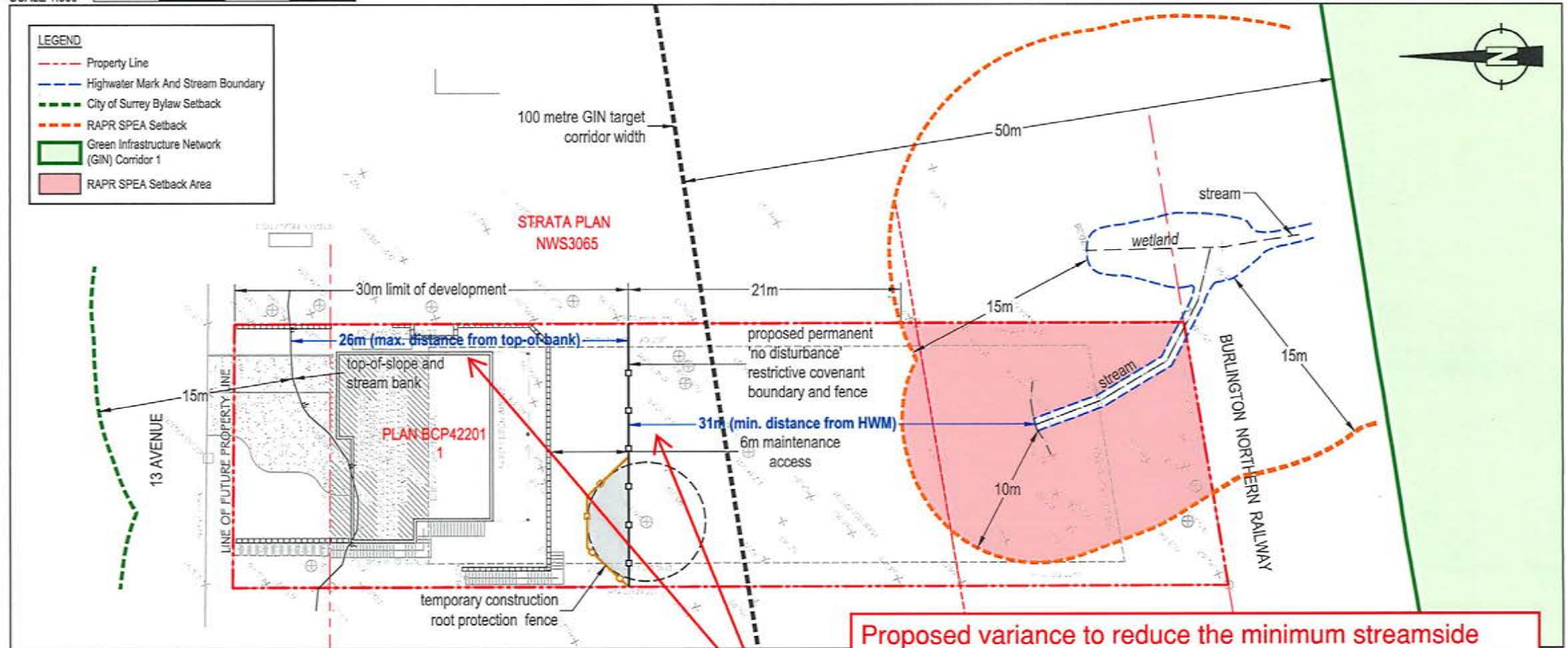


BURLINGTON NORTHERN RAILWAY
PART (6.19 ACRES)
SRW PLAN 10769

Schedule B

PLAN
SCALE 1:300

- LEGEND**
- - - Property Line
 - - - Highwater Mark And Stream Boundary
 - - - City of Surrey Bylaw Setback
 - - - RAPR SPEA Setback
 - Green Infrastructure Network (GIN) Corridor 1
 - RAPR SPEA Setback Area



Proposed variance to reduce the minimum streamside setback from a Natural Class B Stream on a lot of record from 15 metres, as measured from top-of-bank, to a minimum of 31 metres from the high water mark (equivalent to 26 metres below the top-of-bank).

LOCATION
SCALE 1:5000



- REFERENCE DRAWINGS**
1. Email: A11-13048-13th Ave May 5-20.dwg, Received May 11, 2020; Lorne Ebenal.
 2. File No. 201606. "B.C. Land Surveyors Plan Showing Location of Trees and Spot Elevations on Lot 1, Section 8, Township 1, NWD Plan BCP42201". February 08, 2016. John Bresnick and Associates.
 3. 2019 Legal Base from City of Surrey.

MR. HUNDAL

13048 13 AVENUE
Surrey, BC

enviowest
www.enviowest.ca

e enviowest consultants inc.

Suite 101 - 1515 Broadway Street
Port Coquitlam, British Columbia
Canada V3C 6M2

office: 604-944-0502
facsimile: 604-944-0507
saper-velere@enviowest.ca

SETBACKS				
DESIGN RWS	DRAWN CEV	CHECKED RWS	REVISION 08	REVISION DATE June 22, 2020
SCALE As Shown			DRAWING NUMBER 2195-01-02	
DATE January 18, 2018				

DATE: 2020-06-22 - 1:40pm
LAYOUT: 2195-01-02
FILE: \\enviowest\Projects\2020\Surrey\White Rock\2195-01\enviowest\2195-01-02\08-Setbacks.dwg

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7919-0154-02

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-136-863
Lot 3 Section 19 Township 1 New Westminster District Plan 5456

12711 Beckett Road

(the "Land")
3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F.1 of Part 13, Suburban Residential Zone (R1) – to reduce the minimum front yard setback of an Accessory Building from 18.0 metres to 15.9 metres; and
 - (b) In Section G.1 of Part 13, Suburban Residential Zone (R1) – to increase the maximum Accessory Building height from 4.0 metres to 4.6 metres.
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

Schedule A

NO SMOKING IN BUILDING OR ON PROPERTY AT ANY TIME.

General Notes

BENCHMARK: MONUMENT #5492
CRESCENT ROAD & BECKETT ROAD
GEODETIC ELEV. 26.711m(CVD28GVRD)

ALL GROUND ELEVATIONS ARE IN METRIC, ALL OTHER DIMENSIONS ARE IMPERIAL

ALL WORKS SHALL COMPLY WITH LATEST VERSION OF BRITISH COLUMBIA BUILDING CODE.

ANY DETAILS OR SPECIFICATIONS NOT NOTED ON DRAWINGS OR NOT PROVIDED BY B.C. BUILDING CODE SHALL COMPLY WITH CMHC CANADIAN WOOD FRAME HOUSE CONSTRUCTION MANUAL.

ALL DIMENSIONS TO BE TAKEN FROM EAST AND SOUTH PROPERTY LINES ONLY.

NO SUBSTITUTION WITHOUT WRITTEN APPROVAL FROM OWNER

PRIOR TO START OF ANY CONSTRUCTION, CONTRACTOR SHALL MEET WITH OWNER TO REVIEW ALL DRAWINGS, DETAILS AND SCOPE OF WORK.

ALL MATERIALS DELIVERED TO SITE SHALL BE PLACED ON DRY LEVEL SURFACE AND PROTECTED FROM THE WEATHER (SUN, RAIN, SNOW, ETC.).

THE SITE AND BUILDING SHALL BE SECURED AT ALL TIMES.

THE SITE AND BUILDING SHALL BE MAINTAINED CLEAN AND FREE OF DEBRIS, GARBAGE, ETC. AT ALL TIMES.

ALL WORKS SHALL BE INSTALLED WITH STRING/CHALK LINE OR LASER AND CONFIRMED BY SURVEY TO CONFIRM ALL WORKS ARE ALL INSTALLED STRAIGHT AND LEVEL.

NO SMOKING IN BUILDING OR ON PROPERTY AT ANY TIME.

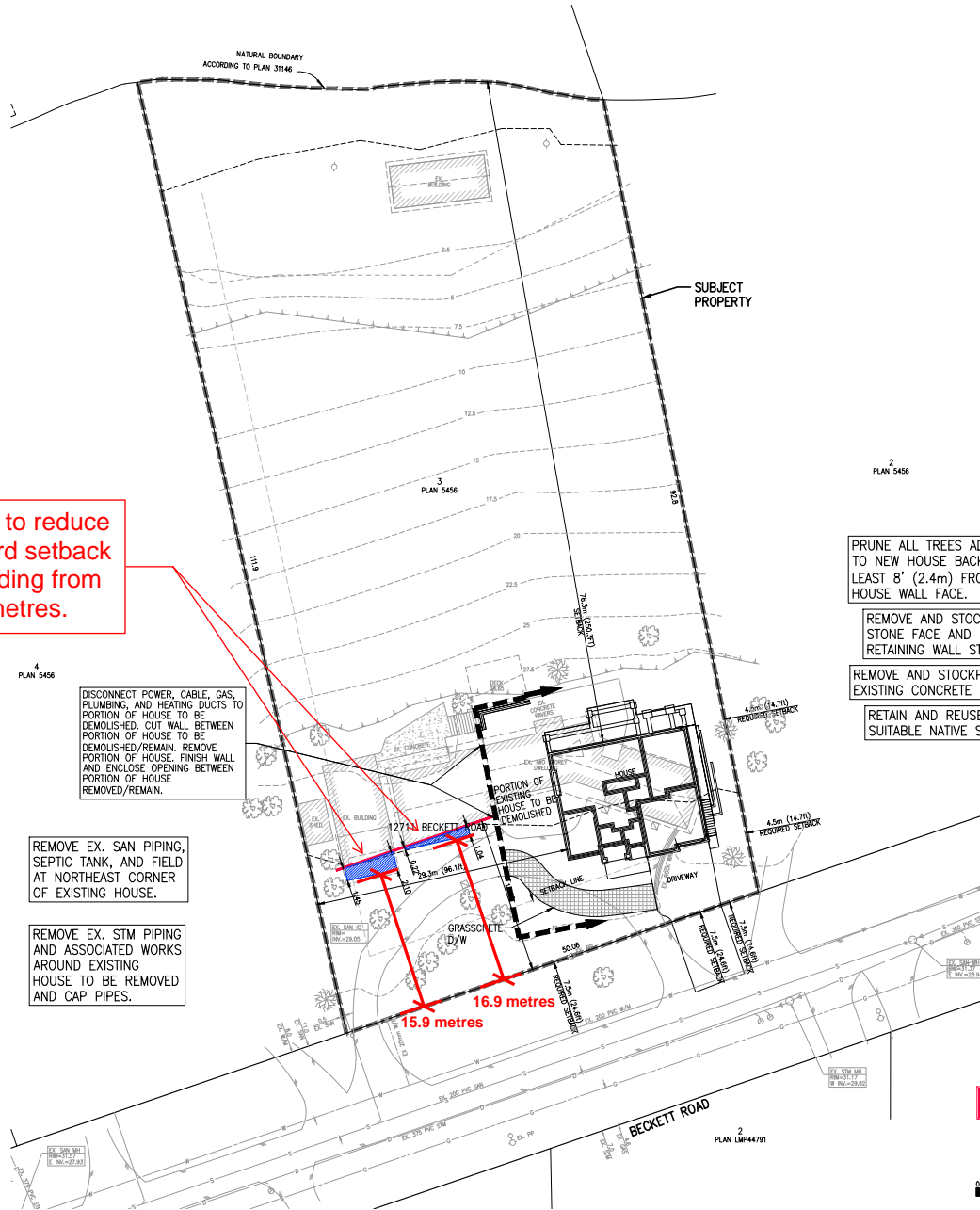
REFER TO DRAWING G-1 FOR ADDITIONAL GENERAL NOTES & SPECIFICATIONS.

No.	Revision/Issue	Date

OVERALL SITE PLAN

Project Name and Address
FAMILY RESIDENCE
12711 BECKETT ROAD
SURREY, B.C.
P.I.D.: 011-136-863
LOT 3, SEC 19, Tp1,
PL NWP 5456, NWD

Project 2017-150 Sheet
Date MAR 2018 A-1
Scale 1:250



Section F.1, Part 13 - to reduce the minimum front yard setback for an Accessory Building from 18.0 metres to 15.9 metres.

DISCONNECT POWER, CABLE, GAS, PLUMBING, AND HEATING DUCTS TO PORTION OF HOUSE TO BE DEMOLISHED. CUT WALL BETWEEN PORTION OF HOUSE TO BE DEMOLISHED/REMAIN. REMOVE PORTION OF HOUSE. FINISH WALL AND ENCLOSE OPENING BETWEEN PORTION OF HOUSE REMOVED/REMAIN.

REMOVE EX. SAN PIPING, SEPTIC TANK, AND FIELD AT NORTHEAST CORNER OF EXISTING HOUSE.

REMOVE EX. STM PIPING AND ASSOCIATED WORKS AROUND EXISTING HOUSE TO BE REMOVED AND CAP PIPES.

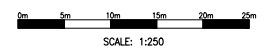
PRUNE ALL TREES ADJACENT TO NEW HOUSE BACK TO AT LEAST 8' (2.4m) FROM NEW HOUSE WALL FACE.

REMOVE AND STOCKPILE STONE FACE AND RETAINING WALL STONE.

REMOVE AND STOCKPILE EXISTING CONCRETE PAVERS.

RETAIN AND REUSE ALL SUITABLE NATIVE SAND.

NOT FOR CONSTRUCTION

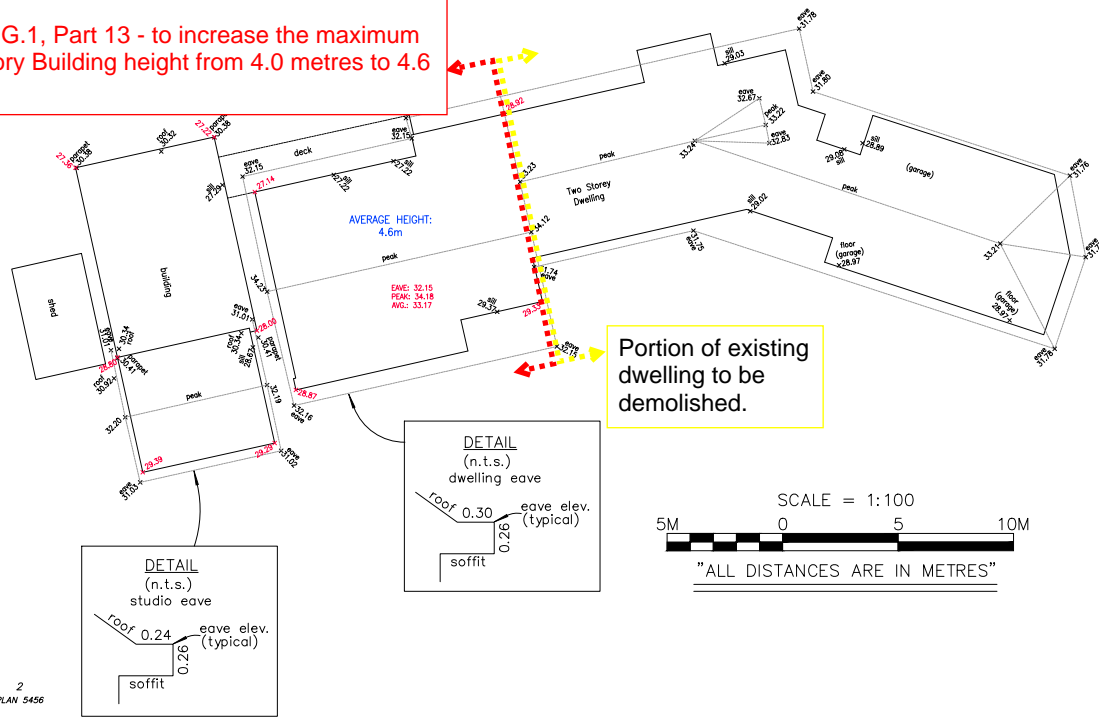


SCALE = 1:200
 ALL DISTANCES ARE IN METRES

Portion of existing dwelling to be retained and varied as follows:

Section G.1, Part 13 - to increase the maximum Accessory Building height from 4.0 metres to 4.6 metres.

