

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7919-0007-00

Planning Report Date: June 10, 2019

PROPOSAL:

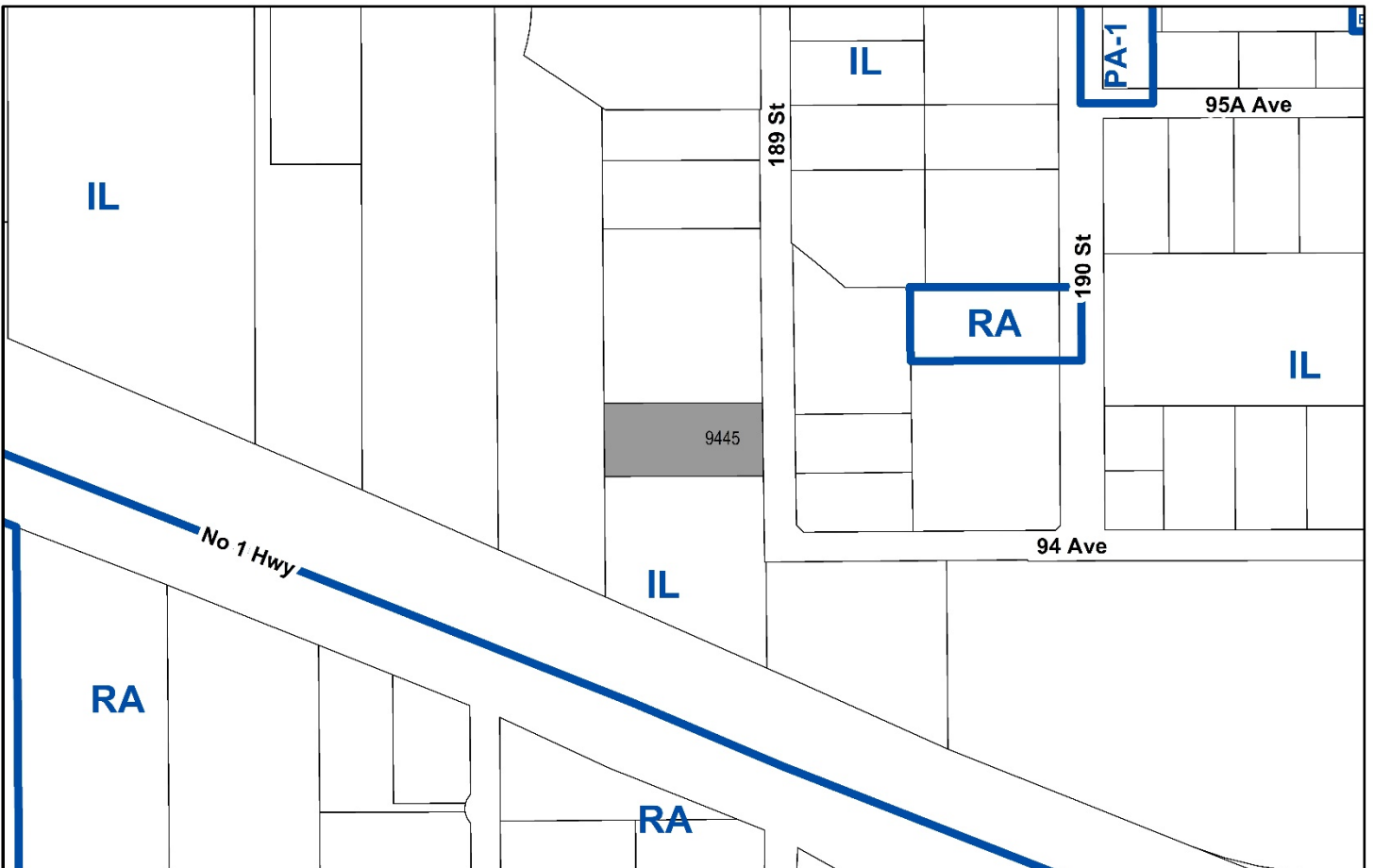
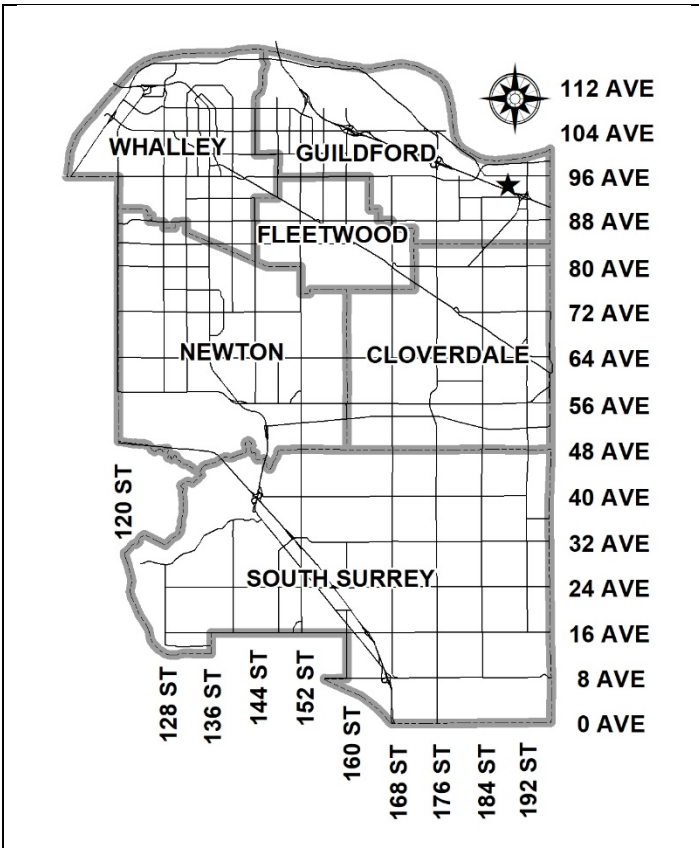
• **Development Variance Permit**

to increase the maximum height of a free-standing telecommunications tower from 12 metres (40 ft.) to 31 metres (102 ft.) and reduce the required south side yard setback.

LOCATION: 9445 - 189 Street

ZONING: IL

OCP DESIGNATION: Industrial



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking variances to the Zoning By-law to increase the maximum permitted height of a free-standing telecommunications tower from 12 metres (40 ft.) to 31 metres (102 ft.) and to reduce the south side yard setback for the tower and associated equipment compound.

RATIONALE OF RECOMMENDATION

- The proposal complies with the majority of criteria identified in the City's Policy for Telecommunications Towers.
- The applicant has provided information indicating that there are no existing structures that are suitable to mount telecommunication equipment within a 500-metre (1,640 ft.) radius of the subject site.
- The public notification for the proposal generated one comment from the 359 property owners within 180 metres (590 ft.) of the subject site.
- The proposed tower is an improvement of a previously approved taller and more visible telecommunication tower located adjacent to Highway No. 1.
- The proposed location of the tower is located at the rear of an industrial lot and future building which will screen the base of the tower from 189 Street.
- The applicant has provided documentation which indicates that there is a demonstrated coverage gap in the area, which the wireless carrier would like to resolve to provide better service to existing and potentially new customers.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Development Variance Permit No. 7919-0007-00 (Appendix III) varying the following, to proceed to Public Notification:
 - (a) to vary Part 4 General Provisions of the Zoning By-law to increase the maximum height of a free-standing telecommunications tower from 12 metres (40 ft.) to 31 metres (102 ft.); and
 - (b) to reduce the minimum south side yard setback of the IL Zone from 7.5 metres (25 ft.) to 2.5 metres (8 ft.) for the telecommunication tower and 0.3 metres (1 ft.) for the associated equipment compound.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: Vacant lot with a building permit application submitted for an approximate 2,787 square metres (30,000 sq. ft.) industrial building (see Appendix II).

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Industrial building.	Industrial	IL
East (Across 189 Street):	Parking facility.	Industrial	IL
South:	Industrial building.	Industrial	IL
West:	Industrial building.	Industrial	IL

DEVELOPMENT CONSIDERATIONS

- The subject site is located at 9445 - 189 Street and is designated Industrial in the Official Community Plan (OCP) and is zoned "Light Impact Industrial Zone (IL)".
- Cypress Land Services Ltd. on behalf of Rogers is proposing to erect a telecommunications tower and equipment compound at the rear of the subject site.

- Staff and the applicant explored whether there were existing structures of sufficient height within a 500-metre (1,640- ft.) radius of the subject site to mount equipment, but no such structures were found.
- A previous Development Variance Permit (Development Application No. 7914-0303-00) was issued by Council on September 28, 2015 and expired on September 28, 2017 to allow for a 41-metre (135 ft.) tall telecommunication tower (see Appendix VI) to allow for both Telus and Rogers to collocate on the parcel to the south (18940 – 94 Avenue). The tower was never constructed as Telus was no longer interested in the site and the lease lapsed after the DVP expired.
- The proposal will provide improved telecommunication coverage and capacity for the area generally bound by 98 Avenue to the north, 192 Street to the east, 92 Avenue to the south, and 184 Street to the west (see Appendix IV).
- The applicant is seeking a Development Variance Permit (DVP) to increase the maximum height of a free-standing telecommunications tower from 12 metres (40 ft.) to 31 metres (102 ft.) and to reduce the south side yard setback from 7.5 metres (25 ft.) to 0.3 metres (1 ft.) for the compound/accessory building and 2.5 metres (8 ft.) for the telecommunication tower.
- The applicant is proposing to install on the proposed monopole, two rows of three flush mounted panel antennas for a total of six flush mounted panel antennas. The design of the tower allows for the future addition of an additional row of three flush mounted panel antennas. A 1-metre (3 ft.) lighting rod is located at the top of the proposed monopole.
- A building permit application was submitted on April 8, 2019 for the construction of an industrial building on the subject site which will be constructed prior to the tower being installed. The proposed telecommunication tower and compound are located at the southwest corner of the proposed building and are sited such that it will have a minimum impact on the functionality of the site.
- The applicant has provided a rendering of what the proposed grey-coloured monopole will look like from the east along 189 Street (Appendix V).
- As the site is located at the rear of a future industrial building, no landscaping or screening is proposed.

City's Telecommunications Strategy

- Staff have relayed to telecommunication companies the importance of a comprehensive strategy to ensure adequate coverage for all carriers while minimizing the number of singular user installations and keeping the height of installations to a minimum without compromising the existing policy guidelines, especially tower proximity to residential areas and aesthetics being adequately addressed.
- Improving high speed wireless service supports the growing high technology sector, high tech education, emergency services and broadens community consultation opportunities through social media.

