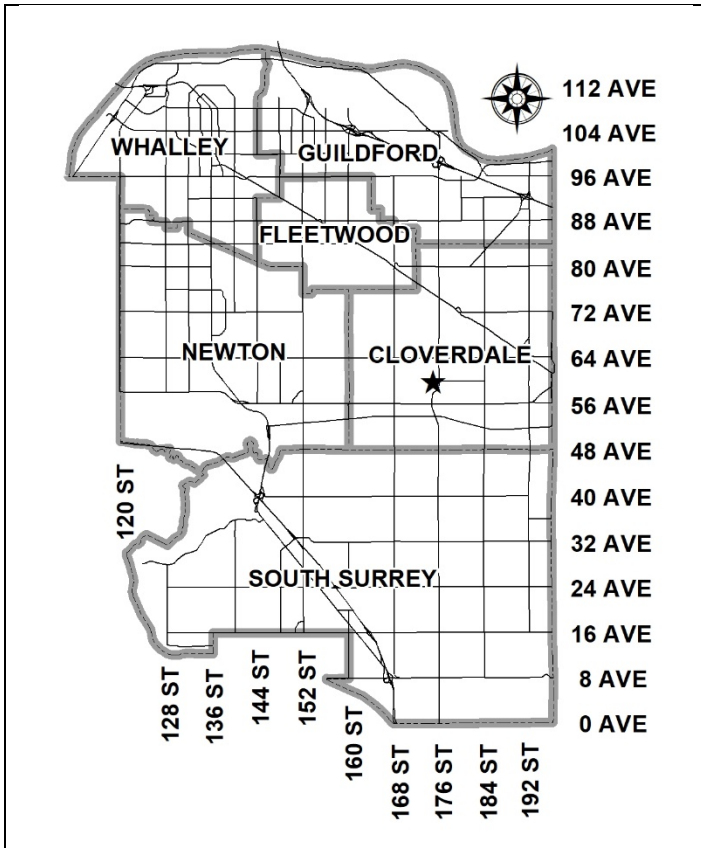


City of Surrey
ADDITIONAL PLANNING COMMENTS

File: 7918-0341-01

Planning Report Date: December 2, 2019



PROPOSAL:

- **Development Variance Permit**

to reduce the minimum required indoor amenity space for a 25-unit townhouse development in Cloverdale Town Centre.

LOCATION:

- 17508 - 60 Avenue
- 17524 - 60 Avenue
- 17534 - 60 Avenue
- 17544 - 60 Avenue

ZONING:

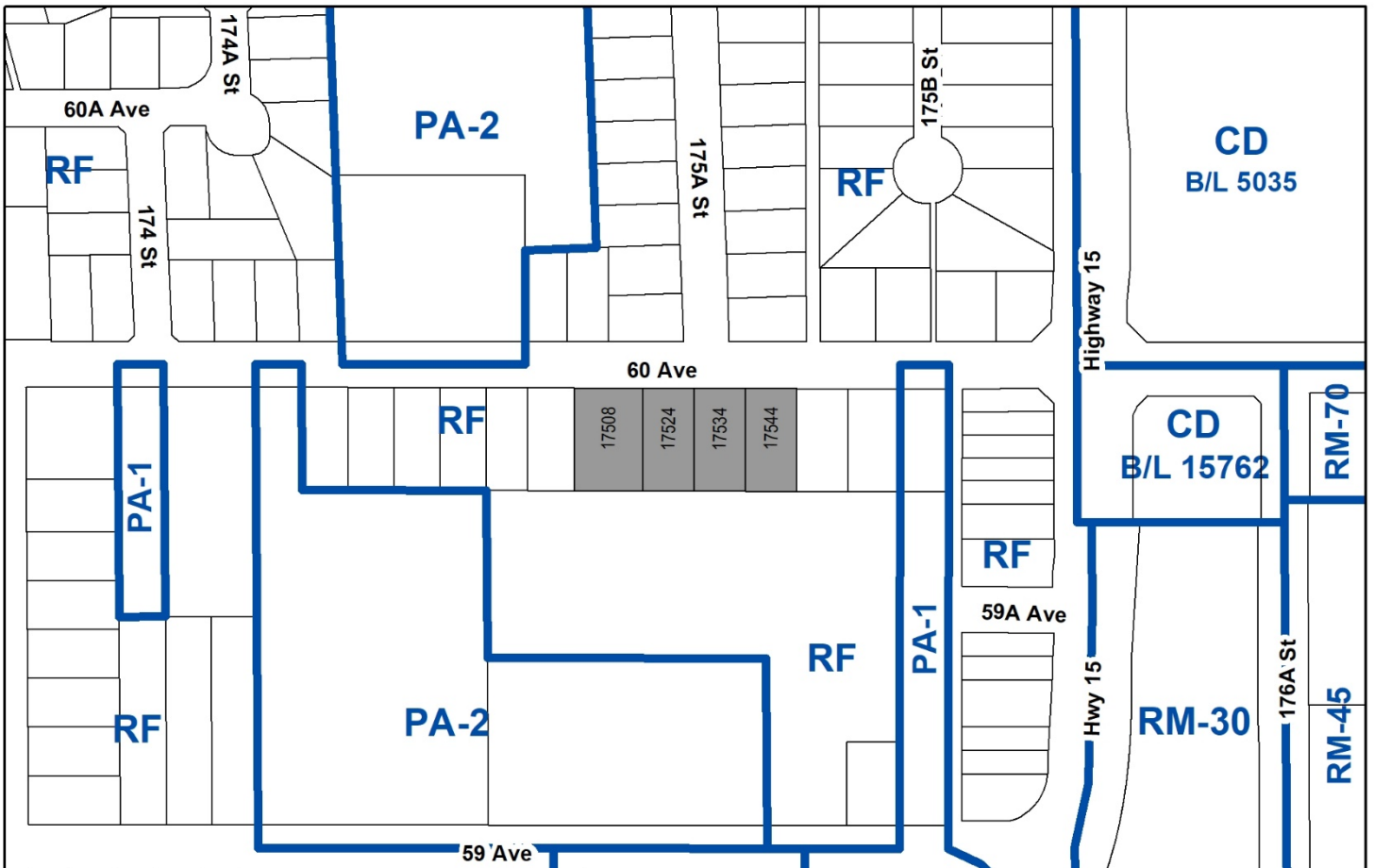
RF

OCP DESIGNATION:

Urban

TCP DESIGNATION:

Low Rise Residential



RECOMMENDATION SUMMARY

- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Proposing to vary Part 4 “General Provisions” of the Surrey Zoning By-law to reduce the minimum indoor amenity space required for a 25-unit townhouse development from 74 square metres (800 sq.ft.) to 0 square metres (0 sq.ft.).

RATIONALE OF RECOMMENDATION

- On May 27, 2019, Council considered Planning and Development Report No. 7918-0341-00, proposing a Town Centre Plan Amendment, Rezoning, Development Permit and Development Variance Permit in order to permit the development of 25 townhouse units on the subject site. Following a Public Hearing on June 10, 2019, Council granted Third Reading to the subject Rezoning By-law (to “Multiple Residential 30 Zone (RM-30)”) and approved the applicant’s request to eliminate the required indoor amenity space.
- On November 18, 2019, Council gave final adoption to Text Amendment By-law No. 19945 (Corporate Report R206; 2019) which included amendments to add minimum indoor and outdoor amenity space requirements to various multiple residential zones within the Surrey Zoning By-law, including the “Multiple Residential 30 Zone (RM-30)”.
- Based on the standard Zoning By-law requirement of 3.0 square metres (32 sq.ft.) per dwelling unit for indoor amenity space, the proposed development requires 75 square metres (800 sq.ft.) of indoor amenity space. As per the recent amendments to the Zoning By-law, for ground-oriented multiple unit residential projects proposing 25 units or greater, the minimum required indoor amenity space is 74 square metres (800 sq.ft.). A cash-in-lieu contribution may be considered to address any shortfall between the required and minimum indoor amenity space requirements.
- The applicant is proposing to provide no indoor amenity space, given both the scale of the proposed development and the location of the subject site within the Cloverdale Town Centre area, which has other indoor amenity/recreation options.
- In addition, the proposal includes approximately 238 square metres (2,562 sq.ft.) of both active and passive outdoor amenity space, which equates to 9.5 square metres (102 sq.ft.) per dwelling unit and exceeds the Zoning By-law requirement of 3.0 square metres (32 sq.ft.) per dwelling unit or 75 square metres (807 sq.ft.).
- The applicant has agreed to provide a monetary contribution of \$37,500 (based on \$1,500 per unit) to address the shortfall in the required indoor amenity space, in accordance with Council Policy No. O-48, as amended.

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Variance Permit No. 7918-0341-01 (Appendix III), to reduce the minimum indoor amenity space required for a 25-unit townhouse development from 74 square metres (800 sq.ft.) to 0 square metres (0 sq.ft.), to proceed to Public Notification.

REFERRALS

Engineering: The Engineering Department has no objection to the proposed variance.

SITE CHARACTERISTICS

Existing Land Use: Four (4) single family lots, each containing a single family dwelling and accessory structure, which are to be removed.

Adjacent Area:

Direction	Existing Use	OCP or TCP Designation	Existing Zone
North (Across 60 Avenue):	Single family dwellings	Urban (OCP)	RF
East:	Single family dwelling	Low Rise Residential (Cloverdale TCP)	RF
South:	Cloverdale Catholic School playfields	Low Rise Residential	RF and PA-2
West:	Single family dwelling	Low Rise Residential	RF

DEVELOPMENT CONSIDERATIONS

- On May 27, 2019, Council considered Planning and Development Report No. 7918-0341-00 (see Appendix II), proposing a Town Centre Plan Amendment, Rezoning, Development Permit and Development Variance Permit in order to permit the development of 25 townhouse units on the subject site. Following a Public Hearing on June 10, 2019, Council granted Third Reading to the subject Rezoning By-law and approved the applicant's request to eliminate the required indoor amenity space.
- On November 18, 2019, Council gave final adoption to Text Amendment By-law No. 19945 (Corporate Report R206; 2019) which included amendments to add minimum indoor and outdoor amenity space requirements to various multiple residential zones within the Surrey Zoning By-law, including the "Multiple Residential 30 Zone (RM-30)".

- Based on the standard Zoning By-law requirement of 3.0 square metres (32 sq.ft.) per dwelling unit for indoor amenity space, the proposed development requires 75 square metres (800 sq.ft.) of indoor amenity space.
- As per the recent amendments to the Zoning By-law, for ground-oriented multiple unit residential projects proposing 25 units or greater, the minimum required indoor amenity space is 74 square metres (800 sq.ft.). A cash-in-lieu contribution may be considered to address any shortfall between the required and minimum indoor amenity space requirements.
- The applicant is proposing to provide no indoor amenity space, given both the scale of the proposed development and the location of the subject site within the Cloverdale Town Centre area. As such, the applicant is requesting a Development Variance Permit (DVP) to reduce the required minimum indoor amenity space requirement from 74 square metres (800 sq.ft.) to 0 square metres (0 sq.ft.) for the subject site.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- Proposing to vary Part 4, General Provisions, of the Surrey Zoning By-law to reduce the minimum indoor amenity space required for a 25-unit townhouse development from 74 square metres (800 sq.ft.) to 0 square metres (0 sq.ft.).

Applicant's Reasons:

- Council previously approved a request to eliminate the required indoor amenity space on the subject application on June 10, 2019.

Staff Comments:

- The proposal includes approximately 238 square metres (2,562 sq.ft.) of both active and passive outdoor amenity space, which equates to 9.5 square metres (102 sq.ft.) per dwelling unit and exceeds the Zoning By-law requirement of 3.0 square metres (32 sq.ft.) per dwelling unit or 75 square metres (807 sq.ft.).
- The applicant has agreed to provide a monetary contribution of \$37,500 (based on \$1,500 per unit) to address the shortfall in the required indoor amenity space, in accordance with Council Policy No. O-48, as amended.
- Staff support the requested variance to proceed to Public Notification.

INFORMATION ATTACHED TO THIS REPORT

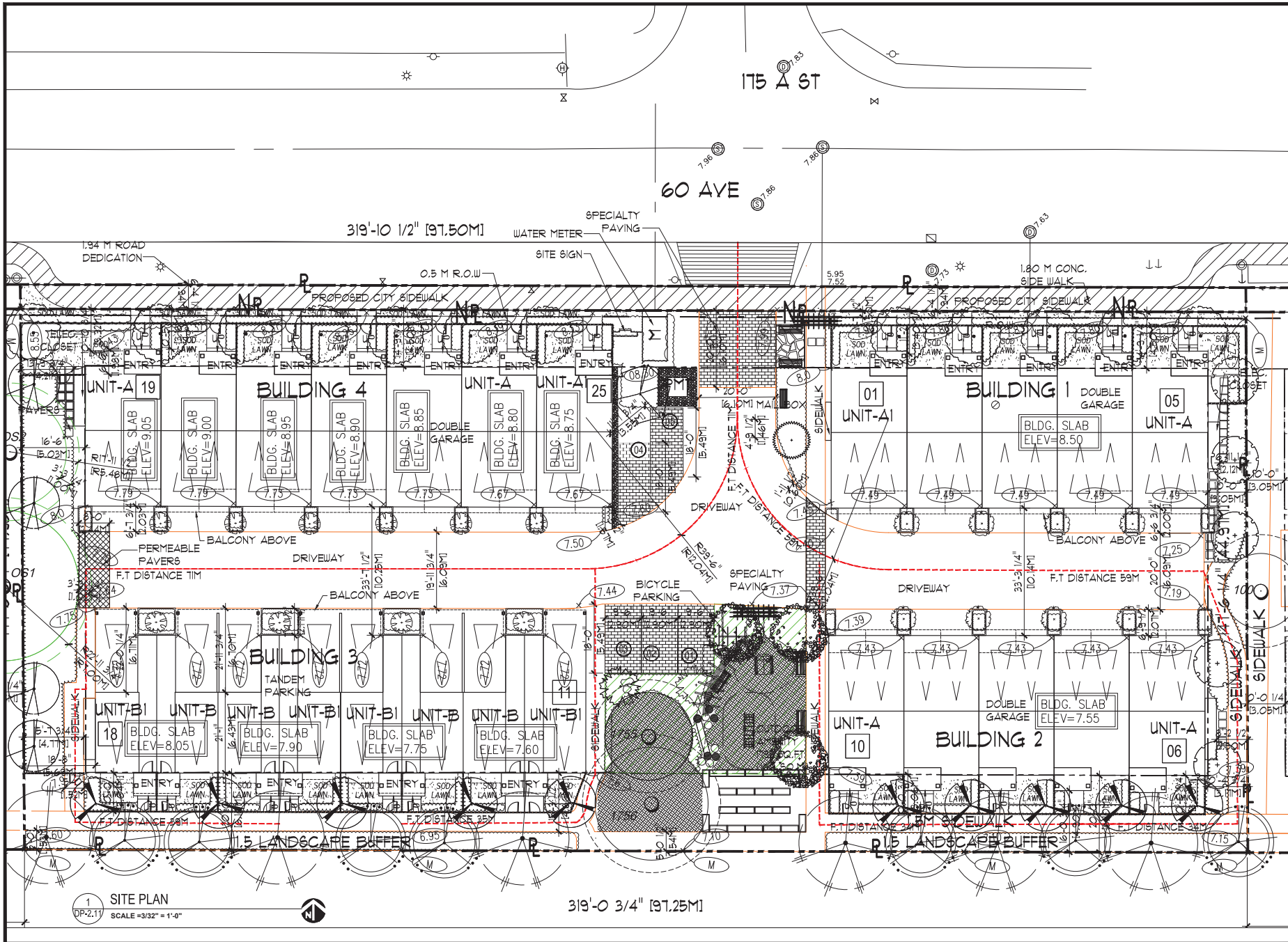
The following information is attached to this Report:

- Appendix I. Site Plan
- Appendix II. Planning and Development Report No. 7918-0341-00
- Appendix III. Development Variance Permit No. 7918-0341-01

approved by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

CRL/cm



1 SITE PLAN
DP-2.11 SCALE = 3/32" = 1'-0"

319'-0 3/4" [97.25M]

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THIS PLAN AND DESIGN ARE, AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF DOUGLAS R. JOHNSON ARCHITECT AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE SHALL BE INFORMED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWING.

MARK	DATE	DESCRIPTION
1	14 MAR 2018	ISSUED FOR PRELIMINARY DESIGN
2	17 FEB 2018	ISSUED FOR PERMITS
3	17 FEB 2018	ISSUED FOR PERMITS

PROJECT: 17524 TOWNHOUSE
17524 60 AVE, SURREY, BC
OWNER: DOUGLAS R. JOHNSON ARCHITECT LTD.
SHEET DESCRIPTION: SITE PLAN

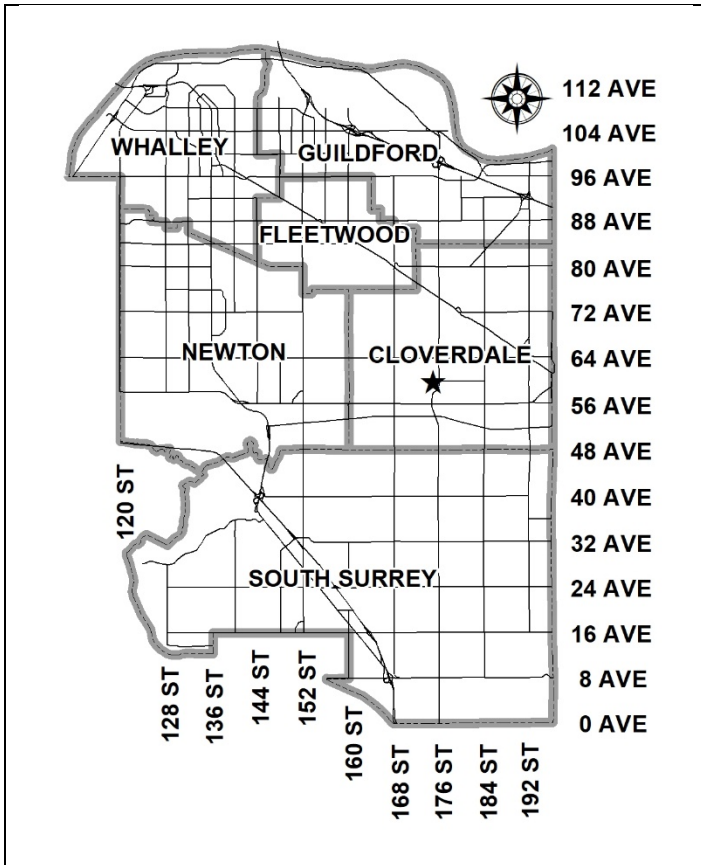
DOUGLAS R. JOHNSON ARCHITECT LTD.
#374-901 WEST 3RD AVE.
NORTH VANCOUVER, BC V7P 3P9
PH: (604)998-3381
FAX: (604)998-0217
drjarch@shaw.ca

SCALE: 1/8"=1'-0"	PROJECT NO: _____
DATE: 03-23-2018	DRAWN: _____
REVISIONS:	SHEET: _____
DP-A-2.11	

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7918-0341-00

Planning Report Date: May 27, 2019



PROPOSAL:

- **TCP Amendment** from Urban Single Family to Townhouses
- **Rezoning** from RF to RM-30
- **Development Permit**
- **Development Variance Permit**

to permit the development of 25 townhouse units in Cloverdale Town Centre.

