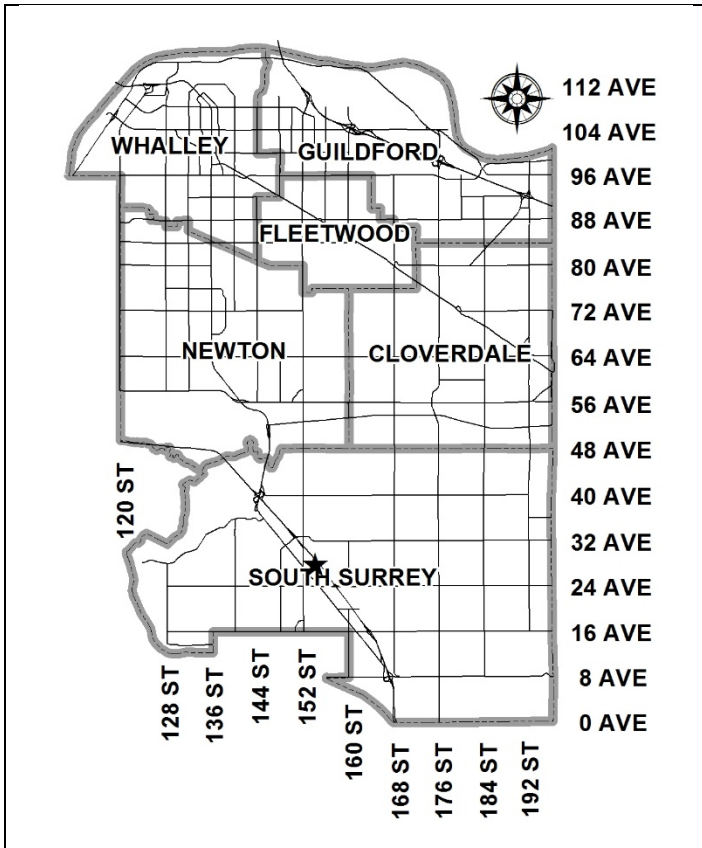


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7919-0082-00

Planning Report Date: October 7, 2019



PROPOSAL:

- **Development Permit**

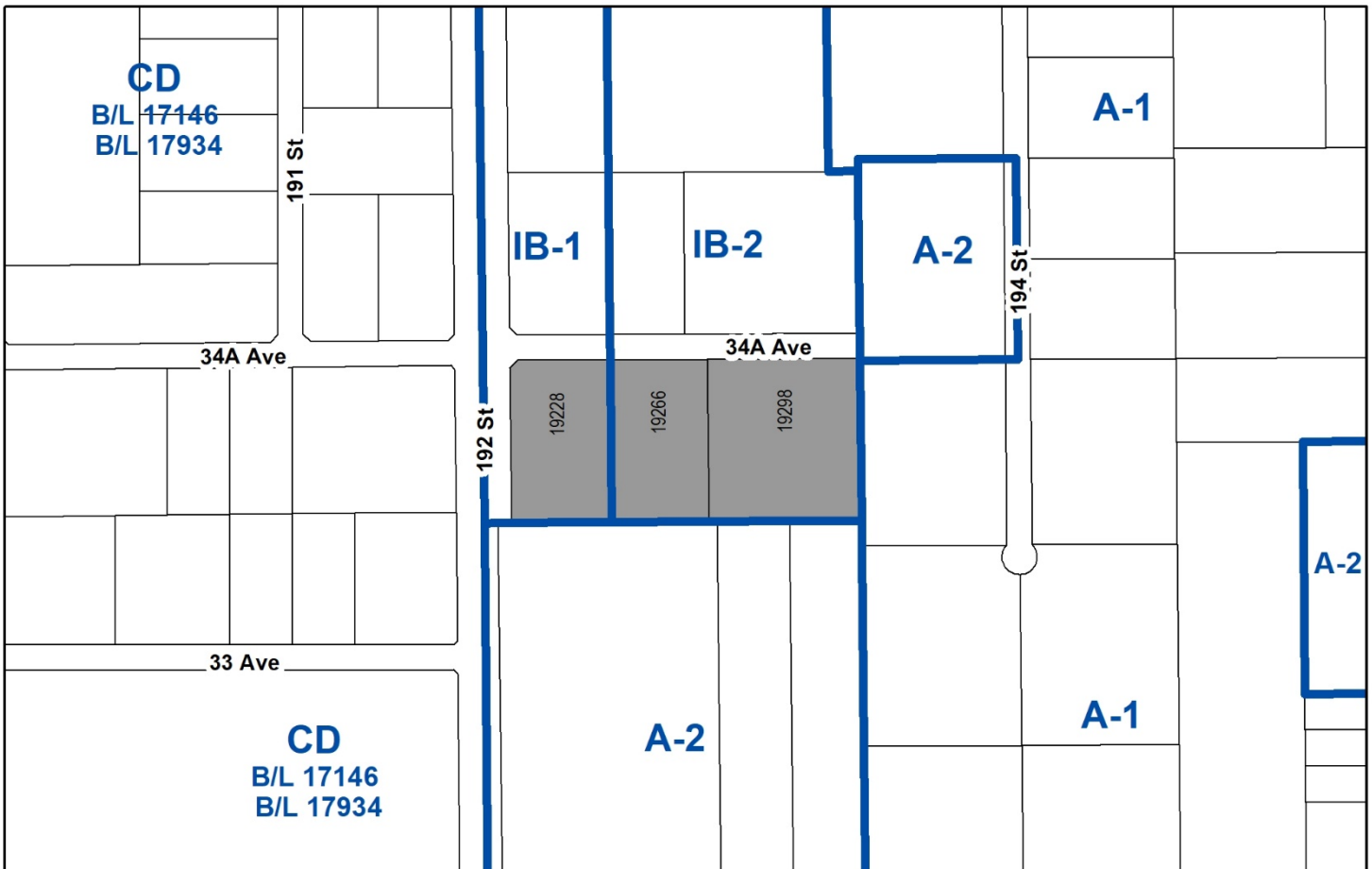
to permit the development of two (2) industrial business park buildings with a combined gross floor area of 19,064 square metres (205,210 sq. ft.)

LOCATION: 19228 – 34A Avenue
 19266 – 34A Avenue
 19298 – 34A Avenue

ZONING: IB-1 and IB-2

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park (Office), Business Park and Landscaping Strips



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposed development complies with the site's "Mixed Employment" land use designation in the Official Community Plan (OCP).
- The proposal complies with the site's "Business Park (Office)", "Business Park" and "Landscaping Strips" land use designations in the Campbell Heights Local Area Plan (LAP).
- The proposed density and building form are appropriate for this part of Campbell Heights and are consistent with the Campbell Heights Design Guidelines established under the General Development Permit No. 7907-0326-00.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7919-0082-00 generally in accordance with the attached drawings (Appendix II).
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
 - (c) consolidation of 19266 and 19298 – 34A Avenue into one legal parcel;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (g) registration of a Section 219 Restrictive Covenant to prohibit any uses that requires a Metro Vancouver air quality permit from location on the site; and
 - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.

REFERRALS

Engineering: The Engineering Department has no objection to the project as outlined in Appendix III.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Vacant properties.

Adjacent Area:

Direction	Existing Use	LAP Designation	Existing Zone
North (Across 34A Avenue):	Vacant properties with recently approved Development Applications (No. 7918-0139-00 and 7918-0166) to permit the development of industrial/business park buildings.	Business Park (Office), Business Park and Landscaping Strips	IB-1 and IB-2
East:	Agricultural, residential property under Development Application No. 7919-0128-00 to permit the development of one industrial/business park building.	Business Park	A-1
South:	Agricultural, residential property under Development Application Nos. 7916-0681-00 and 7918-0299-00 to rezone to IB-1 and IB-2 and for a General Development Permit.	Business Park (Office), Business Park and Landscaping Strips	A-2
West (Across 192 Street):	Van Gogh Designs (furniture warehousing, manufacturing and office company) industrial warehouse/office building.	Business Park and Landscaping Strips	CD (By-law Nos. 17146, as amended by 17934)

DEVELOPMENT CONSIDERATIONSBackground

- The subject site is located at 19228, 19266, and 19298 – 34A Avenue. The site is designated "Mixed Employment" in the Official Community Plan (OCP), "Business Park (Office)", "Business Park", and "Landscaping Strips" in the Campbell Heights Local Area Plan (LAP) and zoned "Business Park 1 Zone (IB-1)" and "Business Park 2 Zone (IB-2)".
- The site was rezoned in 2016 from "General Agriculture Zone (A-1)" to "Business Park 1 Zone (IB-1)" and "Business Park 2 Zone (IB-2)" as part of Development Application No. 7907-0326-00, that also created design guidelines through a General Development Permit.

Proposal

- The applicant is proposing a Development Permit in order to construct two multi-tenant industrial and business park buildings that will also be partly occupied by Shatex Manufacturing Corporation, a wholesale linen distribution company.
- The applicant proposes a lot line cancellation in order to consolidate 19266 and 19298 - 34A Avenue (eastern most properties). Confirmation of the lot line cancellation will be required prior to the approval of the current proposal.
- Building A is proposed on the west portion of the site at 19228 – 34A Avenue (Lot A), which is zoned "Business Park 1 Zone (IB-1)". Building A has a total proposed floor area of 4,640 square metres (49,949 sq. ft.); 3,308 square metres (35,609 sq. ft.) for industrial uses, and 1,332 square metres (14,341 sq. ft.) of mezzanine space for office uses.
- Building B is proposed on the east portion of the site at 19266 and 19298 – 34A Avenue (Lot B), which is zoned "Business Park 2 Zone (IB-2)" and the properties will be consolidated under a lot line cancellation. Building B is the larger of the two buildings with a total proposed floor area of 14,424 square metres (155,259 sq. ft.); 6,229 square metres for multi-tenant industrial uses, 1,151 square metres (12,391 sq. ft.) for multi-tenant mezzanine office uses; and 6,610 square metres (71,153 sq. ft.) for Shatex industrial warehouse use, and 433 square metres (4,663 sq. ft.) for Shatex office use.
- The proposed buildings comply with the requirements of both the IB-1 and IB-2 Zone, including floor area, lot coverage, building height, and setbacks.
- Two vehicular accesses are proposed from 34A Avenue to provide access for both trucks and passenger vehicular traffic. A cross-access easement has been proposed along the west boundary of Lot B to provide driveway access to users of Lot A and to provide truck and passenger vehicle access to the rear of Building A. A parking and access easement at the north end of Lot A to provide 43 parking spaces for Lot B is also proposed.
- A total of 113 parking spaces are proposed on Lot A, including 43 parking spaces that are reserved for the use of Lot B and 125 parking spaces are proposed on Lot B. In total, 238 parking spaces are proposed for the subject development, which is four more than required under the Zoning By-law.