DETAIL



Portion of existing dwelling to be demolished.

NO SMOKING IN BUILDING OR ON PROPERTY AT ANY TIME.

General Notes

- BENCHMARK: MONUMENT #5492
 CRESCENT ROAD & BECKETT ROAD
 GEODETIC ELEV. 26.711m(CVD286VRD)
- ALL GROUND ELEVATIONS ARE IN METRIC. ALL OTHER DIMENSIONS ARE IMPERIAL.
- ALL WORKS SHALL COMPLY WITH LATEST VERSION OF BRITISH COLUMBIA BUILDING CODE.
- ANY DETAILS OR SPECIFICATIONS NOT NOTED ON DRAWINGS OR NOT PROVIDED BY B.C. BUILDING CODE SHALL COMPLY WITH CMHC CANADIAN WOOD FRAME HOUSE CONSTRUCTION MANUAL.
- ALL DIMENSIONS TO BE TAKEN FROM EAST AND SOUTH PROPERTY LINES ONLY.
- NO SUBSTITUTION WITHOUT WRITTEN APPROVAL FROM OWNER
- PRIOR TO START OF ANY CONSTRUCTION, CONTRACTOR SHALL MEET WITH OWNER TO REVIEW ALL DRAWINGS, DETAILS AND SCOPE OF WORK.
- ALL MATERIALS DELIVERED TO SITE SHALL BE PLACED ON DRY LEVEL SURFACE AND PROTECTED FROM THE WEATHER (SUN, RAIN, SNOW, ETC.).
- THE SITE AND BUILDING SHALL BE SECURED AT ALL TIMES.
- THE SITE AND BUILDING SHALL BE MAINTAINED CLEAN AND FREE OF DEBRIS, GARBAGE, ETC. AT ALL TIMES.
- ALL WORKS SHALL BE INSTALLED WITH STRING/CHALK LINE OR LASER AND CONFIRMED BY SURVEY TO CONFIRM ALL WORKS ARE ALL INSTALLED STRAIGHT AND LEVEL.
- NO SMOKING IN BUILDING OR ON PROPERTY AT ANY TIME.
- REFER TO DRAWING G-1 FOR ADDITIONAL GENERAL NOTES & SPECIFICATIONS.

No.	Revision/Issue	Date

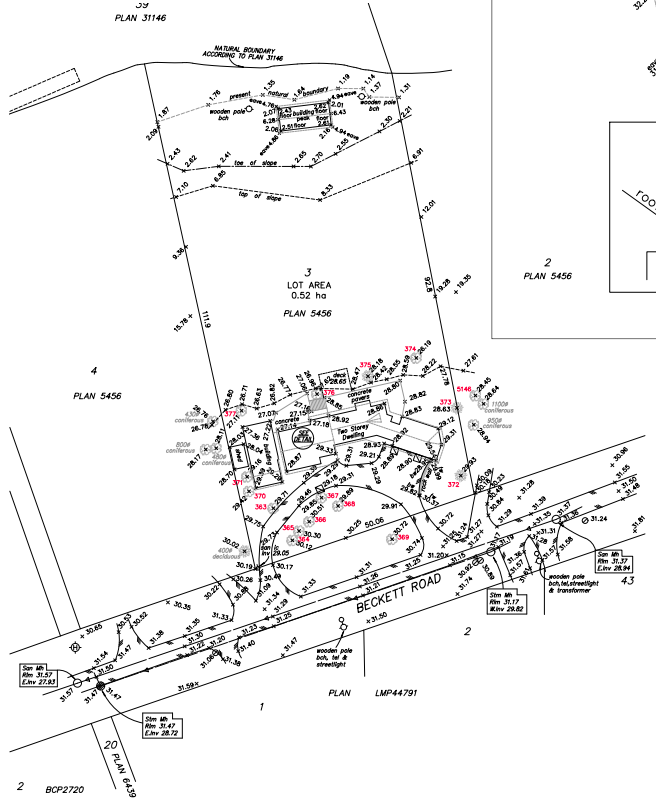
DRAWING TITLE
EXISTING SITE ELEVATIONS

Project Name and Address
**FAMILY RESIDENCE
 12711 BECKETT ROAD
 SURREY, B.C.**

P.I.D.: 011-136-863
 LOT 3, SEC 19, Tp1,
 PL NWP 5456, NWD

Project 2017-150 Sheet
 Date MAR 2018 **DM-1**
 Scale 1:250

NOT FOR CONSTRUCTION



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7924-0139-01

Issued To:

(the Owner)

Address of Owner:

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 019-194-030
LOT 4 SECTION 12 TOWNSHIP 1 NEW WESTMINSTER DISTRICT PLAN LMP22125
838 164 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:
-

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - o to reduce the minimum lot depth of the "Urban Residential Zone (R3)" from 28 metres to 24.2 metres for Proposed lots 1 and 2.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

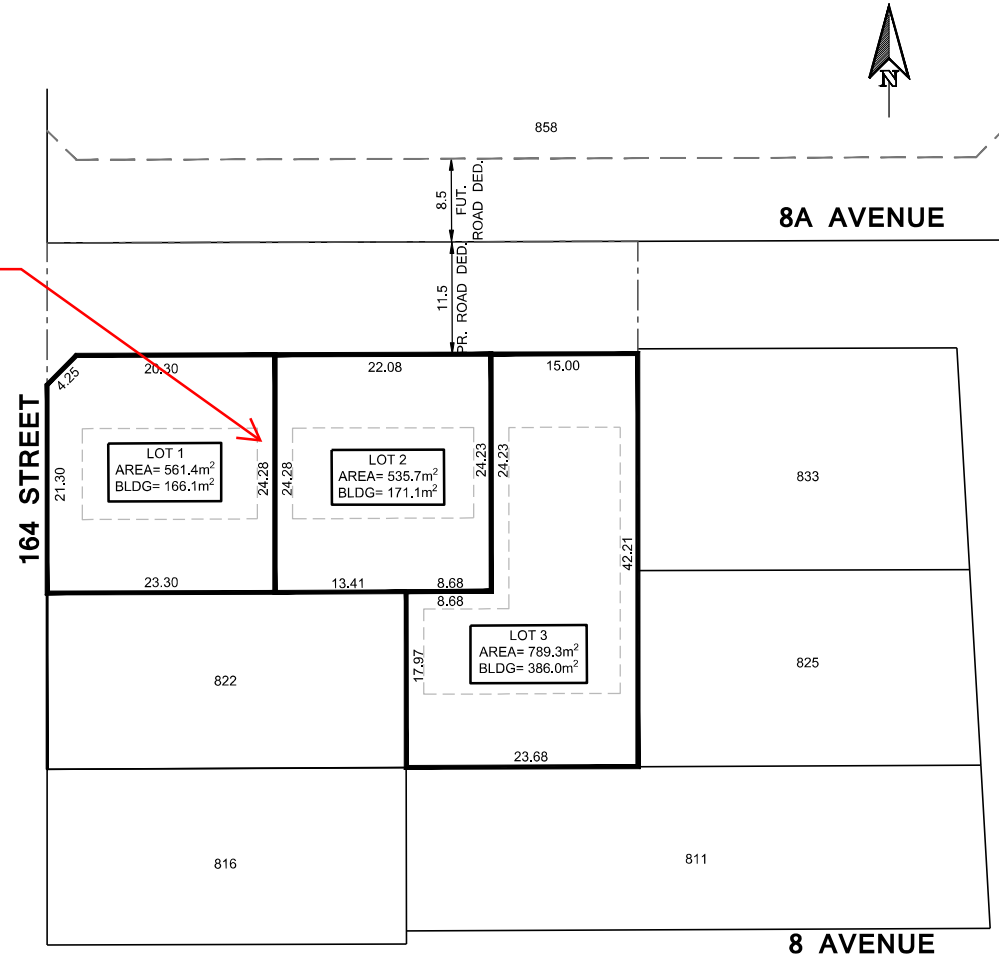
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

to reduce the minimum lot depth of the "Urban Residential Zone (R3)" from 28 metres to 24.2 metres for Proposed lots 1 and 2.



PLAN
SCALE: 1:500

BENCHMARK	ELEVATIONS ARE DERIVED FROM CITY OF SURREY CONTROL MONUMENT No. 5760 ELEVATION = 36.213m DATUM CVD28GVRD2005. LOT DIMENSIONS AND CLEARANCES ACCORDING TO FIELD SURVEY			<p>TERRA NOBIS CONSULTING INC. #203 - 15585 24 Avenue, Surrey, V4A 2J4 PHONE: 604.946.3007 EMAIL: INFO@TERRANOBIS.COM PERMIT TO PRACTICE #: 1000490</p>	CLIENT	PROJECT	SEAL	CITY OF SURREY
	No.	DATE	REVISIONS / SUBMISSIONS					
LEGAL	LOT 4 SECTION 12 TOWNSHIP 1 PLAN LMP22125 NWD			<p>TEL: 604-716-8400 EMAIL: KANWALGHUMAN@HOTMAIL.COM</p>	SITE ADDRESS	DRAWING NUMBER	1 OF 1	REV. 0
	LOT 1 SECTION 12 TOWNSHIP 1 PLAN NWP88144 NWD							

DESTROY ALL PRINTS BEARING PREVIOUS REVISION NUMBER

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7924-0149-01

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 001-337-718
LOT 267 SECTION 28 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 62527
8081 138A Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- to vary the definition of finished grade in Part 1 Definitions of Zoning Bylaw 12000, as amended, to “the lowest ground elevation existing prior to construction, as established on a legal survey by a registered British Columbia Land Surveyor, such ground elevation to include fill materials place on the lot to raise the ground elevation up to, but not above, the average elevation of adjacent lots at the adjoining lot lines” based on the topographic survey dated February 15, 2022; and
- to vary the rear yard setback of the “Urban Residential Zone (R3)” from 7.5 metres to 4.4 metres as measured to the rear yard deck and 6.2 metres as measured to the garage.

4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.

5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

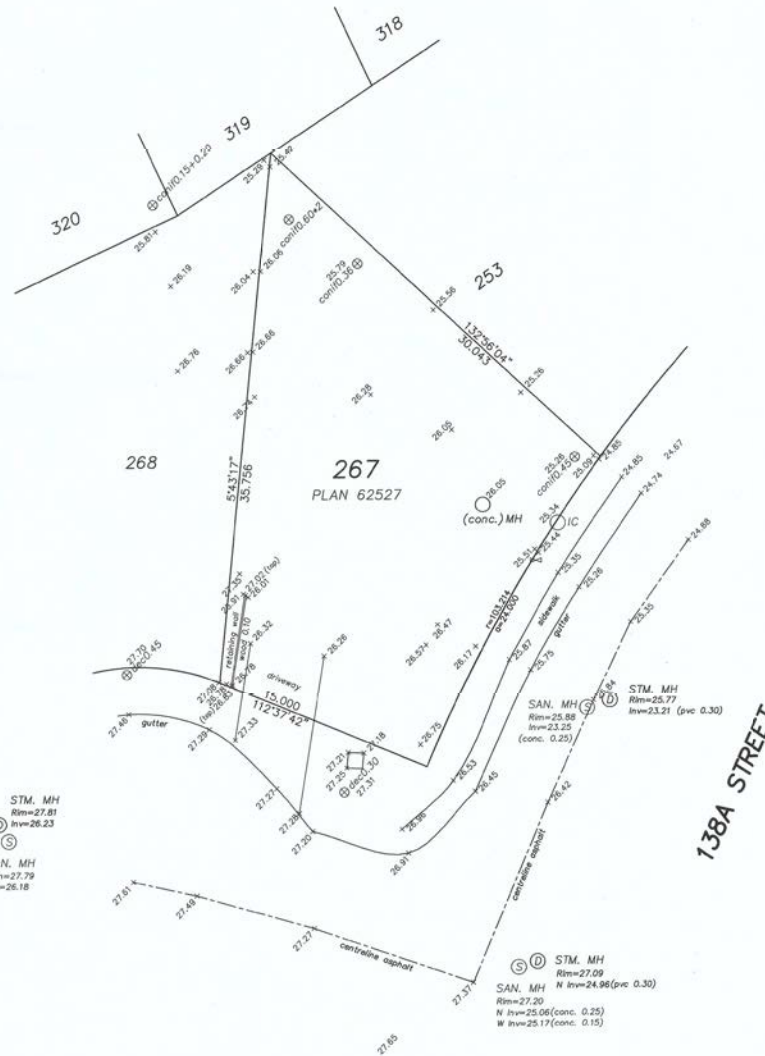
City Clerk and
Director Legislative Services
Jennifer Ficocelli

BRITISH COLUMBIA LAND SURVEYOR'S CERTIFICATE SHOWING EXISTING ELEVATIONS AND TREES ON LOT 267 SECTION 28 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN 62527

Schedule A

Current Civic Address:
8081 138A Street
Surrey, B.C.
PID: 001-337-718
SCALE : 1:250

to vary the definition of finished grade in Part 1 Definitions of Zoning Bylaw 12000, as amended, to "the lowest ground elevation existing prior to construction, as established on a legal survey by a registered British Columbia Land Surveyor, such ground elevation to include fill materials place on the lot to raise the ground elevation up to, but not above, the average elevation of adjacent lots at the adjoining lot lines" based on the topographic survey dated February 15, 2022



LEGEND

□	...denotes bc hydro
IC ○	...denotes inspection chamber
MH ○	...denotes manhole
SAN. MH ⊙	...denotes sanitary manhole
STM. MH ⊕	...denotes storm manhole
WM ⊖	...denotes water meter
⊗	...denotes tree
⊕ X	...denotes spot elevation

SAN. MH ⊙ STM. MH ⊕
Rim=23.74 Rim=23.71

- GENERAL NOTES:**
- All dimensions are in metres.
 - This plan is NOT to be used for location of property lines.
 - Elevations are based on City of Surrey Geodetic datum, monument 5219 elev.= 21.718m (CVD28GVRD 2018).
 - On the subject lot, only trees with a diameter of at least 0.20m are shown
 - This plan does not show non-plan charges, liens or interests.
 - property dimensions are derived from Land Title Office records

© COPYRIGHT
DHALIWAL AND ASSOCIATES
LAND SURVEYING INC.
#216 12899-76th Avenue
Surrey, B.C. V3W 1E6
phone: (604) 501-6188
email: info@dhalawalssurvey.com
File: 2201120-103
Drawn by: GK

- This plan was prepared for design purposes and is for the exclusive use of our client. DHALIWAL AND ASSOCIATES LAND SURVEYING inc. and the signatory accept no responsibility for and hereby disclaim all obligations and liabilities for damages caused by the direct or indirect use or reliance upon the Plan beyond its intended use.