LOCATION:

- 17508 - 60 Avenue
- 17524 - 60 Avenue
- 17534 - 60 Avenue
- 17544 - 60 Avenue

ZONING:

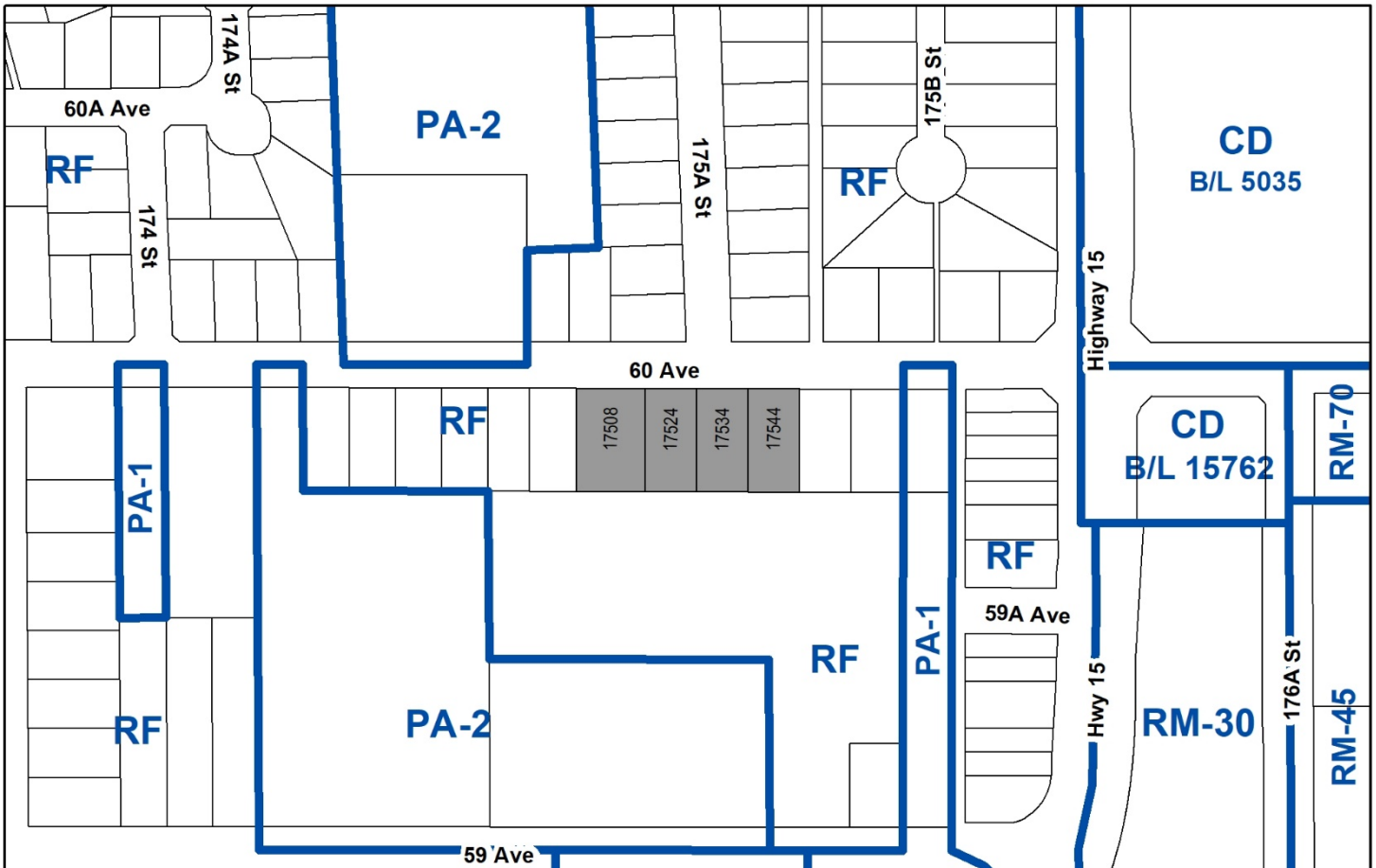
RF

OCF DESIGNATION:

Urban

TCP DESIGNATION:

Urban Single Family



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to eliminate indoor amenity space.
- Approval to draft Development Permit for Form and Character.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The proposal requires an amendment to the Cloverdale Town Centre Plan from "Urban Single Family" to "Townhouses".
- Seeking to reduce the minimum building setbacks of the RM-30 Zone along all four (4) property lines.

RATIONALE OF RECOMMENDATION

- Complies with the "Urban" designation in the Official Community Plan (OCP).
- The proposed amendment to the Cloverdale Town Centre Plan (TCP) to redesignate the subject site from "Urban Single Family" to "Townhouses" will accommodate 25 townhouse units at a net density of 24 upa (55 uph). The proposed increase in density is consistent with the City's objectives of supporting more efficient, compact, ground-oriented multi-residential development within Town Centre areas.
- The proposed "Townhouses" designation conforms to the recommended land use designation of the subject site in the Cloverdale Town Centre Plan Update, which is currently in the public consultation and refinement stage but has not yet been granted Stage 1 or 2 approval from Council.
- The proposed setbacks achieve a more urban, pedestrian streetscape and are consistent with similar recently approved townhouse projects in Cloverdale Town Centre.
- The proposal includes approximately 238 square metres (2,562 sq.ft.) of both active and passive outdoor amenity space, which equates to 9.5 square metres (102 sq.ft.) per dwelling unit and exceeds the Zoning By-law requirement of 75 square metres (807 sq.ft.), or 3.0 square metres (32 sq.ft.), per dwelling unit.
- The applicant has agreed to provide a monetary contribution of \$30,000 (based on \$1,200 per unit) in accordance with City policy, to address the shortfall in the required indoor amenity space.
- The Cloverdale Community Association (CCA) has indicated that they are supportive of the proposal.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" to "Multiple Residential 30 Zone (RM-30)" and a date be set for Public Hearing.
2. Council approve the applicant's request to eliminate the required indoor amenity space.
3. Council authorize staff to draft Development Permit No. 7918-0341-00 generally in accordance with the attached drawings (Appendix II).
4. Council approve Development Variance Permit No. 7918-0341-00 (Appendix IX) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum front yard (north) setback of the RM-30 Zone for Building 1 and Building 4 from 7.5 metres (25 ft.) to:
 - 4.5 metres (14.7 ft.) to the principal building;
 - 3.6 metres (12 ft.) to the roof overhang; and
 - 3.3 metres (10.8 ft.) to the porch columns and 3.1 metres (10.2 ft.) to the porch overhang.
 - (b) to reduce the minimum side yard (east) setback of the RM-30 Zone from 7.5 metres (25 ft.) to:
 - 3.0 metres (9.8 ft.) to the principal building;
 - 2.7 metres (8.8 ft.) to the 2nd floor bay window projection;
 - 2.4 metres (8 ft.) to the 2nd floor bay window roof overhang;
 - 2.1 metres (6.8 ft.) to the principal building roof overhang; and
 - 2.1 metres (6.8 ft.) to the electrical closet.
 - (c) to reduce the minimum rear yard (south) setback of the RM-30 Zone for Building 2 from 7.5 metres (25 ft.) to:
 - 6.0 metres (20 ft.) to the principal building;
 - 5.2 metres (17 ft.) to the roof overhang; and
 - 5.0 metres (16.4 ft.) to the porch columns and 4.7 metres (15.4 ft.) to the porch overhang.
 - (d) to reduce the minimum rear yard (south) setback of the RM-30 Zone for Building 3 from 7.5 metres (25 ft.) to:
 - 6.0 metres (20 ft.) for the ground floor and 5.2 metres for the upper floors (17 ft.) of the principal building;
 - 4.4 metres (14.5 ft.) to the roof overhang; and
 - 4.9 metres (16 ft.) to the porch column and 4.4 metres (14.4 ft.) to the porch overhang.

-
- (e) to reduce the minimum side yard (west) setback of the RM-30 Zone for Building 3 from 7.5 metres (25 ft.) to:
- 5.6 metres (18.3 ft.) to the principal building; and
 - 4.7 metres (15.4 ft.) to the electrical closet.
- (f) to reduce the minimum side yard (west) setback of the RM-30 Zone for Building 4 from 7.5 metres (25 ft.) to:
- 5.0 metres (16.4 ft.) to the principal building;
 - 4.7 metres (15.4 ft.) to the 2nd floor bay window projections;
 - 4.4 metres (14.5 ft.) to the 2nd floor bay window roof overhang; and
 - 4.1 metres (13.4 ft.) to the principal building roof overhang and electrical closet.
5. Council instruct staff to resolve the following issues prior to final adoption:
- (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
- (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
- (c) approval from the Ministry of Transportation & Infrastructure;
- (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
- (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
- (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
- (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
- (h) the applicant address the concern that the development will place additional pressure on existing park facilities to the satisfaction of the General Manager, Parks, Recreation & Culture;
- (i) registration of a Section 219 Restrictive Covenant to specifically identify the allowable tandem parking arrangement and to prohibit the conversion of the tandem parking spaces into livable space;
- (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;

- (k) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to the City's Affordable Housing Strategy, to the satisfaction of the General Manager, Planning & Development Services; and
 - (l) the applicant adequately address the impact of no indoor amenity space.
6. Council pass a resolution to amend the Cloverdale Town Centre Plan to redesignate the land from "Urban Single Family" to "Townhouses" when the project is considered for final adoption.

REFERRALS

- Engineering:** The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
- School District:** **Projected number of students from this development:**
- 6 Elementary students at George Greenaway School
3 Secondary students at Lord Tweedsmuir School
- (Appendix IV)
- The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring 2020.
- Parks, Recreation & Culture:** Parks supports the application but has some concerns with the pressure the application will place on park amenities in the area. The applicant has agreed to a contribution of \$37,500, which represents a payment of \$1,500 per dwelling unit, and Parks has accepted this amount to address these concerns.
- Ministry of Transportation & Infrastructure (MOTI):** Preliminary approval of the rezoning is granted by MOTI for 1 year.

SITE CHARACTERISTICS

Existing Land Use: Four (4) single family lots, each containing a single family dwelling and accessory structures, which are to be removed.

Adjacent Area:

Direction	Existing Use	OCP/TCP Designation	Existing Zone
North (Across 60 Avenue):	Single family dwellings.	Urban in the OCP (<i>outside of Cloverdale TCP</i>)	RF
East:	Single family dwelling.	Urban Single Family in the Cloverdale TCP	RF
South:	Cloverdale Catholic School playfields	Institutional in the Cloverdale TCP	RF and PA-2
West:	Single family dwelling.	Urban Single Family in the Cloverdale TCP	RF

DEVELOPMENT CONSIDERATIONSBackground

- The 0.4380-hectare (1.08-acre) subject site is comprised of four (4) single family residential lots at 17508, 17524, 17534 and 17544 – 60 Avenue in Cloverdale Town Centre.
- The site is designated "Urban" in the Official Community Plan (OCP), "Urban Single Family" in the Cloverdale Town Centre Plan (TCP) and is currently zoned "Single Family Residential Zone (RF)".

Current Proposal

- The applicant is proposing to redesignate the subject site from "Urban Single Family" to "Townhouses" in the Cloverdale TCP, to rezone from "Single Family Residential Zone (RF)" to "Multiple Residential 30 Zone (RM-30)", to subdivide (consolidate) from 4 to 1 lots, and a Development Permit for Form and Character, in order to allow the development of twenty-five (25) three-storey townhouse units in four (4) buildings.
- The proposed net density of 59 units per hectare (24 units per acre) and floor area ratio (FAR) of 0.90 conform to the maximum 74 units per hectare (30 units per acre) and 1.00 FAR of the RM-30 Zone and is consistent with the proposed "Townhouses" designation in the Cloverdale Town Centre Plan (TCP).
- A Development Variance Permit (DVP) is requested to reduce the minimum 7.5-metre (25-ft.) building setback requirements of the RM-30 Zone along all property lines (see By-law Variances section).

Access and Road Dedication Requirements

- The subject site will be accessed from 60 Avenue to the north. The applicant will be required to undertake the following road dedication and construction as part of the subject application:
 - Dedication of 1.942 metres (6.4 ft.) towards the ultimate 24-metre (78-ft.) road allowance of 60 Avenue;
 - Construct a 7.3-metre (24-ft.) concrete driveway letdown with curb extension to align with 175A Street to the north; and
 - Construct the south side of 60 Avenue to the Collector Road standard along the site frontage.
- In order to address concerns from the Cloverdale Community Association (CCA), the applicant has agreed to align the proposed driveway letdown with the centre-line of 175A Street to the north. New pavement marking will be added along 60 Avenue to accommodate left turn bays at the intersection of 60 Avenue and 175A Street.

Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects in the City of Surrey.
- As a condition of Final Adoption of the Rezoning By-law, the applicant will be required to register a Section 219 Restrictive Covenant against title requiring payment of a \$25,000 contribution, representing \$1,000 per townhouse unit, to the Affordable Housing Reserve Fund. Collection of the \$25,000 contribution will be part of the subsequent Building Permit application process.

Public Art Policy

- The applicant will be required to provide public art or register a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant must resolve this requirement prior to consideration of Final Adoption.

JUSTIFICATION FOR PLAN AMENDMENT

- The 0.4380-hectare (1.09-acre) site is designated "Urban Single Family" in the Cloverdale Town Centre Land Use Plan. The applicant is seeking a TCP amendment in order to redesignate the subject site from "Urban Single Family" to "Townhouses".
- The Cloverdale Town Centre Plan (TCP) was approved by Council in 2000 and is currently undergoing a staff-led review and update, which was authorized by Council on February 24, 2014 (Corporate Report No. Ro35; 2014).

- The proposed "Townhouses" designation conforms to the recommended land use designation of the subject site in the Cloverdale Town Centre Plan Update, which is currently in the public consultation and refinement stage but has not yet been granted Stage 1 or 2 approval from Council.
- The proposed TCP amendment will accommodate the proposed townhouses and is consistent with the City's objective of achieving more urban, compact, pedestrian-oriented forms of development and higher densities within Cloverdale Town Centre. The applicant has worked with staff to ensure an appropriate density transition and a desirable streetscape along 60 Avenue.
- The subject property is adjacent to the 60 Avenue east-west bike route and in close proximity to both the Hook Greenway multi-use pathway along Highway 15 (Cloverdale Bypass), as well as within walking distance of several bus stops serviced by Trans Link's Route 320 bus (Langley/Fleetwood/Surrey Central Station).
- Staff support the proposed amendment to the Cloverdale Town Centre Land Use Plan.

PRE-NOTIFICATION

Pre-notification letters were sent out to the surrounding neighbourhood on January 11, 2018, and a development proposal sign was installed on the subject site, along the 60 Avenue frontage, on January 28, 2018. To date, staff have received two (2) telephone calls and one (1) email from area residents with the following comments/concerns (*staff comments in italics*):

- Two residents requested more information on the design features of the proposed townhouse units and on the estimated timeline for Council consideration and project completion.

(Staff provided additional information to the area residents, who indicated that they were not opposed to the proposed development).

- Representatives of the Cloverdale Catholic School (17511 – 59 Avenue), to the south of the subject site, submitted a letter of support for the proposed development. The applicant has amended the proposed Landscape Plans to include a 1.8-metre (6-ft.) high fence and additional landscape screening along the south property line to provide appropriate buffering.
- The Cloverdale Community Association (CCA) has been engaged throughout the Pre-Council review phase and indicated that they are supportive of the current proposed layout (Appendix VII).

DESIGN PROPOSAL AND REVIEW

Building Design, Access and Circulation

- The applicant proposes to construct a 25-unit, 3-storey townhouse development consisting of four (4) building containing between five (5) to eight (8) units each. One (1) drive aisle connection is proposed along 60 Avenue.

- The townhouse units range in size from 137 to 158 square metres (1,480 to 1,700 sq.ft.), exclusive of the attached garage, and are comprised entirely of three-bedroom units.
- Buildings 1, 2, and 4, containing 17 of the 25 townhouse units, will contain an attached side-by-side garage and a flex room on the ground floor with a living room, dining room and kitchen on the second floor, and bedrooms on the third floor.
- Building 3 will contain one attached interior and one exterior tandem parking space at grade. The kitchen, living room and dining rooms of each of these units is located on the second floor, with bedrooms on the third floor.
- The townhouse design incorporates peaked roofs, dormers, bay windows and gables.
- The proposed major exterior finishes on the townhouses consist of brick, cedar-style hardi-plank shingles, hardi-siding, hardi-panels and wooden trim, painted in alternating shades of light to dark grey.
- The proposed unit entry doors will be painted black and the garage doors will be painted light grey.
- Each unit will have a small balcony off the second floor and private front yard space.

Parking

- The proposed development includes a total of 55 parking spaces for the 25 units, consisting of 50 resident parking spaces and 5 spaces for visitors, which complies with the Zoning By-law. Visitor parking spaces are clustered around the entrance driveway and outdoor amenity space near the middle of the subject site.
- Resident parking spaces will be provided in a fully enclosed side-by-side double car garage for 68% of the units and a partially enclosed tandem garage (one in and one out) for 32% of the units.
- To ensure that the tandem garage parking spaces are not converted into livable space, the applicant is required to register a Section 219 Restrictive Covenant as a condition of Final Adoption of the Rezoning By-law.

Indoor Amenity Space

- The applicant is proposing to provide no indoor amenity space, given both the scale of the proposed development and the location of the site within the Cloverdale Town Centre. Based on the standard Zoning By-law requirements of 3.0 square metres (32 sq.ft.) per dwelling unit for indoor amenity space, the proposed development requires 75 square metres (800 sq.ft.) of indoor amenity space.
- The applicant has agreed to address the shortfall in indoor amenity space (25 units or 75 square metres / 800 sq.ft.) with a cash-in-lieu contribution of \$30,000 (based on \$1,200 per 3.0 square metres / 32 sq.ft. of shortfall) in accordance with Council policy.

Landscaping and Outdoor Amenity Space

- Landscaping consisting of coniferous and deciduous trees such as Sweet Gum, Fraser Fir, Japanese Maple, Katsura, Elizabeth Magnolia, Persian Ironwood, Serbian Spruce and Western Red Cedars, interspersed with shrubs such as Blush-violet Azalea, Japanese Andromeda, Portuguese Laurel, Rhododendron and a variety of grasses and perennials will be planted throughout the development.
- The outdoor amenity area is proposed to be located in the south-central portion of the subject site. This area includes an active play area for children, landscaped seating areas, raised community garden beds, and passive outdoor space within the Tree Protection Zones (TPZs) of two (2) retained Weeping Willow trees.
- Based on the standard Zoning By-law requirements of 3.0 square metres (32 sq.ft.) per dwelling unit for outdoor amenity space, the proposed development requires 75 square metres (800 sq.ft.) of outdoor amenity space. The proposed 238 square metres (2,562 sq.ft) of outdoor amenity space, consisting of 166 square metres (1,765 sq.ft.) outside of the required building setback and 72 square metres (775 sq.ft.) within the required building setback, equates to approximately 9.5 square metres (102 sq.ft.) per dwelling unit thereby exceeding the Zoning By-law requirement.

ADVISORY DESIGN PANEL

The application was not referred to the ADP for review. The design and landscaping plans were reviewed by staff and found to be generally acceptable.