PRE-NOTIFICATION

- A development sign was erected on the subject site on May 13, 2019. One concerned resident raised concerns about the loss of trees on the property.

(Tree retention has been a challenge on this site. Staff worked extensively with the applicant and the project arborist to identify tree retention opportunities. Ultimately, it was determined that on-site trees could not be retained under this development as tree retention would need to be achieved in large clusters which would adversely impact the developable area of the site. Tree retention, however, is proposed along 192 Street within the City road right-of-way. Furthermore, the applicant proposes to plant 102 trees within the development).

DESIGN PROPOSAL AND REVIEW

- The proposed buildings are consistent with the guidelines outlined in the General Development Permit that was previously registered on the property under Development Application No. 7907-0326-00 and is reflective of the existing standards within the area. The development concept behind Campbell Heights is a high quality, sustainable industrial business park.
- Overall, the buildings are proposed to have a modern appearance. The proposed buildings are to be constructed of tilt-up concrete panels and tinted double glazing. For Building A, architectural emphasis is placed on the corner unit entrance to the building fronting both 192 Street and 34A Avenue with extensive use of glazing and articulation to provide visual interest. For Building B, architectural emphasis is placed on the most eastern unit entrance to the office component of Shatex with the use of extensive glazing.
- The colours for the concrete panels for Building A are proposed in a combination of white (Brilliant White), light gray (Mountainscape and Sea Haze), dark gray (Deep Space), blue (jet blue), light green (Grasslands), orange (August Morning), yellow (Morning Sunshine) and wood finish metal cladding. The combination of colours is used to articulate each building unit.
- The colours for the concrete panels for Building B are proposed in a combination of white (Simply White), light gray (Mountainscape and Platinum Gray), brown (Willow), blue (Jet Blue) and wood finish metal cladding.

Landscaping

- The proposed landscaping includes a 6 metre (20 ft.) wide landscape buffer along 192 Street and a 3 metres (10 ft.) wide landscape buffer along 34A Avenue.
- Landscaping has been designed with high quality drought resistant planting. Planting includes the following trees: Vine Maple, Red Maple, Serbian Spruce, Western Hawthorne, and a variety of low-lying shrubs and plants.
- Benches and picnic tables are provided in the amenity area for Lot A located in the corner feature plaza at the intersection of 192 Street and 34A Avenue and for Lot B located adjacent to the Shatex unit at the eastern property line. These amenity areas are to be used mostly by staff.
- Bicycle racks are provided near the front entrances and near the two planned amenity areas.
- The portions of the proposed truck loading/unloading area visible from 34A Avenue will be screened by a 2.4 metre (8 ft.) high swing gate and a 3 metre (10 ft.) high screen wall.

Access and Parking

- Two (2) vehicular accesses are proposed from 34A Avenue to provide access for both trucks and passenger vehicle traffic.
- A cross-access easement has been proposed along the west boundary of Lot B to provide driveway access to users of Lot A and to provide truck and passenger vehicle access to the rear of Building A. A parking and access easement at the north end of Lot A to provide 43 parking spaces for Lot B is also required.
- Based on the proposed industrial and office floor area, a total of 234 parking spaces required to be provided. The applicant proposes a total of 238 parking spaces, which exceeds the minimum parking spaces required under the Zoning By-law.
- A pedestrian linkage connects Building A with the corner plaza feature at the intersection of 192 Street and 34A Avenue. Further pedestrian linkages are proposed connecting each of the buildings to the fronting street sidewalks.

Mezzanine Space

- The BC Building Code permits up to 40% of the ground floor area to be constructed as second-storey mezzanine space. The proposed development proposes 40% mezzanine space for Building A and 12% mezzanine space for Building B.

Signage

- The applicant has confirmed that no tenant signage is intended at this time. Any future signage proposed will be subject to a comprehensive sign design package.

TREES

- Peter Brinson, ISA Certified Arborist of PNW Arborist Solutions prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	11	11	0
Cottonwood	12	12	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Western Birch	4	4	0
Coniferous Trees			
Douglas Fir	429	409	20
Colorado Blue Spruce	1	1	0
Lodgepole Pine	21	21	0
Western Red Cedar	74	72	2

Tree Species	Existing	Remove	Retain
Western Hemlock	10	10	0
Total (excluding Alder and Cottonwood Trees)	539	517	22
Total Replacement Trees Proposed (excluding Boulevard Street Trees)			
		102	
Total Retained and Replacement Trees			
		124	
Contribution to the Green City Fund			
		\$267,000	

- The Arborist Assessment states that there are a total of 539 protected trees on the site, excluding Alder and Cottonwood trees. Twenty-three (23) existing trees, approximately 4% of the total trees on the site, are Alder and Cottonwood trees. It was determined that 22 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. The Tree Protection By-law caps the Green City Fund to \$30,000 per gross acre. Given the number of replacement trees required and the proposed land use, the applicant is required to pay \$267,000 as cash-in-lieu based on the \$30,000 per gross acre cap, to the Green City Fund, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including Vine Maple, Red Maple, Serbian Spruce, Western Hawthorne, and a variety of low-lying shrubs and plants.
- In summary, a total of 124 trees are proposed to be retained or replaced on the site with a contribution of \$267,000 to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on March 4, 2019. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The subject site is located within the Campbell Heights Local Area Plan (LAP) • The proposed development conforms to the land use designation of the Campbell Heights LAP and the Official Community Plan (OCP)
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed density for Lot A and B is 0.33 and 0.55 respectively, which is below the maximum 1.0 FAR.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The proposed development will include dry swales and natural landscaping.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The proposed development includes bicycle parking.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The proposed development includes exterior lighting at the perimeter of the site and the building configuration provides good visibility from the street.
6. Green Certification (F1)	<ul style="list-style-type: none"> • None proposed.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • None proposed.

ADVISORY DESIGN PANEL

- Industrial developments are not subject to review by the Advisory Design Panel (ADP), but the design was reviewed by City staff and found to be generally satisfactory. The proposed development was evaluated based on compliance with the design guidelines of the OCP, and the General Development Permit No. 7907-0326-00.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Project Data Sheets
- Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix III. Engineering Summary
- Appendix IV. Summary of Tree Survey and Tree Preservation

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by KCC Architecture and Design Ltd. and Prospect and Refuge Landscape Architects respectively, dated July 9, 2019 and September 5, 2019.

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

KS/cm

DEVELOPMENT DATA SHEET

Existing Zoning: IB-1 and IB-2

Required Development Data	Minimum Required / Maximum Allowed	Proposed	
		Building A	Building B
LOT AREA* (in square metres)		Building A	Building B
Gross Total		9,887 m ²	25,798 m ²
Road Widening area			
Undevelopable area			
Net Total			
LOT COVERAGE (in % of net lot area)	60%	47%	49%
Buildings & Structures			
Paved & Hard Surfaced Areas			
Total Site Coverage			
SETBACKS (in metres)			
Front	16.0	21.8	21.9
Rear	7.5	9.7	28.0
Side #1 (W)	7.5	24.9	16.5
Side #2 (E)	7.5	9.7	7.5
BUILDING HEIGHT (in metres/storeys)		9.9	11.7
Principal			
Accessory			
NUMBER OF RESIDENTIAL UNITS	N/A	N/A	N/A
Bachelor			
One Bed			
Two Bedroom			
Three Bedroom +			
Total			
FLOOR AREA: Residential	N/A	N/A	N/A
FLOOR AREA: Commercial			
Retail			
Office		1,332 m ²	1,584 m ²
Total			
FLOOR AREA: Industrial		3,308 m ²	12,839 m ²
FLOOR AREA: Institutional	N/A	N/A	N/A
TOTAL BUILDING FLOOR AREA		4,640 m ²	14,424 m ²

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed	
		Building A	Building B
DENSITY			
# of units/ha /# units/acre (gross)			
# of units/ha /# units/acre (net)			
FAR (gross)			
FAR (net)	1.0	0.33	0.55
AMENITY SPACE (area in square metres)	N/A	N/A	N/A
Indoor			
Outdoor			
PARKING (number of stalls)			
Commercial			
Industrial		113 (includes 43 allocated for Lot B)	125
Residential Bachelor + 1 Bedroom			
2-Bed			
3-Bed			
Residential Visitors			
Institutional			
Total Number of Parking Spaces		113	125
Number of accessible stalls			
Number of small cars		3	2
Tandem Parking Spaces: Number / % of Total Number of Units			
Size of Tandem Parking Spaces width/length			

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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**New Development For Shatex
City of Surrey BC
Development Permit Application**



KCC Architecture & Design Ltd. kccarchitecture.com
Unit 600 1285 W. Broadway Vancouver BC V6H 3X8 Tel 604 909 1267

SITE DATA LOT A**CIVIC ADDRESS**19228 34A AVENUE
SURREY, BC.**LEGAL DESCRIPTION**LOTS 6 SECTION 27 TOWNSHIP 7 NEW WESTMINSTER DISTRIC PLAN
EPP42480**ZONING**

CD IB 1 LIGHT IMPACT INDUSTRIAL

SITE AREA

SITE AREA LOT A 106,427.67 SF (9,887.45 SM)

GROSS FLOOR AREA

BUILDING A		
Footprint	35,608.90 SF (3,308.2 SM)	
Future mezzanine(40%)	14,340.57 SF (1,332.3 SM)	
SUBTOTAL	49,949.47 SF (4,640.5 SM)	

DENSITYPERMITTED 1.00
PROPOSED 0.33**SITE COVERAGE**PERMITTED 60%
PROPOSED 47%**BUILDING HEIGHT**ALLOWED 14.0 M (45.93 F)
PROPOSED 9.9 M (32.50 F)**SETBACKS**

FRONT YARD (34A AVE)	16.0 M	PERMITTED
	21.8 M	PROVIDED
SIDE YARD (192 STREET)	7.5 M	PERMITTED
	25.5 M	PROVIDED
SIDE YARD (EAST)	3.6 M	PERMITTED
	9.7 M	PROVIDED
REAR YARD (SOUTH)	7.5 M	PERMITTED
	9.7 M	PROVIDED

PARKING

OFFICE SPACE

BUILDING A 1,332.28 SM / 100 X 2.5= 33.30

WAREHOUSE SPACE

BUILDING A 3,308.02 SM / 100= 33.08

TOTAL REQUIRED 66 (66.38)
TOTAL PROVIDED 69**ACCESSIBLE PARKING**

3 PROVIDED

LOADING

LOADING AT EACH DOOR

SITE DATA LOT B**CIVIC ADDRESS**19266/19298 34A AVENUE
SURREY, BC.**LEGAL DESCRIPTION**LOTS 7 AND 8 SECTION 27 TOWNSHIP 7 NEW WESTMINSTER DISTRIC
PLAN EPP42480**ZONING**

