



INTER-OFFICE MEMO

TO: City Clerk, Legislative Services

FROM: Ron Gill, Manager, Area Planning – North Division

DATE: October 21, 2019 FILE: 7919-0031-00

RE: Item No.B4 at the Regular Council – Land-Use Meeting on October 21, 2019

It is requested that Council consider the attached letter, dated October 17, 2019, from the Cloverdale Community Association (CCA) at the October 21 Regular Council – Land-Use Meeting for Development Application No. 7919-0031-00. Council will consider a Rezoning from CD (By-law No. 16452) to CD for the purpose of removing parking intensive land uses, a Development Permit for three (3) industrial buildings and a Development Variance Permit for setbacks at 17277 No. 10 (56 Avenue).

Some comments and concerns expressed in the letter were included in the Planning Report; however, the President of the CCA requested that the letter be forwarded for Council's consideration at the October 21 Regular Council – Land-Use Meeting.

As such, the City Clerk's Office is requested to update the agenda to include the Cloverdale Community Association's (CCA) letter supplementing comments provided in the planning report regarding subject property 17277 – No. 10 (56 Avenue) for Item No.B4.

u : Ron Gill
Manager
Area Planning – North Division

CLERKS DEPT.
7919-0031-00
OCT 18 2019
B.4 RCW OCT 21, 19



Cloverdale Community Association

Website: www.cloverdalecommunity.org

October 17, 2019

Misty Jorgensen
City of Surrey
Planning and Development Department
13450-104 Avenue
Surrey BC V3T 1V8

Re: 7919-0031-00 / 17277-56 Avenue

Dear Ms. Jorgensen:

The Cloverdale Community Association (CCA) has received the revised preliminary notice for the proposed development noted above.

Our association was contacted by the developer in May of this year. We met with Matt Sawchyn to go over the proposal. At first, we were glad to hear that the vacant unsightly property was going to be developed into something positive for the community. Through ongoing discussions, it was clear that warehouse type buildings were being proposed which we did not want to see in this part of Cloverdale. Matt advised that he would take our comments/concerns back to the company to have addressed and that we should expect an update in the future. While the developer had only applied for a DVP to reduce the setbacks at the time, we were not pleased with the overall project but we knew we couldn't ask for any changes. Our position was that we wanted to see retail shops like Grand Heights and Sullivan Square which was located at 152nd Avenue and Hwy 10. These types of businesses would not only bring more jobs to the local community but it would reduce the need to travel to Langley for retail shopping which meant more money for the Surrey economy.

In August, we received a revised letter from the City advising us that the zone for the property was being modified even though it was going to remain as CD. This meant that the developer had the opportunity to introduce retail units as we had originally requested. Around the same time, the Project Manager, John Reid met with us again to provide an update. The update did not show any significant changes with regards to the type of use but showed minor cosmetic changes and other modifications which the City Engineering staff required such as installing a pathway along the east side of the building to allow residents to travel North to South and vice versa. We again expressed our concern that this type of development may set a dangerous precedence moving forward. We asked John to at least convert one of the buildings into a retail unit. While John led us to believe that some kind of retail business may operate from one of the buildings which we were willing to accept as a compromise, as of today, we have not received any confirmation and therefore have to assume that retail businesses cannot be expected which is very disappointing.

We were later contacted by you and Ron Gill from the City to discuss our concerns again especially when the majority of the local residents emailed you expressing their disappointment about the warehouses. Additionally, we asked why the City wasn't installing a sidewalk along the east side of 172 Street from Hwy 10



Cloverdale Community Association

Website: www.cloverdalecommunity.org

since sidewalks get installed when new developments occur. The developer had told us that the City didn't want it yet you and Ron advised that as of the day of our meeting, the sidewalk would be installed which was great news. To be clear, this would have happened regardless of who the developer for this property was going to be. We also asked for a roundabout to be installed at 172nd Street and 58 Avenue and you advised that you would contact engineering to see if this was possible. Just today, you informed us that the roundabout had been designed but construction would only start once funding is approved. This to us is unacceptable when the design plans for the roundabout were already in progress prior to this development application and in addition to the fact that the residents have been asking for it for quite some time.

In conclusion, the developer advised that they are building within the current OCP which does not allow full retail use but we disagree with them because they opened up the application to modify the current zoning which would have allowed them to introduce other types of uses including retail as we requested. This would have allowed them to also hold a Public Information Meeting (PIM) to connect with the community which they didn't do and instead only listened to the business stakeholders. This property is nearby residential homes which could experience a depreciation in value because of the warehouses and types of business which would operate from there besides the fact that residents could start seeing large 5 Ton delivery trucks traveling on 172nd Street which could result in more noise. If the developer had moved forward with the original DVP application then the community would have had no say as to what should be built on this property unless asked. Most of our concerns we raised were already addressed in the previous design plans prior to our first meeting so our comments were received after the fact. The most important concern which they didn't address was related to the type of use. The developer has said "possible future businesses may include users such as food commissaries and other small businesses with the ability to have retail showrooms (e.g. bakery)" yet the exact type and not the name of the businesses which are planning to operate from this site have not been provided to support this claim. Meaning, will there be bakery, car detailing shop or something else? Without knowing this information, residents will continue to wonder if they should sell and leave before construction starts or should they stay. Ron and yourself agreed that the developer could change the zoning but it was up to the developer to request it which they didn't want to do.

While the Cloverdale BIA and Cloverdale Chamber of Commerce support this project because it has business value, we must all look past this and consider other impacts this project may have because it is nearby residential homes. Only time will tell what the impact will be if this project receives Council's approval.

We wish the applicant success with their project.

Please keep us updated with any changes which may occur after this letter has been received by you.

We trust the above information is satisfactory and as always, we expect our comments to be added in the planning report and project file for council to review.

Thank you.



Cloverdale Community Association

Website: www.cloverdalecommunity.org

Sincerely,

A handwritten signature in black ink, appearing to read "Mike Bola".

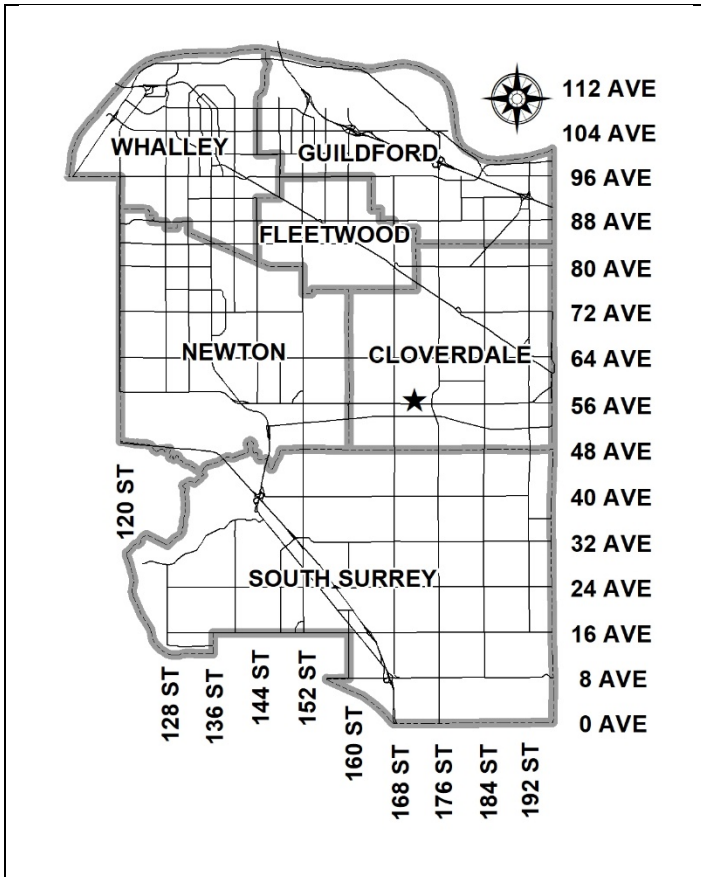
Mike Bola
President
Cloverdale Community Association
604-318-0381

Cc: Board of Directors

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7919-0031-00

Planning Report Date: October 21, 2019



PROPOSAL:

- **Partial NCP Amendment** from Highway Commercial to Parks/Open Space
- **Rezoning** from CD (By-law No. 16452) to CD
- **Development Permit**

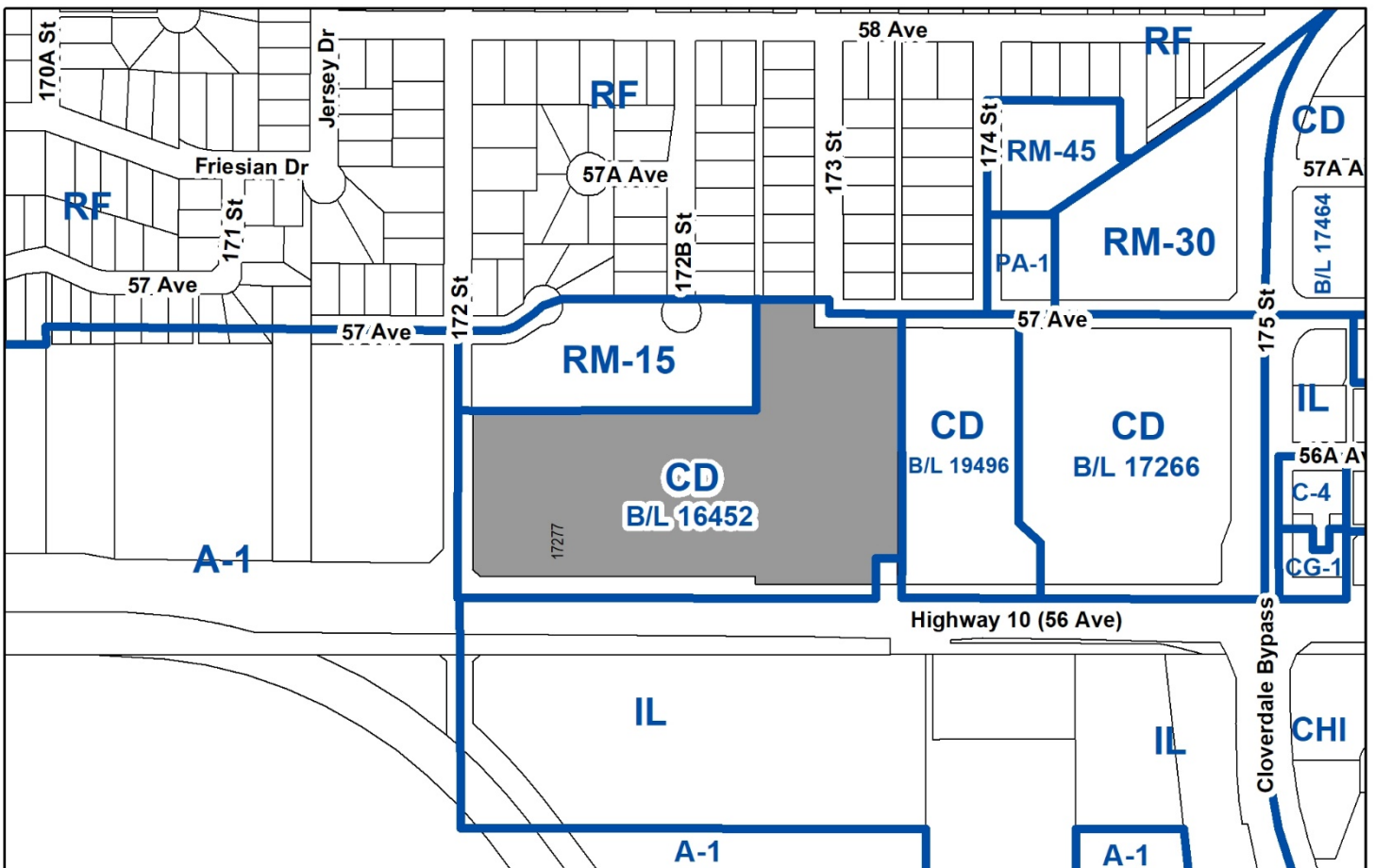
to allow for the development of three light impact industrial/warehouse buildings with ancillary retail (showroom) and office space and one riparian lot. A Development Permit is required for Form and Character, Hazard Lands (Flood Prone Areas), Farm Protection and Sensitive Ecosystems (Streamside Areas)

LOCATION: 17277 - No 10 (56 Avenue) Highway

ZONING: CD (By-law No. 16452)

OCP DESIGNATION: Mixed Employment

TCP DESIGNATION: Highway Commercial



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Form and Character, Farm Protection, Hazard Lands and Sensitive Ecosystems Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposed amendment to the Cloverdale Town Centre Plan (TCP) in order to re-designate a portion of the subject site from "Highway Commercial" to "Park/Open Space".

RATIONALE OF RECOMMENDATION

- The proposal complies with the "Mixed Employment" designation in the Official Community Plan (OCP) and "Highway Commercial" designation in the Cloverdale Town Centre Plan (TCP).
- The proposal is consistent with OCP policies and the City's Employment Lands Strategy.
- The proposal complies with the Metro Vancouver Regional Growth Strategy designation.
- As a housekeeping measure, staff are proposing a partial amendment to the Cloverdale Town Centre Plan from "Highway Commercial" to "Parks/Open Space" for the easterly 25 metre (82 ft.) portion of the subject property that the applicant proposes to convey to the City, without compensation, for riparian protection purposes (Appendix VIII).
- The proposed density and building form are appropriate for this part of the Cloverdale Town Centre and will complement the larger format commercial node to the immediate east of the subject site (i.e. Trail Appliances and Brick Yard Station).
- The subject site has been vacant for some time. The applicant has worked diligently with City staff to develop a functional layout while adding value to Cloverdale Town Centre by providing much needed mixed employment uses.
- The land-uses proposed in the CD Zone would comply with the current zoning (CD By-law No. 16452). However, the applicant has worked with staff and is proposing to rezone the subject site in order to eliminate the parking intensive land-uses, currently allowed on-site, that cannot be accommodated with the parking proposed. This will prevent potential parking shortfalls in the future.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "Comprehensive Development Zone (CD)" (By-law No. 16452) to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7919-0031-00 for Form and Character, Farm Protection, Hazard Lands as well as Sensitive Ecosystems, generally in accordance with the attached drawings (Appendix II), and the corresponding environmental and geotechnical reports.
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) final approval from the Ministry of Transportation & Infrastructure;
 - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (g) the applicant is to convey proposed Lot 1 to the City, without compensation, for the purpose of riparian protection;
 - (h) completion of a P-15 agreement for the monitoring and maintenance of the proposed habitat restoration works within the riparian area to be conveyed to the City;
 - (i) submission of a finalized Ecosystem Development Plan to the satisfaction of the Planning and Development Department;
 - (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
 - (k) registration of a right-of-way for public rights-of-passage for the 1.8 metre (6 ft.) wide pedestrian walkway along the southern façade of proposed Building 3 linking to the sidewalk along 57 Avenue to the west;

- (l) registration of a combined Restrictive Covenant/Statutory Right-of-Way for the 15.25 metre (50 ft.) setback area along the east side of 172 Street to accommodate the future relocation of the Class A/O (red-coded) watercourse on-site;
 - (m) registration of a combined Restrictive Covenant/Statutory Right-of-Way for the variable streamside setback area for the Class A/O (red-coded) watercourse on the north side of 56 Avenue (No. 10 Highway);
 - (n) discharge the Restrictive Covenants registered on title (BF009953 and BB1073234) that identify the previous landscape buffer requirements on the subject site;
 - (o) discharge of Restrictive Covenant (No Build) registered on title (BB1073231) that prohibits any buildings and/or structures on the subject site until the applicant satisfies the municipal and provincial road requirements;
 - (p) registration of a Section 219 Restrictive Covenant to protect the existing landscape buffer along the north lot line, adjacent the townhouse development at 17222 - 57 Avenue, as well as the proposed landscape buffer adjacent to the Agricultural Land Reserve (ALR) on the west lot line (i.e. adjacent 172 Street);
 - (q) registration of a Section 219 Restrictive Covenant to identify the maximum amount of mezzanine space permitted on-site; and
 - (r) registration of a Section 219 Restrictive Covenant to restrict habitable floor area below the minimum Flood Construction Level (FCL) and to inform future owners that the subject property is located within a flood plain area and that any buildings and/or structures constructed on the lot may be damaged by flooding or erosion.
4. Council pass a resolution to amend the Cloverdale Town Centre Plan to redesignate a portion of the subject site from "Highway Commercial" to "Parks/Open Space" when the project is considered for Final Adoption (Appendix VII).

REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
Parks, Recreation & Culture:	The applicant is required to enter into a P-15 agreement for monitoring and maintenance of replanting in the conveyed riparian area.
Ministry of Transportation & Infrastructure (MOTI):	No concerns.
Surrey Fire Department:	No concerns.

Agricultural and Food Policy Advisory Committee (AFPAC):

The application was presented to AFPAC on September 10, 2019. No concerns were expressed given the proposed development exceeds the minimum on-site landscape buffer requirement in the OCP for properties located adjacent to the Agricultural Land Reserve (ALR).

SITE CHARACTERISTICS

Existing Land Use: Vacant parcel

Adjacent Area:

Direction	Existing Use	OCP/TCP Designation	Existing Zone
North	Multiple residential and single family residential	Urban/Urban Single Family Residential	RM-15 & RF
East	Cloverdale Canal and retail warehouse building under construction (Trail Appliances)	Mixed Employment/Parks/Open Space, Highway Commercial and Industrial	CD (By-law No. 19496) and IL
South (Across 56 Avenue/ No. 10 Highway):	Vacant parcel	Industrial/Industrial	IL
West (Across 172 Street):	Single family residential property in the ALR	Agricultural	A-1

JUSTIFICATION FOR PLAN AMENDMENT

- As a housekeeping measure, staff are proposing a partial amendment to the Cloverdale Town Centre Plan from "Highway Commercial" to "Parks/Open Space" for the easterly 25 metre (82 ft.) portion of the subject property that the applicant proposes to convey to the City, without compensation, for riparian protection purposes.
- The easterly streamside setback area for Cloverdale Canal (located at 17383 – 56 Avenue) is currently designated "Parks/Open Space". With the proposed amendment on the subject site, the entire streamside setback area for Cloverdale Canal will be designated "Parks/Open Space" in the Cloverdale Town Centre Plan (TCP).

DEVELOPMENT CONSIDERATIONS

Background

- The subject property is located on the north side of 56 Avenue (No. 10 Highway), just east of 172 Street. The property is designated "Mixed Employment" in the Official Community Plan (OCP) and "Highway Commercial" in the Cloverdale Town Centre Plan. The subject site is zoned "Comprehensive Development Zone (CD)" (By-law No. 16452) and currently vacant.

- The subject site was rezoned in December, 1991 as part of Development Application No. 5689-0306-00 that involved rezoning from "Agricultural Zone 3 (A-3)" to "Transportation Industrial Zone (I-T)" (By-law No. 5942) in order to permit for the expansion of storage facilities on-site for an existing contractor's works yard as well as a public truck parking facility. As part of the application, the owner installed a 2 metre (7 ft.) wide landscaped berm, as a buffer, along the north lot line directly adjacent to the multiple-residential development at 17222 – 57 Avenue.
- The subject site was converted to "Light Impact Industrial Zone (IL)" with the adoption of the current Zoning By-law No. 12000 in 1993.
- The property was rezoned in March 2009 (Development Application No. 7906-0359-00) from "Light Impact Industrial Zone (IL)" to "Comprehensive Development Zone (CD)" based upon the "Highway Commercial Industrial Zone (CHI)". The application also involved amending the Cloverdale Town Centre Land Use Plan to re-designate the subject property from "Industrial" and "Urban Single Family" to "Highway Commercial", a Development Permit and Development Variance Permit for a "retail power centre" consisting of four commercial buildings. The retail power centre was designed to attract destination shoppers from outside the local community and included several large-format retailers and a small bank (i.e. Sandy's Furniture, Paramount Furniture, Ashley Furniture and Canadian Western Bank).
- Following the approval of Development Application No. 7906-0359-00 in March 2009, the subject property has remained vacant for several years.

Current Proposal

- The applicant proposes to rezone the subject site from the current CD Zone (By-law No. 16452) to a new CD Zone in order to permit the development of a light impact industrial/warehouse development with ancillary retail (showroom) and office space ("IntraUrban Crossroads"). The proposed CD Zone will permit a suitable range of uses and remove the parking intensive land-uses, currently permitted on-site, that cannot be accommodated with the parking proposed. In addition, the applicant is requesting a Development Permit for Farm Protection, Hazard Lands (Flood Prone Areas), Sensitive Ecosystems (Streamside Protection) and Form and Character.
- The proposed development (IntraUrban Crossroads) includes three stratified industrial/warehouse buildings that provide light impact industrial and warehouse space as well as ancillary retail (showroom) and office space on the mezzanine level.
- It is noted that the proposed land-uses comply with the existing CD Zone (By-law No. 16452). A rezoning is proposed in order to prevent future possible parking shortfalls by eliminating more parking intensive uses on the site.
- As a housekeeping measure, staff are proposing a partial amendment to the Cloverdale Town Centre Plan from "Highway Commercial" to "Parks/Open Space" for the easterly 25 metre (82 ft.) portion of the subject property located adjacent to the Class A (red-coded) watercourse (i.e. Cloverdale Canal).

