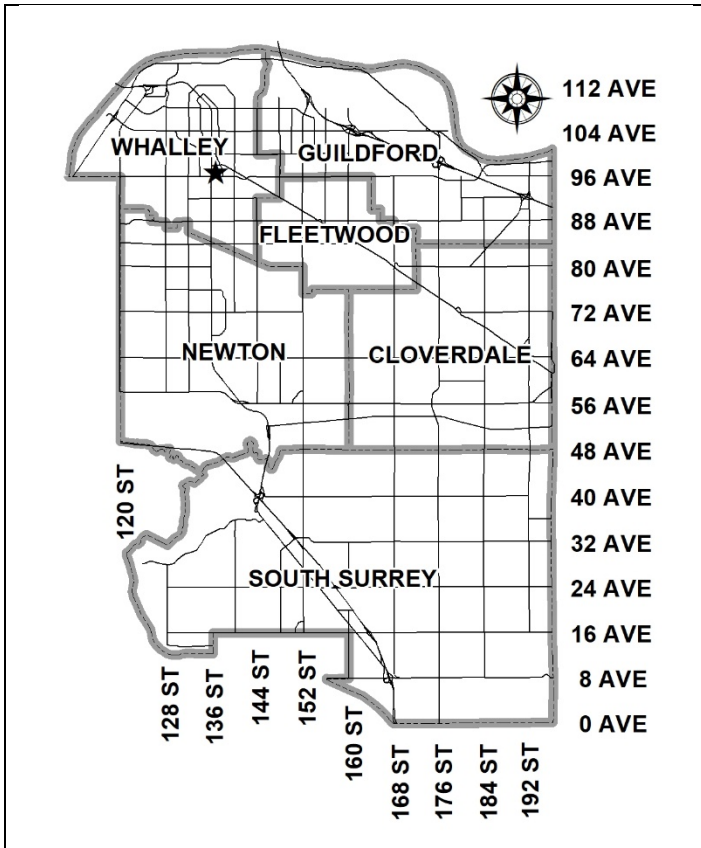


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7918-0453-00

Planning Report Date: May 13, 2019



PROPOSAL:

- **Rezoning** from CD (By-law No. 19373) to CD
- **Development Permit**
- **Development Variance Permit**

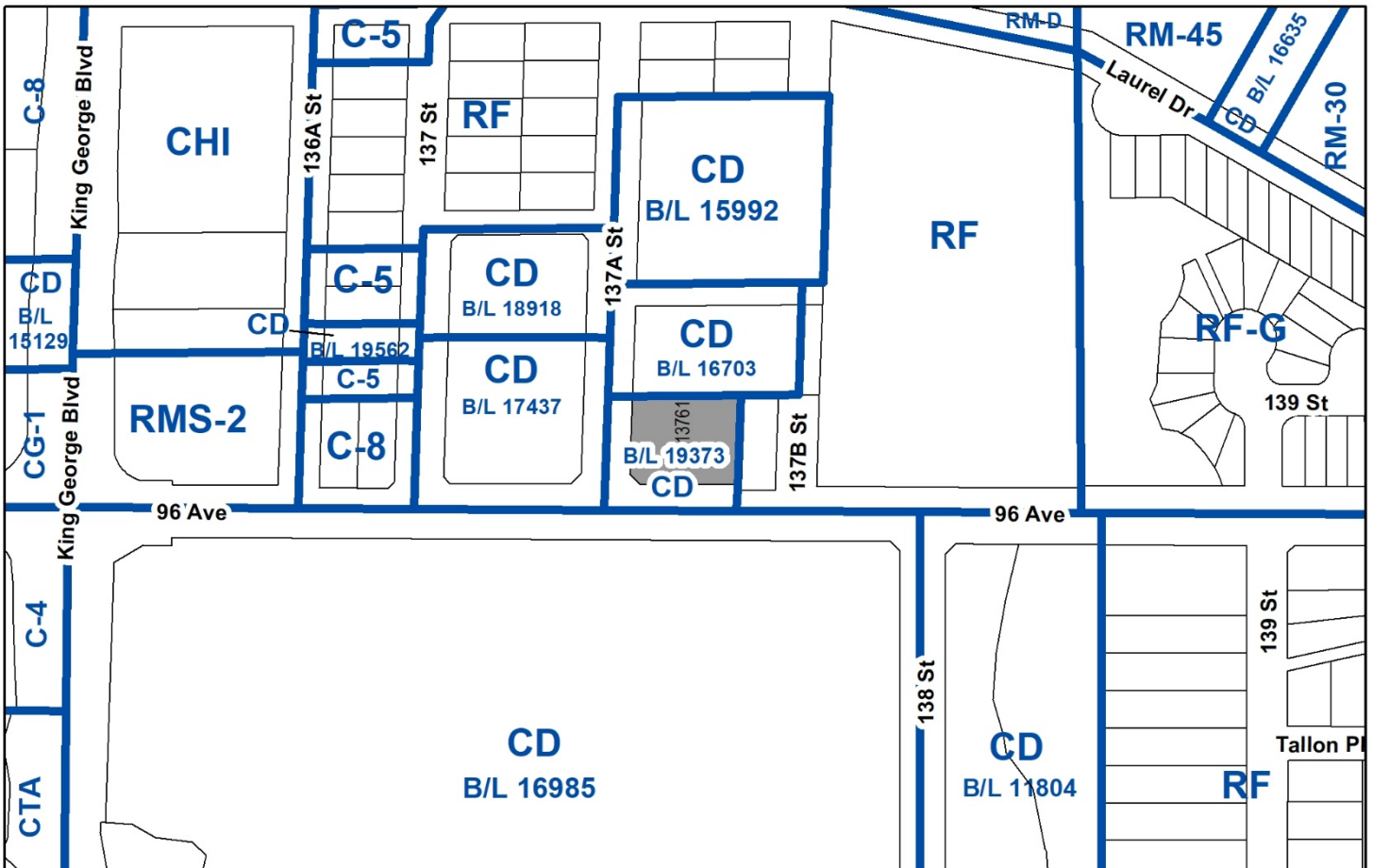
to allow additional floor area on an approved 10-storey office/retail building and to vary the minimum 400-metre (1,300 ft.) separation requirement between a proposed small-scale drug store and an existing small-scale drug store.

LOCATION: 13761 - 96 Avenue

ZONING: CD (By-law No. 19373)

OCP DESIGNATION: Central Business District

CCP DESIGNATION: Mixed-Use 5.5 FAR



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking to vary the Zoning By-law to locate a new small-scale drug store within 400 metres (1,300 ft.) of an existing small-scale drug store.

RATIONALE OF RECOMMENDATION

- Complies with the "Central Business District" designation in the OCP and the "Mixed-Use 5.5 FAR" designation in the CCP Designation.
- The proposed building form and character generally comply with the original design approved by Council under Development Permit No. 7914-0319-00 in October 2017.
- City Centre 3 (CC3) is the third building by Lark Group located within the Medical District. The building was originally designed for a single office use tenant to occupy the entire building; however, this did not materialize in time to keep up with the pace of sales within the Medical District.
- The proposed 1,108 square metres (11,926 sq. ft.) of additional floor area will allow for multiple tenants and an increased medical office use component. In order to accommodate the increased medical office use, the building design has been adjusted resulting in an increased floor plate size for an additional elevator shaft as well as an additional level of underground parking.
- The proposed small-scale drug store will be associated with a medical clinic located on the main floor of the 10-storey office/retail building.
- Although the area is currently served by three (3) small-scale drug stores within a 400-metre (1,300 ft.) radius of the subject property, the applicant is seeking to provide convenience to patients of the medical clinic located in the subject building, as well as Surrey Memorial Hospital. The pharmacy will also provide specialized infusion services for BC Cancer Clinic patients that is not currently available at other pharmacies.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "Comprehensive Development Zone (CD)" (By-law No. 19373) to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7918-0453-00 generally in accordance with the attached drawings (Appendix II).
3. Council approve Development Variance Permit No. 7918-0453-00 (Appendix IV) varying the following, to proceed to Public Notification:
 - (a) in Section E.28 of Part 4 General Provisions of Zoning By-law No. 12000, the minimum separation requirement between a small-scale drug store and an existing small-scale drugstore is reduced from 400 metres (1,300 ft.) to 22 metres (72 ft.).
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (c) ensure all requirements associated with the provision of two MODO car share vehicles are addressed to the satisfaction of the General Manager, Engineering and;
 - (d) registration of a replacement Section 219 Restrictive Covenant to reflect the current rate of 0.50% of the estimated total project construction cost to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements under File No. 7914-0319-00.

SITE CHARACTERISTICSExisting Land Use:Adjacent Area:

Direction	Existing Use	CCP Designation	Existing Zone
North:	Care facility.	Mixed-Use 3.5 FAR	CD (By-law No. 16703)
East:	Single family dwelling.	Mixed-Use 3.5 FAR	RF
South (Across 96 Avenue):	Surrey Memorial Hospital.	Mixed-Use 3.5 FAR	CD (By-law No. 16985)
West (Across 137A Street):	Newly constructed 12-storey office/retail development, called City Centre 1, developed by the same applicant.	Mixed-Use 3.5 FAR	CD (By-law No. 17437)

DEVELOPMENT CONSIDERATIONSBackground

- The 0.56-acre (2,282-square metre) subject site is located at 13761 - 96 Avenue, in the Medical District of the City Centre. The site is designated "Central Business District" in the Official Community Plan (OCP) and "Mixed-Use 5.5 FAR" in the City Centre Plan.
- The site is the location of one of Lark Group's office/retail developments in the Medical District called "City Centre Three (CC3)". The parent properties were rezoned to accommodate this comprehensive development project on October 2, 2017 and subsequently consolidated into one (1) development parcel, under Development Application No. 7914-0319-00.
- As part of the same development application, the subject site was redesignated in the City Centre Plan from "Mixed-Use 3.5 FAR" to "Mixed-Use 5.5 FAR" and Development Permit No. 7914-0319-00 was issued to guide the form and character of a 10-storey office/retail development with 989 square metres (10,644 sq. ft.) of ground-level commercial space.
- The applicant has recently confirmed that since final approval, the proposal has been revised to include an additional 1,108 square metres (11,926 sq. ft.) of floor area, increasing the FAR from 5.5 to 5.9, exceeding the allowable density in the current CD Zone (By-law No. 19373).
- The proposed 1,108 square metres (11,926 sq. ft.) of additional floor area will allow for multiple tenants and an increased medical office use component.

Current Proposal

- The applicant, Lark Group, is proposing to rezone the subject site from "Comprehensive Development Zone (CD)" (By-law No. 19373) to "Comprehensive Development Zone (CD)" based on the C-35 Zone to increase the allowable density from 5.5 to 5.9 FAR. The proposed development remains a 10-storey office building with ground floor commercial retail units (CRUs). However, to accommodate the additional floor area, one additional level of underground parking is proposed for a total of 6 levels.
- Of the 1,108 square metres (11,926 sq. ft.) of additional floor area, 436 square metres is proposed for medical office use.
- In order to accommodate the additional floor area, the building has been expanded to the north and the east and the elevator shaft has been expanded from 3 to 4 elevators. The proposal complies with the previously approved setbacks.
- An additional level of parking, P6, has been added resulting in a total parking count of 293 parking spaces.
- The form and character of the building largely complies with the original design approved by Council under Development Permit No. 7914-0319-00. However, the proposed building floor plate is larger and the building subsequently wider, in order to accommodate the additional floor area and elevator shaft.
- The applicant is also proposing a Development Variance Permit (DVP) to permit a small-scale drug store on the subject site (see By-law Variance section).

Proposed CD Zone

- The CD Zone (By-law No. 19373) that currently regulates the site allows a net floor area ratio (FAR) of 5.5.
- In accordance with the Surrey City Centre Plan, the subject site is designated for high-rise, high-density development with a floor area ratio (FAR) of up to 5.5 with an additional 20% permitted through the interim density bonus policy allowing a FAR of up to 6.6 (based on gross site area).
- Under the proposed CD Zone for the subject site, the maximum net floor area ratio (FAR) of the development is increased to 5.9 to accommodate the recent revisions to the applicant's office space programming which complies with the "Mixed-Use 5.5 FAR" Surrey City Centre Plan designation with the 20% interim density bonus provision.
- The proposed mix of uses, including office and medical office, a private surgical centre, and ground floor commercial space will support the vision for the Medical District in the City Centre and its innovation focus.
- The main entrance at the corner of 137A Street and 96 Avenue also incorporates a publicly accessible plaza and landscaping to create a welcoming outdoor, urban space at the prominent corner.

- The City Centre Parking Update was recently approved by Council on February 25, 2019 wherein the 20% reduction to the parking requirements for office use in City Centre is no longer applicable and requires 3.5 parking spaces per 100 square metres (1,075 sq. ft.) for medical office use.
- The proposed CD By-law will allow for the originally approved parking rate of 2.8 parking spaces per 100 square metres (1,075 sq. ft.) for medical office use under the approved application in accordance with the rates permitted at the time of the applicant's development approval and 3.5 parking spaces per 100 square metres (1,075 sq. ft.) for the newly proposed 436 square metres (4,693 sq. ft.) of medical office use for medical office use.

Proposed Parking and MODO

- The approved Development Application No. 7914-0319-00, included a five-level underground parkade. Parking for the revised development is proposed to be located in a six-level underground parkade.
- The proposed development includes a total of 293 parking spaces based on the 2.8 parking spaces per 100 square metres (1,075 sq. ft.) for medical office use under the original approved application and 3.5 parking spaces per 100 square metres (1,075 sq. ft.) for the newly proposed 436 square metres (4,693 sq. ft.) of medical office use.
- The applicant will provide two MODO car share vehicles off-site located on the west side of 137A Street, north of 96 Avenue to the west of the subject site, as a condition of Final Adoption of the Rezoning By-law.

Proposed Pharmacy

- The applicant is proposing to locate a Wellness pharmacy associated with a doctor's office on the ground floor of the 10-storey retail/office building. The proposed pharmacy and family practice medical clinic are permitted uses under the existing CD Zone.
- The proposed pharmacy and family practice medical clinic will have a total floor area of approximately 187 square metres (2,018 sq. ft.). Therefore, the proposed pharmacy is considered a "small-scale drug store", which is defined under the Zoning By-law as "a commercial establishment with a gross floor area of less than 600 square metres (6,450 sq. ft.) which fills a broad range of pharmaceutical prescriptions and excludes methadone dispensary".
- To regulate the over-concentration of small-scale drug stores and methadone dispensaries, Section E.28 of Part 4 General Provisions of the Zoning By-law stipulates that a small-scale drug store shall not be located within 400 metres (1,300 ft.) of an existing drug store, small-scale drug store or methadone dispensary.
- There are currently three (3) existing pharmacies within a 400-metre (1,300-ft.) radius of the subject property. Krolls Pharmacy is located at 9656 King George Boulevard in the North Surrey Medical multi-tenant commercial building approximately 181 metres (594 ft.) from the subject property and is considered a small-scale drug store. Wellness Pharmacy is located at 13737 - 96 Avenue in the City Centre 1 building approximately 22 metres (72 ft.) from the subject property and another pharmacy was approved for 9639 - 137A Street approximately 35

metres (115 ft.) from the subject property in the City Centre 2 building. These are also considered small scale drug stores (see Appendix III for map).

- Due to the proximity of the other drug stores/pharmacies, a Development Variance Permit (DVP) is required to permit a small-scale drug store on the subject site (see By-law Variance section).
- The applicant advises that the proposed small-scale drug store will be community based, primarily serving the needs of the local community and the patients of the adjoining family practice medical clinic and Surrey Memorial Hospital discharge patients. The full-service dispensary will offer a broad range of pharmaceuticals as well as infusion services, home monitoring services and smart blister pack services. The applicant advises that the proposed drug store will not be dispensing methadone.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To vary Section E.28 of Part 4 General Provisions of Surrey Zoning By-law No. 12000, by reducing the minimum separation requirement between a new small-scale drug store and an existing small-scale drug store, from 400 metres (1,300 ft.) measured lot line to lot line, to 22 metres (72 ft.).