CD IB 2 LIGHT IMPACT INDUSTRIAL

SITE AREA

SITE AREA LOT A 277,697.25 SF (25,798.91 SM)

GROSS FLOOR AREA

BUILDING B		
Warehouse Space		
Multi Tenant units	67,050.0 SF (6,229.4 SM)	
Shatex	67,359.5 SF (6,257.9 SM)	
Shatex mezzanine	3,793.6 SF (352.4 SM)	
SUBTOTAL	138,205.4 SF (12,839.7 SM)	

Office Space

Future mezz Tenants	12,391.4 SF (1,151.2 SM)
Shatex Ground Floor	2,278.5 SF (211.7 SM)
Shatex Level 2	2,383.7 SF (221.5 SM)
SUBTOTAL	17,053.6 SF (1,584.3 SM)

TOTAL**155,259.0 SF (14,424.0 SM)****DENSITY**PERMITTED 1.00
PROPOSED 0.55**SITE COVERAGE**PERMITTED 60%
PROPOSED 49%**BUILDING HEIGHT**ALLOWED 14.00 M (45.93 F)
PROPOSED 11.73 M (38.50 F)**SETBACKS**

FRONT YARD (34A AVE)	16.0 M	PERMITTED
	21.9 M	PROVIDED
SIDE YARD (WEST)	3.6 M	PERMITTED
	16.5 M	PROVIDED
SIDE YARD (EAST)	7.5 M	PERMITTED
	7.6 M	PROVIDED
REAR YARD (SOUTH)	7.5 M	PERMITTED
	9.7 M	PROVIDED

PARKING

OFFICE SPACE

BUILDING B 1,584.3 SM / 100 X 2.5= 39.6

WAREHOUSE SPACE

BUILDING B 12,839.7 SM / 100= 128.39

TOTAL REQUIRED 168 (167.99)**LOT B** 125
PLUS LOT A 43**TOTAL PROVIDED** 168**ACCESSIBLE PARKING**

2 PROVIDED

LOADING

LOADING AT EACH DOOR

CLIENTJASON SHAH
Shatex MFG Corp
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Email: jason@shatex.com**PROJECT MANAGER**LIAM GIBSON
Manager of Pre-Construction
PRISM CONSTRUCTIONOffice: 604 526 3731 Ext 229
Email: liamgibson@prismconstruction.ca**ARCHITECT**KARLA CASTELLANOS Architect AIBC
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PETER BRINSON PID

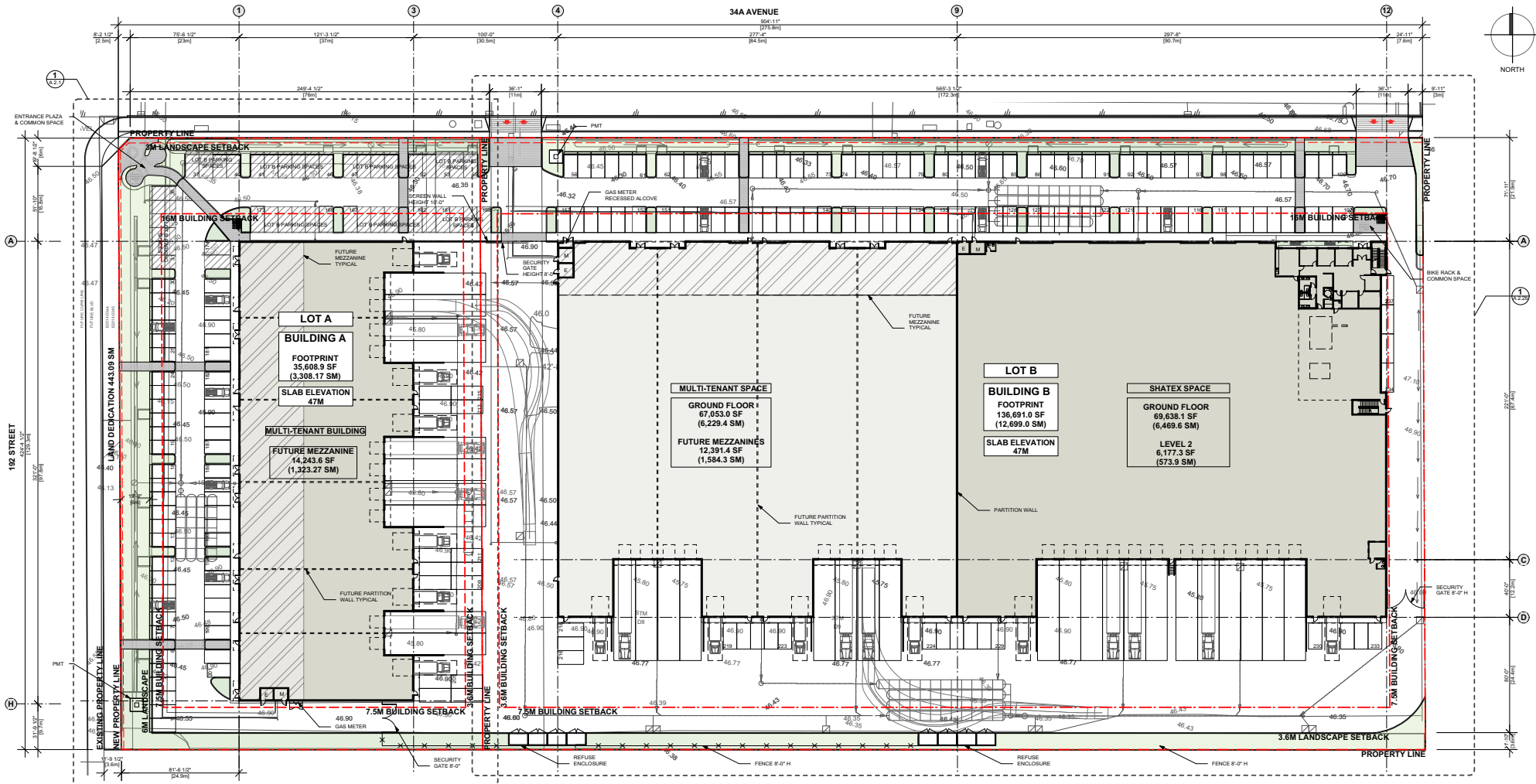
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Email: arboristtraining@telus.net**ENERGY**EOGHAN HAYES P.ENG
IONS ENGINEERINGOffice: 604 338 1063
Email: ehayes@edgec.ca**GEOTECHNICAL**ALEX GOSSEN
GEOPACIFIC CONSULTANTS LTDOffice: 604 439 0922 ext. 252
Email: reception@geopacific.ca**SURVEYOR**ADAM FULKERSON BCLS
TARGET LAND SURVEYING LTDOffice: 604 583 6161
Email: adam@targetlandsurveying.ca

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NO.**DATE****ISSUANCE**

1	2018 10 03	ISSUED FOR REVIEW
2	2018 11 09	ISSUED FOR REVIEW
3	2018 11 16	ISSUED FOR PRELIMINARY REVIEW
4	2018 11 28	ISSUED FOR PRELIMINARY REVIEW
5	2019 01 09	ISSUED FOR REVIEW
6	2019 02 21	ISSUED FOR DP
7	2019 03 04	REISSUED FOR DP
8	2019 07 09	

**PROPOSED NEW DEVELOPMENT**SHATEX NEW FACILITY
CITY OF SURREY BC**PROJECT DATA A 1.0**



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NO.	DATE	ISSUANCE
1	2018 10 03	ISSUED FOR REVIEW
2	2018 11 09	ISSUED FOR REVIEW
3	2018 11 16	ISSUED FOR REVIEW
4	2018 11 28	ISSUED FOR PRELIMINARY REVIEW
5	2019 01 09	ISSUED FOR REVIEW
6	2019 02 21	ISSUED FOR REVIEW
7	2019 03 04	ISSUED FOR DP
8	2019 08 20	REISSUED FOR DP



PROPOSED NEW DEVELOPMENT
SHATEX NEW FACILITY
CITY OF SURREY BC

MASTER SITE PLAN A 2.1

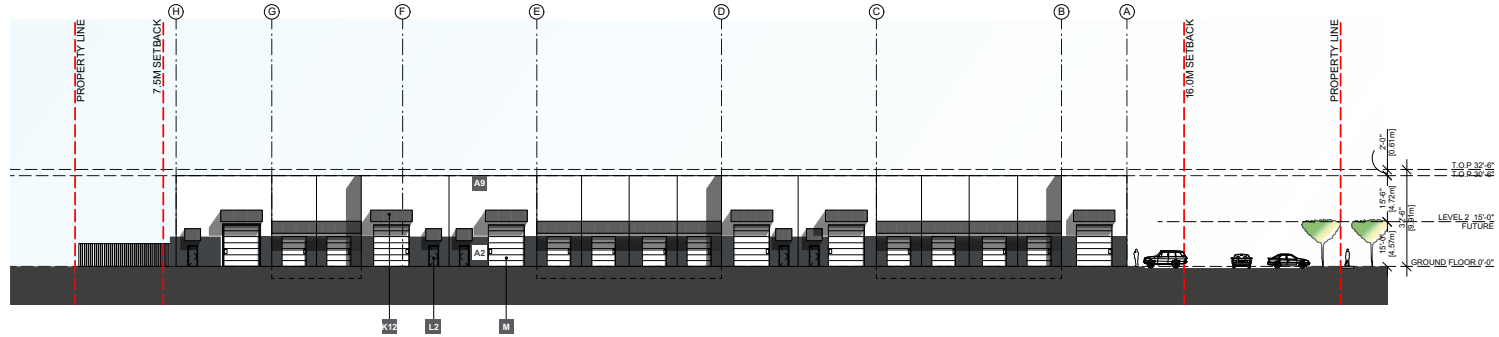


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CHECKED: KC
SCALE: 1:800
FILE: 1810

KCC Architecture & Design Ltd.
Unit 600 1285 W. Broadway Vancouver BC V6H 3X8
kccarchitecture.com
Tel 604 959 1267