- As part of the development proposal, the applicant will remediate the streamside setback area for Cloverdale Canal and convey this area to the City, for riparian protection purposes, without compensation.
- Following the approval of Development Application No. 7906-0359-00, the subject property has remained vacant. As such, the applicant has worked diligently with City staff to develop a functional building layout that provides much needed mixed employment uses to the area while adding value to Cloverdale Town Centre.
- In addition, the proposed development is located within close proximity to Brick Yard Station, an existing commercial node at 176 Street and 56 Avenue (No. 10 Highway). Furthermore, the subject property provides a well-defined edge as well as clearly delineates between agricultural practices taking place on the west side of 172 Street and future urban development within the Cloverdale Town Centre.

Proposed CD By-law

- The proposed CD Zone is based upon the existing CD Zone (By-law No. 16452), which was based on the "Highway Commercial Industrial Zone (CHI)", with the following modifications, as outlined in the table below:

	Existing CD Zone (By-law No. 16452)	Proposed CD By-law
Permitted Uses		
Eating Establishment	Permitted	Not permitted
General Service Uses	Permitted	Not permitted
Beverage Container Return Services	Permitted	Not permitted
Indoor Recreational Facilities	Permitted	Not permitted
Light Impact Industry (including retail sales of products produced as part of a light impact industry use or products wholesaled as part of a warehouse use within each strata lot)	Permitted	Permitted
Retail Stores		
Animal Feed and Tack Shops	Permitted	Not permitted
Appliance Stores	Permitted	Not permitted
Auction Houses	Permitted	Not permitted
Automotive Parts, New	Permitted	Not permitted
Building Supply Stores	Permitted	Not permitted
Convenience Stores	Permitted	Not permitted
Furniture Stores	Permitted	Not permitted
Garden Supply Stores	Permitted	Not permitted
Marine Parts, New	Permitted	Not permitted
Retail Warehouse Uses	Permitted	Not permitted
Sales and Rentals of Boats	Permitted	Not permitted
Sporting Goods Stores	Permitted	Not permitted
Warehouse Uses	Permitted	Permitted

Community Services	Permitted	Not permitted
Accessory Uses		
One Dwelling Unit	Permitted	Not permitted
Yards and Setbacks		
North Yard	7.5 metres (25 ft.)	3 metres (10 ft.)
East Yard	7.5 metres (25 ft.)	2 metres (7 ft.)
Off-Street Parking		
Minimum On-site Parking Requirement for Retail Uses	3 parking spaces per 100 sq. m. (1,075 sq. ft.) of gross floor area with the exception of 1 parking space per 100 sq. m. (1,075 sq. ft.) of gross floor area for furniture stores	1 parking space per 100 sq. m. (1,075 sq. ft.) of gross floor area
Landscaping		
Minimum Landscaping Along the Development Sides of the lot that are Adjacent to a Highway (57 Avenue)	1.5 metres (5 ft.)	1 metre (3 ft.)

- The land-uses permitted under the proposed CD By-law are comparable to those permitted in the existing CD Zone (By-law No. 16452) except that some parking intensive land-uses have been removed given that these land-uses cannot be accommodated with the parking proposed to be provided on-site. The proposed CD Zone does not include any additional land-uses not already allowed on the subject property under the existing CD Zone (By-law No. 16452).
- Certain parking intensive land-uses are permitted in the CD Zone (e.g. retail uses, and office uses) provided they are ancillary to a light impact industrial or warehouse use. However, the CD Zone will limit the maximum permitted gross floor area for retail and office uses within each strata lot. The limit on gross floor area will discourage pure retail or office uses on-site and thereby reduce the impact on the small-scale retail core of Cloverdale Town Centre.
- The proposed reduction in the minimum north yard building setback for Building 3 from 7.5 metres (25 ft.) to 3 metres (10 ft.) will have a negligible impact on adjacent property owners given that the northern façade of proposed Building 3 fronts onto a local road (57 Avenue) and future traffic circle. The applicant also proposes additional window glazing that wraps around the northwest corner of the proposed building and significant landscaping within the 3 metre (10 ft.) wide building setback.

- The applicant is proposing to convey to the City, without compensation, the 25 metre (82 ft.) wide streamside setback area for Cloverdale Canal located along the east lot line. As such, the applicant is proposing to reduce the minimum east yard setback requirement from 7.5 metres (25 ft.) to 2.0 metres (7 ft.). The proposed setback relaxation will enable the applicant to achieve functional building envelopes while providing the minimum on-site parking required under the Zoning By-law. The proposed 2.0 metre (7 ft.) wide east yard setback is deemed sufficient to permit exiting from Building 3 as well as provide a maintenance access corridor for Building 2.
- The proposed development on the subject property is different from typical retail uses given that the retail permitted on-site is ancillary to a light impact industrial or warehouse use and limited to a maximum of 25% of the gross floor area of each strata lot. It is anticipated that not all businesses operating on-site will require a retail component and/or maximize the amount of retail space allowed under the proposed CD By-law. In addition, there is an opportunity for shared parking between the individual uses on-site. As such, staff are supportive of reducing the required parking rate for retail sales, ancillary to an industrial or warehouse use, to 1 parking space per 100 square metres (1,075 sq. ft.) of gross floor area.
- In addition, the applicant is proposing to reduce the minimum landscape buffer requirement from 1.5 metres (5 ft.) to 1 metre (3 ft.) along the south side of future 57 Avenue in order to provide some on-site landscaping on the south side of 57 Avenue without compromising the functionality of the current layout. The proposed landscaping will provide additional on-site screening of the garbage enclosure, PMT and surface parking.

DESIGN PROPOSAL AND REVIEW

Proposed Buildings

- The applicant is proposing to construct three two-storey multi-tenant industrial warehouse buildings with limited ground-floor retail space and second-floor mezzanine office space. A total of 43 retail warehouse units are proposed on-site with either at-grade or dock loading.
- The proposed buildings will have a total floor area of approximately 17,250 square metres (185,688 sq. ft.) with units that range in size from 239 square metres (2,571 sq. ft.) to 889 square metres (9,573 sq. ft.).
- The proposed building materials include tilt-up concrete panels with cast-in reveals, double-glazed storefront windows with anodized mullions and aluminum frames, insulated spandrel glass with aluminum frames, clear anodized aluminum sunshades, steel and corrugated metal canopies, sectional overhead metal doors, metal vision panel doors as well as metal man doors and composite metal panels on steel stud framing.
- The western elevation of Building 1 and northern façade of Building 3 incorporate a colourful vertical expression, in the form of a prominent second-storey composite panel corner feature, along the street frontages (i.e. 172 Street and 57 Avenue) which mark the entrance to the site.
- In addition, all buildings include extensive glazing with contrasting dark grey tilt-up concrete cast-in reveal panels, at regular intervals, along the street facing building facades that provide visual interest as well as break-up the overall building massing.

- The proposed buildings are considered attractive, well-designed with high-quality materials and provide an attractive addition to Cloverdale Town Centre.

Proposed Signage

- The applicant proposes one fascia sign for each unit, located above the overhead roller door. The fascia signs will consist of individual channel letters mounted to aluminum support bars located along the building façade. The fascia signage will not extend more than 0.5 metre (1.6 ft.) from the building façade, in keeping with the Sign By-law.
- In addition, the applicant is proposing one upper-storey fascia sign along the northern and southern façades of Building 1 (i.e. along 56 Avenue and 57 Avenue) as well as the western façade of Building 3 (i.e. 57 Avenue) in order to advertise the building name and/or address only to passing motorists.
- A free-standing sign is not proposed as part of the subject application.

Driveway Access and On-Site parking

- The applicant is proposing to dedicate a modified 12 metre (39 ft.) wide local road for future 57 Avenue to provide access to the subject site as well as construct a traffic circle at the intersection of 57 Avenue, 57 Avenue and 173 Street. The existing landscape buffer to the north of future 57 Avenue will be "hooked" to the remainder of the parent parcel once 57 Avenue is dedicated to the City, as part of the current application.
- All driveway entrances to/from the subject site are located along future 57 Avenue. No vehicular access is permitted from 172 Street, 56 Avenue (No. 10 Highway) or 57 Avenue.
- The applicant will dedicate 1 metre (3 ft.) along the west lot line for future widening of 172 Street. In addition, the applicant is responsible for constructing a modified collector road standard for 172 Street which includes the following:
 - 7 metres (23 ft.) of pavement from centerline;
 - 1.1 metre (4 ft.) wide utility strip; and
 - 1.8 metre (6 ft.) wide sidewalk.

An additional 2.1 metres (7 ft.) of the ultimate road allowance for 172 Street, measured from the eastern edge of the sidewalk to the new property line, will form part of the 5 metre (16 ft.) wide Riparian Areas Regulation (RAR) setback required in order to relocate the existing Class A/O (red-coded) watercourse on the east side of 172 Street onto the subject site. Relocating the Class A/O watercourse will require approval from the Ministry of Forests, Lands and Natural Resource Operations (MFLNRO) and will be undertaken at a later date. In the meantime, the 15.25 metre (50 ft.) wide streamside setback area, along the east side of 172 Street, required to accommodate the relocated Class A/O watercourse will be protected through a combined RC/SROW registered on title.

- Under the Zoning By-law No. 12000, a total of 336 parking spaces are required on-site to accommodate the proposed retail warehouse buildings. The parking ratio applied for retail warehouse uses requires the following:
 - 1 parking stall per 100 square metres (1,075 sq. ft.) of gross floor area for industrial and warehouse uses.
 - 2.75 parking stalls per 100 square metres (1,075 sq. ft.) of gross floor area for retail uses.
 - 2.5 parking stalls per 100 square metres (1,075 sq. ft.) of gross floor area for office uses.
- Unlike typical retail uses, the proposed development on the subject site is unique in that the CD By-law will permit retail sales of products produced as part of a light impact industry use and/or products wholesaled as part of a warehouse use provided that the retail component is not more than 25% of the gross floor area of each strata lot. It is anticipated that not all of the businesses operating on-site will require a retail component or maximize the amount of retail space allowed under the proposed CD By-law. In addition, there is an opportunity for shared parking between the individual uses on-site. As such, staff support reducing the parking rate for retail sales ancillary to a light impact industry or warehouse use on-site to 1 parking space per 100 square metres (1,075 sq. ft.) of gross floor area.
- In addition, a reduced parking rate for retail sales is supportable given that the applicant has volunteered to rezone the subject property to remove other parking intensive land-uses and the existing CD Zone (By-law No. 16452) permits a reduced parking rate of 1.75 parking stalls per 100 square metres (1,075 sq. ft.) of gross floor area for retail furniture stores.

Proposed Landscaping and Pedestrian Connectivity

- The applicant proposes to maintain ownership of the 10 metre (30 ft.) wide established landscape buffer, comprised of a berm and mature conifers, located north of future 57 Avenue. It was previously installed under Development Application No. 5689-0306-00 in order to provide a buffer between the existing townhouse development at 17222 – 57 Avenue and the subject site. The landscape buffer will be protected through a Restrictive Covenant (RC) registered on title and will remain "hooked" to the parent parcel once 57 Avenue is dedicated to the City.
- A 3 metre (10 ft.) wide landscape buffer is proposed along the northern façade of Building 3 in order to mitigate the overall visual impact of reducing the minimum building setback from 7.5 metres (25 ft.) to 3 metres (10 ft.).
- In addition, the applicant is proposing a 1 metre (3 ft.) wide landscape buffer on-site along the south side of future 57 Avenue which provides adequate screening for the garbage enclosure, PMTs and surface parking area.
- The applicant acknowledges that the proposed 1 metre (3 ft.) wide landscape buffer proposed on the south side of 57 Avenue includes planting within the 0.5 metre (1.6 ft.) wide statutory right-of-way (SROW) required on-site to provide the City with access to maintain 57 Avenue. If the City is required to remove the landscaping to accommodate road work, any replanting in this 0.5 metre (1.6 ft.) wide SROW area would be at the owner's expense.

- No additional on-site landscaping is proposed along the south lot line, adjacent to 56 Avenue (No. 10 Highway), given that the restoration planting required within the streamside setback area for the Class A/O (red-coded) watercourse on the north side of 56 Avenue will provide a sufficient landscape buffer and visually screen the surface parking area.
- The OCP guidelines indicate that a treed parking island should be provided for surface parking areas every 6 stalls. In order to provide the required on-site parking, per the Zoning By-law, the applicant is proposing a treed parking island every 10 parking stalls. Given the site constraints, staff support this proposed compromise.
- The applicant is proposing two outdoor amenity areas for employees on the subject site. These employee amenity spaces will consist of picnic tables, decorative paving and low-lying shrubs.
- A 15.25 metre (50 ft.) wide landscape buffer is proposed along the east side of 172 Street in order to accommodate the relocated Class A/O (red-coded) watercourse and ALR buffer. The landscape buffer will be protected through a Restrictive Covenant (RC) registered on title. The buffer will include a mixture of appropriate trees, shrubs and groundcover. The ultimate design of the landscape buffer will require input from a Qualified Environmental Professional (QEP) and further review by City staff to ensure it functions as an ALR buffer and provides appropriate riparian area protection for the Class A/O watercourse.
- A variety of small trees are proposed on the subject site consisting of Vine Maple, Douglas Fir, Western Red Cedar and Super Sonic Red Maple.
- In order to provide the minimum on-site parking required under the Zoning By-law and given site constraints, the applicant is unable to provide an on-site pedestrian connection along the north side of 56 Avenue (No. 10 Highway). As a result, City staff worked with the applicant to secure a publicly accessible north-south pathway from 56 Avenue to 57 Avenue along the east lot line. However, in order to maintain functional building envelopes and meet the minimum parking requirements as well as provide for building access/egress and a maintenance access corridor, the applicant is unable to accommodate the public pathway on-site. In exchange for relocating this public pathway into the streamside setback area, the applicant has agreed to convey the entire setback area for Cloverdale Canal (measured to 25 metres from top-of-bank) to the City, without compensation.
- The north-south pedestrian connection will include a 3 metre (10 ft.) wide multi-use pathway, constructed of gravel or porous paving materials, as well as an additional 2 metre (7 ft.) wide landscape buffer along the western boundary of the proposed pathway. The north-south public sidewalk is important to improving pedestrian connectivity to/from 56 Avenue (No. 10 Highway) and the residential neighbourhood to the north. In addition, the pathway enables residents and future tenants to access the transit stop located along the north side of 56 Avenue (No. 10 Highway), directly adjacent the Brick Yard Station at 17395 – 56 Avenue.
- Two smaller east-west sidewalks, located along the southern façade of Building 2 and Building 3, will provide greater connectivity to/from the subject site. In addition, the sidewalk along the southern façade of Building 3 will provide a direct public access point mid-way along the pedestrian connection adjacent Cloverdale Canal, for individuals who want to access 57 Avenue and/or 172 Street. The proposed sidewalk along the southern façade of Building 3 will be secured by a statutory right-of way for public rights-of-passage.

Development Permit for Farm Protection

- The subject property is located adjacent to the ALR. As such, a Development Permit for Farm Protection is required to ensure an adequate landscape buffer is provided on-site to mitigate any nuisance impacts caused by adjacent farm activities.
- The westerly property (located across 172 Street) is designated "Agricultural" in the OCP and zoned "General Agricultural Zone (A-1)". The property is located within the ALR but outside the Cloverdale Town Centre Plan.
- Under the OCP, the DP Guidelines for Farm Protection prescribe the following minimum setback requirements for non-residential land-uses directly adjacent to the ALR boundary:
 - A minimum building setback from the ALR boundary of 30 metres (98 ft.); and
 - A minimum vegetated buffer width of 15 metres (49 ft.).
- In this particular case, the subject site is separated from the ALR boundary by 172 Street. In addition, the absence of residential land-uses on the subject site considerably reduces the potential impacts from adjacent farm practices.
- Nonetheless, the applicant is proposing a 15.25 metre (50 ft.) wide vegetated landscape buffer along the east side of 172 Street, adjacent to the ALR boundary, as well as a 35 metre (115 ft.) building setback, which exceeds the minimum requirements for non-residential land-uses in the OCP.
- The landscape buffer proposed on-site, along the east side of 172 Street, will reflect current OCP policies and takes into consideration the guidelines for landscape buffer areas next to the ALR as outlined in the Ministry of Agriculture's *Guide to Edge Planning and Landscape Specifications* from the Agricultural Land Commission (ALC).
- The proposed landscape buffer will incorporate a natural landscape feature, in the form of a relocated Class A/O (red-coded) watercourse. As such, the landscape buffer design as well as the planting material will need to also reflect the riparian landscaping requirements for the watercourse. The final buffer design will be reviewed by City staff to ensure the landscaping requirements for the ALR buffer and relocated watercourse are achieved on-site.
- Although the landscape buffer on the east side of 172 Street will remain privately owned, it will be protected by a Section 219 Restrictive Covenant, registered on title, to ensure its long-term maintenance.
- The development application was presented to the Agriculture and Food Policy Advisory Committee (AFPAC) on September 10, 2019 and the committee members supported the development application proceeding to Council.

Development Permit for Sensitive Ecosystems (Streamside Areas)

Background

- Council endorsed the Biodiversity Conservation Strategy (BCS) in July 2014. The BCS included several implementation measures to protect streamside areas, sensitive ecosystems and natural habitat. As part of the BCS, Development Permit Areas (DPAs) were established as an effective measure for protecting the City's natural environmental assets.
- On September 12, 2016, Council approved amendments to the Official Community Plan (OCP) and Zoning By-law No. 12000 to implement a Sensitive Ecosystem DPA as well as Streamside Protection Measures, collectively known as Surrey's Ecosystem Protection Measures, for the protection of the natural environment and riparian areas. These changes were identified in Corporate Report No. R188, which was approved by Council on July 25, 2016. The subsequent amendment by-laws were given Final Adoption on September 12, 2016.
- The OCP is used to identify the specific types of ecosystems that are intended to be protected including Class A, A/O and B watercourses. The Zoning By-law (Part 7A Streamside Protection) is used to identify the specific protection areas that are required to be established, known as the Streamside Setback Area.

Streamside Protection and Riparian Areas

- The applicant has retained a Qualified Environmental Professional (QEP), Ian Whyte of Envirowest Consultants Inc., who prepared an Ecosystem Development Plan (EDP) that identified three (3) watercourses within 50 metres (164 ft.) of the subject site.
- The EDP identifies two (2) Class A/O (red-coded) watercourses located along the east side of 172 Street and north side of 56 Avenue (No. 10 Highway), respectively. A Class A (red-coded) watercourse is located along the east lot line (i.e. Cloverdale Canal).

Class A/O (Red-Coded) Watercourse on 172 Street

- The Class A/O (red-coded) ditch located along the east side of 172 Street will be impacted by the proposed road widening and modified cross-section. As such, the applicant is required to obtain approval under the Water Sustainability Act (WSA) from the Ministry of Forests, Lands and Natural Resource Operations (MFLNRO) to relocate the watercourse onto the subject site.
- City staff requested the applicant investigate the opportunity to relocate the watercourse onto the subject property rather than eliminate the watercourse in order to accommodate the road widening for 172 Street. The relocated watercourse will be incorporated into and serve as a natural feature within the ALR landscape buffer on the east side of 172 Street.
- Under Part 7A (Streamside Protection) of Zoning By-law No. 12000, a Class A/O (red-coded) ditch requires a minimum 10 metre (33 ft.) streamside setback measured from top-of-bank.

- To accommodate the watercourse, the applicant will provide a 15.25 metre (50 ft.) wide setback along the west lot line. This setback includes the 10 metre streamside setback area, per Par 7A of the Zoning By-law, as well as the 5 metre Riparian Areas Regulation (RAR) setback. In order to avoid delays with obtaining approval from MFLNRO to relocate the watercourse under the current development application, the applicant will protect the entire 15.25 metre (50 ft.) wide area with a combined Restrictive Covenant/Statutory Right-of-Way. This enables the applicant to pursue future approval from MFLNRO to relocate the watercourse without holding up the proposed development.

Class A/O (Red-Coded) Watercourse on 56 Avenue (No. 10 Highway)

- A Class A/O (red-coded) watercourse is located within the current road right-of-way for 56 Avenue (No. 10 Highway) which is under the jurisdiction of the Ministry of Transportation and Infrastructure (MOTI).
- Under Part 7A (Streamside Protection) of Zoning By-law No. 12000, the Class A/O (red-coded) ditch requires a streamside setback of varying widths from 6 metres (20 ft.) to 10 metres (33 ft.) on the subject site.
- The applicant proposes to register a combined Restrictive Covenant/Statutory Right-of-Way over the portion of the streamside setback area located on the subject site.

Class A (Red-Coded) Watercourse (Cloverdale Canal)

- A Class A (red-coded) watercourse (Cloverdale Canal) is located along the eastern boundary of the subject site.
- Under Part 7A (Streamside Protection) of Zoning By-law No. 12000, the Class A (red-coded) watercourse requires a streamside setback of 25 metres (82 ft.), measured from top-of-bank.
- The applicant will convey the streamside setback area for the Class A (red-coded) watercourse (i.e. Lot 1) to the City, without compensation, as part of this development application.
- An additional 2 metre (7 ft.) wide building setback is proposed for Building 2 and Building 3 along the eastern boundary of the subject site, adjacent to Cloverdale Canal, to prevent any future encroachment into the streamside setback area for construction and/or maintenance purposes.

Development Permit for Hazards Lands (Flood Prone Areas)

- The subject site is located within a Development Permit Area (DPA) for Hazard Lands (Flood Prone Areas) in the OCP. The applicant submitted a letter provided by Binnie Consulting Ltd. dated January 30, 2019 as well as a geotechnical report prepared by GeoPacific Consultants Ltd. dated July 26, 2019 which indicate the 200-year Flood Construction Level (FCL) for the subject site is 2.4 metres geodetic.
- The applicant will be required to register a Section 219 Restrictive Covenant to restrict the habitable floor area above the Flood Construction Level (FCL) and to inform current and future owners that the subject property is located within a flood plain area.