Applicant's Reasons:

- To offer a comprehensive health care approach by serving the patients of an adjoining family practice medical clinic. Patients attending the clinic will be able to take advantage of the convenient location of the adjoining pharmacy and the specialty services that would be offered.
- Patients could patron the other existing pharmacies in the neighbourhood, however this is not always a practical option for patients with disabilities or illness. Allowing the adjoining pharmacy will provide a convenient, one-stop health care service.
- Specialty infusion services will be available and are of value to the BC Cancer Clinic patients. BC Cancer Clinic occupies space at Surrey Memorial Hospital and City Centre 1. This is a service that will only be available at this pharmacy location and is not currently being provided at other pharmacies within the 400 metre radius.
- The applicant has advised that the proposed small-scale drug store will not include methadone dispensing.

Staff Comments:

- Three existing drug stores are located with 400 metres (1,300 ft.) of the proposed pharmacy, around the perimeter of the SMH campus.
- The proposed small-scale drugstore will occupy a small portion of the floor area, approximately 70 square metres (750 sq. ft.), of the commercial retail unit. The

small-scale drug store will offer convenience to patients attending the adjoining medical clinic.

- It is the objective of the Surrey City Centre Plan to create a medical-related precinct in the vicinity of the expanding SMH campus, east of King George Boulevard and south of Fraser Highway.
- It is anticipated that the hospital precinct will contain a wide variety of medical offices, care facilities and other uses that support, or are complimentary to, SMH.
- It is appropriate for drug stores to locate within the hospital precinct to not only support and compliment SMH but also to support and compliment the other medical-related uses in the hospital precinct.
- Staff support the proposed variance.

PRE-NOTIFICATION

Pre-notification letters were sent on April 2, 2019 and two development proposal signs were installed on April 1, 2019. Staff receive a response from one resident expressing concerns with shadowing on their property and the impact on residents within the existing complex (Staff comments in italics).

(The applicant has been in on-going discussions since the inception of the project and remain in regular communication with the caller regarding the shadowing and construction concerns. A bi-weekly meeting is held with the caller and the applicant to continue the dialogue.)

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Map of other small-scale drug stores within 400 metres of the subject property
Appendix IV.	Development Variance Permit No. 7918-0453-00
Appendix V.	Proposed CD By-law

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

DEVELOPMENT DATA SHEET

Proposed Zoning: CD

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		2,287.4 m ²
Road Widening area		
Undevelopable area		
Net Total		2,287.4 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage	80%	59.5%
SETBACKS (in metres)		
North	7.6 m	7.6 m
South	3.6 m	3.6 m
East	0 m	0 m
West	2.7 m	2.7 m
BUILDING HEIGHT (in metres/storeys)		
Principal	45 m	44.6 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail		1,167.7 m ²
Office		10,757.6 m ²
Total		11,925.3 m ²
FLOOR AREA: Mech/Service		210.5 m ²
FLOOR AREA: Institutional		1,407.9 m ²
TOTAL BUILDING FLOOR AREA		13,543.7 m ²

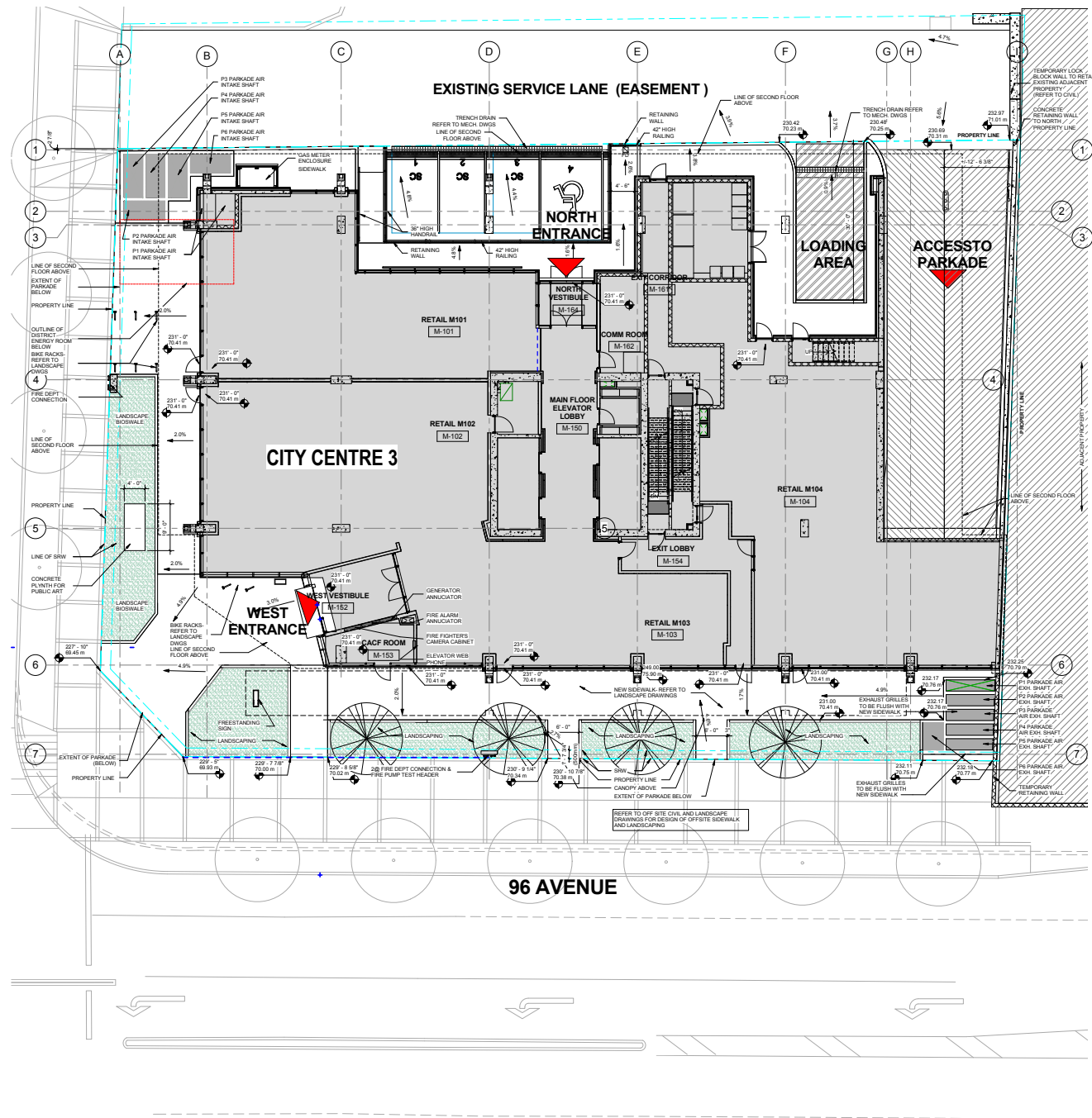
* If the development site consists of more than one lot, lot dimensions pertain to the entire site.

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		5.36
FAR (net)		5.92
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		260
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		33
Total Number of Parking Spaces		293
Number of accessible stalls		5
Number of small cars	35%	20%
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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PARKING SUMMARY SCHEDULE			
Level	Type	Comments	Count
P5 LEVEL	REG		40
P6 LEVEL	SC		11
P6 LEVEL	SC		51
P5 LEVEL	REG		40
P5 LEVEL	SC		9
P5 LEVEL	SC		49
P4 LEVEL	REG		40
P4 LEVEL	SC		9
P4 LEVEL	SC		49
P3 LEVEL	REG		38
P3 LEVEL	SC		11
P3 LEVEL	SC		49
P2 LEVEL	REG		40
P2 LEVEL	SC		9
P2 LEVEL	SC		49
P1 LEVEL	H/C		4
P1 LEVEL	REG		27
P1 LEVEL	SC		11
P1 LEVEL	SC		42
1ST- MAIN FLOOR	H/C		1
1ST- MAIN FLOOR	SC		3
1ST- MAIN FLOOR	SC		4
Grand total			293

SEAL		
OWNER/CLIENT		
No.	Revision	M/D/Y
2	REISSUED FOR DEVELOPMENT PERMIT	05/08/2019
1	REISSUED FOR DEVELOPMENT PERMIT	12/03/2018

CITY CENTRE 3
 13761 96TH AVENUE,
 SURREY, BC
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 WENSLEY ARCHITECTURE LTD.

CONSULTANTS:
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 MECHANICAL: WILLIAMS ENGINEERING CANADA
 ELECTRICAL: COLVIN ELECTRICAL GROUP
 CIVIL: ISL ENGINEERING AND LAND SERVICES
 LANDSCAPE: VAN DER ZALM & ASSOCIATES INC.

DRAWING TITLE:
SITE PLAN & PROJECT STATISTICS

DRAWN BY: JMS PROJECT NO: 19001
 CHECKED BY: JMS SCALE: 1/8" = 1'-0"
 DATE: APR 10, 2019 DP-A100

1 DP-SITE PLAN
 1/8" = 1'-0"

CITY CENTRE 3 AREA AND PARKING SUMMARY - REISSUED FOR DP
2.8 FOR ORIG MED OFFICE &
3.5 APPLIED TO ALL NEW MED OFFICE AREA

DATE: 07-May-19

GFA & PARKING CALCULATION REQUIRED (WITHIN CITY CENTRE)

LEVEL	GROSS AREA (m2)	GROSS AREA (SF)	EXCLUSIONS	GROSS AREA LESS EXCLUS. (SF)	OCCUPANCY	PARKING RATIO	STALLS REQ BY BYLAW	GROSS AREA (SF) PER OCC.
1 BP AREA	504.0	5,426	(521)	4,905	General Serv.	2.4	11.0	4,905
1 BP AREA	504.0	5,426	(521)	4,905	Med Office	2.8	12.8	4,905
1-NEW AREA	159.6	1,718	-	1,718	General Serv.	2.4	3.8	1,718
2 BP AREA	1300.1	13,994	(527)	13,467	Education	2.4	30.1	13,467
2-NEW AREA	107.8	1,160	-	1,160	Education	2.4	2.6	1,160
3 BP AREA	1357.1	14,608	(527)	14,081	Med. Office	2.8	36.7	14,081
3-NEW AREA	107.5	1,157	-	1,157	Med. Office	3.5	3.8	1,157
4 BP AREA	1,359	14,632	(527)	14,105	Med. Office	2.8	36.7	14,105
4-NEW AREA	110.2	1,186	-	1,186	Med. Office	3.5	3.9	1,186
5 BP AREA	1253.5	13,493	(527)	12,966	Med. Office	2.8	33.8	12,966
5-NEW AREA	109.4	1,178	-	1,178	Med. Office	3.5	3.8	1,178
6 BP AREA	1182.1	12,724	(527)	12,197	Med. Office	2.8	31.8	12,197
6-NEW AREA	109.1	1,174	-	1,174	Med. Office	3.5	3.8	1,174
7 BP AREA	1189.1	12,799	(527)	12,272	Office	1.4	16.0	12,272
7-NEW AREA	102.3	1,101	-	1,101	Med. Office	3.5	3.6	1,101
8 BP AREA	1191.2	12,822	(527)	12,295	Office	1.4	16.0	12,295
8-NEW AREA	100.6	1,083	-	1,083	Med. Office	3.5	3.5	1,083
9 BP AREA	1192.1	12,832	(527)	12,305	Office	1.4	16.0	12,305
9-NEW AREA	100.6	1,083	-	1,083	Med. Office	3.5	3.5	1,083
10 BP AREA	1192.7	12,838	(527)	12,311	Office	1.4	16.0	12,311
10 NEW AREA	100.8	1,085	-	1,085	Med. Office	3.5	3.5	1,085
11 BP AREAMech	189.2	2,037	(2,037)	-	Mech	-	-	-
11 NEW AREA	21.3	229	-229	-	Mech	-	-	-
TOTAL	13,543.62	145,782	(8,049.50)	137732.9			293.0	137,733

TOTAL STALLS REQUIRED WITH ORIG MED OFFICE @ 2.8 & NEW MED OFFICE @ 3.5 293.0

TOTAL STALLS PROVIDED 293.0

NOTE: PARKING GFA excludes parking loading/unloading areas, secure bicycle parking areas, stairways, mechanical rooms within the building.

PARKING PROVIDED

LEVEL	SMALL CARS	H/C CARS	REG CARS	TOTAL STALLS
P6	11.0	0	40	51
P5	9.0	0	40	49
P4	9.0	0	40	49
P3	11.0	0	38	49
P2	9.0	0	40	49
P1	11.0	4	27	42
MAIN	0.0	1	3	4
TOTAL	60.0	5	228	293

% SC PROVIDED	20.5%	H/C PROV.	5
% SC ALLOWED	35.0%	H/C REQ.	3
	LOADING SPACE PROVIDED		1

FAR CALCULATION

GROSS SITE (BEFORE DEDICATIONS)	2529.5	27,227
EASEMENT AREA	387.59	4,172
ROAD WIDENING DEDICATIONS	242.48	2,610
NET SITE (W/ EASEMENT AND ROAD WIDENING)	2287.4	24,617
GROSS FLOOR AREA		145,782
GROSS FLOOR AREA (PARKING)		137,733
GROSS FAR		5.35
NET FAR		5.92

BIKE STALLS SUMMARY

LEVEL	GROSS AREA (SF)	OCCUPANCY	SECURE BIKE SPACES PER (1,075 SF)	VISITOR BIKE SPACES PER (1,075 SF)	STALLS REQ BY BYLAW
1	6623.0	General Service	0.06	0.12	1.1
2	14627.0	Education	-	-	-
1,2-7	67299.9	Med. Office	0.06	0.12	11.3
8-10	49183.0	Office	0.06	0.12	8.2
TOTAL	137732.9		7	14	21

Med. Office and Office Occupancy not specified in current Zoning Bylaw 12000, dated 04/05/2017. Counting rules taken from Zoning Bylaw 12000, dated 06/30/2014

	SECURE SPACES	VISITOR SPACES	TOTAL
TOTAL BIKE STALLS REQUIRED	7	14	21
TOTAL BIKE STALLS PROVIDED	26	16	42

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NORTH ARROW

SEAL

OWNER/CLIENT



1	RE-ISSUED FOR DEVELOPMENT PERMIT	12/03/2018
No.	Revision	M/D/Y

CITY CENTRE 3

13761 96TH AVENUE, SURREY, BC

Wensley Architecture - Victoria
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CONSULTANTS:
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 MECHANICAL: WILLIAMS ENGINEERING CANADA
 ELECTRICAL: COLVIN ELECTRICAL GROUP
 CIVIL: ISL ENGINEERING AND LAND SERVICES
 LANDSCAPE: VAN DER ZALM & ASSOCIATES INC.