TREES

- Corey Plester ISA Certified Arborist of Mike Fadum & Associates prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder	1	1	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Beaked Hazel	1	1	0
Bigleaf Maple	1	1	0
Cherry	1	1	0
Horse Chestnut	2	2	0
Magnolia	2	2	0
Pear	2	2	0
Weeping Willow	3	1	2
Coniferous Trees			
Deodar Cedar	1	1	0
Douglas-fir	2	2	0

Tree Species	Existing	Remove	Retain
Giant Redwood	1	1	0
Norway Spruce	3	3	0
Scots Pine	2	2	0
Shore Pine	2	2	0
Western Red Cedar	7	7	0
Total (excluding Alder and Cottonwood Trees)	30	28	2
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		60	
Total Retained and Replacement Trees		62	
Contribution to the Green City Fund		N/A	

- The Arborist Assessment states that there is a total of 31 protected trees on the site, including one (1) Red Alder representing 3% of the total on-site trees. It was determined that two (2) trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- The Tree Protection Zone (TPZ) of two (2) Western Red Cedar trees on an adjacent property to the west (17508 – 60 Avenue) and one (1) Cherry tree on an adjacent property to the east (17554 – 60 Avenue) extend onto the subject site. While no buildings, structures or hardscape elements are allowed within the identified TPZ of the off-site trees, planting of #1 pot plants under Arborist supervision will be permitted.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for the Alder tree, and a 2 to 1 replacement ratio for all other trees. This will require a total of 57 replacement trees on the site. The applicant is proposing 60 replacement trees, which exceeds the requirements of the City's Tree Protection By-law.
- In addition to the replacement trees, boulevard street trees will be planted on 60 Avenue. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of species including Fraser Fir, Japanese Maple, Katsura, Magnolia, Persian Ironwood, Serbian Spruce and Western Red Cedars.
- In summary, a total of 62 trees are proposed to be retained or replaced on the site with no contribution to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on April 4, 2019. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> The subject site is located within the Cloverdale Town Centre Plan (TCP) Area.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> The proposed density is 59 units per hectare (24 units per acre) with a FAR of 0.87, consisting of three-bedroom townhouses with both individual and shared outdoor amenity space.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> Sixty (60) replacement trees will be planted in addition to a variety of shrubs, grasses, perennials and ground cover. The development incorporates Low Impact Development Standards, such as absorbent soils.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> The subject site is adjacent to the east-west 60 Avenue bike lanes, and within biking distance of the Hook Greenway. The site is also within walking distance of several bus stops.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> Reduced setbacks, unit orientation and site lighting will encourage "eyes on the street".
6. Green Certification (F1)	<ul style="list-style-type: none"> No green rating or certification is proposed.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> A Development Proposal Sign was installed on the subject site, along the 60 Avenue frontage, and Pre-notification Letters were mailed to area residents within 100 metres (330 ft.) of the site as part of the Pre-Council process.

BY-LAW VARIANCES AND JUSTIFICATION**(a) Requested Variances:**

- To reduce the minimum north front yard setback of the RM-30 Zone for Building 1 and Building 4 from 7.5 metres (25 ft.) to:
 - 4.5 metres (14.7 ft.) to the principal building;
 - 3.6 metres (12 ft.) to the roof overhang; and
 - 3.3 metres (10.8 ft.) to the porch columns and 3.1 metres (10.2 ft.) to the porch overhang.

- To reduce the minimum east side yard setback of the RM-30 Zone from 7.5 metres (25 ft.) to:
 - 3.0 metres (9.8 ft.) to the principal building;
 - 2.7 metres (8.8 ft.) to the 2nd floor bay window projection;
 - 2.4 metres (8 ft.) to the 2nd floor bay window roof overhang;
 - 2.1 metres (6.8 ft.) to the principal building roof overhang; and
 - 2.1 metres (6.8 ft.) to the electrical closet.

- To reduce the minimum south rear yard setback of the RM-30 Zone for Building 2 from 7.5 metres (25 ft.) to:
 - 6.0 metres (20 ft.) to the principal building;
 - 5.2 metres (17 ft.) to the roof overhang; and
 - 5.0 metres (16.4 ft.) to the porch columns and 4.7 metres (15.4 ft.) to the porch overhang.

- To reduce the minimum south rear yard setback of the RM-30 Zone for Building 3 from 7.5 metres (25 ft.) to:
 - 6.0 metres (20 ft.) for the ground floor and 5.2 metres (17 ft.) for the upper floors of the principal building;
 - 4.4 metres (14.5 ft.) to the roof overhang; and
 - 4.9 metres (16 ft.) to the porch column and 4.4 metres (14.4 ft.) to the porch overhang.

- To reduce the minimum west side yard setback of the RM-30 Zone for Building 3 from 7.5 metres (25 ft.) to:
 - 5.6 metres (18.3 ft.) to the principal building; and
 - 4.7 metres (15.4 ft.) to the electrical closet.

- To reduce the minimum west side yard setback of the RM-30 Zone for Building 4 from 7.5 metres (25 ft.) to:
 - 5.0 metres (16.4 ft.) to the principal building;
 - 4.7 metres (15.4 ft.) to the 2nd floor bay window projections;
 - 4.4 metres (14.5 ft.) to the 2nd floor bay window roof overhang; and
 - 4.1 metres (13.4 ft.) to the principal building roof overhang and electrical closet.

Applicant's Reasons:

- The proposed setback relaxations improve the layout of the proposed townhouse development.

- The reduced setbacks along street frontages provide a more urban streetscape by improving unit identification and emphasizing, through the articulation of the principal building and porch projections, the entry for individual units.

Staff Comments:

- The RM-30 Zone requires that buildings and structures be sited a minimum of 7.5 metres (25 ft.) from all property lines. The applicant is proposing reduced setbacks along all property lines.

-
- In accordance with the definition of setback in the Surrey Zoning By-law, eaves, chimneys, hatches, balconies, decks and bay or boxed windows with a maximum width of 2.4 metres (8 ft.) may encroach into the building setback to a maximum of 0.6 metres (2 ft.). As the proposed townhouse incorporates oversized bay window and roof projections as part of the architectural character of the development variances are required for these features.
 - The reduced setbacks for the front yards of the proposed townhouse units fronting 60 Avenue will create an appropriate urban, pedestrian-friendly streetscape.
 - The reduced east and west setbacks are side yard conditions and accommodate retention of off-site trees and an appropriate transition with future, adjacent townhouse development, while the reduced rear yard setback from the south property line, which is shared with the playfields of the Cloverdale Catholic School, accommodates functional private yard space, a walkway and 1.5 metres (5 ft.) of landscape screening.
 - The reduced setbacks are in keeping with recently approved townhouse projects in the Cloverdale Town Centre area.
 - Staff support the requested variances.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	Proposed Town Centre Plan Amendment Plan
Appendix VII.	Letter from Cloverdale Community Association (CCA)
Appendix VIII.	Neighbourhood Context Photo (COSMOS, April 2018 Aerial)
Appendix IX.	Development Variance Permit No. 7918-0341-00

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Doug Johnson Architect Ltd. and M2 Landscape Architecture, respectively, dated May 14, 2019 and

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

CRL/cm

DEVELOPMENT DATA SHEET

Proposed Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		4,379 sq.m.
Road Widening area		195 sq.m.
Undevelopable area		
Net Total		4,183 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	32%
Paved & Hard Surfaced Areas		18%
Total Site Coverage		50%
SETBACKS (in metres)		
Front (N)	7.5 m.	4.5 m.*
Rear (S)	7.5 m.	5.2 m.*
Side #1 (E)	7.5 m.	3.0 m.*
Side #2 (W)	7.5 m.	5.0 m.*
BUILDING HEIGHT (in metres/storeys)		
Principal	13 m.	12.1 m.
Amenity	11 m.	-
Accessory	4.5 m.	-
NUMBER OF RESIDENTIAL UNITS		
Bachelor		-
One Bed		-
Two Bedroom		-
Three Bedroom +		25
Total		25
FLOOR AREA: Residential	4,183 sq.m.	3,789 sq.m.
FLOOR AREA: Commercial		
Retail		-
Office		-
Total		-
FLOOR AREA: Industrial		-
FLOOR AREA: Institutional		-
TOTAL BUILDING FLOOR AREA	4,183 sq.m.	3,789 sq.m.

* variance requested (setbacks to principal building shown)

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)	75 uph (30 upa)	57 uph (23 upa)
# of units/ha /# units/acre (net)	75 uph (30 upa)	59 uph (24 upa)
FAR (gross)	1.00	0.86
FAR (net)	1.00	0.90
AMENITY SPACE (area in square metres)		
Indoor	75 sq.m.	238 sq.m.
Outdoor	75 sq.m.	0 sq.m.
PARKING (number of stalls)		
Commercial	-	-
Industrial	-	-
Residential Bachelor + 1 Bedroom		-
2-Bed		-
3-Bed	2 x 25 = 50	50
Residential Visitors	0.2 x 25 = 5	5
Institutional	-	
Total Number of Parking Spaces	55	55
Number of accessible stalls		
Number of small cars	-	-
Tandem Parking Spaces: Number / % of Total Number of Units	50%	32%
Size of Tandem Parking Spaces width/length	3.20 m. x 6.0 m.	3.20 m. x 6.0 m.

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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MULTIPLE BUILDINGS DATA SHEET

Proposed Zoning: RM-30

Required Development Data	Building #1	Building #2	Building #3	Building #4
SETBACK (in metres)				
Front (N)	4.5 m. (principal); 3.6 m. (principal roof overhang); 3.3 m. (porch column) and 3.1 m. (porch overhang)	-	-	4.5 m. (principal); 3.6 m. (principal roof overhang); 3.3 m. (porch column) and 3.1 m. (porch overhang)
Rear (S)	-	6.0 m. (principal); 5.2 m. (principal roof overhang); 5.0 (porch column) and 4.7 m. (porch overhang)	6.0 m (principal ground floor); 5.2 m. (principal – upper floors); 4.4 m. (principal roof overhang); 4.9 m. (porch column) and 4.4 m. (porch overhang)	-
Side #1 (E)	3.0 m. (principal); 2.7 m to 2.4 m. (2 nd floor bay window and overhang); 2.1 m. (principal roof overhang and electrical closet)	3.0 m. (principal); 2.7 m to 2.4 m. (2 nd floor bay window and overhang); 2.1 m. (principal roof overhang and electrical closet)	-	-
Side #2 (W)	-	-	5.6 m. (principal); 4.7 m. (electrical closet).	5.0 m. (principal); 4.7 m. to 4.4 m. (2 nd floor bay window and overhang); 4.1 m. (principal roof overhang and electrical closet)
BUILDING HEIGHT (in metres/storeys)	12.1 m.	12.1 m.	12.1 m.	12.1 m.
NUMBER OF RESIDENTIAL UNITS/				
SIZE RANGE				
Bachelor	-	-	-	-
One Bedroom	-	-	-	-
Two Bedroom	-	-	-	-
Three Bedroom +	5/(157.5 sq.m.)	5/(149 sq.m.)	8/(121.5 sq.m.)	7/(157 sq.m.,)
TOTAL FLOOR AREA				
	787.5 sq.m.	745 sq.m.	972 sq.m.	1099 sq.m.

17524 - TOWNHOUSES

17524-60 AVENUE, SURREY, BRITISH COLUMBIA



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MARK	DATE	DESCRIPTION
1	26 APR 2018	BASED FOR PRELIMINARY DESIGN
2	26 APR 2018	BASED FOR DP SUBMISSION
3	26 APR 2018	BASED FOR DP REVISIONS

PROJECT:
17524 - TOWNHOUSES
 17524-60 AVE, SURREY,
 BRITISH COLUMBIA

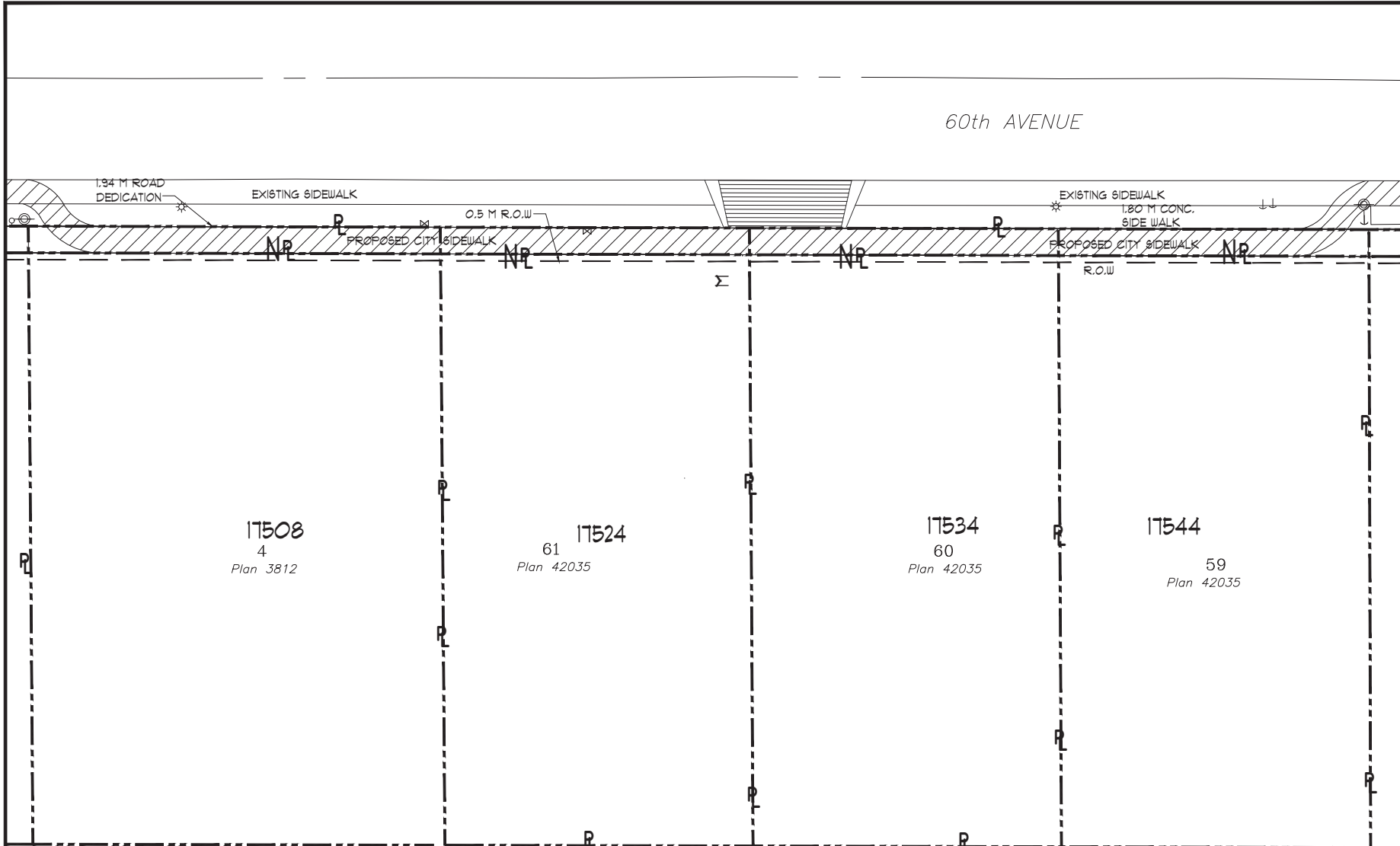
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 3D VIEW

OWNER:

DOUGLAS R. JOHNSON ARCHITECT LTD.
 #314-801 WEST 3RD ST.
 NORTH VANCOUVER, BC V7P 3P9
 PH: 604-298-3381
 FAX: 604-298-0211
 dr@jrarchitect.ca

SCALE:	PROJECT NO.:
DATE: 26 APR 2018	---
DRAWN: -	SHEET: -
REVISIONS: 3	DP-A-0.00

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60th AVENUE

1.94 M ROAD DEDICATION

EXISTING SIDEWALK

0.5 M R.O.W.

EXISTING SIDEWALK
1.80 M CONC. SIDE WALK

PROPOSED CITY SIDEWALK

PROPOSED CITY SIDEWALK

R.O.W.

17508
4
Plan 3812

17524
61
Plan 42035

17534
60
Plan 42035

17544
59
Plan 42035

72'-7 3/4" [22.15M]

73'-9 1/2" [22.49M]

1 SITE PLAN
DP-2.10 SCALE = 3/32" = 1'-0"



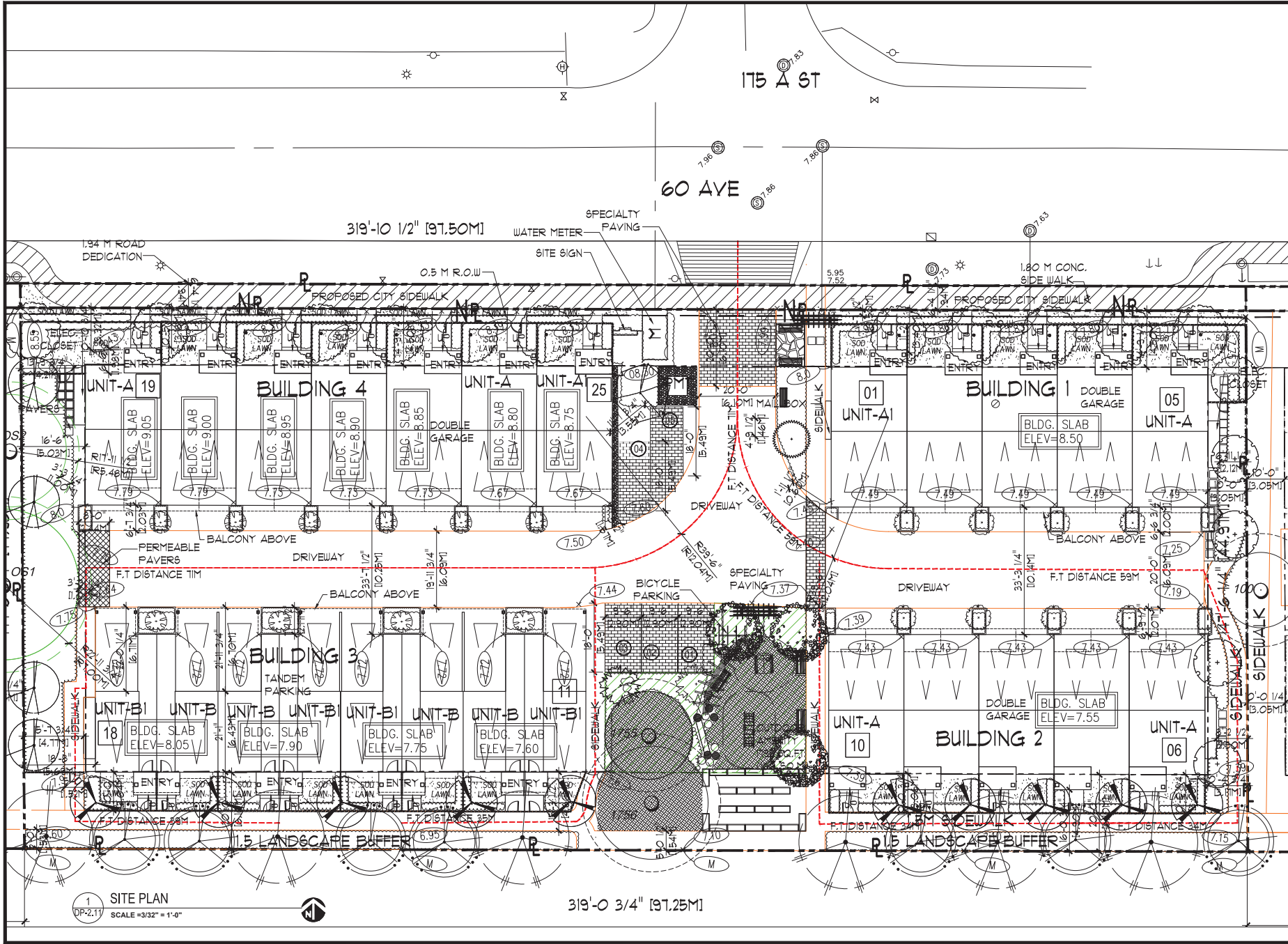
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2	01 SEP 2018	ISSUED FOR DP SUBMISSION

PROJECT:
17524 TOWNHOUSE
17524 60 AVE, SURREY, B.C.