PRE-NOTIFICATION

The Development Proposal Sign was installed on the subject site on March 29, 2019 and pre-notification letters were mailed out to residents within 100 metres (300 ft.) of the subject site on August 22, 2019. To date, staff have received the following responses from area residents (staff comments in italics):

- City staff have received letters of support from the Cloverdale Business Improvement Association (BIA) and Cloverdale District Chamber of Commerce (Appendix VI) citing the following reasons:
 - The Cloverdale District Chamber of Commerce noted this high-quality proposal would fit nicely into the existing business mix and provides a welcome addition to Cloverdale Town Centre.
 - The Board of Directors for the Cloverdale BIA unanimously support the proposed retail warehouse development noting it is of high-quality and complements the Cloverdale Town Centre by providing much needed warehouse space. Given the property has remained vacant for some time, the proposed development will bolster the economic sustainability of Cloverdale Town Centre and provide centrally located mixed employment opportunities.
- The applicant and City staff have received multiple correspondence from the Cloverdale Community Association (CCA) indicating fundamental concerns with the proposed land-use, and some secondary concerns as outlined below. The CCA has recently indicated that it intends to submit a formal letter reiterating its concerns with the proposed development on the subject site. However, the CCA is unable to provide the letter in time for it to be included in the Planning Report. Should the formal letter be received in advance of the Regular Council Land-Use Meeting, the letter will be provided on table for Council's consideration.
 - The proposed development should include more "big box stores" (e.g. Walmart, Home Depot or Canadian Tire).
 - The proposed land-uses on-site could generate potential noise (e.g. air gun wrenches).
 - The proposed multi-use pathway adjacent Cloverdale Canal would create safety and security concerns.
 - There are several existing warehouse/office buildings in Cloverdale that remain vacant.
 - The applicant should enclose the existing Class A/O ditch along 172 Street.
 - The proposed development should include a traffic light at 172 Street and 56 Avenue (No. 10 Highway) as well as provide a traffic circle at 172 Street and 58 Avenue.

(The applicant is proposing to relocate the Class A/O watercourse along the east side of 172 Street onto the subject property, thereby allowing for widening of 172 Street. This will facilitate removal of the existing ditch and allow for construction of a boulevard and sidewalk.

A traffic light at 172 Street and 56 Avenue (No. 10 Highway) is part of the long-term plans to improve this intersection. However, providing the traffic light and traffic circle at 172 Street and 58 Avenue is beyond the scope of this application.

The majority of activities taking place on-site will be located within the proposed buildings thereby reducing the potential for noise, odours, etc. In addition, the buildings are designed to attract businesses requiring industrial or warehouse space with ancillary showroom and office and these uses are not expected to generate high levels of noise.

The applicant is proposing strata-titled high-end warehouse buildings designed to attract businesses that require a combination of showroom, office and warehouse space that cannot be accommodated elsewhere in Cloverdale Town Centre.

The provision of large-format retailers is difficult to accommodate on-site given the large amount of parking needed. In addition, "big box stores" could further compete with the small-scale retail businesses located within Cloverdale Town Centre. In addition, the proposed uses on the subject site comply with the existing zoning (CD By-law No. 16452).

The proposed north-south multi-use pathway proposed adjacent to Cloverdale Canal is integral to improving overall pedestrian connectivity between 56 Avenue (No. 10 Highway) and the residential neighbourhood to the north. In addition, it provides access to the bus stop along the north side of 56 Avenue (No. 10 Highway) adjacent to Brick Yard Station.)

- Two residents expressed concern about the proposed retail warehouse buildings not fitting in with the residential character of the neighbourhood and could negatively impact property values.

(The subject site is designated "Highway Commercial" in the Cloverdale Town Centre Plan, located adjacent to 56 Avenue [No. 10 Highway] and maintains the adjacent commercial character of adjacent developments including Brick Yard Station [a local commercial node] and Trail Appliances [currently under construction].

Moreover, the proposed buildings are well-designed, of high-quality materials and provide an attractive addition to Cloverdale Town Centre. The proposed development is also located on the south side of future 57 Avenue and preserves a significant coniferous landscape buffer, located along the north lot line, which visually screens the proposed development from the adjacent residential land-uses.)

- Two residents expressed concern about existing vacant retail warehouse space within the area.

(The applicant has indicated that a recent market study by CBRE Research has demonstrated that industrial vacancy rates are at an all-time low across the Metro Vancouver region at 1.4% with even lower vacancy rates in Surrey at 1%. The applicant has attracted considerable interest from the market for the proposed development and believes it will provide a vibrant home for many local area small businesses and serve the Cloverdale community.)

- Three residents expressed a preference for retail outlet and big box stores similar to Panorama Village (152 Street and 56 Avenue) or Grandview Corners (160 Street and 24 Avenue) while one resident supported increased neighbourhood commercial, within walking distance, to support the increased residential density in Cloverdale.

(As noted above, it would be difficult to accommodate large-format retailers on the subject site given the amount of parking needed. Retail outlet stores and big box stores could compete with existing small-scale retail businesses located in Cloverdale Town Centre.

In addition, the Cloverdale Town Centre Plan vision was to attract commercial activities to the town "core", along 176 Street north of 56 Avenue, with increased residential density being provided within walking distance of these "Town Centre Commercial" designated land-uses.)

TREES

- Ian MacLachlan, ISA Certified Arborist of Diamond Head Consulting Ltd., prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Birch	1	1	0
Cherry	6	0	6
Maple	4	0	4
Poplar	6	0	6
Coniferous Trees			
Cedar	5	0	5
Douglas-fir	23	3	20
Pine	23	2	21
Spruce	2	0	2
Total	70	6	64
Additional Trees in the proposed Riparian Area	N/A	N/A	N/A

Total Replacement Trees Proposed (excluding Boulevard Street Trees)	19
Total Retained and Replacement Trees	83
Contribution to the Green City Fund	N/A

- The Arborist Assessment states that there is a total of 70 protected trees on the site. It was determined that 64 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, road dedication, building footprints, and proposed lot grading.
- A detailed planting plan prepared by a Registered Professional Biologist (R.P. Bio.) and an associated P-15 agreement are required for the monitoring and maintenance of the proposed trees to be planted in the conveyed riparian area.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 12 replacement trees on the site. The applicant is proposing 19 replacement trees, thereby exceeding City requirements.
- In summary, a total of 83 trees are proposed to be retained or replaced on the site with no contribution to the Green City Fund required as part of this development application.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on August 15, 2019. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The proposal complies with the Mixed Employment designation in the OCP and Metro Vancouver Regional Growth strategy (RGS). • The proposal complies with the Highway Commercial designation in the Cloverdale Town Centre Plan.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • None proposed.

Sustainability Criteria	Sustainable Development Features Summary
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The proposal includes Low Impact Development Standards (LIDS) including the following: [1] absorbent soils; [2] natural landscaping; [3] dry swales; and sediment control devices. • The applicant will protect the streamside setback area for the Class A/O (red-coded) watercourse on the north side of 56 Avenue with a combined Restrictive Covenant/Statutory Right-of-Way. • The applicant will convey the streamside setback area, measured to 25 metres (82 ft.) from top-of-bank, for Cloverdale Canal (i.e. Lot 1) to the City, without compensation. • The applicant will protect a 15.25 metre (50 ft.) streamside setback area for the Class A/O (red-coded) watercourse on the east side of 172 Street with a combined Restrictive Covenant/Statutory Right-of-Way and seek approval from MFLNRO to relocate the watercourse on-site. • The tenants will have access to recycling pick-up services.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The proposal includes shared parking and visible/secure all-weather bicycle parking provided on-site. • The proposed development includes several east-west sidewalks that connect to the multi-use pathway adjacent to Cloverdale Canal. This pathway will ultimately improve pedestrian connectivity to transit on 56 Avenue (No. 10 Highway) from the surrounding residential area. • The proposal includes showers and change facilities as well as bike racks and/or bicycle lockers on-site. • The subject property is adjacent to a transit route and within 175 metres (575 ft.) of a bus stop on the north side of No. 10 Highway.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The proposed buildings are designed to promote accessibility.
6. Green Certification (F1)	<ul style="list-style-type: none"> • None proposed.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • Information regarding the proposed development was provided to adjacent property owners through the standard pre-notification process. • The applicant will provide a package for prospective purchasers outlining end-of-trip facilities, bicycle locker storage, etc.

ADVISORY DESIGN PANEL

The proposal was not forwarded to the Advisory Design Panel (ADP) for comment but reviewed internally by City staff and deemed generally acceptable in terms of form, design and character.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Project Data Sheets
Appendix II.	Site Plan, Building Elevation Drawings and Landscape Plans
Appendix III.	Engineering Summary
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	Agricultural and Food Security Advisory Committee Minutes
Appendix VI.	Letters of Support from the Cloverdale Business Improvement Association and Cloverdale District Chamber of Commerce
Appendix VII.	NCP Amendment Map
Appendix VIII.	Proposed CD By-law

INFORMATION AVAILABLE ON FILE

- Geotechnical Study Prepared by GeoPacific Consultants Ltd. Dated July 26, 2019.
- Environmental Report Prepared by Envirowest Consultants Inc. Dated August 19, 2019.
- Market Study Prepared by CBRE Research Dated Q2, 2019.
- Complete Set of Architectural and Landscape Plans prepared by Christopher Bozyk Architects Ltd. and Durante Kreuk Ltd., respectively, dated September 27, 2019 and September 24, 2019.

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

MRJ/cm

DEVELOPMENT DATA SHEET

Appendix I

Proposed Zoning: CD

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA*		
Gross Total	N/A	10.47 acres
Road Widening area		
Undevelopable area		
Net Total	N/A	6.8 acres
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage	50%	48%
SETBACKS (in metres)	See Below	See Below
Front		
Rear		
Side #1 (N,S,E, or W)		
Side #2 (N,S,E, or W)		
Side #3 (N, S, E or W)		
BUILDING HEIGHT (in metres/storeys)		
Principal	16 m.	10.26 m.
Accessory	N/A	N/A
NUMBER OF RESIDENTIAL UNITS	N/A	N/A
FLOOR AREA: Residential	N/A	N/A
FLOOR AREA: Commercial	N/A	N/A
FLOOR AREA: Industrial	N/A	
Retail		2,047 sq. m.
Office		3,967 sq. m.
Warehouse		11,238 sq. m.
Total		17,250 sq. m.
FLOOR AREA: Institutional		N/A
TOTAL BUILDING FLOOR AREA		17,250 sq. m.

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)	N/A	N/A
# of units/ha /# units/acre (net)	N/A	N/A
FAR (gross)	1.0	0.41
FAR (net)	N/A	0.63
AMENITY SPACE (area in square metres)	N/A	N/A
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial	N/A	N/A
Industrial	N/A	61 stalls
Retail	N/A	99 stalls
Office	N/A	112 stalls
Warehouse		
Residential	N/A	N/A
Institutional	N/A	N/A
Total Number of Parking Spaces	N/A	272 stalls
Number of accessible stalls	5 stalls	5 stalls
Number of small cars	95 stalls	25 stalls
Tandem Parking Spaces	N/A	N/A
Size of Tandem Parking Spaces	N/A	N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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MULTIPLE BUILDINGS DATA SHEET

Proposed Zoning: CD

Required Development Data	Building #1	Building #2	Building #3
SETBACK (in metres)			
Front (North)	+7.5 m.	+7.5 m.	3 m.
Rear (South)	+7.5 m.	+7.5 m.	+7.5 m.
Side #1 (East)	+7.5 m.	2 m.	2 m.
Side #2 (West)	23.20 m.	+7.5 m.	+7.5 m.
BUILDING HEIGHT (in metres/storeys)	N/A	N/A	N/A
NUMBER OF RESIDENTIAL UNITS/ SIZE RANGE	N/A	N/A	N/A
Bachelor			
One Bedroom			
Two Bedroom			
Three Bedroom +			
TOTAL FLOOR AREA			

INTRAURBAN CROSSROAD

17277 - 56 AVE (HWY 10), SURREY, BC



**CHRISTOPHER
BOZYK ARCHITECTS LTD**

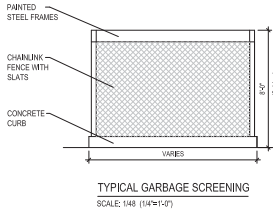
414-611 ALEXANDER STREET, VANCOUVER BC V6A 1E1
PHONE (604) 251-3440 FAX (604) 251-3848

LOCATION/ CONTEXT



SUBJECT SITE

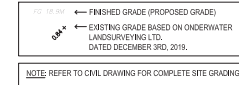
CONTEXT PLAN
SCALE: 1:5000 (1"=430')



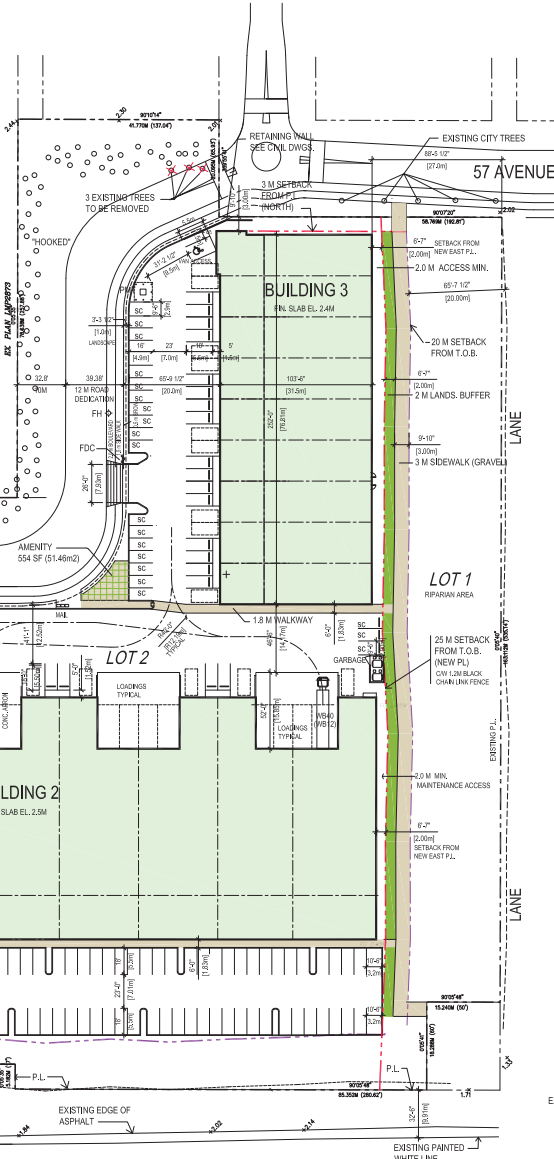
STATISTICS

CIVIC ADDRESS:	17277 - HIGHWAY 10 (56 AVENUE)	
LEGAL DESCRIPTION:	LOT 1, SECTION 7, TOWNSHIP 8, NWD PLAN BCP 4101	
ZONE:	CD BY-LAW 16452	
	PERMITTED REQUIRED	PROPOSED
SITE AREA	N/A	4.23 HA (10.47 ACRES - GROSS) 2.75 HA (6.80 ACRES - NET EXCLUDING ROAD DEDICATION & ENVIRONMENTAL SETBACKS)
FLOOR AREA	455,584 SF (42,324 m ²), MAX.	BLDG. 1: ± 7,004 m ² (75,402 S.F.) MAIN FLOOR: 4,954 m ² (53,326 S.F.) 1,514 m ² (16,300 S.F.) RETAIL + 3,940 m ² (42,406 S.F.) WAREHOUSE 2ND FLOOR: 2,050 m ² (22,076 S.F.) OFFICE BLDG. 2: ± 7,098 m ² (76,480 S.F.) MAIN FLOOR: 5,894 m ² (63,440 S.F.) 1,930 m ² (21,088 S.F.) RETAIL + 4,884 m ² (52,342 S.F.) WAREHOUSE 2ND FLOOR: 1,204 m ² (12,969 S.F.) OFFICE BLDG. 3: ± 3,136 m ² (33,760 S.F.) MAIN FLOOR: 2,423 m ² (26,082 S.F.) WAREHOUSE 2ND FLOOR: 713 m ² (7,678 S.F.) OFFICE TOTAL FLOOR AREA: ± 17,238 m ² (185,562 S.F.) MAIN FLOORS: ± 13,270 m ² (142,848 S.F.) 2,088 m ² (22,290 S.F.) RETAIL + 11,202 m ² (120,588 S.F.) WAREHOUSE 2ND FLOORS: ± 3,967 m ² (42,714 S.F.) OFFICE
F.A.R.	1.0	0.63 (BASED ON NET SITE AREA) 0.41 (BASED ON GROSS SITE AREA)
HEIGHT	16 m (52'5")	10.28m (33.88')
LOT COVERAGE	50% MAX.	48 % (BASED ON NET SITE AREA) 31 % (BASED ON GROSS SITE AREA)
SETBACKS	WEST (172 STREET) 7.5 m (24'6") EAST 7.5m (24'6") NORTH 7.5m (24'6") SOUTH (HIGHWAY 10) 7.5m (24'6")	22.8m (74'9") 2.0m (6'6") 3.8m (12'4") 25.87m (84.87')
PARKING	272 CARS BUILDING 1: 120 CARS 42,406 SF WAREHOUSE: 39 22,558 SF OFFICE : 31 10,500 SF RETAIL : 30 BUILDING 2: 110 CARS 52,352 SF WAREHOUSE: 49 12,969 SF OFFICE : 30 11,088 SF RETAIL : 31 BUILDING 3: 42 CARS 26,082 SF WAREHOUSE: 24 7,678 SF OFFICE : 18	TOTAL: 272 CARS ± ACCESSIBLE PARKING SPACES (3 VAN ACCESS, 2 REG. ACCESS) 36 S.C.(2.6 m x 4.9 m) 231 REGULAR SIZE PARKING SPACES (2.6 m x 5.5 m) (DRIVEWAY MINIMUM WIDTH: FM OR 23')

LEGEND:



CHRISTOPHER BOZYK ARCHITECTS LTD.
414 - 611 ALEXANDER STREET VANCOUVER BC V6A 1E1
PHONE (604) 251-3440 FAX (604) 251-3848



REVISION	DATE	DESCRIPTION
07	SEP 27, 19	RE-ISSUE FOR DP
08	SEP 26, 19	ISSUE FOR REVIEW & COORDINATION
09	SEP 20, 19	RE-ISSUE FOR REVIEW
04	SEP 09, 19	RE-ISSUE FOR DP
03	AUG 16, 19	RE-ISSUE FOR DP
02	JUNE 25, 19	RE-ISSUE FOR DP
01	JUN 25, 19	ISSUE FOR DP

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Written documents shall have precedence over verbal discussions. Contractors shall verify and be responsible for all dimensions and conditions on the job. All repair, alterations of errors, discrepancies, or omissions shall be noted in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification.