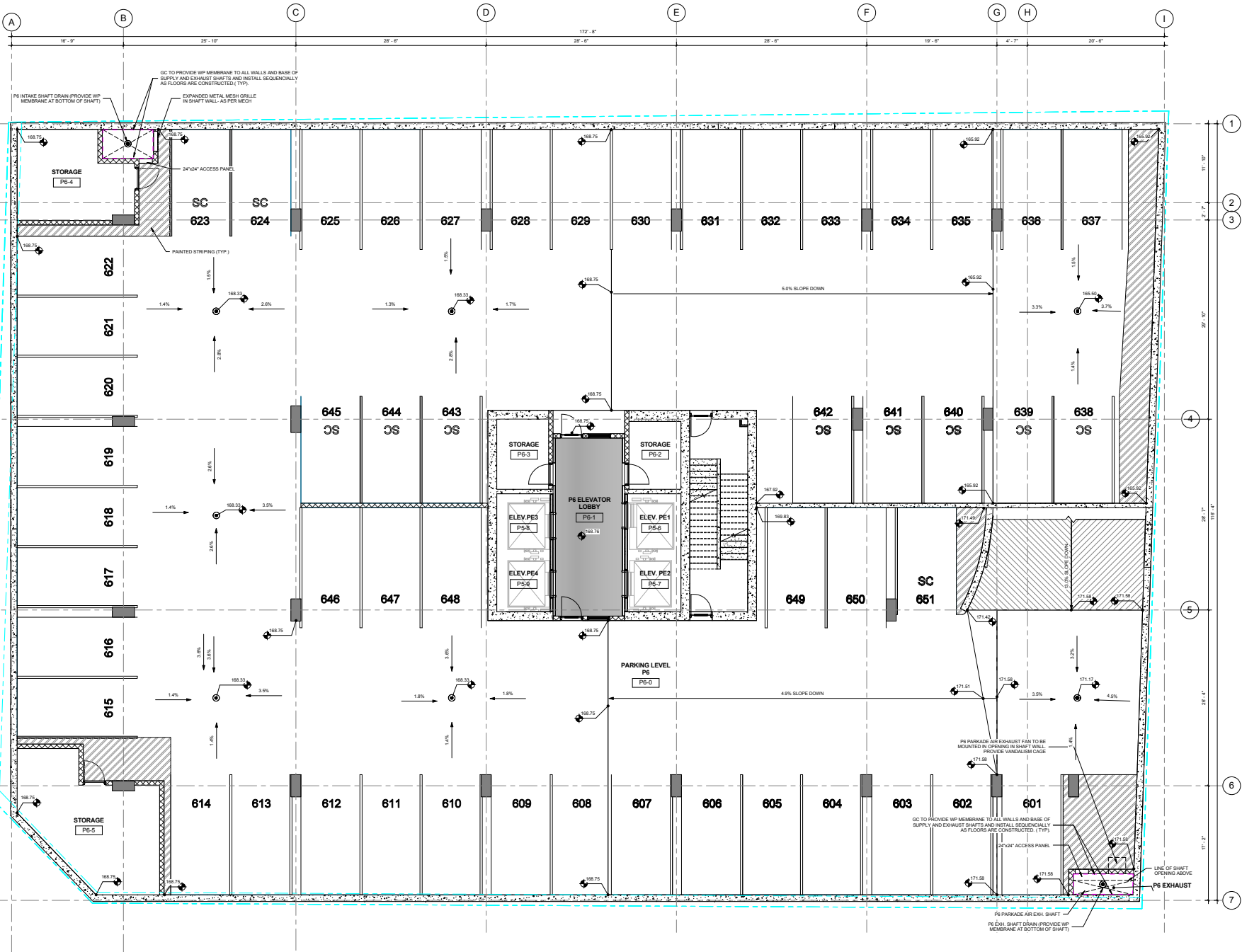
DRAWING TITLE:

PARKING LEVEL P6

DRAWN BY: JMS PROJECT NO: 15801

CHECKED BY: JMS SCALE: 3/16" = 1'-0"

DATE: DEC 4, 2018 DP-A200



1 DP-P6 LEVEL
 3/16" = 1'-0"

PARKING SCHEDULE - LEVEL P6			
LEVEL	MARK	DESCRIPTION	COUNT
P6 LEVEL	SC	9'-0" X 16'-0"	11
P6 LEVEL	REG	9'-0" X 15'-0"	40
Grand total:			51

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SEAL

OWNER/CLIENT



1	RE-ISSUED FOR DEVELOPMENT PERMIT	12/03/2018
No.	Revision	M/D/Y

CITY CENTRE 3

13761 96TH AVENUE,
SURREY, BC

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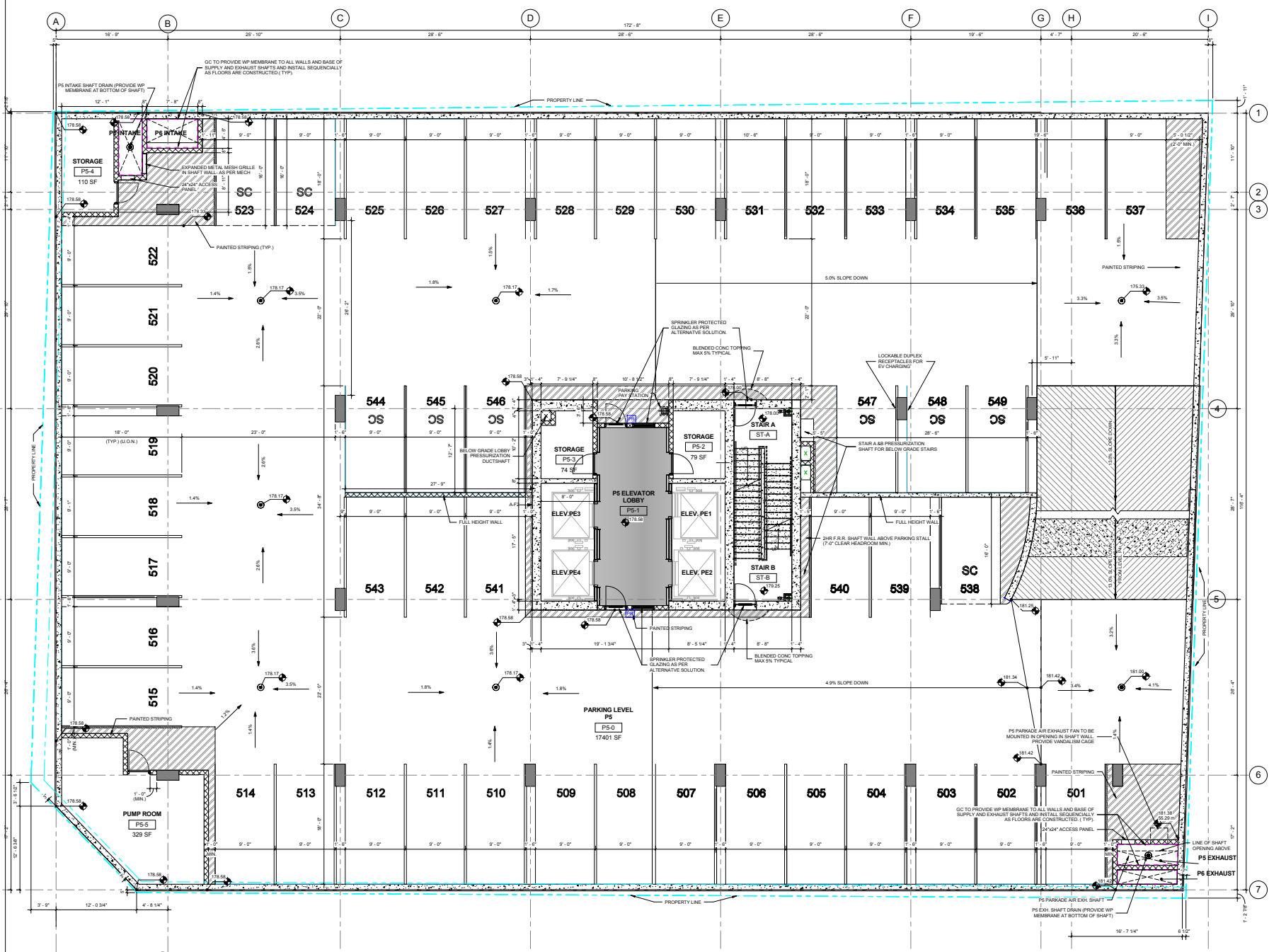
WA
WENSLEY ARCHITECTURE LTD

- CONSULTANTS:
- STRUCTURAL: BOGDONOV P&O & ASSOCIATES LTD.
 - MECHANICAL: WILLIAMS ENGINEERING CANADA
 - ELECTRICAL: COLVIN ELECTRICAL GROUP
 - CIVIL: ISE ENGINEERING AND LAND SERVICES
 - LANDSCAPE: VAN DER ZALM & ASSOCIATES INC.

DRAWING TITLE:

PARKING LEVEL P5

DRAWN BY: JMS PROJECT NO: 15801
CHECKED BY: JMS SCALE: 3/16" = 1'-0"
DATE: DEC 4, 2018 **DP-A201**



1 DP-P5 LEVEL
3/16" = 1'-0"

PARKING SCHEDULE - LEVEL P5			
LEVEL	MARK	DESCRIPTION	COUNT
PS LEVEL	SC	9'-0" x 16'-0"	9
PS LEVEL	REG	9'-0" x 19'-0"	40
Grand total:			49

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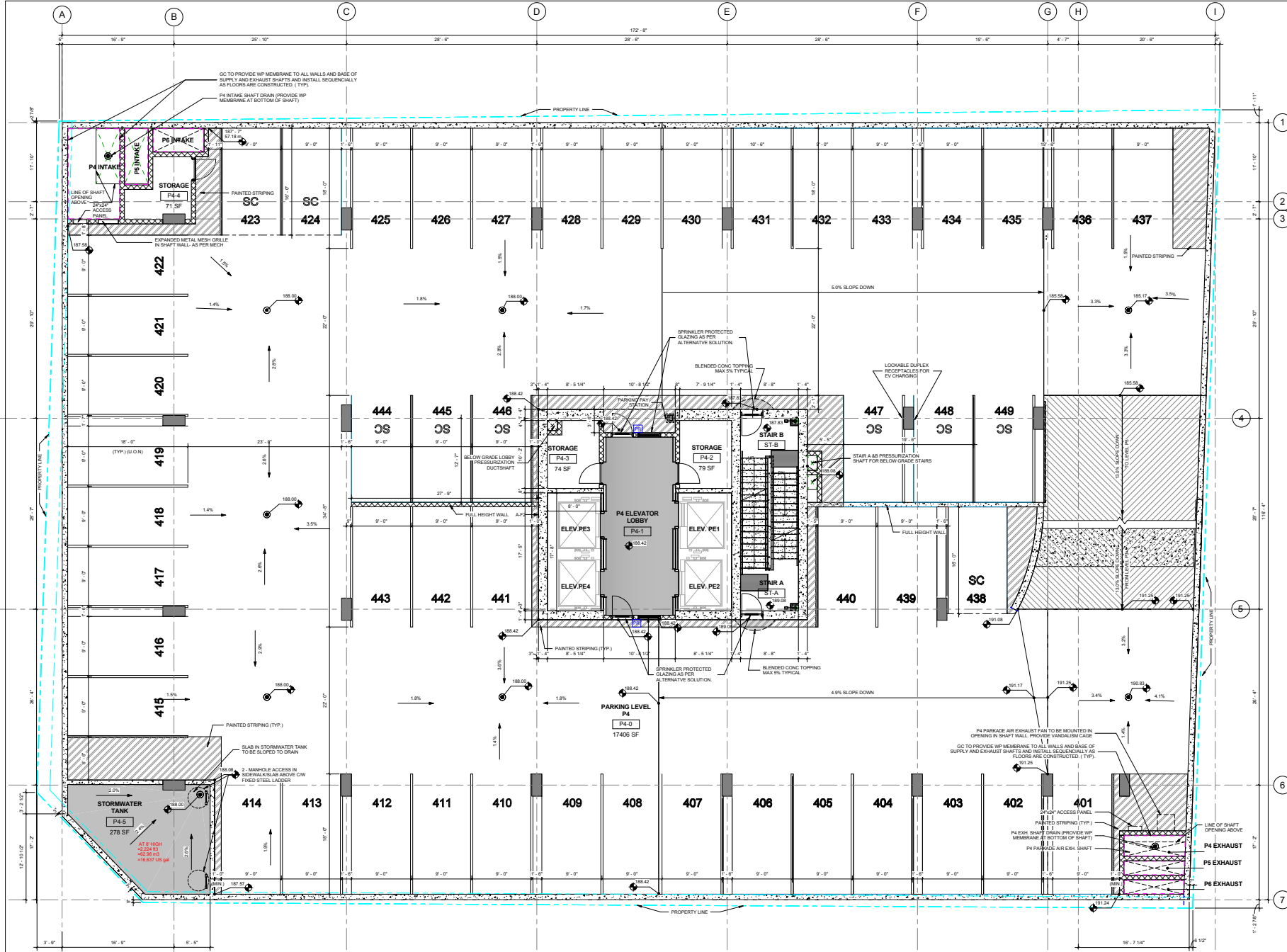
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DRAWING TITLE:

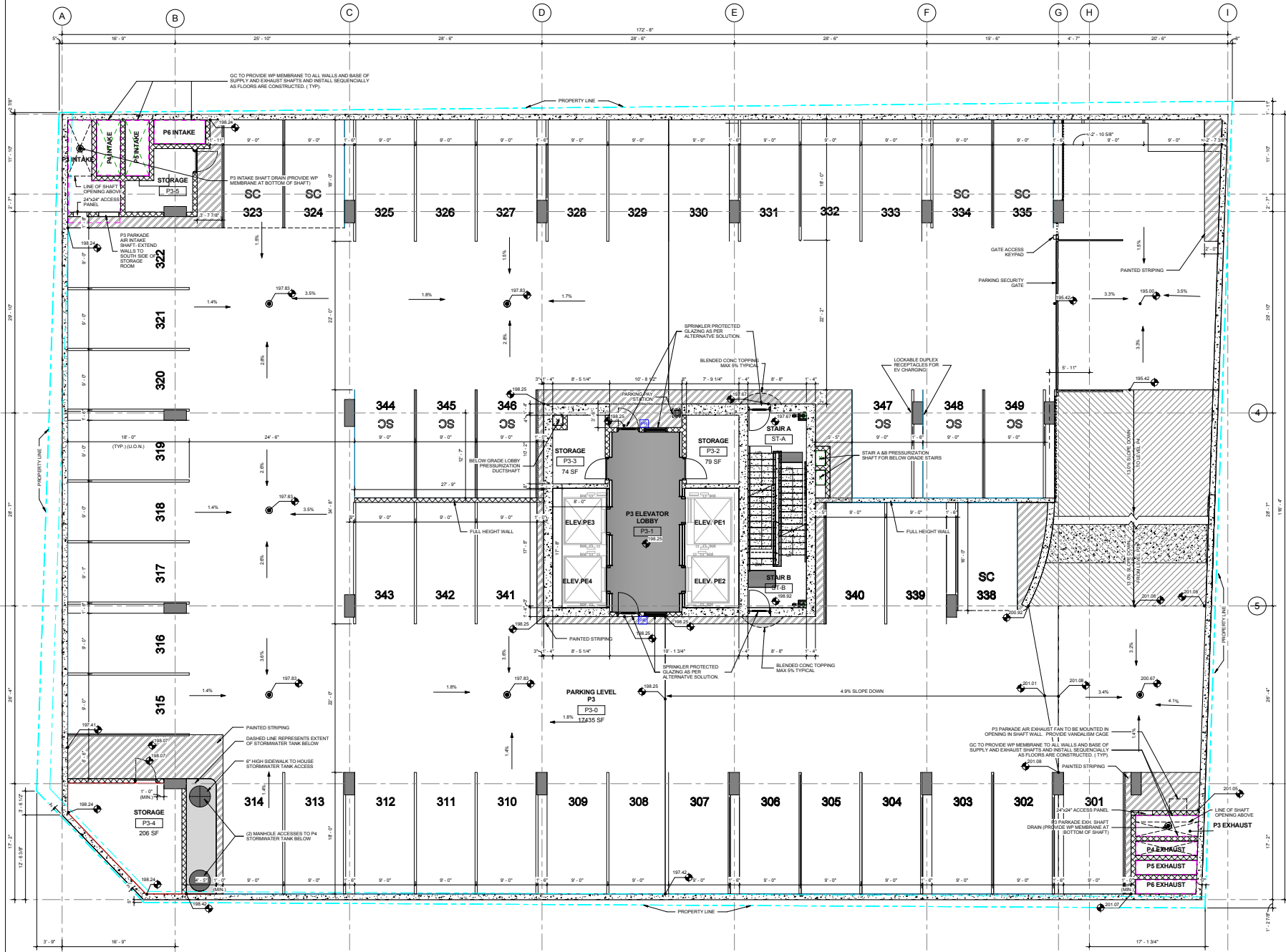
PARKING LEVEL P4

DRAWN BY: JMS PROJECT NO: 15801
CHECKED BY: JMS SCALE: 3/16" = 1'-0"
DATE: DEC 4, 2018 **DP-A202**



1 DP-P4 LEVEL
3/16" = 1'-0"

LEVEL	MARK	DESCRIPTION	COUNT
P4 LEVEL	SC	9'-0" x 16'-0"	9
P4 LEVEL	REC	12'-0" x 16'-0"	40
Grand total:			49



