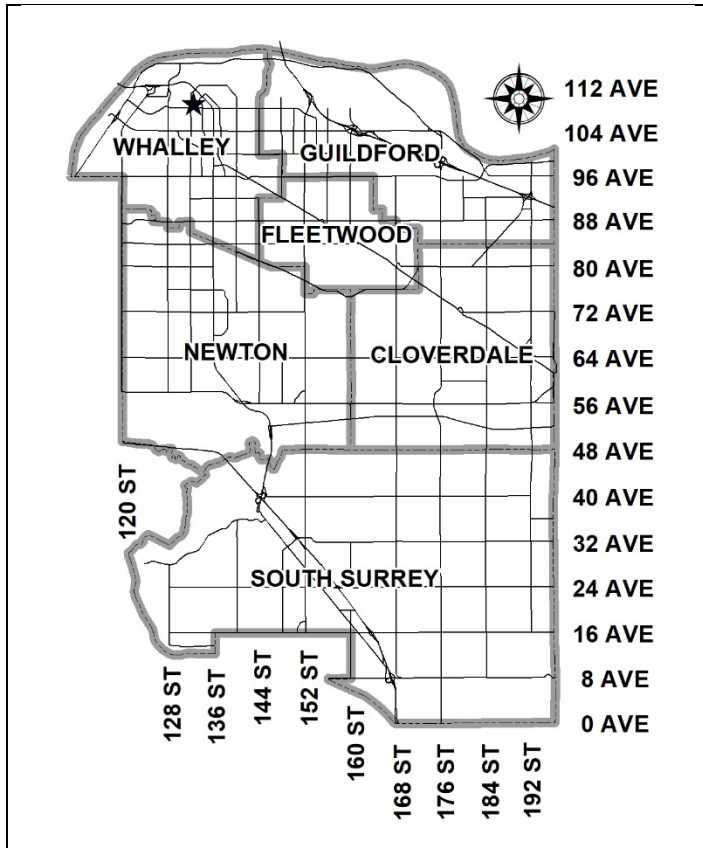


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7918-0319-00

Planning Report Date: June 24, 2019.



**PROPOSAL:**

- **Rezoning** from RF to CD (based on RM-70); and
- **Development Permit**

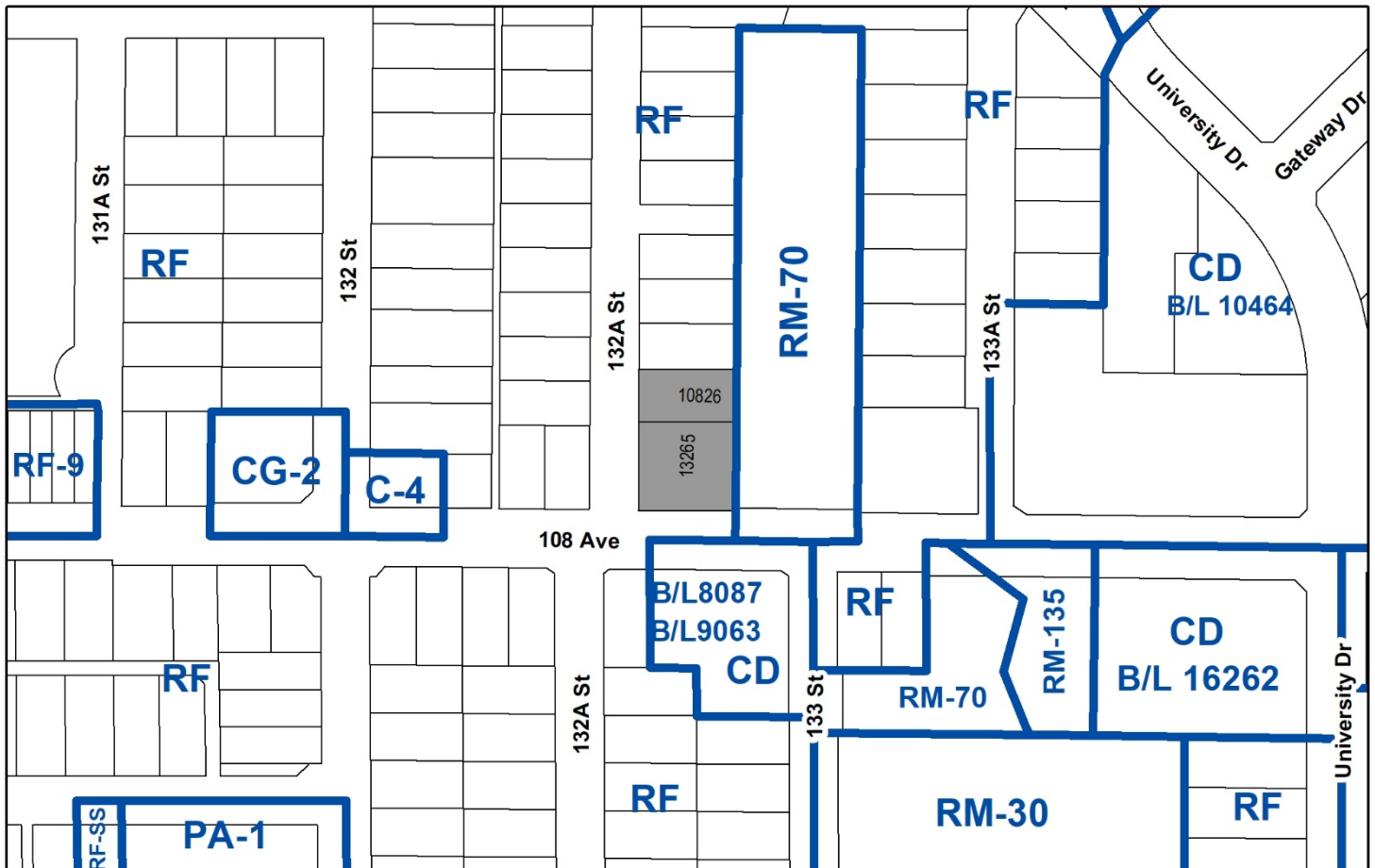
to permit the development of a 6-storey apartment building consisting of 80 dwelling units in the City Centre.

**LOCATION:** 10826 - 132A Street  
 13265 - 108 Avenue

**ZONING:** RF

**OCP DESIGNATION:** Multiple Residential

**CCP DESIGNATION:** Residential Low to Mid Rise up to 2.5 FAR.



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to reduce the required indoor amenity space.
- Approval to draft the Development Permit.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

### RATIONALE OF RECOMMENDATION

- Complies with the Multiple Residential designation in the Official Community Plan (OCP).
- Complies with the Residential Low to Mid Rise up to 2.5 FAR (floor area ratio) designation in the Surrey City Centre Plan, which was approved by Council on January 16, 2017 (Corporate Report No. R014; 2017).
- The site is within 200 metres (656 ft.) of the Gateway Skytrain Station.
- The proposed six-storey built form is appropriate for the western edge of City Centre.
- The reduced setbacks incorporated in the proposed CD Zone achieve a more urban, pedestrian streetscape along road frontages, or are a side-yard condition.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "Single-Family Residential Zone (RF) " to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council approve the applicant's request to reduce the amount of required indoor amenity space from 240 square metres (2,583 square feet) to 182 square metres (1,960 square feet).
3. Council authorize staff to draft Development Permit No. 7918-0319-00 generally in accordance with the attached drawings (Appendix II).
4. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (g) submission of an acoustical report for the units adjacent to 108 Avenue and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
  - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
  - (i) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to the City's Affordable Housing Strategy, to the satisfaction of the General Manager, Planning & Development Services; and
  - (j) the applicant adequately address the impact of reduced indoor amenity space.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

4 Elementary students at K.B Woodward School  
4 Secondary students at Kwantlen Park Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by 2022.

Parks, Recreation & Culture: No concerns.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Existing single family dwellings to be demolished.

Adjacent Area:

| Direction                   | Existing Use                     | CCP Designation                     | Existing Zone |
|-----------------------------|----------------------------------|-------------------------------------|---------------|
| North:                      | Single family dwelling           | Residential Low to Mid Rise 2.5 FAR | RF            |
| East:                       | A 4 storey residential apartment | Residential Low to Mid Rise 2.5 FAR | RM-70         |
| South (Across 108 Avenue):  | Funeral home                     | Residential Low to Mid Rise 2.5 FAR | CD            |
| West (Across 132 A Street): | Single family dwelling           | Residential Low to Mid Rise 2.5 FAR | RF            |

DEVELOPMENT CONSIDERATIONS

- The 2,343 square metre (29,955 sq. ft.) subject site consists of two properties and is located on the northeast corner of 132A Street and 108 Avenue in City Centre.
- The lots, 10826 132A Street and 13265 108 Avenue, are currently zoned "Single Family Residential Zone (RF)". Both properties are designated "Multiple Residential" in the Official Community Plan (OCP) and "Low to Mid-Rise up to 2.5 FAR" in the City Centre Plan.

- The applicant is proposing to rezone the site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)", based on the RM-70 Zone, and a Development Permit in order to allow the construction of a 6-storey apartment building. The proposal includes 80 dwelling units.
- The gross floor area ratio (FAR) proposed for this development is 2.5 which complies with the "Residential Low to Mid Rise up to 2.5 FAR" Surrey City Centre Plan designation.
- The proposed use, density, and building massing are in accordance with the long-term vision for this part of Surrey City Centre as described in the Surrey City Centre Plan, which was approved by Council on January 16, 2017 (Corporate Report No. R014; 2017). The subject site is located in The Gateway District. This District is envisioned as a mixed-use area consisting of office, retail and residential uses. Residential density for this part of the Gateway District is proposed to taper down to 2.5 FAR, as it is near the western boundary of the City Centre Plan area.
- In order to accommodate the proposed density and other aspects of the project, the applicant has applied to rezone the site to a CD Zone.

#### CD Zone

- Although the proposed building conforms in terms of height and massing to the type of building found in the RM-70 Zone, the proposed density and lot coverage cannot be accommodated in the RM-70 Zone. The proposed floor area ratio (FAR) of 2.5 exceeds the maximum FAR of 1.50 permitted in the RM-70 Zone but it complies with the maximum 2.5 FAR permitted under the "Residential Low to Mid Rise up to 2.5 FAR" designation in the Surrey City Centre Plan.
- Although the proposed density could be accommodated within the RM-135 Zone, the RM-135 Zone is designed to accommodate and regulate high-rise residential development and is, therefore, not appropriate for a mid-rise, six-storey building form.
- As a result of the proposed density, lot coverage, building height and setbacks, the applicant has applied to rezone the site to a "Comprehensive Development Zone (CD)".
- The proposed CD Zone is based upon the "Multiple Residential 70 Zone (RM-70)". The following table shows a comparison between the proposed CD Zone and the RM-70 Zone for density, lot coverage, building height and setbacks:

|                                       | <b>RM-70</b>                  | <b>Proposed CD Zone</b>                                    |
|---------------------------------------|-------------------------------|--|
| <b>Density<br/>(Floor Area Ratio)</b> | 1.5 FAR (net)                 | 2.5 FAR (gross)<br>2.63 FAR (net)                          |
| <b>Lot Coverage</b>                   | 33%                           | 48%  |
| <b>Building Height<br/>(metres)</b>   | 50 m                          | 20 m   |
| <b>Building Setbacks<br/>(metres)</b> | 7.5 metres from all lot lines | West: 4.5 m<br>North: 8.0 m<br>South: 4.5 m<br>East: 7.2 m |

- The floor area ratio (FAR) has been increased from 1.5 in the RM-70 Zone to 2.63 (net) in the CD Zone in compliance with the City Centre Plan. The FAR designation of 2.5 in the City Centre Plan is based on the gross site area while the CD Zone is based on the net site area.
- The maximum lot coverage has been increased from the 33% in the RM-70 Zone to 48% to accommodate the built form.
- The proposed lot coverage is typical for a 6-storey apartment building on a smaller site.
- The reduced setback along the west (132A Street) and south (108 Avenue) achieves a more urban, pedestrian-oriented streetscape, consistent with the goals of the City Centre Plan.

### Building Design

- The proposal incorporates a single, mid-rise (6-storey) apartment building comprised of 80 dwelling units (see Appendix II).
- The unit mix consists of 7- studio, 53 – 1 bedroom, 14 – 2 bedroom, and 6 – 3 bedroom units.
- The dwelling units will range in size between 32 square metres (344 sq. ft.) for studio units and 127 square metres (1370 sq. ft.) for the largest townhouse unit.
- The building will have an active street presence along both 108 Avenue and 132 A Street with direct unit entrances from both frontages. The lobby to the building will be accessed from 108 Avenue.
- The building applies modern contemporary style with cladding materials, including split-faced stone and cedar columns, that invoke a west coast feel.
- The vertical rhythm of the upper floor balconies helps to break up the mass of the building, along with the fifth-floor balcony "eyebrows" which help to diminish the scale of the overall structure.
- Large windows and balcony doors bring natural light into living and bedroom areas.
- The development has entry access at each street facing unit on the ground floor, which is reflective of the pedestrian scale townhouse podium requirement for apartments in City Centre. Each of the ground floor entries has an outdoor patio area.
- The exterior material palette is reflective of modern west coast architecture, with an emphasis on strategic use of cedar wood elements. For durability and anchorage, split faced stone is used which also creates a contrasting effect with the softer wood finishes.

### Indoor Amenity Space

- The proposed indoor amenity space is centrally located on the main floor of the building in two separate areas. One of the amenity areas is proposed to function as a meeting room and/or working stations. The second area is located with direct access to the outdoor amenity space and playground area. This area incorporates exercise equipment, meeting table, lounge area, games area and washroom.

- The proposed indoor amenity space totals 182 square metres (1,959 sq. ft.), which is 58 square metres (624 sq. ft.) less than the 240 square metres (2,583 sq. ft.) required under the Zoning By-law (3.0 square metres/32 sq. ft. per dwelling unit). The applicant contends the amenity space has been designed in conjunction with the outdoor amenity and will be programmed appropriately for the future residents.
- The applicant has agreed to provide a monetary contribution of \$22,800.00 (based on \$1,200 per unit) in accordance with the City policy, to address the shortfall in the required indoor amenity space.