1 WEST ELEVATION / 192 STREET
1:500



2 EAST ELEVATION
1:500

MATERIAL LEGEND

- | | |
|--|---|
| A TILT-UP CONCRETE PANEL PAINTED | F WINDOW WALL TINTED GLASS |
| B TILT-UP SCREENING WALL | G MAN DOOR |
| C TILT-UP CONCRETE PANEL PAINTED 3" PROUD PAINTED STOREFRONT WINDOW | H PANEL JOINT |
| D WINDOW WALL | I PANEL REVEAL |
| E WINDOW WALL | J PAINTED TRIM |
| | K CANOPY |
| | L METAL MAN DOOR PAINTED |
| | M OVERHEAD DOOR PAINTED |
| | N SECURITY GATE |
| | O SPRANDREL GLASS UNIT |
| | P ALUMINUM SUNSHADE COLOUR BLACK |

COLOUR LEGEND

- | | | |
|---|--|--|
| 1 BENJAMIN MOORE JET BLUE CC-870 | 5 BENJAMIN MOORE MORNING SUNSHINE 2018-50 | 10 BLACK ALUMINUM FRAME & TRANSPARENT DOUBLE GLASS UNIT |
| 2 BENJAMIN MOORE DEEP SPACE | 6 BENJAMIN MOORE AUGUST MORNING 2156-40 | 11 VICWEST METAL CLADDING & SOFFIT METAL WOOD |
| 3 BENJAMIN MOORE SEA HAZE | 7 BENJAMIN MOORE GRASSLANDS CC-590 | 12 VICWEST METAL CLADDING & SOFFIT DEEP GRAY |
| 4 BENJAMIN MOORE MOUNTAINSCAPE 870 | 8 BENJAMIN MOORE STRATFORD BLUE CC-630 | |
| | 9 BENJAMIN MOORE BRILLIANT WHITE CC-150 | |

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3	2018 11 16	ISSUED FOR PRELIMINARY REVIEW
4	2018 11 28	ISSUED FOR DEVELOPMENT PERMIT
5	2019 03 04	REISSUED FOR DP
6	2019 07 09	



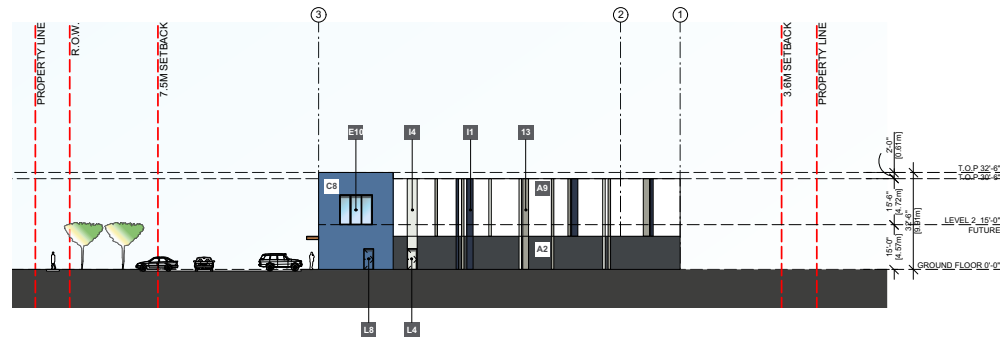
PROPOSED NEW DEVELOPMENT
SHATEX NEW FACILITY
CITY OF SURREY BC

ELEVATIONS A A 4.0a





1 NORTH ELEVATION / 34A AVENUE
1:500



2 SOUTH ELEVATION
1:500

MATERIAL LEGEND

- A TILT-UP CONCRETE PANEL PAINTED
- B TILT-UP SCREENING WALL
- C TILT-UP CONCRETE PANEL 3" PROUD PAINTED
- D STOREFRONT WINDOW
- E WINDOW WALL

- F WINDOW WALL WINTED GLASS
- G MAN DOOR
- H PANEL JOINT
- I PANEL REVEAL
- J PAINTED TRIM

- K CANOPY
- L METAL MAN DOOR PAINTED
- M OVERHEAD DOOR PAINTED
- N SECURITY GATE

COLOUR LEGEND

- 1 BENJAMIN MOORE JET BLUE CC-870
- 2 BENJAMIN MOORE DEEP SPACE
- 3 BENJAMIN MOORE SEA HAZE
- 4 BENJAMIN MOORE MOUNTAINSCAPE 870

- 5 BENJAMIN MOORE MORNING SUNSHINE 2018-50
- 6 BENJAMIN MOORE AUGUST MORNING 2156-40
- 7 BENJAMIN MOORE GRASSLANDS CC-590
- 8 BENJAMIN MOORE STRATFORD BLUE CC-830
- 9 BENJAMIN MOORE BRILLIANT WHITE CC-150

- 10 BLACK ALUMINUM FRAME & TRANSPARENT DOUBLE GLASS UNIT
- 11 VICWEST METAL CLADDING & SOFFIT METAL WOOD
- 12 VICWEST METAL CLADDING & SOFFIT DEEP GRAY

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6	2019 07 09	REISSUED FOR DP



PROPOSED NEW DEVELOPMENT

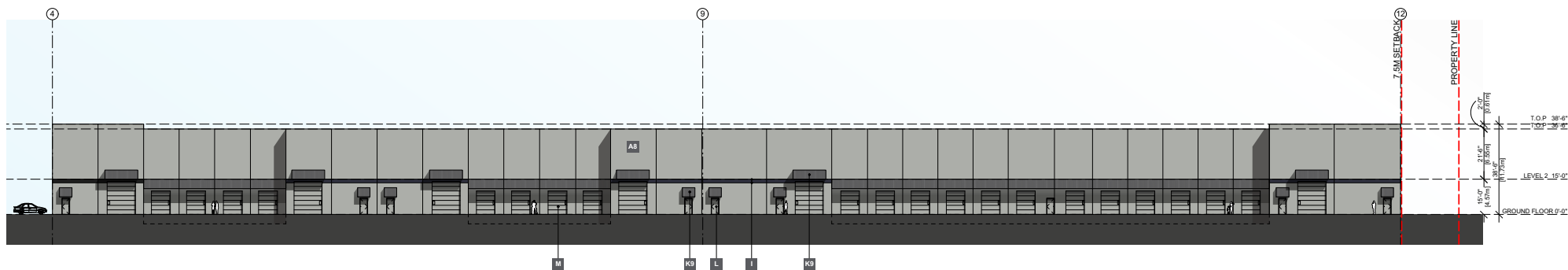
SHATEX NEW FACILITY
CITY OF SURREY BC

ELEVATIONS A A 4.1a





1 NORTH ELEVATION/ 34A AVENUE
1:500



2 SOUTH ELEVATION
1:500

MATERIAL LEGEND

- A TILT-UP CONCRETE PANEL PAINTED
- B TILT-UP SCREENING WALL
- C TILT-UP CONCRETE PANEL 3" PROUD PAINTED
- D STOREFRONT WINDOW
- E WINDOW WALL
- F WINDOW WALL TINTED GLASS
- G MAN DOOR
- H PANEL JOINT
- I PANEL REVEAL
- J PAINTED TRIM

- K CANOPY
- L METAL MAN DOOR PAINTED
- M OVERHEAD DOOR PAINTED
- N SECURITY GATE
- D GAS METER ALCOVE COLOR TO MATCH ADJACENT WALL

COLOUR LEGEND

- 1 BENJAMIN MOORE STREET CHIC CSP-45
- 2 BENJAMIN MOORE MOUNTAINSCAPE 870
- 3 BENJAMIN MOORE SIMPLY WHITE 2143-70
- 4 BENJAMIN MOORE WILLOW CC-542
- 5 BENJAMIN MOORE + JET BLUE CC-870
- 6 BENJAMIN MOORE + WILLOW CC-542
- 7 BENJAMIN MOORE JET BLUE CC-870
- 8 BENJAMIN MOORE PLATINUM GRAY PM-7
- 9 VICWEST METAL CLADDING & SOFFIT DEEP GRAY
- 10 VICWEST METAL CLADDING & SOFFIT WOOD FINISH
- 11 BLACK ALUMINUM FRAME & TRANSPARENT DOUBLE GLASS UNIT
- 12 BLACK ALUMINUM FRAME & TINTED DOUBLE GLASS UNIT

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7	2019 08 20	REISSUED FOR DP



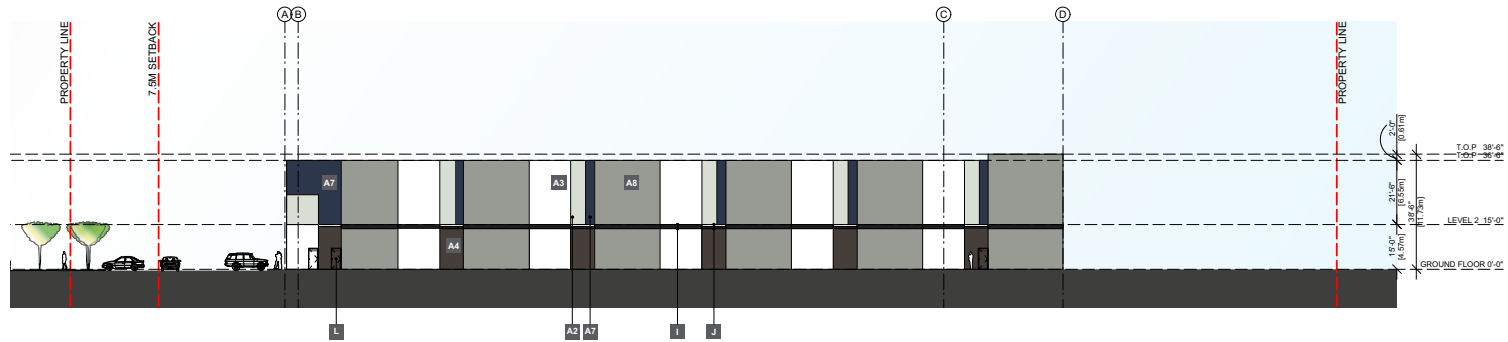
PROPOSED NEW DEVELOPMENT
SHATEX NEW FACILITY
CITY OF SURREY BC

ELEVATIONS B A 4.0b





1 EAST ELEVATION
1:500



2 WEST ELEVATION
1:500

MATERIAL LEGEND

- A TILT-UP CONCRETE PANEL PAINTED
- B TILT-UP SCREENING WALL
- C TILT-UP CONCRETE PANEL 3" PROUD PAINTED
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- J PAINTED TRIM