- The proposed telecommunications tower supports the City of Surrey's vision for building a strong economy.
- The subject application generally complies with the current Telecommunications Tower Policy No. O-49 and is therefore being presented for Council's consideration.
- The City policy on telecommunication towers was developed in conjunction with wireless providers and approved by Council on June 18, 2001 (Policy No. O-49 Telecommunication Towers). The policy provides parameters on how the towers should be sited and designed.
- The following is an evaluation of the current proposal in relation to Policy No. O-49:

Location and Siting

- When considering the siting of telecommunication tower facilities, every effort should be made to locate new equipment on existing structures such as BC Hydro transmission line towers, utility poles, roof tops, etc.

The applicant has indicated that they require a 31-metre (102 ft.) height in order to ensure an expanded infill coverage area bounded by 98 Avenue to the north, 192 Street to the east, 92 Avenue to the south, and 184 Street to the west (see Appendix IV).

The applicant has informed staff that there are no existing structures within a 500-metre (1,640 ft.) radius from the proposed location of the telecommunication tower that have the necessary height to facilitate the increased coverage area. They have provided a map of all existing telecommunication towers in the area (Appendix VIII).

- It is preferable that new free-standing telecommunication towers be sited in non-residential locations and preferably in industrial areas.

The proposed location is located within an industrial area and is approximately 200 metres (650 ft.) from residential properties across Highway No. 1 to the South.

- Towers on prominent natural and cultural features, environmentally sensitive areas or areas with historically significant buildings are discouraged.

The proposed location of the installation is within an industrial area and is void of any natural or cultural features.

- New free-standing telecommunication towers should be located at a distance from the edge of an existing or future road allowance no less than the height of the tower.

The 30 metre (98 ft.) tall wireless installation is located at the rear of an industrial lot approximately 95 metres (310 ft.) from 189 Street and approximately 130 metres (426 ft.) from the closest traffic lane on Highway No. 1.

- Locating of telecommunication towers on sites with mature trees is encouraged.

The subject site currently has a few undersized trees that are intended to be removed for construction of the industrial building under building permit application.

- All applicants for free-standing telecommunication structures will be requested to identify any other structure (e.g. hydro transmission tower, existing telecommunication towers, etc.) within a radius of 500 metres (1,640 ft.) from the proposed location and to provide reasons why other existing structures within that radius are not acceptable for use (i.e. structural capabilities, safety, available space or failing to meet service coverage needs).

There are no suitable structures for mounting equipment within a 500-metre (1,640 ft.) radius of the subject site that have the necessary height to facilitate the increased coverage area.

Co-Location

- The carriers and other telecommunication tower owners are encouraged to work co-operatively in reaching agreements which allow for sharing of tower structures so as to minimize the total number of towers in the City. This practice is typically referred to as "co-location".

No other carriers have requested to co-locate on the proposed tower.

If co-location was required, it would require an additional height of approximately 11 metres (36 ft.) as well as additional width and massing which would make the proposed tower more visible.

Tower Design and Landscaping Criteria

- Towers and ancillary equipment shelters will be designed to fit their surroundings and to minimize their visual impact on surrounding properties.

The proposed tower is located at the rear of a future industrial building and the base and compound will not be visible from any roads.

- The use of the monopole is encouraged. Where a tower is being constructed to accommodate a single user, a monopole design is required.

The proposed tower is a monopole design. Due to the height proposed, the proposed tower is for a single carrier.

- Landscaping shall be appropriately placed around telecommunication towers and ancillary facilities, such as equipment shelters, to minimize their visual impact on the neighbourhood.

No landscaping is proposed as the tower and compound are located at the rear of a future industrial building.

PUBLIC CONSULTATION

In accordance with the City policy, the applicant sent out 359 notification packages on April 17, 2019 to property owners within a notification area of 180 metres (590 ft.), which is approximately six times the height of the proposed tower.

As a result of these notifications, no responses were received by the agent concerning the proposed tower and staff received one response with the following concerns (staff comments in italics):

- Parking spaces for the future industrial building will be lost by the proposed compound.

The applicant has located the tower and compound in a small area that would otherwise be used for outside storage and not impacting parking spaces.

- Rogers and Telus were issued a DVP for a tower located at 18940 - 94 Avenue. Why was the tower never constructed at this location?

A previous Development Variance Permit (Development Application No. 7914-0303-00) was issued by Council on September 28, 2015 and expired on September 28, 2017 to allow for a 41-metre (135 ft.) tall telecommunication tower to allow for both Telus and Rogers to collocate at 18940 - 94 Avenue. The tower was never constructed as Telus was no longer interested in the site and the lease lapsed after the DVP expired.

TREES

- No by-law sized trees will be removed as part of this telecommunication tower proposal. Undersized tree removal will be dealt with at the building permit stage for the 2,787 square metres (30,000 sq. ft.) industrial building (see Appendix II).

BY-LAW VARIANCES AND JUSTIFICATION

(a) Requested Variance:

- To vary Part 4 General Provisions of the Zoning-By-law, to increase the maximum height of a free-standing telecommunications tower from 12 metres (40 ft.) to 31 metres (102 ft.); and
- to reduce the minimum south side yard setback of the IL Zone from 7.5 metres (25 ft.) to 0.3 metres (1 ft.) for an associated equipment compound and from 7.5 metres (25 ft.) to 2.5 metres (8 ft.) for the telecommunication tower.

Applicant's Reasons:

- The applicant has submitted documentation demonstrating that there is a coverage gap in the area, which the proposed telecommunications tower would assist in resolving.

- Rogers has abandoned a previously approved 41-metre (135 ft.) tower which they were to co-locate with Telus.
- There are limited options for locating cell towers in the area.
- The proposed location within the site is located at the rear of the future industrial building in an area that is not needed for parking.

Staff Comments:

- The proposal complies with the majority of criteria identified in the City's Policy for Telecommunications Towers.
- The proposed setback variances do not adversely impact the adjacent property to the south.
- A previous variance for a 41-metre (135 ft.) tower, adjacent to Highway No. 1, for Telus and Rogers was issued on September 28, 2015 and expired on September 28, 2017 (at 18940 – 94 Avenue). The subject tower is an improvement as it is only 31 metres (102 ft.) tall and is located further away from Highway No. 1.
- As a result of public notification, minimal concerns have been expressed.
- Staff support the requested variances.

INFORMATION ATTACHED TO THIS REPORT

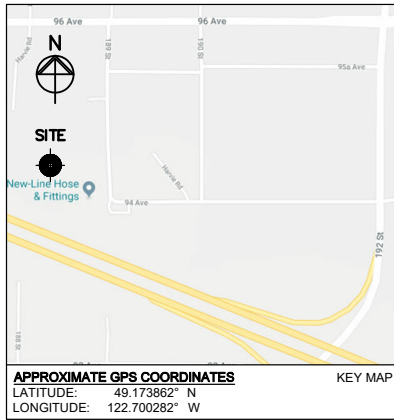
The following information is attached to this Report:

Appendix I.	Site Plan and Elevations
Appendix II.	Current Building Permit Site Plan
Appendix III.	Development Variance Permit No. 7919-0007-00
Appendix IV.	Coverage Maps
Appendix V.	Renderings
Appendix VI.	Aerial Photo of Area
Appendix VII.	Existing Towers in Area

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

JKS/cm



SITE NAME: PORT KELLS

SITE ID: W4446

LOCATION: 9445 189 ST SURREY, BC

SITE TYPE: 30m MONOPOLE - WIC

- DRAWING LIST:**
- S101 TITLE PAGE
 - S202 CELLULAR LOADING SPECIFICATIONS
 - S203 RRU DETAILS
 - S301 SITE PLAN
 - S302 COMPOUND LAYOUT
 - S401 NORTH ELEVATION AND ANTENNA LAYOUTS
 - S402 WEST ELEVATION
 - S403 SITE ISOMETRIC

2019.02.05	ISSUED FOR CLIENT REVIEW
2018.12.19	ISSUED FOR CLIENT REVIEW
2018.12.06	ISSUED FOR CLIENT REVIEW
2018.11.07	ISSUED FOR CLIENT REVIEW

No.:	Date:	Description:
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Revisions:

Date:	NOV 2018	Drawing:	S101
Scale:	NA		
Drawn:	RS		
Checked:	GF		
Project:	218408	Of	

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Project: **PORT KELLS**
 9445 189 ST, SURREY, BC

Site ID: **W4446**

Sheet Title:
TITLE PAGE

ANTENNA TABLE

ANT. POS. No.	ANTENNA ID		MOUNT HEIGHT AGL(m)	ANTENNA MOUNT (UP/DOWN)	ANTENNA TYPE	MDT (°)	MET (°)		AZIMUTH (°)	JUMPER/ LINE TYPE	No. OF RRU's	No. OF INITIAL RRU's	STATUS
	TECHNOLOGY	LABEL					700/ 850	1900/ 2100/ 2600					
1	LTE/UMTS	LTE-1	29.0	UP	TONGYU T126027INTDEX6FT2V03	0	TBD	TBD	0	DC/FIBER	4	3	INITIAL
2	LTE	TBD	22.0	UP	TONGYU T126027INTDEX6FT2V03	0	TBD	TBD	0	DC/FIBER	3	0	FUTURE
3	LTE OFFSET	OFFSET-1	25.5	UP	TONGYU T126027INTDEX6FT2V03	0	TBD	TBD	60	DC/FIBER	3	2	INITIAL
4	LTE/UMTS	LTE-2	29.0	UP	TONGYU T126027INTDEX6FT2V03	0	TBD	TBD	120	DC/FIBER	4	3	INITIAL
5	LTE	TBD	22.0	UP	TONGYU T126027INTDEX6FT2V03	0	TBD	TBD	120	DC/FIBER	3	0	FUTURE
6	LTE OFFSET	OFFSET-2	25.5	UP	TONGYU T126027INTDEX6FT2V03	0	TBD	TBD	180	DC/FIBER	3	2	INITIAL
7	LTE/UMTS	LTE-3	29.0	UP	TONGYU T126027INTDEX6FT2V03	0	TBD	TBD	240	DC/FIBER	4	3	INITIAL
8	LTE	TBD	22.0	UP	TONGYU T126027INTDEX6FT2V03	0	TBD	TBD	240	DC/FIBER	3	0	FUTURE
9	LTE OFFSET	OFFSET-3	25.5	UP	TONGYU T126027INTDEX6FT2V03	0	TBD	TBD	300	DC/FIBER	3	2	INITIAL
10	GPS	GPS-1	30.0	UP	GPSGLONASS-36-N-S	-	-	-	-	RG-8U	-	-	FUTURE

NOTES: 1. TABLE CONTENTS TO BE CONFIRMED WITH ROGERS.
2. CABLE BEND RADIUS AS PER MANUFACTURER'S RECOMMENDATIONS.
3. ANTENNA HEIGHT TO CENTER OF ANTENNA.