#### Outdoor Amenity Space and Landscaping

- The proposed outdoor amenity space totals 316 square metres (3,405 sq. ft.) in area, integrated with the indoor amenity space on the north portion of the property.
- Based upon the standard Zoning By-law requirements of 3.0 square metres/32 sq. ft. per dwelling unit for outdoor amenity space, the proposed development exceeds the required 240 square metres (2,583 sq. ft.) of outdoor amenity space.
- The 316-square metre (3,405 sq. ft.) ground level outdoor amenity space includes a playground which is open and adjacent to the indoor amenity area. There is also a patio and lawn area on the east side of the building which provides distinct outdoor areas from the playground.
- The outdoor amenity areas are connected by an internal walkway, patios, playground space and outdoor green areas that provide a strong internal pedestrian network.
- Each townhouse unit on the ground floor includes a private patio framed by the terraced wall with layered planting consisting of a variety of shrubs.
- There are a variety of trees and shrubs proposed including Pink Dogwood, Flowering Plum, Little Leaf Fox, Yellow Ribbon Cedars, and Large Blue Hostas.
- A corner plaza is proposed on the southwest corner of the site at 108 Avenue and 132A Street, near the main building entrance. The plaza includes layered planting within planter walls, trees, a water feature and benches for sitting.

#### Transportation

- The proposed development of 80 apartment dwelling units will generate approximately 17 peak hour vehicular trips in accordance to the Institution of Transportation Engineering Trip Generation Manual, 10th Edition (General Urban/Suburban category).
- The City's Engineering Design Criteria requires applicants to provide Transportation Impact Study (TIS) should vehicular trips be greater than 150 in the peak hour of the generator. The subject application did not meet this threshold, and therefore a TIS was not required.
- All parking will be provided underground and will be accessed from 132A Street to the west.

- The proposed development includes a total of 89 parking spaces, which exceeds the 80 required parking stalls. Surrey Zoning By-law requires a total of 72 resident parking spaces and 8 parking spaces for visitors. Three (3) are accessible stalls within an enclosed two-level underground parking garage.
- The visitor spaces are located within a secured portion of the underground parking garage.
- The RM-70 Zone requires that no parking facilities be constructed within 2.0 metres (6.6 ft.) of the front lot line or a lot line along a flanking street. The proposed CD Zone will permit the underground parking facility to extend to within 0.5 metre (2 ft.) of the eastern, southern and northern property lines.
- In addition, the development will be providing a total of 101 secure residential bicycle parking spaces and 6 visitor bicycle parking spaces. This exceeds the 102 required bicycle parking spaces (96 resident and 6 visitor).

#### District Energy

- The subject site is located within Service Area A, as defined in the "City Centre District Energy System By-law" (see Appendix VI for location). The District Energy System consists of three primary components:
  - Community energy centres, City-operated facilities that generate thermal energy for distribution through a piped hot water network;
  - Distribution piping that links the community energy centres with buildings connected to the system; and
  - City-owned energy transfer stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system and is used to meter the amount of energy used.
- All new developments within Service Area A, with a build-out density equal to or greater than a floor area ratio (FAR) of 1.0, will be required to provide hydronic thermal energy systems in support of the City's District Energy (DE) system including domestic hot water, make-up air units and in-suite hydronic space heating. The City is committed to having the DE system operational within the timeframe of this project. Therefore, the subject application will be required to connect to the City's DE system prior to occupancy.
- In order to avoid conflicts between the District Energy System and other utilities, the location of the ETS and related service connections will be reviewed by Engineering and the applicant at the servicing agreement stage. Prior to the issuance of the Building Permit, the Engineering Department will require the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for the following purposes:
  - City access to, and maintenance and operation of, the ETS within the building and any infrastructure between the building and the property line; and
  - to prevent conflicts with other utilities.



- Prior to the issuance of a building permit, the Engineering Department will confirm that the applicant has met the requirements of the "City Centre District Energy System By-law".

#### Surrey School District Comments

- Surrey School District comments have outlined that KB Woodward Elementary and Kwantlen Park Secondary are operating above capacity, which is currently being addressed by the addition of portables. The Ministry of Education has prepared a feasibility study to build a 200-student capacity addition to KB Woodward and Surrey School District has requested funding for a 300 student capacity addition to Kwantlen Park Secondary.

#### Public Art and Affordable Housing

- On April 9, 2018 Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy, which is \$1,000 per dwelling unit for an estimated total of \$80,000.
- The applicant will be required to provide public art or register a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant must resolve this requirement prior to consideration of Final Adoption. The public art contribution is 0.50% of the estimated project construct cost for each building permit and is paid by the Owner to the City prior to issuance of the Building Permit.

#### PRE-NOTIFICATION

Pre-notification letters were sent out on November 21, 2018 to a total of 1493 addresses and development proposal signs were installed on the property. Staff did not receive any responses from property owners within the pre-notification area.

#### TREES

- Terry Thrale, ISA Certified Arborist of Woodridge Tree Consulting Arborists prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

| <b>Tree Species</b>  | <b>Existing</b> | <b>Remove</b>   | <b>Retain</b> |
|--|-----------------|-----------------|---------------|
| <b>Alder and Cottonwood Trees</b>  |                 |                 |               |
| Alder  | 1               | 1               | 0             |
| <b>Deciduous Trees<br/>(excluding Alder and Cottonwood Trees)</b>              |                 |                 |               |
| Birch  | 1               | 1               | 0             |
| Cherry   | 4               | 4               | 0             |
| Elm  | 2               | 2               | 0             |
| Mountain Ash   | 2               | 2               | 0             |
| <b>Coniferous Trees</b>  |                 |                 |               |
| Douglas Fir  | 23              | 23              | 0             |
| Blue Spruce  | 1               | 1               | 0             |
| <b>Total (excluding Alder and Cottonwood Trees)</b>                            | <b>33</b>       | <b>33</b>       | <b>0</b>      |
| <b>Total Replacement Trees Proposed<br/>(excluding Boulevard Street Trees)</b> |                 | <b>23</b>       |               |
| <b>Total Retained and Replacement Trees</b>                                    |                 | <b>23</b>       |               |
| <b>Contribution to the Green City Fund</b>                                     |                 | <b>\$17,600</b> |               |

- The Arborist Assessment states that there are a total of 33 protected trees on the site, excluding Alder and Cottonwood trees. 1 existing trees, less than 1% of the total trees on the site, are Alder trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 67 replacement trees on the site. Since only 23 replacement trees can be accommodated on the site the deficit of 44 replacement trees will require a cash-in-lieu payment of \$17,600 representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.
- In addition to the replacement trees, boulevard street trees will be planted on 108 Avenue and 132A Street. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Pink Dogwood, Black Pine, and Japanese Snowbell.

- In summary, a total of 23 trees are proposed to be retained or replaced on the site with a contribution of \$17,600 to the Green City Fund.

### SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on August 15, 2019. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

| <b>Sustainability Criteria</b>                 | <b>Sustainable Development Features Summary</b>  |
|--|--|
| 1. Site Context & Location<br>(A1-A2)          | <ul style="list-style-type: none"> <li>• The subject site is located within the Surrey City Centre Plan and within 200m of the Gateway Skytrain station.</li> </ul>  |
| 2. Density & Diversity<br>(B1-B7)              | <ul style="list-style-type: none"> <li>• The proposed 2.5 FAR density is reflective of the designation in the City Centre Plan.</li> <li>• A range of unit types are proposed including studio and 3 bedroom units.</li> </ul>             |
| 3. Ecology & Stewardship<br>(C1-C4)            | <ul style="list-style-type: none"> <li>• Natural landscaping and rain gardens are proposed.</li> </ul>   |
| 4. Sustainable Transport & Mobility<br>(D1-D2) | <ul style="list-style-type: none"> <li>• The project proposes to provide electric vehicle charging stations and secured bicycle parking.</li> </ul>  |
| 5. Accessibility & Safety<br>(E1-E3)           | <ul style="list-style-type: none"> <li>• There are 24 adaptable units proposed.</li> <li>• Secured underground parking is provided.</li> </ul>   |
| 6. Green Certification<br>(F1)                 | <ul style="list-style-type: none"> <li>• The building will achieve Step Code 2.</li> </ul>   |
| 7. Education & Awareness<br>(G1-G4)            | <ul style="list-style-type: none"> <li>• The development is in the City's District Energy Area A and will be required to connect.</li> <li>• Pre-notification letters were sent, and a development proposal sign was installed.</li> </ul> |

### ADVISORY DESIGN PANEL

ADP Date: April 25, 2019

The applicant has resolved all of the outstanding items from the ADP review to the satisfaction of the Planning and Development Department (see Appendix VII).

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

|                |   |
|----------------|---|
| Appendix I.    | Project Data Sheets   |
| Appendix II.   | Site Plan, Building Elevations, Landscape Plans and Perspective |
| Appendix III.  | Engineering Summary   |
| Appendix IV.   | School District Comments  |
| Appendix V.    | Summary of Tree Survey and Tree Preservation                    |
| Appendix VI.   | District Energy Service Area Map                                |
| Appendix VII.  | ADP Comments and Applicant's Response                           |
| Appendix VIII. | Proposed CD By-law  |

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Martin Liew Architecture Inc. and PMG Landscape, respectively, dated June 7, 2019 and June 14, 2019.

*original signed by Ron Gill*

Jean Lamontagne  
General Manager  
Planning and Development

IM/cm

## DEVELOPMENT DATA SHEET

Proposed Zoning: CD

| Required Development Data           | Minimum Required /<br>Maximum Allowed | Proposed         |
|-------------------------------------|---------------------------------------|------------------|
| LOT AREA* (in square metres)        |                                       |                  |
| Gross Total                         |                                       | 2,343 sq.m       |
| Road Widening area                  |                                       | 117.5 sq. m      |
| Undevelopable area                  |                                       |                  |
| Net Total                           |                                       | 2,225.9 sq. m    |
|                                     |                                       |                  |
| LOT COVERAGE (in % of net lot area) |                                       |                  |
| Buildings & Structures              | 33%                                   | 48%              |
| Paved & Hard Surfaced Areas         |                                       | 42%              |
| Total Site Coverage                 |                                       |                  |
|                                     |                                       |                  |
| SETBACKS ( in metres)               |                                       |                  |
| Front-South                         | 7.5m                                  | 4.5m             |
| Rear-North                          | 7.5m                                  | 8.0m             |
| Side- West                          | 7.5m                                  | 4.5m             |
| Side- East                          | 7.5m                                  | 7.2m             |
|                                     |                                       |                  |
|                                     |                                       |                  |
| BUILDING HEIGHT (in metres/storeys) |                                       |                  |
| Principal                           | 50m                                   | 19.53m/6 storeys |
| Accessory                           |                                       |                  |
|                                     |                                       |                  |
| NUMBER OF RESIDENTIAL UNITS         |                                       |                  |
| Bachelor                            |                                       | 7                |
| One Bed                             |                                       | 53               |
| Two Bedroom                         |                                       | 14               |
| Three Bedroom +                     |                                       | 6                |
| Total                               |                                       | 80               |
|                                     |                                       |                  |
| FLOOR AREA: Residential             |                                       | 5858 sq.m        |
|                                     |                                       |                  |
| FLOOR AREA: Commercial              |                                       |                  |
| Retail                              |                                       |                  |
| Office                              |                                       |                  |
| Total                               |                                       |                  |
|                                     |                                       |                  |
| FLOOR AREA: Industrial              |                                       |                  |
|                                     |                                       |                  |
| FLOOR AREA: Institutional           |                                       |                  |
|                                     |                                       |                  |
| TOTAL BUILDING FLOOR AREA           |                                       | 5858 sq.m        |

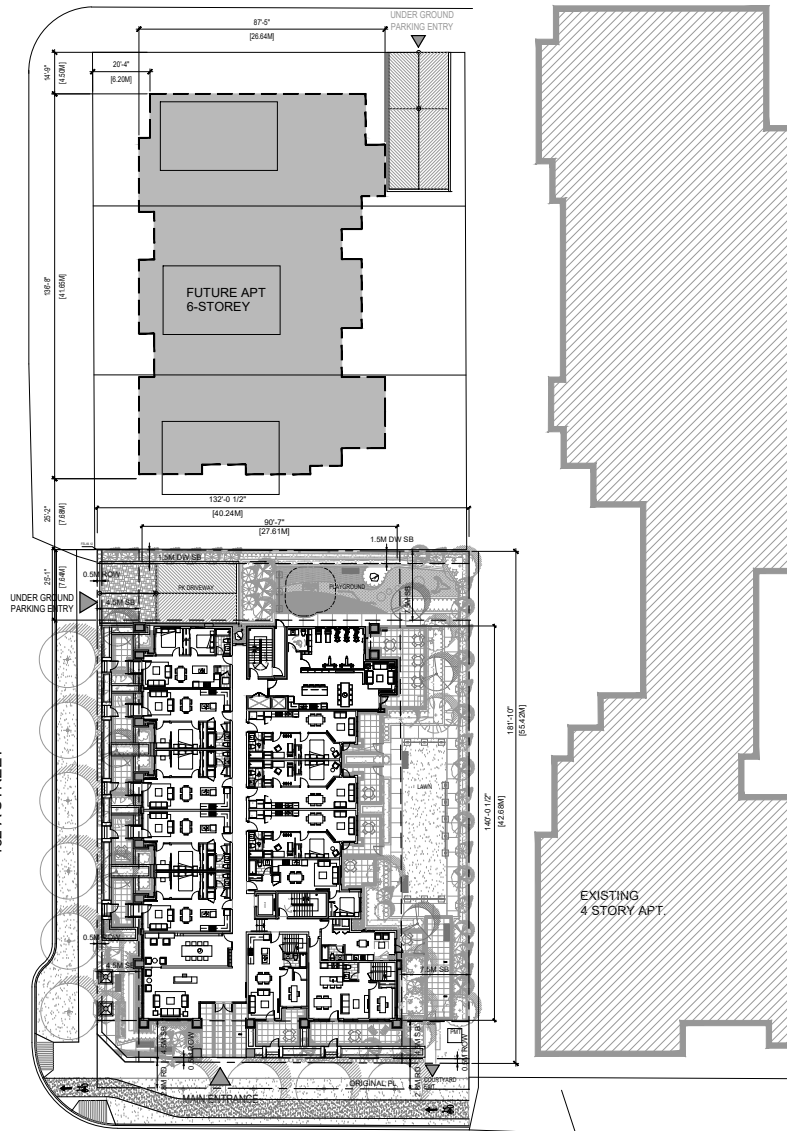
| Required Development Data                                  | Minimum Required / Maximum Allowed | Proposed      |
|--|------------------------------------|---------------|
| DENSITY  |                                    |               |
| # of units/ha /# units/acre (gross)                        |                                    | 316uph/128upa |
| # of units/ha /# units/acre (net)                          |                                    | 333uph/135upa |
| FAR (gross)  |                                    | 2.5           |
| FAR (net)  | 1.5                                | 2.63          |
|  |                                    |               |
| AMENITY SPACE (area in square metres)                      |                                    |               |
| Indoor   | 240 sq.m                           | 182 sq.m      |
| Outdoor  | 240 sq.m                           | 316 sq.m      |
|  |                                    |               |
| PARKING (number of stalls)                                 |                                    |               |
| Commercial   |                                    | N/A           |
| Industrial   |                                    |               |
|  |                                    |               |
| Residential Bachelor + 1 Bedroom                           | 72                                 | 80            |
| 2-Bed  |                                    |               |
| 3-Bed  |                                    |               |
| Residential Visitors                                       | 8                                  | 9             |
|  |                                    |               |
| Institutional  |                                    |               |
|  |                                    |               |
| Total Number of Parking Spaces                             |                                    | 89            |
|  |                                    |               |
| Number of accessible stalls                                |                                    | 3             |
| Number of small cars                                       |                                    | 3             |
| Tandem Parking Spaces: Number / % of Total Number of Units |                                    | N/A           |
| Size of Tandem Parking Spaces width/length                 |                                    | N/A           |

|               |        |                                 |        |
|---------------|--------|---------------------------------|--------|
| Heritage Site | YES/NO | Tree Survey/Assessment Provided | YES/NO |
|---------------|--------|---------------------------------|--------|