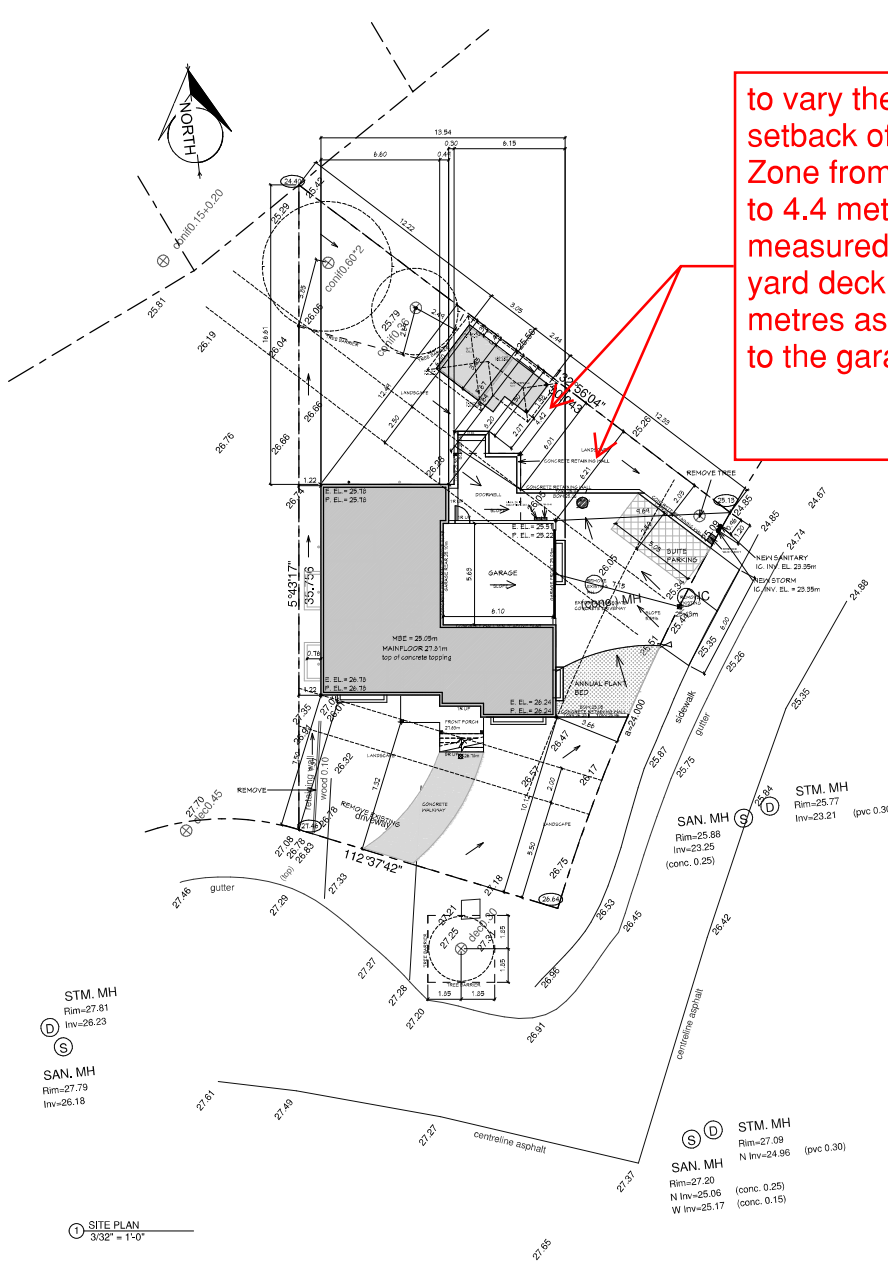
REVISED:
15th DAY OF FEBRUARY 2022.
DATE OF SURVEY:
25th DAY OF JANUARY 2022.

BRITISH COLUMBIA LAND SURVEYOR
Mark J. Dailey
B.C.L.S. #67

Schedule A

GENERAL NOTES:

- THE DESIGNER MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS AND/OR OMISSIONS WHICH MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION. SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS, IT IS INCUMBENT ON YOU TO ADVISE OUR OFFICE AS SOON AS POSSIBLE. BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS IF NECESSARY. IN THIS WAY WE CAN BETTER SERVE YOU AND PREVENT DISPUTES FROM REOCCURRING.
- ALL FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOILS AND BELOW THE FROST LINE. FOUNDATIONS WALL HEIGHTS AND THICKNESSES AS WELL AS FOOTING SEES MAY NEED TO BE ADJUSTED AND/OR REINFORCED DUE TO SITE CONDITIONS. ANY ENGINEERING SERVICES REQUIRED ARE THE RESPONSIBILITIES OF THE OWNER OR BUILDER.
- APPROVED SMOKE ALARMS AND PHOTO ELECTRIC TO BE INSTALLED AS PER BCBC CODE.
- BUILDER TO CHECK SLOPE LOAD REQUIREMENTS FOR THEIR LOCAL AREA AND MAKE ANY NECESSARY ADJUSTMENTS PRIOR TO PROCEEDINGS WITH CONSTRUCTION.
- CARBON MONOXIDE ALARMS SHALL CONFORM TO CSA 6.19, "RESIDENTIAL CARBON MONOXIDE ALARMING DEVICES".
- DAMP-PROOFING OF 6 MIL POLYETHYLENE WITH SEAMS LAPPED AND TAPED, OVER A 4" OF GRANULAR FILL SHALL BE LAD UNDER CONCRETE SLABS. A FLEXIBLE SEALANT SHALL BE PLACED WHERE THE SLAB AND FOUNDATION WALL MEET.
- DIMENSIONS TAKE PRECEDENCE TO SCALE.
- DRAINAGE AROUND FOUNDATION TO CONSISTING OF 4" DIAMETER PIPED COVERED WITH A MINIMUM OF 6" CRUSHED STONE SHALL BE PLACED AROUND THE PERIMETER OF THE BUILDING.
- ENSURE THAT WINDOWS IN BEDROOMS HAVE A MINIMUM AREA OF .35m² (3.75FT²) WITH AN UNOBSTRUCTED HEIGHT AND WIDTH OF 300mm (15"). THE WINDOW OPENING SHALL BE A MAXIMUM OF 1.5m (5') ABOVE THE FLOOR.
- EXTERIOR DIMENSIONS ARE TO THE FACE OF SHEATHING.
- EXTERIOR WALLS ARE DRAWN AT 5" STUDS AND 1/2" PLYWOOD OR OSB SHEATHING OR AS STRUCTURAL ENGINEER SPECS.
- FOUNDATION WALLS TO HAVE 1 1/2" R-12 RIGID INSULATION TO MIN. 24" BELOW GRADE. ATTIC SPACES TO HAVE MIN. R-40 ROOF JOISTS AND CANTILEVERED FLOORS MIN. R-28. EXTERIOR 2X6 WALLS MIN. R-22. INTERIOR BASEMENT 2X4 WALLS MIN. R-14 IF REQUIRED.
- LIGHTING AND ELECTRICAL LOADS TO BE SPECIFIED BY THE OWNER OR BUILDER AND MUST MEET WITH 2018 BCBC REQUIREMENTS.
- PLANS ARE BASED ON THE USE OF 42 OR BETTER SPF, UNLESS OTHERWISE STATED. LAMINATED BEAMS WILL REQUIRE AN ENGINEERS CERTIFICATION. THIS IS THE RESPONSIBILITY OF THE OWNER OR BUILDER.
- REFER TO ENGINEERED FLOOR JOIST AND ROOF TRUSS LAYOUT TO CONFIRM BEAM, POSTS AND PAD FOOTING LOCATION AND SIZES. ENSURE PROPER BEARINGS IS PROVIDED FOR ALL BEAMS.
- ROOF SPACES SHALL BE VENTED WITH ROOF, EAVE AND/OR GABLE END TYPE VENTS OR 1:300 OF THE INSULATED AREA.
- SITING OF THE HOME IS THE RESPONSIBILITY OF THE BUILDER IN CONJUNCTION WITH THE HOMEOWNER.
- THE DRAWINGS HAVE BEEN PREPARED TO CONFORM TO THE 2018 EDITION OF THE BRITISH COLUMBIA BUILDING CODE. THE BUILDER IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION CONFORMS TO THE BCBC AND LOCAL BUILDING CODES AND BYLAWS. ALL CONSTRUCTION AND INSTALLATION OF MATERIALS SHALL BE DONE IN ACCORDANCE WITH GOOD BUILDING PRACTICES AND MANUFACTURING INSTRUCTIONS. LOCAL BUILDING DEPARTMENTS MAY REQUIRE CERTIFICATION FROM A STRUCTURAL ENGINEER FOR PART OR ALL OF THE STRUCTURE. ANY ENGINEERING FEES ARE THE RESPONSIBILITIES OF THE OWNER OR BUILDER.
- THE INSTALLATION OF ALL PLUMBING, HVAC AND ELECTRICAL EQUIPMENT AND MATERIALS SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND THE APPLICABLE SECTIONS OF THE 2018 BCBC.
- THE SITING OF THE HOME MUST BE IN COMPLIANCE WITH CITY BYLAWS. BEFORE COMMENCEMENT OF CONSTRUCTION, ENSURE THAT THE SITE PLAN HAS BEEN APPROVED BY THE CITY OFFICIALS.
- VANITY SIZES ARE FOR REFERENCE ONLY. REFER TO APPROVED HITCHEN LAYOUT FOR CABINET SEES.
- CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OF USE OF EQUIPMENT, SHALL BE ALLOWED TO EXCEED THE DESIGN LOADINGS.
- CONFIRM ALL DIMENSIONS ON SITE PRIOR TO BEGINNING OF ANY CONSTRUCTION. ANY DEFICIENCY MUST BE REPORTED TO THE DESIGNER IN WRITTEN OR BY EMAIL, AND SHALL BE CORRECTED BEFORE COMMENCING ANY CONSTRUCTION.
- EXTERIOR DOORS SHALL BE SOLID CORE AND WEATHERSTRIPPED. GARAGE DOORS TO DWELLING TO BE AS ABOVE AND SELF-CLOSING.
- GRADES SHOWN ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS AND HOUSE SITING MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS.
- ROOF VENTING SHALL BE IN ACCORDANCE WITH 2018 BCBC.
- PROVIDE Baffle FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE.
- THE FACE OF SHEATHED EXTERIOR WALLS SHALL BE FLUSH WITH FOUNDATION WALLS.
- WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH SILL GASKET OR OTHER APPROVED METHOD. PLATES TO BE ANCHORED TO CONCRETE FOUNDATION WITH ANCHOR BOLTS AS SPECIFIED BY STRUCTURAL ENGINEER.
- THE BUILDER OR CONTRACTOR RESPONSIBLE FOR HIRING STRUCTURAL ENGINEER OR GEOTECHNICAL ENGINEER FOR STRUCTURAL DESIGNS.
- NOTE TO BUILDER OR CONTRACTOR DOORS AND WINDOW SIZES GIVEN ON ARCHITECTURAL PLANS READ, (EXAMPLE DOOR SIZE 2068 MEANS 26"x69" TYPICAL AND WINDOWS 3018 MEANS 30"x61" TYPICAL).
- SOLE RESPONSIBILITY OF OWNER/BUILDER/CONTRACTOR/DEVELOPER TO PROVIDE SINGH DRAFTING AND HOME PLANS LTD, WITH STORM SANITARY I/C INV. ELEVATION AND LOCATION.
- OWNER/BUILDER TO VERIFY STORM I/C SANITARY I/C ELEVATION AND LOCATION WITH CIVIL ENGINEER.
- THE CONTRACTOR SHALL CHECK ALL EXISTING GRADES AND LOCATIONS OF CITY SERVICES PRIOR TO CONSTRUCTION.
- FIRE PROTECTION SHALL CONFORM TO THE BCBC 2018 EDITION.
- ALL STAIRS, HANDRAILS AND GUARDRAILS SHALL COMPLY WITH THE BCBC 2018 EDITION.
- STRUCTURAL CONCRETE TO DEVELOP 20 MPa COMPRESSIVE STRENGTH WITH 28 DAYS EXCEPT CONCRETE USED FOR GARAGE AND EXTERIOR STAIRS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 38 MPa AT 28 DAYS.
- ALL EXTERIOR CONCRETE SLABS SHALL HAVE AIR-ENTRAINMENT.
- BEAMS SHALL HAVE EVEN AND LEVEL BEARINGS AND SHALL HAVE NOT LESS THAN 3x5" LENGTH OF BEARING AT END SUPPORTS.
- INDIVIDUAL MEMBERS OF A BUILT UP BEAM SHALL BE NAILED TOGETHER WITH A DOUBLE ROW OF NAILS, NOT LESS THAN 3x6" IN LENGTH. SPACED NOT MORE MORE THAN 18" APART IN EACH ROW WITH THE END NAILS LOCATED 4" TO 6" FROM THE END OF EACH PIECE.
- FLOOR JOISTS SHALL HAVE BRIDGING ROWS @ 7'0" MAX O.C. OR U.N.O.
- ALL LOAD BEARING INTERIOR AND EXTERIOR LINTELS SHALL BE 2-x10 U.N.O.
- THE WIDTH OR DIAMETER OF A WOOD COLUMN SHALL BE NOT LESS THAN THE WIDTH OF THE SUPPORTED MEMBER.
- FLOOR AREA FINISHED WITH CERAMIC TILES TO HAVE MIN. 1/4" PARTICLE BOARD APPLIED OVER SUBFLOOR.
- PROPOSED GAS LINE, HYDRO POWER POLE AND WATER METER LOCATIONS ARE AN ESTIMATE BY DESIGNER. BUILDER/OWNER TO VERIFY PRIOR TO CONSTRUCTION.