- K CANOPY
- L METAL MAN DOOR PAINTED
- M OVERHEAD DOOR PAINTED
- N SECURITY GATE

COLOUR LEGEND

- 1 BENJAMIN MOORE STREET CHIC CSP-45
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PROPOSED NEW DEVELOPMENT

SHATEX NEW FACILITY
CITY OF SURREY BC

ELEVATIONS B A 4.1b





NORTH-WEST ISO VIEW

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NO.
1

DATE
2019 07 09

ISSUANCE
ISSUED FOR DP



PROPOSED NEW DEVELOPMENT

SHATEX NEW FACILITY
CITY OF SURREY BC

3D VIEWS

A 5.2



DRAWN: KC
CHECKED: KC

SCALE: 1:200

FILE: 1810

KCC Architecture & Design Ltd. kccarchitecture.com
Unit 600 1285 W. Broadway Vancouver BC V6H 3X8 Tel 604 959 1267



BUILDING A WEST VIEW



BUILDING A NORTH VIEW

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NO.
1

DATE
2019 07 09

ISSUANCE
ISSUED FOR DP



PROPOSED NEW DEVELOPMENT

SHATEX NEW FACILITY
CITY OF SURREY BC

3D VIEWS

A 5.3



DRAWN: KC
CHECKED: KC

SCALE: 1:200

FILE: 1810

KCC Architecture & Design Ltd. kccarchitecture.com
Unit 600 1285 W. Broadway Vancouver BC V6H 3X8 Tel 604 959 1267



BUILDING B NORTH VIEW



BUILDING B NORTH VIEW

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NO.
1

DATE
2019 07 09

ISSUANCE
ISSUED FOR DP



PROPOSED NEW DEVELOPMENT

SHATEX NEW FACILITY
CITY OF SURREY BC

3D VIEWS

A 5.4

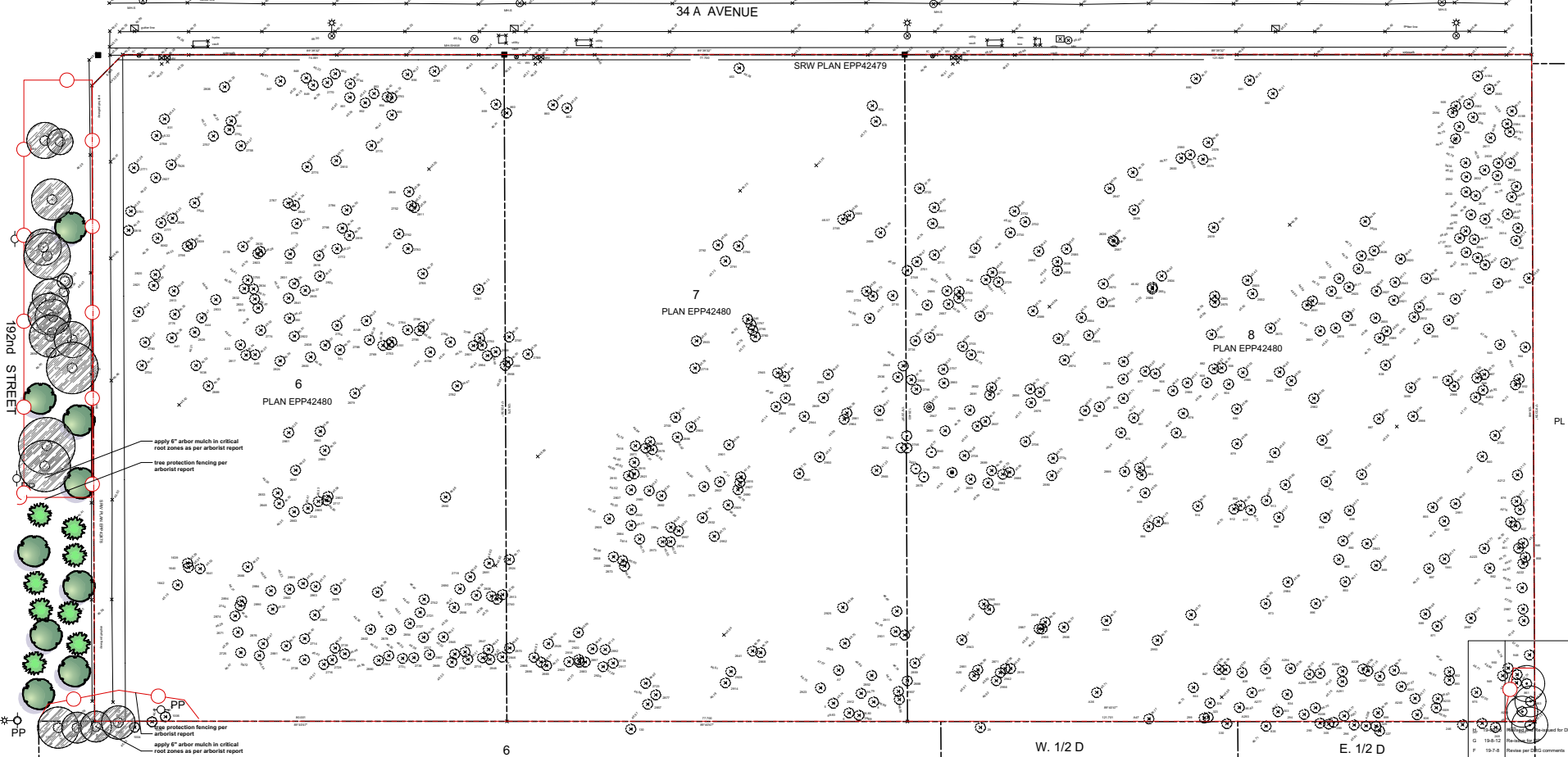


DRAWN: KC
CHECKED: KC

SCALE: 1:200

FILE: 1810

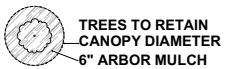
KCC Architecture & Design Ltd. kccarchitecture.com
Unit 600 1285 W. Broadway Vancouver BC V6H 3X8 Tel 604 959 1267



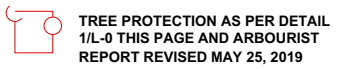
apply 6" arbor mulch in critical root zones as per arborist report
tree protection fencing per arborist report

apply 6" arbor mulch in critical root zones as per arborist report
tree protection fencing per arborist report

LEGEND



TREES TO RETAIN CANOPY DIAMETER 6" ARBOR MULCH



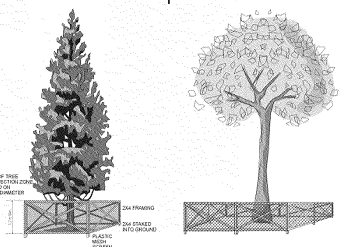
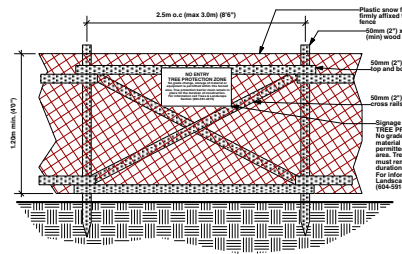
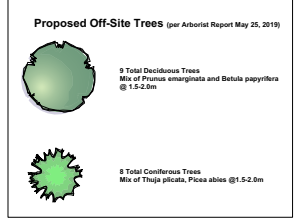
TREE PROTECTION AS PER DETAIL 1/L-0 THIS PAGE AND ARBORIST REPORT REVISED MAY 25, 2019



TREES TO REMOVE -Confirm that trees are free of nesting birds prior to removal or wait until the bird nesting season is over.

NOTE: The tree protection barriers must be built and inspected before the building permits can be issued. Please call the building inspector and request a tree barrier inspection at least 48 hours in advance of the building permit. Tree protection zones are calculated based on ten times the diameter of the tree as per industry standards. Tree protection fencing should be constructed to the City of Surrey's standards and measured from the base of the tree. No construction can occur within the tree protection zone unless an ISA certified arborist is on hand to oversee it.

***GREEN BELT PRESERVATION NOTE: APPLY 6 INCHES OF ARBOR MULCH OVER THE CRITICAL ROOT ZONES OF THE RETAINED TREES. INSTALL 1.5-2M CONIFEROUS AND DECIDUOUS AS PER PAGE 12 OF ARBORIST REPORT DATED MAY 25, 2019. SEE ARBORIST REPORT FOR FURTHER DETAILS.



4 Tree Protection Fencing N.T.S.

1	Issue for DP
2	Issue for DP
3	Issue for DP
4	Issue for DP
5	Issue for DP
6	Issue for DP
7	Issue for DP
8	Issue for DP
9	Issue for DP
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99	Issue for DP
100	Issue for DP

Prospect & Refuge
LANDSCAPE ARCHITECTS
4950 West 24th Avenue, Surrey, B.C.
Building and/or Site Services Provided by a Licensed Firm

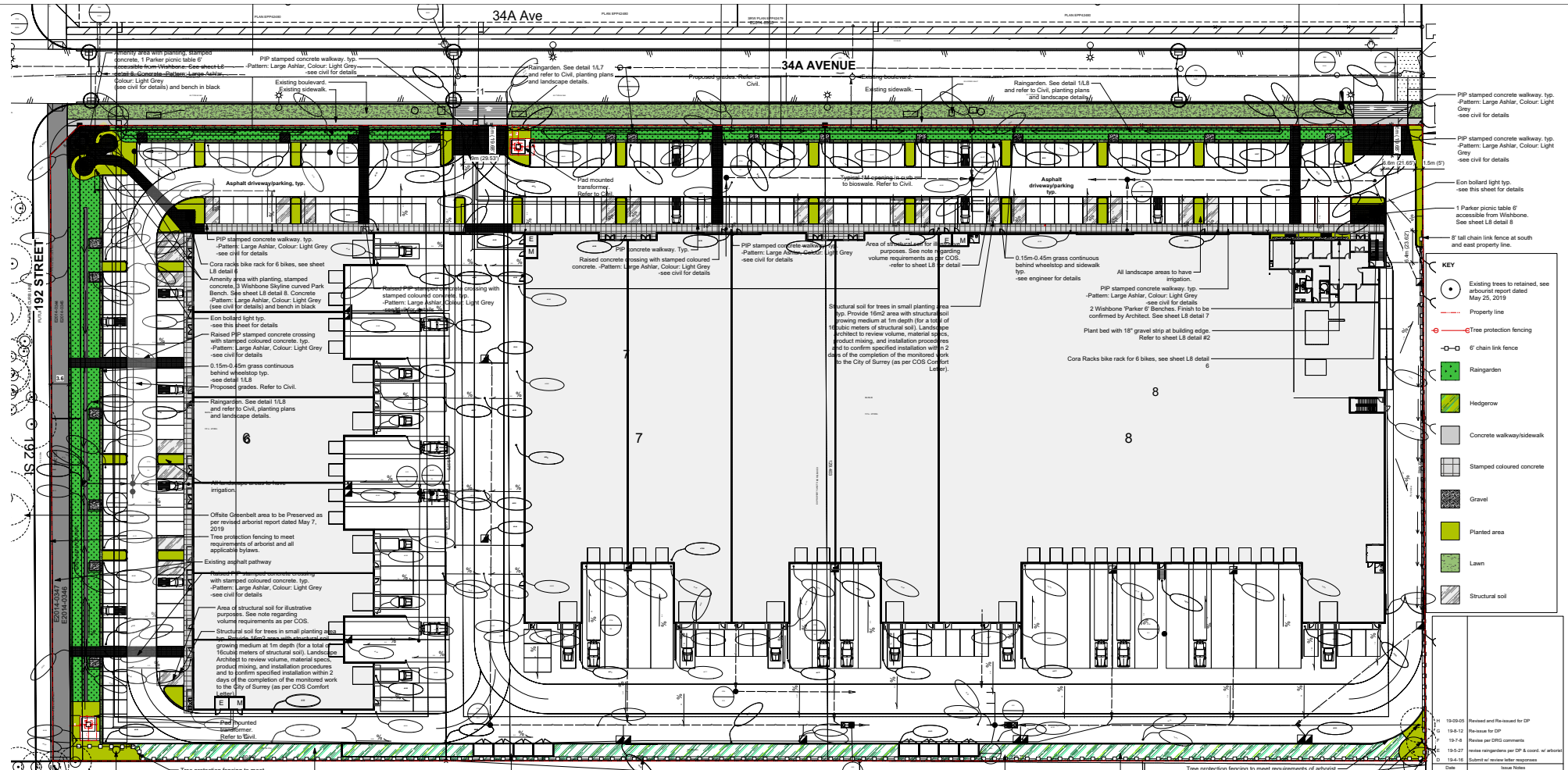
SHATEK
19228 34A Avenue, Surrey, B.C.