ARCHITECTURAL DRAWINGS  
7918-0319-00



132 A STREET



108 AVE



| PROJECT SUMMARY    |   |
|--------------------|---|
| ADDRESS:           | 10826 132A STREET, SURREY<br>13265 108 AVENUE, SURREY   |
| LEGAL DESCRIPTION: | LOT 3 SEC 15 BLK 5 NORTH RANGE 2 WEST NWDP 20255<br>LOT A (U8084E) SEC 15 BLK 5 NORTH RANGE 2 WEST NWDP 20255 |
| EXISTING ZONING:   | RF  |
| PROPOSED ZONING:   | CD-BASED ON RM-70   |
| OCF / NCP          | CITY CENTRE PLAN  |

| LOT AREA              | PROPOSED [SM] | [SF]     | REQUIRED. [SM] |
|-----------------------|---------------|----------|----------------|
| GROSS TOTAL:          | 2,343         | 25,220   |                |
| ROAD DEDICATION AREA: | 117.5         | 1,264.8  |                |
| UNDEVELOPMENT AREA:   | N/A           |          |                |
| NET TOTAL:            | 2,225.9       | 23,955.2 |                |

| BUILDING AREA              | PROPOSED / MAX ALLOW. | [SF]   | REQUIRED. [SM]                |
|----------------------------|-----------------------|--------|-------------------------------|
| FAR (GROSS)                | 2.5                   |        |                               |
| TOTAL BUILDING AREA (FAR)* | 5858.5                | 63,060 | EXCLUDING INDOOR AMENITY AREA |
| TOTAL BUILDING AREA        | 6037                  | 65,016 | INCLUDING INDOOR AMENITY AREA |
| RESIDENTIAL AREA (NET)     | 5335                  | 57425  |                               |
| OUTDOOR AMENITY AREA       | 316                   | 3405   | 240                           |
| INDOOR AMENITY AREA        | 182                   | 1957   | 240 58 SM (CASH IN LIEU REQ.) |
| UPA (GROSS)                | 128 UPA               |        |                               |
| UPH (GROSS)                | 316 UPH               |        |                               |

| BLDG. HEIGHT |          |        |  |
|--------------|----------|--------|--|
| STOREY       | 6 STOREY |        |  |
| ELEVATION    | 19.53 M  | 64'-0" |  |

| SUITE COUNT. |    |       |                             |
|--------------|----|-------|-----------------------------|
| TOTAL SUITES | 80 | 100%  | 24 ( 33% ) ADAPTABLE SUITES |
| TOWN HOUSE   | 2  | 3%    |                             |
| STUDIO       | 7  | 8.8%  |                             |
| 1BD          | 53 | 66.3% |                             |
| 2BD          | 14 | 17.5% |                             |
| 3BD/TH       | 4  | 5.0%  |                             |

| REMARKS                  |           |
|--------------------------|-----------|
| APPLICABLE BUILDING CODE | BCBC 2018 |
| REQUIRED STEP CODE       | 2         |

Notes

| No. | Date       | Description               |
|-----|------------|---------------------------|
| 1   | 15-08-2018 | ISSUED FOR DP APPLICATION |
| 2   | 01-22-2019 | ISSUED FOR REVIEW         |
| 3   | 11-03-2019 | ISSUED FOR REVIEW         |
| 4   | 25-04-2019 | ISSUED FOR ADP            |
| 5   | 17-05-2019 | ISSUED FOR REVIEW         |
| 6   | 19-06-2019 | ISSUED FOR REVIEW         |

Revision

| No. | Date | Appr. | Description |
|-----|------|-------|-------------|
|     |      |       |             |

Client

Perse Consultant

**MARTIN LIEW ARCHITECTURE INC.**

1328, 17th AVENUE, SURREY BC  
CANADA V3R 1K2  
Phone: +1 (604) 288-2026  
Email: martin.liew@gmail.com

Scale

Consultants

North Arrow

Notes

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Project Title

**Multi-Residential Apartment**  
10826 132A ST + 13265 108 AVE.  
Surrey, BC

Sheet Title

**SITE PLAN**

| Scale | Date       |
|-------|------------|
| 1:250 | 15-08-2018 |

| Drawn | Checked |
|-------|---------|
| MLAI  | ML      |

| Project No. | Sheet No.   |
|-------------|-------------|
| S1801       | <b>A002</b> |

ARCH-D - ACT 2018



DETAIL / BREAKDOWN

| DENSITY                        | MIN. REQ'D / MAX ALLOWED | PROPOSED          |  |
|--------------------------------|--------------------------|-------------------|--|
| # UNITS/HA, #UNIT/ACRE (GROSS) | 70 UPA                   | 316 UPH / 128 UPA |  |
| # UNITS/HA, #UNIT/ACRE (NET)   | 70 UPA                   | 333 UPH / 135 UPA |  |
| FAR ( GROSS )                  | 2.5                      | 2.5               |  |
| FAR ( NET )                    | 2.63                     | 2.63              |  |

| AMENITY SPACE (SQ.M)        | MIN. REQ'D / MAX ALLOWED | PROPOSED        | [ SF ] |
|-----------------------------|--------------------------|-----------------|--------|
| INDOOR ( 3 SQ.M PER UNIT )  | 240                      | ( 2518 SF ) 182 | 1,957  |
| OUTDOOR ( 3 SQ.M PER UNIT ) | 240                      | 316             | 3405   |

| LOT COVERAGE (% OF NET LOT AREA) | MIN. REQ'D / MAX ALLOWED | PROPOSED | [ SM ] |
|----------------------------------|--------------------------|----------|--------|
| BLDG & STRUCTURES                |                          | 48%      | 1,064  |
| PAVED & HARD SR FACED AREAS      |                          | 42%      | 1,162  |
| TOTAL SITE COVERAGE              |                          | 100%     | 2,226  |

| SETBACKS ( M ) | MIN. REQ'D / MAX ALLOWED | PROPOSED [ M ] | [ FT. ] |
|----------------|--------------------------|----------------|---------|
| FRONT ( S )    | 4.5                      | 4.5            | 14.7'   |
| REAR ( N )     | 7.5                      | 7.5            | 24.6'   |
| SIDE #1 ( E )  | 7.5                      | 7.5            | 24.6'   |
| SIDE #2 ( W )  | 4.5                      | 4.5            | 14.7'   |

| TOTAL RESIDENTIAL UNITS | MIN. REQ'D / MAX ALLOWED | PROPOSED | REMARKS |
|-------------------------|--------------------------|----------|---------|
| TOWN HOUSE              |                          | 2        |         |
| BACHELOR                |                          | 7        |         |
| ONE BEDROOM             |                          | 53       |         |
| TWO BEDROOM             |                          | 14       |         |
| THREE BEDROOM           |                          | 4        |         |
| TOTAL                   |                          | 80       |         |

PARKING COUNT BREAKDOWN

| PARKING                         | MIN. REQ'D / MAX ALLOWED | PROPOSED | REMARKS                    |
|---------------------------------|--------------------------|----------|----------------------------|
| RESIDENTIAL                     |                          |          |                            |
| 1 BD + STUDIO ( 0.9 / SUITE )   | 54                       | 54       |                            |
| 2 BD + 3 BD ( 0.9 / SUITE )     | 16.2                     | 16.2     |                            |
| TH / 3 BD ( 2 / SUITE )         | 4                        | 4        |                            |
| VISITOR ( 0.1 / SUITE )         | 8                        | 9        |                            |
| SURPLUS                         |                          | 6        |                            |
| TOTAL # OF PARKING SPACE        | 82                       | 89       |                            |
| DISABLED STALLS ( 2 / 100-200 ) | 2                        | 3        | INCLUDED IN TOTAL PK SPACE |
| SMALL CAR STALLS                |                          | 3        | INCLUDED IN TOTAL PK SPACE |
| ELEC. CAR STALL                 |                          | 6        | INCLUDED IN TOTAL PK SPACE |

BIKE STORAGE

| TOTAL # OF BIKE STORAGE SPACE | MIN. REQ'D / MAX ALLOWED | PROPOSED | REMARKS |
|-------------------------------|--------------------------|----------|---------|
| RESIDENCE                     | 1.2 / UNIT               | 96       |         |
| VISITOR                       | 6 VISITOR SPACE PER BLDG | 6        |         |
| TOTAL                         |                          | 102      |         |

BLDG. AREA BREAKDOWN

| FLOOR            | GROSS AREA ( SF )   | AMENITY  | SERVICE AREA (SF) / LOBBY (SF) | SELABLE AREA (SF) | EFF %   |
|------------------|---|----------|--------------------------------|-------------------|---------|
| P2               |   |          |                                |                   |         |
| P1               |   |          |                                |                   |         |
| SUB TOTAL        | AMENITY AREA AND BELOW GRADE PARKING STRUCTURE AREAS ARE EXCLUDED FROM FAR / BUILDABLE AREA |          |                                |                   |         |
| GROUND           | 11,064  | 1,430    | 2,017                          | 7,617             | 68.84%  |
| LEVEL 2          | 11,000  | 527      | 1,859                          | 8,614             | 78.31%  |
| LEVEL 3          | 10,797  |          | 1,349                          | 9,448             | 87.51%  |
| LEVEL 4          | 10,684  |          | 1,349                          | 9,335             | 87.38%  |
| LEVEL 5          | 10,684  |          | 1,349                          | 9,335             | 87.38%  |
| LEVEL 6          | 10,684  |          | 1,349                          | 9,335             | 87.38%  |
| ROOF             | 103   |          | 291                            |                   |         |
| TOTAL            | 65,016  | 1,957    | 9,562                          | 53,685            | 82.798% |
| EXCLUDED AMENITY | 63,059  | FAR AREA |                                |                   |         |

SUITE COUNT BREAKDOWN

| LEVEL      | SUITE / FLOOR | STUDIO | 1BD / 1BD + DEN | 2BD / 2BD + DEN | 3BD  | TH   |
|------------|---------------|--------|-----------------|-----------------|------|------|
| GROUND     | 12            | 1      | 8               | 1               | 0    | 2    |
| LEVEL 2    | 12            | 2      | 9               | 1               | 0    |      |
| LEVEL 3    | 14            | 1      | 9               | 3               | 1    |      |
| LEVEL 4    | 14            | 1      | 9               | 3               | 1    |      |
| LEVEL 5    | 14            | 1      | 9               | 3               | 1    |      |
| LEVEL 6    | 14            | 1      | 9               | 3               | 1    |      |
| TOTAL      | 80            | 7      | 53              | 14              | 4    | 2    |
| PERCENTAGE | 100%          | 8.8%   | 66.3%           | 17.5%           | 5.0% | 2.5% |

| No. | Date       | Description               |
|-----|------------|---------------------------|
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| 2   | 01-22-2019 | ISSUED FOR REVIEW         |
| 3   | 11-03-2019 | ISSUED FOR REVIEW         |
| 4   | 20-04-2019 | ISSUED FOR ADP            |
| 5   | 17-05-2019 | ISSUED FOR REVIEW         |
| 6   | 19-06-2019 | ISSUED FOR REVIEW         |

| No.      | Date | Appr. | Description |
|----------|------|-------|-------------|
| Revision |      |       |             |


Client

Perse Consultant  
**MARTIN LIEW ARCHITECTURE INC.**  
 1239 THE AVENUE, SUITE 101 BC  
 COXHEAVEN, V1R 4P6  
 Phone: +1 (604) 288-3036  
 Email: martin.liew@gmail.com

Scale

Consultants

Notes  
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Project Title  
**Multi-Residential Apartment**  
 10826 132A ST + 13265 108 Ave.  
 Surrey, BC

Sheet Title  
**SITE PLAN**

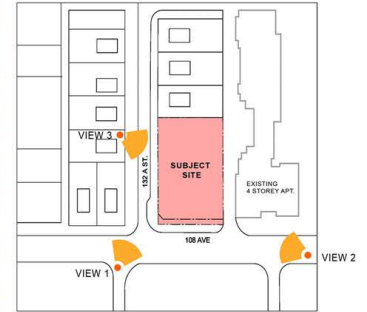
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| Scale<br>1: 250      | Date<br>15-08-2018       |
| Drawn<br>MLAI        | Checked<br>ML            |
| Coord File           | Sheet No.<br><b>A003</b> |
| Project No.<br>S1801 |                          |