ANT. TYPE: TONGYU
 MODEL: T126027INDEx6FT2V03
 HEIGHT: ±2100mm
 DEPTH: ±180mm
 WIDTH: ±500mm
 WEIGHT: ±43kg (±48.5kg W/ CLAMPS)



ANT. TYPE: ROSENBERGER
 MODEL: GPS GLONASS-36-N-S
 HEIGHT: 179mm (WITH BRACKET)
 DIAMETER: 69mm
 WEIGHT: 206.24g (W/O BRACKET)

1 ANTENNA DETAILS

- NTS

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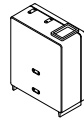
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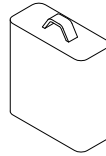


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**CELLULAR
 LOADING
 SPECIFICATIONS**

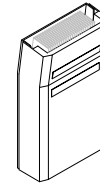
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 DEPTH: 160mm
 WIDTH: 342mm
 WEIGHT: TBD

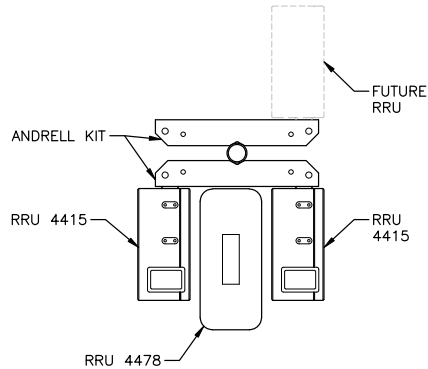


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 WIDTH: 342mm
 WEIGHT: TBD

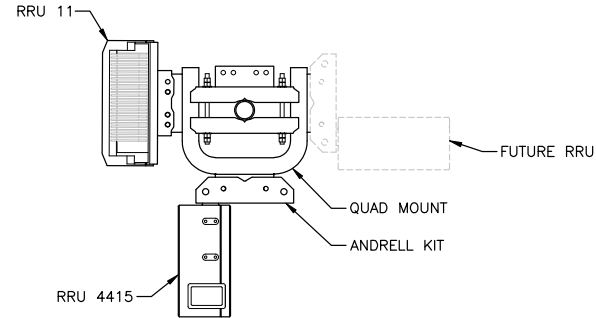


ANT. TYPE: ERICSSON
 MODEL: RRU 11
 HEIGHT: 636mm
 DEPTH: 169mm
 WIDTH: 383mm
 WEIGHT: TBD

1 RRU DETAILS
 - NTS



2 LTE RRU LAYOUT
 - NTS



3 LTE OFFSET RRU LAYOUT
 - NTS

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Revisions:		
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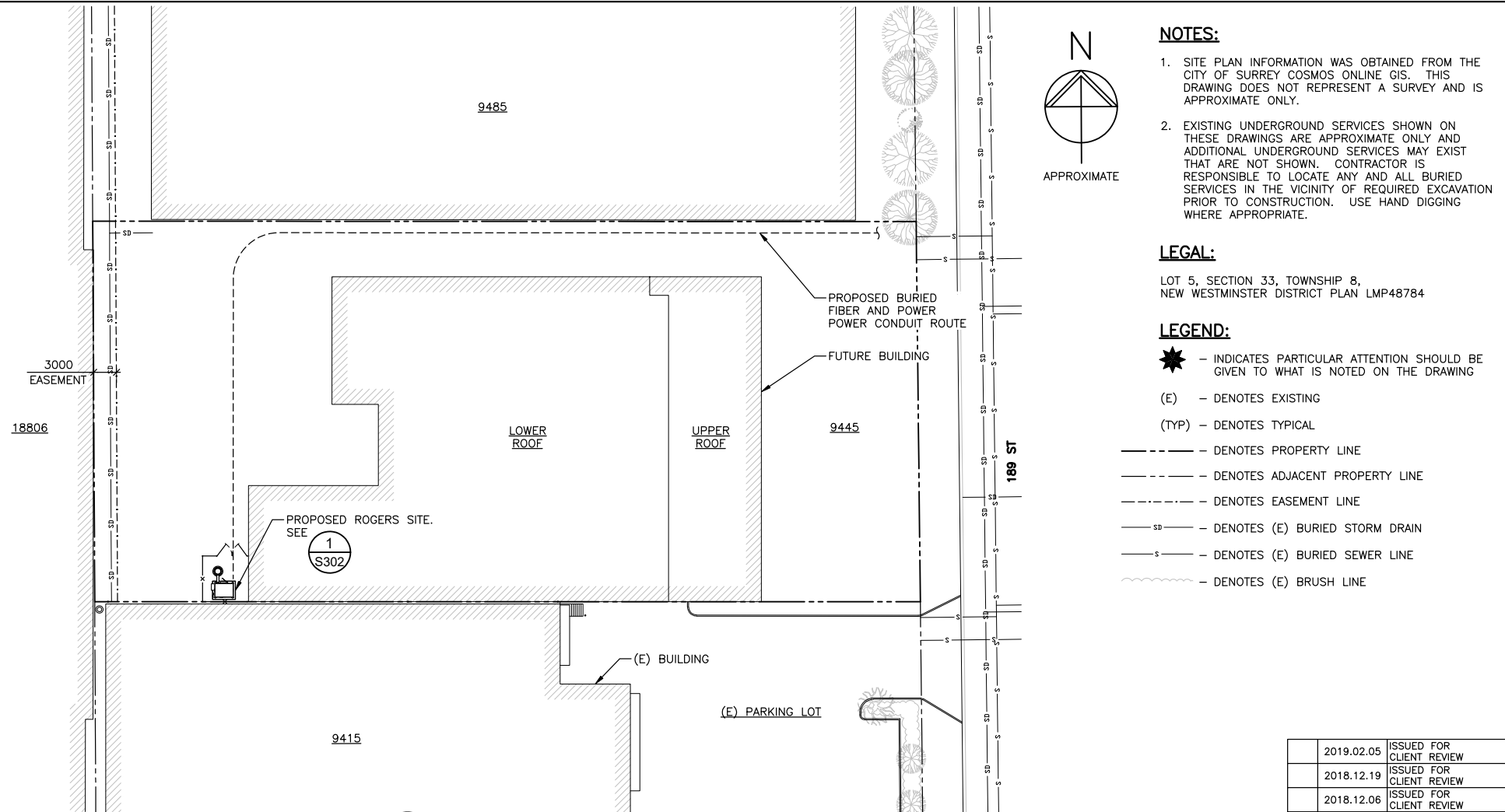
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Sheet Title:
RRU DETAILS



NOTES:

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LEGAL:

LOT 5, SECTION 33, TOWNSHIP 8,
NEW WESTMINSTER DISTRICT PLAN LMP48784

LEGEND:

- INDICATES PARTICULAR ATTENTION SHOULD BE GIVEN TO WHAT IS NOTED ON THE DRAWING
- (E) - DENOTES EXISTING
- (TYP) - DENOTES TYPICAL
- — — — — - DENOTES PROPERTY LINE
- - - - - - - - DENOTES ADJACENT PROPERTY LINE
- · - · - · - · - DENOTES EASEMENT LINE
- s — — — - DENOTES (E) BURIED STORM DRAIN
- s — — — - DENOTES (E) BURIED SEWER LINE
- ~~~~~ - DENOTES (E) BRUSH LINE

1 SITE PLAN
- 1:500

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2018.12.06	ISSUED FOR CLIENT REVIEW	
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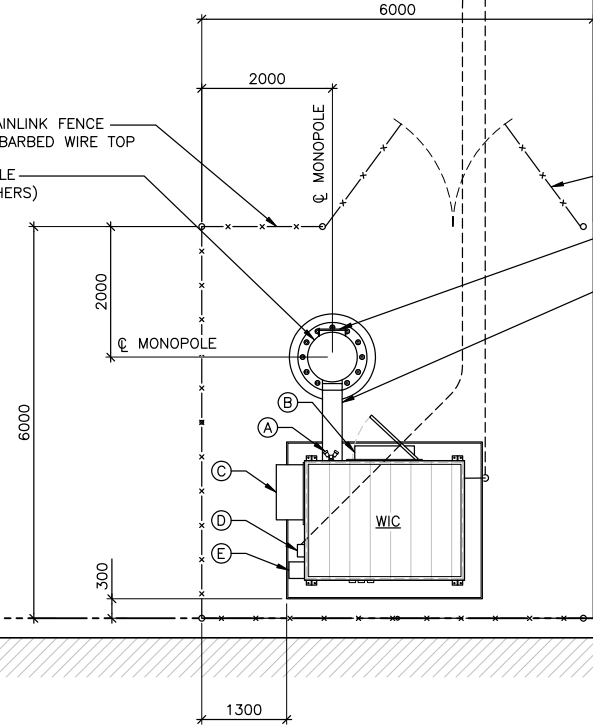
Project: Site ID: **W4446**
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Sheet Title:
SITE PLAN



2.1m HIGH CHAINLINK FENCE
C/W VERTICAL BARBED WIRE TOP

30.0m MONOPOLE
(DESIGN BY OTHERS)



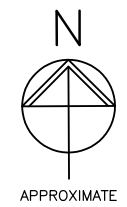
BURIED FIBER AND POWER
CONDUITS. SEE S301 FOR
CONTINUATION

9445
(E) BUILDING

4.0m WIDE DOUBLE
SWING GATE

CLIMBING LADDER

300 CABLE TRAY ON
CONCRETE PAVERS



LEGEND:

- ★ - INDICATES PARTICULAR ATTENTION SHOULD BE GIVEN TO WHAT IS NOTED ON THE DRAWING
- (E) - DENOTES EXISTING
- (TYP) - DENOTES TYPICAL
- WIC - DENOTES 2448x1830x2648mm ALPHA WALK-IN-CABINET ON CONCRETE PAD
- (A) - DENOTES LIGHT FIXTURE WITH MOTION SENSOR PROVIDED WITH WIC
- (B) - DENOTES STEEL STEP PROVIDED WITH WIC
- (C) - DENOTES HVAC UNIT PROVIDED WITH WIC
- (D) - DENOTES METER BASE PROVIDED WITH WIC TO BE REPLACED WITH PULLBOX
- (E) - DENOTES GENERATOR CONNECTION BOX PROVIDED WITH WIC

9415
(E) BUILDING

1
S301

COMPOUND LAYOUT
1:75

2019.02.05	ISSUED FOR CLIENT REVIEW
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2018.12.06	ISSUED FOR CLIENT REVIEW
2018.11.07	ISSUED FOR CLIENT REVIEW

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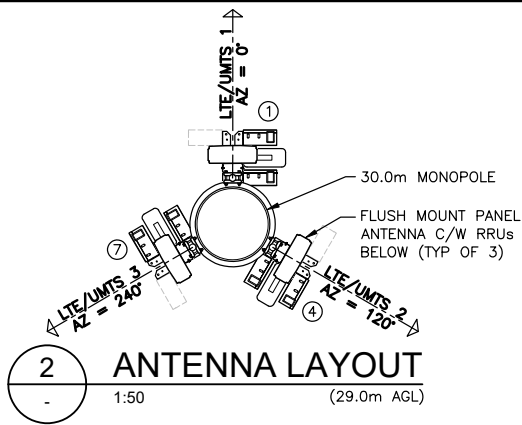
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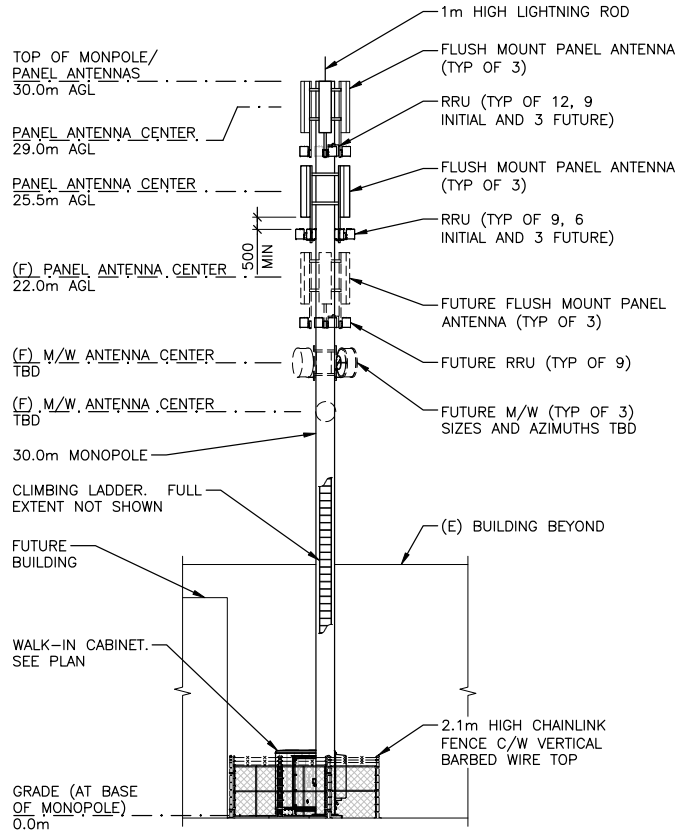
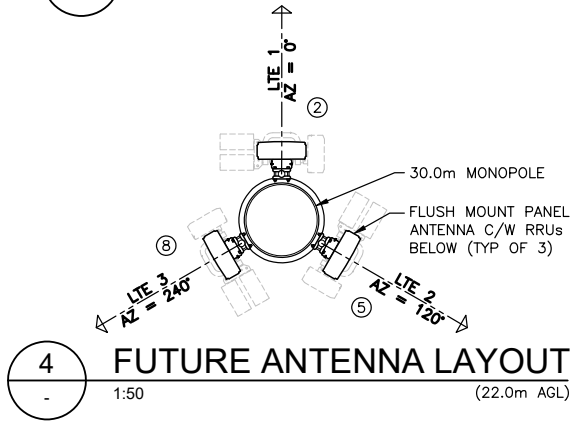
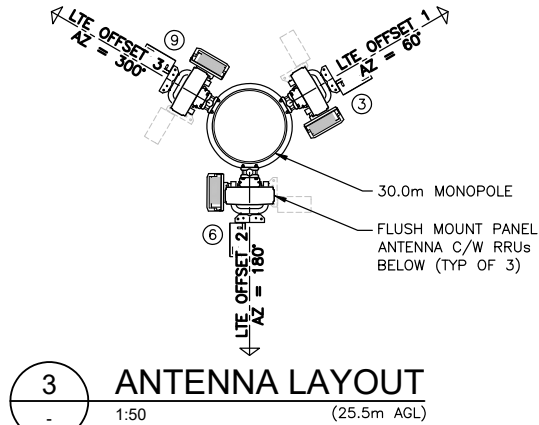
Site ID: **W4446**



Sheet Title:
COMPOUND LAYOUT



NOTE:
THESE LAYOUTS ARE SCHEMATIC ONLY. SPECIFIC MONOPOLE AND ANTENNA MOUNT DIMENSIONS AND CONFIGURATION BY MONOPOLE ENGINEER.



LEGEND:

- ★ - INDICATES PARTICULAR ATTENTION SHOULD BE GIVEN TO WHAT IS NOTED ON THE DRAWING
- # - DENOTES ANTENNA POSITION
- (E) - DENOTES EXISTING
- (TYP) - DENOTES TYPICAL
- AGL - DENOTES ABOVE GRADE LEVEL

2019.02.05	ISSUED FOR CLIENT REVIEW
2018.12.19	ISSUED FOR CLIENT REVIEW
2018.12.06	ISSUED FOR CLIENT REVIEW
2018.11.07	ISSUED FOR CLIENT REVIEW

No.:	Date:	Description:
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Revisions:

Date:	NOV 2018	Drawing:	S401
Scale:	AS NOTED		
Drawn:	RS		
Checked:	GF		
Project:	218408	Of	

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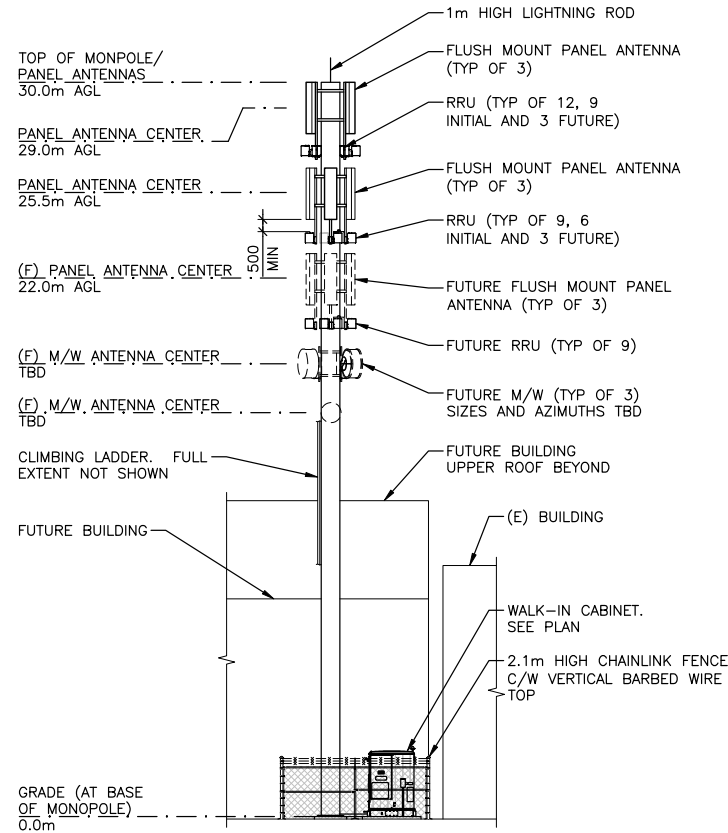
Site ID: **W4446**

ROGERS

Sheet Title:
NORTH ELEVATION AND ANTENNA LAYOUTS

LEGEND:

- ★ - INDICATES PARTICULAR ATTENTION SHOULD BE GIVEN TO WHAT IS NOTED ON THE DRAWING
- (E) - DENOTES EXISTING
- (TYP) - DENOTES TYPICAL
- AGL - DENOTES ABOVE GRADE LEVEL



1 WEST ELEVATION
S302 1:200

2019.02.05	ISSUED FOR CLIENT REVIEW
2018.12.19	ISSUED FOR CLIENT REVIEW
2018.12.06	ISSUED FOR CLIENT REVIEW
2018.11.07	ISSUED FOR CLIENT REVIEW

No.:	Date:	Description:
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Revisions:

Date:	NOV 2018	Drawing:	S402
Scale:	1:200		
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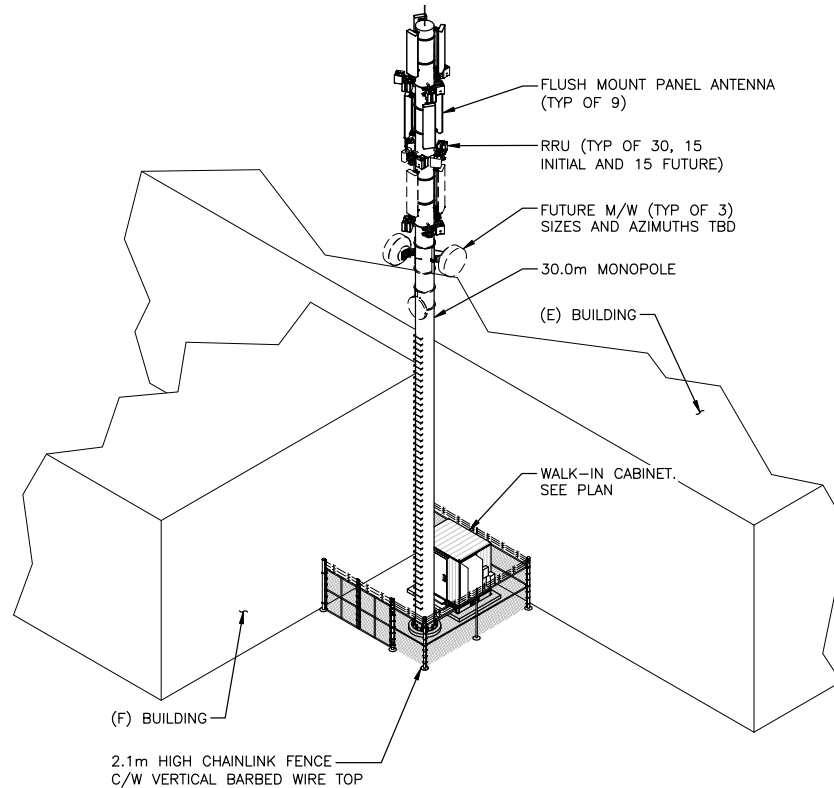
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Sheet Title:
WEST ELEVATION



NOTES:

1. SITE ISOMETRIC IS DIAGRAMMATIC ONLY AND INTENDED TO DEPICT THE GENERAL SITE ARRANGEMENT. EXISTING CONDITIONS MAY NOT BE EXACTLY AS SHOWN.

LEGEND:

- ★ – INDICATES PARTICULAR ATTENTION SHOULD BE GIVEN TO WHAT IS NOTED ON THE DRAWING
- (E) – DENOTES EXISTING
- (F) – DENOTES FUTURE
- (TYP) – DENOTES TYPICAL

1 SITE ISOMETRIC
- NTS

2019.02.05	ISSUED FOR CLIENT REVIEW	
2018.12.19	ISSUED FOR CLIENT REVIEW	
No.:	Date:	Description:
Revisions:		
Date:	DEC 2018	Drawing:
Scale:	NTS	S403
Drawn:	RS	
Checked:	GF	
Project:	218408	Of

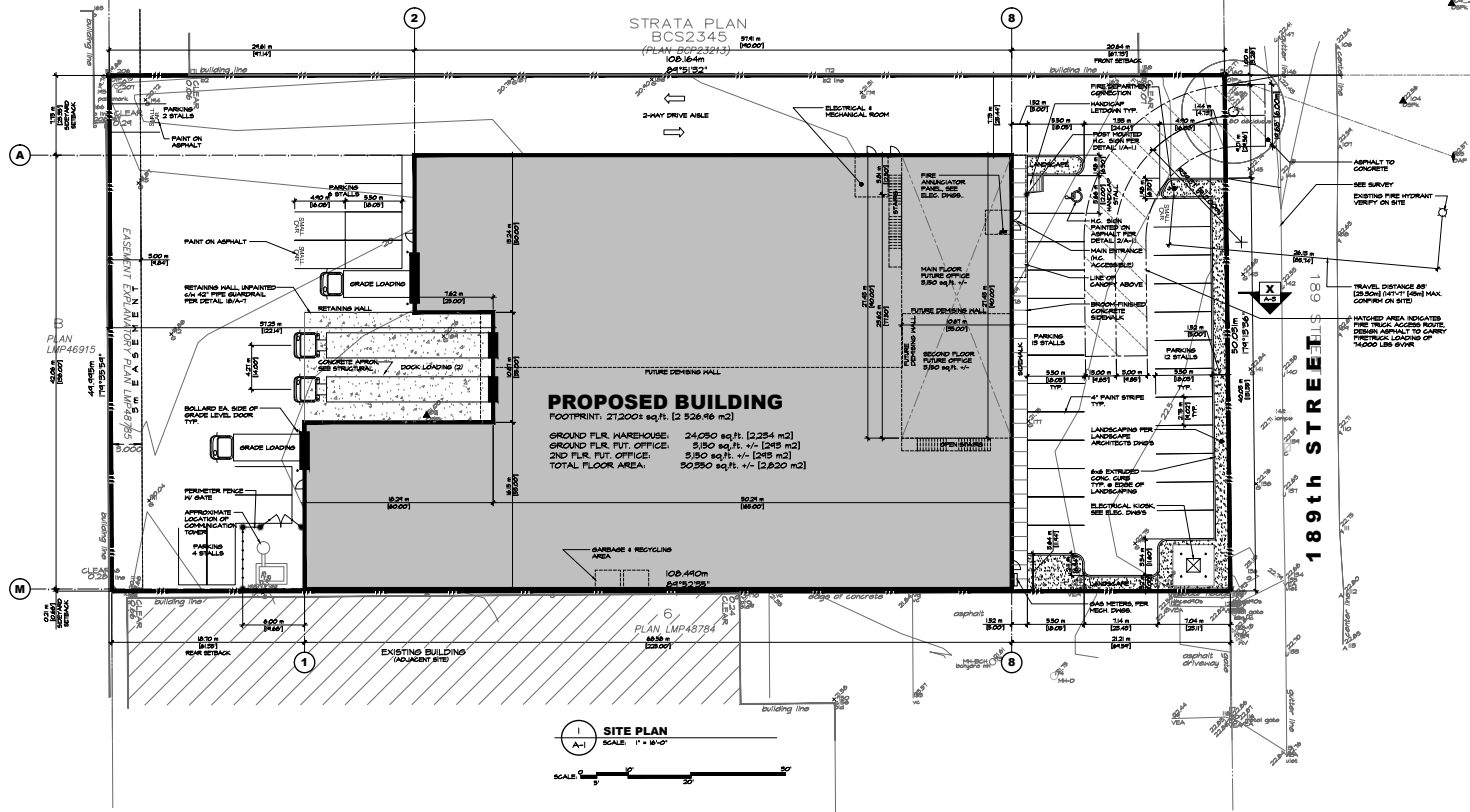
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Sheet Title:
SITE ISOMETRIC



SITE PLAN
SCALE: 1" = 10'-0"

- GENERAL NOTES:**
- SERVICES SHOWN ARE APPROXIMATE ONLY. SEE CIVIL DRAWINGS FOR FINAL LOCATIONS.
 - ASPHALT & SUBBASE DESIGN PER SOILS REPORT.
 - CONTRACTOR TO PROVIDE FOOTING & WALL SURVEYS BY REGISTERED A.L.S. DURING CONSTRUCTION. SURVEY COPIES TO CITY BUILDING DEPT.
 - SEE MECHANICAL ENGINEER DRAWINGS FOR FINAL LOCATION OF FIRE DEPARTMENT CONNECTION & NOSE BBS.
 - SEE ELECTRICAL DRAWINGS FOR LOCATION OF ALUMINIUM PANEL.
 - CONTRACTOR TO PROVIDE FRESH AIR AND MATERIALS TO CONFORM FULLY WITH ALL ASPECTS OF THE GREEN BUILDING CODE. ALL GREEN APPLICABLE CODES, REGULATIONS, TESTS, LETTERS, AS WELL AS ALL REQUIREMENTS OF ANY APPLICABLE JURISDICTION.
 - DESIGN LOCATIONS ARE SOLELY RESPONSIBLE TO INSURE THEIR SUPPLIED PRODUCTS FULLY CONFORM TO ALL APPLICABLE CODES AND TEST REQUIREMENTS AND TO HAVE SUFFICIENT QUANTITIES AVAILABLE. CONTRACTOR TO FULLY COMPLY WITH ALL APPLICABLE CODES AND TESTS.
 - THE CONTRACTOR MUST CONFIRM ALL DIMENSIONS AND OFFERS ASSURE HIMSELF OF THE ACCURACY OF THE PLANS AND REPORT ALL DISCREPANCIES AND ANY PROPOSED CHANGES TO THE WORK IMMEDIATELY TO THE ARCHITECT.
 - ALL DIMENSIONS SHOWN ON THESE DRAWINGS FOR MANUFACTURED COMPONENTS ARE NOMINAL. THE CONTRACTOR SHALL CONFIRM ACTUAL DIMENSIONS WITH THE SUPPLIER/MANUFACTURER.
 - ALL MATERIALS IN THE CONSTRUCTION TO BE USED FOR THEIR INTENDED PURPOSE AND TO BE APPROVED BY THE AUTHORITY HAVING JURISDICTION. ALL EQUIPMENT AND FITTINGS MUST BE CSA (CANADIAN STANDARDS ASSOCIATION) APPROVED.