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1
2
3

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DRAWING TITLE:

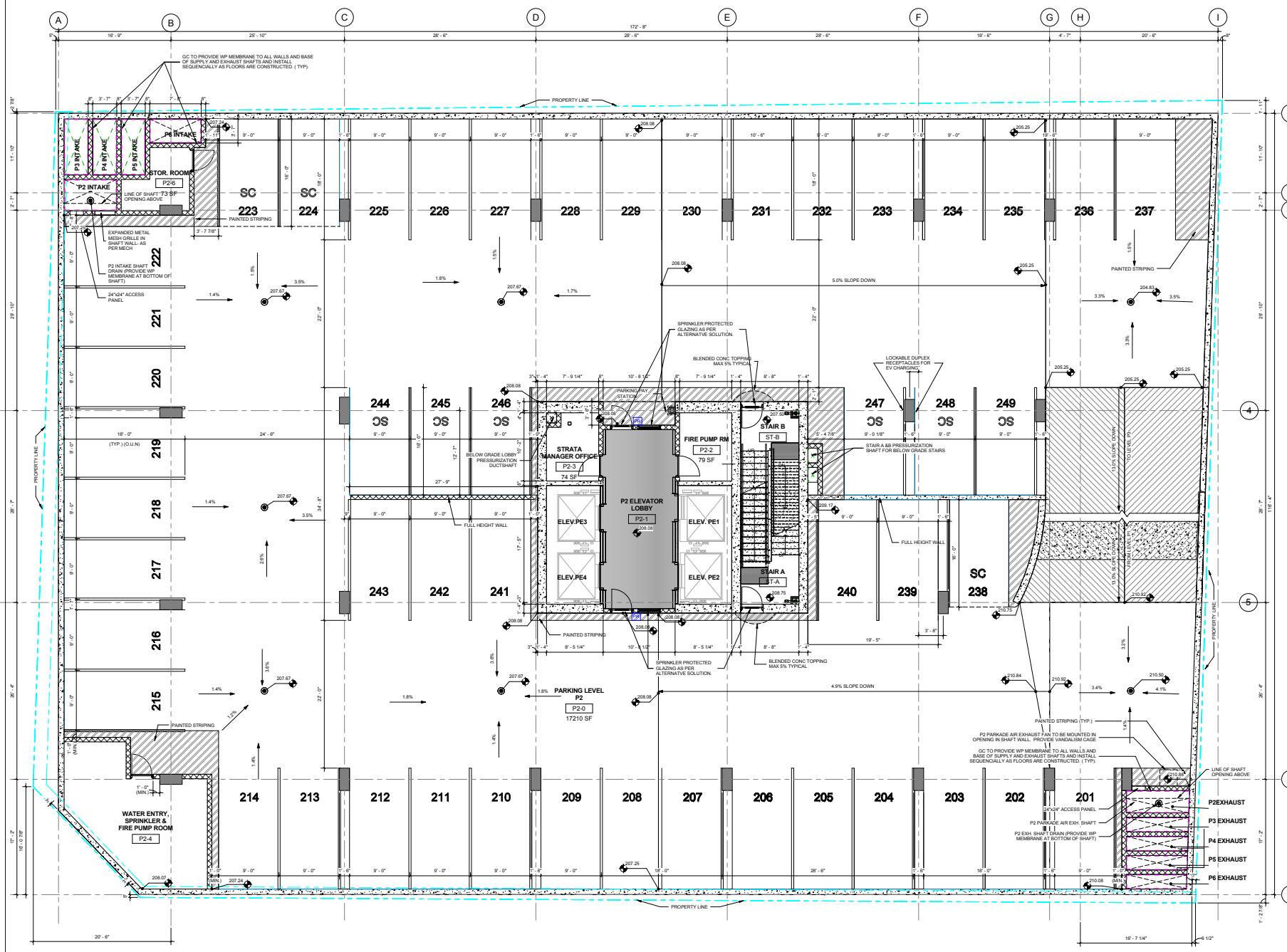
PARKING LEVEL P3

1 DP-P3 LEVEL
SCALE 3/16" = 1'-0"

LEVEL	MARK	DESCRIPTION	COUNT
P3 LEVEL	SC	9'-0" x 18'-0"	11
P3 LEVEL	REG	9'-0" x 18'-0"	38
Grand total:			49

DRAWN BY: JMS PROJECT NO: 18801
CHECKED BY: JMS SCALE: 3/16" = 1'-0"
DATE: DEC 4, 2018

DP-A203



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1
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DRAWING TITLE:

PARKING LEVEL P2

LEVEL	MARK	DESCRIPTION	COUNT
P2 LEVEL	SC	8'-0" x 16'-0"	51
P2 LEVEL	REG	8'-0" x 16'-0"	49
Grand total:			49

DRAWN BY: JMS PROJECT NO: 15801
 CHECKED BY: JMS SCALE: 3/16" = 1'-0"
 DATE: DEC 4, 2018 **DP-A204**

1 DP-P2 LEVEL
 3/16" = 1'-0"

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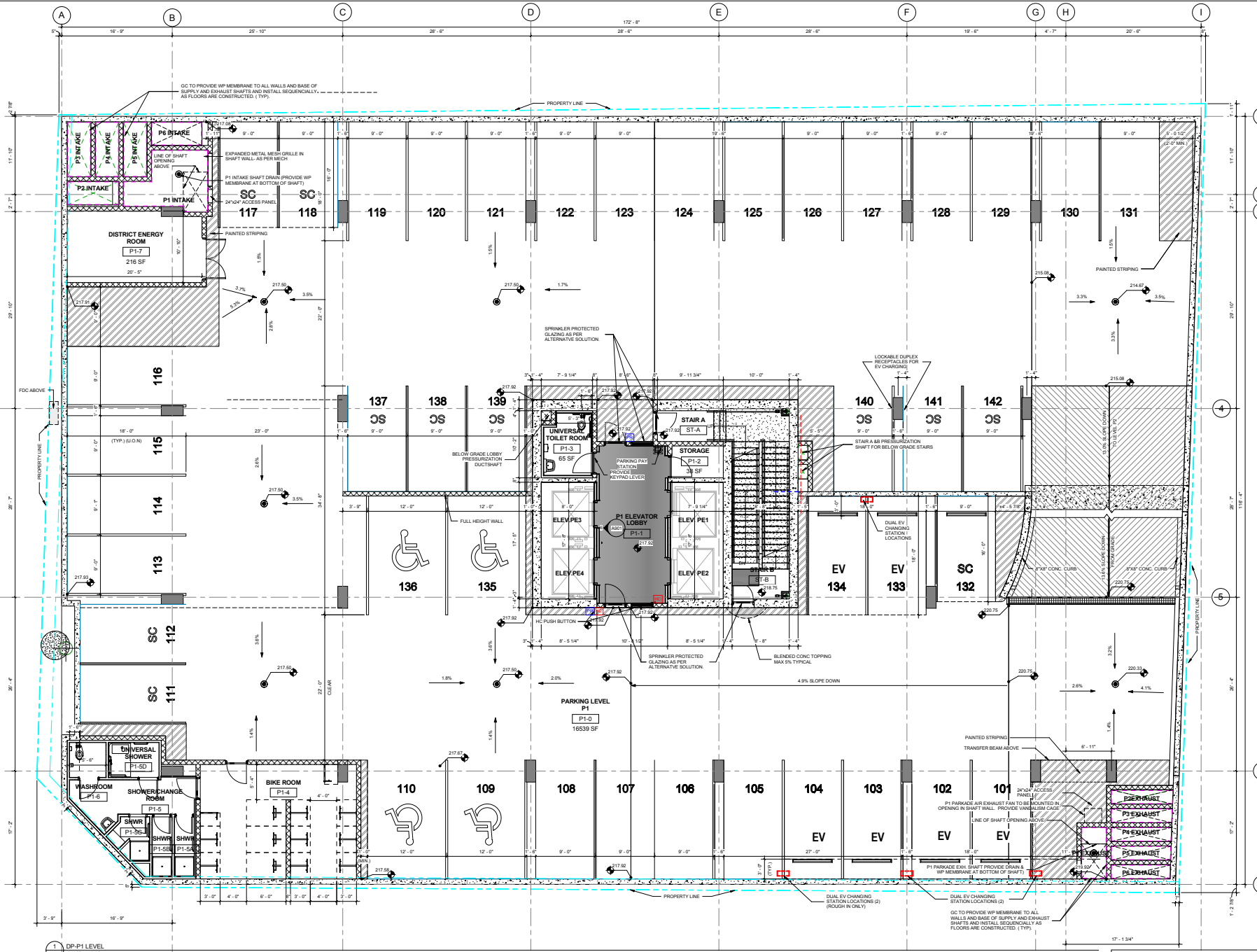
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DRAWING TITLE:

PARKING LEVEL P1

DRAWN BY: JMS PROJECT NO: 18801
CHECKED BY: JMS SCALE: 3/16" = 1'-0"
DATE: DEC 4, 2018 **DP-A205**



PARKING SCHEDULE - LEVEL P1				
LEVEL	MARK	DESCRIPTION	COUNT	
P1 LEVEL	SC	9'-0" x 16'-0"	11	
P1 LEVEL	REG	9'-0" x 18'-0"	27	
P1 LEVEL	HC	9'-0" x 18'-0"	4	
Grand Total: 42				

1 DP-P1 LEVEL
SCALE: 3/16" = 1'-0"

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MATERIAL KEYNOTE LEGEND	
KEY	MATERIAL
1	PRE-FINISHED COMPOSITE ALUMINUM PANEL, COLOUR: WARM GREY MATT FINISH
2	PRE-FINISHED COMPOSITE ALUMINUM PANEL, COLOUR: WHITE GLOSSY
3A	GLAZING VISION- CLEAR 08 81 00
3B	GLAZING VISION- LIGHT BLUE TINT 08 81 00
4A	SPANDREL GLAZING- OPAQUE TO MATCH CLEAR VISION GLASS
4B	SPANDREL GLAZING- OPAQUE TO MATCH BLUE TINT VISION GLASS
5	CLEAR ANODIZED ALUMINUM SUNSHADE SYSTEM
6	CLEAR ANODIZED ALUMINUM VERTICAL MULLION CAP
7	CURTAIN WALL FRAME, CLEAR ANODIZED ALUMINUM
10	DOOR FINISH TO MATCH ADJACENT CLADDING
11	CLEAR ANODIZED ALUMINUM LOUVRE
12	ALUMINUM SIGNAGE FRAME
13	SIGNAGE
15	EXPOSED ARCHITECTURAL CONCRETE
20	EXPOSED CONCRETE- LIGHT SANDBLAST FINISH 03 40 00
21	ALUMINUM MULLION
25	PONY WALL BEHIND THE CURTAIN WALL

NORTH ARROW

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DRAWING TITLE:
NORTH ELEVATION

DRAWN BY: JMS PROJECT NO: 15001
 CHECKED BY: JMS SCALE: 1/8" = 1'-0"
 DATE: DEC 4, 2018 **DP-A300**

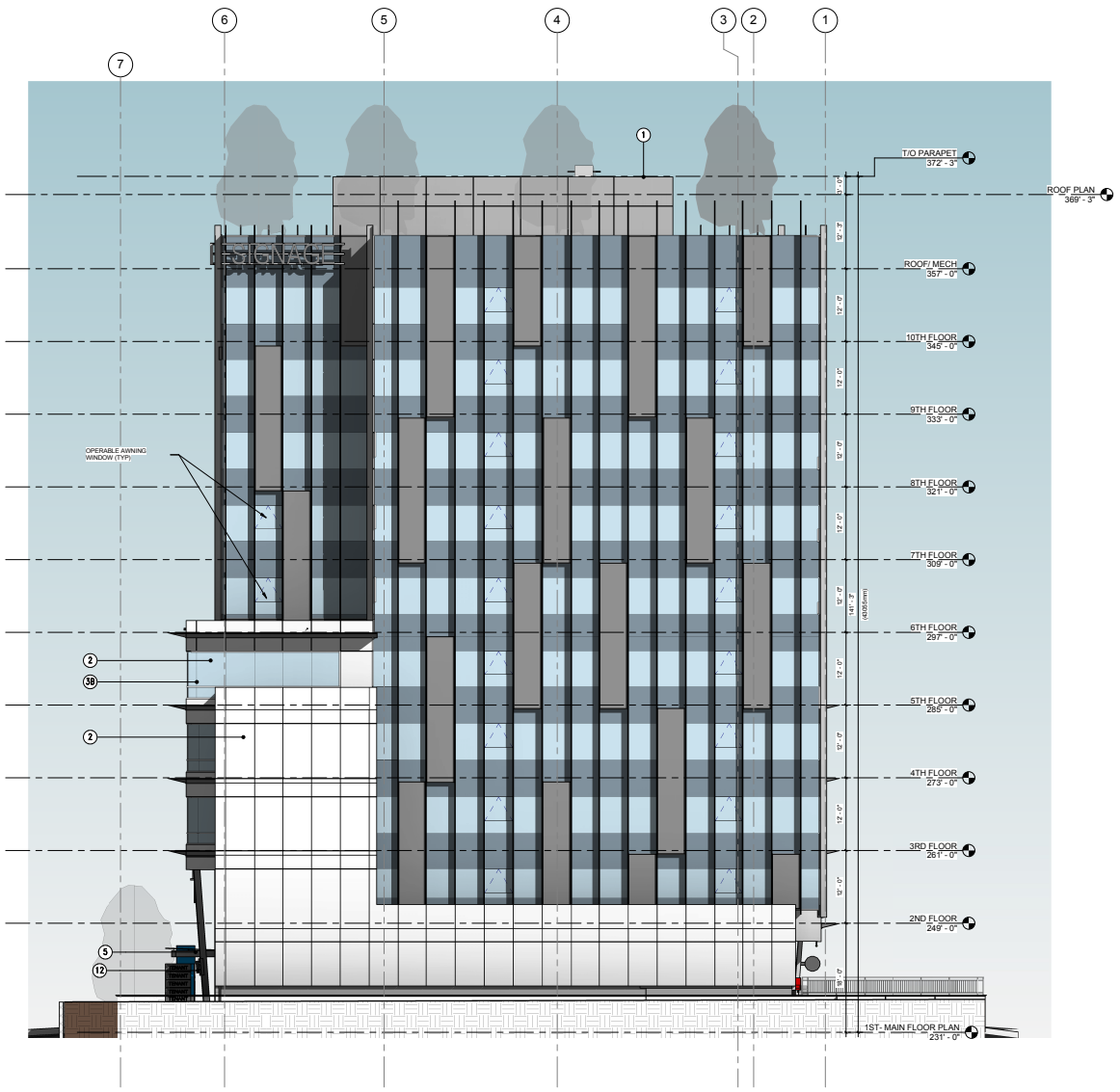


DP-NORTH ELEVATION
 1/8" = 1'-0"