VIEW 1 108 AVE. SOUTH WEST CORNER



AERIAL VIEW - SOUTH WEST



KEY PLAN

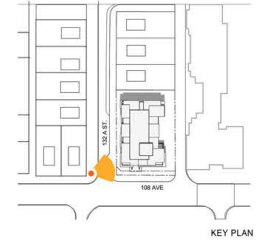


VIEW 2 108 AVE. SOUTH EAST CORNER



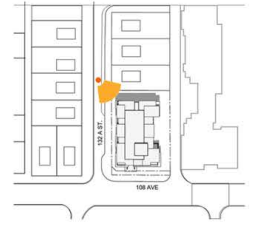
VIEW 3 132A STREET LOOKING SOUTH

PERSPECTIVE RENDERING AT THE SOUTH WEST CORNER @ 132A STREET + 108A VENUE



NOTE: RENDERINGS ONLY ILLUSTRATE PROPOSED BLDG. MASSING. REFER TO LANDSCAPE DWG FOR PROPOSED PLANTS

PERSPECTIVE RENDERING AT THE SOUTH WEST CORNER @ 132A STREET

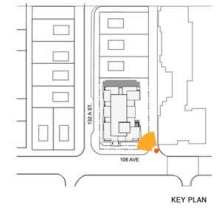


KEY PLAN

NOTE: RENDERINGS ONLY ILLUSTRATE PROPOSED BLDG. MASSING. REFER TO LANDSCAPE DWG FOR PROPOSED PLANTS



SOUTH-EAST CORNER  
PERSPECTIVE RENDERING



108 AVE.  
PERSPECTIVE RENDERING



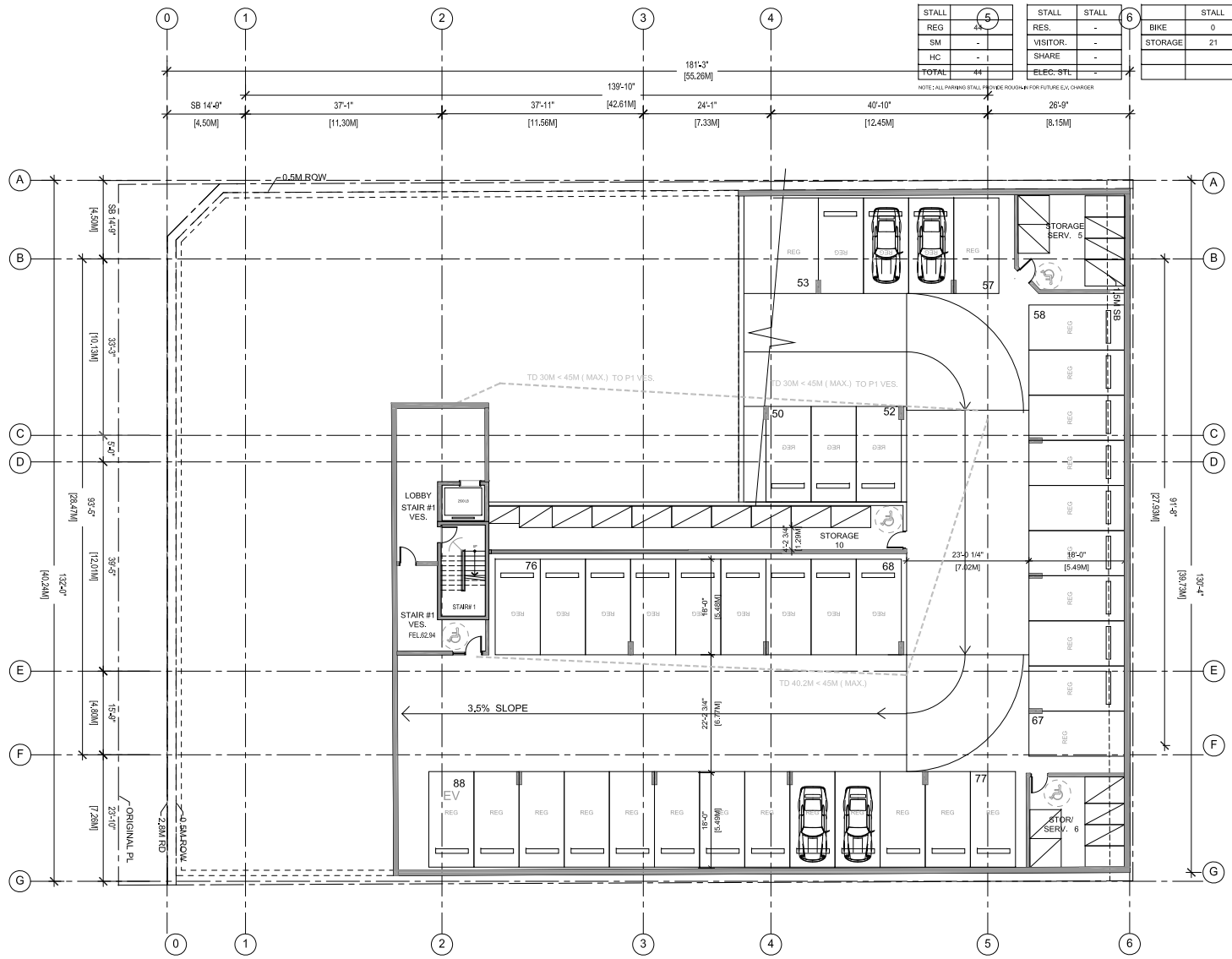
NOTE: RENDERINGS ONLY ILLUSTRATE PROPOSED BLDG. MASSING  
REFER TO LANDSCAPE DWG FOR PROPOSED PLANTS



STREET ELEVATION @ 108 AVENUE



STREET ELEVATION @ 132A STREET



**P2 PARKING**

|              |          |                  |       |   |         |       |
|--------------|----------|------------------|-------|---|---------|-------|
| STALL        | 5        | STALL            | STALL | 6 | BIKE    | STALL |
| REG          | 4        | RES.             | -     | - | 0       | 0     |
| SM           | -        | VISITOR          | -     | - | STORAGE | 21    |
| HC           | -        | SHARE            | -     | - |         |       |
| <b>TOTAL</b> | <b>4</b> | <b>ELEC. ST.</b> | -     | - |         |       |

NOTE: CALL PARKING STALL #10 TO BE ROOM#4 FOR FUTURE E.V.C. CHARGER

| Rev | Date       | Description               |
|-----|------------|---------------------------|
| 1   | 15-06-2018 | ISSUED FOR DP APPLICATION |
| 2   | 01-02-2019 | ISSUED FOR REVIEW         |
| 3   | 11-03-2019 | ISSUED FOR REVIEW         |
| 4   | 25-04-2019 | ISSUED FOR ADP            |
| 5   | 11-06-2019 | ISSUED FOR REVIEW         |
| 6   | 16-06-2019 | ISSUED FOR REVIEW         |

Architect  
 Name: \_\_\_\_\_  
 Title: \_\_\_\_\_

Project Consultant  
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 2008 17th AVENUE, SURREY BC,  
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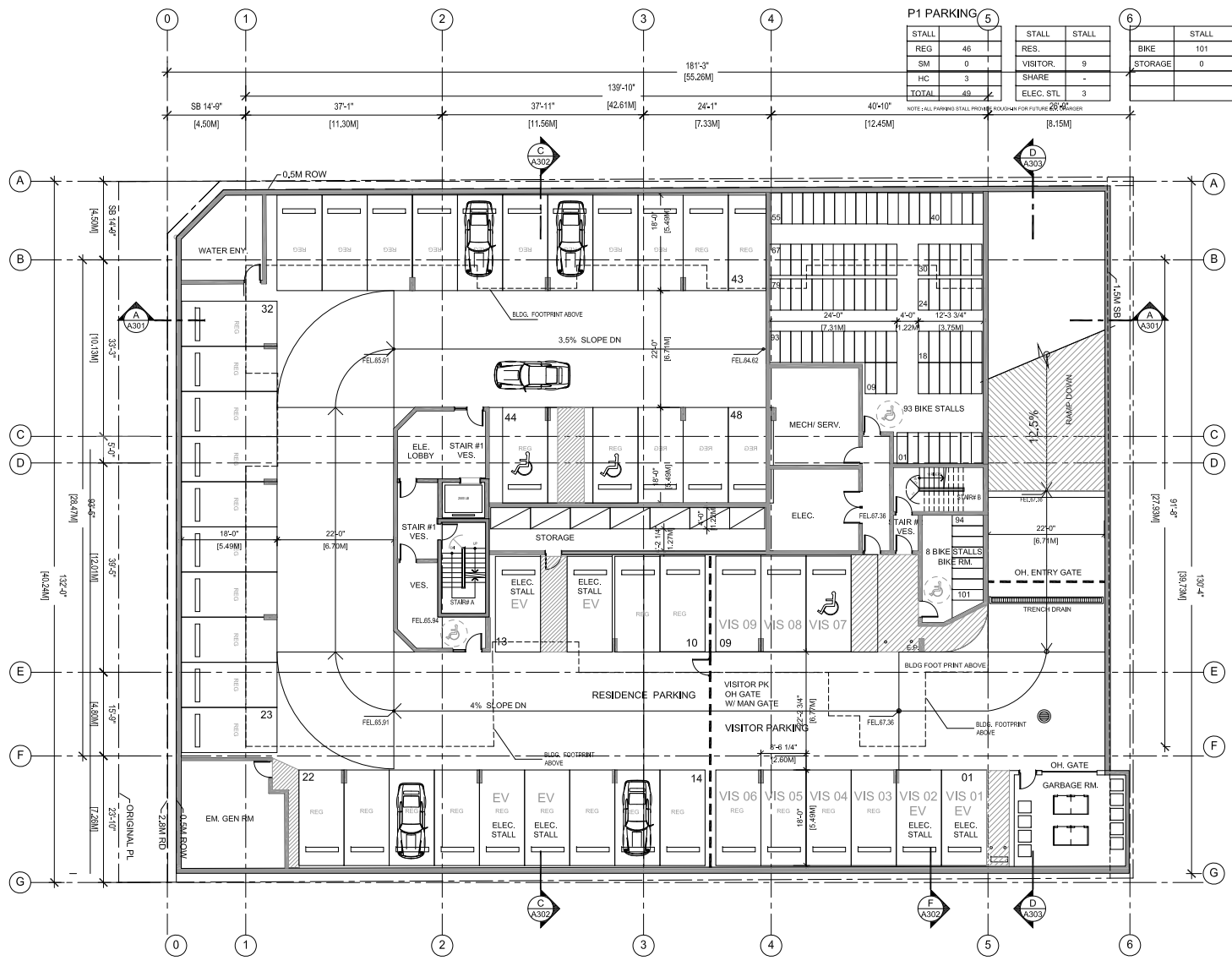
Consultant  
 Name: \_\_\_\_\_  
 Title: \_\_\_\_\_

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Project No:  
**Multi-Residential Apartment**  
 10826 132A ST + 13265 108 Ave.  
 Surrey, BC

Sheet No:  
**PARKING LEVEL 2**

|              |                          |            |             |
|--------------|--------------------------|------------|-------------|
| Scale:       | 1:100' = 1" = 1' / 1:200 | Date:      | 3/6/2019    |
| Drawn:       | MLL                      | Checked:   | MLL         |
| Color No.:   |                          | Sheet No.: |             |
| Project No.: | 51891                    | Sheet No.: | <b>A101</b> |



**P1 PARKING**

| STALL | REG | SM | HC | TOTAL |
|-------|-----|----|----|-------|
|       | 46  | 0  | 3  | 49    |

| STALL     | STALL |
|-----------|-------|
| RES.      | 9     |
| VISITOR   | 9     |
| SHARE     | -     |
| ELEC. STL | 3     |

| STALL   | STALL |
|---------|-------|
| BIKE    | 101   |
| STORAGE | 0     |

NOTE: ALL PARKING STALLS PROVIDED FOR FUTURE CONSIDER

| Rev | Date       | Description               |
|-----|------------|---------------------------|
| 1   | 15-08-2018 | ISSUED FOR DP APPLICATION |
| 2   | 01-02-2019 | ISSUED FOR REVIEW         |
| 3   | 11-03-2019 | ISSUED FOR REVIEW         |
| 4   | 25-04-2019 | ISSUED FOR ADP            |
| 5   | 11-05-2019 | ISSUED FOR REVIEW         |

Architect  
 Name: \_\_\_\_\_  
 Title: \_\_\_\_\_

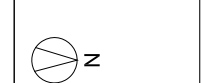
Client  
 Name: \_\_\_\_\_  
 Title: \_\_\_\_\_

Project  
 Name: \_\_\_\_\_

Site  
 Name: \_\_\_\_\_

Consultant  
 Name: \_\_\_\_\_

Scale  
 1:100



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Project No.  
 Multi-Residential Apartment  
 10826 132A ST + 13265 108 Ave.  
 Surrey, BC