INTRAURBAN CROSSROAD

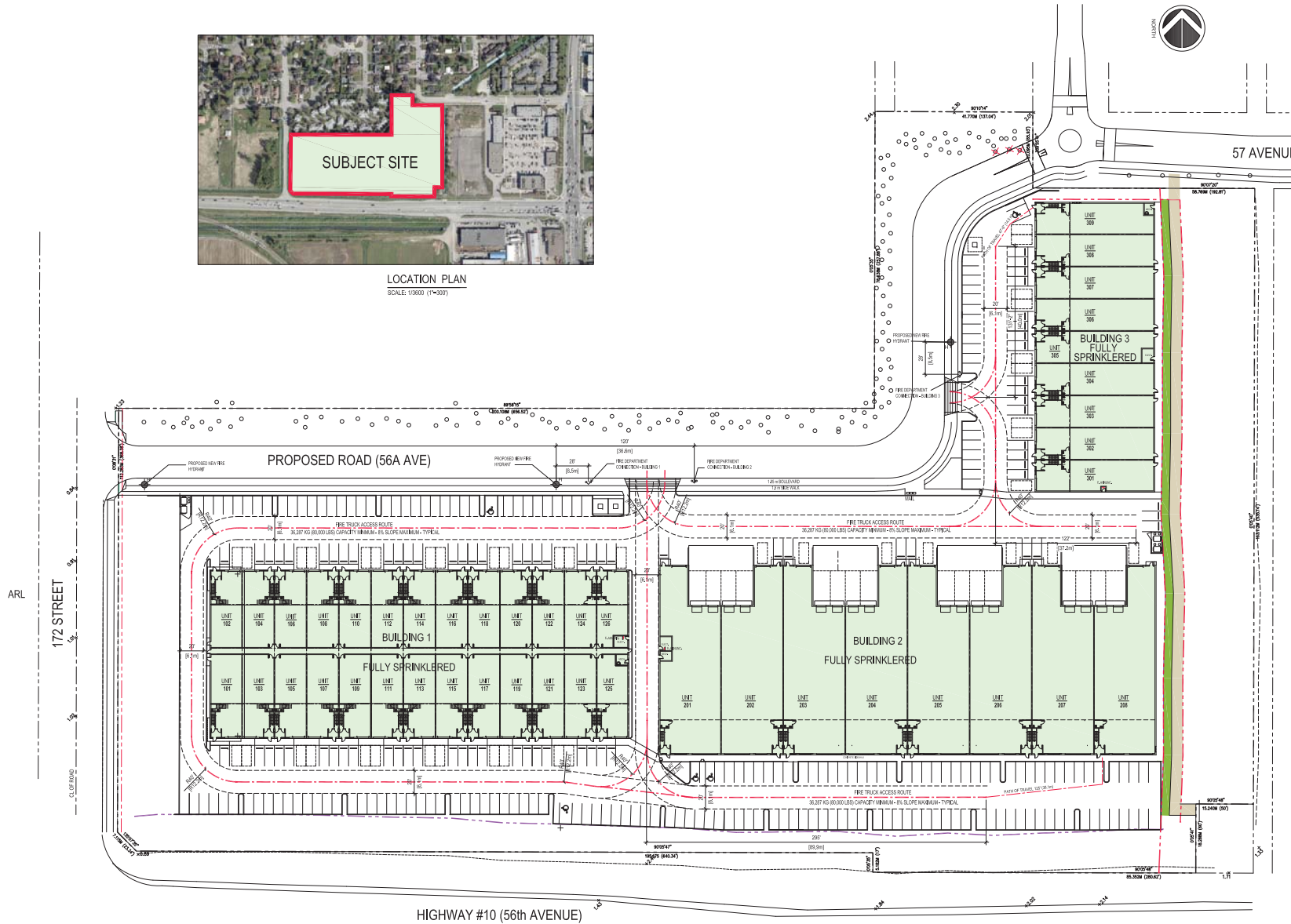
17277-56 AVENUE, SURREY, BC
SITE PLAN

SCALE: 1" = 40'0" @ 24x36 OCT, 2018 DRAWING: D1
PROJECT NUMBER: 216104

A.101



LOCATION PLAN
 SCALE: 1:3600 (1"=300')



REVISION	DATE	DESCRIPTION
07	SEP 27, 19	RE-ISSUE FOR DP
06	SEP 26, 19	ISSUE FOR REVIEW & COORDINATION
04	SEP 09, 19	RE-ISSUE FOR DP
03	AUG 16, 19	RE-ISSUE FOR DP
02	JUL 02, 19	RE-ISSUE FOR DP
01	JAN 25, 19	ISSUE FOR DP

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INTRAURBAN CROSSROAD

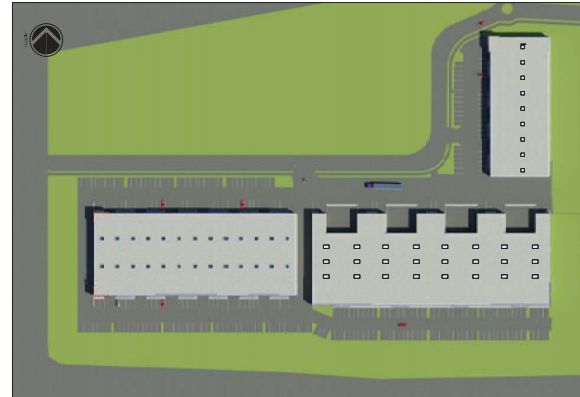
17277-56 AVENUE, SURREY, BC
 FIRE DEPARTMENT SITE PLAN

SCALE: 1" = 40'-0" @ 24x36 OCT. 2018 DRAWING: D1
 PROJECT NUMBER: 216714

A.102



MARCH 21, 10AM SHADOW DIAGRAM
1/8" (1" = 8'-0")



JUNE 21, 10AM SHADOW DIAGRAM
1/8" (1" = 8'-0")



MARCH 21, 12PM SHADOW DIAGRAM
1/8" (1" = 8'-0")



JUNE 21, 12PM SHADOW DIAGRAM
1/8" (1" = 8'-0")



MARCH 21, 2PM SHADOW DIAGRAM
1/8" (1" = 8'-0")



JUNE 21, 2PM SHADOW DIAGRAM
1/8" (1" = 8'-0")

REVISION	DATE	DESCRIPTION
01	OCT 16, 19	ISSUE FOR DP

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pcurban
properly re-imagined

INTRAURBAN CROSSROAD

17277-56 AVENUE, SURREY, BC
SHADOW DIAGRAMS

SCALE: 1" = 8'-0" @ 36"x48" OCT, 2018 DRAWING: DH
PROJECT NUMBER: 218014



57 AVENUE ELEVATION
1/240 (1" = 20'-0")



56 AVENUE (HWY 10) ELEVATION
1/240 (1" = 20'-0")



172 STREET ELEVATION
1/240 (1" = 20'-0")

REVISION	DATE	DESCRIPTION
01	OCT 16, 19	ISSUE FOR DP

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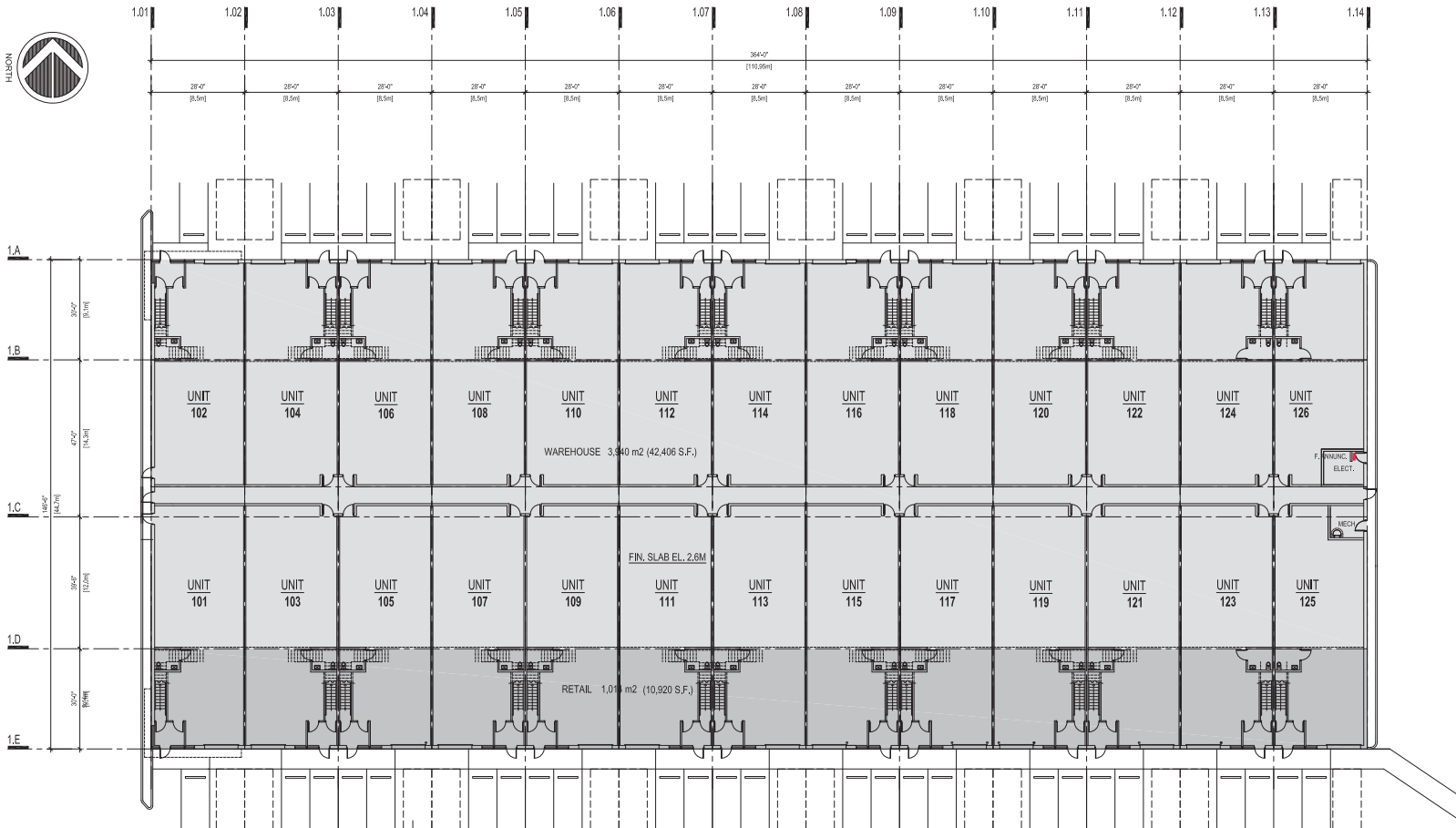
When dimensions shall have precedence over scaled dimensions, Contractors shall verify and be responsible for all dimensions and conditions on the job shall require clarification of errors, discrepancies, or omissions contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification.



INTRAURBAN CROSSROAD

17277-56 AVENUE, SURREY, BC
**STREET ELEVATIONS
(LARGER SCALE)**

SCALE: 1" = 20'-0" @ 36"x48" OCT, 2018 DRAWING: 01H
PROJECT NUMBER: 218014



RETAIL 1,014 m² (10,920 S.F.)
 WAREHOUSE 3,940 m² (42,406 S.F.)
 MAIN FLOOR TOTAL 4954 m² (53,326 S.F.)

REVISION	DATE	DESCRIPTION
06	SEP 27, 19	RE-ISSUE FOR DP
04	SEP 09, 19	RE-ISSUE FOR DP
03	AUG 16, 19	RE-ISSUE FOR DP
02	JUN 29, 19	RE-ISSUE FOR DP
01	JAN 25, 19	ISSUE FOR DP

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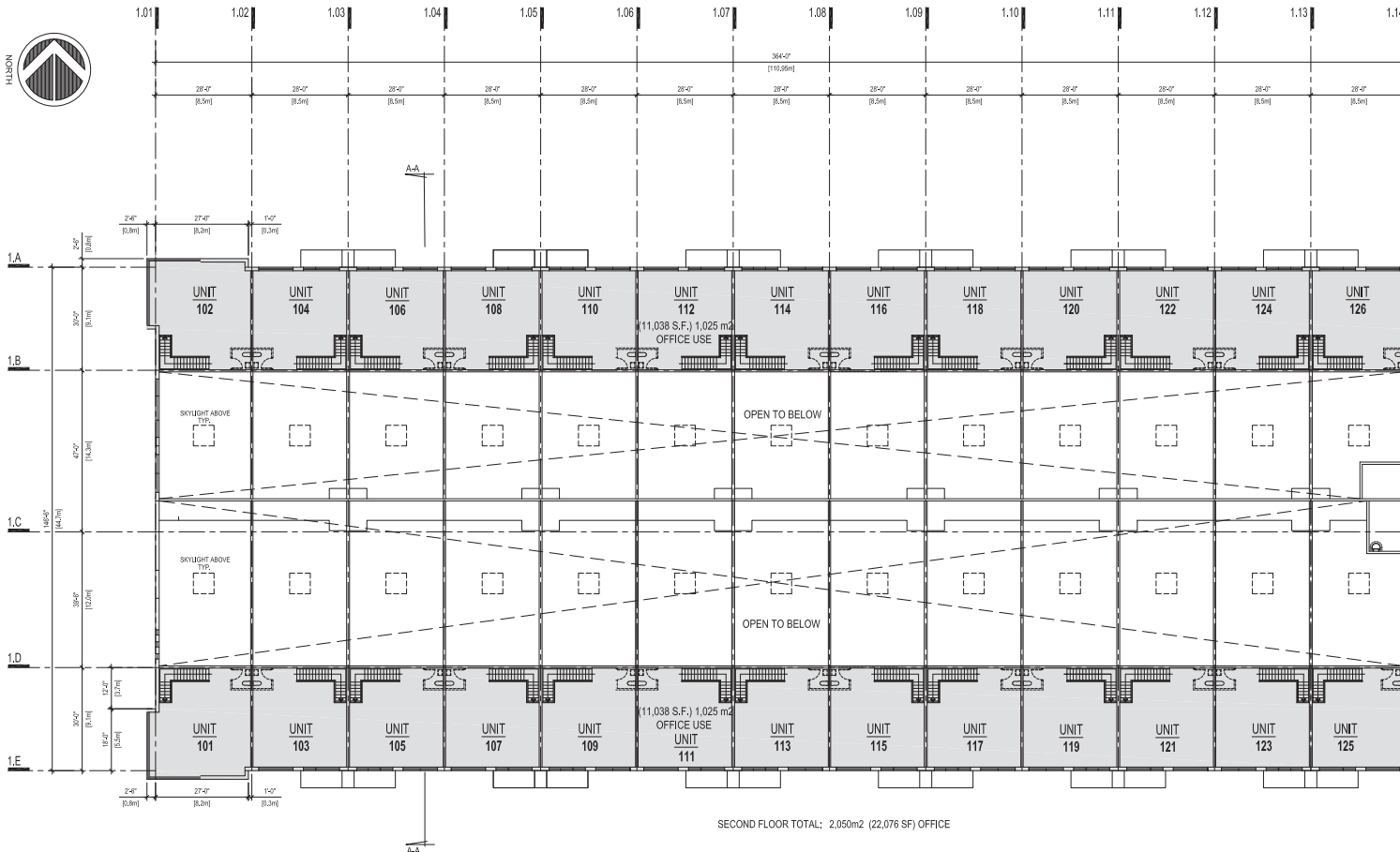
INTRAURBAN CROSSROAD

17277-56 AVENUE, SURREY, BC
 BUILDING 1 - MAIN FLOOR

SCALE: 1/8" = 1'-0" @ 24x36 OCT. 2018 DRAWING: D1
 PROJECT NUMBER: 216714

1 BUILDING 1 - MAIN FLOOR PLAN
 SCALE: 1:192 (1/8" = 1'-0")

A1.201



SECOND FLOOR TOTAL: 2,050m2 (22,076 SF) OFFICE

1 BUILDING 1 - SECOND FLOOR PLAN
 SCALE: 1/16" @ 24x36 (1/16" = 1'-0")

REVISION	DATE	DESCRIPTION
06	SEP 27, 19	RE-ISSUE FOR DP
04	SEP 09, 19	RE-ISSUE FOR DP
03	AUG 16, 19	RE-ISSUE FOR DP
02	JUN 29, 19	RE-ISSUE FOR DP
01	JAN 25, 19	ISSUE FOR DP

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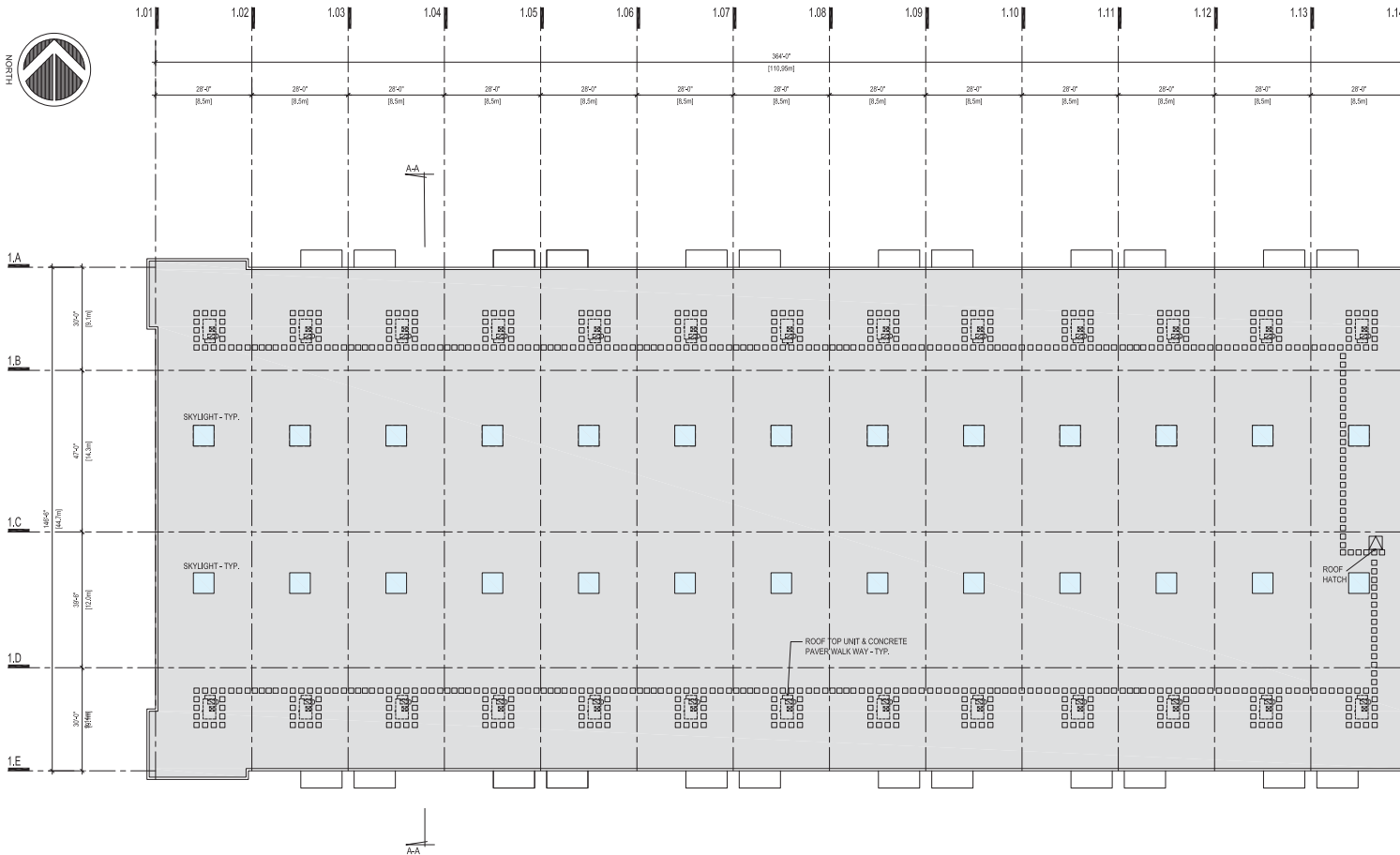


INTRAURBAN CROSSROAD

17277-56 AVENUE, SURREY, BC
BUILDING 1 - SECOND FLOOR

SCALE: 1/16" = 1'-0" @ 24x36 OCT, 2018 DRAWING: D1
 PROJECT NUMBER: 218714

A1.202



REVISION	DATE	DESCRIPTION
06	SEP 27, 19	RE-ISSUE FOR DP
04	SEP 09, 19	RE-ISSUE FOR DP
03	AUG 16, 19	RE-ISSUE FOR DP
02	JUN 29, 19	RE-ISSUE FOR DP
01	JAN 25, 19	ISSUE FOR DP

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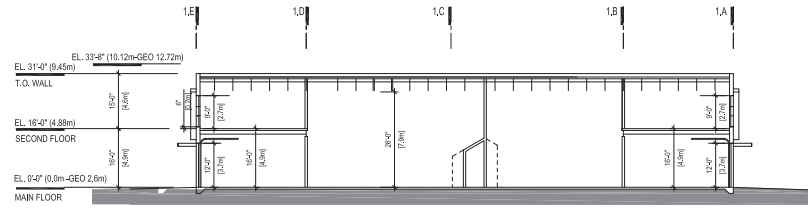
INTRAURBAN CROSSROAD

17277-56 AVENUE, SURREY, BC
BUILDING 1 - ROOF PLAN

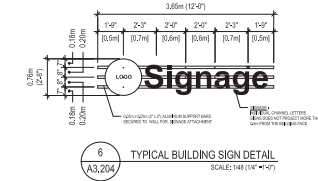
SCALE: 1/8" = 1'-0" @ 24x36 OCT. 2018 DRAWING: D1
 PROJECT NUMBER: 218714

1 BUILDING 1 - ROOF PLAN
 SCALE: 1/8" = 1'-0" @ 24x36

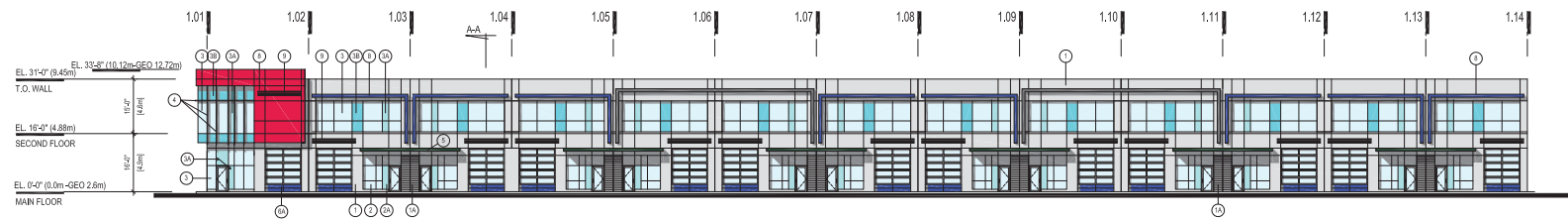
A1.203



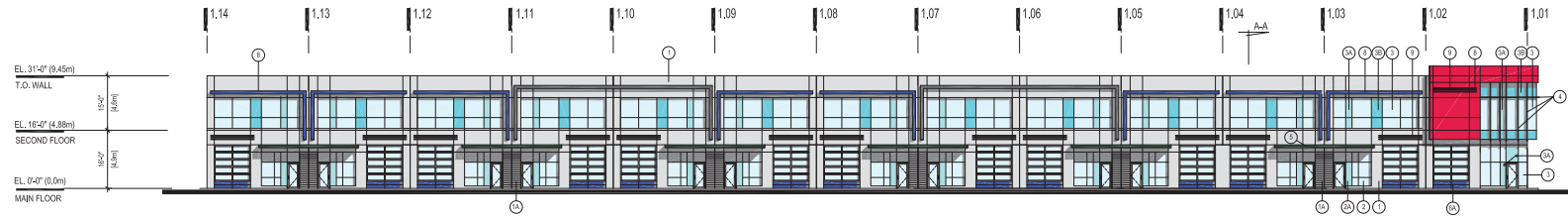
1 BUILDING 1 - BLDG. SECTION A-A
 1/32 (1/8" = 1'-0")