SAN. MH (S) (D) STM. MH
Rim=23.74

MANPRIT TOOR
8081 138a st, SURREY

ZONE: RF-G
LOT 267 SECTION 28 TOWNSHIP
2 PLAN N1N62527
NWD PART 5/4 1/4
PID: 001-337-116
LOT AREA = 596.25m² (6410 sf)

FAR:
ALLOWABLE F.A.R = 2800 sf
PROPOSED F.A.R = 2749 sf

SITE COVERAGE:
ALLOWABLE = 2800 sf
PROPOSED = 2035 sf

ELEVATIONS IN METERS:
ROOF RIDGE = 35.74
MEAN HEIGHT = 34.42
ROOFLINE = 34.05
UPPER FLOOR = 27.87
MAIN FLOOR = 27.87
AVERAGE GRADE = 26.44
GARAGE SLAB = 25.05
BSMT = 25.05
MBE = 25.05
BSMT IN GROUND = 50%

STM. MH
Rim=27.81
Inv=28.23

SAN. MH
Rim=27.79
Inv=26.18

STM. MH
Rim=25.77
Inv=23.21 (gvc 0.30)

STM. MH
Rim=27.09
N Inv=24.96 (gvc 0.30)

SAN. MH
Rim=27.20
N Inv=25.06 (conc. 0.25)
W Inv=25.17 (conc. 0.15)

① SITE PLAN
3:32" = 1'-0"

THESE PLANS ARE IN COMPLIANCE WITH THE 2018 BCBC

SINGH DRAFTING AND HOME PLANS LTD.
1-417-2-774 AVE. SURREY, BC V3W2X3 (604)379-6000 SINGHDRAFTING@HOTMAIL.COM

A1

SCALE: 3/32" = 1'-0"

DATE: May 24 / 2024

DRAWN BY: DS

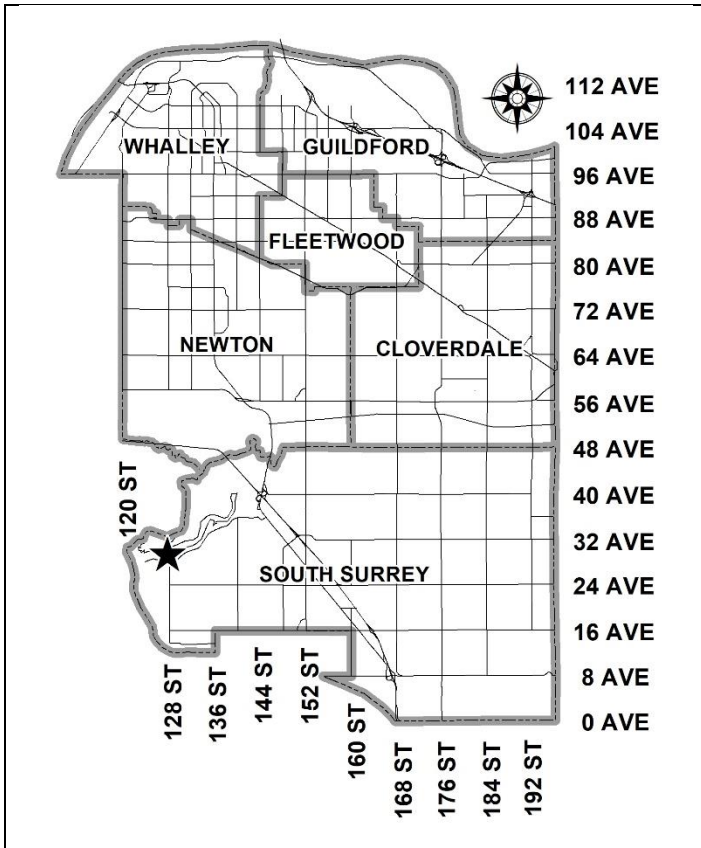
PROJECT: SITE PLAN / PROJECT INFO

SINGH DRAFTING AND HOME PLANS LTD. is a registered professional engineering firm under the Engineering Act (R.S.O. 1990, c. 22) and the Professional Engineers Act (R.S.O. 1990, c. 22). SINGH DRAFTING AND HOME PLANS LTD. is a member of the Ontario Association of Professional Engineers (O.A.P.E.) and the Ontario Association of Professional Technicians (O.A.P.T.).

City of Surrey
ADDITIONAL PLANNING COMMENTS

Application No.: 7919-0154-01

Planning Report Date: July 8, 2024



PROPOSAL:

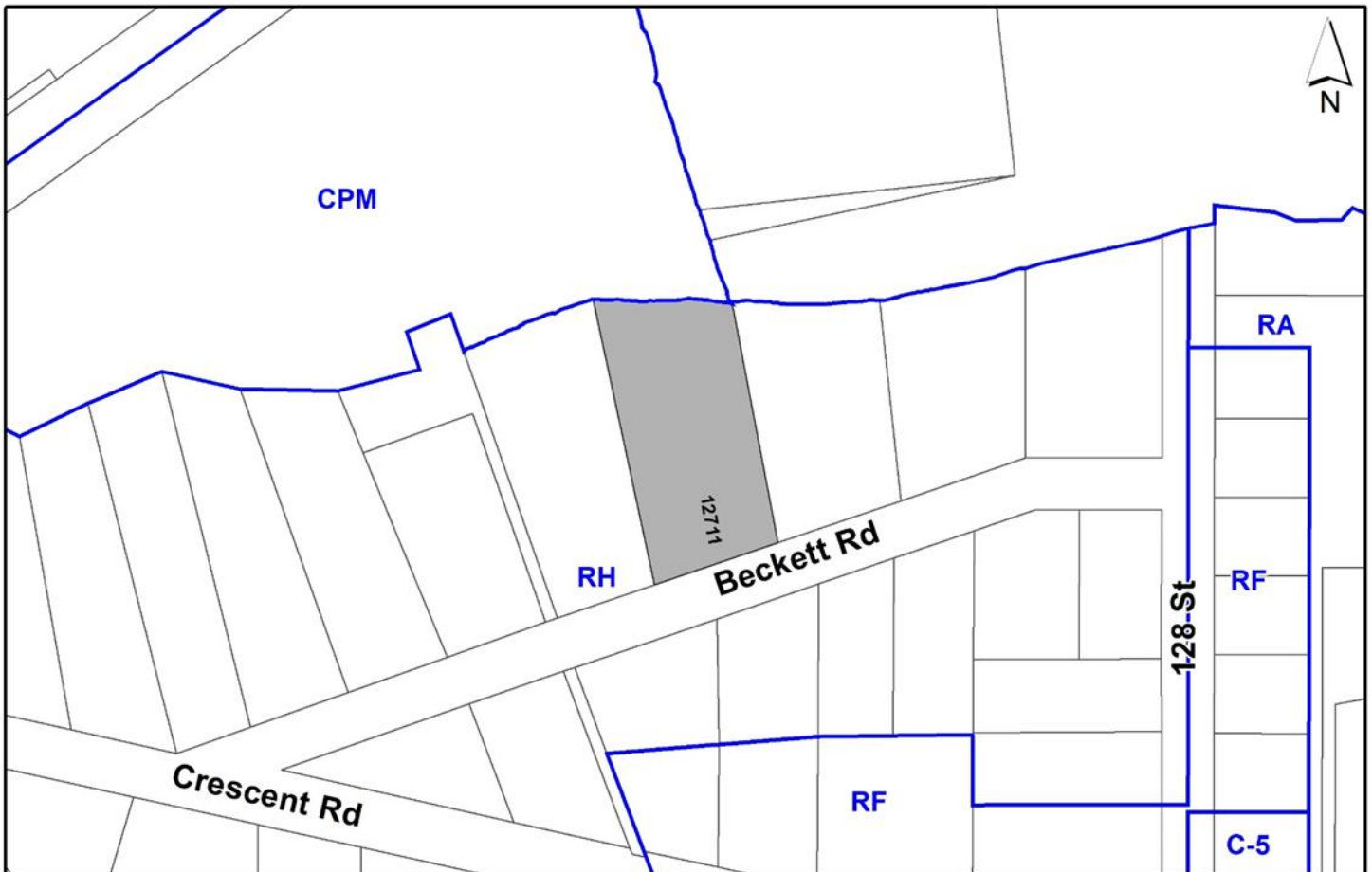
• **Development Variance Permit**

To reduce the minimum front yard setback and increase the maximum building height to permit the retention of a portion of the existing single family dwelling as an accessory structure and formalize an existing setback encroachment.

LOCATION: 12711 Beckett Rd

ZONING: RH

OCP DESIGNATION: Suburban



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to vary the minimum setback and maximum height requirements of the RH Zone.

RATIONALE OF RECOMMENDATION

- Development Application No. 7919-0154-00, which proposes a Hazard Lands (Steep Slopes) and Sensitive Ecosystems (Streamside and GIN) Development Permit and a Development Variance Permit reduce the minimum setback from a Class A watercourse to permit the construction of a new single family dwelling, was initially considered by Council on January 17, 2022 and subsequently supported.
- The requested variances are proposed in order to allow a portion of the existing single family dwelling to be retained as an accessory building, and to formalize the setback encroachment of the existing accessory building. The proposal is consistent with original Development Application No. 7919-0154-00 that has been supported on the property, will not authorize the construction of a new building or structure, and will not impact adjacent properties given the structures are existing.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7919-0154-01 (Appendix III) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum front yard setback of the RH Zone from 18.0 metres to 15.9 metres to the accessory building face; and
 - (b) to increase the maximum accessory building height of the RH Zone from 4.0 metres to 4.6 metres.
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) all conditions of approval outlined in the original Planning Report No. 7919-0154-00, dated January 17, 2022 (Appendix IV).

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Single Family Residential	Suburban	RH
North:	Nicomekl River; Marina	Urban	CPM
East, West & South (Across Beckett Road):	Single Family Residential	Suburban	RH

Context & Background

- The subject property is located mid-block on the north side of Beckett Road, west of 128 Street. The property is designated "Suburban" in the Official Community Plan (OCP) and is zoned "Half-Acre Residential Zone (RH)".
- The property is approximately 5,260 square metres in size, with a lot width of 50 metres and lot depth of 112 metres. The Nicomekl River, a Class A (red-coded) watercourse, is located along the north property line of the subject site.
- The proposal for a Hazard Lands (Steep Slopes) and Sensitive Ecosystems (Streamside and GIN) Development Permit and a Development Variance Permit to reduce the minimum setback from a Class A watercourse to permit the construction of a new single family dwelling, was initially considered by Council on January 17, 2022 and subsequently supported.

DEVELOPMENT PROPOSAL

Planning Considerations

- Development Application No. 7919-0154-00 proposes to partially demolish the existing single family dwelling and construct a new single family dwelling on the subject property. The portion of the existing single family dwelling that is proposed for retention will be adapted and utilized as an accessory building, including studio space and a workshop (see Appendix II).
- Through continued review of the proposal, it was identified that variances would be required to reduce the minimum front yard setback and increase the maximum building height, given the RH Zone includes provisions for accessory buildings which are more restrictive than for a single family dwelling.
- Additionally, an accessory building is currently located within the 18.0 metre front yard setback; this encroachment will be formalized through the proposed variance.

Referrals

Engineering: The Engineering Department has no objection to the project subject to the resolution of drainage services concerns which will be addressed as part of a future Building Permit Application.

POLICY & BY-LAW CONSIDERATIONS

- The proposed variances do not impact or change how the application addresses or complies with the Regional Growth Strategy or the Official Community Plan.

Zoning By-law

- The original Development Application No. 7919-0154-00 proposed the following streamside variance, which was initially considered by Council on January 17, 2022 and subsequently supported on January 31, 2022:
 - to reduce the minimum setback distance for a Class A (red-coded) stream from 15.0 meters to 0.0 meters, as measured from top-of-bank, for west and east portions of the site.

Proposed Variances

- The applicant is requesting the following variances:
 - to reduce the minimum front yard setback of the RH Zone from 18.0 metres to 15.9 metres to the accessory building face; and
 - to increase the maximum accessory building height of the RH Zone from 4.0 metres to 4.6 metres.

- The requested variances are proposed in order to allow a portion of the existing single family dwelling to be retained as an accessory building, which is a sustainable alternative to constructing a new accessory building. The variances will also formalize the setback encroachment of the existing accessory building.
- The proposal is consistent with original Development Application No. 7919-0154-00 that has been supported on the property, will not authorize the construction of a new building or structure, and will not impact adjacent properties given the structures are existing.
- Staff support the requested variances to proceed for consideration.

DEVELOPMENT PERMITS

- The proposed variances do not impact the original Hazard Lands (Steep Slope) and Sensitive Ecosystems (Streamside Areas and Green Infrastructure Network) Development Permit.

TREES

- The proposed variances will not result in any impact to the retention or protection of trees indicated under the original application (see Appendix IV).

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Site Plan
Appendix II.	Demolition Plan
Appendix III.	Development Variance Permit No. 7919-0154-01
Appendix IV.	Initial Planning Report No. 7919-0154-00, dated January 17, 2022

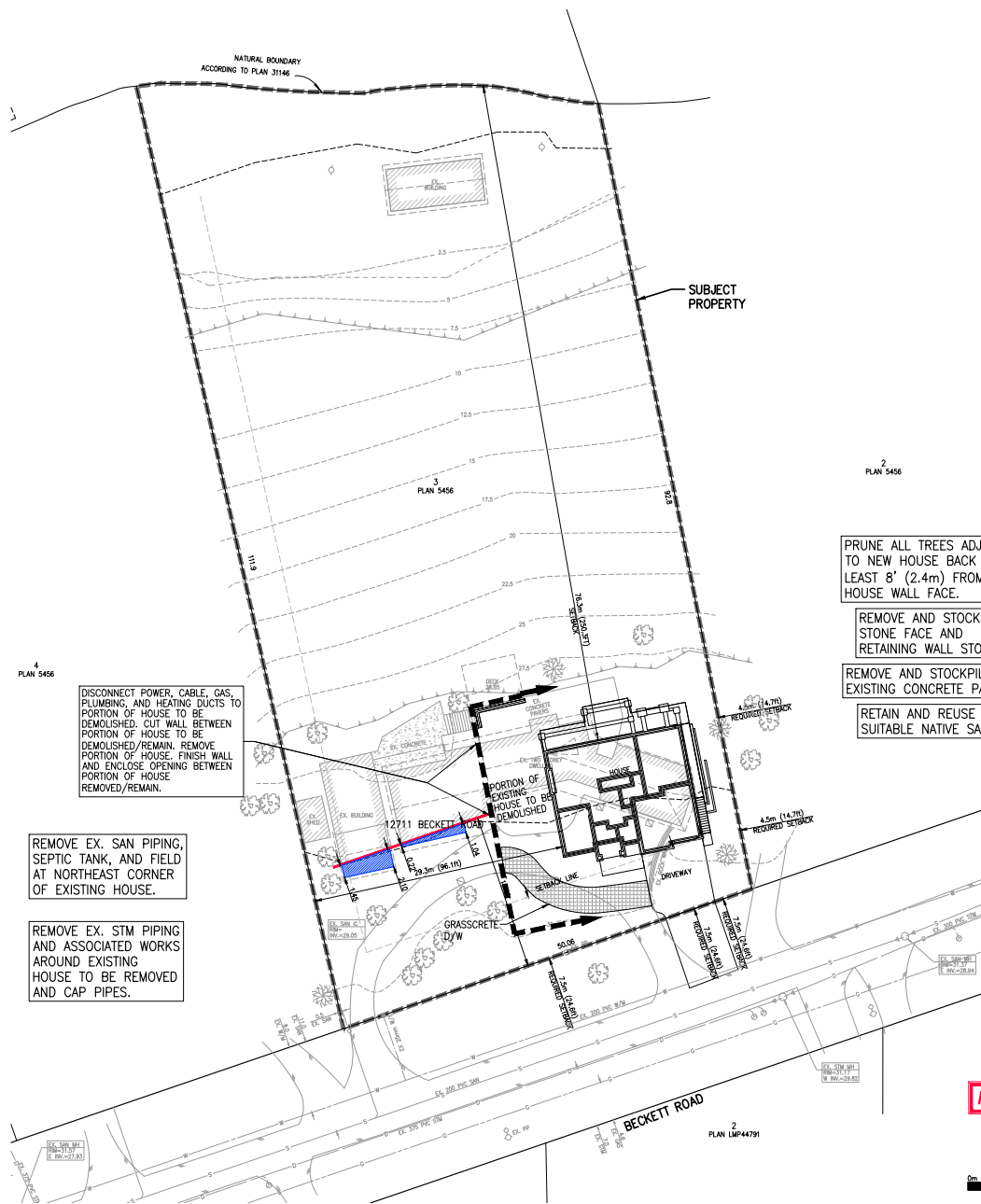
approved by Shawn Low

Don Luymes
General Manager
Planning and Development

SA/ar

Appendix I

NO SMOKING IN BUILDING OR ON PROPERTY AT ANY TIME.



PRUNE ALL TREES ADJACENT TO NEW HOUSE BACK TO AT LEAST 8' (2.4m) FROM NEW HOUSE WALL FACE.

REMOVE AND STOCKPILE STONE FACE AND RETAINING WALL STONE.

REMOVE AND STOCKPILE EXISTING CONCRETE PAVERS.