 - VARIOUS BARRENES SHALL BE CONTINUED AND REBALLED TO THAT ALL JOINTS ARE SEALED OR LAPPED 100% AND COUGH AT FRAMING MEMBERS, FURNING OR BLOCCING. ALL HOLE THROUGH VARIOUS BARRENES SHALL BE CUT FOR THE INSTALLATION OF ELECTRICAL, BOND OR DUCTWORK. SHALL BE SEALED TO MAINTAIN THE INTEGRITY OF THE VARIOUS BARRENES OVER THE ENTIRE SURFACE.
 - THE DESIGNER/ENGINEER IS NOT RESPONSIBLE FOR CHANGES IN CONSTRUCTION FROM WHAT IS SHOWN BY ANY PARTY.
 - THE DESIGNER/ENGINEER IS NOT RESPONSIBLE FOR SOIL CONDITIONS, CHARACTERISTICS AND CAPACITY TO SUPPORT THE STRUCTURE SHOWN ON THESE DRAWINGS.
 - ALL CONSTRUCTION WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH GOOD BUILDING PRACTICES BASED ON THE CONTRACT DOCUMENTS.
 - THERE SHALL BE SHOP DRAWINGS PROVIDED FOR ALL MAJOR BUILDING COMPONENTS. THEY SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW BY THE COORDINATING ARCHITECT/ENGINEER AND OTHER CONSULTANTS RESPONSIBLE.
 - ANY PROPOSED SUBSTITUTION OF MATERIALS MUST BE APPROVED IN ADVANCE OF ORDERING.
 - SAMPLES OF ALL INTENDED PRODUCTS, COLORS, MATERIALS AND FINISHES SHOULD BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES TO ALLOW ADEQUATE TIME FOR REVIEW.
 - WORK TO BE COMPLETED IN CONFORMANCE WITH R.E.A.C. OR EQUAL METHODS AND PRACTICES. PROVIDE ROOF WARRANTY TO COORDINATING ARCHITECT/ENGINEER.
 - PROVIDE SEALED SHOP DRAWINGS FOR ALL DOORS, WINDOWS/GLAZING, GROUNDWALLS, HANDRAILS, STAIRS, RATED ASSEMBLIES (E. JOINTS), FIRE SHUTTERS (IF APPLICABLE).
 - ALL PROPERTY LINE DIMENSIONS & BEARING ANGLES ARE PROPOSED & ARE REQUIRED TO BE CONFIRMED BY SURVEY.
 - NOTE: ALL ON-SITE AND OFF-SITE GRADING TO BE CONFIRMED WITH CIVIL ENGINEER.
 - NOTE: ALL GARBAGE STORED INSIDE BUILDING.

SITE DATA

448 189th STREET, SURREY, B.C.
LEGAL DESCRIPTION: LOT 8, SECTION 28, TOWNSHIP 4, PLAN LMP48784 NVO

ZONING: I-5 LIGHT INDUSTRIAL

AREAS LEFT AREA: 9,474 sq. ft. (874 sq. m.)

PROPOSED BUILDING AREA (FOOTPRINT): 21,200 sq. ft. (1,964 sq. m.)

BUILDING: 2 STY. HD. (21,200 sq. ft.)

NET COVERABLE AREA: 408 HAUL (2,560' x 1,584' x 4' HAUL)

F.A.R. NET: 50,800 sq. ft. TOTAL FLOOR AREA / 58,844 sq. ft.

SETBACKS: MIN. PROPOSED

FRONT (EAST):	18m (59' 0")	30.44m (99' 10")
SIDE (NORTH):	15m (49' 0")	15m (49' 0")
SIDE (SOUTH):	15m (49' 0")	0.2m (0.66')
REAR (WEST):	15m (49' 0")	28.7m (94' 0")

* ONE (1) SIDE YARD SETBACK SHALL BE 1.8 METRES (5 FT) OR ONE (1) METRE (3 FT) DEPENDING ON THE PROPOSED FLOOR PLACEMENT.

HEIGHT: 8.0 (26' 0") MAX. 10.26 (33' 8")

PARKING REQUIREMENTS

GROUND FLOOR:	24/90 / 1/75 = 25.4
WAREHOUSE:	9/90 / 1/75 = 13.3
FUTURE OFFICE APPROX:	24/90 / 1/75 = 25.4
2ND FLOOR:	9/90 / 1/75 = 13.3
FUTURE OFFICE APPROX:	9/90 / 1/75 = 13.3
PARKING REQUIRED:	87/22 STALLS
PARKING PROVIDED:	87/22 STALLS

CHIP BARRETT ARCHITECT
1162-2028 WEST 10TH AVENUE, SURREY, B.C. V3R 6G4
TEL: (604) 407-9555 EMAIL: CHIP@CHIPBARRETT.COM

D.FORCE DESIGN INC.
IN ASSOCIATION WITH
2028A ALLANCRE STREET, AMBROSE, B.C. V2B 3J9
TEL: (604) 407-9555 EMAIL: DARC@DFORCE.COM

THIS DRAWING IS ONE OF A SERIES OF DRAWINGS FOR THE PROPOSED BUILDING. IT IS TO BE USED IN CONJUNCTION WITH THE OTHER DRAWINGS IN THE SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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PROJECT MANAGER / CONTRACTORS:

DSQUARED PROJECTS

PROJECT: PROPOSED BUILDING FOR:

AVM

CMC ADDRESS 946 18th Street, Surrey, B.C.
DRAWING:

SITE PLAN

DATE:	ISSUED:	DRAWN BY:
10/19/19	10/19/19	D.J.
CHECKED:	DATE:	REV:
CB	10/19/19	
PROJECT DRAWING NUMBER:	REV:	
A-1	12	

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7919-0007-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 024-952-699
Lot 5 Section 33 Township 8 New Westminster District Plan LMP48784

9445 - 189 Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Sub-section A.1(a)ii.b. of Part 4 General Provisions, the height of a telecommunication tower is increased from 12 metres (40 ft.) to 31 metres (102 ft.); and
 - (b) In Section F. Yards and Setbacks of Part 48 Light Impact Industrial Zone (IL) the south side yard setback for the telecommunication tower is reduced from 7.5 metres (25 ft.) to 2.5 metres (8 ft.) and for the accessory equipment compound is reduced from 7.5 metres (25 ft.) to 0.3 metres (1 ft.).
4. The siting of buildings and structures shall be in accordance with the drawings numbered 7919-0007-00 (A) through to and including 7919-0007-00 (D) (the "Drawings") which are attached hereto and form part of this development variance permit.

5. This development variance permit applies to only that portion of the structures on the Land shown on drawing 7919-0007-00(B) which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing structures shown on attached drawing 7919-0007-00(B), which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within three (3) years after the date this development variance permit is issued.

8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

NOTES:

1. SITE PLAN INFORMATION WAS OBTAINED FROM THE CITY OF SURREY COSMOS ONLINE GIS. THIS DRAWING DOES NOT REPRESENT A SURVEY AND IS APPROXIMATE ONLY.
2. EXISTING UNDERGROUND SERVICES SHOWN ON THESE DRAWINGS ARE APPROXIMATE ONLY AND ADDITIONAL UNDERGROUND SERVICES MAY EXIST THAT ARE NOT SHOWN. CONTRACTOR IS RESPONSIBLE TO LOCATE ANY AND ALL BURIED SERVICES IN THE VICINITY OF REQUIRED EXCAVATION PRIOR TO CONSTRUCTION. USE HAND DIGGING WHERE APPROPRIATE.



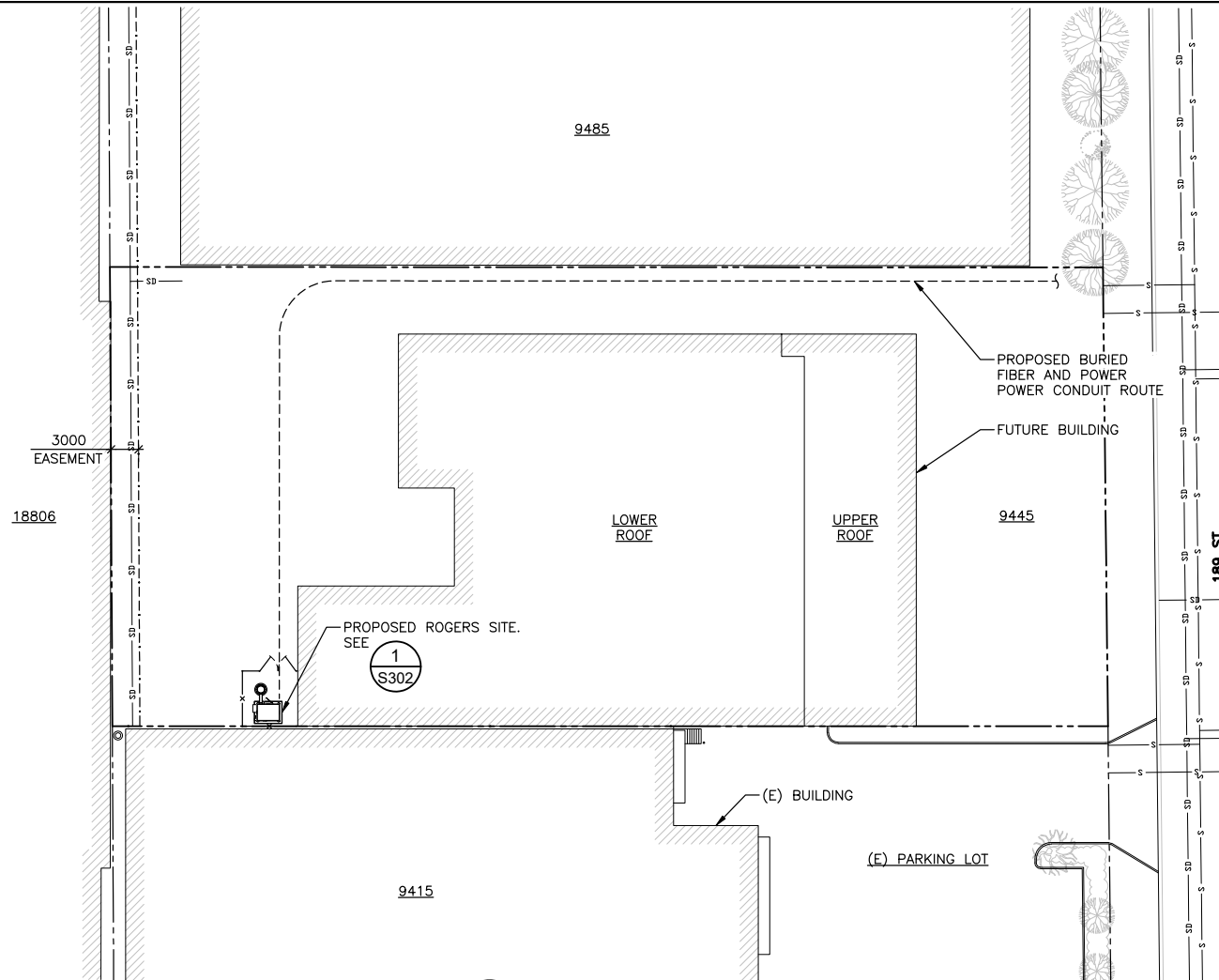
APPROXIMATE

LEGAL:

LOT 5, SECTION 33, TOWNSHIP 8,
NEW WESTMINSTER DISTRICT PLAN LMP48784

LEGEND:

- INDICATES PARTICULAR ATTENTION SHOULD BE GIVEN TO WHAT IS NOTED ON THE DRAWING
- (E) - DENOTES EXISTING
- (TYP) - DENOTES TYPICAL
- -- - DENOTES PROPERTY LINE
- - - - - DENOTES ADJACENT PROPERTY LINE
- · - · - DENOTES EASEMENT LINE
- SD — DENOTES (E) BURIED STORM DRAIN
- S — DENOTES (E) BURIED SEWER LINE
- ~~~~~ DENOTES (E) BRUSH LINE