SHEET DESCRIPTION
BASE PLAN

OWNER
DOUGLAS R. JOHNSON ARCHITECT LTD.
#374-901 WEST 3RD AVE.
NORTH VANCOUVER, BC V7P 3P9
PH. (604)998-3381
FAX. (604)998-0217
drjarch@shaw.ca

SCALE: 1/8"=1'-0" PROJECT NO.:
DATE: 03-23-2018
DRAWN: SHEET:
REVISIONS: DP-A-2.10



1 SITE PLAN
 DP-2.11 SCALE = 3/32" = 1'-0"

319'-0 3/4" [97.25M]

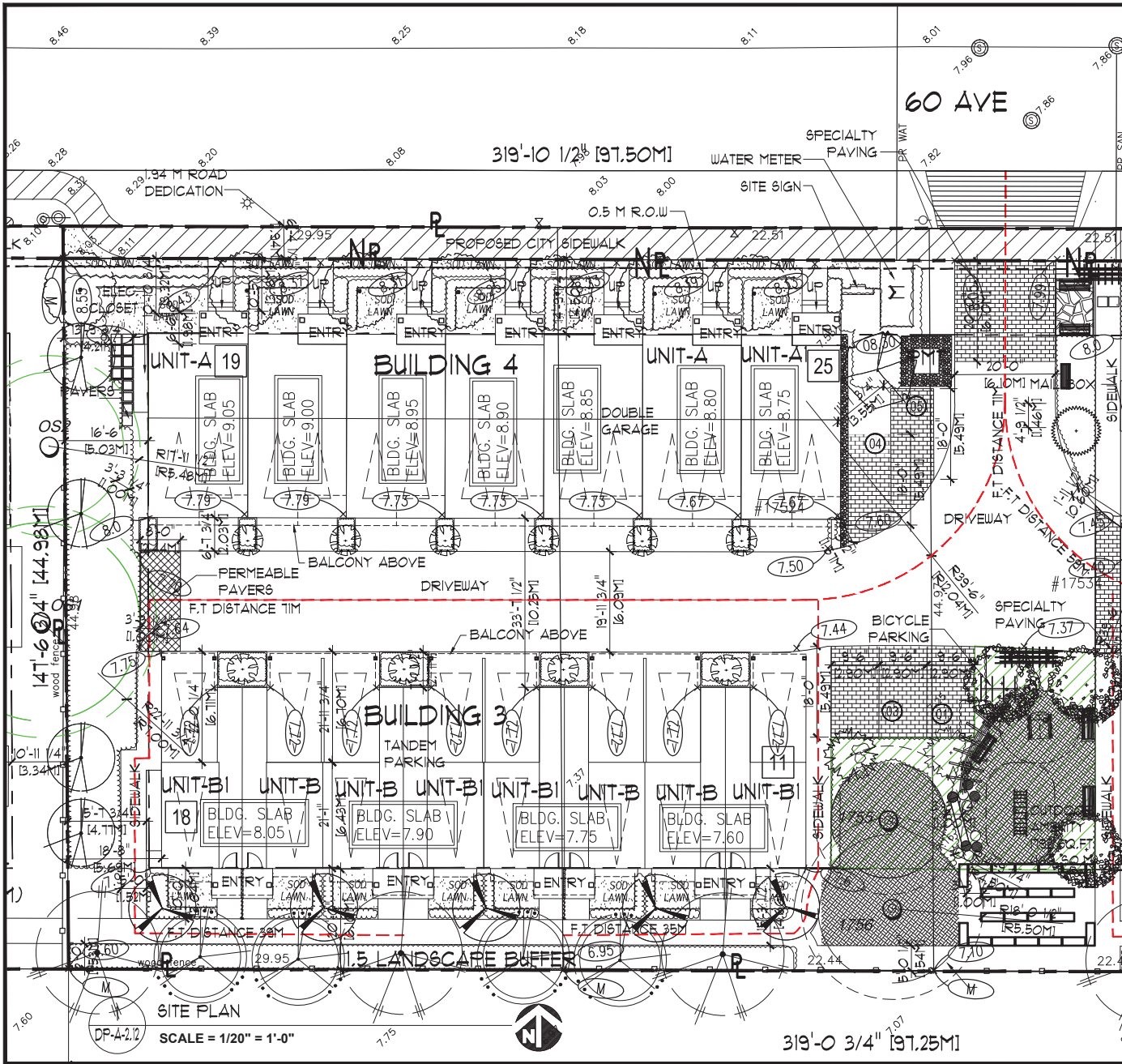
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3	17 APR 2018	ISSUED FOR PERMITS

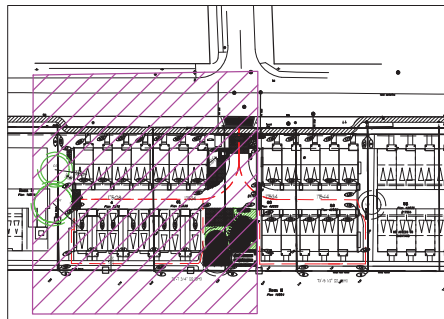
PROJECT: 17524 TOWNHOUSE
 17524 60 AVE, SURREY, BC
 SHEET DESCRIPTION: SITE PLAN

OWNER: DOUGLAS R. JOHNSON ARCHITECT LTD.
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 NORTH VANCOUVER, BC V7P 3P9
 PH: (604)998-3381
 FAX: (604)998-0217
 drjarch@shaw.ca

SCALE:	PROJECT NO:
1/8"=1'-0"	---
DATE:	SHEET:
03-23-2018	---
REVISIONS:	DP-A-2.11



KEY PLAN



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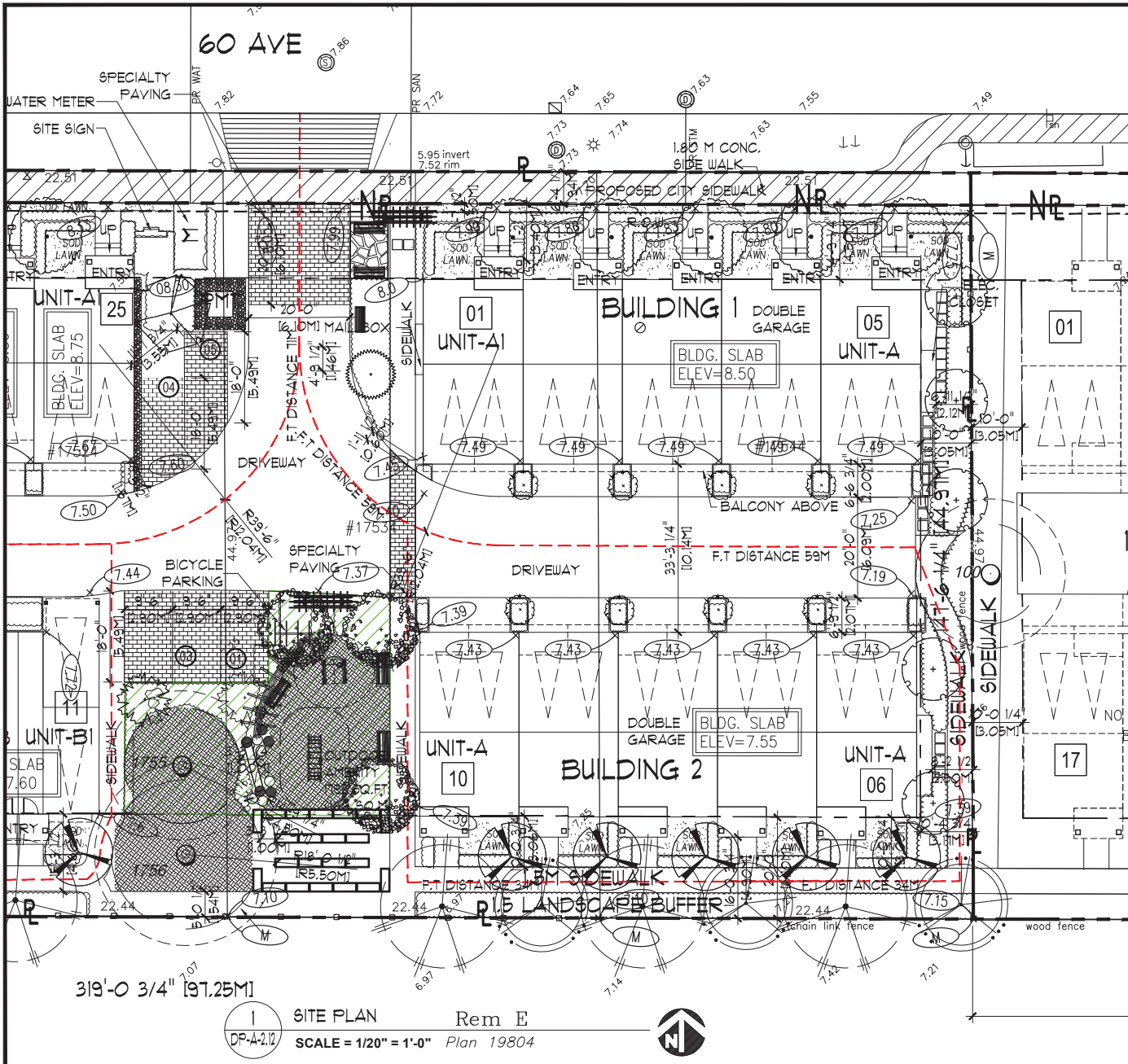
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1	26 APR 2018	ISSUED FOR PRELIMINARY DESIGN
2	17 APR 2018	ISSUED FOR PERMIT REVIEW
3	17 APR 2018	ISSUED FOR DP REVISION

PROJECT: 17524 TOWNHOUSE
 17524-60 AVE, SURREY, BC
 SHEET DESCRIPTION: SITE PLAN

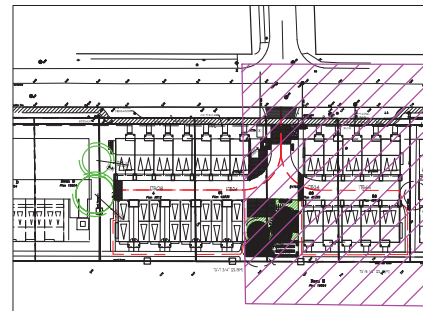
OWNER:

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 drjarch@shaw.ca

SCALE: 1/32" = 1'-0"	PROJECT NO: -----
DATE: 26 APR 2018	SHEET: -----
DRAWN: PR, LN	REVISIONS: 1
DP-A-2.12	



KEY PLAN



1 SITE PLAN Rem E
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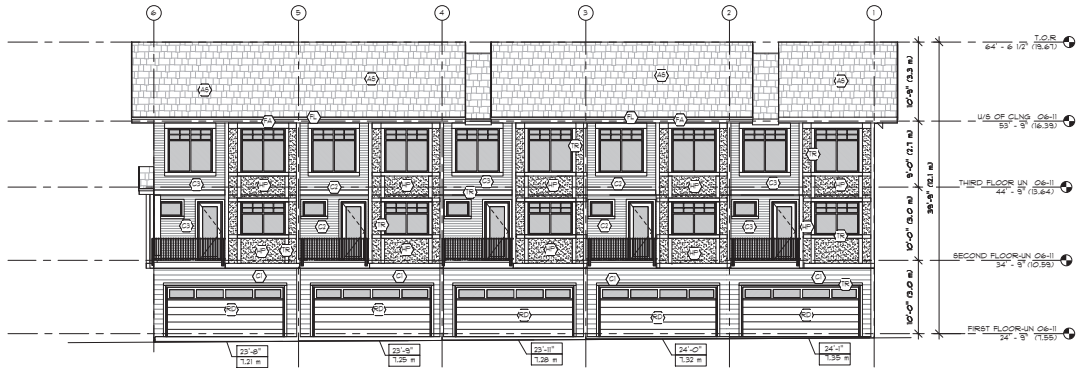
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MARK	DATE	DESCRIPTION
1	26 APR 2018	ISSUED FOR PRELIMINARY DESIGN
2	17 APR 2018	ISSUED FOR PERMIT REVIEW
3	17 APR 2018	ISSUED FOR DP REVIEW

PROJECT: 17524 TOWNHOUSE
 17524-60 AVE, SURREY, BC
 SHEET DESCRIPTION: SITE PLAN

OWNER:
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 NORTH VANCOUVER, BC V7P 3P9
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 drjarch@show.ca

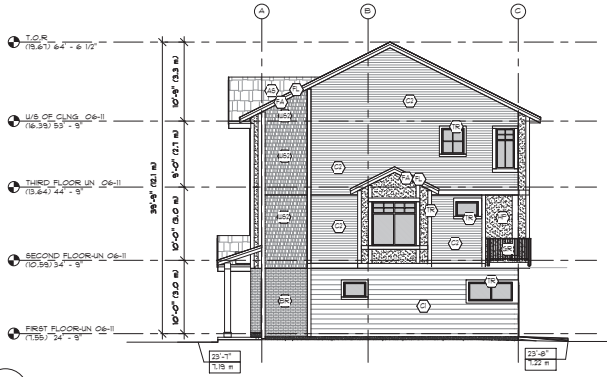
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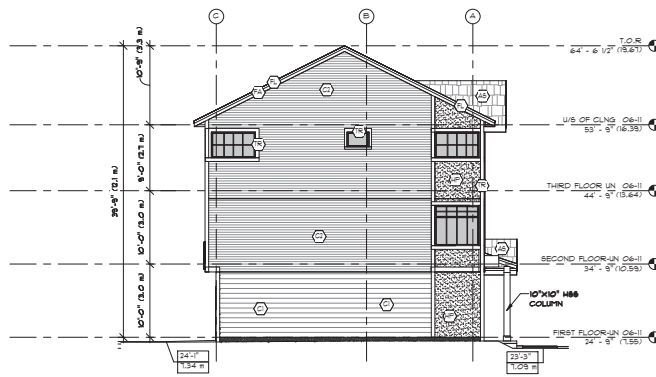
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2 NORTH ELEVATION
 DP-A-5.21 1/8" = 1'-0"



3 EAST ELEVATION
 DP-A-5.21 1/8" = 1'-0"



4 WEST ELEVATION
 DP-A-5.21 1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
(FL) FLASHING	BLACK	
(GR) GUARD/RAILING	WHITE	
(TG) TRIM/FASCIA/GUTTER	DARK GREY	
(H1) 8" HARDI SIDING	DARK GREY	
(H2) 4" HARDI SIDING	MEDIUM GREY	
(H3) 4" HARDI SIDING	DARK GREYISH BLUE/HALE NAVY)	
(WS1) WALL SHINGLES	MEDIUM GREY	
(WS2) WALL SHINGLES	DARK GREYISH BLUE/HALE NAVY)	
(HP) HARDI PANEL	WHITE	
WINDOWS & DOORS	BLACK	
(RD) ROLL-UP DOOR	LIGHT GREY	
(BW) BRICK WALL	DARK BROWN	
(AS) ASPHALT SHINGLES	MEDIUM GREY	

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DATE	REVISION
26 APR 2018	ISSUED FOR PRELIMINARY DESIGN
12 APR 2018	ISSUED FOR PERMIT
12 APR 2018	ISSUED FOR PERMIT

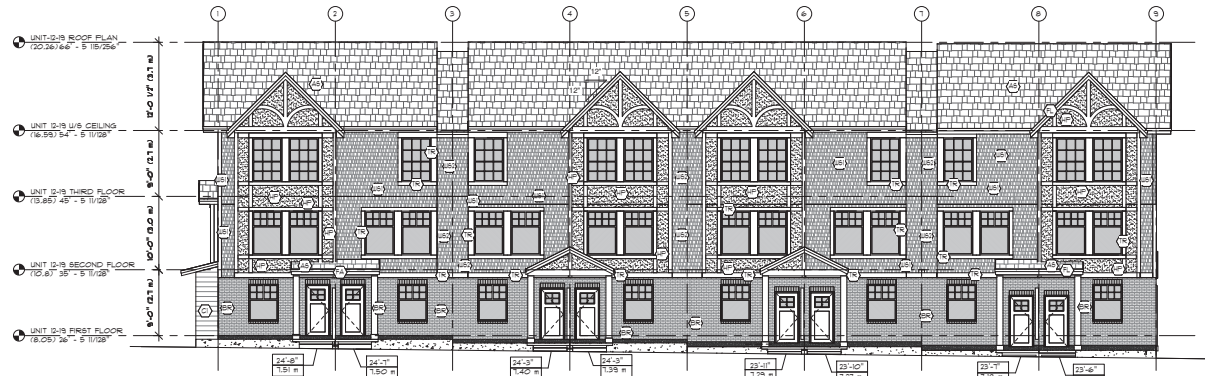
PROJECT
17524 - TOWN HOUSES
 17524-40 AVE., SURREY, BRITISH COLUMBIA
 SHEET DESCRIPTION
BUILDING-2 UNIT A- EXT. ELEVATIONS

OWNER

DOUGLAS R. JOHNSON
ARCHITECT LTD.
 #374-901 WEST 3RD ST.,
 NORTH VANCOUVER, BC V7P 3P9
 Ph: (604) 938-3381
 Fax: (604) 938-0217

SCALE	PROJECT NO.
As Indicated	
DATE 26 APR 2018	SHEET
DRAWN	SHEET
REVISIONS	DP-A-5.21

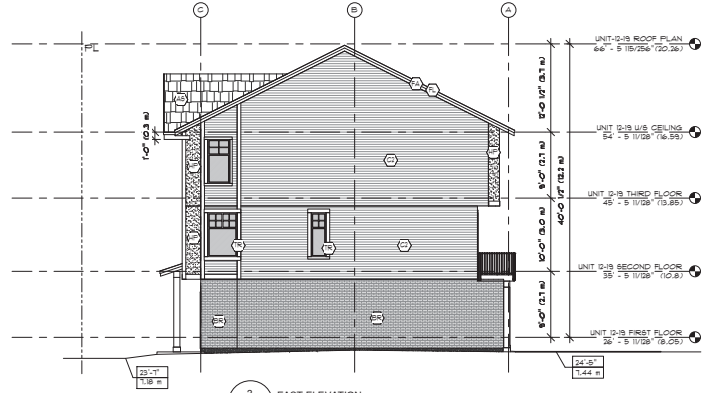
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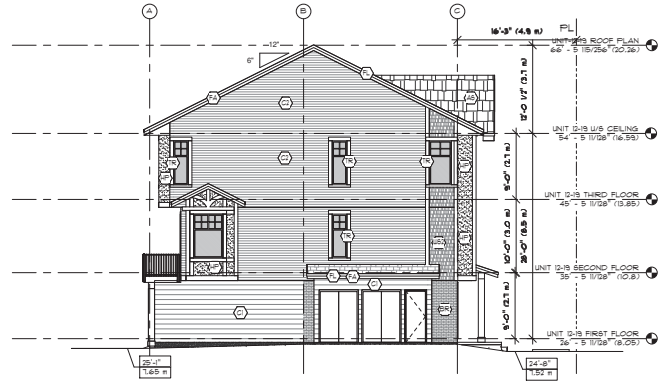
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2 NORTH ELEVATION
DP-5.31 1/8" = 1'-0"



3 EAST ELEVATION
DP-5.31 1/8" = 1'-0"



4 WEST ELEVATION
DP-5.31 1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
FL FLASHING	BLACK	
GR GUARD/RAILING	WHITE	
TR/FA TRIM/FASCIA/GUTTER	DARK GREY	
CD 8" HARDI SIDING	DARK GREY	
CS 4" HARDI SIDING	MEDIUM GREY	
CC 4" HARDI SIDING	DARK GREYISH BLUE (HALE NAVY)	
WS WALL SHINGLES	MEDIUM GREY	
WS WALL SHINGLES	DARK GREYISH BLUE (HALE NAVY)	
HP HARDI PANEL	WHITE	
WD WINDOWS & DOORS	BLACK	
RD ROLL-UP DOOR	LIGHT GREY	
BR BRICK WALL	DARK BROWN	
AS ASPHALT SHINGLES	MEDIUM GREY	