RETAIN AND REUSE ALL SUITABLE NATIVE SAND.

DISCONNECT POWER, CABLE, GAS, PLUMBING, AND HEATING DUCTS TO PORTION OF HOUSE TO BE DEMOLISHED. CUT WALL BETWEEN PORTION OF HOUSE TO BE DEMOLISHED/REMAIN. REMOVE PORTION OF HOUSE. FINISH WALL AND ENCLOSE OPENING BETWEEN PORTION OF HOUSE REMOVED/REMAIN.

REMOVE EX. SAN PIPING, SEPTIC TANK, AND FIELD AT NORTHEAST CORNER OF EXISTING HOUSE.

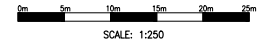
REMOVE EX. STM PIPING AND ASSOCIATED WORKS AROUND EXISTING HOUSE TO BE REMOVED AND CAP PIPES.



2 PLAN 5456

PLAN 5456

NOT FOR CONSTRUCTION



General Notes

BENCHMARK: MONUMENT #5492
CRESCENT ROAD & BECKETT ROAD
GEODETIC ELEV. 26.711m(CVD286VRD)

ALL GROUND ELEVATIONS ARE IN METRIC. ALL OTHER DIMENSIONS ARE IMPERIAL.

ALL WORKS SHALL COMPLY WITH LATEST VERSION OF BRITISH COLUMBIA BUILDING CODE.

ANY DETAILS OR SPECIFICATIONS NOT NOTED ON DRAWINGS OR NOT PROVIDED BY B.C. BUILDING CODE SHALL COMPLY WITH CMHC CANADIAN WOOD FRAME HOUSE CONSTRUCTION MANUAL.

ALL DIMENSIONS TO BE TAKEN FROM EAST AND SOUTH PROPERTY LINES ONLY.

NO SUBSTITUTION WITHOUT WRITTEN APPROVAL FROM OWNER

PRIOR TO START OF ANY CONSTRUCTION, CONTRACTOR SHALL MEET WITH OWNER TO REVIEW ALL DRAWINGS, DETAILS AND SCOPE OF WORK.

ALL MATERIALS DELIVERED TO SITE SHALL BE PLACED ON DRY LEVEL SURFACE AND PROTECTED FROM THE WEATHER (SUN, RAIN, SNOW, ETC.).

THE SITE AND BUILDING SHALL BE SECURED AT ALL TIMES.

THE SITE AND BUILDING SHALL BE MAINTAINED CLEAN AND FREE OF DEBRIS, GARBAGE, ETC. AT ALL TIMES.

ALL WORKS SHALL BE INSTALLED WITH STRING/CHALK LINE OR LASER AND CONFIRMED BY SURVEY TO CONFIRM ALL WORKS ARE ALL INSTALLED STRAIGHT AND LEVEL.

NO SMOKING IN BUILDING OR ON PROPERTY AT ANY TIME.

REFER TO DRAWING G-1 FOR ADDITIONAL GENERAL NOTES & SPECIFICATIONS.

No.	Revision/Issue	Date

Drawing Title

**OVERALL
SITE PLAN**

Project Name and Address

**FAMILY RESIDENCE
12711 BECKETT ROAD
SURREY, B.C.**

P.I.D.: 011-136-863
LOT 3, SEC 19, Tp1,
PL NWP 5456, NWD

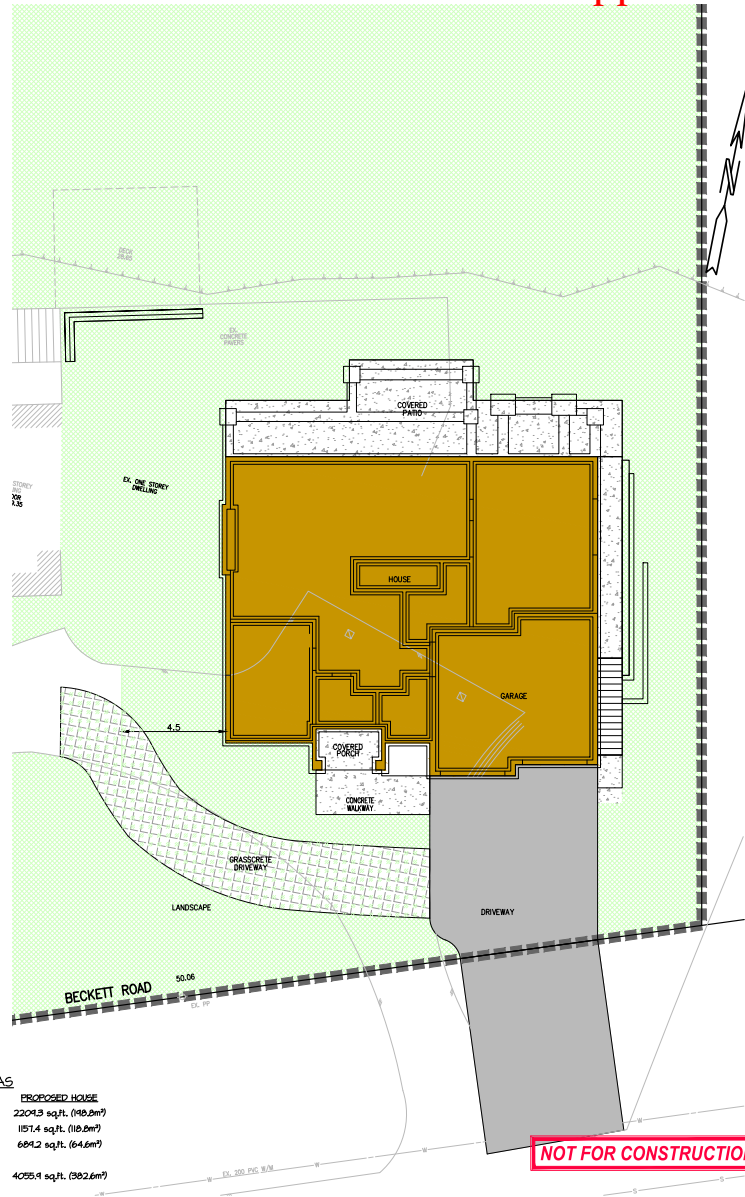
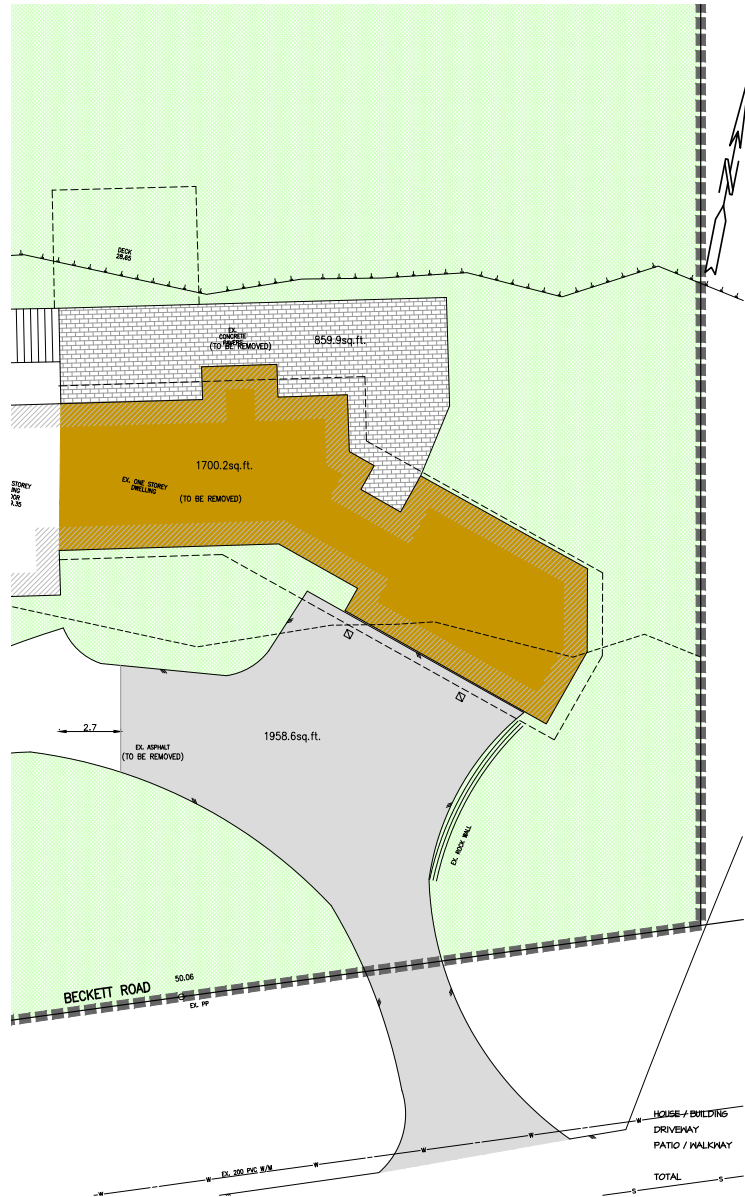
Project 2017-150 Sheet

Date MAR 2018 A-1

Scale 1:250

Appendix II

NO SMOKING IN BUILDING OR ON PROPERTY AT ANY TIME.



IMPERVIOUS AREAS

	EXISTING HOUSE	PROPOSED HOUSE
HOUSE / BUILDING	1700.2 sq.ft. (151.4m ²)	2204.9 sq.ft. (204.2m ²)
DRIVEWAY	2098.5 sq.ft. (195.0m ²)	1851.4 sq.ft. (170.8m ²)
PATIO / WALKWAY	854.9 sq.ft. (79.4m ²)	684.2 sq.ft. (64.6m ²)
TOTAL	4653.6 sq.ft. (432.8m²)	4740.5 sq.ft. (441.6m²)

NOT FOR CONSTRUCTION

General Notes

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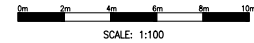
No.	Revision/Issue	Date

Drawing Title
PRE & POST SITE PLAN

Project Name and Address
**FAMILY RESIDENCE
12711 BECKETT ROAD
SURREY, B.C.**

P.I.D.: 011-136-863
LOT 3, SEC 19, Tp1,
PL NWP 5456, NWD

Project: 2017-150 Sheet
Date: MAR 2018 A-2
Scale: 1:100



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7919-0154-01

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-136-863
Lot 3 Section 19 Township 1 New Westminster District Plan 5456

12711 Beckett Road

(the "Land")
3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section F.1 of Part 14, Half-Acre Residential Zone (RH) – to reduce the minimum front yard setback of an Accessory Building from 18.0 metres to 15.9 metres; and
 - (b) In Section G.2.(a). of Part 14, Half-Acre Residential Zone (RH) – to increase the maximum Accessory Building height from 4.0 metres to 4.6 metres.
4. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

Mayor – Brenda Locke

City Clerk and
Director Legislative Services
Jennifer Ficocelli

Schedule A

NO SMOKING IN BUILDING OR ON PROPERTY AT ANY TIME.

General Notes

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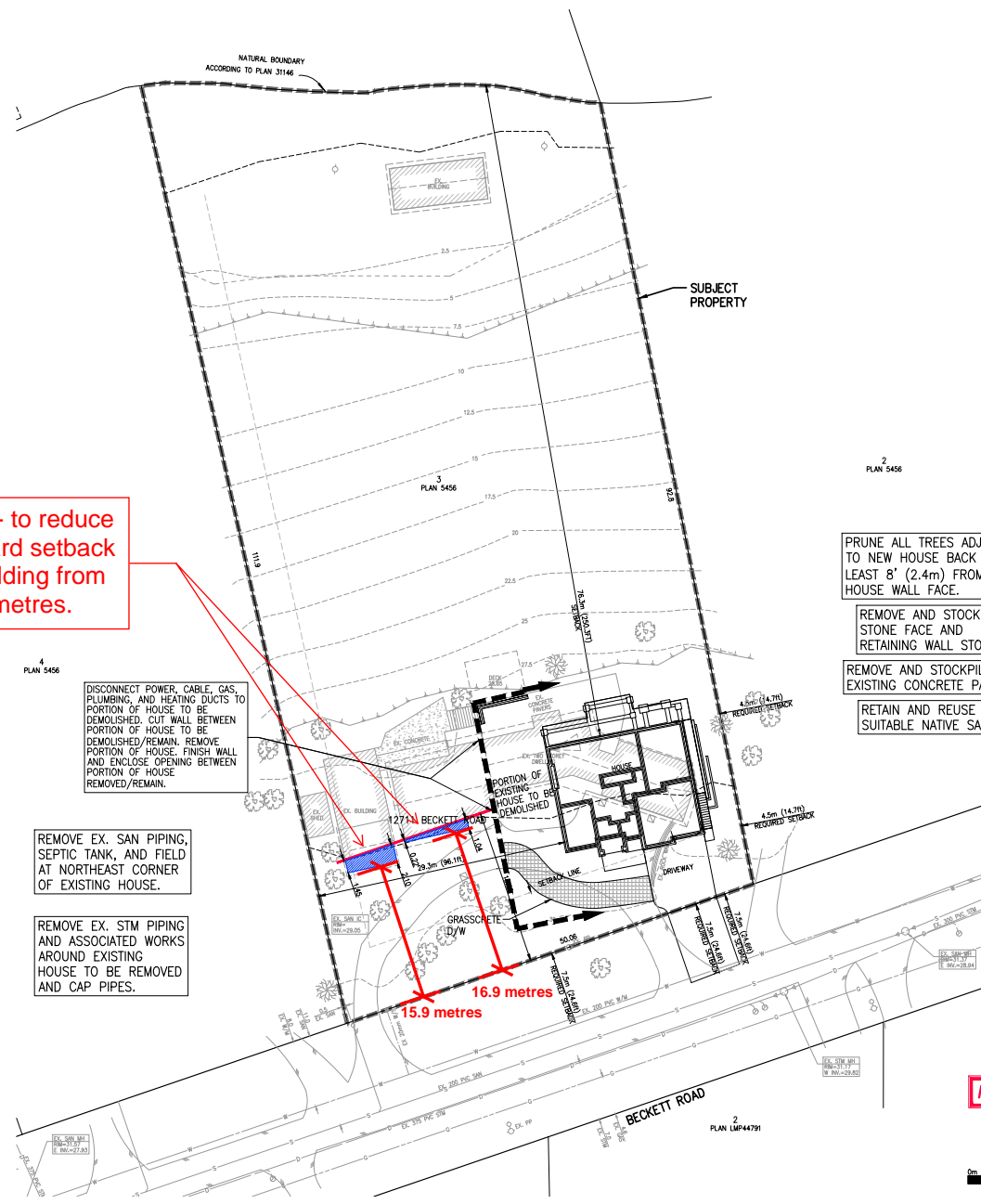
No.	Revision/Issue	Date

OVERALL SITE PLAN

Project Name and Address
FAMILY RESIDENCE
12711 BECKETT ROAD
SURREY, B.C.

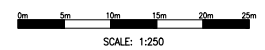
P.I.D.: 011-136-863
LOT 3, SEC 19, Tp1,
PL NWP 5456, NWD

Project 2017-150 Sheet
Date MAR 2018 A-1
Scale 1:250



Section F.1, Part 14 - to reduce the minimum front yard setback for an Accessory Building from 18.0 metres to 15.9 metres.