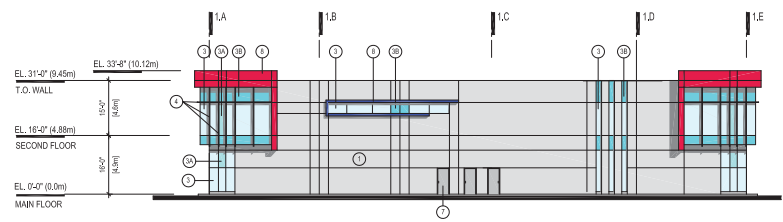
- MATERIALS/ COLOURS**
- 1 1.5"UP CONCRETE PANELS WITH CAST-IN REVEALS - PAINT LIGHT GREY
 - 2 1.5"UP CONCRETE PANELS WITH CAST-IN REVEALS - PAINT DARK GREY
 - 3 DOUBLE GLAZED WITH ALUMINUM FRAMES - CLEAR GLASS - STORE FRONT CLEAR ANODIZED MULLION
 - 4 DOUBLE GLAZED WITH ALUMINUM FRAMES - VIBRON BLUE GLASS - STORE FRONT CLEAR ANODIZED MULLION
 - 5 DOUBLE GLAZED WITH ALUMINUM FRAMES - CLEAR GLASS - CURTAIN WALL CLEAR ANODIZED MULLION
 - 6 DOUBLE GLAZED WITH ALUMINUM FRAMES - VIBRON BLUE GLASS - CURTAIN WALL CLEAR ANODIZED MULLION
 - 7 INSULATED SPANDREL GLASS WITH ALUMINUM FRAMES - BLUE GLASS - CURTAIN WALL CLEAR ANODIZED MULLION
 - 8 ALUMINUM SUNSHADE - CLEAR ANODIZED
 - 9 STEEL & CORRUGATED METAL CANOPY - PAINTED
 - 10 SECTIONAL O.H. METAL DOOR - PAINTED BLUE
 - 11 SECTIONAL O.H. METAL PANEL DOOR WITH VIBRON PANELS - PAINTED BLUE
 - 12 METAL MAN DOOR - PAINTED DARK GREY
 - 13 COMPOSITE METAL PANEL - ALUCLADDING OR APPROVED EQUAL ON STEEL STUD FRAMING - COLOUR (RED, BLUE, DARK GREY)
 - 14 2" x 2" ALUMINUM SUPPORT RAIL SLATS FOR FUTURE SIGNAGE ATTACHMENT



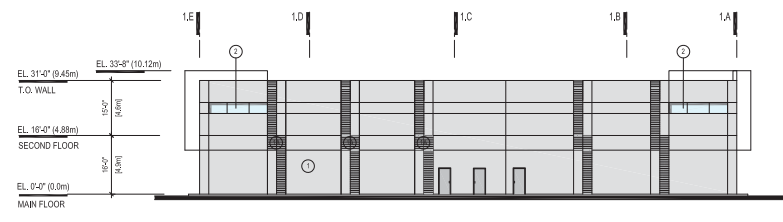
2 BUILDING 1 - SOUTH ELEVATION (HIGHWAY # 10 ELEVATION)
 1/32 (1/8" = 1'-0")



3 BUILDING 1 - NORTH ELEVATION
 1/32 (1/8" = 1'-0")



4 BUILDING 1 - WEST ELEVATION (172 ND STREET)
 1/32 (1/8" = 1'-0")



5 BUILDING 1 - EAST ELEVATION
 1/32 (1/8" = 1'-0")

REVISION	DATE	DESCRIPTION
06	SEP 27, 19	RE-ISSUE FOR DP
04	SEP 09, 19	RE-ISSUE FOR DP
03	AUG 16, 19	RE-ISSUE FOR DP
02	JUN 29, 19	RE-ISSUE FOR DP
01	JAN 25, 19	ISSUE FOR DP

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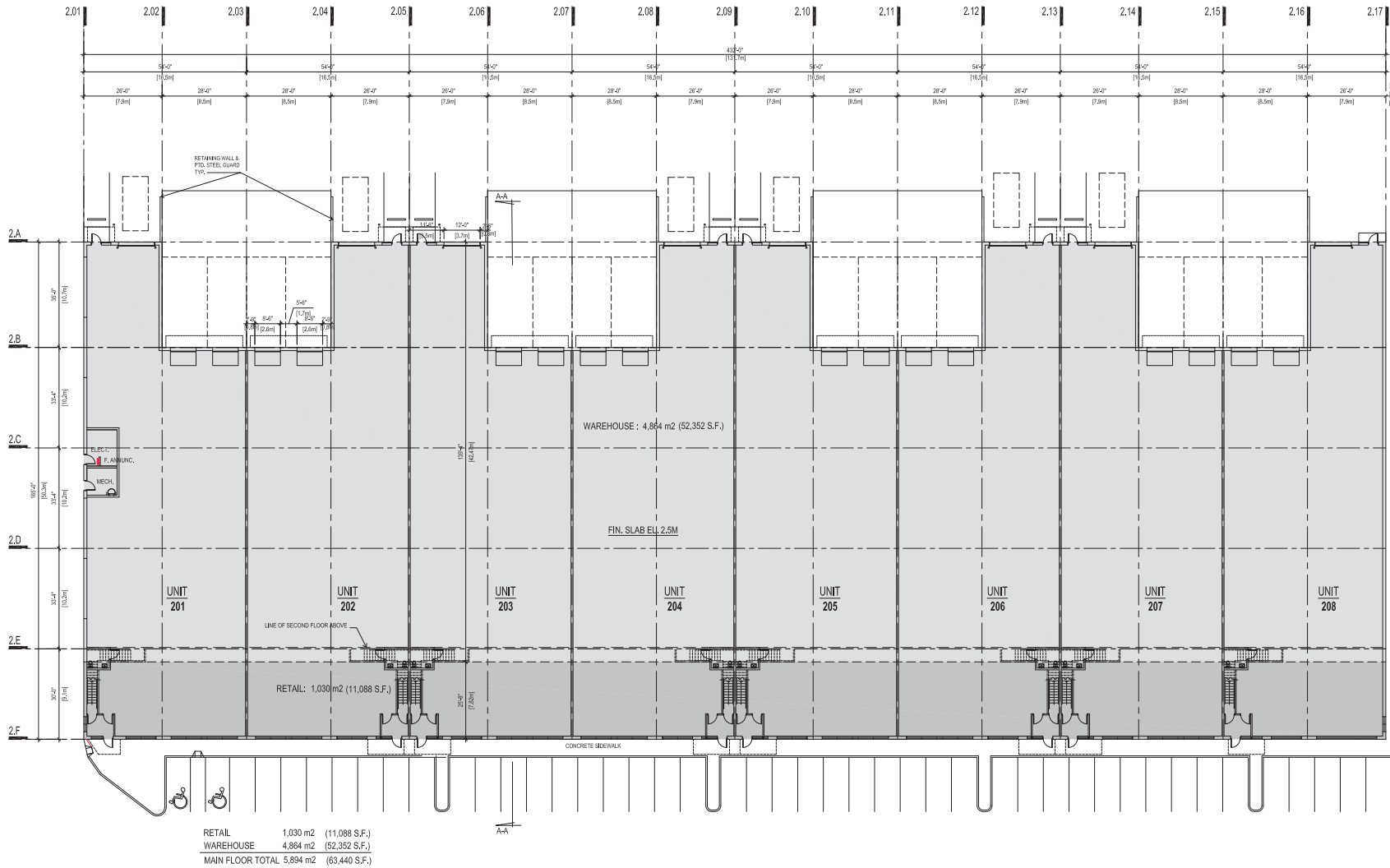


INTRAURBAN CROSSROAD

1727-56 AVENUE, SURREY, BC
BUILDING 1 - BLDG. SECTION ELEVATIONS

SCALE: 1/8" = 1'-0" @ 24x36 OCT. 2018 DRAWING: D1
 PROJECT NUMBER: 216104

A1.204



REVISION	DATE	DESCRIPTION
06	SEP 27, 19	RE-ISSUE FOR DP
04	SEP 09, 19	RE-ISSUE FOR DP
03	AUG 16, 19	RE-ISSUE FOR DP
02	JUN 29, 19	RE-ISSUE FOR DP
01	JAN 25, 19	ISSUE FOR DP

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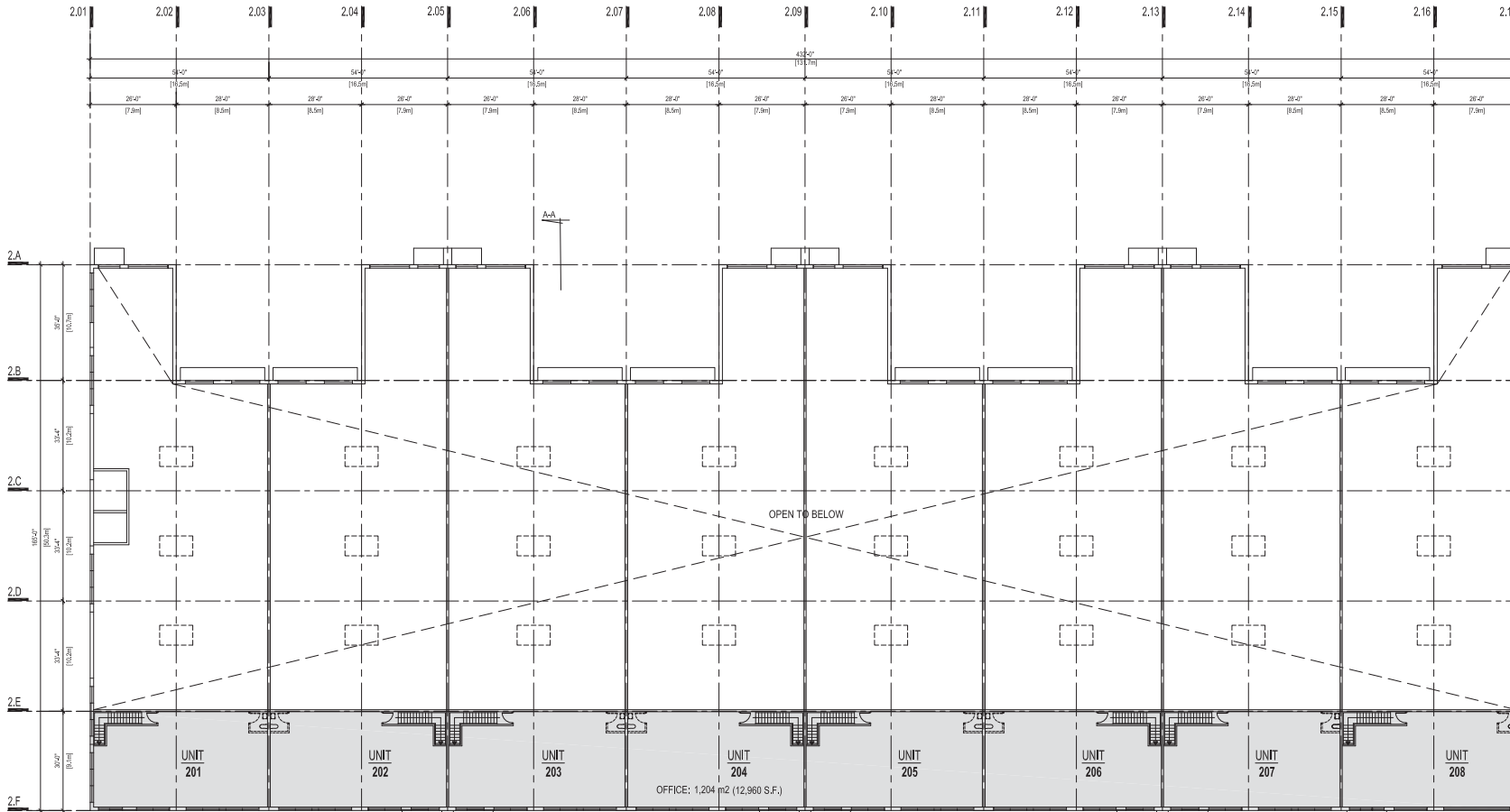


17277-56 AVENUE, SURREY, BC
 BUILDING 2 - MAIN FLOOR

SCALE: 1/8" = 1'-0" @ 24x36 OCT, 2018 DRAWING: D1
 PROJECT NUMBER: 216714

1 BUILDING 2 - MAIN FLOOR PLAN
 SCALE: 1/16" (1/16" = 1'-0")
 A2.201

A2.201



REVISION	DATE	DESCRIPTION
06	SEP 27, 19	RE-ISSUE FOR DP
04	SEP 09, 19	RE-ISSUE FOR DP
03	AUG 16, 19	RE-ISSUE FOR DP
02	JUN 29, 19	RE-ISSUE FOR DP
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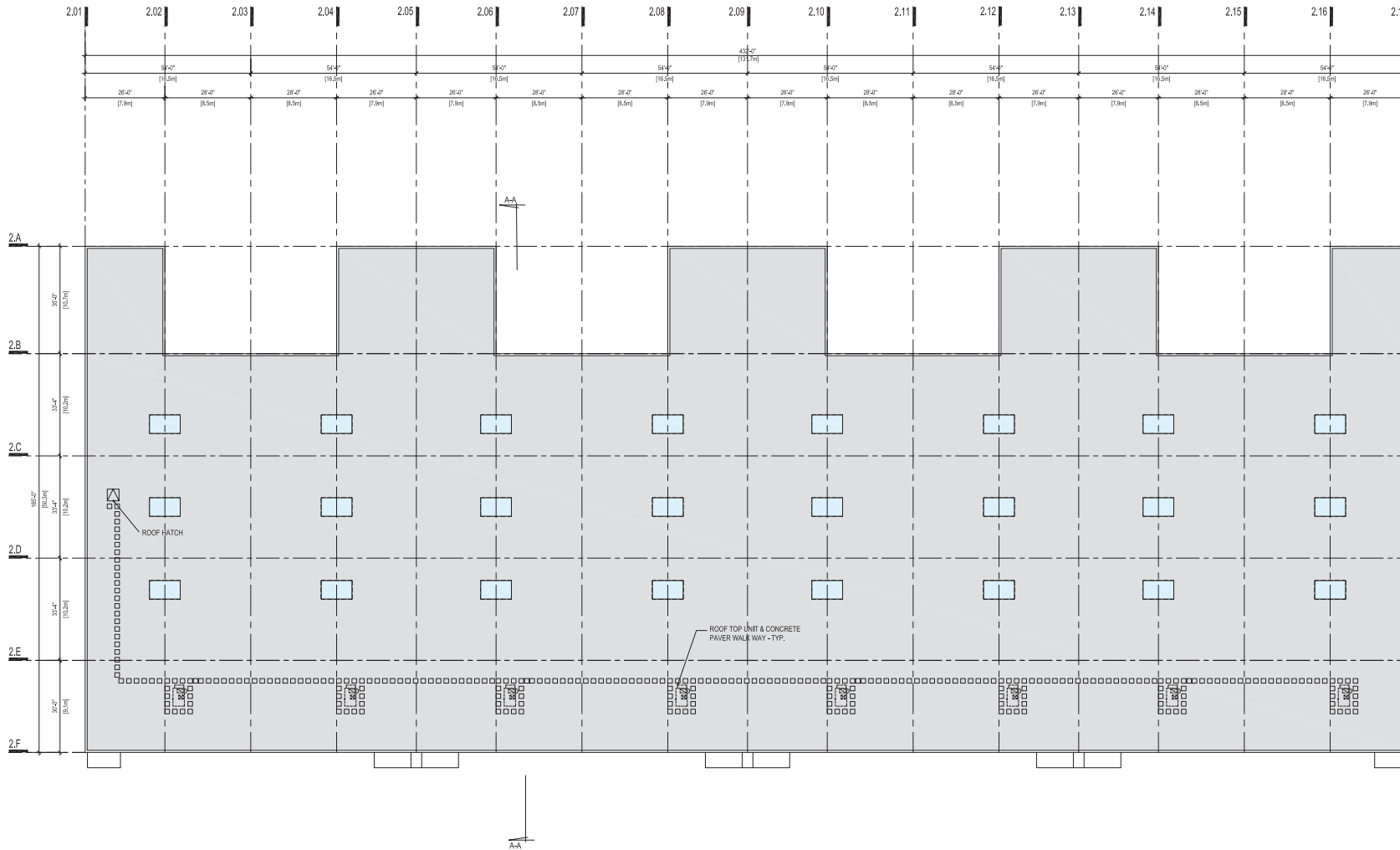
pcurban
 property reimagined
INTRAURBAN CROSSROAD

17277-56 AVENUE, SURREY, BC
BUILDING 2 - SECOND FLOOR

SCALE: 1/16" = 1'-0" @ 24x36 OCT, 2018 DRAWING: D1
 PROJECT NUMBER: 216714

2 BUILDING 2 - SECOND FLOOR PLAN
 SCALE: 1/16" = 1'-0" (1/16" = 1'-0")

A2.202



REVISION	DATE	DESCRIPTION
06	SEP 27, 19	RE-ISSUE FOR DP
04	SEP 09, 19	RE-ISSUE FOR DP
03	AUG 16, 19	RE-ISSUE FOR DP
02	JUN 29, 19	RE-ISSUE FOR DP
01	JAN 25, 19	ISSUE FOR DP

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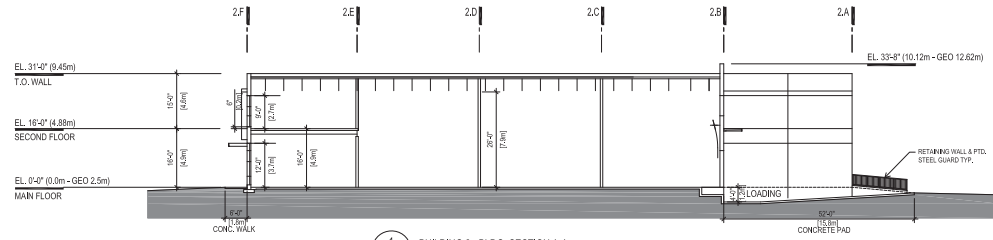


17277-56 AVENUE, SURREY, BC
BUILDING 2 - ROOF PLAN

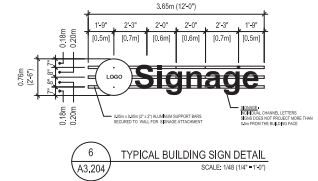
2 BUILDING 2 - SECOND FLOOR PLAN
 SCALE: 1/16" = 1'-0" @ 24x36
 SCALE: 1/162 (1/16" = 1'-0")

SCALE: 1/16" = 1'-0" @ 24x36 OCT. 2018 DRAWING: D1
 PROJECT NUMBER: 218714

A2.203



1 BUILDING 2 - BLDG. SECTION A-A
 1/16" (1/16" = 1")
 A2.204



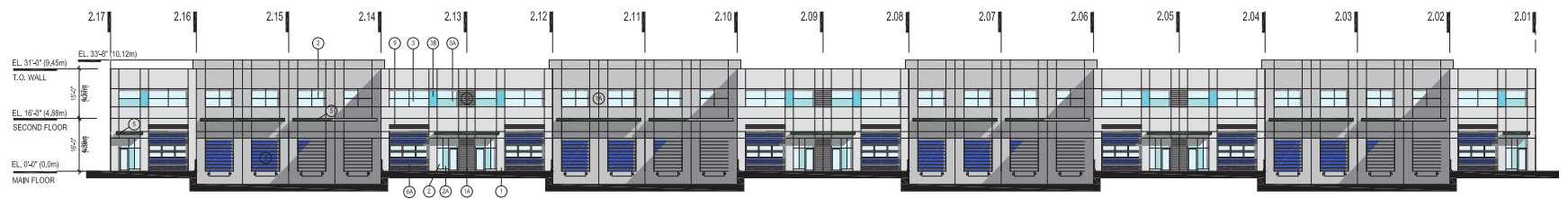
6 TYPICAL BUILDING SIGN DETAIL
 SCALE: 1/4" = 1'-0"

MATERIALS/ COLOURS

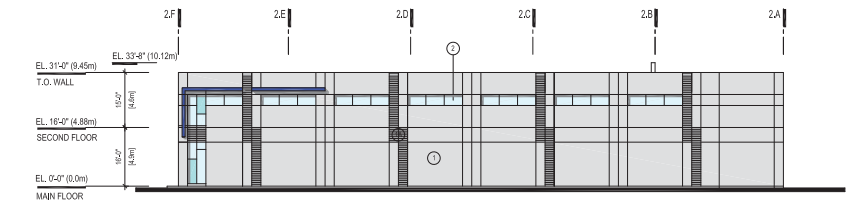
- 1 1/2" UP CONCRETE PANELS WITH CAST-IN REVEALS
PAINT LIGHT GREY
- 2 1/2" UP CONCRETE PANELS WITH CAST-IN REVEALS
PAINT DARK GREY
- 3 DOUBLE GLAZED WITH ALUMINUM FRAMES
CLEAR GLASS - STORE FRONT CLEAR ANODIZED MULLION
- 4 DOUBLE GLAZED WITH ALUMINUM FRAMES
VIBRON BLUE GLASS - STORE FRONT CLEAR ANODIZED MULLION
- 5 DOUBLE GLAZED WITH ALUMINUM FRAMES
CLEAR GLASS - CURTAIN WALL CLEAR ANODIZED MULLION
- 6 DOUBLE GLAZED WITH ALUMINUM FRAMES
CLEAR GLASS - CURTAIN WALL CLEAR ANODIZED MULLION
- 7 INSULATED SPANDREL GLASS WITH ALUMINUM FRAMES
BLUE GLASS - CURTAIN WALL CLEAR ANODIZED MULLION
- 8 ALUMINUM SUNSHADE - CLEAR ANODIZED
- 9 STEEL & CORRUGATED METAL CANOPY - PAINTED
- 10 SECTIONAL O.H. METAL DOOR - PAINTED BLUE
- 11 SECTIONAL O.H. METAL PANEL DOOR WITH VIBRON PANELS
- PAINTED BLUE
- 12 METAL MAN DOOR - PAINTED (DARK GREY)
- 13 COMPOSITE METAL PANEL - ALUCOBOND OR APPROVED EQUAL
ON STEEL STUD FRAMING - COLOUR (RED, BLUE, DARK GREY)
- 14 2" x 2" ALUMINUM SUPPORT RAIL SLATS FOR FUTURE SIGNAGE
ATTACHMENT