Sheet No.  
**PARKING LEVEL 1**

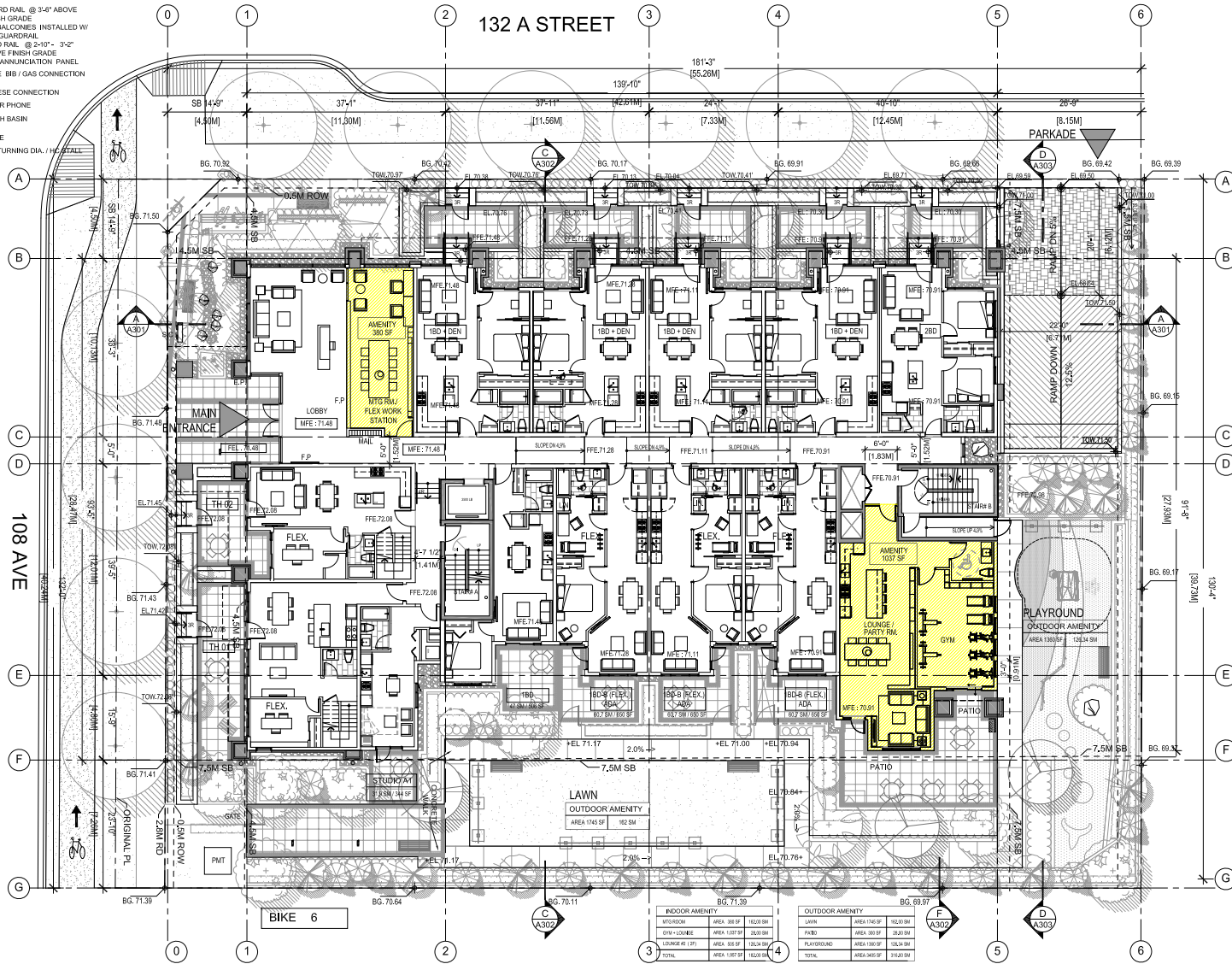
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| Scale<br>1:100 = 1/4" = 1' / 1:200 | Date<br>30/09/2018 |
| Drawn<br>MLA                       | Checked<br>MLA     |
| Client No.                         | Sheet No.          |
| Project No.<br>S1001               |                    |

**A102**

ARCHITECT: M. LIEW ARCHITECTURE INC.



- ⊠ F.D. FLOOR DRAIN, MIN 1.5% SLOPE
- GR. FINISH GRADE @ 3/4" ABOVE
- BALC. ALL BALCONIES INSTALLED W/ 3/4" GUARDRAIL
- HR. HAND RAIL @ 2'-0" - 3'-2" ABOVE FINISH GRADE
- F.P. FIRE ANNUNCIATION PANEL
- HOSE BIB / GAS CONNECTION
- SC SIEMSE CONNECTION
- E.P. ENTER PHONE
- CB CATCH BASIN
- SLOPE
- 5'-0" TURNING DIA. / H/STALL



| INDOOR AMENITY |      |          |                       |
|----------------|------|----------|-----------------------|
| GYM            | AREA | 362 SF   | 162.00 M <sup>2</sup> |
| LOUNGE         | AREA | 1,027 SF | 469.00 M <sup>2</sup> |
| STUDY          | AREA | 344 SF   | 158.00 M <sup>2</sup> |
| TOTAL          | AREA | 1,733 SF | 799.00 M <sup>2</sup> |

| OUTDOOR AMENITY |      |          |                       |
|-----------------|------|----------|-----------------------|
| LAWN            | AREA | 1,145 SF | 52.80 M <sup>2</sup>  |
| PATIO           | AREA | 360 SF   | 166.00 M <sup>2</sup> |
| PLAYGROUND      | AREA | 1,900 SF | 87.80 M <sup>2</sup>  |
| TOTAL           | AREA | 3,405 SF | 157.40 M <sup>2</sup> |

| Rev | Date       | Description               |
|-----|------------|---------------------------|
| 1   | 15-08-2018 | ISSUED FOR DP APPLICATION |
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| 4   | 25-04-2019 | ISSUED FOR ADP            |
| 5   | 11-05-2019 | ISSUED FOR REVIEW         |
| 6   | 19-06-2019 | ISSUED FOR REVIEW         |

| No. | Date | Author | Check/Rev |
|-----|------|--------|-----------|
|     |      |        |           |

Project:

Client:

Architect:

**MARTIN LEW ARCHITECTURE INC.**

1008 17th Avenue, Burnaby BC, Canada V5C 1K6  
 Phone: +1 604 293-2500  
 Email: martin@mla.ca

Scale:

Consultant:

Notes:

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Project No: 10826 132A ST + 10265 108 Ave, Surrey, BC

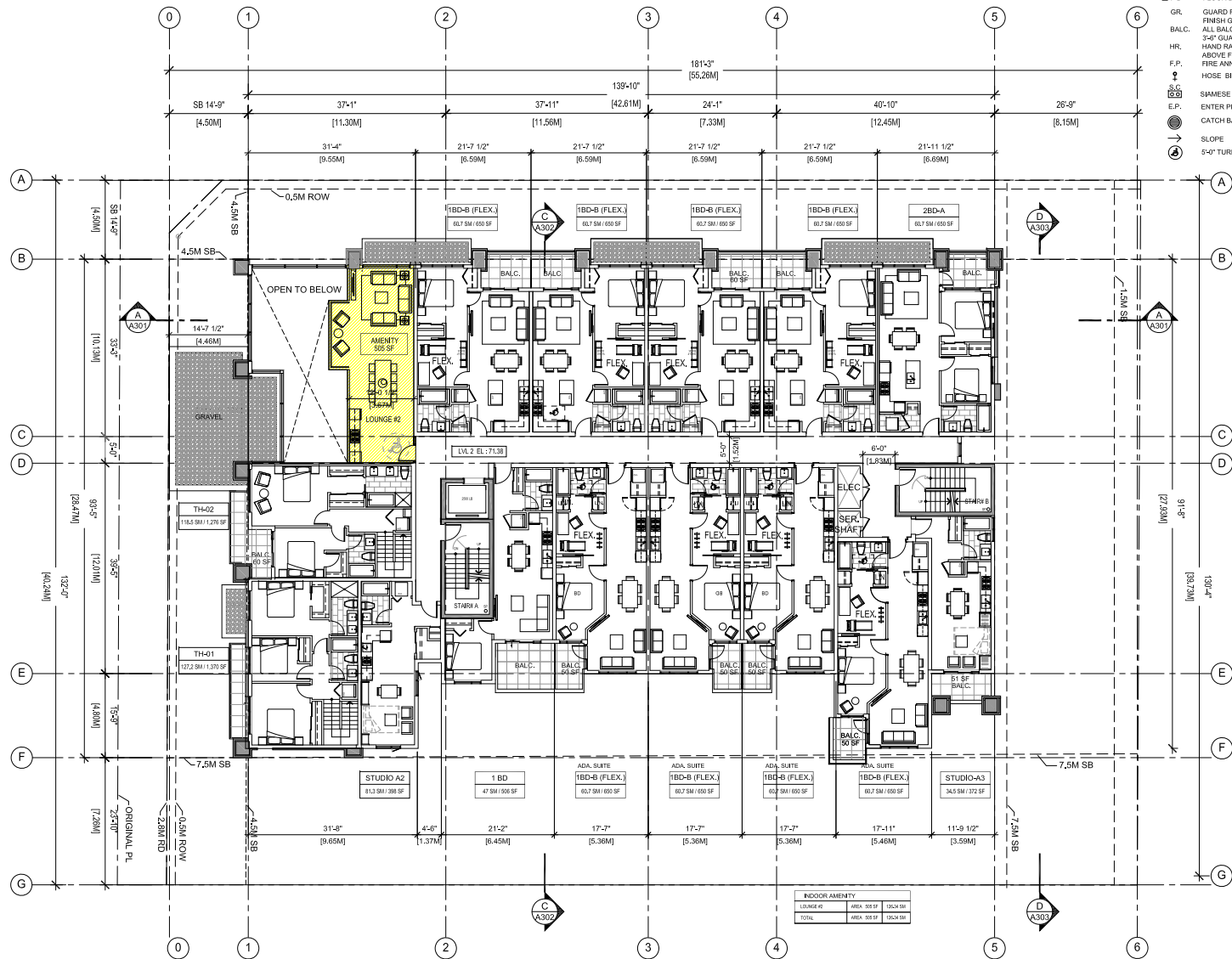
Sheet No: **GROUND LEVEL**

| Drawn | Check | Date       |
|-------|-------|------------|
| ML    | ML    | 15-08-2018 |

Scale: 1/8" = 1'-0" / 1:200

Project No: 10826 132A ST + 10265 108 Ave, Surrey, BC

Sheet No: **A103**



- ▣ F.D. FLOOR DRAIN, MIN 1.5% SLOPE
- GR. GUARD RAIL @ 3'-6" ABOVE FINISH GRADE
- BALC. ALL BALCONIES INSTALLED W/ 3'-6" GUARDRAIL
- HR. HAND RAIL @ 3'-10" - 3'-2" ABOVE FINISH GRADE
- F.P. FIRE ANNUNCIATION PANEL
- ↑ HOSE BIB / GAS CONNECTION
- ⊕ SIMMESE CONNECTION
- ⊖ ENTER PHONE
- ⊙ CATCH BASIN
- ↘ SLOPE
- ⊙ 3'-0" TURNING DIA. / HC STALL

| Rev | Date       | Description               |
|-----|------------|---------------------------|
| 1   | 15-08-2018 | ISSUED FOR DP APPLICATION |
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| 3   | 11-03-2019 | ISSUED FOR REVIEW         |
| 4   | 25-04-2019 | ISSUED FOR ADP            |
| 5   | 11-05-2019 | ISSUED FOR REVIEW         |
| 6   | 16-06-2019 | ISSUED FOR REVIEW         |

| No. | Date | Author | Desk/Inch |
|-----|------|--------|-----------|
|     |      |        |           |

Project Consultant  
**MARTIN LEW ARCHITECTURE INC.**  
 1008 17th AVENUE, SURREY, BC  
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 Phone: +1 604 286-2500  
 Fax: +1 604 286-2500  
 E-MAIL: martin@mla.ca

Consultants

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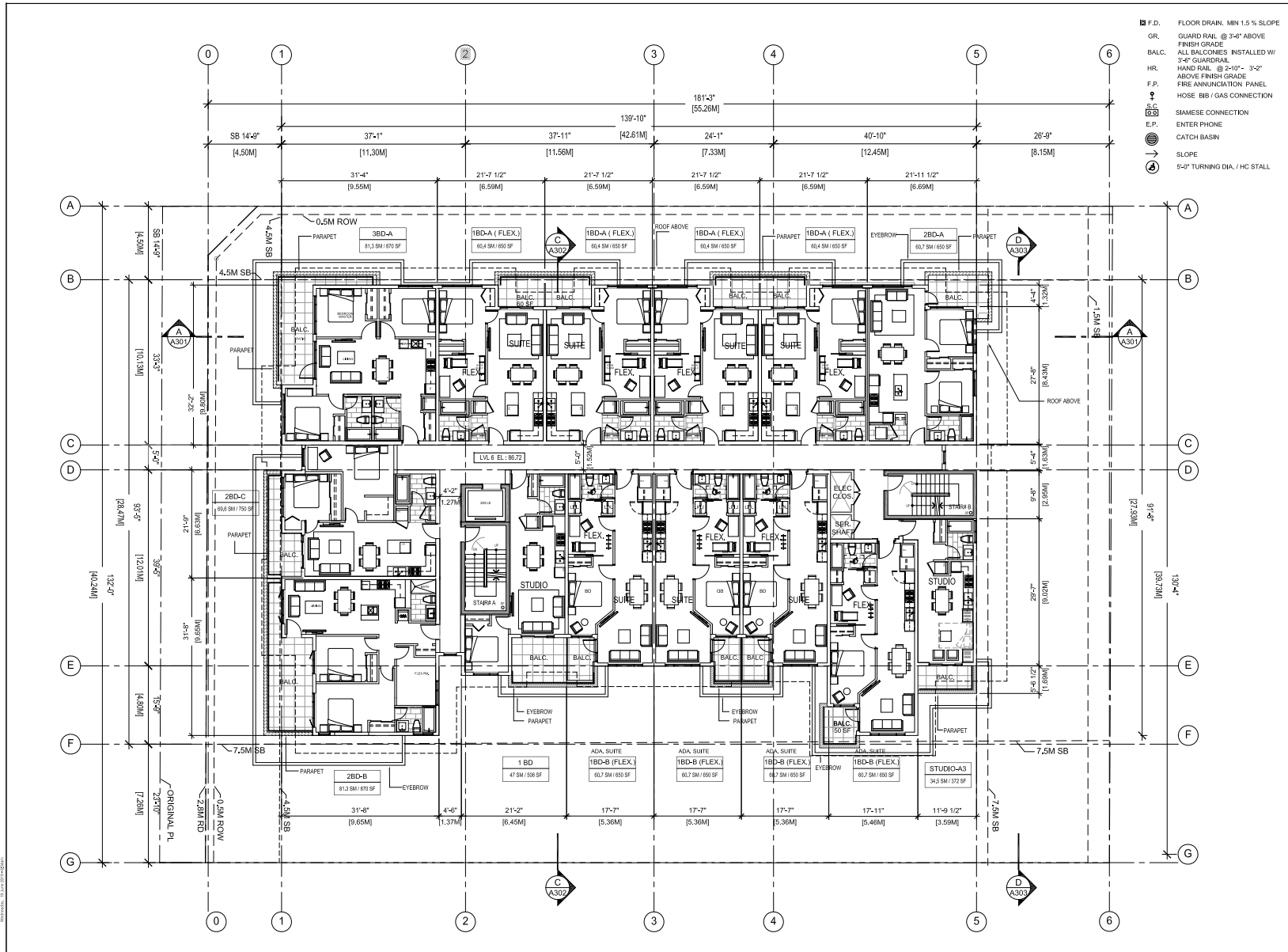
Project Name:  
 Multi-Residential Apartment  
 10826 132A ST + 12626 108 Ave.  
 Surrey, BC

Sheet Title:  
**LEVEL 2**

| Scale                 | Date       | Drawn       | Checked |
|-----------------------|------------|-------------|---------|
| 1/16" = 1'-0" / 1:120 | 15-08-2018 | ML          | ML      |
| Project No.:          | Sheet No.: | <b>A104</b> |         |
| 51891                 | 51891      |             |         |

ARCHITECT: M. LEW ARCHITECTURE INC.