NOT FOR CONSTRUCTION

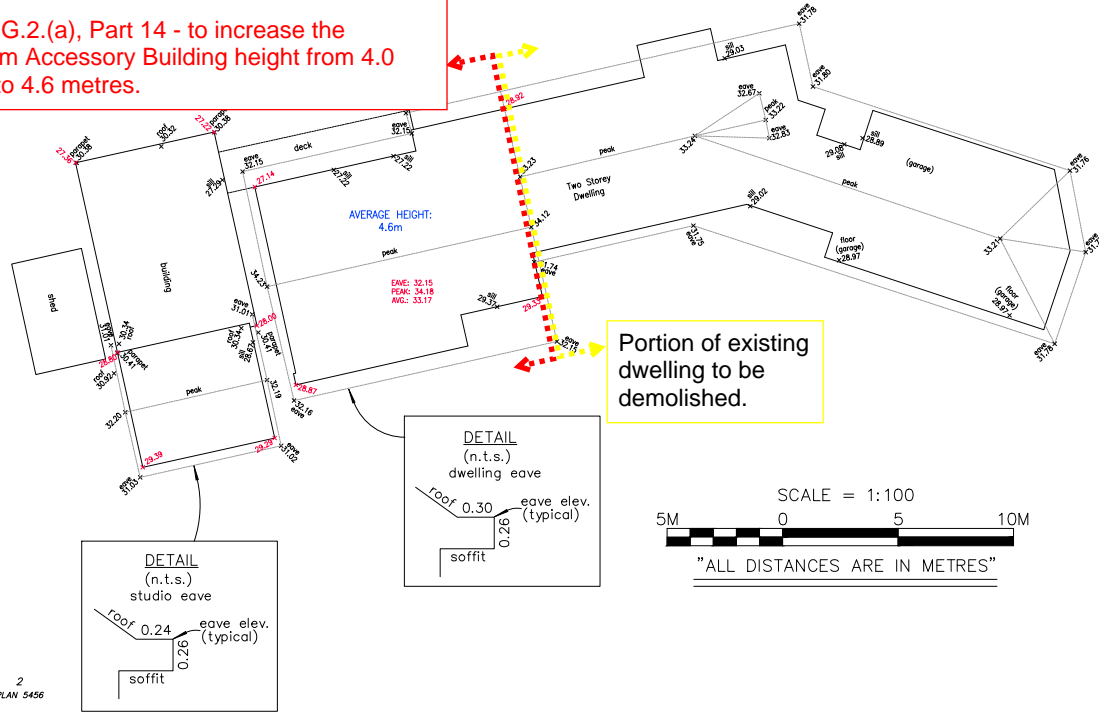


SCALE = 1:200
 ALL DISTANCES ARE IN METRES

Portion of existing dwelling to be retained and varied as follows:

Section G.2.(a), Part 14 - to increase the maximum Accessory Building height from 4.0 metres to 4.6 metres.

DETAIL



NO SMOKING IN BUILDING OR ON PROPERTY AT ANY TIME.

General Notes

- BENCHMARK: MONUMENT #5492
 CRESCENT ROAD & BECKETT ROAD
 GEODETIC ELEV. 26.711m(CVD286VRD)
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No.	Revision/Issue	Date

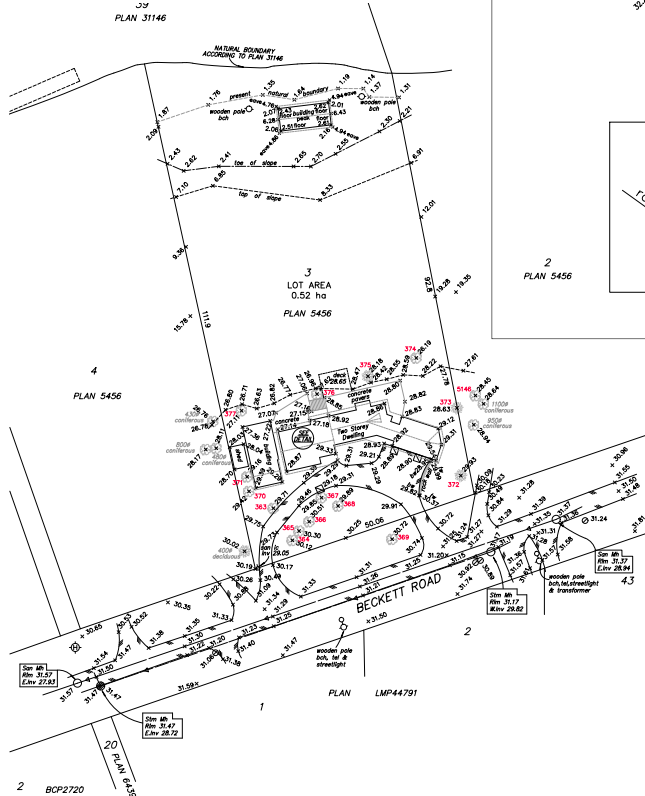
Drawing Title
EXISTING SITE ELEVATIONS

Project Name and Address
**FAMILY RESIDENCE
 12711 BECKETT ROAD
 SURREY, B.C.**

P.I.D.: 011-136-863
 LOT 3, SEC 19, Tp1,
 PL NWP 5456, NWD

Project 2017-150 Sheet
 Date MAR 2018 **DM-1**
 Scale 1:250

NOT FOR CONSTRUCTION



City of Surrey
PLANNING & DEVELOPMENT REPORT

Application No.: 7919-0154-00

Planning Report Date: January 17, 2022

PROPOSAL:

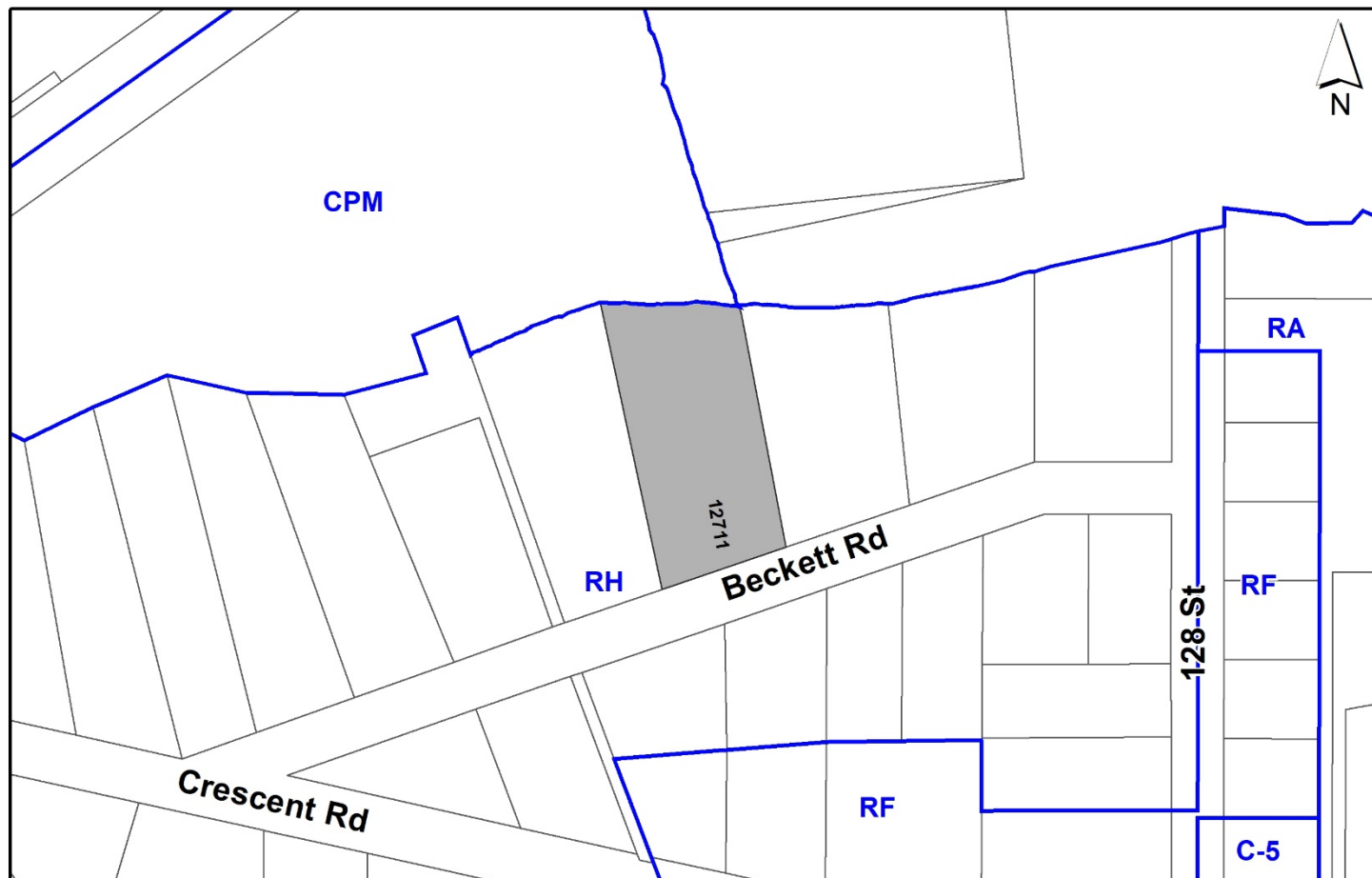
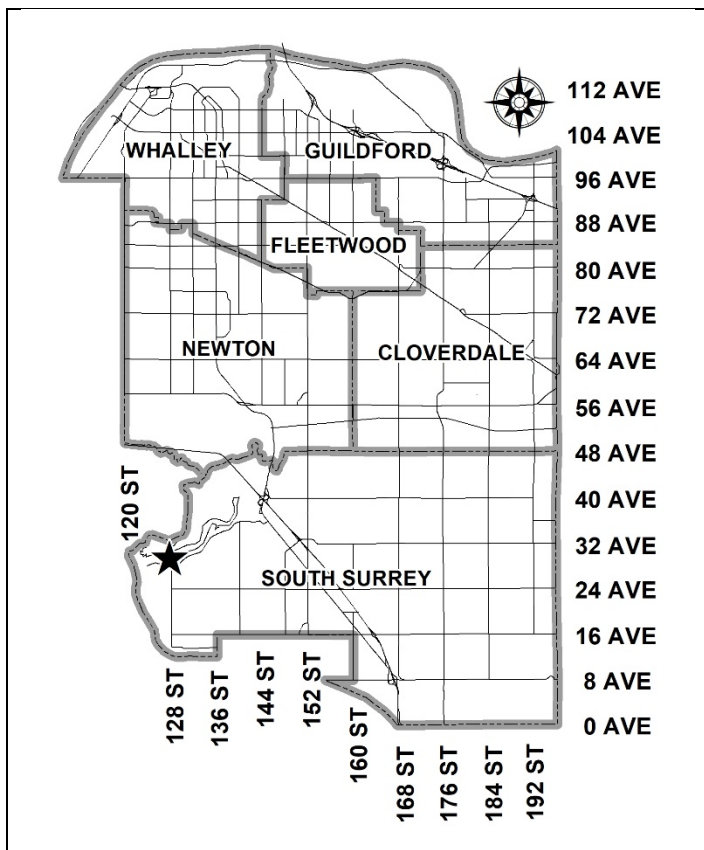
- **Development Permit**
- **Development Variance Permit**

for Hazard Lands (Steep Slopes) and Sensitive Ecosystems (Streamside and GIN) and to reduce the minimum setback from a Class A watercourse for a portion of the site to permit the construction of a new single family dwelling.

LOCATION: 12711 - Beckett Road

ZONING: RH

OCP DESIGNATION: Suburban



RECOMMENDATION SUMMARY

- Approval to draft Development Permit for Sensitive Ecosystems and Hazard Lands.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to reduce the minimum streamside setback for a Class A (red-coded) watercourse from 15 metres to 0 metres, as measured from top-of-bank, for east and west portions of the site.

RATIONALE OF RECOMMENDATION

- The proposal complies with the Suburban designation in the Official Community Plan (OCP), and the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The property's northern plain, adjacent to the Nicomekl River, meets the City of Surrey's Zoning By-law No. 12000 definition of top-of-bank but only for a portion of the property's width. For land along the east and west property lines the slope of the land is not less than 3:1 for a minimum of 15 metres. Therefore, for eastern and western portions of the property, the streamside protection area extends up the slope away from the Nicomekl River, approximately 65 metres from the water's edge, where the definition of top-of-bank is met and is equivalent to the top-of-slope.
- The applicant's Qualified Environmental Professional (QEP) has submitted an Ecosystem Development Plan and Impact Mitigation Plan, which have been peer-reviewed by an independent, third-party QEP. The reports indicates that the proposed development, even with a reduced setback for a portion of the site, will not negatively impact the watercourse or riparian area.
- The applicant is proposing restoration activities, including removing invasive species and planting native species within the streamside protection area.
- The proposed streamside setback variance will help facilitate construction of a new single family dwelling on the property.
- The proposal partially complies with the Development Permit requirements in the OCP for Sensitive Ecosystems (Streamside Areas & Green Infrastructure Areas). The subject property is located within the streamside protection area of a Class A (red-coded) watercourse.
- The proposal complies with the Development Permit requirements in the OCP for Hazard Lands (Steep Slopes).

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7919-0154-00 for Sensitive Ecosystems (Streamside Area & Green Infrastructure Area) and Hazard Lands (Steep Slopes) in accordance with the attached drawings (Appendix III).
2. Council approve Development Variance Permit No. 7919-0154-00 (Appendix IV) varying the following, to reduce the minimum setback distance for a Class A (red-coded) stream from 15 metres to 0 metres, as measured from top-of-bank, for east and west portions of the site; and
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a finalized Ecosystem Development Plan and Impact Mitigation Plan to the satisfaction of the General Manager, Planning and Development Department;
 - (e) submission of a finalized Geotechnical Report to the satisfaction of the General Manager, Planning and Development Department; and
 - (f) registration of a Section 219 Restrictive Covenant for Sensitive Ecosystems and a Section 219 Restrictive Covenant for the Geotechnical Report.

SITE CONTEXT & BACKGROUND

Direction	Existing Use	OCP Designation	Existing Zone
Subject Site	Single Family Residential	Suburban	RH
North:	Nicomekl River; Marina	Urban	CPM
East, West, & South (Across Beckett Road):	Single Family Residential	Suburban	RH

Context & Background

- The subject property is located mid-block on the north side of Beckett Road, west of 128 Street. The property is designated "Suburban" in the Official Community Plan (OCP) and is zoned "Half-Acre Residential Zone (RH)".
- The property is approximately 5,260 square metres in size, with a lot width of 50 metres and lot depth of 112 metres.
- The subject site is comprised of a relatively flat upper terrace on the southern portion of the site fronting Beckett Road, a sloped middle portion, and a northern flat plateau adjacent to the Nicomekl River and Crescent Beach Marina.
- The site is subject to a Development Permit for Hazard Lands (Steep Slopes), as well as a Development for Sensitive Ecosystems (Streamside Area & Green Infrastructure Network).
- The Nicomekl River, a Class A (red-coded) watercourse, is located along the north property line of the subject site.
- Under Part 7A "Streamside Protection" of Zoning By-law No. 12000, for lots that existed prior to September 12, 2016, where zoning allows for single family dwellings and duplex uses, the minimum setback from top-of-bank for a Class A (red-coded) watercourse is 15 metres. The location of top-of-bank was determined through a field survey conducted by the applicant's Qualified Environmental Professional (QEP).
- The property's northern plain, adjacent to the Nicomekl River, meets the City of Surrey's Zoning By-law No. 12000 definition of top-of-bank but only for a portion of the property's width. For land along the east and west property lines the slope of the land is not less than 3:1 for a minimum of 15 metres. Therefore, for eastern and western portions of the property, the streamside protection area extends up the slope away from the Nicomekl River, approximately 65 metres from the water's edge, where the definition of top-of-bank is met and is equivalent to the top-of-slope.