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NORTH ARROW

MATERIAL KEYNOTE LEGEND	
KEY	MATERIAL
1	PRE-FINISHED COMPOSITE ALUMINUM PANEL, COLOUR: WARM GREY MATT FINISH
2	PRE-FINISHED COMPOSITE ALUMINUM PANEL, COLOUR: WHITE GLOSSY
3A	GLAZING- VISION- CLEAR 08 81 00
3B	GLAZING- VISION- LIGHT BLUE TINT 08 81 00
4A	SPANDREL GLAZING- OPAQUE TO MATCH CLEAR VISION GLASS
4B	SPANDREL GLAZING- OPAQUE TO MATCH CLEAR VISION GLASS
5	CLEAR ANODIZED ALUMINUM SUNSHADE SYSTEM
6	CLEAR ANODIZED ALUMINUM VERTICAL MULLION CAP
7	CURTAIN WALL FRAME, CLEAR ANODIZED ALUMINUM
10	DOOR FINISH TO MATCH ADJACENT CLADDING
11	CLEAR ANODIZED ALUMINUM LOUVRE
12	ALUMINUM SIGNAGE FRAME
13	SIGNAGE
15	EXPOSED ARCHITECTURAL CONCRETE
20	EXPOSED CONCRETE, LIGHT SANDBLAST FINISH 03 40 00
21	ALUMINUM MULLION
25	PONY WALL BEHIND THE CURTAIN WALL



1 DP-EAST ELEVATION
1/8" = 1'-0"

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DRAWING TITLE:

EAST ELEVATION

DRAWN BY:	Author	PROJECT NO.:	15001
CHECKED BY:	Checker	SCALE:	1/8" = 1'-0"
DATE:	DEC 4, 2018		DP-A302

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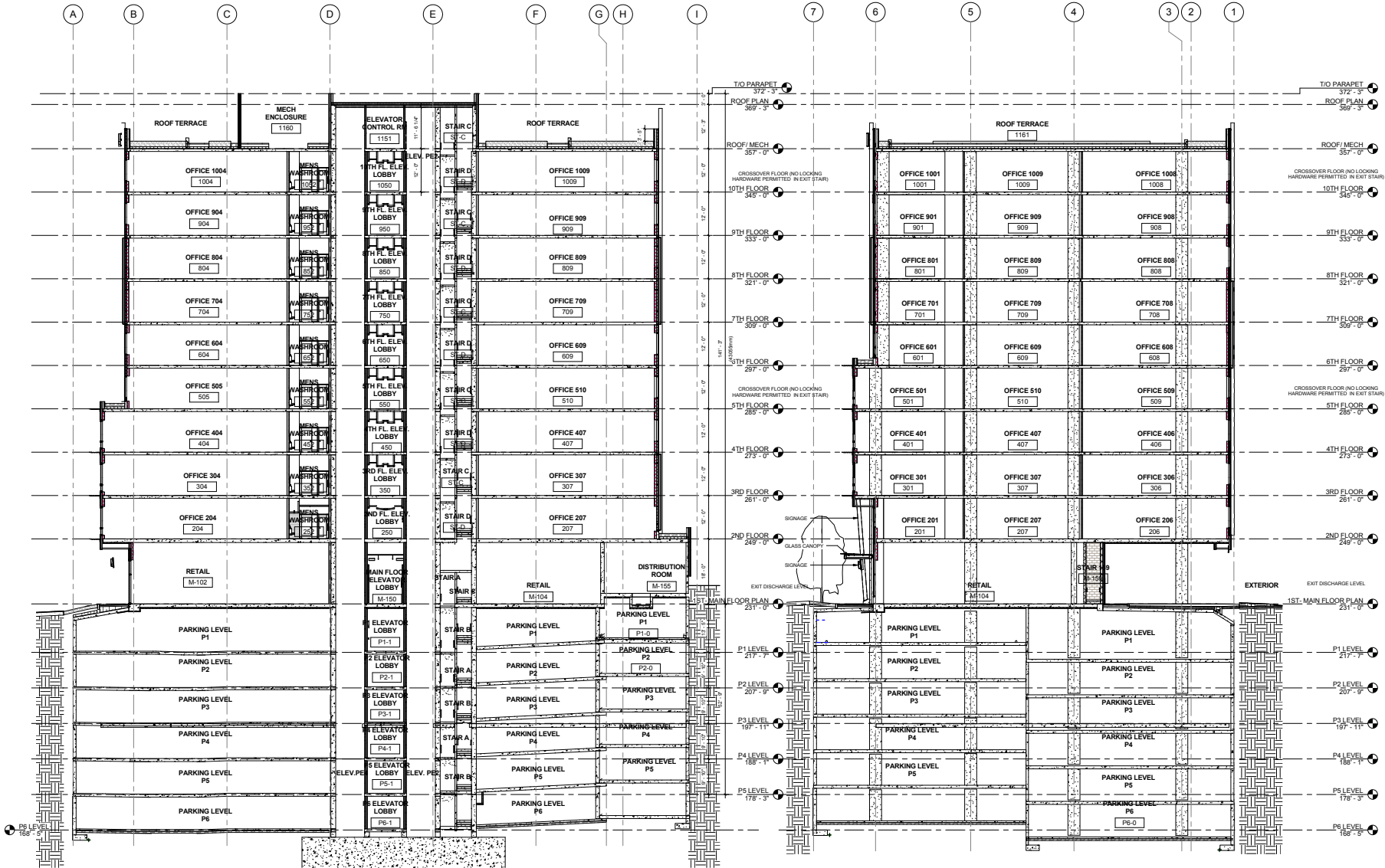


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DRAWING TITLE:

BUILDING SECTIONS

DRAWN BY: Author PROJECT NO: 15801
 CHECKED BY: Checker SCALE: 3/32" = 1'-0"
 DATE: DEC 4, 2018 DP-A401

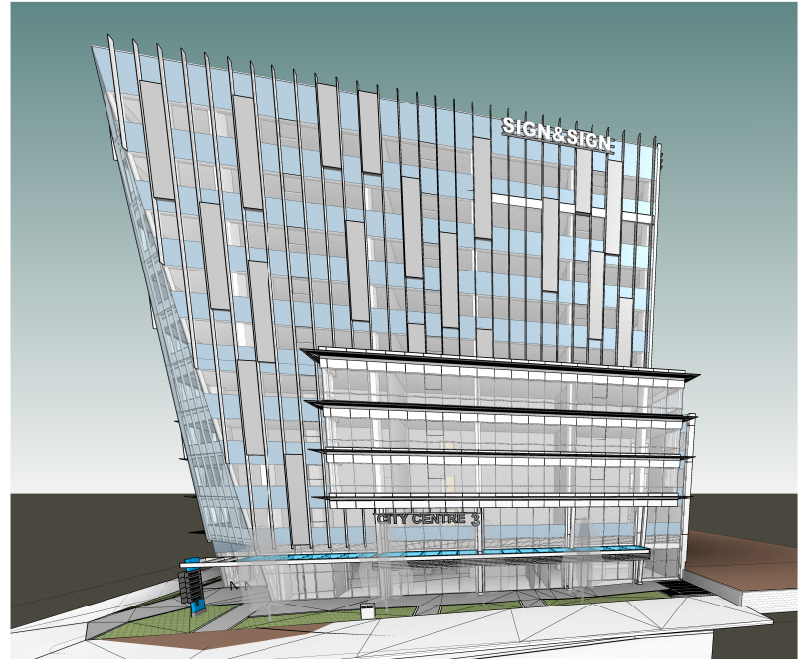


1 DP BUILDING SECTION #1
 3/32" = 1'-0"

2 DP BUILDING SECTION #2
 3/32" = 1'-0"



1 DP-3D VIEW OF BUILDING- NORTH ELEVATION
DP-A40



2 DP- 3D VIEW OF BUILDING- SOUTH ELEVATION
DP-A40



5 DP-3D VIEW OF BUILDING- WEST ELEVATION
DP-A40



3 DP- 3D VIEW OF BUILDING- EAST ELEVATION
DP-A40

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DRAWING TITLE:

**PERSPECTIVE
VIEWS**

DRAWN BY: Author PROJECT NO: 18001
CHECKED BY: Checker SCALE:
DATE: DEC 4, 2018

DP-A402

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1	RE-ISSUED FOR DEVELOPMENT PERMIT	12/03/2018

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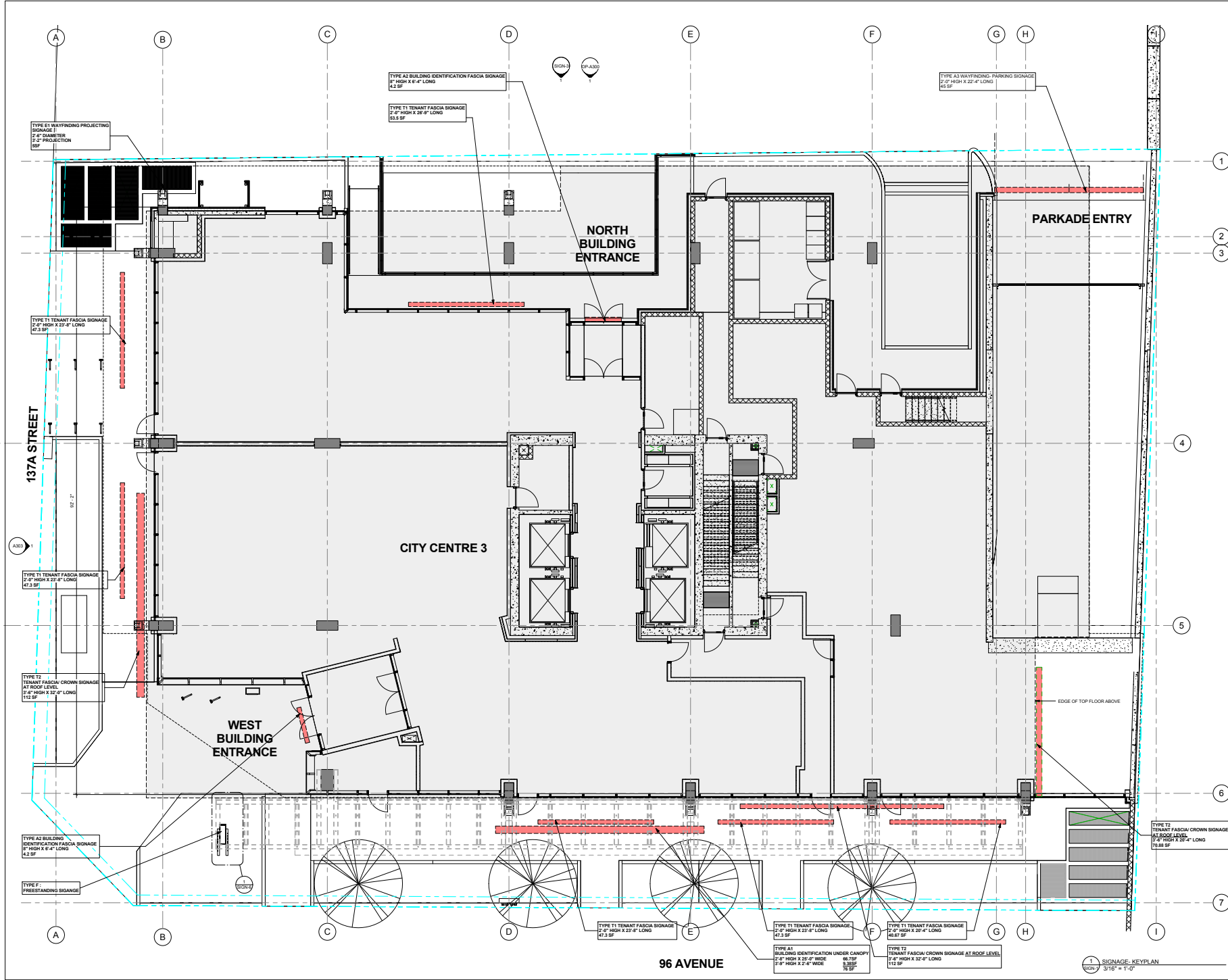
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SIGNAGE KEY PLAN

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CHECKED BY: Checker SCALE: 3/16" = 1'-0"
DATE: DEC 4, 2018 SIGN-1



96 AVENUE

1 SIGNAGE - KEYPLAN
3/16" = 1'-0"

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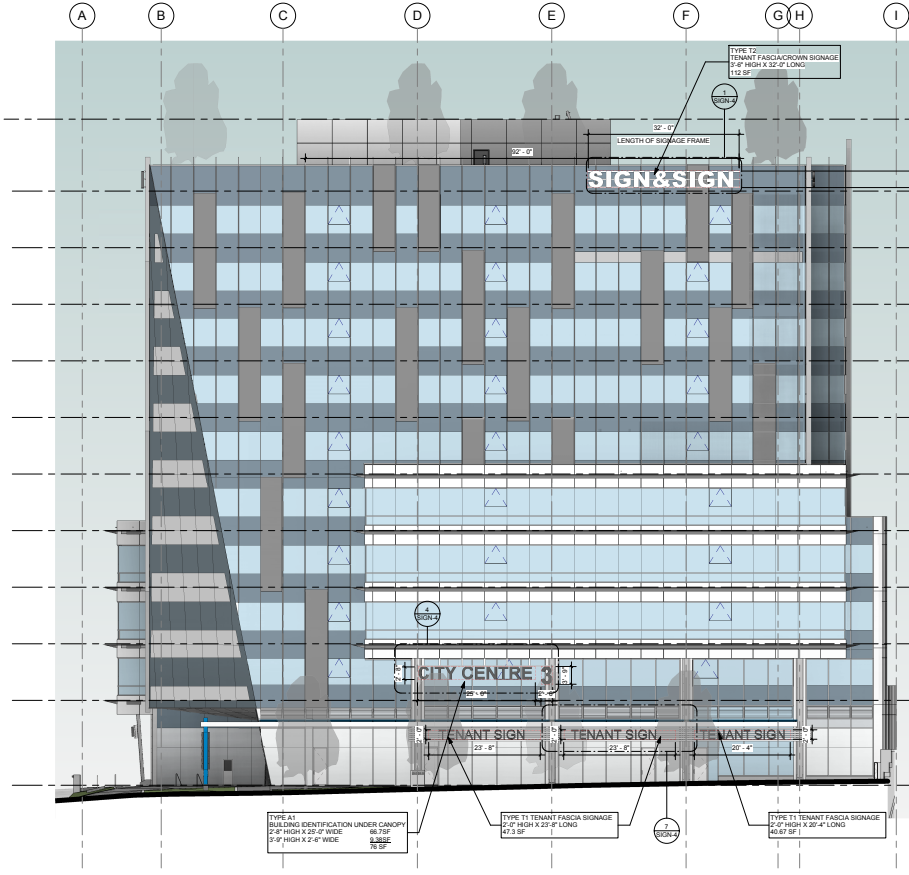
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DRAWING TITLE:

SIGNAGE ELEVATIONS SOUTH & EAST

DRAWN BY: Author PROJECT NO: 15901
CHECKED BY: Checker SCALE: As Indicated
DATE: DEC 4, 2018