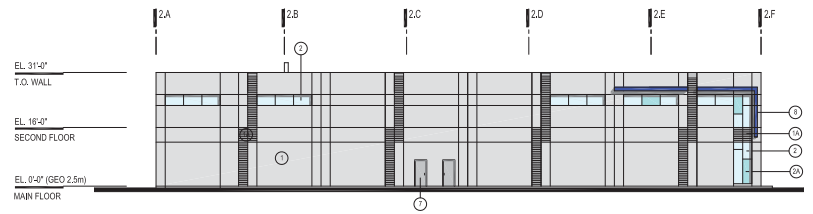
2 BUILDING 2 - SOUTH ELEVATION (HIGHWAY # 10 ELEVATION)
 1/16" (1/16" = 1")
 A2.204



3 BUILDING 2 - NORTH ELEVATION
 1/16" (1/16" = 1")
 A2.204



4 BUILDING 2 - EAST ELEVATION
 1/16" (1/16" = 1")
 A2.204



5 BUILDING 2 - WEST ELEVATION
 1/16" (1/16" = 1")
 A2.204

REVISION	DATE	DESCRIPTION
06	SEP 27, 19	RE-ISSUE FOR DP
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03	AUG 16, 19	RE-ISSUE FOR DP
02	JUN 29, 19	RE-ISSUE FOR DP
01	JAN 25, 19	ISSUE FOR DP

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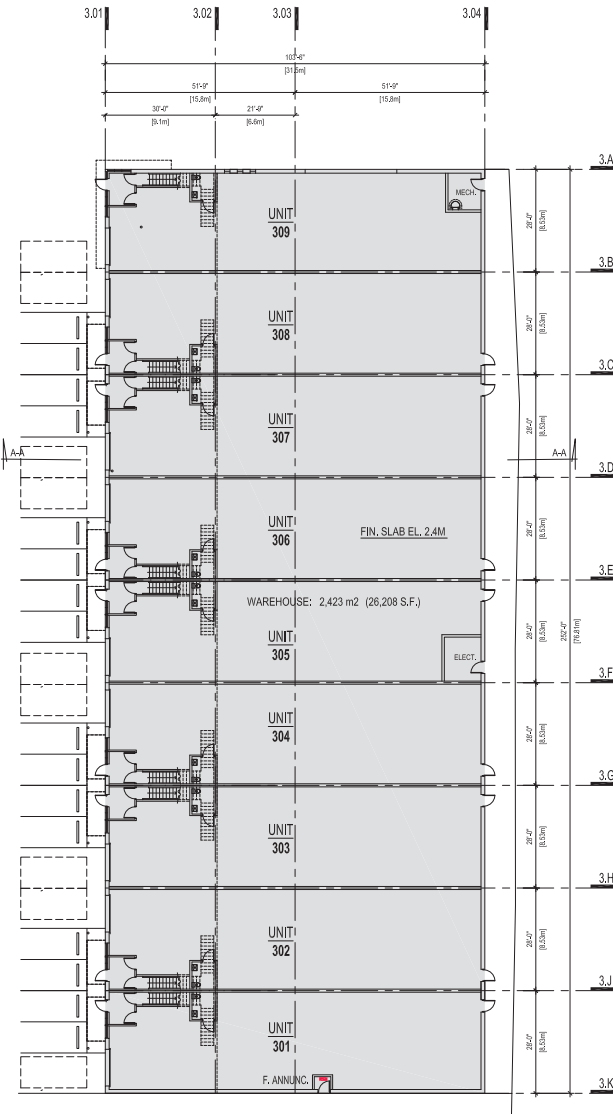


INTRAURBAN CROSSROAD

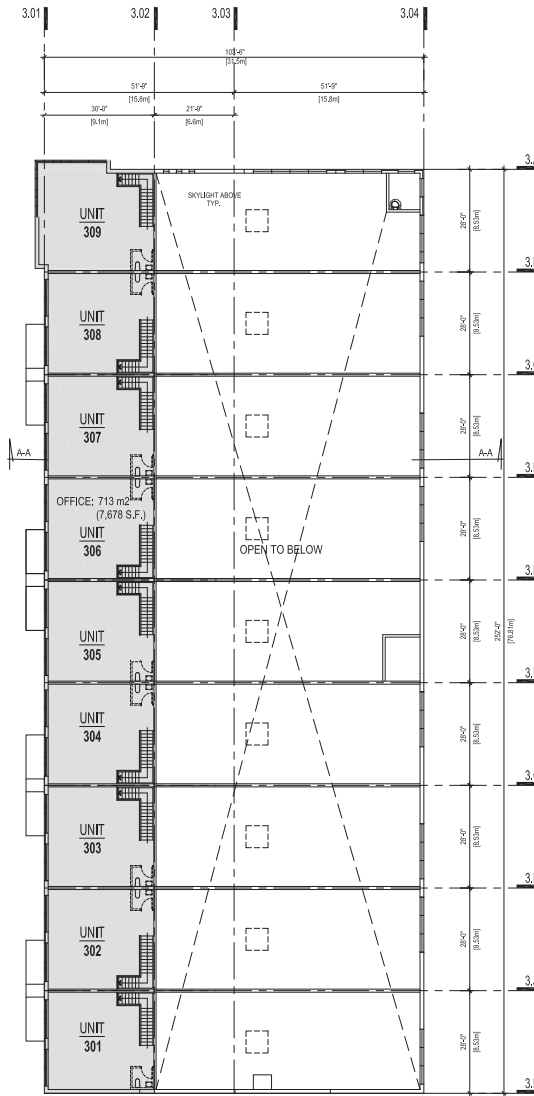
17277-56 AVENUE, SURREY, BC
BUILDING 2 - BLDG. SECTION ELEVATIONS

SCALE: 1/16" = 1'-0" @ 24x36 OCT, 2018 DRAWING: D1
 PROJECT NUMBER: 218114

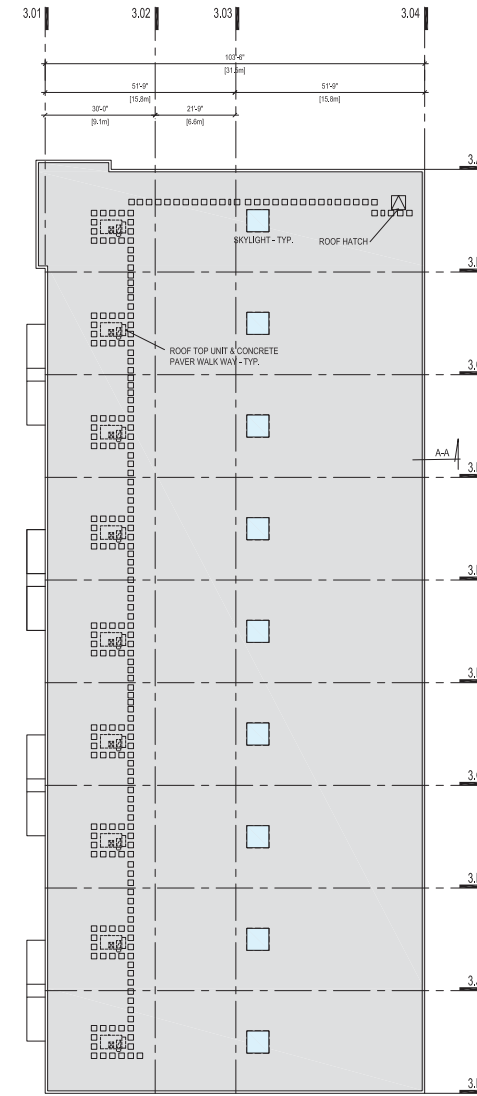
A2.204



1 BUILDING 3 - MAIN FLOOR PLAN
 SCALE: 1/16" = 1'-0" @ 24x36



2 BUILDING 3 - SECOND FLOOR PLAN
 SCALE: 1/16" = 1'-0" @ 24x36



3 BUILDING 3 - ROOF PLAN
 SCALE: 1/16" = 1'-0" @ 24x36

REVISION	DATE	DESCRIPTION
06	SEP 27, 19	RE-ISSUE FOR DP
04	SEP 09, 19	RE-ISSUE FOR DP
03	AUG 16, 19	RE-ISSUE FOR DP
02	JUN 29, 19	RE-ISSUE FOR DP
01	JAN 25, 19	ISSUE FOR DP

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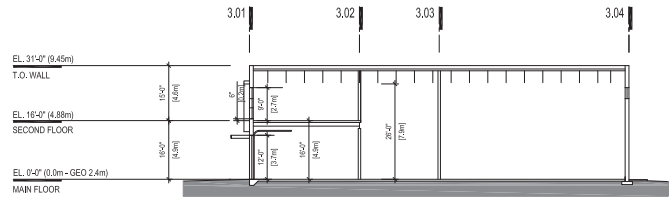


INTRAURBAN CROSSROAD

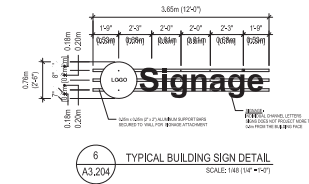
17277-56 AVENUE, SURREY, BC
 BUILDING 3 - PLANS

SCALE: 1/16" = 1'-0" @ 24x36 OCT, 2018 DRAWING: D1
 PROJECT NUMBER: 216714

A3.201



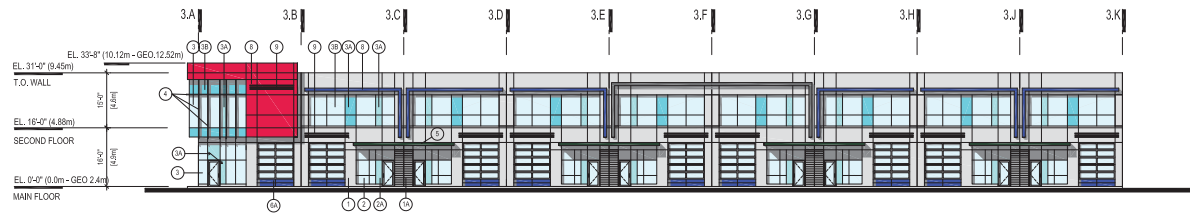
1 BUILDING 3 - BLDG. SECTION A-A
 A3.202 1/16" (1/8" = 1')



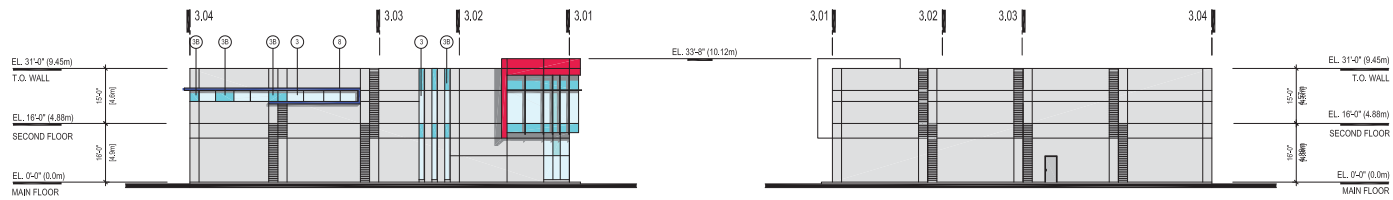
6 TYPICAL BUILDING SIGN DETAIL
 A3.204 SCALE: 1/8" (1/4" = 1')

MATERIALS/ COLOURS

- 1 1.5" UP CONCRETE PANELS WITH CAST-IN REVEALS
PAINT LIGHT GREY
- 2 1.5" UP CONCRETE PANELS WITH CAST-IN REVEALS
PAINT DARK GREY
- 3 DOUBLE GLAZED WITH ALUMINUM FRAMES
CLEAR GLASS - STORE FRONT CLEAR ANODIZED MULLION
- 4 DOUBLE GLAZED WITH ALUMINUM FRAMES
VIBRON BLUE GLASS - STORE FRONT CLEAR ANODIZED MULLION
- 5 DOUBLE GLAZED WITH ALUMINUM FRAMES
CLEAR GLASS - CURTAIN WALL CLEAR ANODIZED MULLION
- 6 DOUBLE GLAZED WITH ALUMINUM FRAMES
VIBRON BLUE GLASS - CURTAIN WALL CLEAR ANODIZED MULLION
- 7 INSULATED SPANDREL GLASS WITH ALUMINUM FRAMES
BLUE GLASS - CURTAIN WALL CLEAR ANODIZED MULLION
- 8 ALUMINUM SUNSHADE - CLEAR ANODIZED
- 9 STEEL & CORRUGATED METAL CANOPY - PAINTED
- 10 SECTIONAL O/H, METAL DOOR - PAINTED BLUE
- 11 SECTIONAL O/H METAL PANEL DOOR WITH VIBRON PANELS
- PAINTED BLUE
- 12 METAL MAN DOOR - PAINTED (DARK GREY)
- 13 COMPOSITE METAL PANEL - ALUCOBOND OR APPROVED EQUAL
ON STEEL STUD FRAMING - COLOUR (RED, BLUE)
- 14 2" x 2" ALUMINUM SUPPORT RAIL SLATS FOR FUTURE SIGNAGE
ATTACHMENT

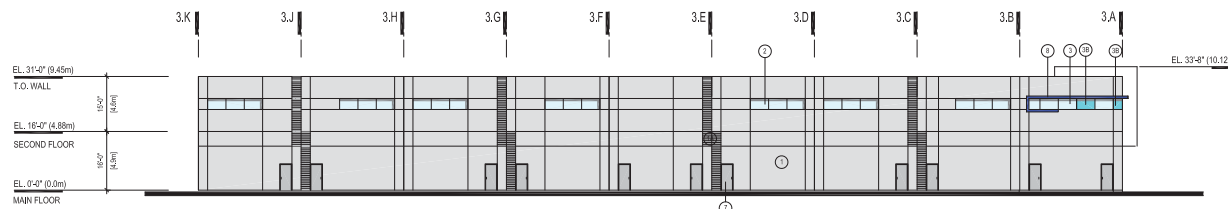


2 BUILDING 3 - WEST ELEVATION
 A3.202 1/16" (1/8" = 1')



3 BUILDING 3 - NORTH ELEVATION (57TH AVENUE)
 A3.202 1/16" (1/8" = 1')

4 BUILDING 3 - SOUTH ELEVATION
 A3.202 1/16" (1/8" = 1')



5 BUILDING 3 - EAST ELEVATION
 A3.202 1/16" (1/8" = 1')

REVISION	DATE	DESCRIPTION
06	SEP 27, 19	RE-ISSUE FOR DP
04	SEP 09, 19	RE-ISSUE FOR DP
03	AUG 16, 19	RE-ISSUE FOR DP
02	JUN 29, 19	RE-ISSUE FOR DP
01	JAN 25, 19	ISSUE FOR DP

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Written drawings shall have precedence over verbal directions. Contractor shall verify and be responsible for all dimensions and conditions on the job and report distribution of errors, discrepancies, or omissions promptly contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification.

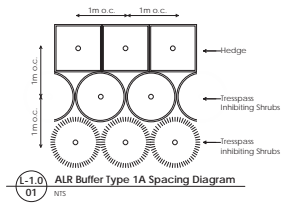


INTRAURBAN CROSSROAD

17277-56 AVENUE, SURREY, BC
BUILDING 3 - BLDG. SECTION ELEVATIONS

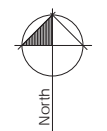
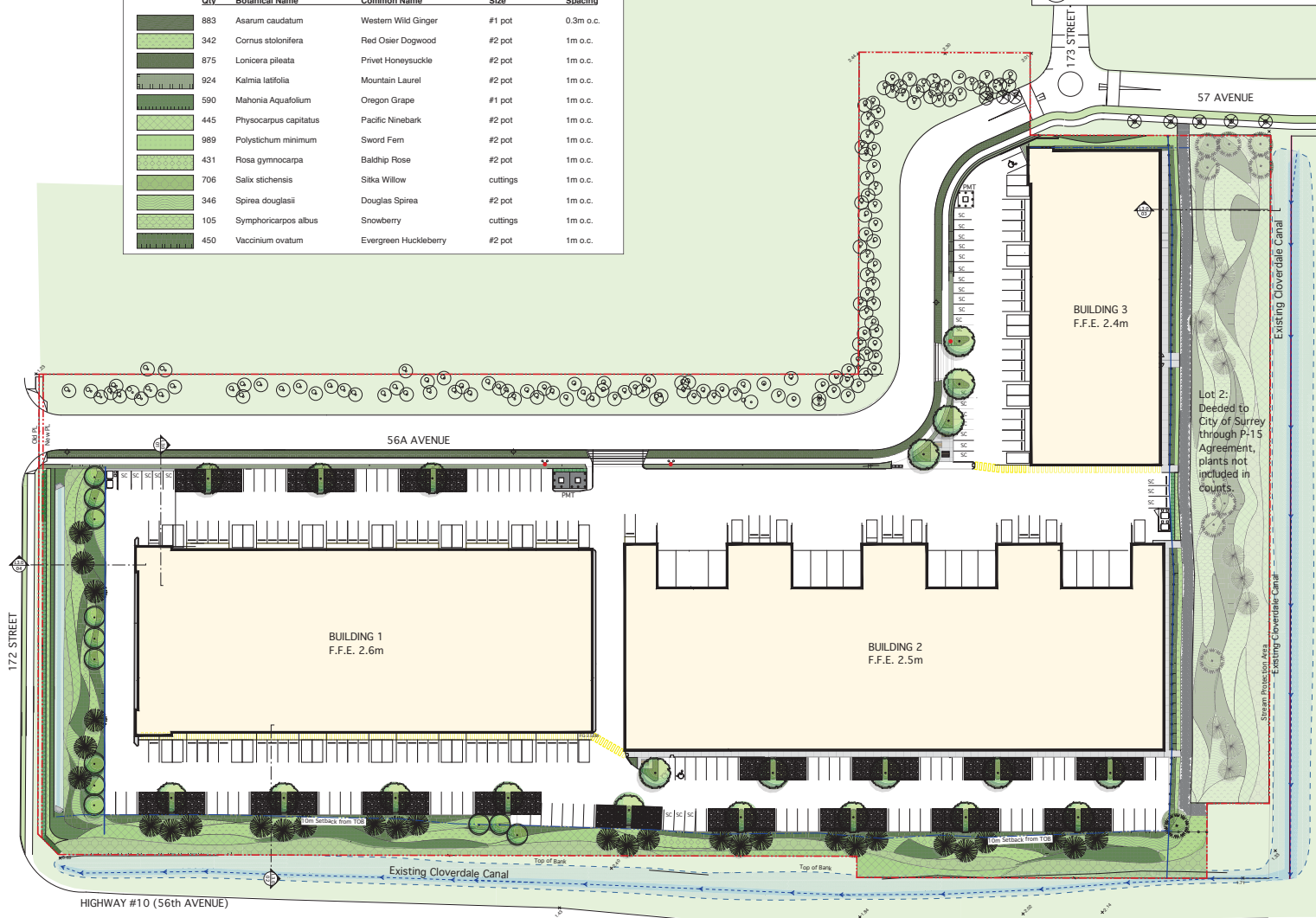
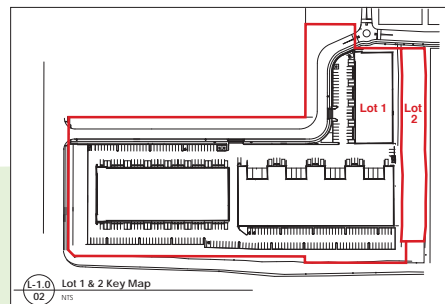
SCALE: 1/16" = 1'-0" @ 24x36 OCT, 2018 DRAWING: D1
 PROJECT NUMBER: 216714

A3.202



PLANT LIST				
TREES & HEDGES				
Qty	Botanical Name	Common Name	Size	Spacing
12	<i>Acer circinatum</i>	Vine Maple	2m ht. B&B.	As shown
10	<i>Pseudotsuga menziesii</i>	Douglas fir	2m ht. B&B.	As shown
42	<i>Thuja plicata</i>	Western Red Cedar	2m ht. B&B.	As Shown
128	<i>Taxus x media 'Hicksii'</i>	Hedging Yew	1.5m ht. B&B.	2'
21	<i>Acer rubrum 'Super Sonic'</i>	Super Sonic Red Maple	6cm cal. B&B.	As Shown
		Existing Tree		
SHRUBS				
Qty	Botanical Name	Common Name	Size	Spacing
883	<i>Asarum caudatum</i>	Western Wild Ginger	#1 pot	0.3m o.c.
342	<i>Cornus stolonifera</i>	Red Osier Dogwood	#2 pot	1m o.c.
875	<i>Lonicera pileata</i>	Privet Honeysuckle	#2 pot	1m o.c.
924	<i>Kalmia latifolia</i>	Mountain Laurel	#2 pot	1m o.c.
590	<i>Mahonia Aquatolium</i>	Oregon Grape	#1 pot	1m o.c.
445	<i>Physocarpus capitatus</i>	Pacific Ninebark	#2 pot	1m o.c.
989	<i>Polystichum minimum</i>	Sword Fern	#2 pot	1m o.c.
431	<i>Rosa gymnocarpa</i>	Baldhip Rose	#2 pot	1m o.c.
706	<i>Salix stichensis</i>	Salix Willow	cuttings	1m o.c.
346	<i>Spiraea douglasii</i>	Douglas Spiraea	#2 pot	1m o.c.
105	<i>Symphoricarpos albus</i>	Snowberry	cuttings	1m o.c.
450	<i>Vaccinium ovatum</i>	Evergreen Huckleberry	#2 pot	1m o.c.