DEVELOPMENT PROPOSAL

Planning Considerations

- The application is proposing to partially-demolish an existing single family dwelling and construct a new single family dwelling on the subject property.
- To facilitate this redevelopment, the applicant is proposing a Development Variance Permit to reduce the minimum streamside setback from a Class A (red-coded) watercourse from 15 metres to 0 metres, as measured from top-of-bank, for a portion of the site.
- The proposed new single family dwelling is to be located on the southeast corner of the property, adjacent to Beckett Road. A portion of the dwelling is proposed to overlap with the footprint of the existing single family dwelling.

- No RAPR assessment was completed for this project as this portion of the Nicomekl River is part of an estuary and therefore RAPR legislation is not applicable.

Referrals

Engineering: The Engineering Department has no objection to the project subject to resolution of drainage services concerns which will be addressed as part of a future Building Permit Application.

Sustainability Considerations

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.
- In addition, the applicant has highlighted the following additional sustainable features:
 - Impermeable surfaces will be reduced by removing a portion of the existing dwelling, asphalt driveway, and concrete surface. Permeable surfaces will be increased by adding topsoil and increasing landscaping areas.
 - A fuel oil furnace used to heat the existing dwelling will be removed and replaced with a geothermal heat exchange system.

POLICY & BY-LAW CONSIDERATIONS

Regional Growth Strategy

- The proposal complies with the "General Urban" designation in the Regional Growth Strategy.

Official Community Plan

Land Use Designation

- The proposal complies with the Suburban designation in the Official Community Plan (OCP).

Zoning By-law

Streamside Variance

- The applicant is requesting the following streamside variance:
 - to reduce the minimum setback distance for a Class A (red-coded) stream from 15.0 metres to 0 metres, as measured from top-of-bank, for west and east portions of the site.
- Under Part 7A of Zoning By-law No. 12000 for lots that existed prior to September 12, 2016, where zoning allows for single family dwelling and duplex uses, the streamside setback from top-of-bank for a Class A (red-coded) stream is 15 metres.

- It was determined through a field survey conducted by the applicant's Qualified Environmental Professional (QEP) that the location of top-of-bank, in accordance with the definition in the City of Surrey Zoning By-law No. 12000, for the Class A (red coded) watercourse adjacent to the site is located at the bottom of the slope in a central portion of the property, and at the top of slope for the eastern 13 metres and western 9.7 metres of the site. As such, the variance would only be applicable to those portions of the site where the top-of-bank is equivalent to the top-of-slope.
- The proposed streamside reduction to 0 metres for the eastern and western portions of the lot would be consistent with the existing condition, with the existing single family dwelling and accessory buildings located on the southern portion of the site above the top-of-slope.
- The applicant is not proposing any development activity on the southwestern portion of the site. The requested variance here is in order to support retention of existing accessory buildings on the property.
- The proposed new single family dwelling is to be located on the southeastern portion of the site, with approximately 30% of the footprint of the proposed new dwelling located within the 15-metre streamside protection area.
- The applicant's QEP has submitted an Ecosystem Development Plan and Impact Mitigation Plan. The reports indicate that the proposed development, even with a reduced setback for a portion of the site, will not negatively impact the watercourse or riparian area. The report was peer reviewed by JBL Environmental Services Ltd. The peer reviewer found that the setback requirements of Part 7A of the Zoning By-law No. 12000 were determined accurately.
- In support of the requested variance, the application is proposing to remove invasive species from the streamside protection area on the property and revegetate with native species.
- No RAPR assessment was completed for this project as this portion of the Nicomekl River is part of an estuary and therefore RAPR legislation is not applicable.
- Staff support the requested variances to proceed for consideration.

DEVELOPMENT PERMITS

Sensitive Ecosystems (Streamside Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems Development Permit Area (DPA) for Streamside Areas in the OCP, given the location of an existing Class A (red-coded) watercourse which flows westerly. The Sensitive Ecosystems (Streamside Areas) Development Permit is required to protect aquatic and terrestrial ecosystems associated with streams from the impacts of development.
- In accordance with Part 7A Streamside Protection setbacks of the Zoning By-law, a Class A (red-coded) watercourse requires a minimum streamside setback of 15 metres, as measured from the top of bank. The proposed setbacks do not comply with the requirements outlined in the Zoning By-law for a portion of the site. Instead, the applicant is proposing a minimum 0

metre setback along the east and west property lines in order to facilitate construction of a new single family dwelling.

- The riparian area will be protected through the registration of a Restrictive Covenant against the property to ensure safeguarding and maintenance of the Protection Area in perpetuity, in compliance with the OCP.
- An Ecosystem Development Plan, prepared by Mark Gollner, *R.P. Bio.*, of Marlim Ecological Consulting Ltd. and dated December 17, 2021 was reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit.
- The report was peer reviewed by JBL Environmental Services Ltd. The peer reviewer found that the setback requirements of Part 7A of the Zoning By-law No. 12000 were determined accurately.
- The recommendations of the reports were reviewed by staff and found to be generally acceptable, with some modifications to content and format of the report still required. The finalized report and recommendations will be incorporated into the Development Permit prior to final issuance of the Development Permit.

Sensitive Ecosystems (Green Infrastructure Areas) Development Permit Requirement

- The subject property falls within the Sensitive Ecosystems DPA for Green Infrastructure Areas in the OCP, given the location of a Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) Corridor located along the northern portion of the subject property. The Sensitive Ecosystems (Green Infrastructure Areas) Development Permit is required to protect environmentally sensitive and/or unique natural areas from the impacts of development.
- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies a Regional BCS Corridor within the subject site, in the Serpentine/Nicomekl BCS management area, with a High ecological value.
- The BCS further identifies the GIN area of the subject site as having a Very High habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends a target Corridor width of 50 meters.
- The development proposal conserves approximately 2,500 square meters of the subject site through Tree Retention and planting enhancement and 770 square metres through Registration of a Restrictive Covenant, which together are 3,270 square meters or 62% of the total gross area of subject site. This method of GIN retention/enhancement will assist in the long-term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.

- As noted above, an Ecosystem Development Plan, prepared by Mark Gollner, *R.P. Bio.*, of Marlim Ecological Consulting Ltd. and dated December 17, 2021, was reviewed by staff, and found to be generally acceptable, with some modifications to content and format of the report still required. The report was peer reviewed by JBL Environmental Services Ltd. With minor comments. The finalized report and recommendations will be incorporated into the Development Permit.

Hazard Lands (Steep Slope) Development Permit Requirement

- The subject property falls within the Hazard Lands (Steep Slope) Development Permit Area (DPA) in the OCP, given that the site contains steep slopes in excess of 20% gradient through the central portion of the site. The Hazard Land (Steep Slope) Development Permit is required to protect developments from hazardous conditions.
- The site consists of an upper terrace adjacent to Beckett Road, which slopes steeply down from south to north towards a flat plain adjacent to the Nicomekl River and Crescent Beach Marina. The steep slopes on the site are associated with proximity to the Nicomekl River. The majority of the slope is covered by dense vegetation.
- A geotechnical report, prepared by Harman Dhillon, *P. Eng.*, of Braun Geotechnical Ltd. and dated October 26, 2020, was peer reviewed by James Wetherill, *P. Eng.*, of Braun Geotechnical Ltd. and found to be generally acceptable by the peer reviewer. The report and peer review were reviewed by staff and found to conform to the OCP Development Permit guidelines for Hazard Lands, with some modifications to content of the report still required. The finalized geotechnical report will be incorporated into the Development Permit.
- The geotechnical report investigated issues related to slope stability and natural storm water drainage, from a geotechnical perspective, to determine the feasibility of redevelopment on the site and proposing recommendations to ensure the ongoing stability of the slope.
- The consultant has determined that the development is feasible provided that the recommendations in their report are incorporated into the overall design of the site, including site preparation techniques, the use of engineered fill, on-site drainage should be directed away from the existing slope, and that a minimum 3.0 metre setback from the top of slope been respected for any development.
- Registration of a Section 219 Restrictive Covenant that requires the owner to develop the site in accordance with the conditions in the geotechnical report as a condition of final adoption.
- An existing deck located downslope and within the 3.0 metres setback from top of slope is proposed to be retained with the proposed development. A field review conducted by Hub Engineering Inc. confirmed that the deck footings met slope recommendations outlined in the project's geotechnical report. The depth of the existing deck footings will be confirmed by Braun Geotechnical at the time of future construction, with additional work required if it is found that they do not meet this criteria.
- At Building Permit stage, the Building Division will require Letters of Assurance from a geotechnical engineer to ensure that the building plans comply with the recommendations in the approved geotechnical report.

TREES

- Ian MacLachlan, ISA Certified Arborist of Diamond Head Consulting Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry Plum	1	0	1
English Holly	1	0	1
Japanese Cherry	2	0	2
Magnolia	1	0	1
Pacific Dogwood	1	0	1
Coniferous Trees			
Black Pine	2	0	2
Western Red Cedar	10	0	10
Total (excluding Alder and Cottonwood Trees)	18	0	18
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		0	
Total Retained and Replacement Trees		18	
Contribution to the Green City Program		NA	

- The Arborist Assessment states that there are a total of 18 mature trees on the site, with no Alder and Cottonwood trees. It was determined that all 18 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, and proposed lot grading.
- In summary, a total of 18 trees are proposed to be retained on the site with no contribution to the Green City Program required.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

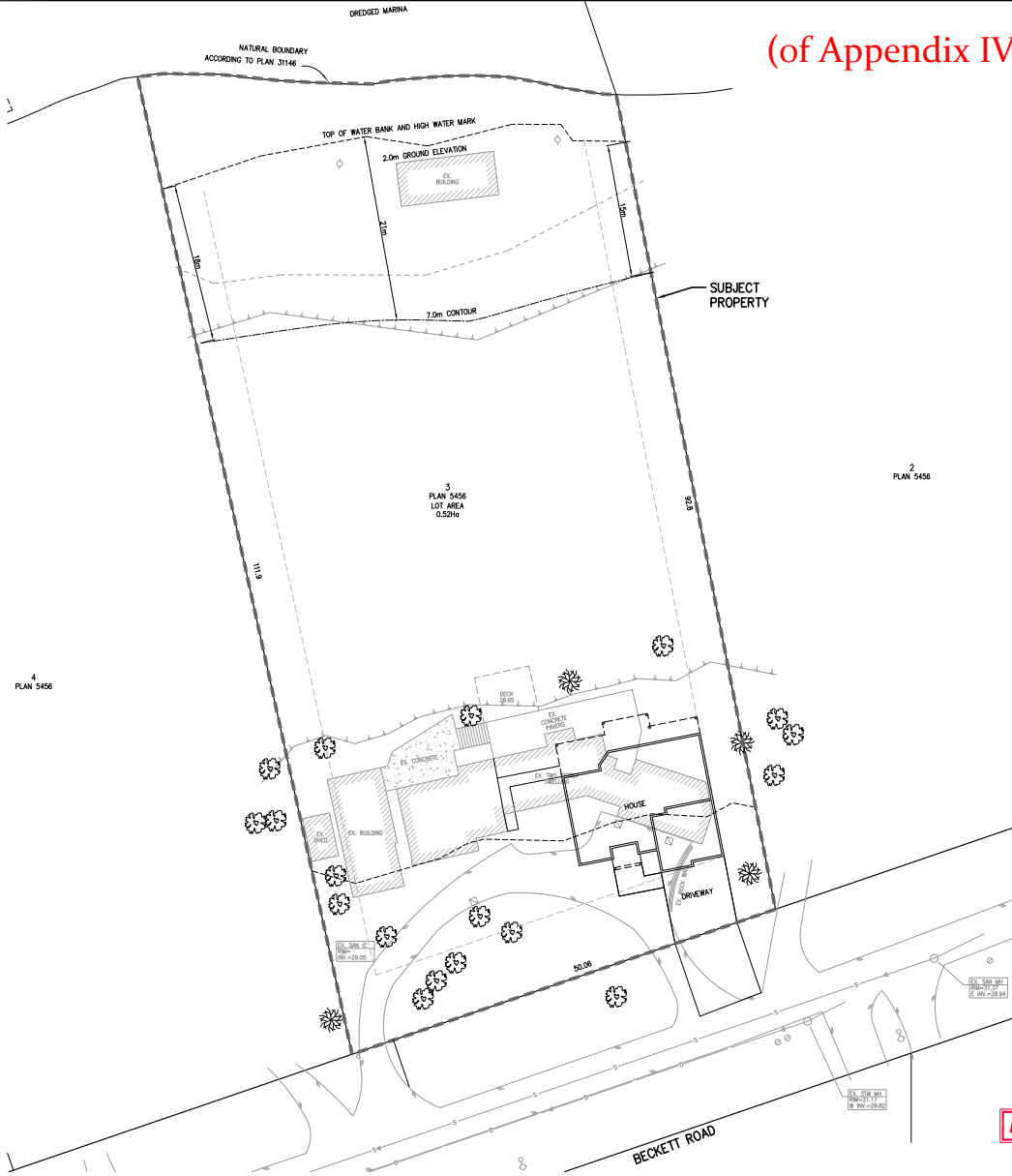
- Appendix I. Site Plan
- Appendix II. Summary of Tree Survey and Tree Preservation
- Appendix III. Streamside Protection Area Map
- Appendix IV. Development Variance Permit No. 7919-0154-00

approved by Shawn Low

Ron Gill
Acting General Manager
Planning and Development

SR/cm

Appendix I (of Appendix IV, 7919-0154-01)



NOTE: ALL GROUND ELEVATIONS ARE IN METRIC (METERS).

NOTE: ALL DIMENSIONS TO BE TAKEN FROM EAST AND SOUTH PROPERTY LINES ONLY.

NOT FOR CONSTRUCTION



General Notes		
BENCHMARK: MONUMENT #5492 CRESCENT ROAD & BECKETT ROAD GEODETC ELV. 26.711m(CVD286VRD)		
No.	Revision/Issue	Date
DRAWING TITLE		
OVERALL SITE PLAN		
Project Name and Address		
FAMILY RESIDENCE 12711 BECKETT ROAD SURREY, B.C.		
LOT 3, SEC 19, Tp1, PL NWP 5456, NWD		
Project	Date	Sheet
2017-150	MAR 2018	A-1
Scale		1:250

(of Appendix IV, 7919-0154-01)

4.0 Tree Preservation Summary

Table 2: City of Surrey tree preservation summary table for on-site and off-site trees, including the number of replacement trees proposed.