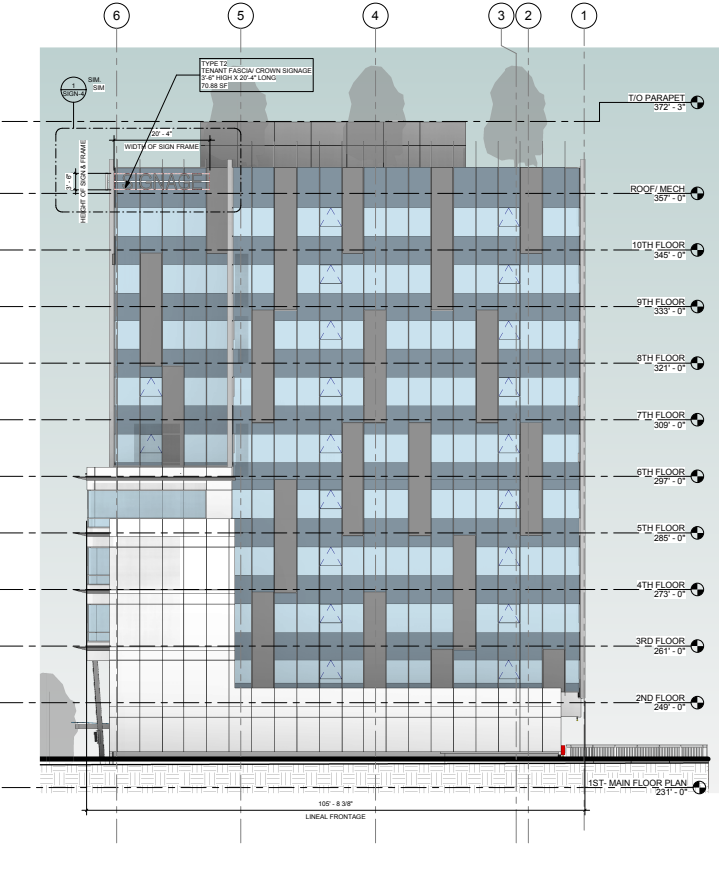
SIGN-2



2 SOUTH ELEV. SIGNAGE
3/32" = 1'-0"

SIGNAGE AREA COMPLIANCE - SOUTH ELEVATION

ELEVATION FRONTAGE (LFT)	MAX ALLOWABLE AREA (3 SF PER 1 LFT)	SIGN TYPE	QTY.	SIGN AREA (SF)
156'-4"	468.75 SF	T2	1	112
		A1	1	76
		T1	3	135.27
		TOTAL	5	283.27



1 EAST ELEV. SIGNAGE
3/32" = 1'-0"

SIGNAGE AREA COMPLIANCE - EAST ELEVATION

ELEVATION FRONTAGE (LFT)	MAX ALLOWABLE AREA (3 SF PER 1 LFT)	SIGN TYPE	QTY.	SIGN AREA (SF)
105'-8"	317 SF.	T2	1	70.88
		TOTAL	1	70.88

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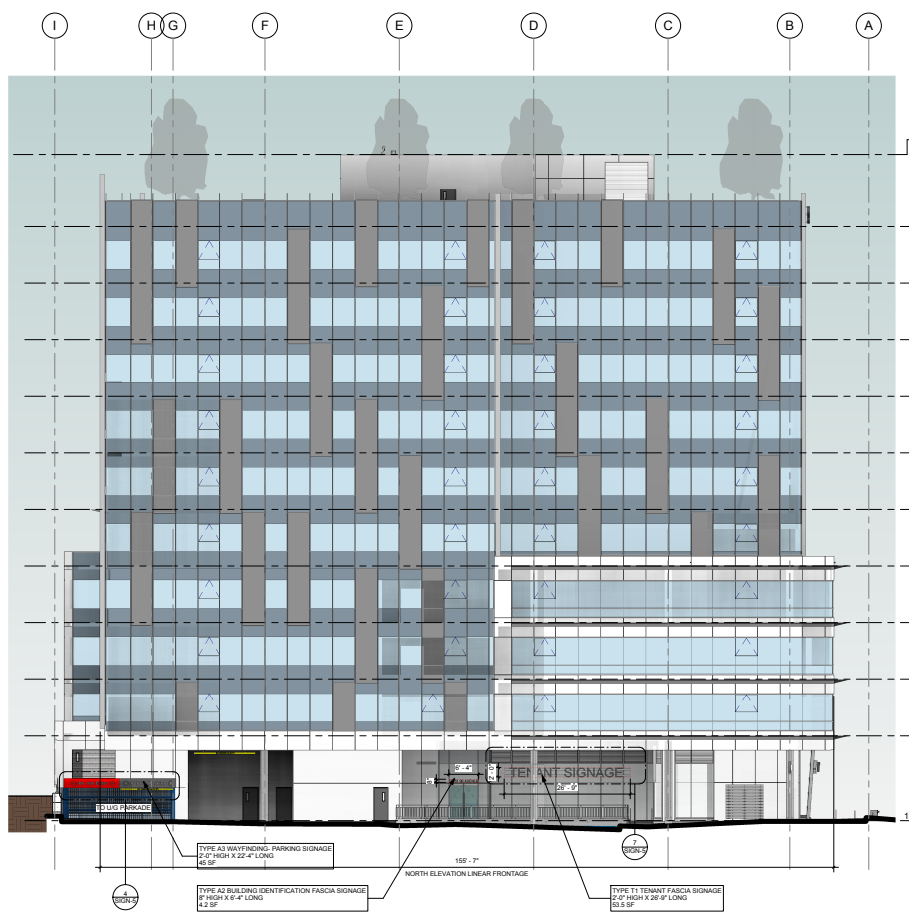
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DRAWING TITLE:
SIGNAGE ELEVATIONS NORTH & WEST

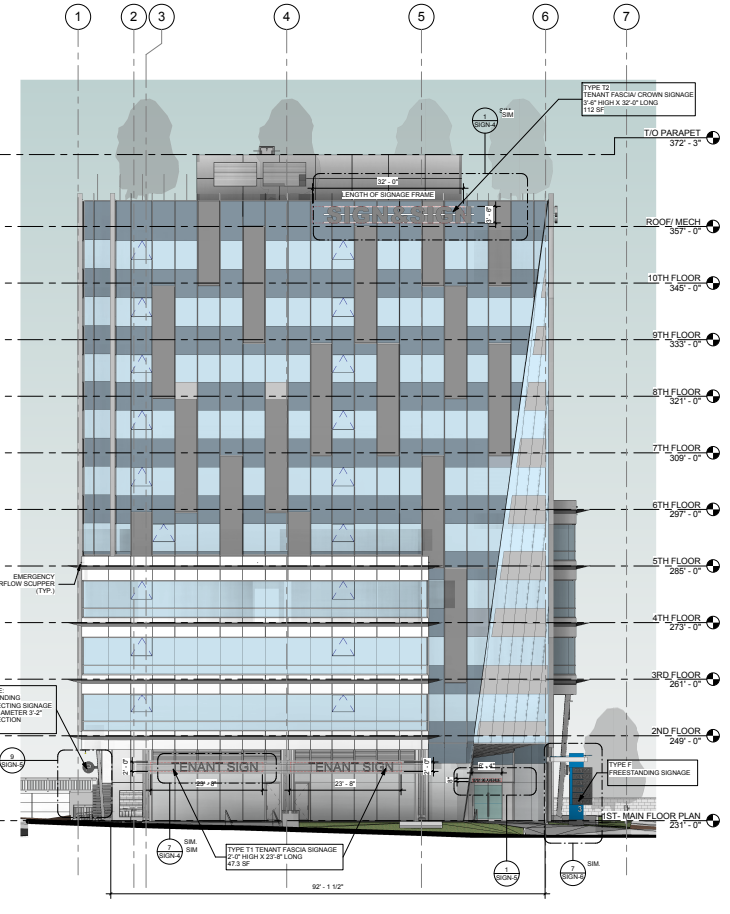
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CHECKED BY: Checker SCALE: As Indicated
DATE: DEC 4, 2018 **SIGN-3**



1 NORTH ELEV. - SIGNAGE
SCALE: 3/32" = 1'-0"

SIGNAGE AREA COMPLIANCE - NORTH ELEVATION

ELEVATION FRONTAGE (LFT)	MAX ALLOWABLE AREA (3 SF PER 1 LFT)	SIGN TYPE	QTY.	SIGN AREA (SF.)
155'-7"	467.0 SF	T1	1	53.5
		A2	1	4.2
		A3	1	45
		TOTAL	2	102.7



2 WEST ELEV. SIGNAGE
SCALE: 3/32" = 1'-0"

SIGNAGE AREA COMPLIANCE - WEST ELEVATION

ELEVATION FRONTAGE (LFT)	MAX ALLOWABLE AREA (3 SF PER 1 LFT)	SIGN TYPE	QTY.	SIGN AREA (Sq. Ft.)
92'-7"	277.75 SF	T2	1	112
		E	1	5
		T1	2	94.6
		A2	1	4.2
		TOTAL	5	215.80

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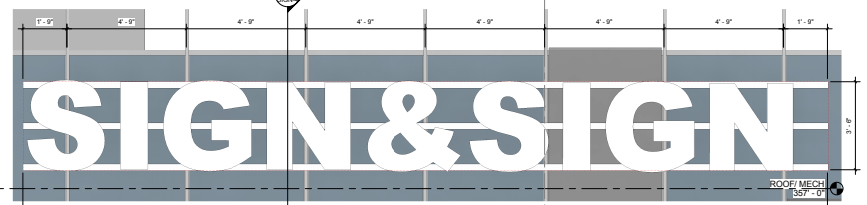
DRAWING TITLE:

SIGNAGE DETAILS

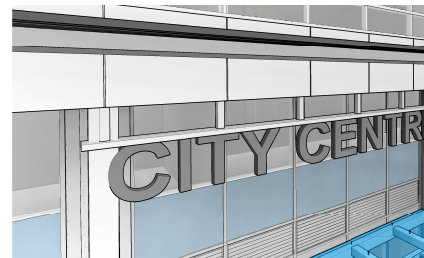
DRAWN BY: Author PROJECT NO: 15001
CHECKED BY: Checker SCALE: As Indicated
DATE: DEC 4, 2018 SIGN-4



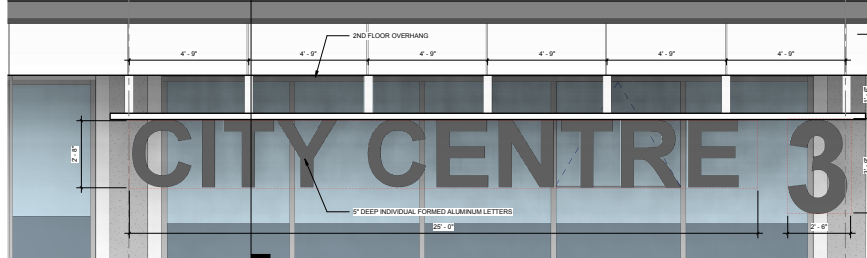
2 VIEW OF SIGNAGE TYPE T2



1 SIGN TYPE T2 CROWN SIGNAGE DETAIL
1/2" = 1'-0"

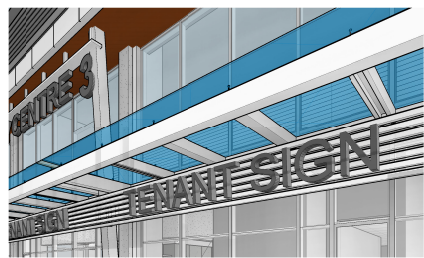


5 SIGN TYPE A1 3D IMAGE



4 SIGN TYPE A1 DETAIL
1/2" = 1'-0"

TYPE A1 BUILDING IDENTIFICATION SIGNAGE
1. 5" DEEP INDIVIDUAL FORMED ALUMINUM LETTERS & NUMBER
2. LT WITH CONCEALED LED DOWNLIGHTING
3. ALL CONDUIT/ CABLING TO BE CONCEALED.

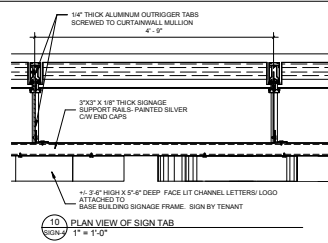


9 SIGN TYPE T1 3D IMAGE

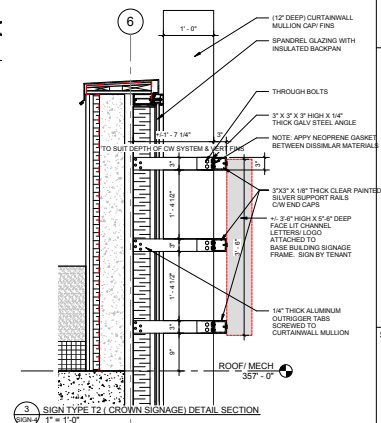


7 SIGN TYPE T1 DETAIL
1/2" = 1'-0"

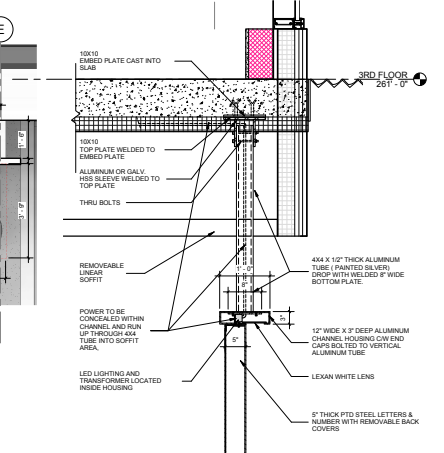
TYPE T1 TENANT FACSA CROWN SIGNAGE
1. INDIVIDUAL INTERNALLY ILLUMINATED CHANNEL LETTERS AND/OR LOGOS MOUNTED ON BASE BUILDING SIGNAGE FRAMEWORK
2. ALL CONDUIT & CABLING TO BE CONCEALED
3. MAXIMUM PROJECTION: 1/8" FROM THE BUILDING SIGN FRAMEWORK.