1 SITE PLAN
- 1:500

2019.02.05	ISSUED FOR CLIENT REVIEW
2018.12.19	ISSUED FOR CLIENT REVIEW
2018.12.06	ISSUED FOR CLIENT REVIEW
2018.11.07	ISSUED FOR CLIENT REVIEW

No.:	Date:	Description:
Revisions:		
Date:	NOV 2018	Drawing:
Scale:	1:500	S301
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Checked:	GF	
Project:	218408	Of

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Sheet Title:
SITE PLAN

LEGEND:

- ★ - INDICATES PARTICULAR ATTENTION SHOULD BE GIVEN TO WHAT IS NOTED ON THE DRAWING
- (E) - DENOTES EXISTING
- (TYP) - DENOTES TYPICAL
- WIC - DENOTES 2448x1830x2648mm ALPHA WALK-IN-CABINET ON CONCRETE PAD
- (A) - DENOTES LIGHT FIXTURE WITH MOTION SENSOR PROVIDED WITH WIC
- (B) - DENOTES STEEL STEP PROVIDED WITH WIC
- (C) - DENOTES HVAC UNIT PROVIDED WITH WIC
- (D) - DENOTES METER BASE PROVIDED WITH WIC TO BE REPLACED WITH PULLBOX
- (E) - DENOTES GENERATOR CONNECTION BOX PROVIDED WITH WIC



To reduce the minimum south side yard setback of the IL Zone from 7.5 metres (25 ft.) to 2.5 metres (8 ft.) for the telecommunication tower.