Surrey Project Number

Site Address 12711 Beckett Road, Surrey

Registered Arborist Ian MacLachlan (PN-8643A)

On-Site Trees	Number of Trees
Protected Trees Identified (On-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	18
Protected Trees to be Removed	0
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	18
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed Open Space / Riparian Areas	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary, report and plan prepared and submitted by



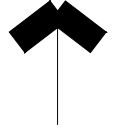
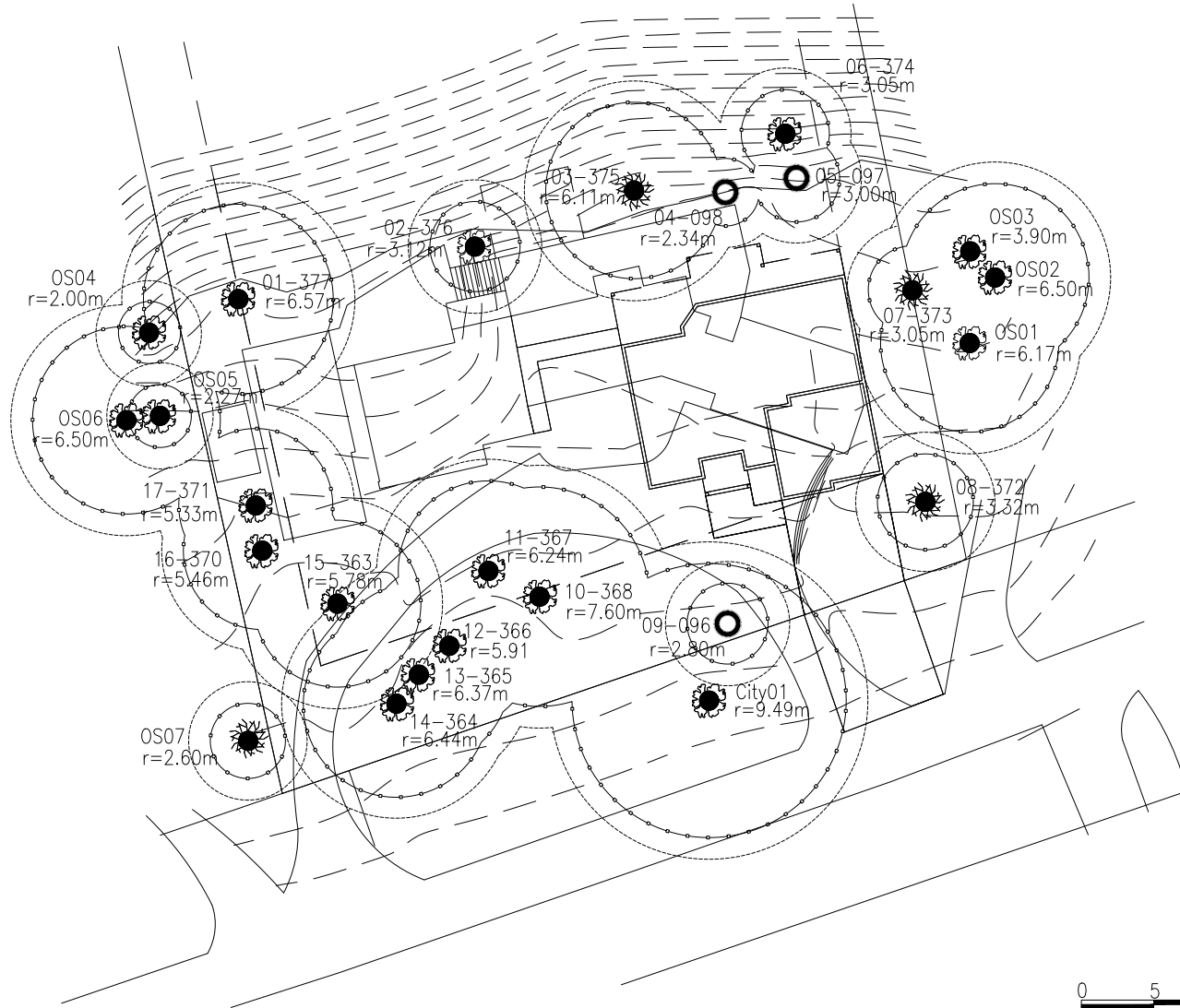
Signature of Arborist

June 26th, 2019

Date

Arborist Notes:

- Demolition of existing structures to be completed under arborist supervision. Retention of foundation sections may be required to maintain tree stability.
- Existing asphalt driveway to be removed under arborist supervision. Restoration of former driveway footprint and any grade changes must be completed using topsoil and composted organic woodchip mulch following arborist consultation.
- Retention of trees 07-373 and 08-372 is requested by the client with the intention of re-evaluating their retention at the time of construction.
- Any site servicing must be routed beneath proposed driveway to avoid root zone conflicts with large mature trees.



LEGEND

- = TREES TO BE RETAINED
- ☼ = TREES TO BE REMOVED
- = PROTECTION BARRIER

DATE	REVISION	NO.

C.KAVOLINAS & ASSOCIATES INC.
BCSA CSLA
2462 JONQUIL COURT
ABBOTSFORD, B.C.
V3C 3E9
PHONE (604) 857-2376

CLIENT
MR. MIKE KOMPTER
HUB ENGINEERING INC.
SUITE #212
12992 - 76 AVENUE
SURREY, B.C.
V3W 2V6
604-573-4328

TITLE
PLAN VIEW
TREE LOCATION PLAN
TREE RETENTION PLAN
SINGLE FAMILY RES.
12711 BECKETT ROAD
SURREY, B.C.

SCALE: 1:150	DATE: June 26th, 2019
DRAWN: [Signature]	CHECKED: [Signature]
ENCL: [Signature]	AS NOTED: [Signature]

PRINTED: [Signature]	JOB No. [Signature]
DRAWING No. TR-1	△

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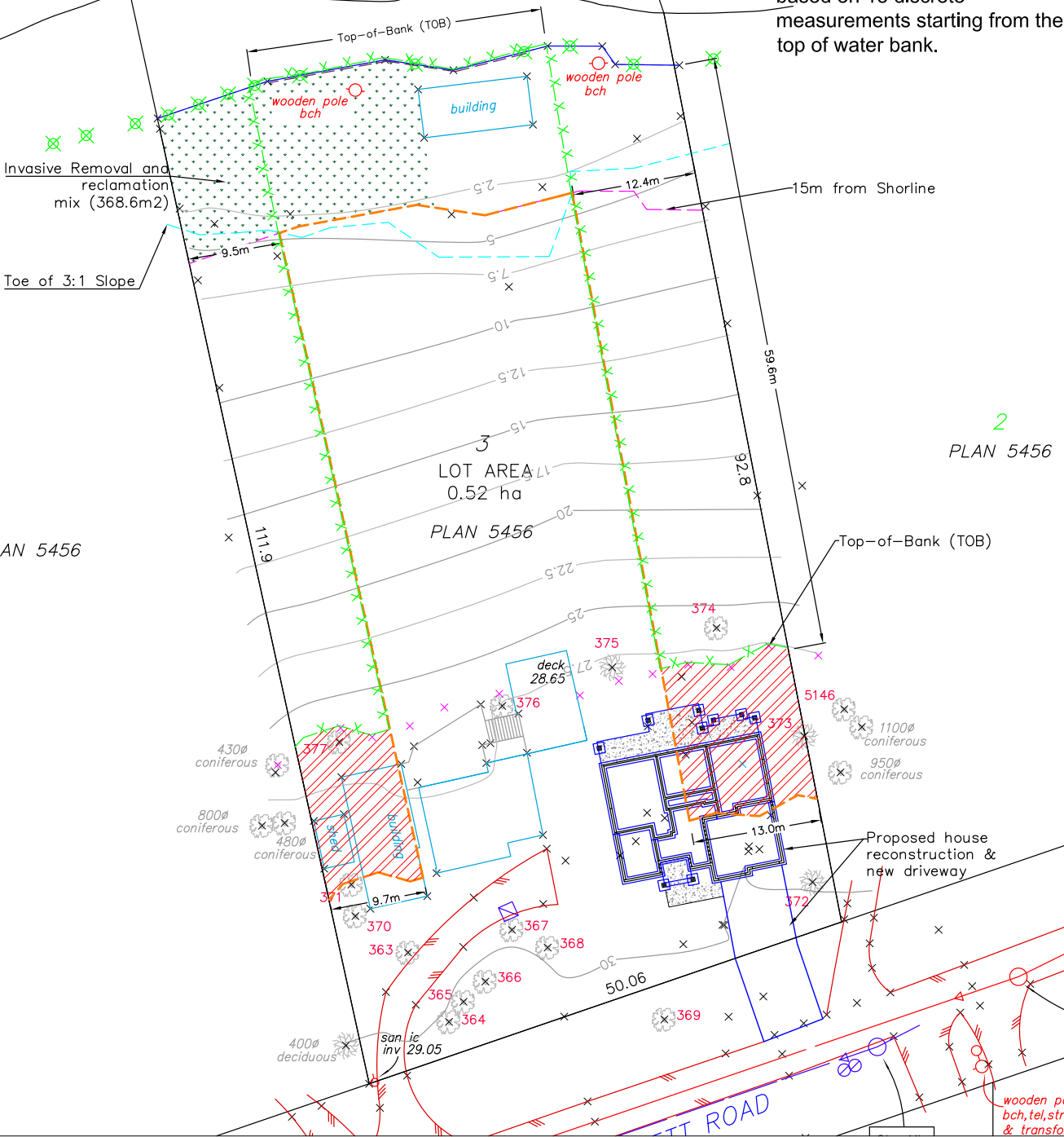
PLAN 31146

Appendix III (of Appendix IV, 7919-0154-01)

Notes:

- The base of the 3:1 slope was based on a field survey conducted by Marlim on January 17, 2021. The toe of the 3:1 slope was determined based on 13 discrete measurements starting from the top of water bank.

NATURAL BOUNDARY
ACCORDING TO PLAN 31146



2
PLAN 5456

AN 5456

LOT AREA
0.52 ha
PLAN 5456

LEGEND			
	Top-of-Bank (TOB) as per part 7b of COS Bylaw		Driveways/Roadways
	15m SPA		Proposed Development
	Property Boundary		Proposed Variance to 0m
	Existing Buildings		15m SPA as per part 7b of COS Bylaw
	Discrete Measure points		Restoration Area

Figure 6: Proposed Development and SPA

Marlim Project:
389.19.01

12711 Beckett Road, Surrey

Date:
October 2021

Marlim Ecological Consulting Ltd.

Page:
6

Phone: 604-531-4338

Email: mail@marlimecological.com

Web: www.marlimecological.com



(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7919-0154-00

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-136-863
Lot 3 Section 19 Township 1 New Westminster District Plan 5456

12711 Beckett Road

(the "Land")
3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section B.2 of Part 7A "Streamside Protection", the minimum distance (streamside setback area) from top of bank for a "Class A Stream" is reduced from 15 metres to 0 metres, as measured from top-of-bank, for east and west portions of the site.
4. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli



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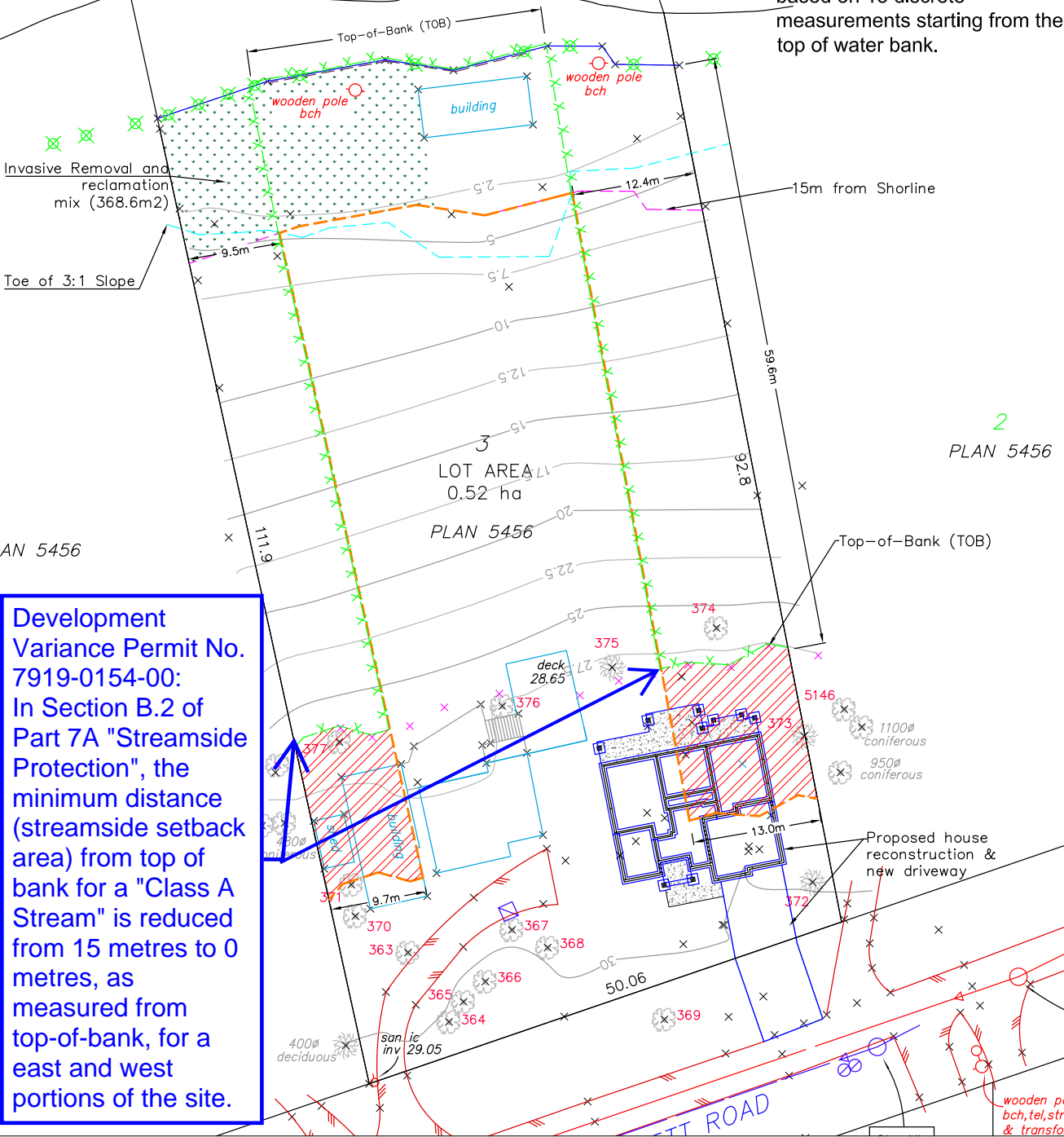
PLAN 31146

Schedule A (of Appendix IV, 7919-0154-01)

Notes:

- The base of the 3:1 slope was based on a field survey conducted by Marlim on January 17, 2021. The toe of the 3:1 slope was determined based on 13 discrete measurements starting from the top of water bank.

NATURAL BOUNDARY ACCORDING TO PLAN 31146



Development Variance Permit No. 7919-0154-00:
 In Section B.2 of Part 7A "Streamside Protection", the minimum distance (streamside setback area) from top of bank for a "Class A Stream" is reduced from 15 metres to 0 metres, as measured from top-of-bank, for a east and west portions of the site.

LEGEND			
	Top-of-Bank (TOB) as per part 7b of COS Bylaw		Driveways/Roadways
	Restoration Area		Proposed Development
	15m SPA		Proposed Variance to 0m
	Toe of 3:1 Slope		15m SPA as per part 7b of COS Bylaw
	Property Boundary		Discrete Measure points
	Discrete Measure points		Existing Buildings

Figure 6: Proposed Development and SPA

Marlim Project:
389.19.01

12711 Beckett Road, Surrey

Date:
October 2021

Marlim Ecological Consulting Ltd.

Page:
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