10/10/2019



- F.D. FLOOR DRAIN, MIN 1.5% SLOPE
- GR. GUARD RAIL @ 3'-4" ABOVE FINISH GRADE
- BALC. ALL BALCONIES INSTALLED W/ 3"X" GUARDRAIL
- HR. HAND RAIL @ 2'-10" - 3'-2" ABOVE FINISH GRADE
- F.P. FIRE ANNUNCIATION PANEL
- HOSE BIB / GAS CONNECTION
- SMAMESE CONNECTION
- E.P. ENTER PHONE
- CATCH BASIN
- SLOPE
- 5'-0" TURNING DIA. / HC STALL

| Rev. | Date       | Description               |
|------|------------|---------------------------|
| 1    | 15-06-2018 | ISSUED FOR DP APPLICATION |
| 2    | 01-02-2019 | ISSUED FOR REVIEW         |
| 3    | 11-03-2019 | ISSUED FOR REVIEW         |
| 4    | 25-04-2019 | ISSUED FOR ADP            |
| 5    | 11-05-2019 | ISSUED FOR REVIEW         |
| 6    | 19-06-2019 | ISSUED FOR REVIEW         |

| No. | Date | Author | Check/Rev. |
|-----|------|--------|------------|
|     |      |        |            |

Project:

Client:

Architect:

**MARTIN LEW ARCHITECTURE INC.**  
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 CANADA V3R 4G1  
 Phone: +1 604 266-2500  
 Fax: +1 604 266-2501  
 Email: martin@mla.ca

Consultant:

Project No:

Sheet No:

**LEVEL 6**

Scale: 1/16" = 1'-0" / 1:1600

Date: 15-06-2018

Drawn: ML

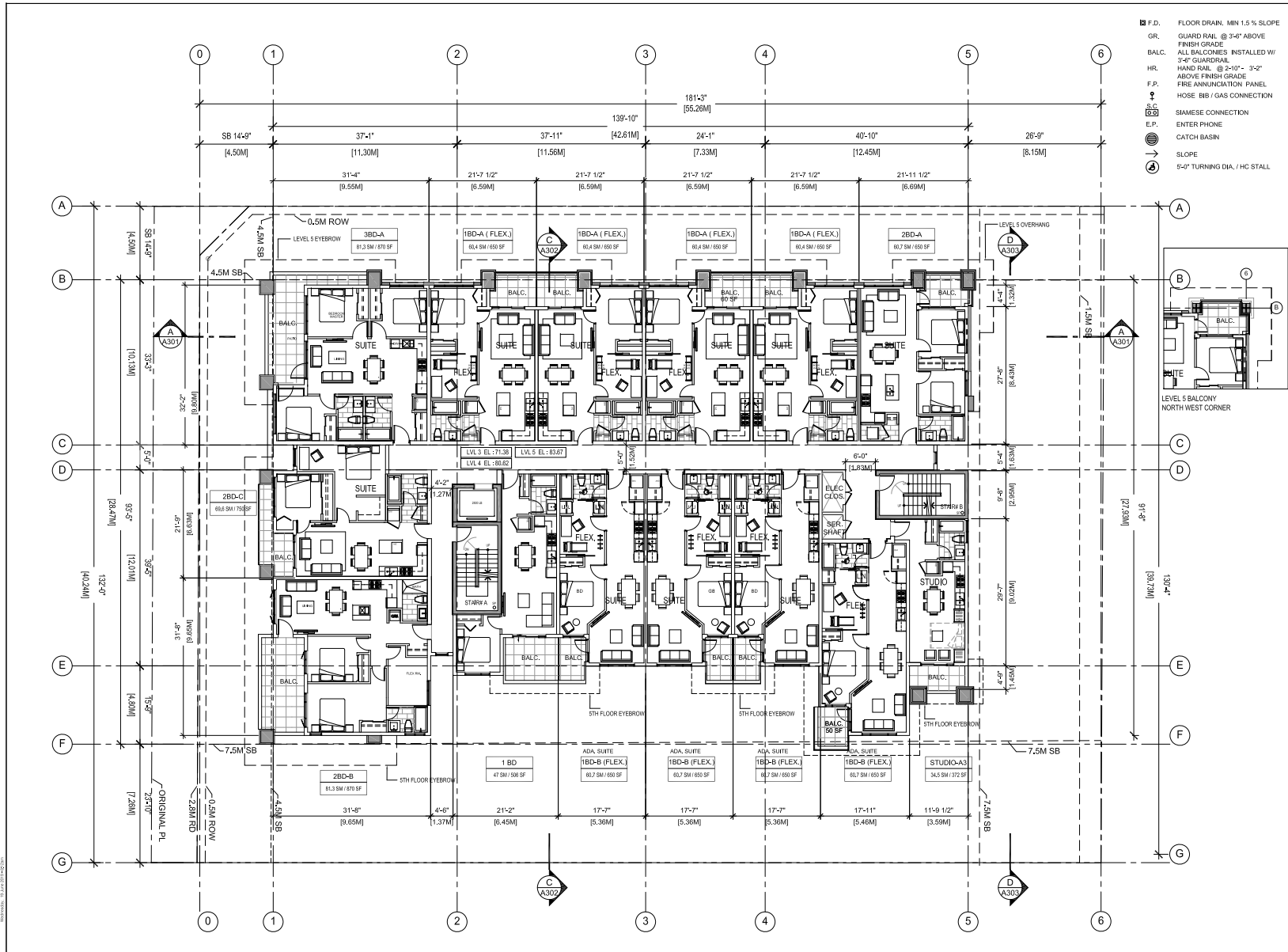
Checked: ML

Project No: 10826

Sheet No: A106

ARCHITECT: M. LEW ARCHITECTURE INC.

000102-07-00



- F.D. FLOOR DRAIN, MIN 1.5 % SLOPE
- GR. GUARD RAIL @ 3'-4" ABOVE FINISH GRADE
- BALC. ALL BALCONIES INSTALLED W/ 3'-0" GUARDRAIL
- HR. HAND RAIL @ 2'-10" - 3'-2" ABOVE FINISH GRADE
- F.P. FIRE ANNUNCIATION PANEL
- HOSE BB / GAS CONNECTION
- SMAMESE CONNECTION
- E.P. ENTER PHONE
- CATCH BASIN
- SLOPE
- 5'-0" TURNING DIA. / HC STALL

| Rev. | Date       | Description               |
|------|------------|---------------------------|
| 1    | 15-06-2018 | ISSUED FOR DP APPLICATION |
| 2    | 01-02-2019 | ISSUED FOR REVIEW         |
| 3    | 11-03-2019 | ISSUED FOR REVIEW         |
| 4    | 25-04-2019 | ISSUED FOR ADP            |
| 5    | 11-05-2019 | ISSUED FOR REVIEW         |
| 6    | 19-06-2019 | ISSUED FOR REVIEW         |

| No. | Date | Name | Description |
|-----|------|------|-------------|
|     |      |      |             |
|     |      |      |             |

Project Consultant

**MARTIN LEW ARCHITECTURE INC.**

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 CANADA V3R 1C9  
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Consultants

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 Neither the Architect nor the contractor are responsible for the construction of the building or the safety of the building. The contractor is responsible for the construction of the building in accordance with the approved plans and specifications.

Project Name:  
**Multi-Residential Apartment**  
 10826 132A ST + 13265 108 Ave.  
 Surrey, BC

Sheet Title:  
**LEVEL 3-5**

|                                 |                     |
|---------------------------------|---------------------|
| Scale:<br>1/16" = 1'-0" / 1:200 | Date:<br>05-06-2018 |
| Drawn:<br>MLA                   | Checked:<br>MLA     |
| Project No.:                    | Sheet No.:          |
| Project Name:<br>S1001          | <b>A105</b>         |

ARCHITECT: M. LEW ARCHITECTURE INC.

05/06/2018

## EXTERIOR FINISHES

### STONE CLADDING

- [S1] STONE CLADDING A - SANDSTONE SPLIT FACE
- [S2] STONE CLADDING B - SPLIT FACE STONE LANDSCAPE WALL
- [C1] PRE-CAST CONCRETE PLINTH / CAP - MIDTONE GREY
- [C2] CONCRETE WALL - PAINTED W/ ELASTOMERIC -MIDTONE GREY

### COMPOSITE / METAL PANEL

- [P1] HARDIE HORIZ. SIDING - WARM BEIGE [ SAND STONE BEIGE ]
- [P2] HARDIE PANEL - WARM LIGHT BEIGE  
PRE-FINISHED CHANNEL COLOUR MATCHED W/ PANEL COLOUR
- [P3] HARDIE PANEL - MID TONE GREY
- [P4] HARDIE PANEL - WINDOW / DOOR TRIM/ DRAK GREY

### WINDOW + DOOR

- [W1] DOUBLE GLAZED THERMALLY BROKEN WINDOW TINTED LIGHT BLUE VINYL WINDOW PAINTED DARK GREY WINDOW TRIM BOARD COLOUR TO MATCH WITH WINDOW FRAME SLIDING/ SWING DOOR COLOUR TO MATCH WITH WINDOW FRAME COLOUR
- [W2] GROUND LEVEL STORE FRONT WINDOW + ENTRY DOOR LOW-W GLAZING ( LIGHT GREY TINTED ) WITH DARK GREY FRAME, MATT FINISHED, & PRE-FINISHED DARK GREY PANEL, MATT FINISHED.
- [D1] GROUND LEVEL TOWNHOUSE ENTRY DOOR , WOOD DOOR PAINTED DARK WALNUT
- [D2] OPEN GRILLE GARAGE DOOR - PREFINISHED DARK GREY

### WOOD COLUMNS + ( BEAMS )

- [WC] CEDAR WOOD COLUMNS ( STAINED )

### SOFFIT

- [SF1] CEDAR WOOD STAINED FINISH SOFFIT W/ DARK GREY ALUM. VENT STRIP
- [SF2] LIGHT GREY SOFFIT BOARD W/ ALUM VENT STRIP, COLOUR TO MATCH WITH SOFFIT BOARD

### FASCIA

- [F] WOOD FASCIA AT ROOF AND WOOD DECK , PRIME PAINTED DARK GREY

### MISC. ITEMS

- [GU] BALCONY ALU. GUARDRAIL W/ SAFETY GLASS, COLOUR TO MATCH W/ W1
- [GR] TOWNHOUSE ENTRY GATE / METAL PICKET FENCE DARK GREY SEE LANDSCAPE DWG.
- [FS] PRE-FINISHED ROOF FLASHING COLOUR MATCHED WITH P1
- [LT] CUSTOM DESIGN LIGHT FIXTURE W/ TRANSLUCENT GLAZING



| Issues   |            |       |                           |
|----------|------------|-------|---------------------------|
| No.      | Date       | Appr. | Description               |
| 1        | 13-08-2018 |       | ISSUED FOR CP APPLICATION |
|          |            |       |                           |
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|          |            |       |                           |
|          |            |       |                           |
| No.      | Date       | Appr. | Description               |
| Revision |            |       |                           |
| Client   |            |       |                           |

Prime Consultant  
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Scale

Consultants



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 When dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and the Architect shall be relieved of all liability from all dimensions and conditions shown on the drawing. Shop drawings shall be submitted to the Architect for approval before proceeding with fabrication.

Project Title  
**Multi-Residential Apartment**  
 10826 132A ST + 13265 108 Ave  
 Surrey, BC

Sheet Title  
**WEST ELEVATION**  
**(132 STREET ELE.)**

|                                   |                     |
|-----------------------------------|---------------------|
| Scale:<br>1/16" = 1'-0" / 1 : 200 | Date:<br>13-07-2018 |
| Drawn:<br>MLAI                    | Checked:<br>ML      |
| Calc File:<br>                    | Sheet No.:<br>      |
| Project No.<br>S1801              | <b>A201</b>         |

**EXTERIOR FINISHES**

**STONE CLADDING**

- [S1] STONE CLADDING A - SANDSTONE SPLIT FACE
- [S2] STONE CLADDING B - SPLIT FACE STONE LANDSCAPE WALL
- [C1] PRE-CAST CONCRETE PLINTH / CAP - MIDTHONE GREY
- [C2] CONCRETE WALL - PAINTED W/ ELASTOMERIC -MIDTHONE GREY

**COMPOSITE / METAL PANEL**

- [P1] HARDIE HORIZ. SIDING - WARM BEIGE [ SAND STONE BEIGE ]
- [P2] HARDIE PANEL - WARM LIGHT BEIGE  
PRE-FINISHED CHANNEL COLOUR MATCHED W/ PANEL COLOUR
- [P3] HARDIE PANEL - MID TONE GREY
- [P4] HARDIE PANEL - WINDOW / DOOR TRIM/ DRAK GREY

**WINDOW + DOOR**

- [W1] DOUBLE GLAZIED THERMALLY BROKEN WINDOW TINTED LIGHT BLUE VINYL WINDOW PAINTED DARK GREY WINDOW TRIM BOARD COLOUR TO MATCH WITH WINDOW FRAME SLIDING/ SWING DOOR COLOUR TO MATCH WITH WINDOW FRAME COLOUR
- [W2] GROUND LEVEL STORE FRONT WINDOW + ENTRY DOOR LOW-W GLAZING ( LIGHT GREY TINTED ) WITH DARK GREY FRAME, MATT FINISHED. & PRE-FINISHED DARK GREY PANEL. MATT FINISHED.
- [D1] GROUND LEVEL TOWNHOUSE ENTRY DOOR. WOOD DOOR PAINTED DARK WALNUT
- [DG] OPEN GRILLE GARAGE DOOR - PREFINISHED DARK GREY