To reduce the minimum south side yard setback of the IL Zone from 7.5 metres (25 ft.) to 0.3 metres (1 ft.) for the equipment compound.

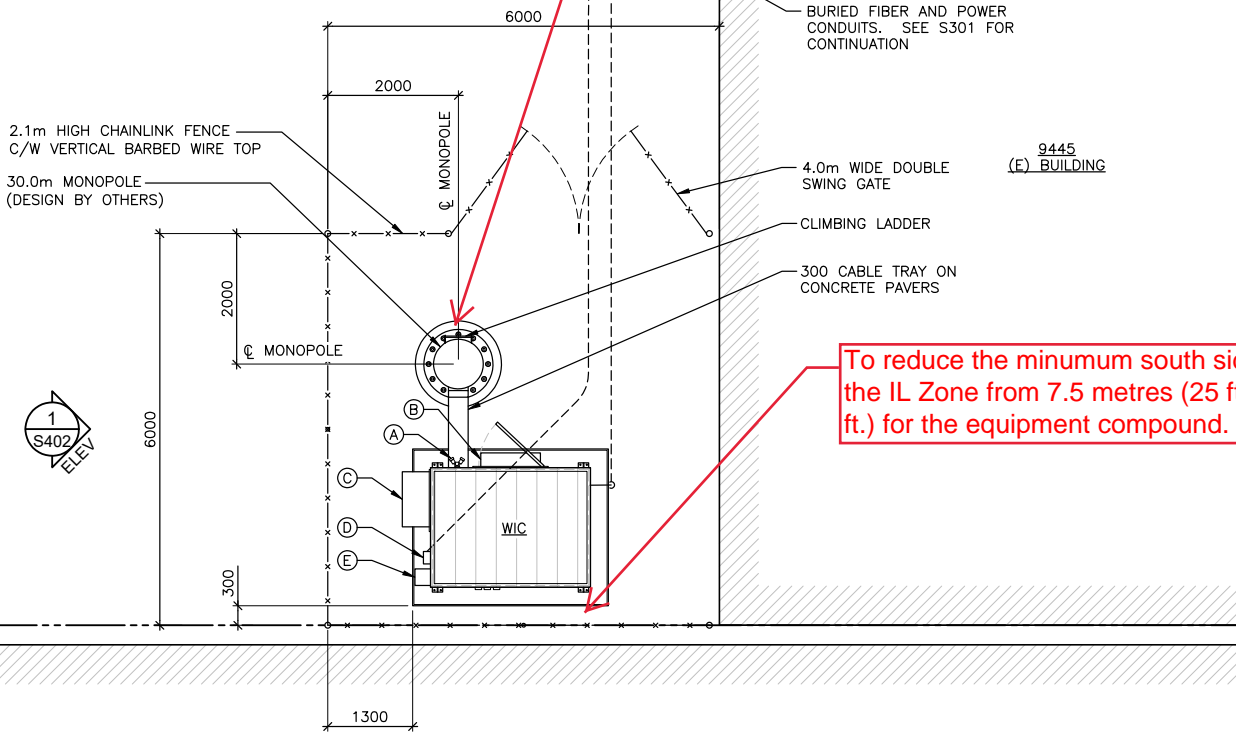
2.1m HIGH CHAINLINK FENCE
C/W VERTICAL BARBED WIRE TOP
30.0m MONOPOLE
(DESIGN BY OTHERS)

BURIED FIBER AND POWER
CONDUITS. SEE S301 FOR
CONTINUATION

9445
(E) BUILDING

4.0m WIDE DOUBLE
SWING GATE
CLIMBING LADDER
300 CABLE TRAY ON
CONCRETE PAVERS

9415
(E) BUILDING



1 COMPOUND LAYOUT
S301 1:75

2019.02.05	ISSUED FOR CLIENT REVIEW
2018.12.19	ISSUED FOR CLIENT REVIEW
2018.12.06	ISSUED FOR CLIENT REVIEW
2018.11.07	ISSUED FOR CLIENT REVIEW

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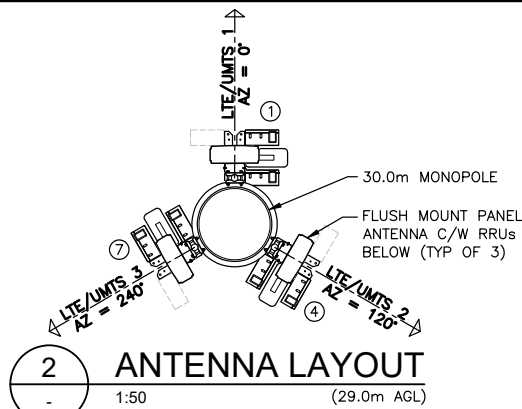


Sheet Title:
COMPOUND LAYOUT

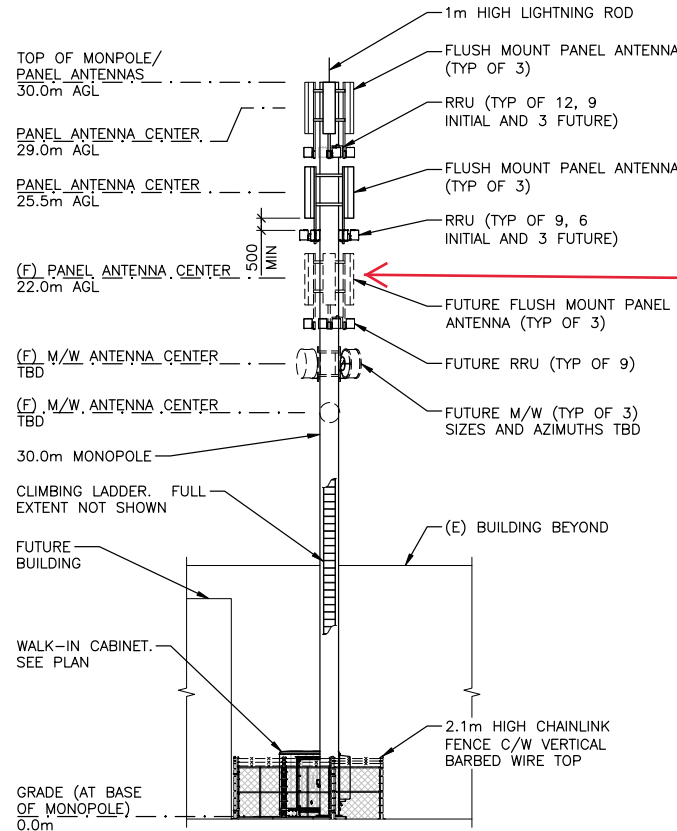
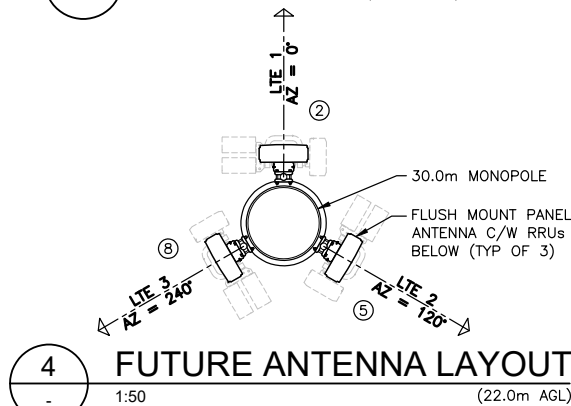
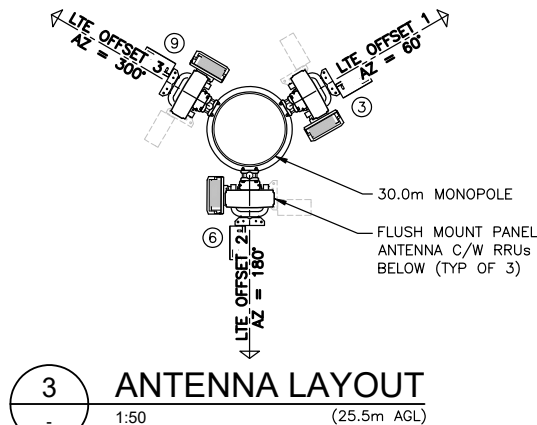
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Flush-mounted antennas.



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Revisions:

Date:	NOV 2018	Drawing:	S4
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Project:	218408	Of	

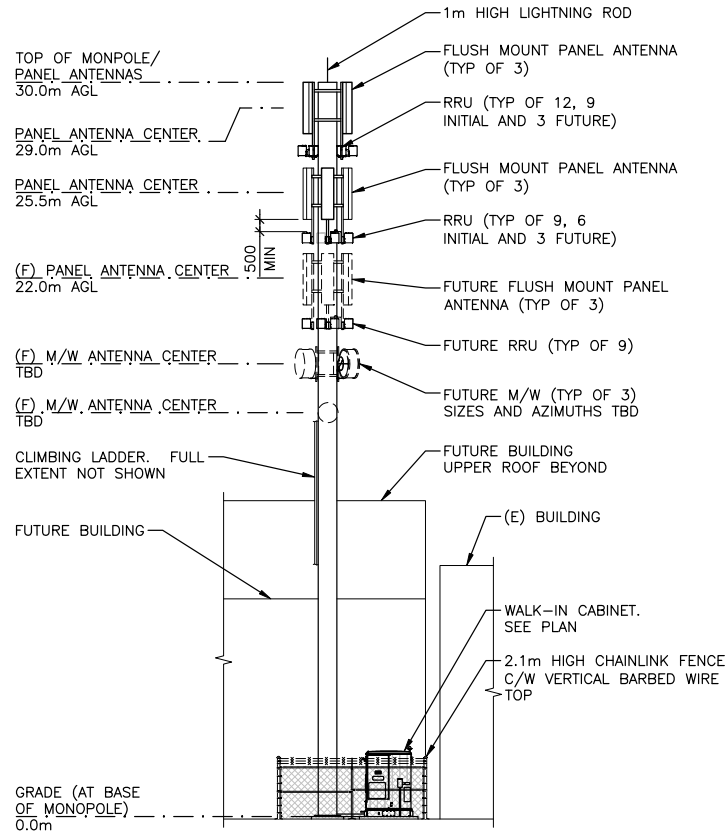
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Project: **PORT KELLS**
9445 189 ST, SURREY, BC
Site ID: **W4446**
ROGERS