Tree Retention Plan

REV	DATE	DESCRIPTION
AS	2019-09	
CV	1-2020	
AS		

May 24, 2019

L0



- PIP stamped concrete walkway, typ. Pattern: Large Ashlar, Colour: Light Grey -see civil for details
- Eon bollard light typ. -see this sheet for details
- 1 Parker picnic table @ accessible from Washbone. See sheet L8 detail 8
- 8' tall chain link fence at south and east property line.

KEY

- Existing trees to retained, see arborist report dated May 25, 2019
- Property line
- 6' tree protection fencing
- 6' chain link fence
- Rangierden
- Hedgerow
- Concrete walkways/sidewalk
- Stamped coloured concrete
- Gravel
- Planted area
- Lawn
- Structural soil

H 19-09-05	Revised and Re-issued for DP
H 19-12-12	Re-issue for DP
H 19-7-8	Re-issue per DRG comments
H 19-6-27	Issue corrigendum per DP & Council re arborist
H 19-4-27	Update to water table treatment
Date	Issue Notes



Prospect & Refuge

LANDSCAPE ARCHITECTS
4050 Keele Street, Toronto, ON M3J 1K3
416-291-1111
Building 1000 1000 Sheppard Avenue East, Toronto, ON M2N 6L2

SHATEX
19228 34A Avenue, Surrey, B.C.

LANDSCAPE LAYOUT PLAN	DATE	2019-02
NO.	NO.	1/200
DATE	DATE	

May 24, 2019

L1

LANDSCAPE NOTES

- All landscape construction to meet the current edition of the Canadian Landscape Standards as a minimal acceptable standard. Plant material to the satisfaction of the Landscape Standards for nursery stock. Extended search for plant material to Vancouver and BC.
- Sizes on the planting plan shall be considered minimum sizes.
- Root balls to be free of pernicious weeds.
- Top soil mixtures for the project shall be tested for particle size, Ph, and Nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, tree, or turf planting. Provide verification of fertilizer and lime applications and rates during the installation and maintenance periods. Oil silt minimum soil depths are 8" (150mm) for lawn areas and 18" (450mm) for shrub beds and ground cover plantings. Install 2" (50mm) of compacted organic mulch on all shrub beds after planting and rake smooth.
- The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Sealed compacted subgrades to a minimum depth of 6" (150mm) immediately before placing growing medium. Provide positive grades away from buildings and toward lawn drains and catch basins. Slope away from buildings at a minimum of 2%. Slope towards lawn basins at minimum 4%. Slope lawn and grass areas minimum 2% and maximum 3.1 slopes. Slope grass wastes (without additional erosion protection) along street minimum 1% and maximum 10% and along side slopes minimum 6.1 slopes and maximum 3.1 slope.
- Landscape Contractor is to provide 55 days of maintenance after the date of Substantial Completion. (Maintain to level 2 'Groomed' as per British Columbia Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (between Jan 1 and June 1) shall be under extended warranty until the June 1 of the following year.
- Protection of existing trees/shrubs to remain. Install temporary tree protection fencing at drip line of existing trees, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing as directed and landscape as directed.
- Planting material on City Boulevard to have approval of the Parks Dept. prior to installation. Size, species and location require approval of the time of installation.
- All landscaping to have high efficiency irrigation system to IAEC standards.

EXISTING TREE PROTECTION REQUIREMENTS

Boulevard trees adjacent to construction sites must be protected (including those of less than 20 cm diameter).

Barrier fencing used for tree protection must:

- Allow for free and clear passage of pedestrians on the sidewalk and adjacent portion of boulevard;
- provide for clear visibility of fire hydrants, driveway access, crosswalks, etc. ("see-through" fencing should be used);
- be 0.6 m or more from the curb to provide for the opening of car doors; and,
- be 0.3 m or more from the edge of any sidewalk located within a grass boulevard.

Note: These setbacks also include the possibility of interference with underground utilities when staking fences in place.

Sign: to be posted for tree protection fencing - minimum 11"x17" size and weatherproof. Text to meet C.O.S. requirements.



Eon Bollard Light from Cooper, colour: black, stem length: 24", optics: Type 2 Lateral Throw Spacing to be confirmed by electrical eng.

Wishbone SITE FURNISHINGS LTD
200 SOUTH BRITISH AVENUE, SUITE 100
VANCOUVER, BC V6C 2K8
TEL: 604-271-1111
WWW.WISHBONEFURNISHINGS.COM



Landscape Lighting:

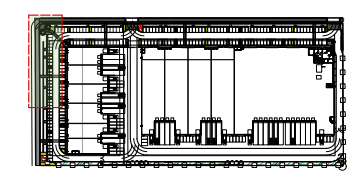
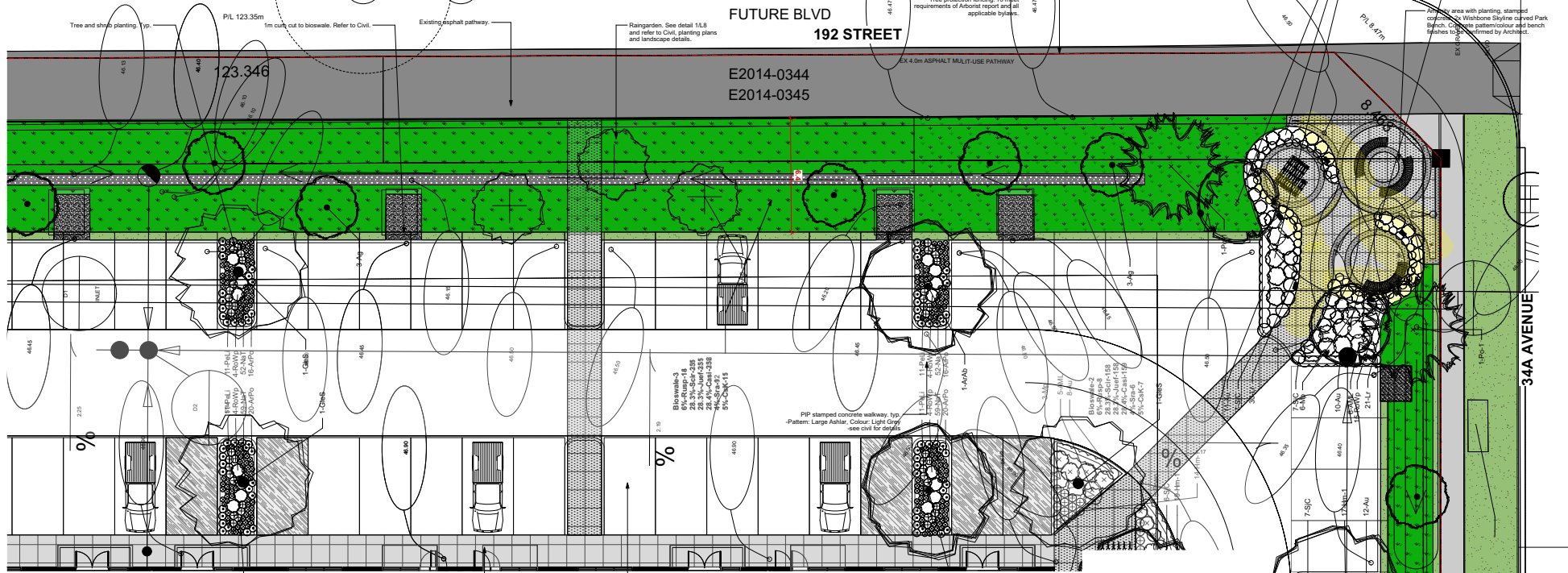
"GREEN BELT PRESERVATION NOTE: APPLY 6 INCHES OF ARBOR MULCH OVER THE CRITICAL ROOT ZONES OF THE RETAINED TREES. INSTALL 1.5-2M CONCRETOUS AND NATIVE BRITISH CHERRY AS PER PAGE 11.5.2. ARBORIST REPORT DATED MAY 7, 2019. SEE ARBORIST REPORT FOR FURTHER DETAILS.

192 St

FUTURE CURB LINE

FUTURE BLVD
192 STREET

E2014-0344
E2014-0345



8 KEY PLAN
Scale: 1:2000

EXISTING TREE PROTECTION REQUIREMENTS

- Boulevard trees adjacent to construction sites must be protected (including those less than 20 cm diameter).
- Barrier fencing used for tree protection must:
 - Allow for free and clear passage of pedestrians on the sidewalk and adjacent portion of boulevard;
 - provide for clear visibility of fire hydrants, driveway access, crosswalks, etc. ("see-through" fencing should be used.);
 - be 0.6 m or more from the curb to provide for the opening of car doors; and,
 - be 0.3 m or more from the edge of any sidewalk located within a grass boulevard.
- Note: These setbacks also reduce the possibility of interference with underground utilities when staking fences in place.
- Signs to be posted on tree protection fencing - minimum 11"x17" size and weatherproof. Text to meet C.O.S.B. requirements.