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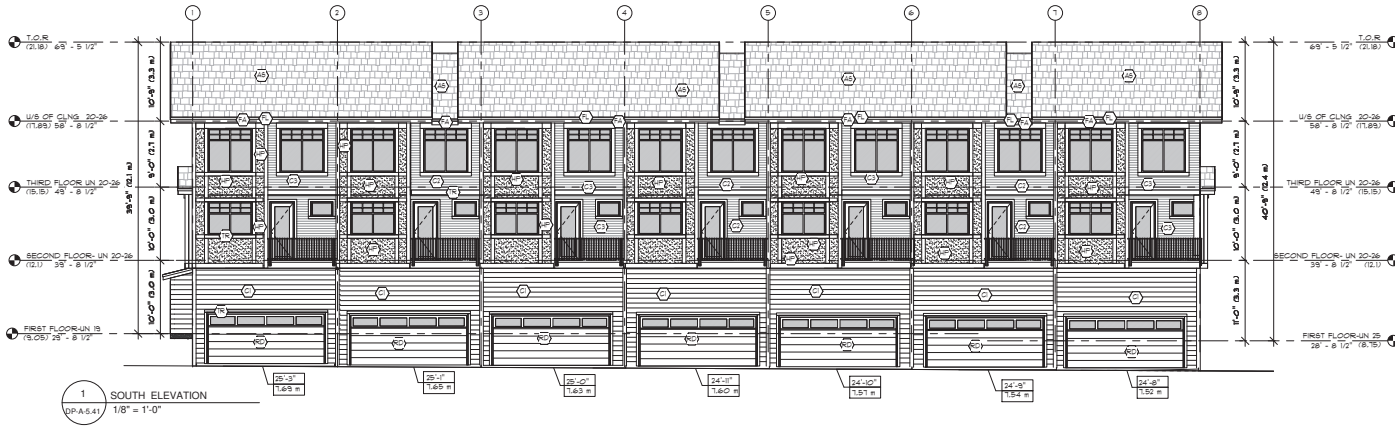
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DATE	REVISION
26 APR 2018	ISSUED FOR PRELIMINARY PERMIT
12 APR 2018	ISSUED FOR PERMIT
12 APR 2018	ISSUED FOR PERMIT

PROJECT: 17524 - TOWN HOUSES
17524-AVE, SURREY, BRITISH COLUMBIA
SHEET DESCRIPTION: BUILDING-3-UNIT B ELEVATIONS
OWNER: DOUGLAS R. JOHNSON ARCHITECT LTD.
#374-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9
PH: (604) 398-3381
FAX: (604) 398-0217

SCALE: As indicated
DATE: 26 APR 2018
DRAWN: PROJECT NO:
SHEET: DP-5.31

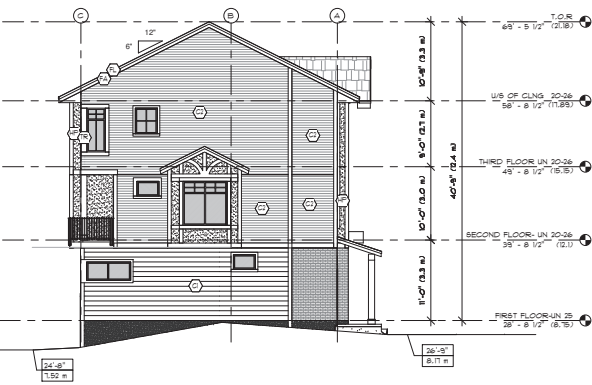
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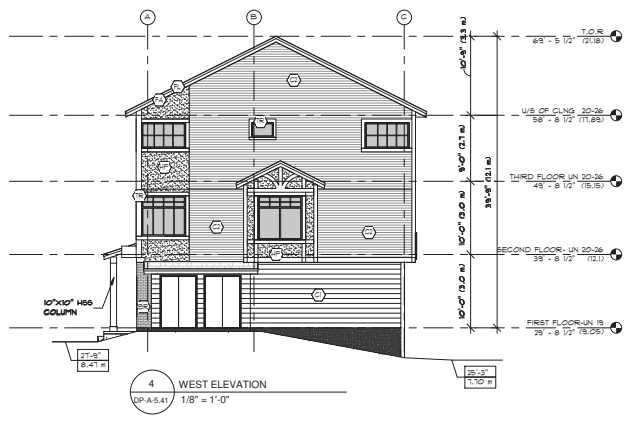
1 SOUTH ELEVATION
DP-A-5.41 1/8" = 1'-0"



2 NORTH ELEVATION (60 AVE)
DP-A-5.41 1/8" = 1'-0"



3 EAST ELEVATION
DP-A-5.41 1/8" = 1'-0"



4 WEST ELEVATION
DP-A-5.41 1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR
FL (1) FLASHING	BLACK
GR (2) GUARD/RAILING	WHITE
TR (3) TRIM/FASCIA/GUTTER	DARK GREY
6" (4) 6" HARDI SIDING	DARK GREY
4" (5) 4" HARDI SIDING	MEDIUM GREY
4" (6) 4" HARDI SIDING	DARK GREYISH BLUE/HALE NAVY
WS (7) WALL SHINGLES	MEDIUM GREY
WS (8) WALL SHINGLES	DARK GREYISH BLUE/HALE NAVY
HP (9) HARDI PANEL	WHITE
WD (10) WINDOWS & DOORS	BLACK
RD (11) ROLL-UP DOOR	LIGHT GREY
BR (12) BRICK WALL	DARK BROWN
AS (13) ASPHALT SHINGLES	MEDIUM GREY

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NO.	REVISION
1	ISSUED FOR PRELIMINARY DESIGN
2	ISSUED FOR PERMITTING
3	ISSUED FOR RECORD

PROJECT: 17524 - TOWN HOUSES
17524-40 AVE., SURREY, BRITISH COLUMBIA

SHEET DESCRIPTION: BUILDING-4 UNIT A- EXT. ELEVATIONS

OWNER: DOUGLAS R. JOHNSON ARCHITECT LTD.
#374-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9
Ph: (604) 938-3381
Fax: (604) 938-0217

SCALE: As indicated

DATE: 26 APR 2018

DRAWN: PROJECT BY: SHEET: DP-A-5.41

REVISION: 3



1 COLOURED SOUTH ELEVATION
 DP-A-6.11 1/8" = 1'-0"



2 COLOURED NORTH ELEVATION (60 AVE)
 DP-A-6.11 1/8" = 1'-0"



3 COLOURED EAST ELEVATION
 DP-A-6.11 1/8" = 1'-0"



4 COLOURED WEST ELEVATION
 DP-A-6.11 1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
EL FLASHING	BLACK	
GM GUARD/RAILING	WHITE	
TRIM/FASCIA/GUTTER	DARK GREY	
8" HARDI SIDING	DARK GREY	
4" HARDI SIDING	MEDIUM GREY	
4" HARDI SIDING	DARK GREYISH BLUE/ HALE NAVY)	
WALL SHINGLES	MEDIUM GREY	
WALL SHINGLES	DARK GREYISH BLUE/ HALE NAVY)	
HARDI PANEL	WHITE	
WINDOWS & DOORS	BLACK	
ROLL-UP DOOR	LIGHT GREY	
BRICK WALL	DARK BROWN	
ASPHALT SHINGLES	MEDIUM GREY	

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NO.	DATE	DESCRIPTION
1	26 APR 2018	ISSUED FOR PRELIMINARY PERMIT
2	26 APR 2018	ISSUED FOR PERMITS
3		

PROJECT
17524 - TOWN HOUSES
 17524-60 AVE., SURREY, BRITISH COLUMBIA
 SHEET DESCRIPTION
BUILDING-1 UNIT A- COLOURED ELEVATIONS

OWNER
DOUGLAS R. JOHNSON ARCHITECT LTD.
 #574-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9
 PH: (604) 998-3381
 FAX: (604) 998-0217

SCALE	PROJECT NO.
As Indicated	
DATE	
26 APR 2018	
DRAWN	SHEET
REVISION	DP-A-6.11
3	



1 COLOURED SOUTH ELEVATION



2 COLOURED NORTH ELEVATION



3 COLOURED EAST ELEVATION



4 COLOURED WEST ELEVATION

MATERIAL LEGEND :

MATERIAL	COLOR	
FL FLASHING	BLACK	
GR GUARD/RAILING	WHITE	
TRIM/FASCIA/GUTTER	DARK GREY	
8" HARDI SIDING	DARK GREY	
4" HARDI SIDING	MEDIUM GREY	
4" HARDI SIDING	DARK GREYISH BLUE(HALE NAVY)	
WALL SHINGLES	MEDIUM GREY	
WALL SHINGLES	DARK GREYISH BLUE(HALE NAVY)	
HARDI PANEL	WHITE	
WINDOWS & DOORS	BLACK	
ROLL-UP DOOR	LIGHT GREY	
BRICK WALL	DARK BROWN	
ASPHALT SHINGLES	MEDIUM GREY	

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NO.	DATE	DESCRIPTION
1	26 APR 2018	ISSUED FOR PRELIMINARY DESIGN
2	12 APR 2018	ISSUED FOR PERMIT
3		ISSUED FOR PERMITS

PROJECT:
17524 - TOWN HOUSES
 17524 AVE., SURREY, BRITISH COLUMBIA
 SHEET DESCRIPTION:
BUILDING-2 UNIT A- COLOURED ELEVATIONS

OWNER:
DOUGLAS R. JOHNSON ARCHITECT LTD.
 #574-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9
 PH: (604) 998-3381
 FAX: (604) 998-0217

SCALE:	PROJECT NO.:
As Indicated	
DATE: 26 APR 2018	
DRAWN:	SHEET:
REVISION:	DF-A-6.21



1 COLOURED SOUTH ELEVATION
DP-6.31 1/8" = 1'-0"



2 COLOURED NORTH ELEVATION
DP-6.31 1/8" = 1'-0"



4 COLOURED WEST ELEVATION
DP-6.31 1/8" = 1'-0"



3 COLOURED EAST ELEVATION
DP-6.31 1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
(A) FLASHING	BLACK	
(B) GUARD/RAILING	WHITE	
(C) TRIM/FASCIA/GUTTER	DARK GREY	
(D) 8" HARDI SIDING	DARK GREY	
(E) 4" HARDI SIDING	MEDIUM GREY	
(F) 4" HARDI SIDING	DARK GREYISH BLUE/HALE NAVY)	
(G) WALL SHINGLES	MEDIUM GREY	
(H) WALL SHINGLES	DARK GREYISH BLUE/HALE NAVY)	
(I) HARDI PANEL	WHITE	
WINDOWS & DOORS	BLACK	
(J) ROLL-UP DOOR	LIGHT GREY	
(K) BRICK WALL	DARK BROWN	
(L) ASPHALT SHINGLES	MEDIUM GREY	

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NO.	DATE	DESCRIPTION
1	20 APR 2018	ISSUED FOR PRELIMINARY PERMITS
2	20 APR 2018	ISSUED FOR PERMITS
3	20 APR 2018	ISSUED FOR PERMITS

PROJECT
17524 - TOWN HOUSES
17524-49 AVE., SURREY, BRITISH COLUMBIA

SHEET DESCRIPTION
BUILDING-3-UNIT B COLOURED ELEVATIONS

OWNER

DOUGLAS R. JOHNSON ARCHITECT LTD.
#574-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9
PH: (604) 998-3381
FAX: (604) 998-0217

SCALE	PROJECT NO.
As Indicated	
DATE 20 APR 2018	
DRAWN	SHEET
REVISIONS	DP-6.31



1 COLOURED SOUTH ELEVATION
 (DP-A-6.4) 1/8" = 1'-0"



2 COLOURED NORTH ELEVATION (60 AVE)
 (DP-A-6.4) 1/8" = 1'-0"



3 COLOURED EAST ELEVATION
 (DP-A-6.4) 1/8" = 1'-0"



4 COLOURED WEST ELEVATION
 (DP-A-6.4) 1/8" = 1'-0"

MATERIAL LEGEND :

MATERIAL	COLOR	
(17) FLASHING	BLACK	
(20) GUARD/RAILING	WHITE	
(18)(19) TRIM/FASCIA/GUTTER	DARK GREY	
(21) 8" HARDI SIDING	DARK GREY	
(22) 4" HARDI SIDING	MEDIUM GREY	
(23) 4" HARDI SIDING	DARK GREYISH BLUE/HALE NAVY	
(24) WALL SHINGLES	MEDIUM GREY	
(25) WALL SHINGLES	DARK GREYISH BLUE/HALE NAVY	
(26) HARDI PANEL	WHITE	
WINDOWS & DOORS	BLACK	
(27) ROLL-UP DOOR	LIGHT GREY	
(28) BRICK WALL	DARK BROWN	
(29) ASPHALT SHINGLES	MEDIUM GREY	

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NO.	DATE	DESCRIPTION
1	20 APR 2018	ISSUED FOR PRELIMINARY DESIGN
2	20 APR 2018	ISSUED FOR PERMITS
3		ISSUED FOR CONSTRUCTION

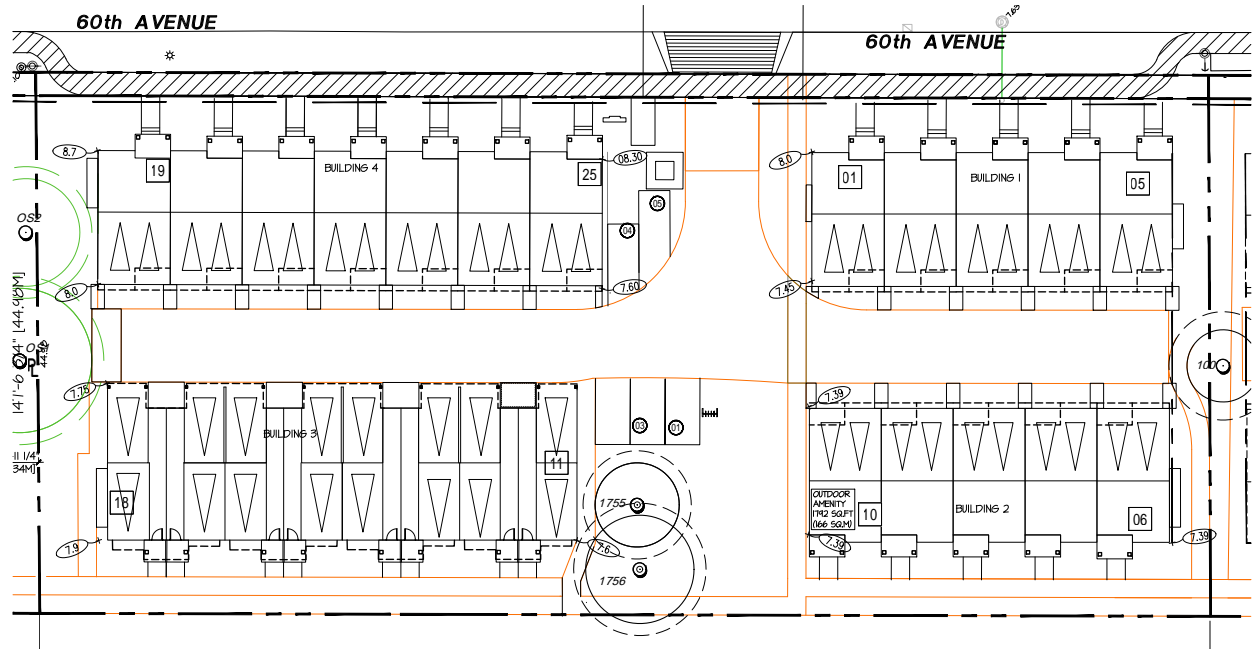
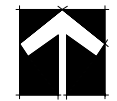
PROJECT: 17524 - TOWN HOUSES
 17524-60 AVE., SURREY, BRITISH COLUMBIA
 SHEET DESCRIPTION: BUILDING-4 UNIT A- COLOURED ELEVATIONS
 OWNER: DOUGLAS R. JOHNSON ARCHITECT LTD.
 #574-901 WEST 3RD ST., NORTH VANCOUVER, BC V7P 3P9
 PH: (604) 998-3381
 FAX: (604) 998-0217

SCALE:	PROJECT NO.:
As indicated	
DATE: 20 APR 2018	
DRAWN: _____	SHEET: _____
REVISIONS:	DP-A-6.4

3



#220 - 26 Lorne Mews
New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com



NO.	DATE	REVISION DESCRIPTION	DR.
1	SEP 20 2018	PRELIMINARY PLAN	BN
2	SEP 20 2018	ISSUED FOR CIP	BN
3	NOV 05 2018	REV AS PER NEW SITE PLAN	BN
4	MAR 02 2019	REV AS PER NEW SITE PLAN	BN
5	MAR 02 2019	REV AS PER CITY COMMENTS	BN
6	MAR 02 2019	REV AS PER NEW SITE PLAN	BN
7	APR 02 2019	REV AS PER NEW SITE PLAN	BN

PLANT SCHEDULE		M2 JOB NUMBER: 18061	
KEY QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE			
2	ABIES FRASERI	FRASER FIR	2.5M HT; B4B
10	ACER PALMATUM 'BLOODGOOD'	JAPANESE MAPLE	3.5M HT; B4B; UPRIGHT FORM
5	ACER PALMATUM 'OSAKAZUKI'	GREEN JAPANESE MAPLE	2.5M HT; B4B; MULTISTEM
7	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	10CM CAL; 1.8M STD; B4B
10	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	'SLENDER SILHOUETTE' SHEET GUM	6CM CAL; 2M STD; B4B
2	MAGNOLIA x 'ELIZABETH'	ELIZABETH MAGNOLIA	6CM CAL; 1.8M HT; B4B
3	MAGNOLIA x 'TOLANTHE'	MAGNOLIA	6CM CAL; 2M HT; B4B
4	PARROTTIA PERSICA	PERSSIAN IRONHOOD	2.5M HT; TREE FORM; B4B
2	PICEA OMORICA	SERBIAN SPRUCE	3M HT; B4B
8	PRUNUS SERRULATA 'AMANOGAHA'	AMANOGAHA CHERRY	6CM CAL; 1.5M STD; B4B
12	STEARZIA PSEUDOCAMELLIA	JAPANESE STEARZIA	6CM CAL; 1.8M STD; B4B
6	THUJA PLICATA	WESTERN RED CEDAR	4M HT; B4B
SHRUB			
13	AZALEA JAPONICA 'BLUE DANUBE'	AZALEA; BLUE-VIOLET	#2 POT
46	PERIS JAPONICA 'MOUNTAIN FIRE'	JAPANESE ANDROMEDA	#3 POT
24	PRUNUS LUSITANICA	PORTUGUESE LAUREL	#1 POT
180	PRUNUS LUSITANICA	PORTUGUESE LAUREL	1 M B4B
26	RHOODODENDRON 'GUMMINGHAM'S WHITE'	RHOODODENDRON; WHITE; L. MAY	#5 POT
35	RHOODODENDRON 'PINK PEARL'	RHOODODENDRON; PINK; E. MAY	#2 POT; 30CM
6	ROSA RUGOSA	RUGOSA ROSE	#2 POT; 40CM
12	SARCOCCOCCA HOOKERIANA VAR. HUMILIS	HIMALAYAN SHEET BOX	#3 POT; 35CM
51	SKIMMIA JAPONICA (0.8 MALE)	JAPANESE SKIMMIA	#3 POT; 50CM
10	SPIRAEA SHIROBANA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	#1 POT
35	SPIRAEA x BUNALDA 'ANTHONY WATERER'	SPIRAEA	#2 POT
220	TAXUS X MEDIA 'HICKSII'	HICKS' YEW	#3 POT; 80CM
44	VIBURNUM DAVIDII	DAVID'S VIBURNUM	#2 POT; 30CM
273	LONICERA PILEATA	PRIVET HONEYSUCKLE	#1 POT; 25CM
164	FACHYSANDRA TERMINALIS	JAPANESE SPURGE	#1 POT; 18CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