Sheet Title:
NORTH ELEVATION AND ANTENNA LAYOUTS

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1
WEST ELEVATION
S302 1:200

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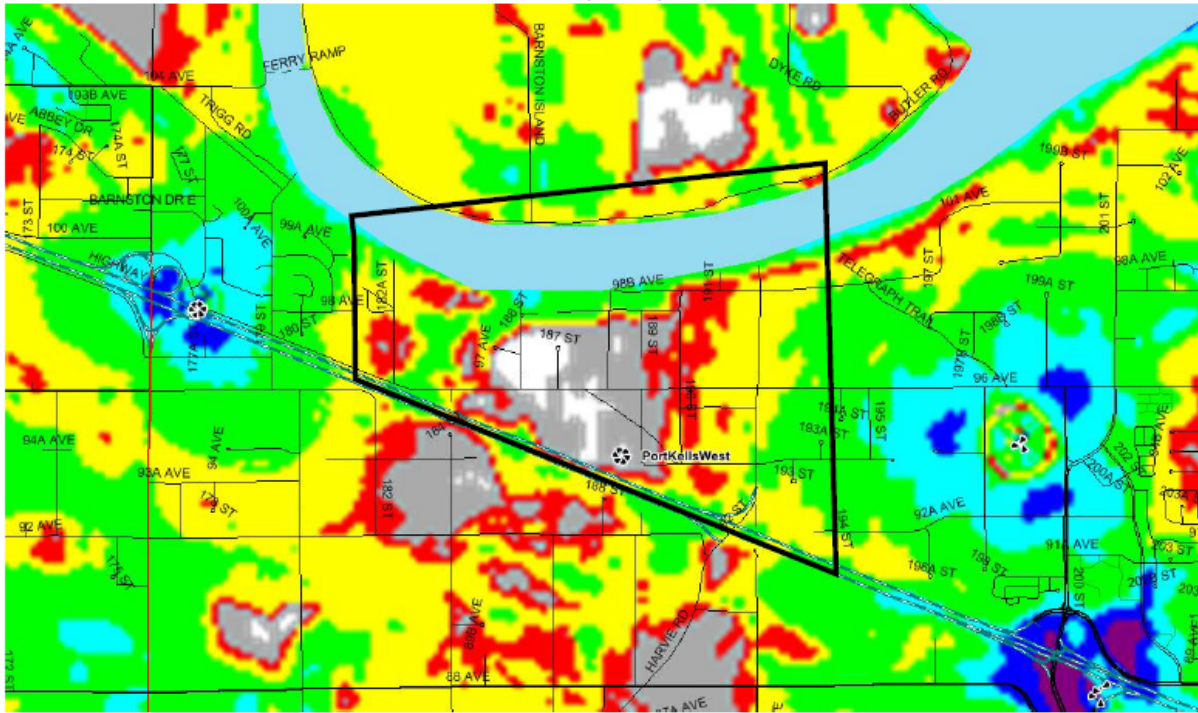
Project: **PORT KELLS**
9445 189 ST, SURREY, BC

Site ID: **W4446**

Sheet Title:
WEST ELEVATION

W4446 – Coverage Maps

LTE 2100MHz, RSRP, BEFORE



LTE 2100 MHz, RSRP, AFTER

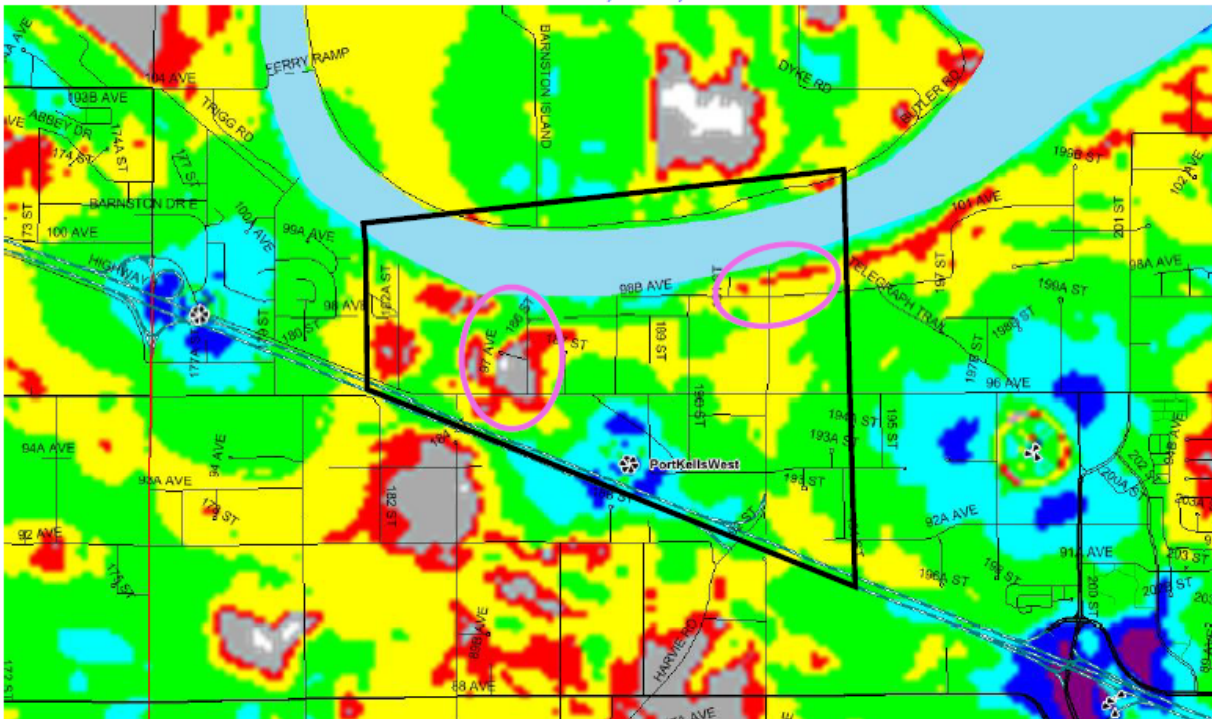


Photo-Simulation

BEFORE

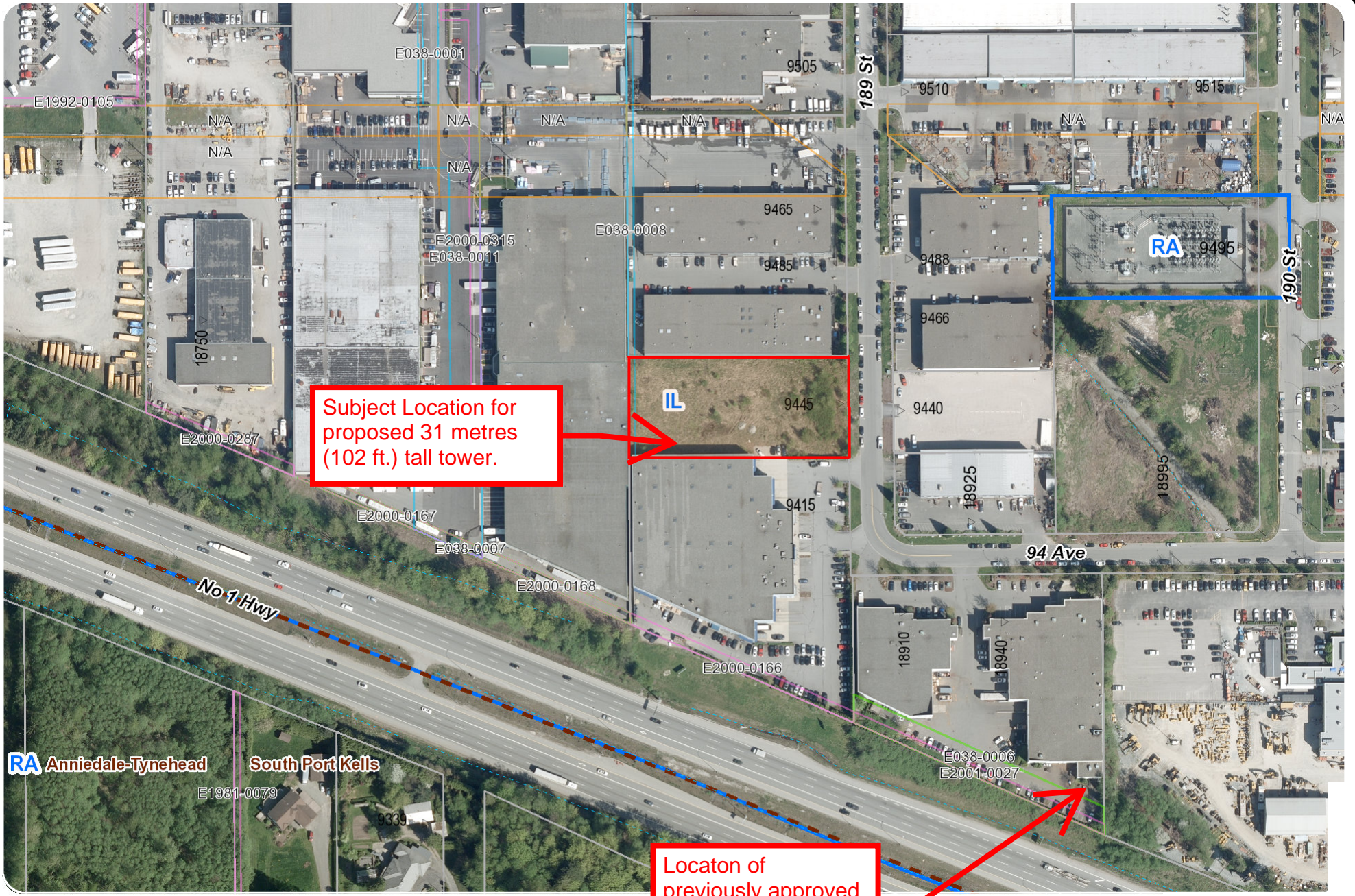


AFTER



View: looking southwest from 189 Street.

*Photo Simulation is a close representation and is for conceptual purposes only – not to scale.
Proposed design is subject to change based on final engineer plans
The tower will be marked in accordance with Transport Canada Obstruction Marking and NAV Canada requirements.*



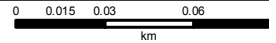
Subject Location for proposed 31 metres (102 ft.) tall tower.

Location of previously approved 41 metre (135 ft.) tall tower

Enter Map Description

Scale: 1:2,550

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Map created on: 2019-0

W4446 – Map of Existing Towers within 500 metres