LANDSCAPE NOTES

- All landscape construction to meet the current edition of the Canadian Landscape Standards as a minimal acceptable standard. Plant material to the satisfaction of the Landscape Standards for nursery stock. Extend search for plant material to Washington and BC.
- Sizes on the planting plan shall be considered minimum sizes.
- Root balls to be free of permanent weeds.
- Top soil mixtures for the project shall be tested for particle size, Ph, and Nutrient levels, and recommendations provided and amendments made to bring the soil up to acceptable horticultural quality for the desired plant material, trees, or turf graying. Provide verification of fertilizer and lime applications and rates during the installation and maintenance periods. Dig soil minimum soil depths are 6" (150mm) for lawn areas and 18" (450mm) for shrub beds and ground cover plantings. Invest at 50mm) of composted organic mulch on all shrub beds after planting and rake smooth.
- The prepared sub-grade shall be approved by the Consultant prior to application of top soil mixtures and finish grading. Scarify compacted subgrade to a minimum depth of 6" (150mm) immediately before placing growing medium. Provide positive grades away from buildings and toward lean drains and catch basins. Slope away from building at a minimum of 2%. Slope towards lawn basins at minimum 4%. Slope lawn and grass areas minimum 2% and maximum 3/1 slopes. Slope grass lawns (without additional erosion protection) along invert minimum 1% and maximum 1/2%, and along side slopes minimum 6:1 slope and maximum 3:1 slope.
- Landscape Contractor to provide 90 days of maintenance after the date of Substantial Completion. Maintain to level 2 (Ground) as per British Columbia Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (Between June 1 and June 1) shall be under extended warranty until the June 1 of the following year.
- Protection of existing trees/shrubs to remain. Install temporary tree protection fencing at drip line of existing hedged, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials for equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing as directed and landscape as directed.
- Planting material on City Boulevard to have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
- All landscaping to have high efficiency irrigation system to IABC standards.

PLANT LIST	QUANTITY	PLANT NAME	COMMON NAME	ORIGINATION	SCHEDULED SIZE	NOTES
1	2	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
2	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
3	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
4	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
5	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
6	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
7	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
8	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
9	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
10	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
11	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
12	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
13	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
14	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
15	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
16	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
17	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
18	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
19	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
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24	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
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30	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
31	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
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37	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
38	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
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41	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
42	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
43	1	Acer glaberrimum	Smooth maple	Canada	12" DBH	Plant in Sunlight
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H 19-09-01 Revised and Rechecked for CP
 D 19-08-12 Checked for CP
 P 19-07-24 Checked for CP
 Date Issue Notes



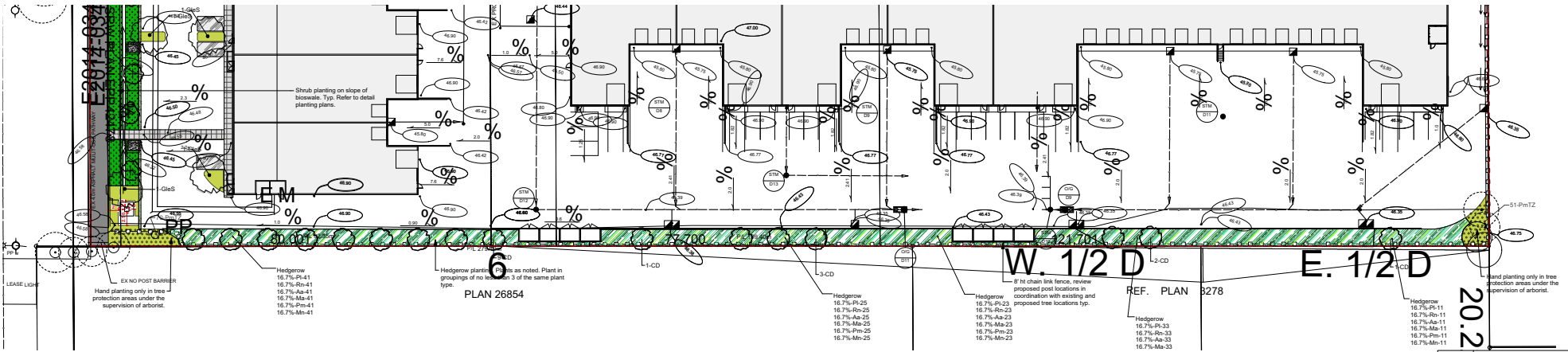
Prospect & Refuge

LANDSCAPE ARCHITECTS
 4982 West 4th Avenue, Suite 200
 Vancouver, BC V6P 2K1
 Working out of 1000 West 4th Avenue, Suite 200

SHAHEK
 19223 34th Avenue, Surrey, B.C.

Planting Plan - D
 Revision No. AD Date: 2019-09
 Version: JA Date: 1-10-20

AS
 Oct. 11, 2019
L5



LANDSCAPE NOTES

- All landscape construction to meet the current edition of the Canadian Landscape Standards as a minimal acceptable standard. Plant material to the satisfaction of the Landscape Standards for nursery stock. Extensive search for plant material to Washington and BC.
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- Landscape Contractor to provide 55 days of maintenance after the date of Substantial Completion. Maintain to level 2 (6mm) as per British Columbia Landscape Standards. Contractor to provide a one year guarantee for all plant material. Plants installed prior to June (between Jan 1 and June 1st) shall be under extended warranty until the June 1 of the following year.
- Protection of existing trees/shrubs to remain. Install temporary tree protection fencing at drip line of existing hedges, trees, and shrub beds which are to remain. Maintain the fencing during construction. No storage of materials to equipment, or any other activities are allowed within the protection zone during construction until final landscape work is being done in the vicinity. Remove protective fencing as directed and landscape as directed.
- Planting material on City Boulevard to have the approval of the Parks Dept. prior to installation. Size, species and location require approval at the time of installation.
- All landscaping to have high efficiency irrigation system to IABAC standards.

PLANTERY	PLANT NAME	PLANT NAME	QUANTITY	SCHEDULED SIZE	NOTES
TREES	<i>Acer glabrum</i>	Yew	4	48" H	Cont.
<i>Thuja occidentalis</i>	Autumn Blaze	Autumn Blaze Red Maple	4	48" H	Cont.
<i>Amelanchier x grandiflora</i>	Autumn Brilliance	Autumn Brilliance Serviceberry	24	24" H	Cont.
<i>Cornus florida</i>	Flamingo	Flamingo Dogwood	7	36" H	Cont.
<i>Crataegus douglasii</i>	Redstart	Redstart Hawthorn	16	24" H	Cont.
<i>Salix purpurea</i>	Salix	Salix	7	36" H	Cont.
<i>Prunus x weddellii</i>	Double Sevens	Double Sevens	4	48" H	Cont.
<i>Prunus x weddellii</i>	Double Sevens	Double Sevens	6	24" H	Cont.
SHRUBS	<i>Amelanchier alnifolia</i>	Serviceberry	133	42" H	Cont.
<i>Aucuba japonica</i>	Japanese Laurel	Japanese Laurel	148	42" H	Cont.
<i>Ardisia cuneata</i>	Spice Gardenia	Spice Gardenia	120	42" H	Cont.
<i>Buxus sempervirens</i>	Boxwood	Boxwood	43	42" H	Cont.
<i>Berberis thunbergii</i>	Japanese Barberry	Japanese Barberry	148	42" H	Cont.
<i>Boronia caroliniana</i>	Yarrowbush	Yarrowbush	15	42" H	Cont.
<i>Carex lasiocarpa</i>	Japanese Sedge	Japanese Sedge	1561	120" H	Cont.
<i>Cornus sericea</i>	Japanese Dogwood	Japanese Dogwood	69	42" H	Cont.
<i>Halmacystis macrocarpa</i>	Japanese Forest Grass	Japanese Forest Grass	433	61" H	Cont.
<i>Hosta</i>	Hosta	Hosta	1245	42" H	Cont.
<i>Liriodendron tulipifera</i>	Tulip Tree	Tulip Tree	51	42" H	Cont.
<i>Mahonia aquifolium</i>	Tall Oregon Grape	Tall Oregon Grape	133	42" H	Cont.
<i>Moroneja tomentosa</i>	Japanese Holly	Japanese Holly	133	42" H	Cont.
<i>Nandina domestica</i>	Heavenly Bamboo	Heavenly Bamboo	377	42" H	Cont.
<i>Penstemon</i>	Penstemon	Penstemon	69	42" H	Cont.
<i>Philadelphus lewisii</i>	Mock Orange	Mock Orange	133	42" H	Cont.
<i>Prunella</i>	Prunella	Prunella	6	42" H	Cont.
<i>Psychotria maritima</i>	Swamp Fern	Swamp Fern	133	42" H	Cont.
<i>Psychotria maritima</i>	Swamp Fern	Swamp Fern	123	120" H	Cont.
<i>Rubus</i>	Rubus	Rubus	181	42" H	Cont.
<i>Rosa</i>	Rosa	Rosa	60	42" H	Cont.
<i>Rosa</i>	Rosa	Rosa	133	42" H	Cont.
<i>Rosa</i>	Rosa	Rosa	83	42" H	Cont.
<i>Sambucus racemosa</i>	Rail Splayberry	Rail Splayberry	18	42" H	Cont.
<i>Scorpaenopsis</i>	Hardstemmed Yucca	Hardstemmed Yucca	1145	24" H	Cont.
<i>Sorbus domestica</i>	European Crabapple	European Crabapple	149	42" H	Cont.
<i>Staphylea trifolia</i>	Staphylea	Staphylea	69	42" H	Cont.
GROUNDCOVER	<i>Stachys</i>	Stachys	1000	61" H	Cont.

EXISTING TREE PROTECTION REQUIREMENTS

- Boulevard trees adjacent to construction sites must be protected (including those of less than 20 cm diameter).
- Barrier fencing used for tree protection must:
- Allow for free and clear passage of pedestrians on the sidewalk and adjacent portion of boulevard;
 - Provide for clear visibility of fire hydrants, driveway access, crosswalks, etc. ("see-through" fencing should be used);
 - Be 0.6 m or more from the curb to provide for the opening of car doors; and;
 - Be 0.3 m or more from the edge of any sidewalk located within a grass boulevard.
- Note: These setbacks also reduce the possibility of interference with underground utilities when staking fences in place.
- Signs to be posted on tree protection fencing - minimum 11"x17" size and weatherproof. Text to meet C.O.S. requirements.

Prospect & Refuge

LANDSCAPE ARCHITECTS

402 West 1st Avenue, Suite 200
Vancouver, BC V6C 1A5
Phone: 604-681-1111
Fax: 604-681-1112
www.prospectandrefuge.com

SHATEX

19228 34th Avenue, Surrey, B.C.