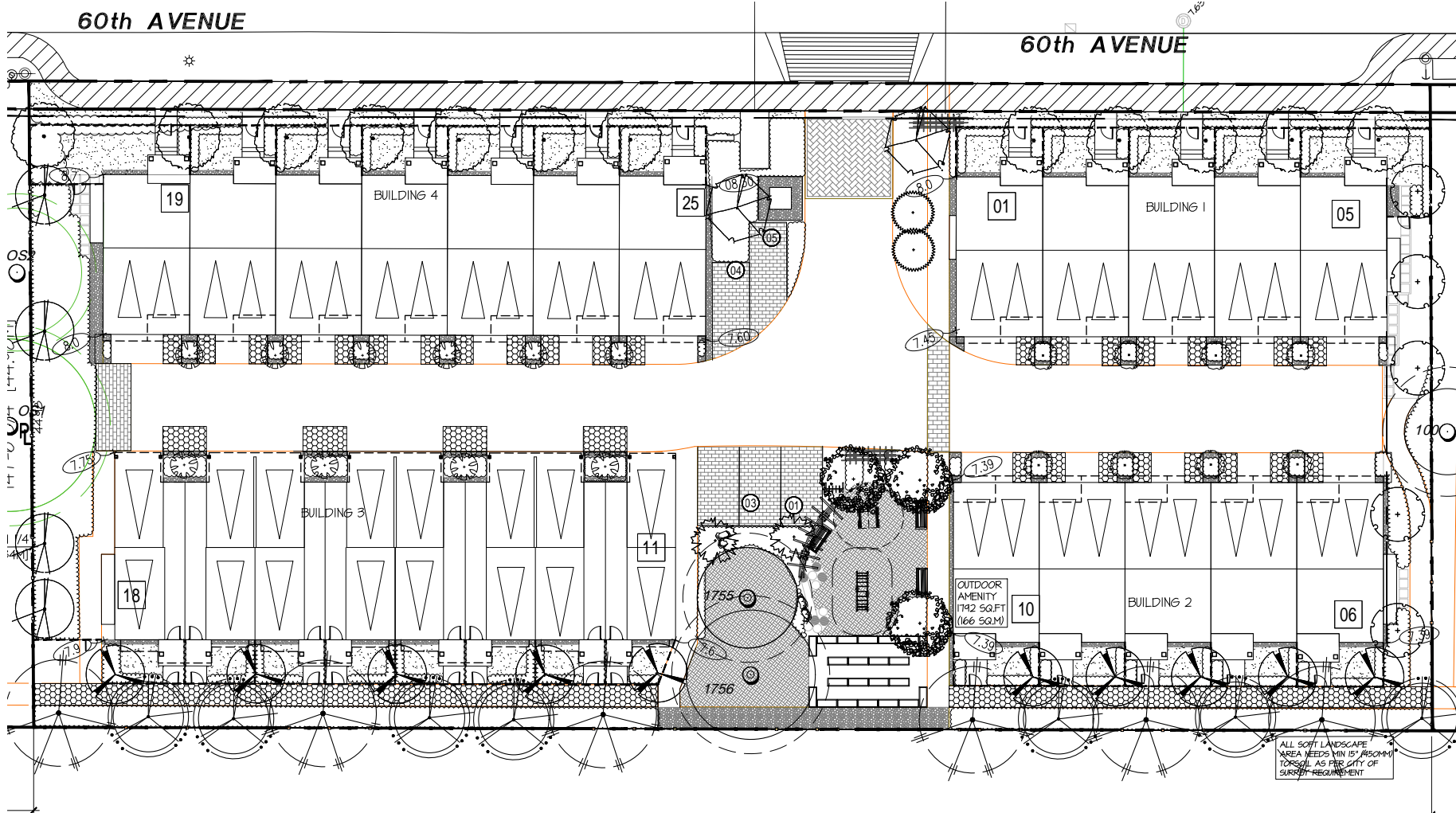
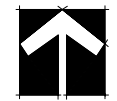
SHEET LIST	
L0	KEY PLAN
L1	TREE PLAN
L2	SHRUB PLAN (WEST)
L3	SHRUB PLAN (EAST)
L4	LANDSCAPE DETAILS
L5	LANDSCAPE SPECIFICATIONS
L6	STRUCTURAL SOIL SPECIFICATION

PROJECT: 17508-60 AVE
SURREY (CLOVERDALE), BC
SURREY FILE# 7918-0341-00

DRAWING TITLE: KEY PLAN	
DATE: SEP 07, 2018	DRAWING NUMBER:
SCALE: 1/8"=1'-0"	L0
DRAWN: BN	
DESIGN: BN	
CHECK: M.TM	
M2LA PROJECT NUMBER:	JOB NO. 18061



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 Fax: 604.553.0045
 Email: office@m2la.com



ALL SOFT LANDSCAPE
 AREA NEEDS MIN 15" RISE/CMH
 TORQUE AS PER CITY OF
 SURREY REQUIREMENT

NO.	DATE	REVISION DESCRIPTION	DR.
1	SEP 20 2010	PRELIMINARY PLAN	BN
2	SEP 20 2010	ISSUED FOR CIP	BN
3	NOV 18 2010	REV AS PER NEW SITE PLAN	BN
4	MAR 10 2011	REV AS PER NEW SITE PLAN	BN
5	MAR 10 2011	REV AS PER CITY COMMENTS	BN
6	MAR 10 2011	REV AS PER NEW SITE PLAN	BN
7	APR 20 2011	REV AS PER NEW SITE PLAN	BN

PROJECT:
 17508-60 AVE
 SURREY (CLOVERDALE), BC
 SURREY FILE#
 7918-0341-00

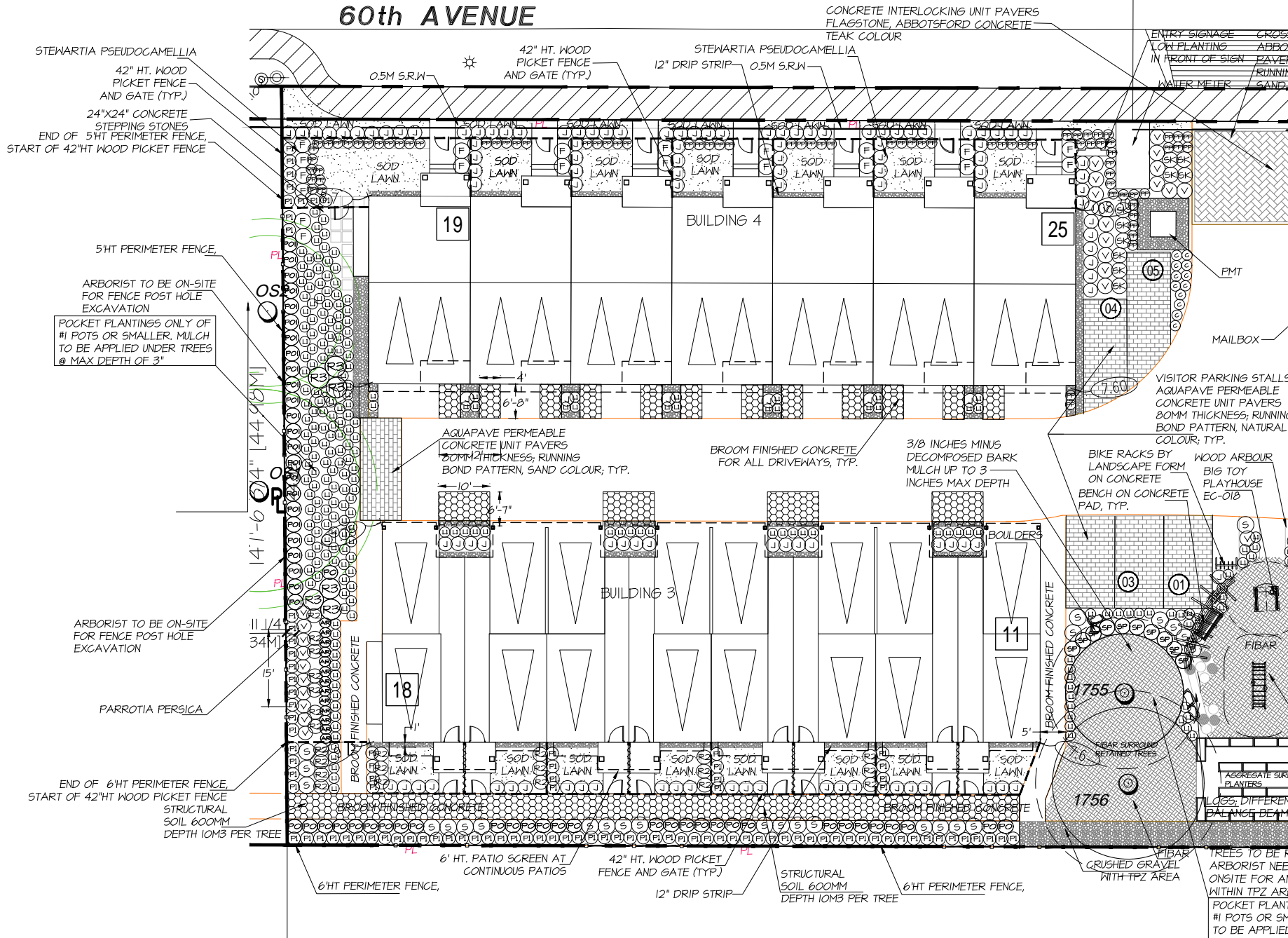
DRAWING TITLE:
TREE PLAN

DATE: SEP 01 2010 DRAWING NUMBER:
 SCALE: 3/32"=1'-0"
 DRAWN: BN
 DESIGN: BN
 CHECK: M.T.H.
 M2LA PROJECT NUMBER: JOB NO. 20067

L1

OF 8

60th AVENUE



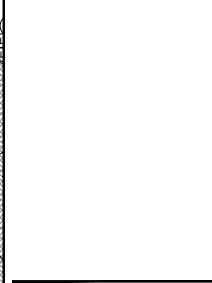
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New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
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NO.	DATE	REVISION DESCRIPTION	DR.
1	SEP 20 2010	PRELIMINARY PLAN	BN
2	APR 20 2011	REV AS PER NEW SITE PLAN	BN
3	MAR 10 2011	REV AS PER NEW SITE PLAN	BN
4	MAR 10 2011	REV AS PER CITY COMMENTS	BN
5	MAR 10 2011	REV AS PER NEW SITE PLAN	BN
6	NOV 20 2010	REV AS PER NEW SITE PLAN	BN
7	SEP 20 2010	ISSUED FOR O.P.	BN
8	SEP 20 2010	PRELIMINARY PLAN	BN



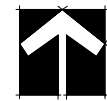
PROJECT: 17508-60 AVE
SURREY (CLOVERDALE), BC
SURREY FILE# 7918-0341-00

DRAWING TITLE: TREE PLAN

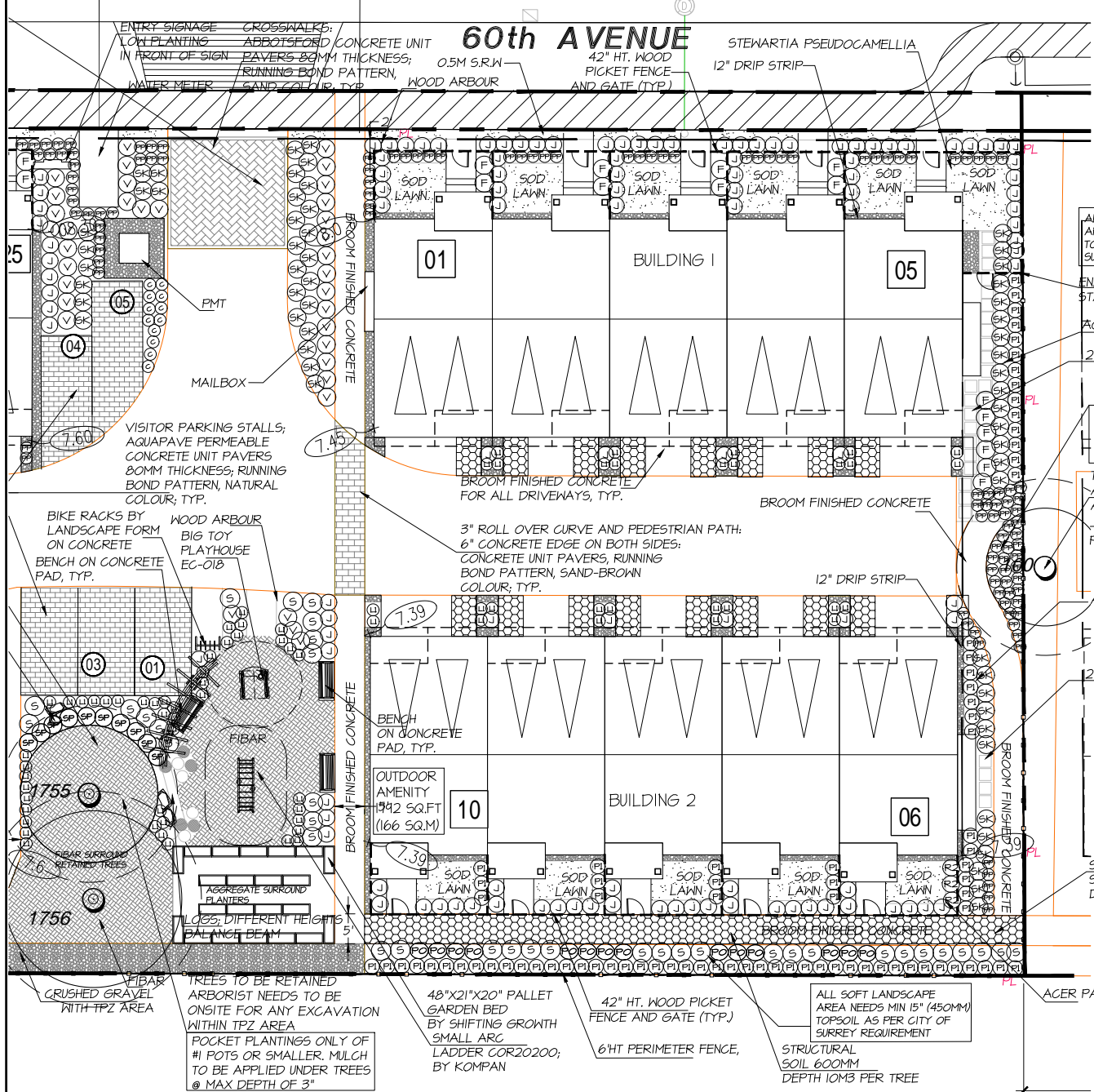
DATE: SEP 01 2010	DRAWING NUMBER: L2
SCALE: 1/8" = 1'-0"	
DRAWN: BN	
DESIGN: BN	
CHECK: M.T.H.	
M2LA PROJECT NUMBER:	JOB NO. 2001



#220 - 26 Lorne Mews
 New Westminster, British Columbia
 V3M 3J7
 Tel: 604.553.0044
 Fax: 604.553.0045
 Email: office@m2la.com



NO.	DATE	REVISION DESCRIPTION	DR.
1	SEP-20-2010	PRELIMINARY PLAN	BN
2	NOV-20-2010	ISSUED FOR O/P	BN
3	NOV-20-2010	REV AS PER MEN SITE PLAN	BN
4	MAR-20-2011	REV AS PER CITY COMMENTS	BN
5	MAR-20-2011	REV AS PER MEN SITE PLAN	BN
6	MAR-20-2011	REV AS PER MEN SITE PLAN	BN
7	APR-20-2011	REV AS PER MEN SITE PLAN	BN



ALL SOFT LANDSCAPE AREA NEEDS MIN 15" (450MM) TOPSOIL AS PER CITY OF SURREY REQUIREMENT

END OF 6' HT PERIMETER FENCE, START OF 42" HT WOOD PICKET FENCE

ACER PALMATUM 'OSAKAZUKI'

24"x24" CONCRETE STEPPING STONES

POCKET PLANTINGS ONLY OF #1 POTS OR SMALLER, MULCH TO BE APPLIED UNDER TREES @ MAX DEPTH OF 3"

TREES TO BE RETAINED ARBORIST NEEDS TO BE ONSITE FOR ANY EXCAVATION WITHIN TPZ AREA ARBORIST TO BE ONSITE FOR FENCE POST HOLE EXCAVATION

ACER PALMATUM 'OSAKAZUKI'

24"x24" CONCRETE STEPPING STONES

STRUCTURAL SOIL 600MM DEPTH 10M3 PER TREE

ACER PALMATUM 'BLOODGOOD'

60th AVENUE
 42" HT. WOOD PICKET FENCE AND GATE (TYP.)

STEWARTIA PSEUDOCAMELLIA
 12" DRIP STRIP

01

BUILDING 1

05

BUILDING 2

10

06

05
 04
 7.60

7.45

7.39

7.30

1755
 1756

TREES TO BE RETAINED ARBORIST NEEDS TO BE ONSITE FOR ANY EXCAVATION WITHIN TPZ AREA
 POCKET PLANTINGS ONLY OF #1 POTS OR SMALLER, MULCH TO BE APPLIED UNDER TREES @ MAX DEPTH OF 3"

48"x21"x20" PALLET GARDEN BED BY SHIFTING GROWTH SMALL ARC LADDER COR20200; BY KOMPAN

42" HT. WOOD PICKET FENCE AND GATE (TYP.)
 6' HT PERIMETER FENCE,

ALL SOFT LANDSCAPE AREA NEEDS MIN 15" (450MM) TOPSOIL AS PER CITY OF SURREY REQUIREMENT
 STRUCTURAL SOIL 600MM DEPTH 10M3 PER TREE

BIKE RACKS BY LANDSCAPE FORM ON CONCRETE
 BENCH ON CONCRETE PAD, TYP.

WOOD ARBOUR
 BIG TOY PLAYHOUSE
 EG-018

BENCH ON CONCRETE PAD, TYP.

OUTDOOR AMENITY
 1742 SQ.FT
 (166 SQ.M)

VISITOR PARKING STALLS; AQUAPAVE PERMEABLE CONCRETE UNIT PAVERS 80MM THICKNESS; RUNNING BOND PATTERN, NATURAL COLOUR; TYP.

3" ROLL OVER CURVE AND PEDESTRIAN PATH:
 6" CONCRETE EDGE ON BOTH SIDES;
 CONCRETE UNIT PAVERS, RUNNING BOND PATTERN, SAND-BROWN COLOUR; TYP.

BROOM FINISHED CONCRETE FOR ALL DRIVEWAYS, TYP.

BROOM FINISHED CONCRETE

12" DRIP STRIP

BROOM FINISHED CONCRETE

BROOM FINISHED CONCRETE

CRUSHED GRAVEL WITH TPZ AREA

LOSS; DIFFERENT HEIGHTS
 BALANCE BEAM

FIBAR SURROUND

AGGREGATE SURROUND PLANTERS

WOOD ARBOUR

MAILBOX

PMT

WATER METER

CONCRETE UNIT PAVERS 80MM THICKNESS; RUNNING BOND PATTERN, SAND-BROWN COLOUR; TYP.