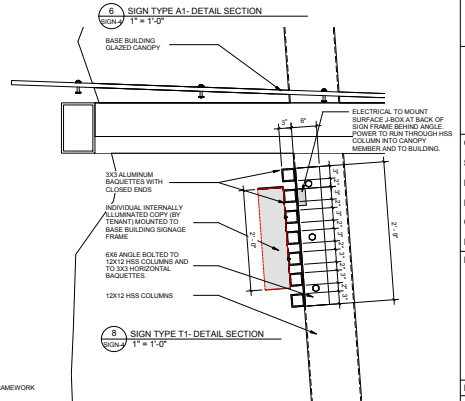
10 PLAN VIEW OF SIGN TAB
1/8\"/>



3 SIGN TYPE T2 (CROWN SIGNAGE) DETAIL SECTION
1" = 1'-0"



6 SIGN TYPE A1-DETAIL SECTION
1" = 1'-0"



8 SIGN TYPE T1-DETAIL SECTION
1" = 1'-0"

NORTH ARROW

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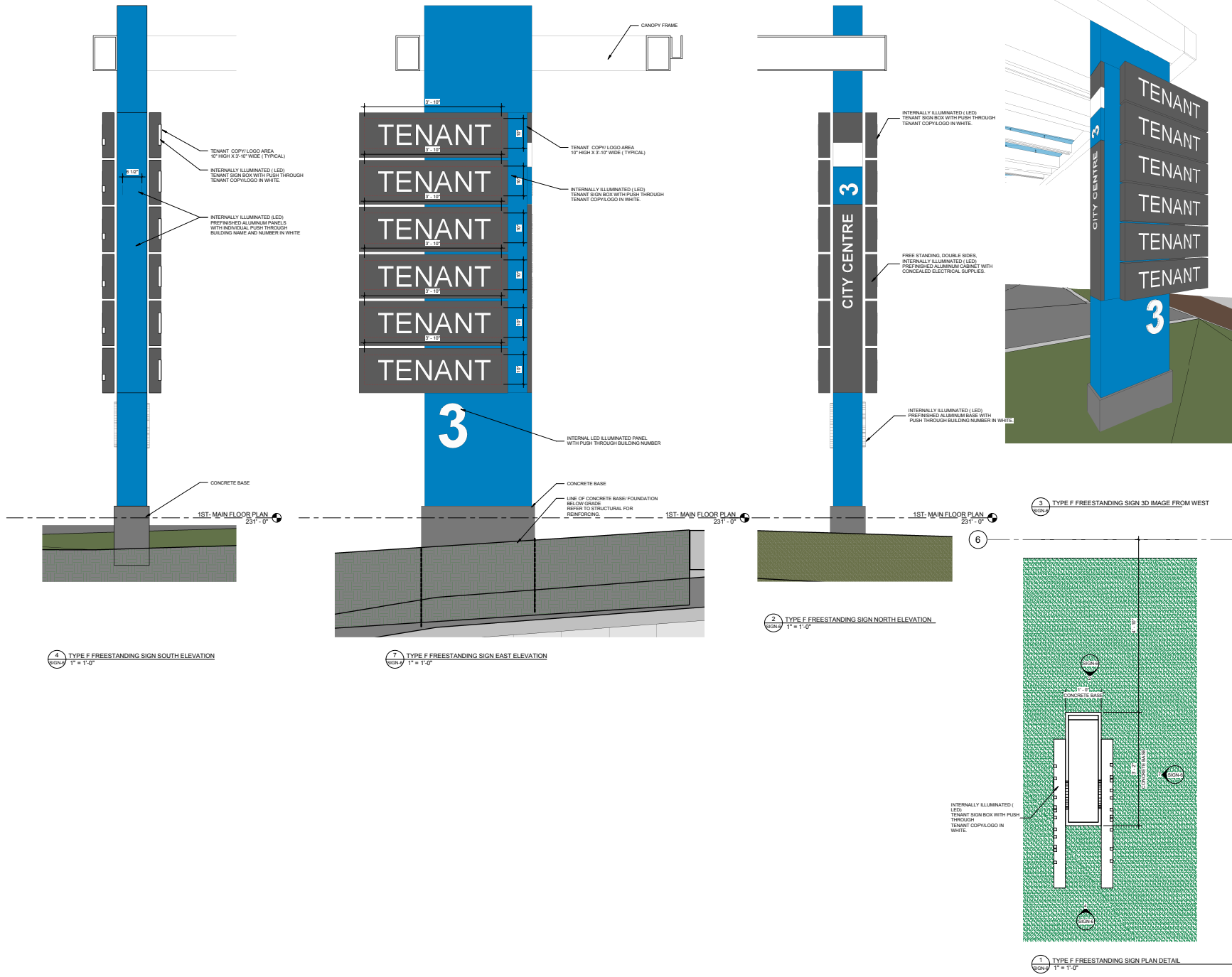
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- CONSULTANTS:
- STRUCTURAL: BOGDONOV PAO & ASSOCIATES LTD.
 - MECHANICAL: WILLIAMS ENGINEERING CANADA
 - ELECTRICAL: COLVIN ELECTRICAL GROUP
 - CIVIL: ISL ENGINEERING AND LAND SERVICES
 - LANDSCAPE: VAN DER ZALM & ASSOCIATES INC.

DRAWING TITLE:
**SIGNAGE
DETAILS-
FREESTANDING
SIGN**

DRAWN BY: Author PROJECT NO: 15801
CHECKED BY: Checker SCALE: 1" = 1'-0"
DATE: DEC 4, 2018 **SIGN-6**



City Centre 3

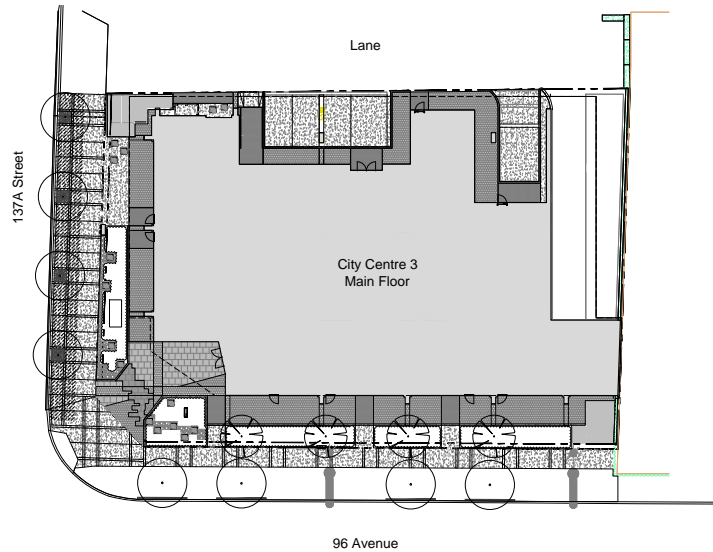
Re-Issued for Building Permit



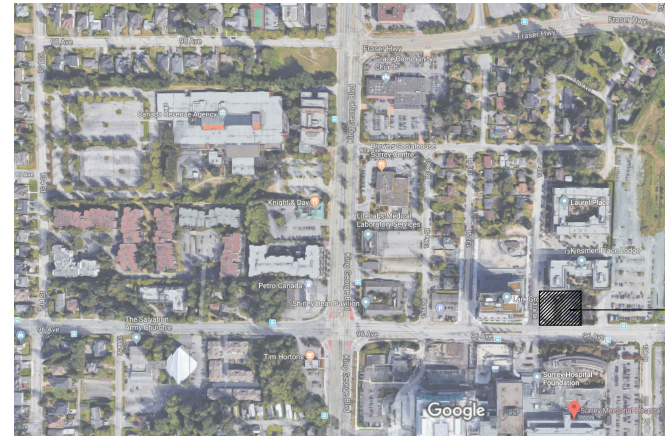
Contact Information	Other Key Contacts:		
van der Zalm + associates Inc. Project Landscape Architecture Suite 1 - 20177 87th Avenue Langley, British Columbia, V T. 604 882 0024 F. 604 882 0042 Primary project contact: Jennifer Wall jennifer@vz.ca o. 604 546 0934 Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vz.ca o. 604 546 0920	LARK Group Project Owner Building A, Unit 101 17802 - 66 Avenue Surrey, BC V3S 7V1 o. 604 576 2335 f. 604 576 2336	Wensley Architecture LTD. Project Building Architecture 301 - 1444 Alberni Street Vancouver, BC V6G 2Z4 o. 604 685 3529 f. 604 685 4574	ISL Engineering Project Civil Engineering #301, 20338 - 65 Avenue Langley, BC V2Y 2X3 o. 604 530 2288 f. 604 530 1132
	Williams Engineering Project Mechanical Engineering 500, 34077 Gladys Avenue Abbotsford, BC V2S 2S8 o. 604 855 7890 f. 604 855 7891	Bogdonov Pao Associates Project Structural Engineering 1606 W 8th Avenue Vancouver, BC V6L 1V4 o. 604 876 4377	Colwin Electrical Group Project Electrical Engineering 2629 Murray Street Port Moody, BC V3H 1K3 T. 604 461 1811 F. 604 461 1966

Sheet List Table

Sheet Number	Sheet Title
L-00	COVER SHEET
L-01	TREE REMOVAL AND PRESERVATION PLAN
L-02	GROUND LEVEL LANDSCAPE SITE PLAN
L-03	ROOF TOP LANDSCAPE PLAN
L-04	PLANTING PLANS
LS-01	SECTIONS
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS



1 OVERALL SITE PLAN
Scale 1:200



2 LOCATION MAP
Scale N.T.S.

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10	JW	Re-issued for BP	Dec 18, 2018
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No.	By	Description	Date

REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project: CITY CENTRE 3

Location: 13761 96th Avenue, SURREY, BC

Drawn: JW	Stamp:
Checked: MVDZ	
Approved: MVDZ	Original Sheet Size: 30"x42"
Scale:	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE DRAWING AND REPORT ANY DISCREPANCIES TO THE CONSULTANT IMMEDIATELY BY THE APPROVED MAIL DELIVERY OR BY THE APPROVED MAIL DELIVERY BY THE CONSULTANT AND MAIL DELIVERY BY THE CONSULTANT OF THE DRAWING. ALL DIMENSIONS AND DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING DIMENSIONS AND CONDITIONS ON THE GROUND FOR THE WORK TO BE CONSTRUCTED.

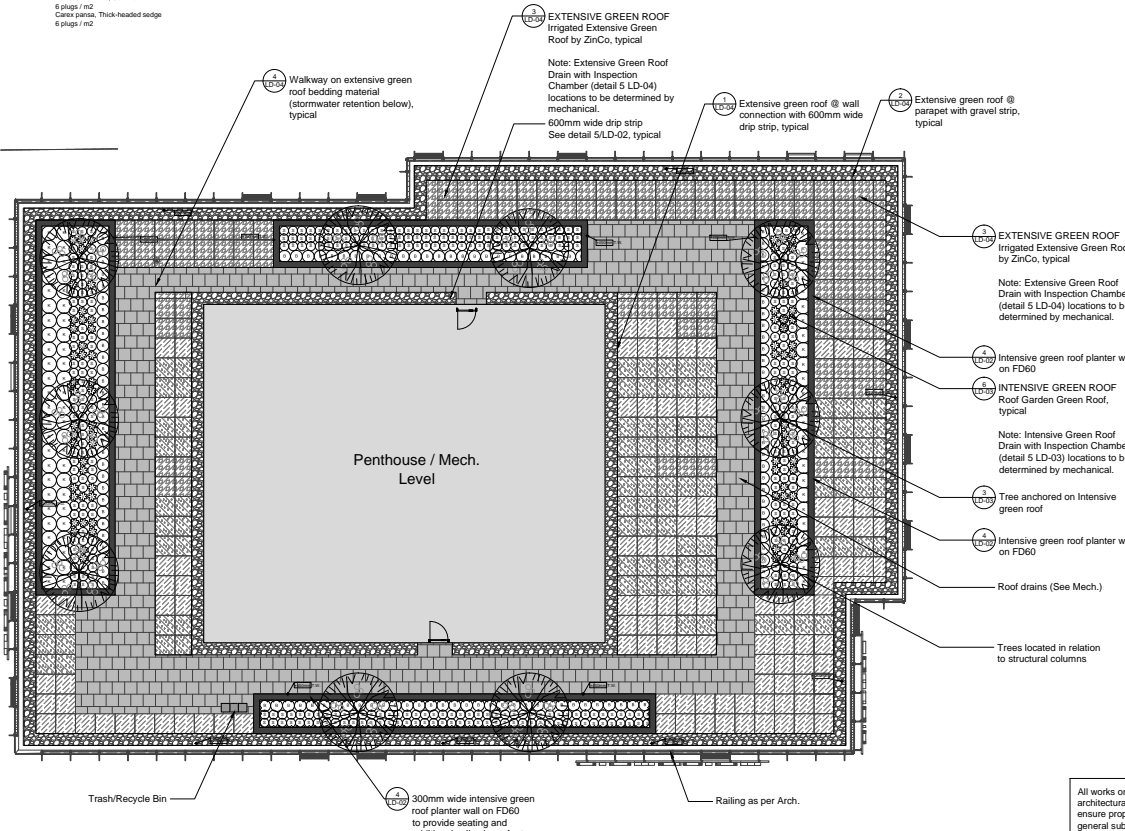
Drawing Title: COVER SHEET
 Drawing #: L-00
 VPD Project #: DP2018-12
 NORTH
 van der Zalm + associates inc.

INTENSIVE GREEN ROOF
Planting legend

PLANT SCHEDULE: INTENSIVE GREEN ROOF				
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
B	Barberis buxifolia 'Nana' / Dwarf Barbary	#3	0.60m	121
GRASSES / PERENNIALS	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
K	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	#1	0.75m	75
S	Stipa tenuissima / Finestem Needlegrass	#1	0.45m	360
V	Verbena bonariensis / Purpletop Verbena	#1	0.45m	78

INTENSIVE GREEN ROOF
Planting legend

- EcoSystem Roof by ZincCo
Handplanted with Grassland Plants
Brodiaea conopsea
6 plugs / m2
Helianthus scaberrimus, Blue Oat Grass
6 plugs / m2
- EcoSystem Roof by ZincCo
Handplanted with Ecotonal Plants
Camassia quamash, Common Camas
6 plugs / m2
Brodiaea hyacinthina, Fool's Onion
6 plugs / m2
- EcoSystem Roof by ZincCo
Handplanted with Maritime Plants
Arnica montana, Common Throat
6 plugs / m2
Centaurea jacobaea, Thick-headed sedg
6 plugs / m2



LEGEND

KEY	REF.	DESCRIPTION
	1 LD-01	CONCRETE SLAB with rebar (one set per plan)
	4 LD-01	ARCHITECTURAL SLABS A: Vancouver Slab B: Diamond Ledge Colour: As Shown C: Granite Top Manufacturer: Miral Materials
	3 LD-01	CONCRETE UNIT PAVERS Double Jointed Polymer Sand Bed Colour: Charcoal Manufacturer: Miral Materials
	2 LD-01	CUT GRANITE UNIT PAVERS A: 225 x 225 x 75 B: 105 x 105 x 75mm Pattern: Running/Graffiti Bed Colour: Pines Forest, Grey Supplier: British Natural Stone
		EXISTING TREE
	1-3 LD-02	SHRUB PLANTINGS
		SOIL Green Infiltration to City of Surrey Standards 600mm depth growing medium mix
	1.2 LD-03	TREE GRATE Material: 401 Aluminium Size: 1.4m (4'6") square Colour: Cast Aluminium
	7 LD-01	BIKE RACK Material: 304 SS Model: LRM-017 Colour: Silver Supplier: South Recreation Mount Surface
	8 LD-01	BENCH Material: 105-102 Colour: JCA-1000000 Manufacturer: Republic Top Supplier: South Recreation Mount Surface on 100mm Rock concrete pad
	6 LD-01	TRASH / RECYCLING BINS Material: 304 SS Colour: Polished stainless steel Manufacturer: Landscape Forms Mount Surface
		GRANITE BLOCKS 100 x 100 x 80mm Colour: Herby Mixed Granite, Grey Supplier: British Natural Stone Mount Surface
		RIVER ROCK ON FABRIC Rock to be 25-50mm round over rock
		SOIL CELLS See Call for Specs.

TREE LEGEND

Acer griseum	Magnolia sprengeri var. diva Eric Savill	Steel Tree	Existing Tree

All works on slab to be coordinated with architectural, mechanical and structural to ensure proper location of trees, drainage and general subsurface coordination.

TREE SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
See Legend	10	Acer griseum	Paperbark Maple	B&B: multi-stem, 3m high	As shown
See Legend	4	Magnolia sprengeri var. diva Eric Savill	Eric Savill Magnolia	B&B: 6cm caliper, 1.2m tall	As shown



van der Zalm + associates inc.
Landscape Architecture
13761 56th Avenue
Surrey, BC V4W 1G4
Tel: 604.582.5242
Fax: 604.582.5243
www.vdz.ca

LARK GROUP
Landscape Architecture

Wensley Architecture Ltd.
100-1148 Blaine St.
V6A 4K6
Tel: 604.271.1111
www.wensleyarch.com

REVISIONS TABLE FOR DRAWINGS

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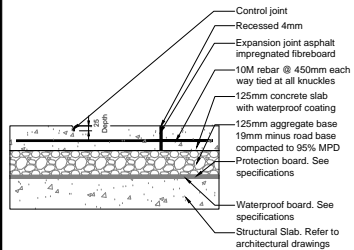
Project:
CITY CENTRE 3

Location:
13761 56th Avenue
SURREY, BC

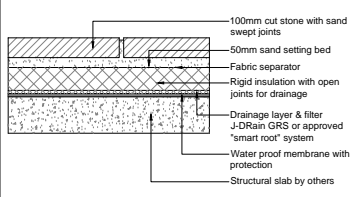
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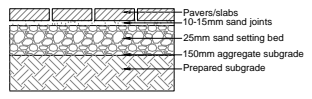
1 CONCRETE SLAB OVER STRUCTURAL SLAB
Scale 1:10



CUT GRANITE UNIT PAVERS
A: 225 x 225 x 75 B: 105 x 105 x 75mm
Pattern: Running/Stretcher Bond
Colour: Flame Finish, Grey
Supplier: Bedrock Natural Stone

Notes:
1. Contractor to provide shop drawings
2. Install all components as per manufacturer's specifications

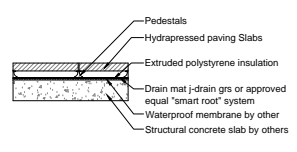
2 CUT STONE UNIT PAVERS
Scale 1:10



ARCHITECTURAL SLABS
610 x 610 x 45mm
A: Vancouver Bay B: Diamond Lake
Colour: A: Charcoal B: Copper Tan
Manufacturer: Mutual Materials

CONCRETE UNIT PAVERS
Double Jumbo Holland: 225 x 225 x 80
A: Ground Floor; Pattern: Running Bond
Colour: Charcoal
Manufacturer: Mutual Materials

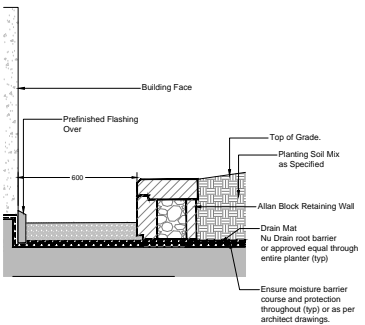
3 PAVER INSTALL ON GROUND FLOOR
Scale 1:10



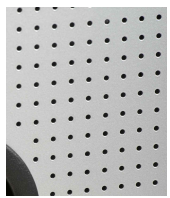
ARCHITECTURAL SLABS
610 x 610 x 45mm
Diamond Lake
Colour: Copper Tan
Manufacturer: Mutual Materials

Notes:
1. Contractor to provide shop drawings
2. Install all components as per manufacturer's specifications

4 PAVER INSTALL ROOFTOP
Scale 1:10



5 DRIP STRIP
Scale 1:10



Manufacturer: Landscape Forms
Model: Select Triple Side opening unit w/ perforated doors
Install as per manufactures specifications.