Planting Plan - Bioswale and Hedgerow

Project: AB Date: 2010-09

Revision: JA Date: 1/2011

Revision: AS Date: 1/2011

Revision: L7 Date: 10/1/2010

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **September 1, 2019** PROJECT FILE: **7819-0082-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 19228, 19266 & 19298- 34A Avenue**

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit:

BUILDING PERMIT

The following issues are to be addressed as a condition of the Building Permit:

- Construct two 11.0 metre driverway letdowns.
- Remove and cap all redundant service connections.
- Register the necessary access and parking Easements as proposed.
- Dedicate approximately 3.5m along 192 Street to accommodate the existing Multi-use Path within the road allowance.
- Comply with onsite infiltration requirements as specified in the Campbell Heights SWMP (i.e. no runoff from the site up to the 100 year event).



Tommy Buchmann, P.Eng.
Development Services Manager

LR1

Tree Preservation Summary

Surrey Project No.:
 Address: 19228 – 34A Avenue, Surrey, B.C.
 Registered Arborist: Peter Brinson, PNW Arborist Training Solutions

On-Site Trees	# of Trees
Protected Trees Identified (On-site and shared trees, including trees within boulevards and proposed streets and lanes but excluding trees in proposed open space or riparian areas)	562
ected Trees to be Removed	540
Protected Trees to be Retained (Excluding trees within proposed open space or riparian areas)	22
Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 23__ x 1 = __23_____ All other trees requiring 2 to 1 replacement ratio 517 x 2 = __1,034_____ 1057	1057
Replacement Trees Proposed	85 Landscape-17 greenbelt 102 tota
Replacement Trees in Deficit	
Protected trees to be retained in Proposed (open space/riparian areas)	
Off-Site Trees	# of Trees
Protected Off-Site Trees to Be Removed	33
Total Replacement Trees Required: Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 1__ x 1 = __1_____ All other trees requiring 2 to 1 replacement ratio _32__ x 2 = __64_____ 0	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	

Summary, report and plan prepared and submitted by:

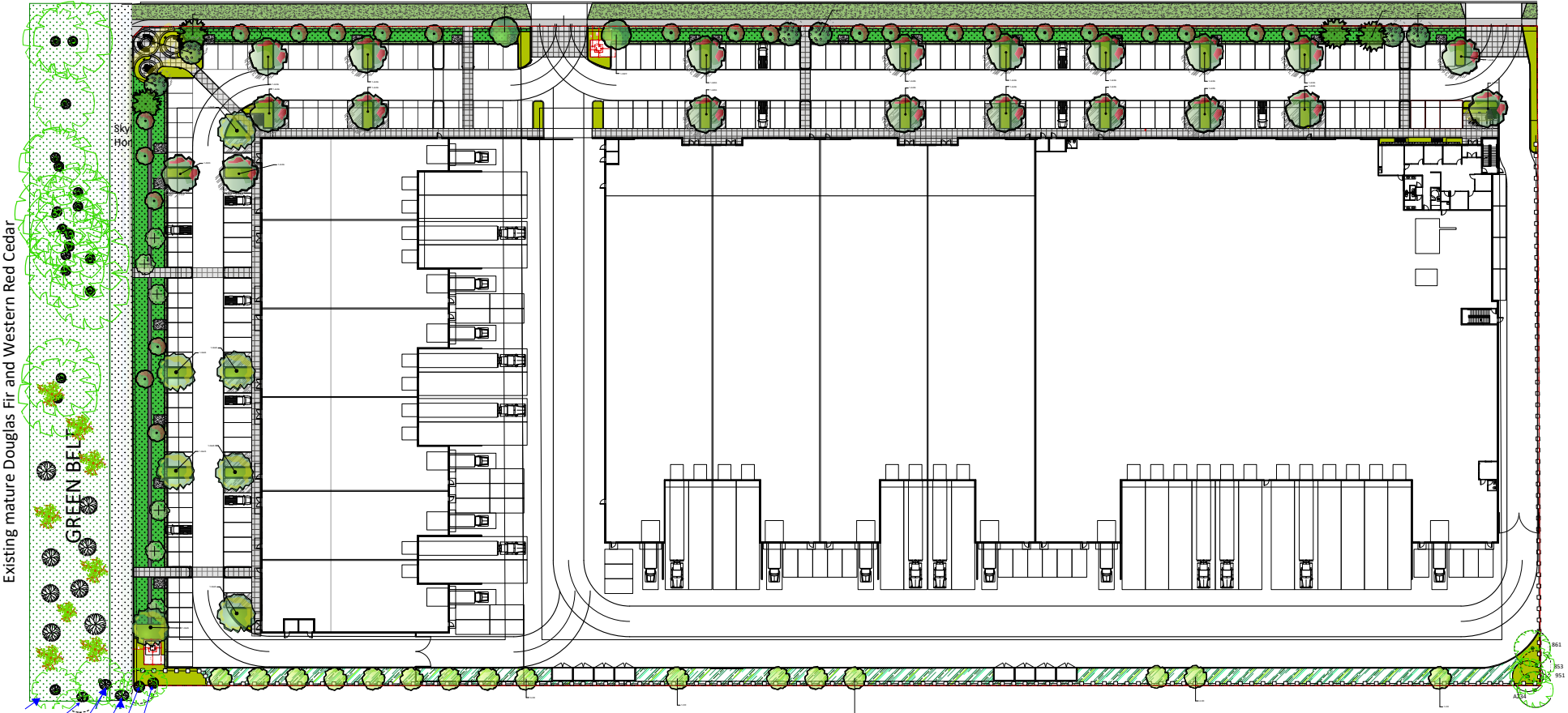


Signature of Arborist

Jan 5, 2019

Date

Existing mature Douglas Fir and Western Red Cedar



1001 509 1000 1003 1004 10

-  New Deciduous
-  New Coniferous
-  Existing Trees

REPLANTING PLAN OVERVIEW
 Lot 6 19228 34A Avenue
 Lot 7 192266 34A Avenue
 Lot 7 19298 34A Avenue

FOR DETAILED SPECIFICATIONS
 SEE THE LANDSCAPE PLAN DEVELOPED BY

Prospect & Refuge

LANDSCAPE ARCHITECTS
 1400 W. 5th Ave. Suite 100, Seattle, WA 98101
 info@prospectandrefuge.ca | PH: 024-699-1002
 Website: www.prospectandrefuge.ca | LinkedIn: prospectandrefuge

PLANT/UT	*MASTER PLAN ONLY FOR ENTIRE SITE	*PROVIDER ON MULTIPLE SHEETS FOR REFERENCE	ONLY - DO NOT DUPLICATE QUANTITIES**	Notes
ID#	Latin Name	Common Name	Quantity	Reference Size
T1	<i>Asar canadensis</i>	King Lettuce	2	2M Ht. Multistem
AV/AB	<i>Acacia saligna</i> "Autumn Blaze"	Autumn Blaze Red Maple	20	6cm cal.
BT	<i>Amelanchier canadensis</i> "Autumn Brilliance"	Autumn Brilliance Serviceberry	24	3M Ht.
GF/F	<i>Cornus heterophylla</i> "Franks Evergreen"	Franks Evergreen Dogwood	2	6cm cal.
DD	<i>Crataegus douglasii</i>	Western Hawthorne	16	2M Height Multistem
CH/C	<i>Quercus chrysolepis</i>	Golden Chinkapin	2	6cm cal.
Pr-1	<i>Prunella serotina</i>	Swedish Spice	4	3M cal.
Pr	<i>Prunella s. serotina</i>	Swedish Cherry	6	2.5M Ht.
Shrub	<i>Amelanchier alnifolia</i>	Shadbush	143	#2 pot
Shrub	<i>Amelanchier canadensis</i>	Shadbush	146	#1 pot
Shrub	<i>Amelanchier canadensis</i>	Shadbush	129	#1 pot
ANL	<i>Azalea "Mandarin Sunset"</i>	Mandarin Lights Azalea	41	#3 pot
Born	<i>Berberis thunbergii</i> "Konjuro"	Concordia Japanese Barberry	153	#1 pot
Pr	<i>Berberis cordifolia</i> "Vintergløed"	Winterglow Barberry	18	#1 pot
Shrub	<i>Cornus alternifolia</i>	Spice Shrub	1361	10cm pot
Shrub	<i>Cornus sericea</i> "Kathy's Dwarf"	Dwarf Red Osier Dogwood	68	#1 pot
Shrub	<i>Hamamelis mollis</i> "Henry"	Witchamander Forest Grass	434	#1 pot
Shrub	<i>Amelanchier canadensis</i>	Shadbush	1244	10cm pot
Pr	<i>Linnaea "Royal Purple"</i>	Royal Purple Liriodendron	51	#1 pot
Shrub	<i>Nandina domestica</i>	Heavenly Blue Dogwood	133	#2 pot
Shrub	<i>Nandina domestica</i>	Heavenly Blue Dogwood	133	#1 pot
Shrub	<i>Nandina domestica</i>	Heavenly Blue Dogwood	137	#1 pot
Shrub	<i>Nandina domestica</i> "Little Star"	Little Star Dogwood	62	#1 pot
Shrub	<i>Nandina domestica</i>	Heavenly Blue Dogwood	133	#2 pot
Shrub	<i>Nandina domestica</i> "Majesty"	Majesty Dogwood	7	#1 pot
Shrub	<i>Physocarpus opulifolius</i>	Diablo Dogwood	133	#1 pot
Shrub	<i>Physocarpus opulifolius</i> "Diablo Dogwood"	Diablo Dogwood	141	10cm pot
Shrub	<i>Physocarpus opulifolius</i>	Diablo Dogwood	188	#1 pot
Shrub	<i>Physocarpus opulifolius</i>	Diablo Dogwood	62	#2 pot
Shrub	<i>Physocarpus opulifolius</i>	Diablo Dogwood	133	#1 pot
Shrub	<i>Physocarpus opulifolius</i>	Diablo Dogwood	82	#1 pot
Shrub	<i>Physocarpus opulifolius</i>	Diablo Dogwood	82	#1 pot
Shrub	<i>Physocarpus opulifolius</i>	Diablo Dogwood	144	#1 pot
Shrub	<i>Physocarpus opulifolius</i>	Diablo Dogwood	144	#1 pot
Shrub	<i>Physocarpus opulifolius</i>	Diablo Dogwood	146	#2 pot
Shrub	<i>Physocarpus opulifolius</i>	Diablo Dogwood	146	#2 pot
Shrub	<i>Physocarpus opulifolius</i>	Diablo Dogwood	146	#1 pot

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