**WOOD COLUMNS + ( BEAMS )**

- [WC] CEDAR WOOD COLUMNS ( STAINED )

**SOFFIT**

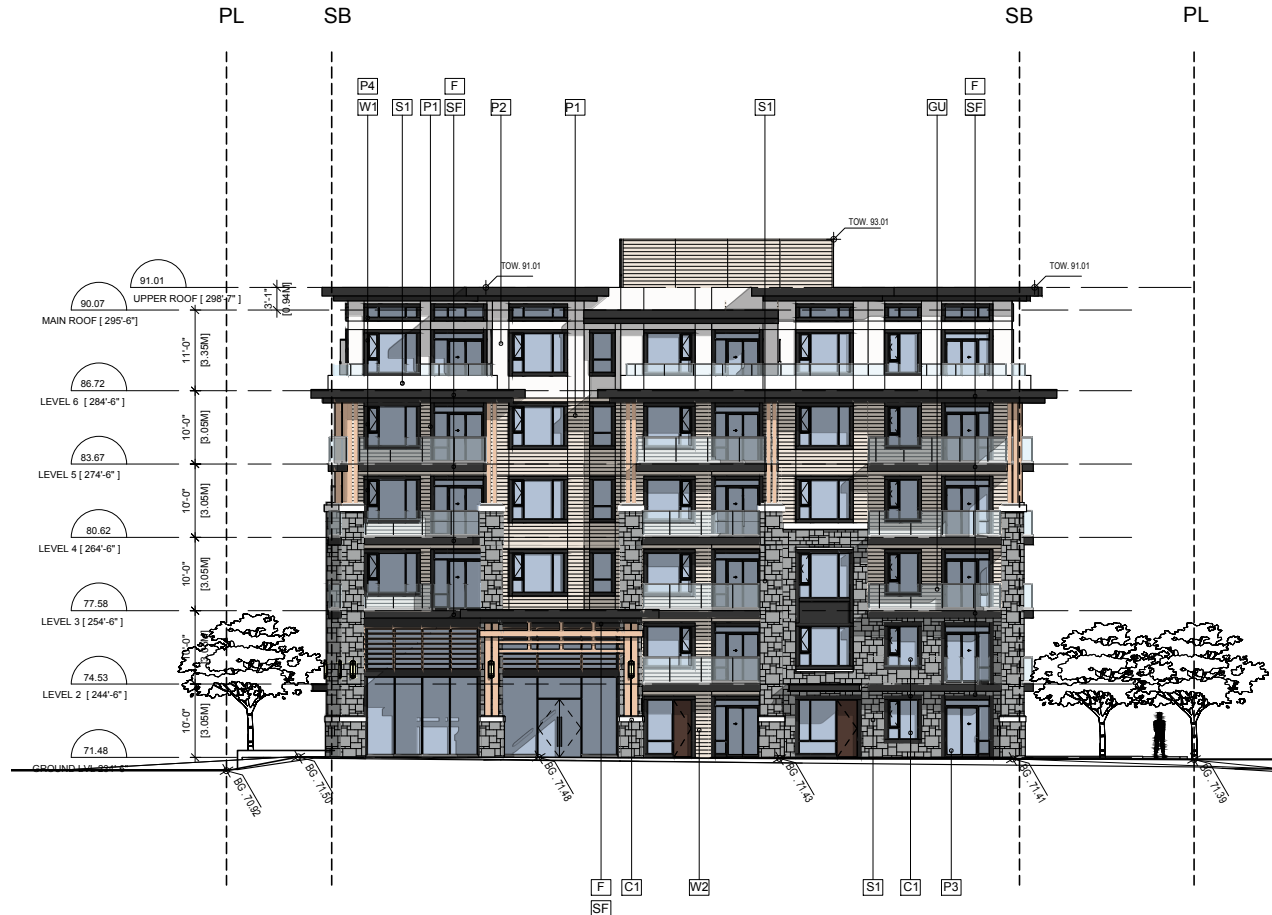
- [SFT] CEDAR WOOD STAINED FINISH SOFFIT W/ DARK GREY ALUM. VENT STRIP
- [SF2] LIGHT GREY SOFFIT BOARD W/ ALUM VENT STRIP, COLOUR TO MATCH WITH SOFFIT BOARD

**FASCIA**

- [F] WOOD FASCIA AT ROOF AND WOOD DECK . PRIME PAINTED DARK GREY

**MISC. ITEMS**

- [GU] BALCONY ALU. GUARDRAIL W/ SAFETY GLASS, COLOUR TO MATCH W/ W1
- [GR] TOWNHOUSE ENTRY GATE / METAL PICKET FENCE DARK GREY. SEE LANDSCAPE DWG.
- [FS] PRE-FINISHED ROOF FLASHING COLOUR MATCHED WITH P1
- [LT] CUSTOM DESIGN LIGHT FIXTURE W/ TRANSLUCENT GLAZING



| Sheet | No. | Date       | Appr. | Description               |
|-------|-----|------------|-------|---------------------------|
|       | 1   | 13-08-2018 |       | ISSUED FOR DP APPLICATION |

Prime Consultant  
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Scale

Consultants



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**Project Title**  
 Multi-Residential Apartment  
 10826 132A ST + 13265 108 Ave  
 Surrey, BC

**Sheet Title**  
 SOUTH ELEVATION  
 (108 AVENUE ELE.)

|                                 |                     |
|---------------------------------|---------------------|
| Scale:<br>1/16" = 1'-0" / 1:200 | Date:<br>10-07-2018 |
| Drawn:<br>MLAI                  | Checked:<br>ML      |
| Cast File:                      | Sheet No.:          |
| Project No.<br>S1801            | <b>A202</b>         |

**EXTERIOR FINISHES**

**STONE CLADDING**

- [S1] STONE CLADDING A - SANDSTONE SPLIT FACE
- [S2] STONE CLADDING B - SPLIT FACE STONE LANDSCAPE WALL
- [C1] PRE-CAST CONCRETE PLINTH / CAP - MIDTONE GREY
- [C2] CONCRETE WALL - PAINTED W/ ELASTOMERIC -MIDTONE GREY

**COMPOSITE / METAL PANEL**

- [P1] HARDIE HORIZ. SIDING - WARM BEIGE [ SAND STONE BEIGE ]
- [P2] HARDIE PANEL - WARM LIGHT BEIGE  
PRE-FINISHED CHANNEL COLOUR MATCHED W/ PANEL COLOUR
- [P3] HARDIE PANEL - MID TONE GREY
- [P4] HARDIE PANEL - WINDOW / DOOR TRIM/ DRAK GREY

**WINDOW + DOOR**

- [W1] DOUBLE GLAZIED THERMALLY BROKEN WINDOW TINTED LIGHT BLUE VINYL WINDOW PAINTED DARK GREY WINDOW TRIM BOARD COLOUR TO MATCH WITH WINDOW FRAME SLIDING/ SWING DOOR COLOUR TO MATCH WITH WINDOW FRAME COLOUR
- [W2] GROUND LEVEL STORE FRONT WINDOW + ENTRY DOOR LOW-W GLAZING ( LIGHT GREY TINTED ) WITH DARK GREY FRAME, MATT FINISHED. & PRE-FINISHED DARK GREY PANEL MATT FINISHED.
- [D1] GROUND LEVEL TOWNHOUSE ENTRY DOOR , WOOD DOOR PAINTED DARK WALNUT
- [D2] OPEN GRILLE GARAGE DOOR - PREFINISHED DARK GREY

**WOOD COLUMNS + ( BEAMS )**

- [WC] CEDAR WOOD COLUMNS ( STAINED )

**SOFFIT**

- [SF1] CEDAR WOOD STAINED FINISH SOFFIT W/ DARK GREY ALUM. VENT STRIP
- [SF2] LIGHT GREY SOFFIT BOARD W/ ALUM VENT STRIP, COLOUR TO MATCH WITH SOFFIT BOARD

**FASCIA**

- [F] WOOD FASCIA AT ROOF AND WOOD DECK , PRIME PAINTED DARK GREY

**MISC. ITEMS**

- [GU] BALCONY ALU. GUARDRAIL W/ SAFETY GLASS, COLOUR TO MATCH W/ W1
- [GR] TOWNHOUSE ENTRY GATE / METAL PICKET FENCE DARK GREY - SEE LANDSCAPE DWG.
- [FS] PRE-FINISHED ROOF FLASHING COLOUR MATCHED WITH P1
- [LT] CUSTOM DESIGN LIGHT FIXTURE W/ TRANSLUCENT GLAZING

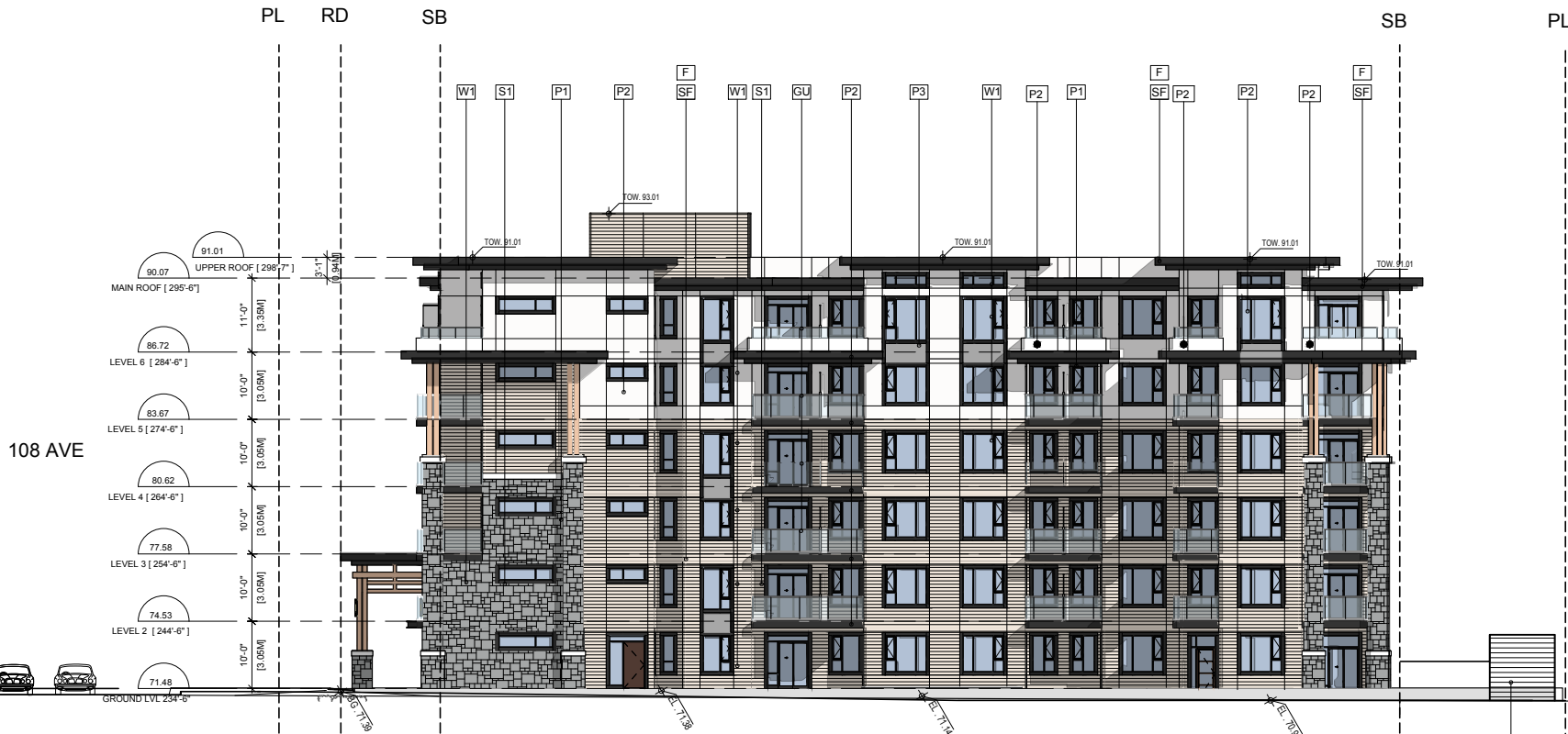
| Issue | No. | Date       | Appr. | Description               |
|-------|-----|------------|-------|---------------------------|
|       | 1   | 13-08-2018 |       | ISSUED FOR DP APPLICATION |

| No. | Date | Appr. | Description |
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|     |      |       |             |

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Consultants



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Project Title  
**Multi-Residential Apartment**  
 10826 132A ST + 13265 108 Ave  
 Surrey, BC

Sheet Title  
**EAST ELEVATION**

|                                |                    |
|--------------------------------|--------------------|
| Scale<br>1/16" = 1'-0" / 1:200 | Date<br>10-07-2018 |
| Drawn<br>MLAI                  | Checked<br>ML      |
| Cost File                      | Sheet No.          |
| Project No.<br>S1801           | <b>A203</b>        |

EXTERIOR FINISHES

STONE CLADDING

- [S1] STONE CLADDING A - SANDSTONE SPLIT FACE
- [S2] STONE CLADDING B - SPLIT FACE STONE LANDSCAPE WALL
- [C1] PRE-CAST CONCRETE PLINTH / CAP - MIDTONE GREY
- [C2] CONCRETE WALL - PAINTED W/ ELASTOMERIC -MIDTONE GREY

COMPOSITE / METAL PANEL

- [P1] HARDIE HORIZ. SIDING - WARM BEIGE ( SAND STONE BEIGE )
- [P2] HARDIE PANEL - WARM LIGHT BEIGE  
PRE-FINISHED CHANNEL COLOUR MATCHED W/ PANEL COLOUR
- [P3] HARDIE PANEL - MID TONE GREY
- [P4] HARDIE PANEL - WINDOW / DOOR TRIM/ DRAK GREY