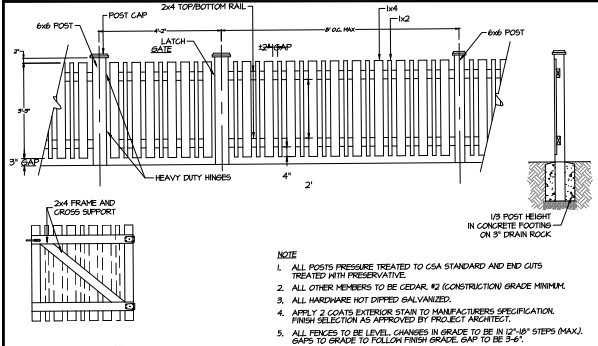
CROSSWALKS; ABBOTSFORD

CROSSWALKS; ABBOTSFORD

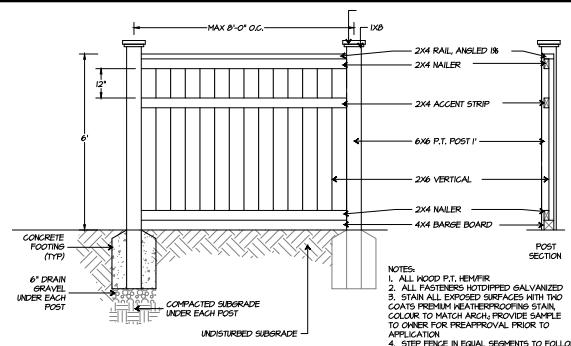
PROJECT:
 17508-60 AVE
 SURREY (CLOVERDALE), BC
 SURREY FILE#
 7918-0341-00

DRAWING TITLE:
 TREE PLAN

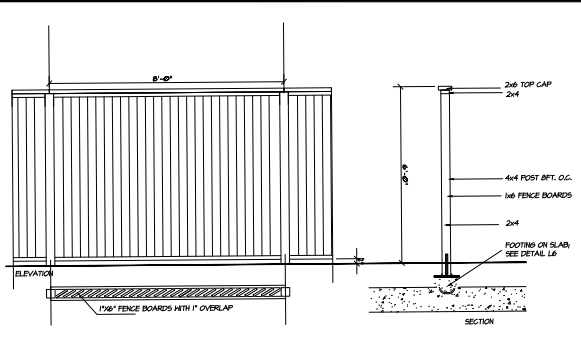
DATE:	SEP-01-2010	DRAWING NUMBER:	L3
SCALE:	1/8" = 1'-0"		
DRAWN:	BN		
DESIGN:	BN		
CHECK:	M.T.H.		
M2LA PROJECT NUMBER:		JOB NO.	#061



- NOTE**
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END GUMS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR. 1/2\"/>



- NOTES**
1. ALL WOOD P.T. MEMBER
 2. ALL FASTENERS HOT DIPPED GALVANIZED
 3. STAIN ALL EXPOSED SURFACES WITH TWO COATS PRIMA WEATHERPROOFING STAIN. COLOUR TO MATCH ARCH. PROVIDE SAMPLE TO OWNER FOR PRE-APPROVAL PRIOR TO APPLICATION
 4. STEP FENCE IN EQUAL SEGMENTS TO FOLLOW GRADE AT PROPERTY LINE.

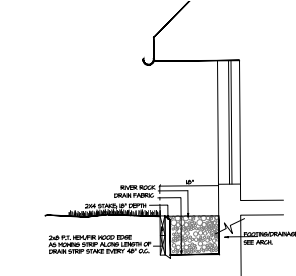


- NOTES**
1. ALL WOOD P.T. MEMBER
 2. ALL FASTENERS HOT DIPPED GALVANIZED
 3. STAIN ALL EXPOSED SURFACES WITH TWO COATS PRIMA WEATHERPROOFING STAIN. COLOUR TO MATCH ARCH. PROVIDE SAMPLE TO OWNER FOR PRE-APPROVAL PRIOR TO APPLICATION
 4. STEP FENCE IN EQUAL SEGMENTS TO FOLLOW GRADE AT PROPERTY LINE.

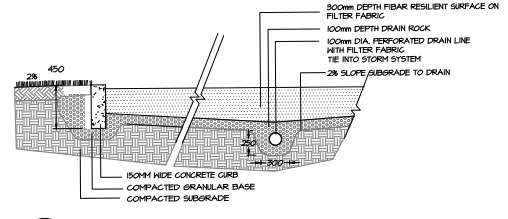
1 42" HT WOOD PICKET FENCE
L4 SCALE: 1/2" = 1'-0"

2 6' HT WOOD PERIMETER FENCE
L4 SCALE: 1/2" = 1'-0"

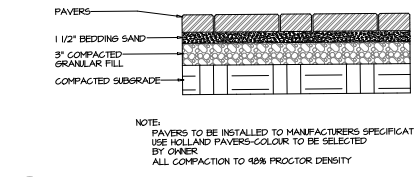
3 6' HT LOUVERED PRIVACY SCREEN FENCE
L4 SCALE: 1/2" = 1'-0"



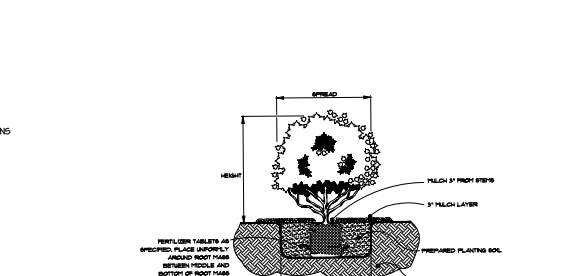
3 DRIP STRIP
L4 SCALE: 1/2" = 1'-0"



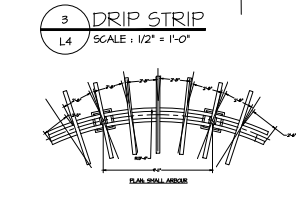
5 PLAY AREA FIBAR SURFACE DETAIL
L4 SCALE: 1/2" = 1'-0"



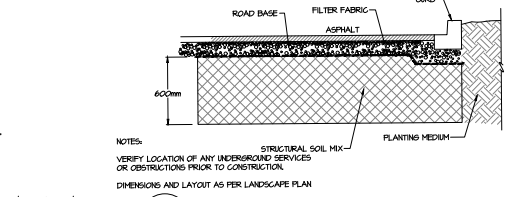
6 CONCRETE UNIT PAVER ON GRADE
L3 SCALE: 1/4" = 1'-0"



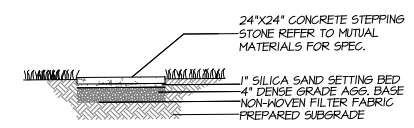
8 SHRUB PLANTING DETAIL
L4 SCALE: 1/2" = 1'-0"



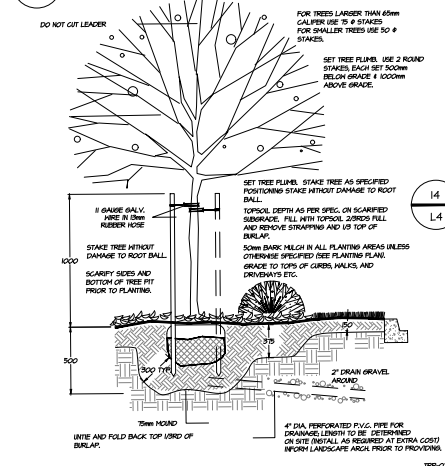
9 CURVED ARBOUR
L4 SCALE: 3/16" = 1'-0"



10 STRUCTURAL SOIL
L4 SCALE: 1/2" = 1'-0"



7 24\"/>



13 TREE PLANTING DETAIL
L4 SCALE: 1/2" = 1'-0"



14 EMERSON BIKE RACK
L4 BY LANDSCAPE, CONCORD PACKAGE-TOTAL AMOUNT:2



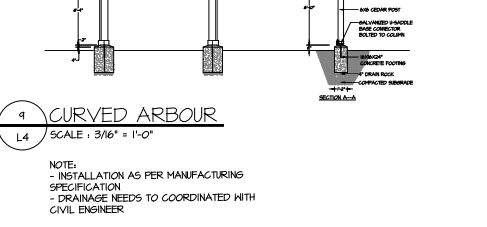
16 SMALL ARC LADDER COR20200
L4 BY KOMPAN



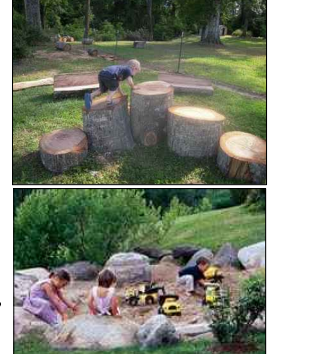
15 MELVILLE BENCH-BACKED DIVIDER
L4 BY LANDSCAPE FORMS, 19\"/>



17 EC-018 PLAYHOUSE
L4 BY BIGTOY



11 PERMEABLE UNIT PAVER @ VISITOR PARKING
L4 SCALE: 3/4" = 1'-0"



12 NATURAL PLAY CONCEPT
L4

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#220 - 26 Lorne Mews
New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com

NO.	DATE	REVISION DESCRIPTION	DR.
1	SEP.2020	ISSUED FOR CIP	BN
2	NOV.2020	REV AS PER NEW SITE PLAN	BN
3	MAR.2021	REV AS PER NEW SITE PLAN	BN
4	MAR.2021	REV AS PER CITY COMMENTS	BN
5	MAR.2021	REV AS PER NEW SITE PLAN	BN
6	MAR.2021	REV AS PER NEW SITE PLAN	BN
7	APR.2021	REV AS PER NEW SITE PLAN	BN
8	MAR.2021	REV AS PER NEW SITE PLAN	BN
9	MAR.2021	REV AS PER NEW SITE PLAN	BN
10	MAR.2021	REV AS PER NEW SITE PLAN	BN
11	SEP.2020	ISSUED FOR CIP	BN
12	SEP.2020	PRELIMINARY PLAN	BN
13	SEP.2020	PRELIMINARY PLAN	BN
14	SEP.2020	PRELIMINARY PLAN	BN
15	SEP.2020	PRELIMINARY PLAN	BN
16	SEP.2020	PRELIMINARY PLAN	BN
17	SEP.2020	PRELIMINARY PLAN	BN

PROJECT: 17508-60 AVE SURREY (CLOVERDALE), BC SURREY FILE# 7918-0341-00

DRAWING TITLE: LANDSCAPE DETAILS

DATE: SEP.01.2020 DRAWING NUMBER: L4

SCALE: DRAWN: BN DESIGN: BN CHECK: M.T.H. M2LA PROJECT NUMBER: JOB NO. #061



Planning

April 15, 2019

THE IMPACT ON SCHOOLS

APPLICATION #: 18 0341 00

SUMMARY

The proposed 25 townhouse units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	6
Secondary Students:	3

September 2018 Enrolment/School Capacity

George Greenaway Elementary	
Enrolment (K/1-7):	69 K + 440
Operating Capacity (K/1-7)	57 K + 396
Lord Tweedsmuir Secondary	
Enrolment (8-12):	1694
Capacity (8-12):	1400

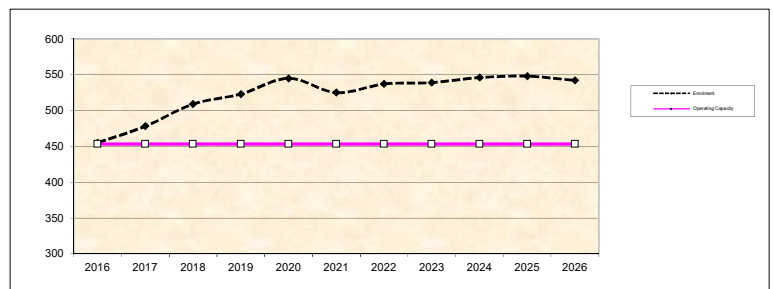
School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

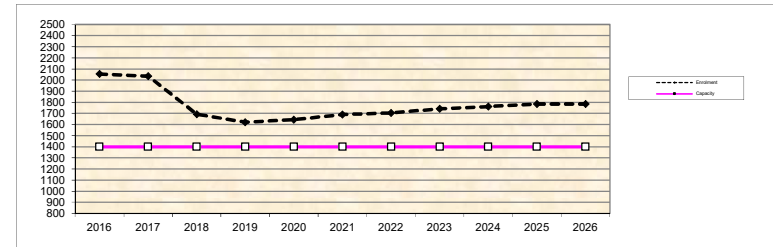
George Greenaway Elementary is in a maturing neighbourhood. What our data is suggesting is that there is strong number of families with young children moving into the catchment. The 10 year enrolment projections are showing that in 2020 enrolment will peak and then remain constant. By 2027 the school is anticipated to be operating at 121% capacity. There are no current plans to expand the school. Growth will be managed by using portables.

In September 2018, Salish Secondary opened in the Clayton area, north of the Fraser Highway. This new 1500 capacity school was built to relieve the current enrolment pressure at Lord Tweedsmuir and Clayton Heights Secondary. Extended day programming has been removed at Lord Tweedsmuir. However, even with the enrolment relief that Salish provided, Lord Tweedsmuir is projected to slowly start growing again in 2022.

George Greenaway Elementary



Lord Tweedsmuir Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students. Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 18-03410-00


Address: 17508 / 17524 / 17534 / 17544 - 60 Avenue Surrey, BC

Registered Arborist: Corey Plester #PN-8523A

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	31
Protected Trees to be Removed	29
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	2
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 1 X one (1) = <u>1</u> - All other Trees Requiring 2 to 1 Replacement Ratio 28 X two (2) = <u>56</u> 	57
Replacement Trees Proposed	60
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0 	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

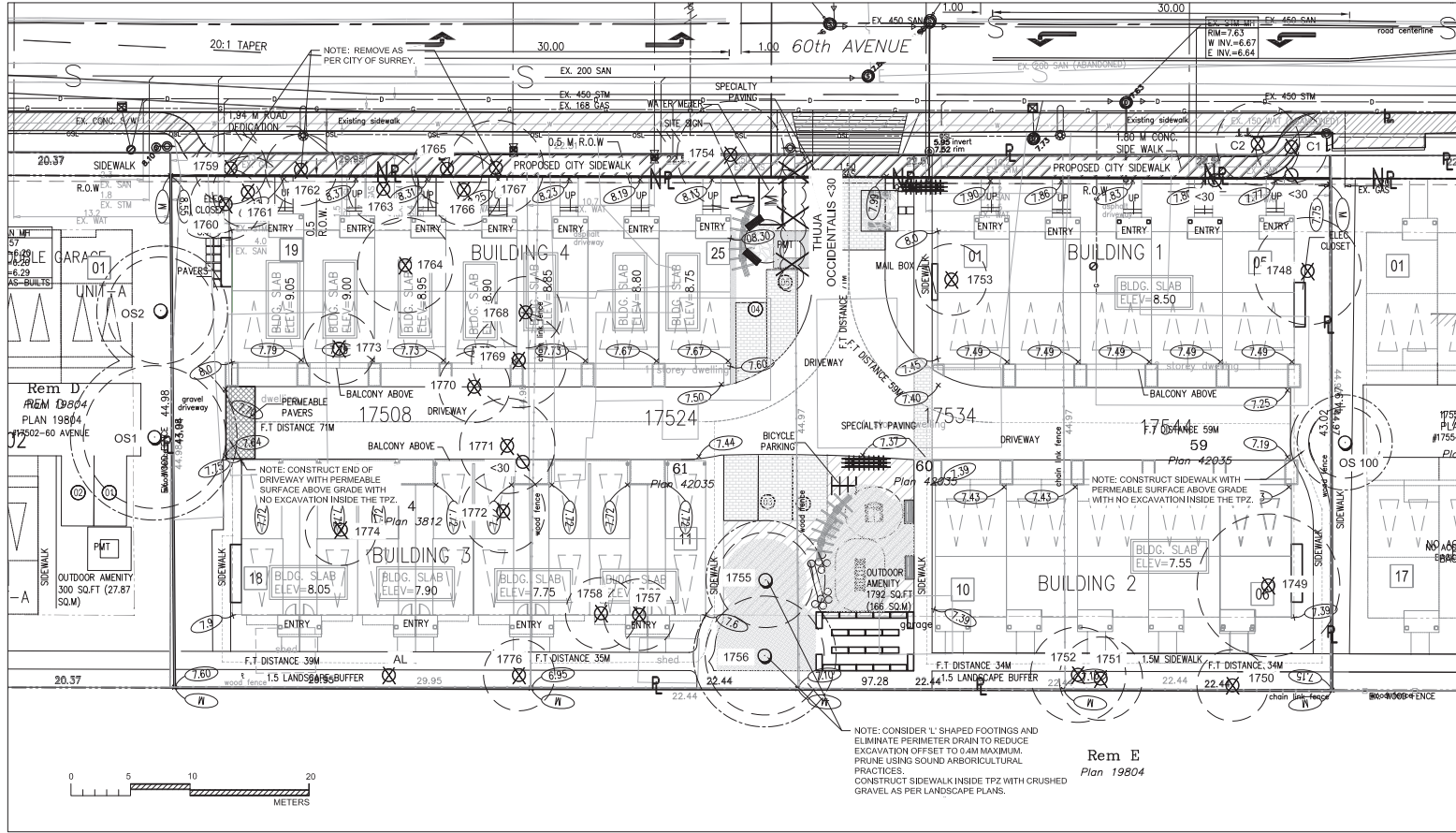
Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 	Date: April 29, 2019
--	----------------------



Mike Fadum and Associates Ltd.
#105, 8277-129 Street, Surrey, BC, V3W 0A6
Phone 778-593-0300 Fax 778-593-0302





NOTE: CONSTRUCT END OF DRIVEWAY WITH PERMEABLE SURFACE ABOVE GRADE WITH NO EXCAVATION INSIDE THE TPZ.

NOTE: CONSTRUCT SIDEWALK WITH PERMEABLE SURFACE ABOVE GRADE WITH NO EXCAVATION INSIDE THE TPZ.

NOTE: CONSIDER 'L' SHAPED FOOTINGS AND ELIMINATE PERIMETER DRAIN TO REDUCE EXCAVATION OFFSET TO 0.4M MAXIMUM. PRUNE USING SOUND ARBORICULTURAL PRACTICES. CONSTRUCT SIDEWALK INSIDE TPZ WITH CRUSHED GRAVEL AS PER LANDSCAPE PLANS.