MATERIAL LEGEND	
P1	CIP Concrete (See Civil)
P2	Compacted gravel
P3	SOD Lawn
P4	Structural Soil
	Columbia Picnic Table with Cedar Slats. Superior Concrete
	Property line
	Lighting (See Electrical)
	ChainLink Fence
	Bollard
	Proposed hedge



Revisions:	no.	date:	Item:
4	Sep24-19		Re-issued for DP
3	Aug19-19		Re-issued for DP
2	Jun25-19		Issued for GP
1	Dec22-19		Issued for Review

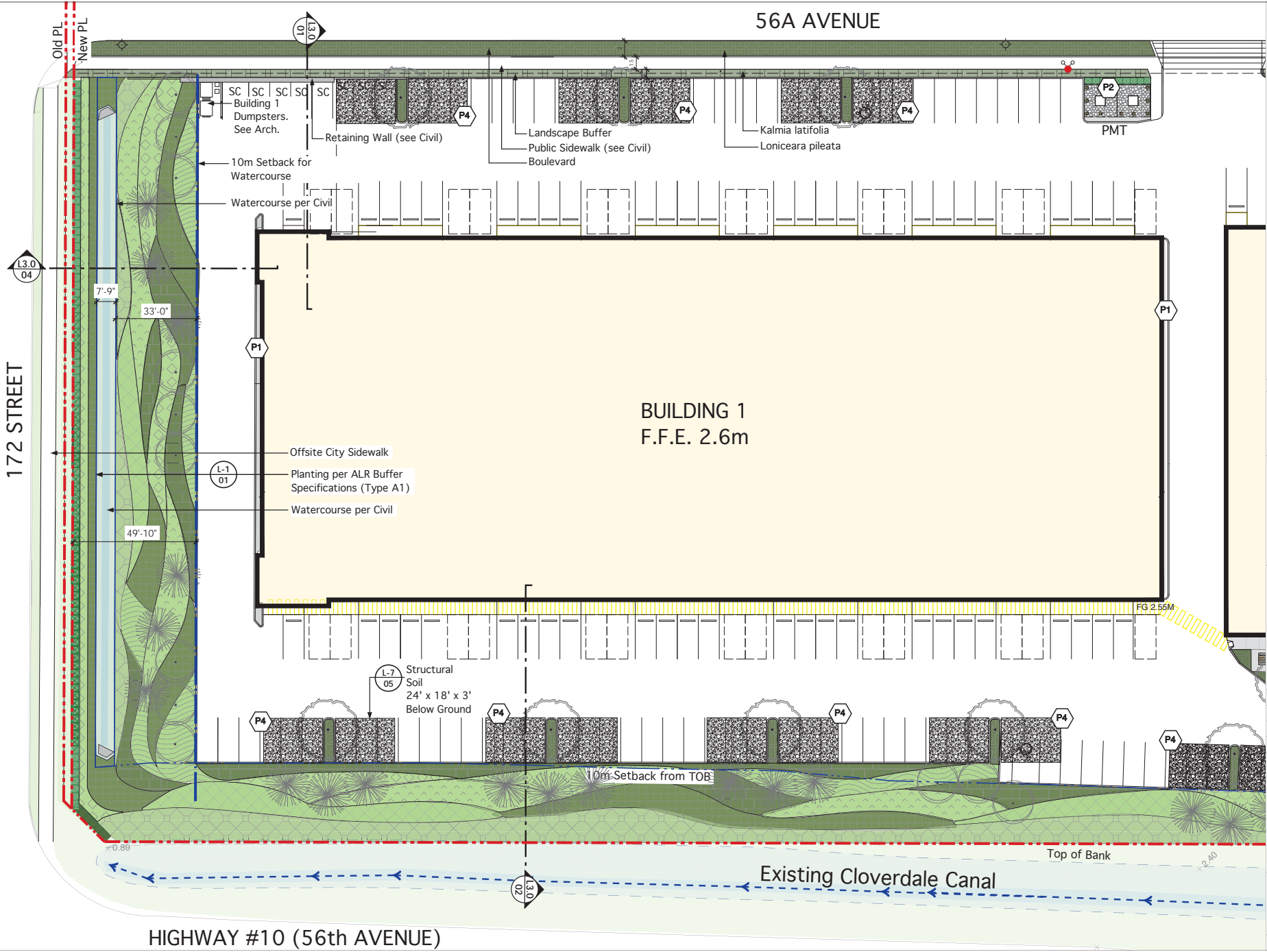
Durante Kreuk Ltd.
 102 - 1637 West 5th Avenue
 Vancouver BC V6J 1N5
 t: 604 684 4611
 f: 604 684 0577
 www.dk.bc.ca

Project:
IntraUrban Development
17277- 56Ave Surrey

Drawn by: TB
 Checked by: SV
 Date: DEC 21 - 2018
 Scale: 1"=40'

Drawing Title:
LANDSCAPE PLAN

Project No.:
18100
 Sheet No.:



56A AVENUE

172 STREET

HIGHWAY #10 (56th AVENUE)

BUILDING 1
F.F.E. 2.6m

Revisions:

4	Sep-24-19	Re-issued for DP
3	Aug-19-19	Re-issued for DP
2	Jan-25-19	Issued for DP
1	Dec-21-18	Issued for Review
no.	date	Item

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Project:
IntraUrban Development
17277 - 56Ave Surrey

Drawn by: TB
Checked by: SV
Date: DEC 21 - 2018
Scale: 1/16"=1'

Drawing Title:
**BUILDING 1 (WEST)
LANDSCAPE PLAN**

Project No.:
18100
Sheet No.:

through P-15 Agreement, plants not included in counts.

End of 1.2m Black Vinyl Chainlink Fence on New PL (SPA Boundary, 25m Setback from TOB)

Kalmia latifolia
Public Sidewalk (see Civil)
Loniceara pileata

Loniceara pileata
Mailboxes

Building 2 & 3 Dumpsters. See Arch.

BUILDING 2
F.F.E. 2.5m

Start of 1.2m Black Vinyl Chainlink Fence on New PL (SPA Boundary, 25m Setback from TOB)

Polystichum munitum
Mahonia Aquafolium
Asarum caudatum

20m Setback from Top of Bank
Gravel Pathway
2m Landscape Buffer
25m Setback from TOB (SPA Boundary)
Maintenance Pathway

End of 1.2m Black Vinyl Chainlink Fence on New PL (SPA Boundary, 25m Setback from TOB)

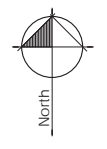
Columbia Picnic Table with Cedar Slats. By Sanderson Concrete

Structural Soil 24' x 18' x 3' Below Ground

Start/End of 1.2m Black Vinyl Chainlink Fence on New PL (SPA Boundary, 25m Setback from TOB)

Top of Bank

10m Setback from TOB



4	Sep24-19	Re-issued for DP
3	Aug19-19	Re-issued for DP
2	Jan25-19	Issued for DP
1	Dec21-18	Issued for Review
	no. date	Item

Revisions:

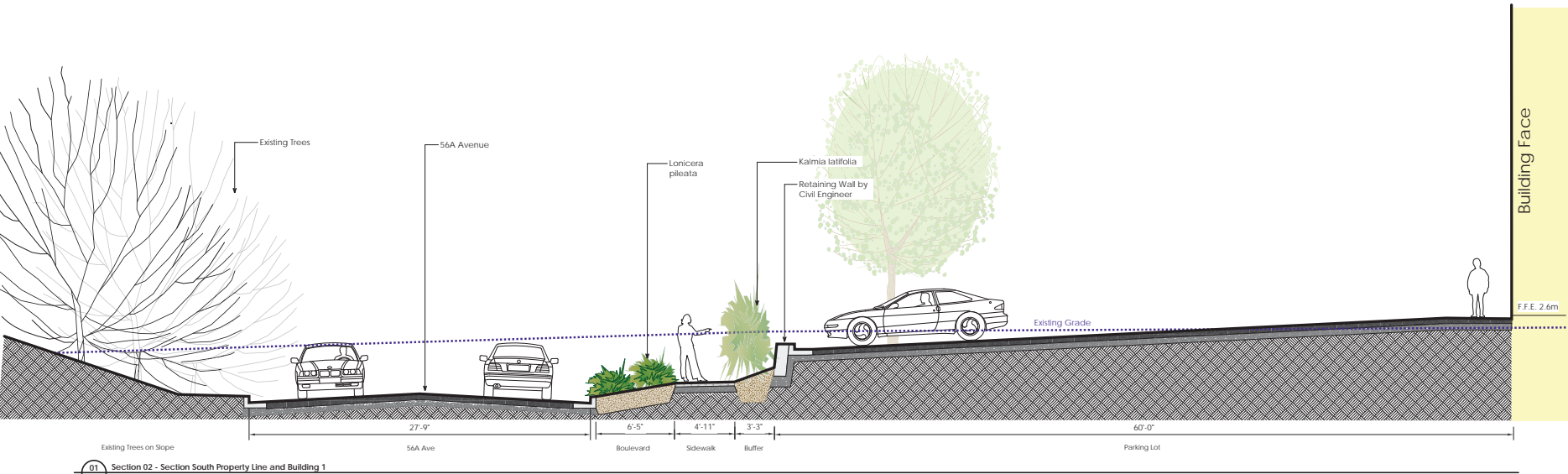


Project:
IntraUrban Development
17277- 56Ave Surrey

Drawn by: TB
Checked by: SV
Date: DEC 21, 2018
Scale: 1/16"=1'

Drawing Title:
**BUILDING 2 (EAST)
LANDSCAPE PLAN**

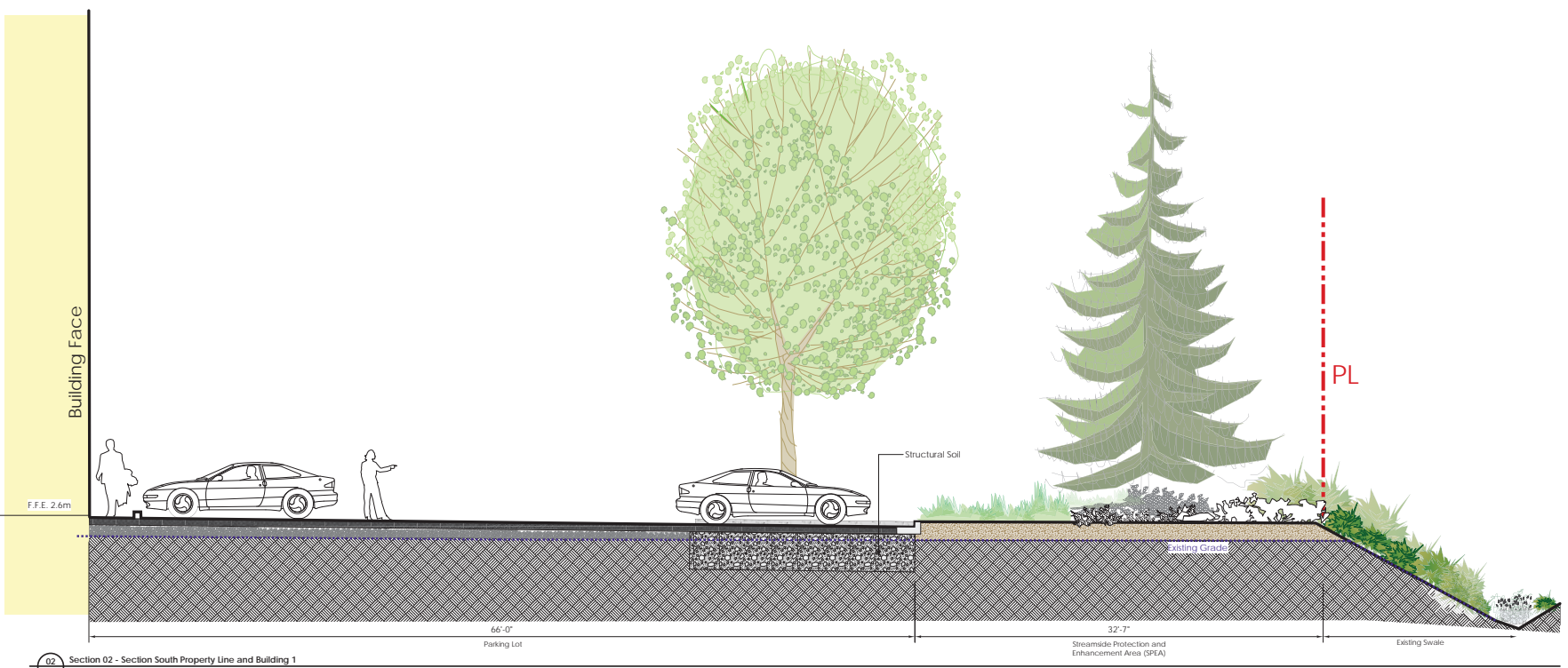
Project No.: 18100
Sheet No.:



4	Sept 24 19	Re-Issued for DP
3	Aug 19 19	Re-issued for DP
2	Jan 25 19	Issued for DP
1	Dec 20 19	Issued for Review
no.	date:	Item:

Revisions:

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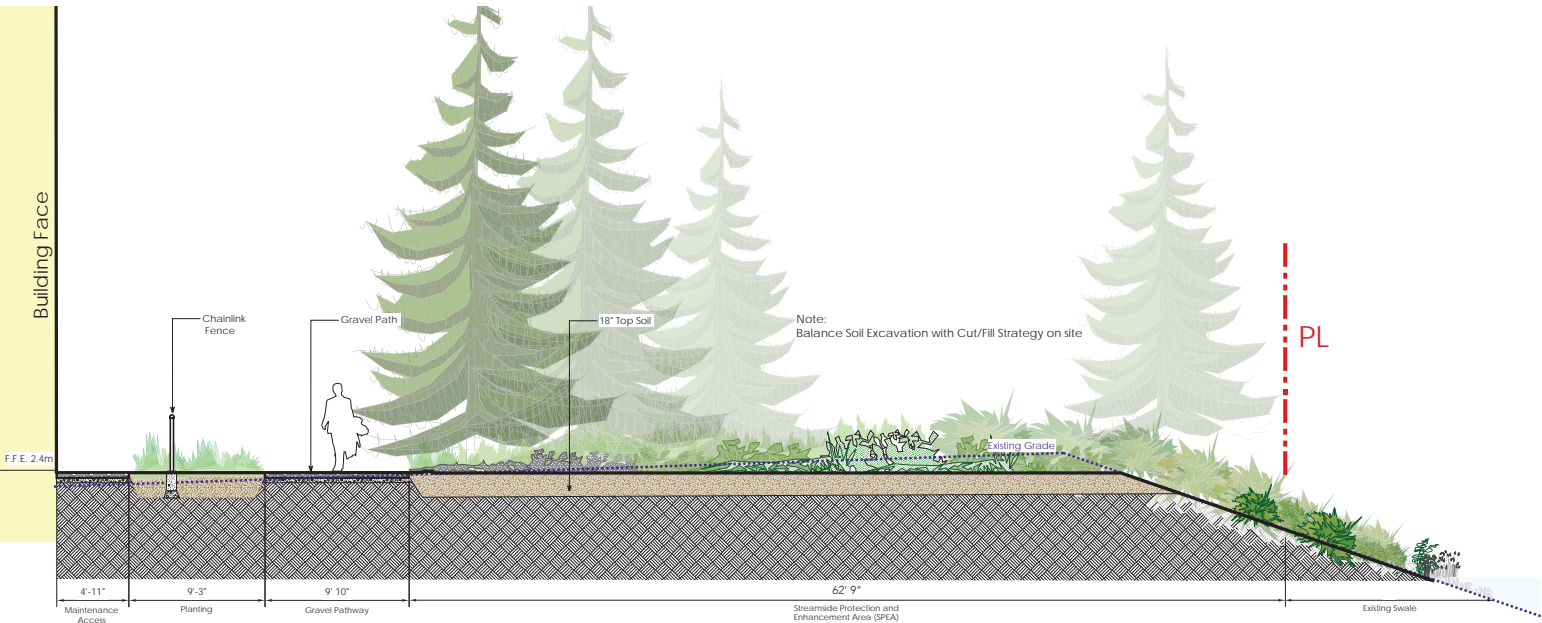


Project:
IntraUrban Development
17277 - 56A Ave Surrey

Drawn by: TB
 Checked by: SV
 Date: December 2018
 Scale: 1/4" = 1'-0"

Drawing Title:
Landscape Sections

Project No.:
18100
 Sheet No.:

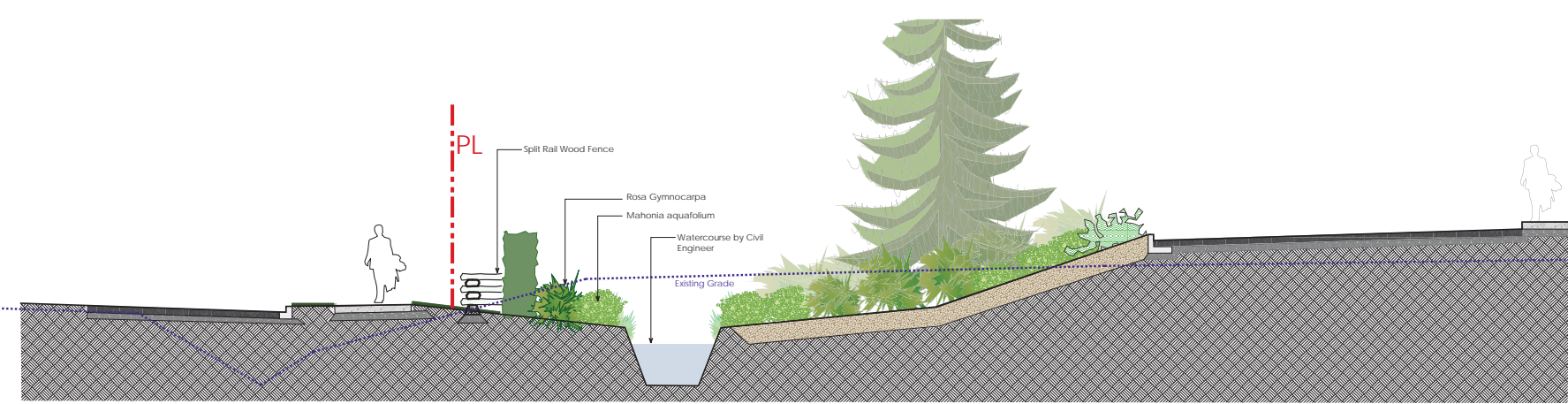


03 Section 03 - East Property Line and Building 3
1/4" = 1'

4	Sept 24, 19	Re-Issued for DP
3	Aug 19, 19	Re-Issued for CP
2	Jan 25, 19	Issued for DP
1	Dec 20, 18	Issued for Review
no.	date:	Item:

Revisions:

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04 Section 04 - West Property Line and Building 1
1/4" = 1'

Building Face
F.F.E. 2.4m

Project:
**IntraUrban Development
17277 - 56A Ave Surrey**

Drawn by:	IB
Checked by:	SV
Date:	December 2018
Scale:	1/4" = 1'-0"

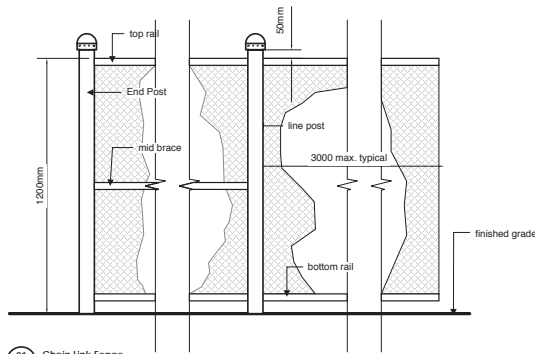
Drawing Title:
Landscape Sections

Project No:
18100

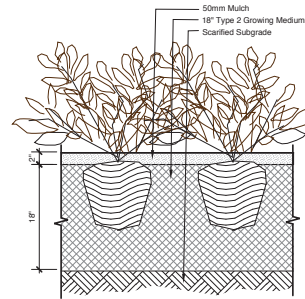
Sheet No.:

Notes:

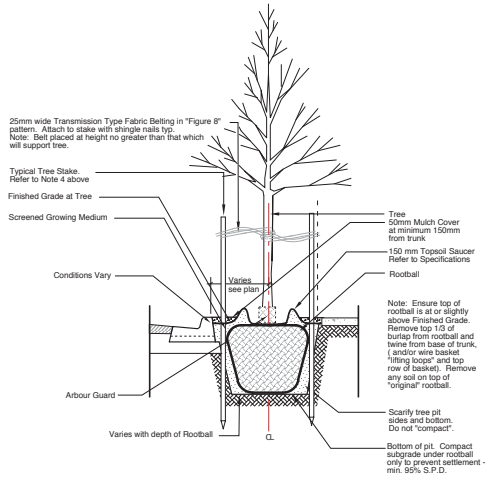
- mid braces shall occur for a minimum one full panel, each side of a corner or bend
- top rails, bottom rails and mid rails shall be continuous between line posts



01 Chain Link Fence
L-2
1.50 m

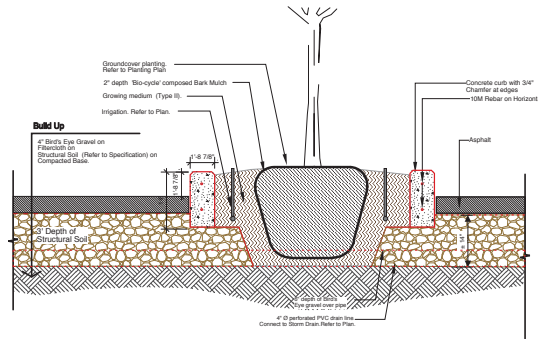


02 Planting on Grade
L-1
1.10 m



- General Notes:
1. Do not cut Leader.
 2. Protect tree from damage during planting. Ensure rootball protected from Sun, Frost or Desiccation.
 3. Ensure tree location does not conflict with Underground Services. "Call before digging"
 4. All street trees to be staked with 2" x 100mmD x 2.5m long cedar stakes. Minimum depth of stake embedment is 1m. Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to sidewalk/road on tree pit centreline.
 5. Provide min. 5 cubic meters of growing medium per tree.
 6. Refer to Growing Medium Chart below for surface area depth of Growing Medium.