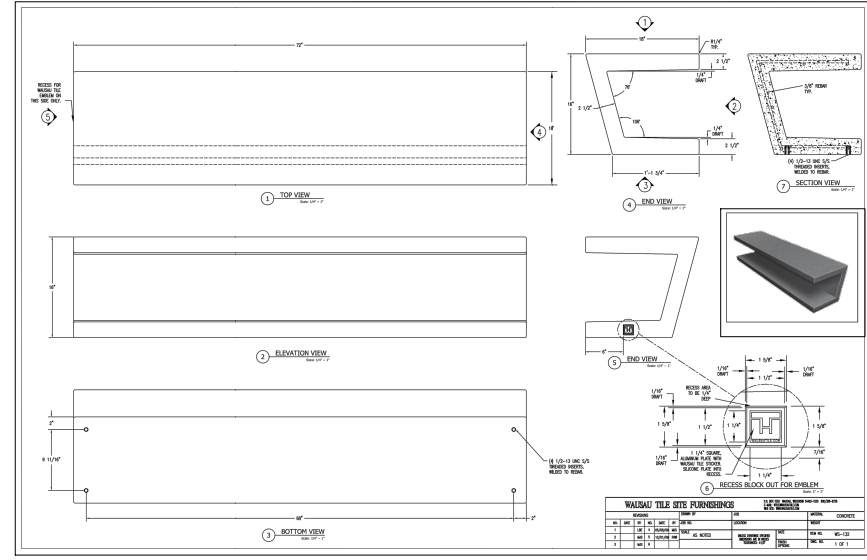


6 TRASH/RECYCLING RECEPTACLES
N.T.S.



Manufacturer: Fair Weather SF
Model: Model LSK-017 Bike Rack
Supplier: Surtle Recreation Ltd.
Contact: Josh Sasser
Phone: 1.800.668.5221
Install as per manufactures specifications.

7 BIKE RACK
N.T.S.



8 BENCH
N.T.S.

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REVISIONS TABLE FOR SHEET

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CITY CENTRE 3

Location:
13761 56th Avenue
SURREY, BC

Drawn: Stamp:
JW

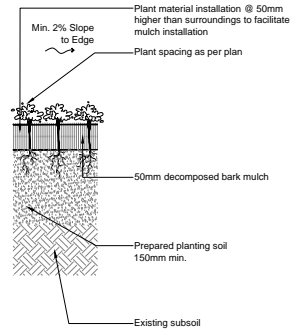
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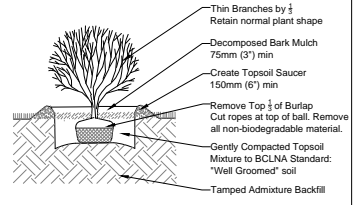
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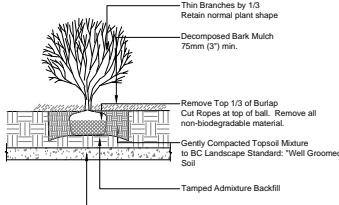
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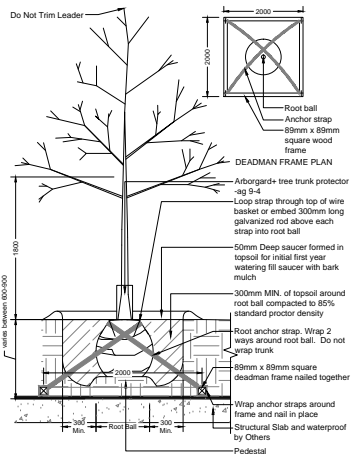
1 GROUND COVER PLANTING
Scale 1:10



2 SHRUB PLANTING
Scale 1:25

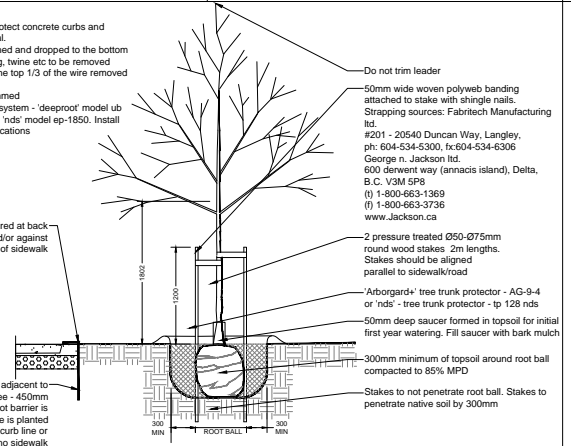


3 SHRUB PLANTING ON SLAB
Scale 1:25



4 TREE PLANTING ON GRADE
Scale 1:25

- Notes:
1. Root barrier is required to protect concrete curbs and sidewalks from root upheaval.
 2. Sacking/burlap to be loosened and dropped to the bottom of the planting hole. All string, twine etc to be removed.
 3. All wire baskets shall have the top 1/3 of the wire removed prior to planting.
 4. All trees shall be single stemmed.
 5. Install approved root barrier system - 'deeproot' model ub 18-2 'vespro' model rs-18; or 'nds' model ep-1850. Install as per manufacturers specifications.



5 TREE PLANTING WITH ROOT BARRIER
Scale 1:25

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CITY CENTRE 3

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13761 96th Avenue
SURREY, BC

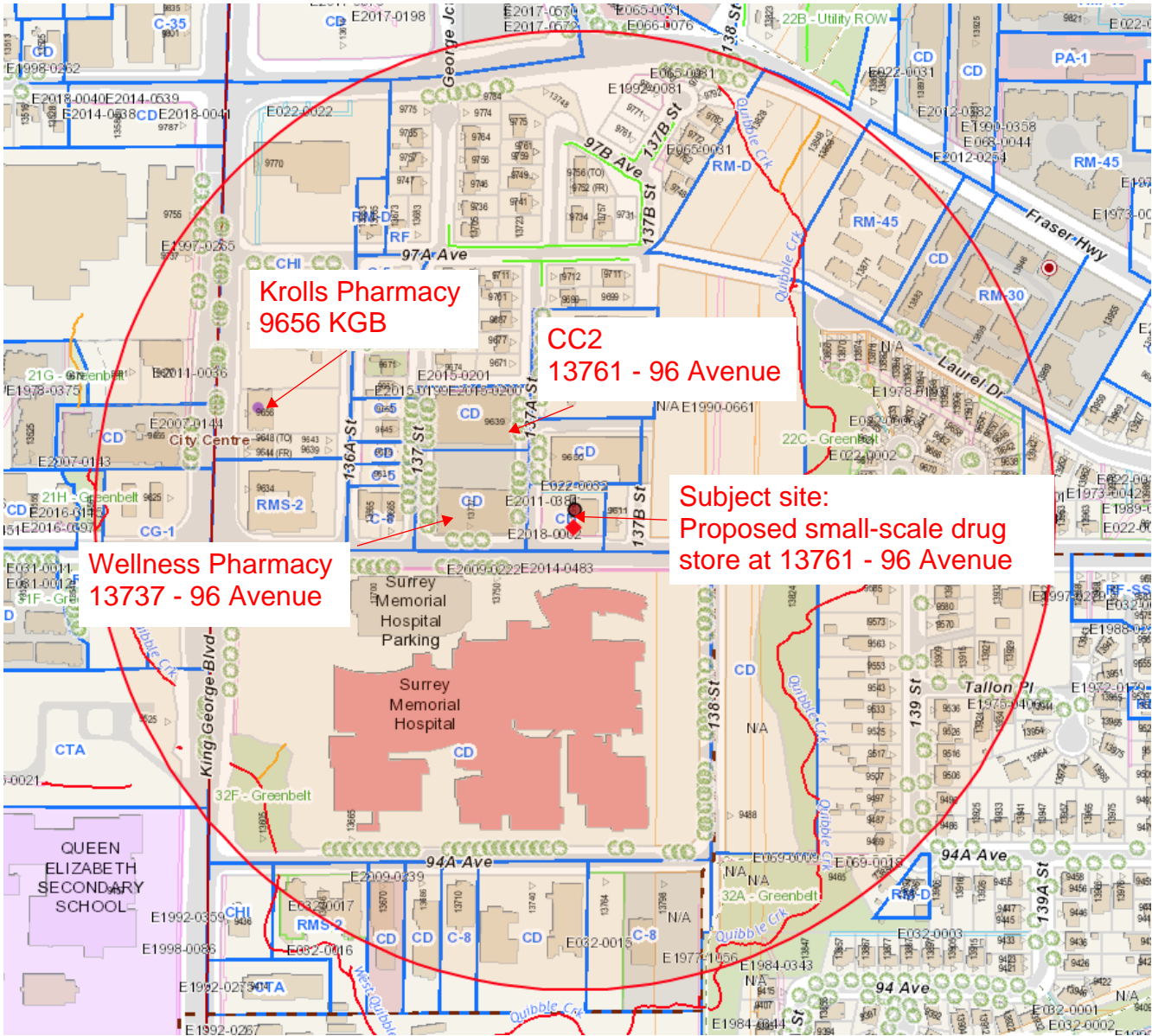
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Existing and Proposed Small-scale Drug Stores within 400 metres (1,300 ft.) of the Subject Site



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7918-0453-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 030-647-126

Lot A Section 35 Block 5 North Range 2 West New Westminster District Plan EPP77371

13761 - 96 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section E.28 of Part 4 General Provisions of Zoning By-law No. 12000, the minimum separation requirement between a small-scale drug store and an existing small-scale drugstore is reduced from 400 metres (1,300 ft.) to 22 metres (72 ft.).
4. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
5. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
6. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

7. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended

.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 903 of the Local Government Act, R.S.B.C. 1996 c. 323, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: COMPREHENSIVE DEVELOPMENT ZONE (CD BY-LAW No. 19373)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 030-647-126

Lot A Section 35 Block 5 North Range 2 West New Westminster District Plan EPP77371

13761 – 96 Avenue

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of a high-rise, high *density*, office *building* with lower-level *commercial* uses which are developed in accordance with a *comprehensive design*.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

- 1. Office uses excluding *social escort services* and *methadone clinics*.
- 2. A private surgical centre and associated diagnostic and imaging services, and recovery facilities with overnight stays, which is regulated under the Medical Practitioners Act, R.S.B.C., 1996, c. 285, as amended.

3. Universities named under the University Act. R.S.B.C., 1996, c.468 as amended.
4. Colleges and Institutes designated as such under the College and Institute Act, R.S.B.C., 1996, c .52, as amended.
5. *Retail stores excluding adult entertainment stores and second-hand stores and pawnshops.*
6. *Personal service uses excluding body rub parlours.*
7. *General service uses excluding funeral parlours and drive-through banks.*
8. *Eating establishments excluding drive-through restaurants.*
9. *Neighbourhood pub.*
10. *Liquor store.*
11. *Community services.*
12. *Child care centres.*

C. Lot Area

Not applicable to this Zone.

D. Density

1. For the purpose of *building* construction, the *floor area ratio* shall not exceed 0.1.
2. Where amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended, the *floor area ratio* shall not exceed 5.9.
3. Notwithstanding the definition of *floor area ratio*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section D of this Zone and further provided that the *floor area ratio* calculated from the cumulative floor areas of the *buildings* within all of the air space parcels and the remainder of the air space subdivision shall not exceed the maximum specified in Section D.2 of this zone.

E. Lot Coverage

1. The *lot coverage* shall not exceed 80%.
2. Notwithstanding the definition of *lot coverage*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section E of this Zone, and further provided that the *lot coverage* within all of the air space parcels and remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section E.1 of this Zone.

F. Yards and Setbacks

1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

Setback	North Yard	South Yard	East Yard	West Yard
Use				
<i>Principal and Accessory Buildings and Structures</i>	7.6 m [25 ft.]	3.6 m [12 ft.]	0 m [0 ft.]	2.7 m [9 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Notwithstanding Section F.1, the minimum *setbacks* of *principal buildings* and *accessory buildings and structures* from interior *lot lines* for lots created by an air space subdivision may be 0.0 metre [0 ft.].
3. Notwithstanding the definition of *setback* in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended, roof overhangs, *balconies* and canopies may encroach into the required *setbacks*.
4. Notwithstanding Sub-section A.3(d) of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, an *underground parking facility* may be located up to 0 metre [0 ft.] of any *lot line*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 45 metres [148 feet].
2. *Accessory buildings and structures*: The *building height* shall not exceed 4.5 metres [15 feet].

H. Off-Street Parking

1. Commercial *parking spaces* shall be provided as stated in Table C.2. of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 10993, No. 12000, as amended.
2. Notwithstanding Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, *parking spaces* for medical office use shall be provided at a ratio of 3.0 *parking spaces* per 100 m² (1,015 sq. ft.) of *gross floor area*.
3. All commercial *parking spaces* shall be provided as *underground parking*.
4. Notwithstanding Section H.3 of this Zone, a maximum of 4 surface *parking spaces* may be permitted.
5. *Tandem parking* is not permitted.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
3. Garbage containers and *passive recycling containers* shall be located within the *underground parking* or within a *building*.

J. Special Regulations

1. *Child care centres* shall be located on the *lot* such that these centres:
 - (a) *Are accessed* from a *highway*; and
 - (b) Have direct access to an *open space* and play area within the *lot*.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
2,000 sq. m. [0.49 acre]	40 metres [131 ft.]	40 metres [131 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the C-35 Zone in the City Centre as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge By-law, 2016, No. 18664, as may be amended or replaced from time to time, and the development cost charges shall be based on the C-35 Zone in the City Centre.

9. Tree regulations are set out in Surrey Tree Protection By-law, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
11. Universities are regulated under the University Act, R.S.B.C., 1996, c.468, as amended.
12. Colleges and Institutes are regulated under the College and Institute Act, R.S.B.C., 1996, c.52, as amended.
13. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act R.S.B.C. 2002. c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
14. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, Chapter 267, as amended.
15. Private surgical centres and recovery facilities, with overnight stays, are regulated under the Medical Practitioners Act, R.S.B.C., 1996, c. 285, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning Bylaw, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20 .

PASSED SECOND READING on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

PASSED THIRD READING on the _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

_____ MAYOR

_____ CLERK