Rem E
Plan 19804

LEGEND

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- NON BY-LAW TREE
- MINIMUM NO DISTURBANCE ZONE
- 1.0m NO BUILD ZONE

NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	JUL09/18	MK	SITE PLAN	6	MAR14/19	MK	SITE PLAN & GRADING PLAN
2	NOV13/18	MK	SITE PLAN	7	APR29/19	MK	SITE PLAN & GRADING PLAN
3	NOV19/18	MK	SITE PLAN				
4	DEC14/18	MK	CITY COMMENTS				
5	DEC14/18	MK	SITE PLAN				

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

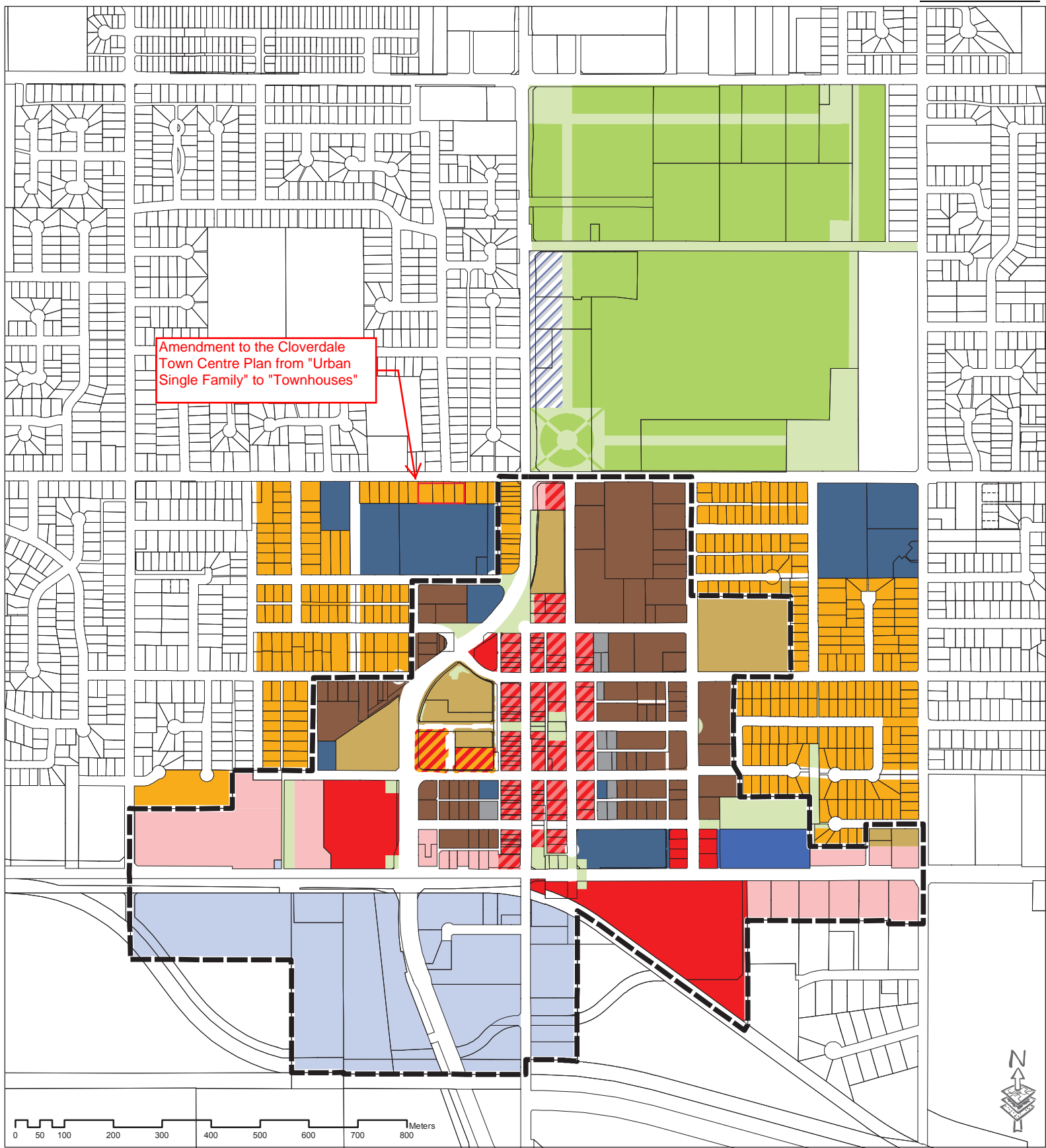
#105, 8277 129 St.
Surrey, British Columbia
V3W 0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Email: mfadum@fadum.ca

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PROJECT TITLE
17508 17524 17534 17544
17554 17560 17570
60th AVENUE
SURREY, B.C.

SHEET TITLE
T1 - TREE REMOVAL AND PRESERVATION PLAN
CLIENT

DRAWN MK
SCALE AS SHOWN
DATE JUNE 13, 2018
T-1
SHEET 1 OF 2



Amendment to the Cloverdale
Town Centre Plan from "Urban
Single Family" to "Townhouses"

- | | | | | | | | |
|--|---------------------------|--|----------------------------|--|-----------------------|--|--------------------------|
| | TOWN CENTRE COMMERCIAL | | MEDIUM DENSITY RESIDENTIAL | | COMMUNITY SERVICES | | SCHOOL |
| | RETAIL/SERVICE COMMERCIAL | | TOWNHOUSES | | PARKING | | INDUSTRIAL |
| | RESIDENTIAL/COMMERCIAL | | URBAN SINGLE FAMILY | | PARK/OPEN SPACE | | INDUSTRIAL BUSINESS PARK |
| | HIGHWAY COMMERCIAL | | INSTITUTIONAL | | CLOVERDALE FAIRGROUND | | STUDY BOUNDARY |

CLOVERDALE TOWN CENTRE

City of Surrey Planning & Development Department

Approved By Council on October 26, 2000 Amended 8 January 2018

This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.



Cloverdale Community Association

Website: www.cloverdalecommunity.org

May 15, 2019

Christopher Lumsden
City of Surrey
Planning and Development Department
13450-104 Avenue
Surrey BC V3T 1V8

Re: 7918-0341-00 / 17508, 17524, 17534 and 17544 - 60 Avenue

Dear Mr. Lumsden:

The Cloverdale Community Association (CCA) has received the preliminary notice for the proposed project file noted above.

Prior to receiving the preliminary notice this year, the developer, Sync Properties contacted us in May 2018 to discuss the community's needs and address any concerns. The developer has worked with us and the City on many things with respect to traffic flow, retaining trees and providing as much on-street parking as possible.

Attached is Appendix A which shows the development layout, the road modifications, on-street parking availability, driveway location including the new left turn lanes which have all been agreed upon.

We would like to thank Sync Properties and the City of Surrey Engineering and Planning staff who worked very hard to make this development proposal successful.

Any deviation from the attached layout will result in a termination of our agreement.

Please keep us updated with any changes which may occur after this letter has been received by you.

We trust the above information is satisfactory and as always, we expect our comments/letter to be added to the project file and planning report for council to review.

Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Mike Bola".

Mike Bola
President
Cloverdale Community Association

Cc: Board of Directors

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7918-0341-00

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 006-060-170

Lot 4 Section 7 Township 8 New Westminster District Plan 3812

17508 - 60 Avenue

Parcel Identifier: 004-805-038

Lot 61 Section 7 Township 8 New Westminster District Plan 42035

17524 - 60 Avenue

Parcel Identifier: 001-096-079

Lot 60 Section 7 Township 8 New Westminster District Plan 42035

17534 - 60 Avenue

Parcel Identifier: 004-622-596

Lot 59 Section 7 Township 8 New Westminster District Plan 42035

17544 - 60 Avenue

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Section F Yards and Setbacks of Part 22 “Multiple Residential 30 Zone (RM-30)”, the minimum north front yard setback for Building 1 and Building 4 is reduced from 7.5 metres (25 ft.) to:

- i. 4.5 metres (14.7 ft.) to the principal building;
- ii. 3.6 metres (12 ft.) to the roof overhang; and
- iii. 3.3 metres (10.8 ft.) to the porch columns and 3.1 metres (10.2 ft.) to the porch overhang.

- (b) In Section F Yards and Setbacks of Part 22 “Multiple Residential 30 Zone (RM-30)”, the minimum east side yard setback is reduced from 7.5 metres (25 ft.) to:

- i. 3.0 metres (9.8 ft.) to the principal building;
- ii. 2.7 metres (8.8 ft.) to the 2nd floor bay window projection;
- iii. 2.4 metres (8 ft.) to the 2nd floor bay window roof overhang; and
- iv. 2.1 metres (6.8 ft.) to the principal building roof overhang and electrical closet.

- (c) In Section F Yards and Setbacks of Part 22 “Multiple Residential 30 Zone (RM-30)”, the minimum south rear yard setback for Building 2 is reduced from 7.5 metres (25 ft.) to:

- i. 6.0 metres (20 ft.) to the principal building;
- ii. 5.2 metres (17 ft.) to the roof overhang; and
- iii. 5.0 metres (16.4 ft.) to the porch column and 4.7 metres (15.4 ft.) to the porch overhang.

- (d) In Section F Yards and Setbacks of Part 22 “Multiple Residential 30 Zone (RM-30)”, the minimum south rear yard setback for Building 3 is reduced from 7.5 metres (25 ft.) to:
 - i. 6.0 metres (20 ft.) for the ground floor and 5.2 metres (17 ft.) for the upper floors of the principal building;
 - ii. 4.4 metres (14.5 ft.) to the roof overhang; and
 - iii. 4.9 metres (16 ft.) to the porch column and 4.4 metres (14.4 ft.) to the porch overhang.

- (e) In Section F Yards and Setbacks of Part 22 “Multiple Residential 30 Zone (RM-30)”, the minimum west side yard setback for Building 3 is reduced from 7.5 metres (25 ft.) to:
 - i. 5.6 metres (18.3 ft.) to the principal building; and
 - ii. 4.7 metres (15.4 ft.) to the electrical closet.

- (f) In Section F Yards and Setbacks of Part 22 “Multiple Residential 30 Zone (RM-30)”, the minimum west side yard setback for Building 4 is reduced from 7.5 metres (25 ft.) to:
 - i. 5.0 metres (16.4 ft.) to the principal building;
 - ii. 4.7 metres (15.4 ft.) to the 2nd floor bay window projections;
 - iii. 4.4 metres (14.5 ft.) to the 2nd floor bay window roof overhang; and
 - iv. 4.1 metres (13.4 ft.) to the principal building roof overhang and electrical closet.

- 5. This development variance permit applies to only the that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.

- 6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

- 7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

- 8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

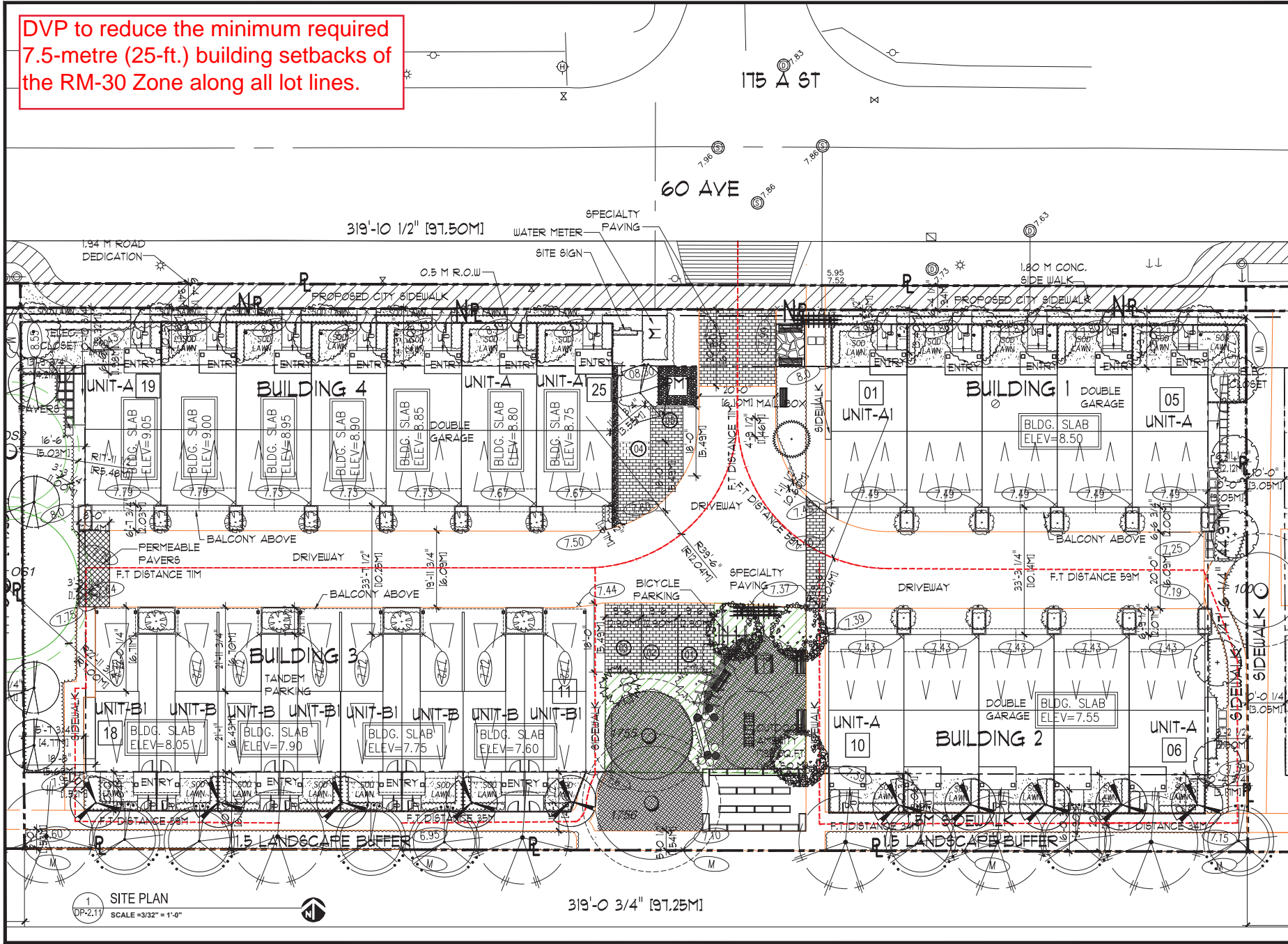
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

DVP to reduce the minimum required 7.5-metre (25-ft.) building setbacks of the RM-30 Zone along all lot lines.



1 SITE PLAN
DP-2.11 SCALE = 3/32" = 1'-0"

319'-0 3/4" [97.25M]

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MARK	DATE	DESCRIPTION
1	14 MAR 2018	ISSUED FOR PRELIMINARY DESIGN
2	17 FEB 2018	ISSUED FOR PERMITS
3	17 FEB 2018	ISSUED FOR PERMITS

PROJECT: 17524 TOWNHOUSE
17524 60 AVE, SURREY, BC
OWNER:
SHEET DESCRIPTION: SITE PLAN

DOUGLAS R. JOHNSON ARCHITECT LTD.
#374-901 WEST 3RD AVE.
NORTH VANCOUVER, BC V7P 3P9
PH: (604)998-3381
FAX: (604)998-0217
drjarch@shaw.ca

SCALE: 1/8"=1'-0"	PROJECT NO: _____
DATE: 03-23-2018	SHEET: _____
REVISIONS:	DP-A-2.11

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7918-0341-01

Issued To:

("the Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.

2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 006-060-170

Lot 4 Section 7 Township 8 New Westminster District Plan 3812

17508 - 60 Avenue

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Lot 61 Section 7 Township 8 New Westminster District Plan 42035

17524 - 60 Avenue

Parcel Identifier: 001-096-079

Lot 60 Section 7 Township 8 New Westminster District Plan 42035

17534 - 60 Avenue

Parcel Identifier: 004-622-596

Lot 59 Section 7 Township 8 New Westminster District Plan 42035

17544 - 60 Avenue

(the "Land")

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Parcel Identifier:

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) In Section B.1 of Part 4 “General Provisions” the minimum required indoor amenity space is reduced from 74 square metres (800 sq.ft.) to 0 sq.m. (0 sq.ft.) for a 25-unit townhouse development on the Land.

5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.

6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

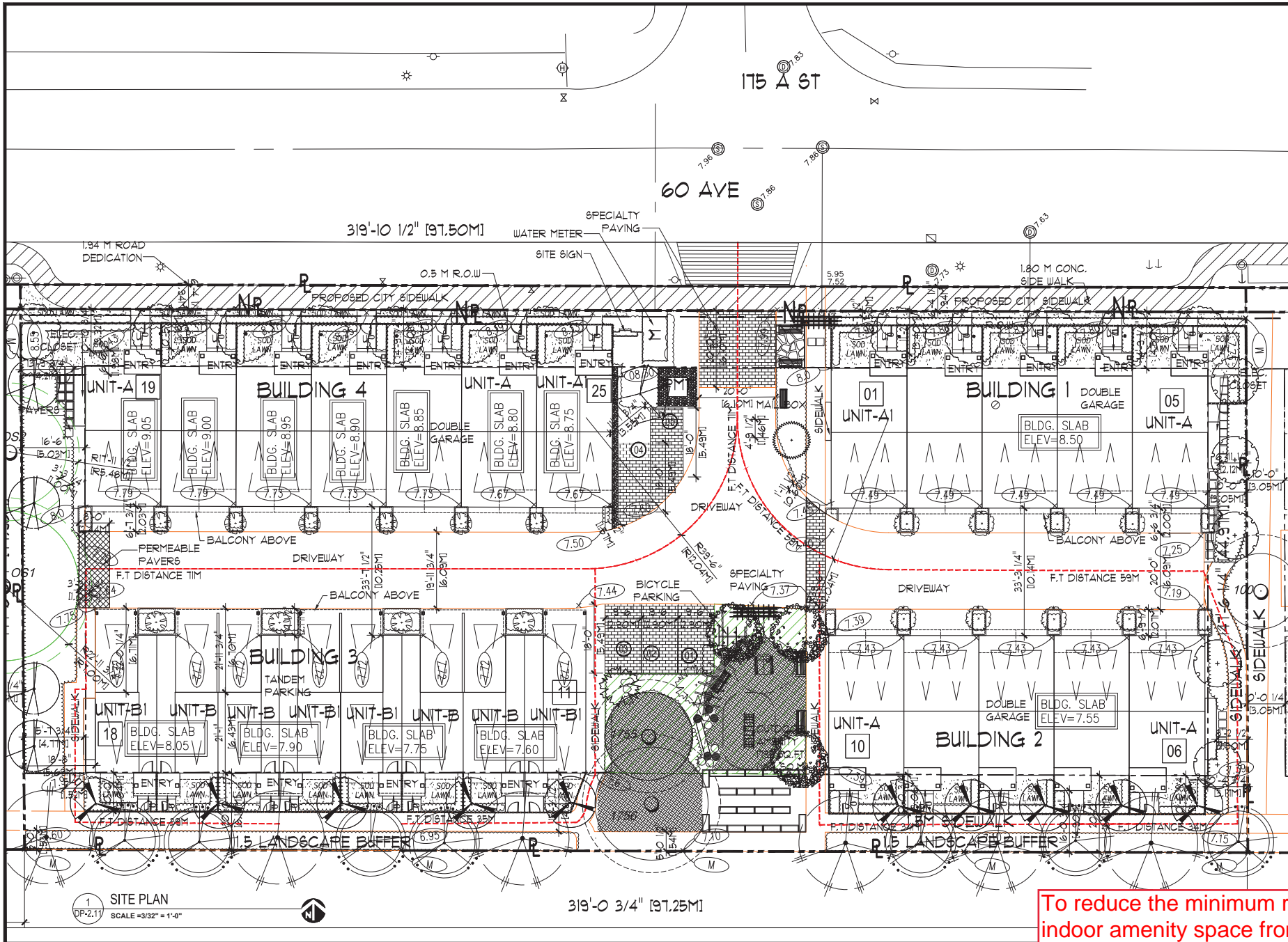
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli



1 SITE PLAN
DP-2.11 SCALE = 3/32" = 1'-0"

319'-0 3/4" [97.25M]

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MARK	DATE	DESCRIPTION
1	14 MAR 2018	ISSUED FOR PRELIMINARY DESIGN
2	17 FEB 2018	ISSUED FOR PERMITS
3	17 FEB 2018	ISSUED FOR PERMITS

PROJECT: 17524 TOWNHOUSE
17524 60 AVE, SURREY, BC
SHEET DESCRIPTION: SITE PLAN

OWNER: DOUGLAS R. JOHNSON ARCHITECT LTD.
#374-901 WEST 3RD AVE.
NORTH VANCOUVER, BC V7P 3P9
PH: (604)998-3381
FAX: (604)998-0217
drjarch@shaw.ca

SCALE: 1/8" = 1'-0"
DATE: 03-23-2018
DRAWN: SHEET:

To reduce the minimum required indoor amenity space from 74 sq.m. (800 sq.ft.) to 0 sq.m. (0 sq.ft.) for a 25-unit townhouse development.