04 Typical Tree Planting Detail
L-1
1.30 m



05 Tree Pit with Structural Soil
L-2
1.10 m

no.	date	item
4	Sept24-19	Re-issued for DP
3	Aug19-19	Re-issued for DP
2	Jan25-19	Issued for DP
1	Dec20-18	Issued for Review

Revisions:



Project:
IntraUrban Development
17277 - 56A Ave Surrey

Drawn by: TB
Checked by: SV
Date: December 2018
Scale: Noted (metric)
Drawing Title:

Landscape Details

Project No.:
18100

Sheet No.:

TO: **Manager, Area Planning & Development - North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **September 10, 2019** PROJECT FILE: **7819-0031-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 17277 - Highway 10 (56 Avenue)**

TCP AMENDMENT

There are no engineering requirements relative to the TCP Amendment.

REZONE

Property and Right-of-Way Requirements

- Dedicate 1.0m along 172 Street for the ultimate 24.0m Collector Road Standard.
- Dedicate 12.0m for new 57 Avenue for the 12.0m Unique Local Road Standard.
- Dedicate necessary lands to construct a traffic circle at the intersection of 173 Street and 57 Avenue.
- Dedicate 3m x 3m corner cuts at the intersection of 57 Avenue and 172 Street.
- Register 0.5m wide Statutory Right-of-Way (SRW) along the 57 Avenue and 172 Street frontages.

Works and Services

- Construct east side of 172 Street to a unique collector road standard.
- Construct traffic circle at the intersection of 173 Street and 57 Avenue to City standards.
- Construct new 57 Avenue to a unique local road standard.
- Provide cash in lieu for 33% of the cost of a future traffic signal at 172 Street and Highway 10 (56 Avenue).
- Construct storm and water mains along 57 Avenue.
- Construct the proposed relocated watercourse along 172 Street subject to Water Sustainability Act approval. Register SRW/RC for drainage and riparian protection along the watercourse proposed to be relocated along 172 Street. The SRW/RC is to be over the watercourse and all associated setbacks.
- Provide water, storm, and sanitary service connections to the lot.
- Construct on-lot mitigation features per the Cloverdale McLellan Integrated Stormwater Management Plan and a water quality/sediment control inlet chamber. Register a restrictive covenant for the installation and maintenance of the features and chamber.
- Construct downstream sanitary mains to resolve the downstream sanitary constraints and provide the capacity for the proposed development.
- Construct and replace the existing 200mm sanitary main with 250mm sanitary main along 57 Avenue and register a SRW in order to meet the design criteria requirements stated under Section 4.3.2.1.
- Register applicable legal documents as determined through detailed design.

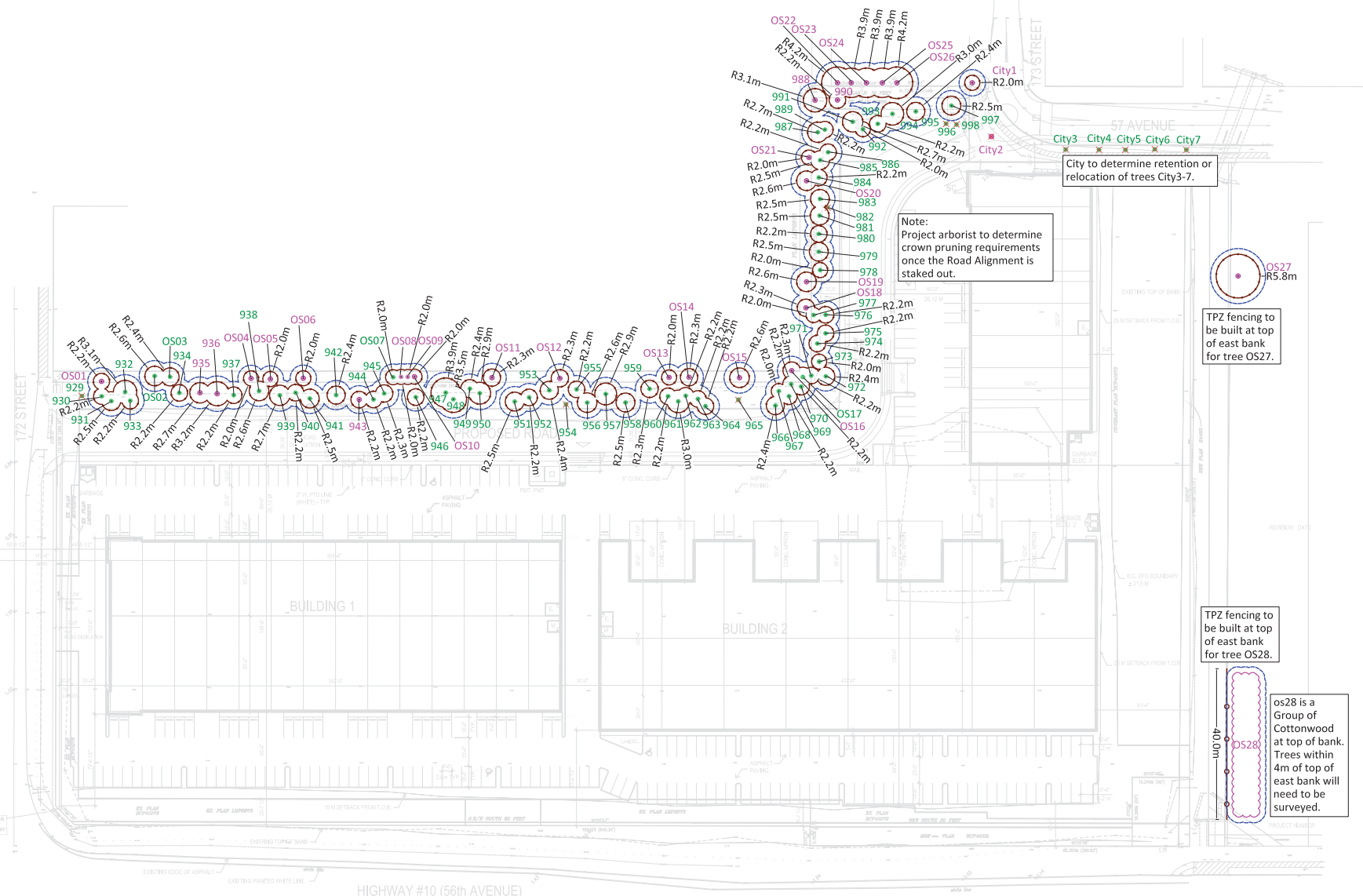
A Servicing Agreement is required prior to Rezone.

DEVELOPMENT PERMIT

There are no additional engineering requirements relative to issuance of the Development Permit.


Tommy Buchmann, P.Eng.
Development Services Manager

CE4



LEGEND

- CRITICAL ROOT ZONE
- NO-BUILD ZONE
- NO-BUILD ZONE
- TREE PROTECTION ZONE AND FENCING
- SURVEYED TREE TO BE RETAINED
- UN-SURVEYED TREE TO BE RETAINED
- × TREE TO BE REMOVED

- NOTES**
- The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
 - All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
 - The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (½ the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
 - No work is permitted within the Tree Protection Zone with the exception of swales. Swale construction is only permitted under the direct supervision of an arborist.
 - The 1.5m area No Build Zone does not allow for any building foundation wall encroachment. Excavation is permitted within this area under the direct supervision of an arborist.
 - Drainage works such as lawn basins, associated piping or services are permitted within the No Build Zone under the direct supervision of an arborist.
 - This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
 - This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.

REFERENCE DRAWINGS

- Base Survey and Engineering Key Plan provided by client.



3559 COMMERCIAL STREET
VANCOUVER BC | V5N 4E8
T 604.733.4886 | F 604.733.4879

Drawing title: Highway 10 Tree Management Plan
Project address: 17277 56th Avenue, Surrey, BC
Client: PC Urban

Drawing No: 01
Date: 2019/02/04
Drawn by: DB
Page Size: TABLOID 11"x17"

Page #
1 of 1

C. NEW BUSINESS**1. Development Application 7919-0031-00**

Misty Jorgensen, Planner

File: 7919-0031-00

- The subject property is designated Mixed Employment in the Official Community Plan and Highway Commercial in the Cloverdale Town Centre Plan. The subject site is zoned Comprehensive Development Zone and located outside of the Agricultural Land Reserve (ALR).
- The applicant is proposing to rezone the subject property from CD to CD in order to remove parking intensive land-uses currently allowed on the site. In addition, the applicant is proposing a Development Permit and Variance to allow for three business park building with small-bay warehouse units, second-floor mezzanine office space and a dock and grade loading. The applicant is proposing a 15.25 metre wide landscape buffer on-site, located along the east side of 172 Street, adjacent to the ALR.

It was noted that the watercourse will be relocated onsite and into the ALR buffer and a Restrictive Covenant will be registered to ensure it is maintained. In response to a question from the Committee, it was noted that the Environmental Planner will review the buffer distance to the watercourse to ensure adequate space in order to maintain the watercourse. Staff noted the neighbouring lands will have no flood impacts.

It was

Moved by M. Bose

Seconded by P. Harrison

That the Agriculture and Food Policy

Advisory Committee recommend to the General Manager of Planning and Development to support Development Application 7919-0031-00.

Carried



CLOVERDALE

Business Improvement Association

May 23, 2019



Dan Cupa
Director, Development
Suite 880, 1090 West Georgia Street
Vancouver, BC V6E 3V7

Re: Proposed Development: 17277 56 Ave, Cloverdale

Dear Mr. Cupa:

The Cloverdale Business Improvement Association board of directors at their May monthly meeting unanimously supported your proposed light industrial business space on Highway #10. The quality of development proposed compliments the growing Cloverdale Town Centre and provides to the area's much needed warehouse space. We believe that a new intersection at Hwy #10 and 172 Street will help traffic flow to this project along with a rear entrance from Hwy #15 (By-pass) at 57 Avenue. We do not anticipate any substantial increased traffic through the residential part of 172 Street since travelling will prefer to use one of the existing highways for convenience.

Historically, this property has been very problematic because of a short sided decision to allow a residential subdivision to creep onto the north end of the industrial lands. We anticipate the tenants to keep normal business hours and that all tenants will comply with the by-laws for the area.

In bolstering the economic sustainability of the Cloverdale Town Centre it is more important than ever to have as you say "Employment Generating Space" that is centrally located in the City of Surrey.

Yours truly,

Dean Moore
BIA President

A good place to grow, since 1870

June 10, 2019

Dan Cupa
Director, Development
PC Urban Property Re-imagined
Suite 880, 1090 W Georgia St
Vancouver, BC V6E 3V7

Dear Dan,

Please except this letter of endorsement for your development at 172277 56 Ave in Cloverdale. The project proposed would be a welcome addition to the Cloverdale Town Centre. The quality of this development fits nicely into the business mix.

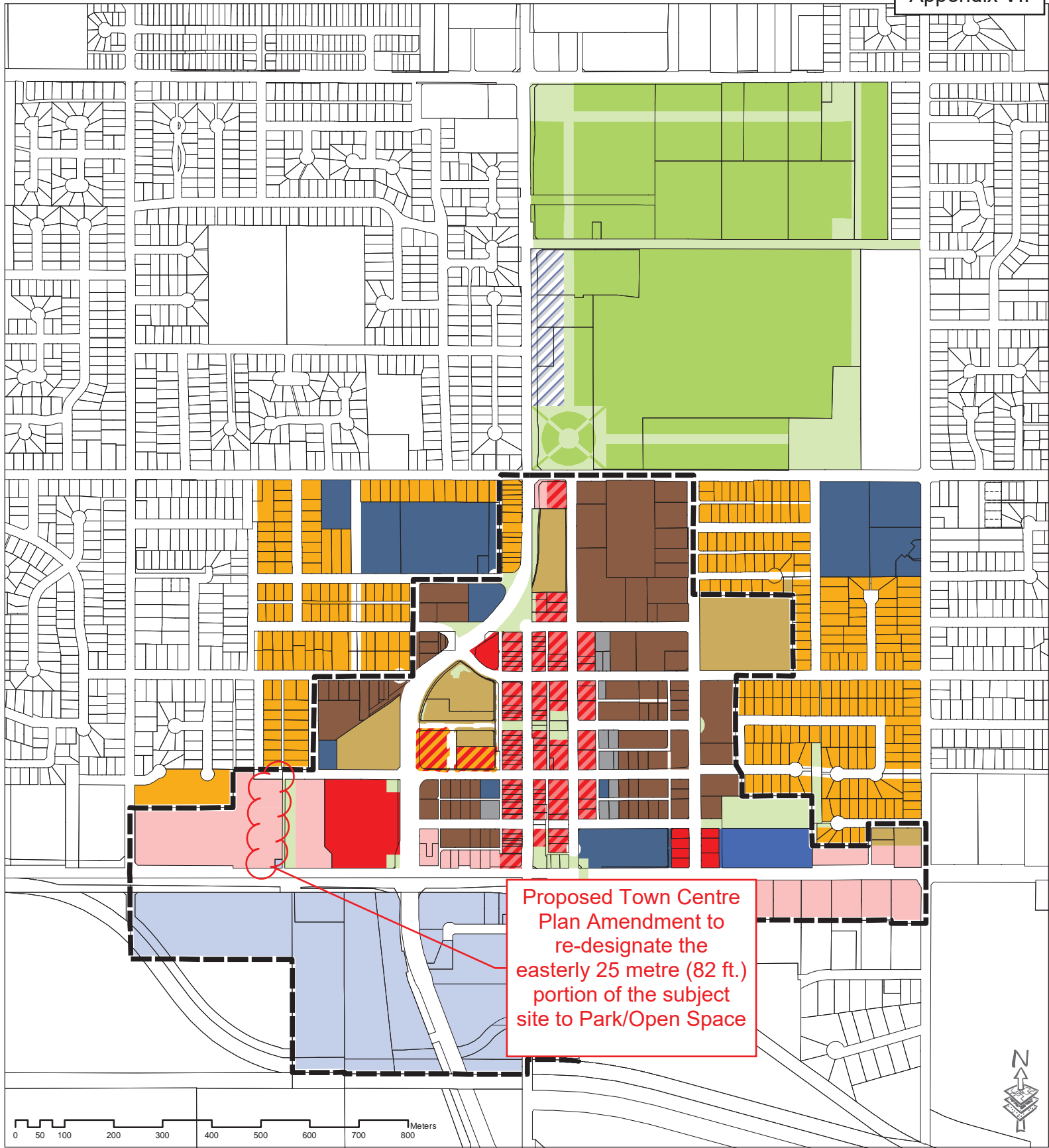
We look forward to having you become an integral part of the Cloverdale business community.

If I can be of any assistance, please do not hesitate to call me anytime.

Sincerely,



Scott Wheatley
Executive Director



Proposed Town Centre Plan Amendment to re-designate the easterly 25 metre (82 ft.) portion of the subject site to Park/Open Space

- | | | | | | | | |
|--|---------------------------|--|----------------------------|--|-----------------------|--|--------------------------|
| | TOWN CENTRE COMMERCIAL | | MEDIUM DENSITY RESIDENTIAL | | COMMUNITY SERVICES | | SCHOOL |
| | RETAIL/SERVICE COMMERCIAL | | TOWNHOUSES | | PARKING | | INDUSTRIAL |
| | RESIDENTIAL/COMMERCIAL | | URBAN SINGLE FAMILY | | PARK/OPEN SPACE | | INDUSTRIAL BUSINESS PARK |
| | HIGHWAY COMMERCIAL | | INSTITUTIONAL | | CLOVERDALE FAIRGROUND | | STUDY BOUNDARY |

CLOVERDALE TOWN CENTRE

City of Surrey Planning & Development Department

Approved By Council on October 26, 2000 Amended 8 January 2018

This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: COMPREHENSIVE DEVELOPMENT ZONE (CD)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 027-948-480
 Lot 1 Section 7 Township 8 New Westminster District Plan BCP41071
 17277 – No 10 (56 Avenue) Highway
 (hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of *light impact industry* and *warehouse uses* with ancillary retail and office uses, requiring large *lots* and exposure to major *highways*.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

- 1. *Light impact industry.*
- 2. *Warehouse uses.*

3. Retail sales of products processed or manufactured as part of a *light impact industry use* or products wholesaled as part of a *warehouse use* within each strata lot provided that the *gross floor area* used or intended to be used for retail sales and display to the public shall not exceed 25% of the *gross floor area* of each strata lot.
4. Office uses ancillary to a *light impact industry* or *warehouse use* provided such use is restricted to the mezzanine level and further provided that the *gross floor area* shall not exceed 34% of the *gross floor area* of each strata lot.

C. Lot Area

Not applicable to this Zone.

D. Density

The *floor area ratio* shall not exceed 0.65.

E. Lot Coverage

The *lot coverage* shall not exceed 50%.

F. Yards and Setbacks

Buildings and *structures* shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	North <i>Yard</i>	South <i>Yard</i>	East <i>Yard</i>	West <i>Yard</i>
<i>Principal Buildings</i>		3.0 m.	7.5 m.	2.0 m.	7.5 m.
<i>Accessory Buildings and Structures</i>		[10 ft.]	[25 ft.]	[7 ft.]	[25 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Principal buildings: The *building height* shall not exceed 16 metres [92.5 ft.].
2. Accessory buildings and structures: The *building height* shall not exceed 9 metres [30 ft.].

H. Off-Street Parking

1. *Parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, except that off-street *parking spaces* may be reduced in accordance with the use permitted in Section B.3. of this Zone as follows:
 - (a) 1 *parking space* for every 100 square metres [1,075 sq. ft.] of retail sales *gross floor area*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.0 metre [3 ft.] in width shall be provided within the *lot*.
3. A continuous *landscaping* strip of not less than 10 metres (33 ft.) shall be created along all *lot lines* separating the developed portion of the *lot* from any *residential lot*.
4. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
5. Except in those portions where a *building* abuts the *lot line*, screen planting at least 1.5 metres [5 ft.] high in a strip at least 1.5 metres [5 ft.] wide and a solid decorative fence at least 1.5 metres [5 ft.] high shall be provided along all *lot lines* separating the developed portion of the *lot* from any *residential lot*.
6. Loading areas, garbage containers and *passive recycling containers* shall be screened from any adjacent *residential lot*, to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.

7. Open display and storage including the outdoor storage of damaged or *wrecked vehicles* shall be completely screened to a height of at least 2.5 metres [8 ft.] by *buildings* and/or solid decorative fencing and/or substantial *landscaping* strips of not less than 2.5 metres [8 ft.] in height and not less than 1.5 metres [5 ft.] in width. No display or storage of material shall be piled up to a height of 2.5 metres [8 ft.] within 5 metres [16 ft.] of the said screen and in no case shall these materials be piled up to the height of more than 3.5 metres [12 ft.].

J. Special Regulations

1. Garbage containers and *passive recycling containers* shall not be located along any required *setbacks* adjacent any *residential lot*.
2. Land and *structures* shall be used for the uses permitted in this Zone only if such uses:
 - (a) Constitute no unusual fire, explosion or safety hazard;
 - (b) Do not emit noise in excess of 60dB measured at any point on any boundary of the *lot* on which the use is located; and
 - (c) Do not produce heat or glare perceptible from any *lot line* of the *lot* on which the use is located.
3. Outdoor storage or display of any goods, materials or supplies is specifically prohibited.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
38,000 sq. m. [409,029 sq. ft.]	100 metres [328 ft.]	200 metres [656 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the CHI Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2018, No. 19478, as may be amended or replaced from time to time, and the development cost charges shall be based on the CHI Zone.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20 .

PASSED SECOND READING on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

PASSED THIRD READING on the _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

_____ MAYOR

_____ CLERK