WINDOW + DOOR

- [W1] DOUBLE GLAZIED THERMALLY BROKEN WINDOW TINTED LIGHT BLUE VINYL WINDOW PAINTED DARK GREY WINDOW TRIM BOARD COLOUR TO MATCH WITH WINDOW FRAME SLIDING/ SWING DOOR COLOUR TO MATCH WITH WINDOW FRAME COLOUR
- [W2] GROUND LEVEL STORE FRONT WINDOW + ENTRY DOOR LOW-W GLAZING ( LIGHT GREY TINTED ) WITH DARK GREY FRAME. MATT FINISHED. & PRE-FINISHED DARK GREY PANEL. MATT FINISHED.
- [D1] GROUND LEVEL TOWNHOUSE ENTRY DOOR. WOOD DOOR PAINTED DARK WALNUT
- [D2] OPEN GRILLE GARAGE DOOR - PREFINISHED DARK GREY

WOOD COLUMNS + ( BEAMS )

- [WC] CEDAR WOOD COLUMNS ( STAINED )

SOFFIT

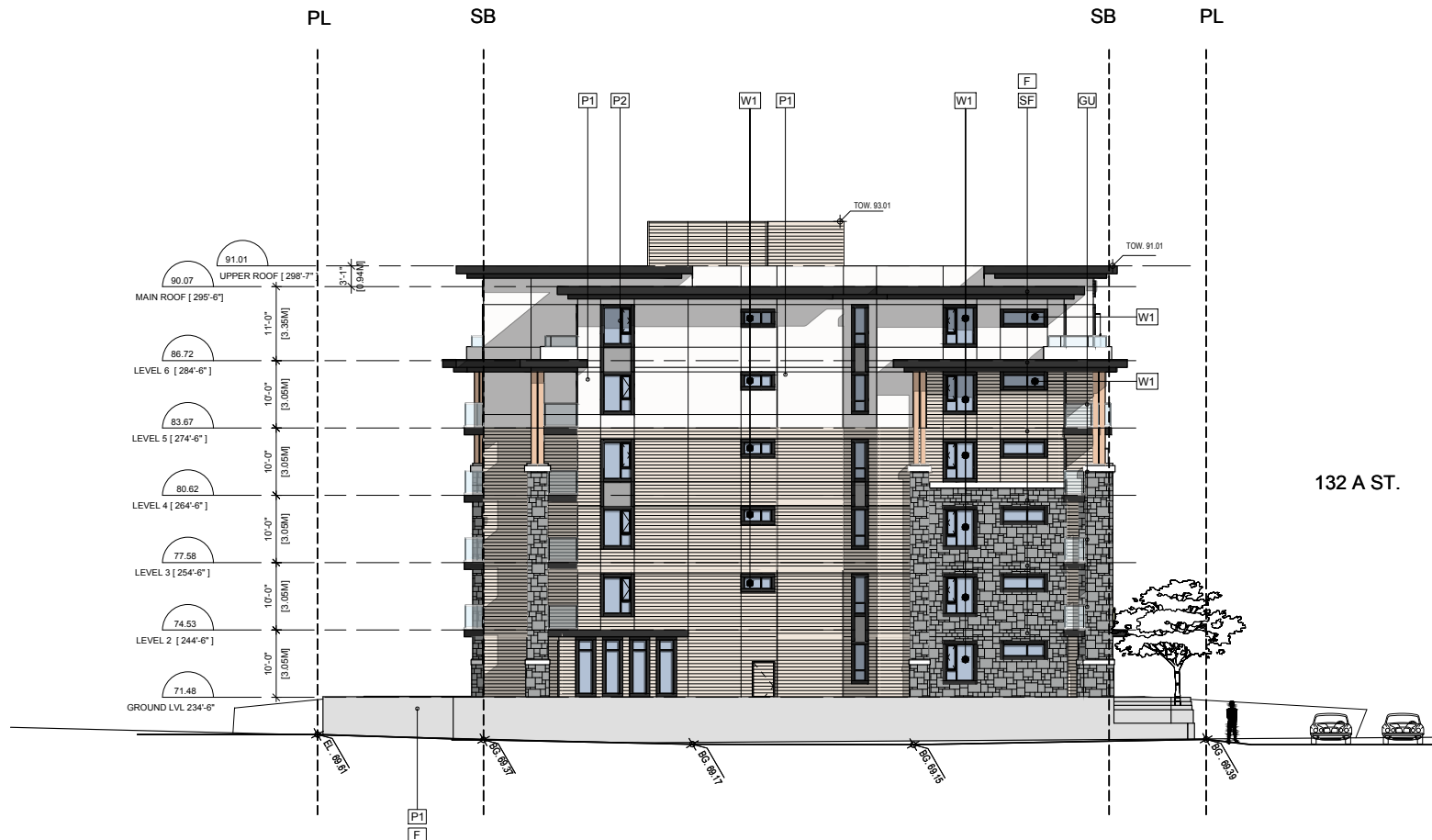
- [SF1] CEDAR WOOD STAINED FINISH SOFFIT W/ DARK GREY ALUM. VENT STRIP
- [SF2] LIGHT GREY SOFFIT BOARD W/ ALUM VENT STRIP, COLOUR TO MATCH WITH SOFFIT BOARD

FASCIA

- [F] WOOD FASCIA AT ROOF AND WOOD DECK, PRIME PAINTED DARK GREY

MISC. ITEMS

- [GU] BALCONY ALU. GUARDRAIL W/ SAFETY GLASS. COLOUR TO MATCH W/ W1
- [GR] TOWNHOUSE ENTRY GATE / METAL PICKET FENCE DARK GREY SEE LANDSCAPE DWG.
- [FS] PRE-FINISHED ROOF FLASHING COLOUR MATCHED WITH P1
- [LT] CUSTOM DESIGN LIGHT FIXTURE W/ TRANSLUCENT GLAZING



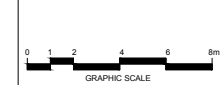
| Issues |            |                           |
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| No.    | Date       | Description               |
| 1      | 13-08-2018 | ISSUED FOR DP APPLICATION |
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| Revisions |      |             |
|-----------|------|-------------|
| No.       | Date | Description |
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Scale

Consultants



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Project Title  
**Multi-Residential Apartment**  
 10826 132A ST + 13265 108 Ave  
 Surrey, BC

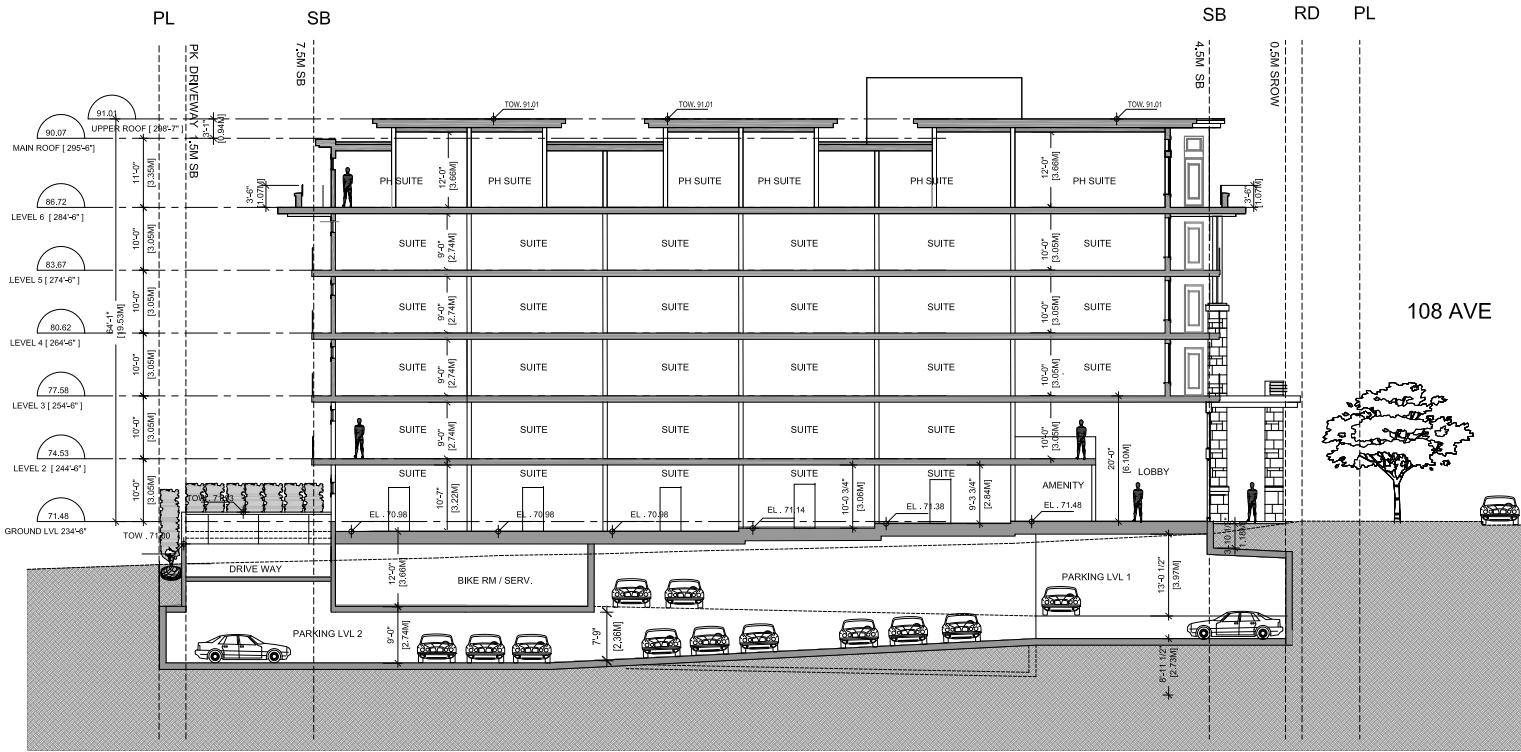
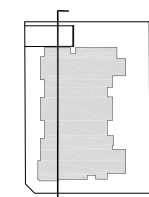
Sheet Title  
**NORTH ELEVATION**

|                                |                    |
|--------------------------------|--------------------|
| Scale<br>1/16" = 1'-0" / 1:200 | Date<br>13-07-2018 |
| Drawn<br>MLAI                  | Checked<br>ML      |
| Cad File                       | Sheet No.          |
| Project No.<br>S1801           | <b>A204</b>        |



**DRIVEWAY WALL FINISHES**

☐ CONCRETE WALL - PAINTED W/ ELASTOMERIC-MIDTONE GREY WITH 1/2" REVEALS



| Rev | Date       | Description               |
|-----|------------|---------------------------|
| 1   | 15-06-2018 | ISSUED FOR DP APPLICATION |
| 2   | 17-05-2019 | ISSUED FOR REVIEW         |

| Rev | Date | Author | Designer |
|-----|------|--------|----------|
|     |      |        |          |

Project Consultant  
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 E-MAIL: martin@mlaw.com

Sheet

Consultant

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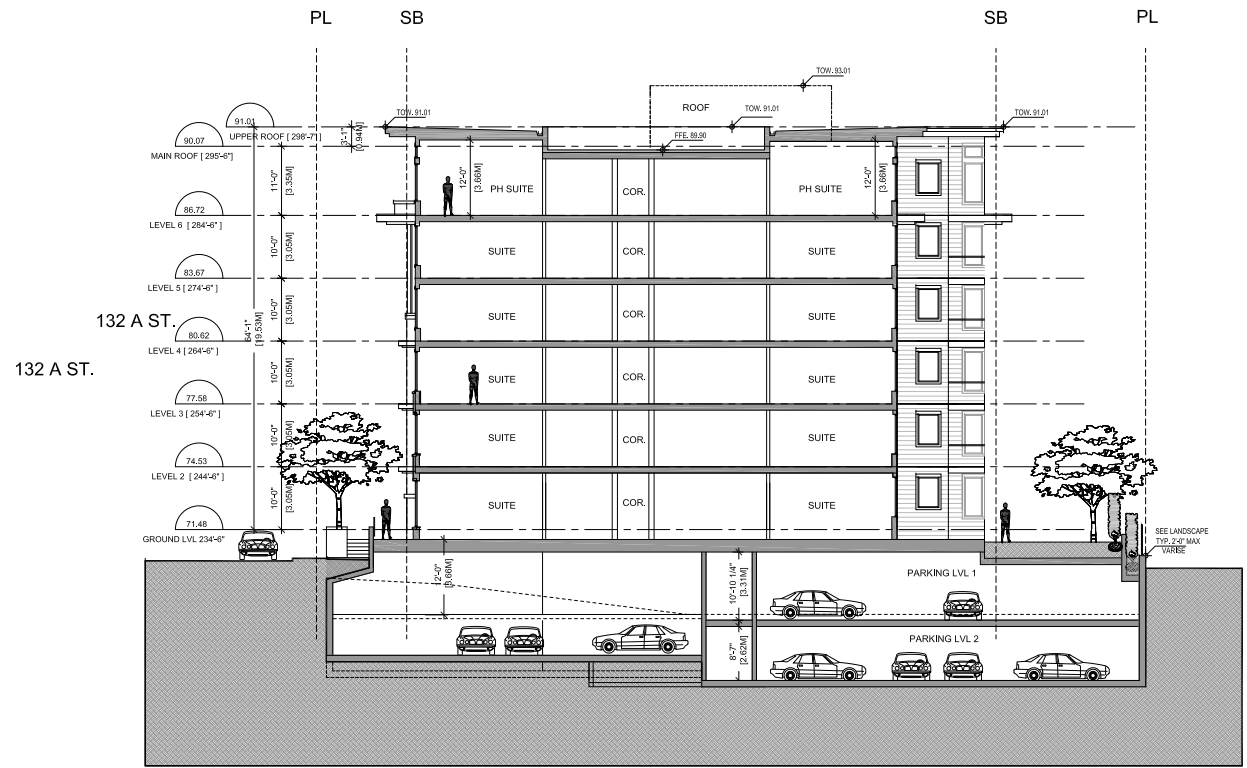
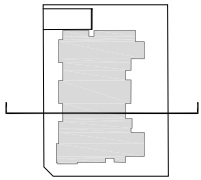
Project Name:  
 Multi-Residential Apartment  
 10826 132A ST + 13265 108 Ave,  
 Surrey, BC

Sheet Title:  
**SECTION A  
 NORTH-SOUTH  
 (WEST BOUNDARY)**

|              |       |               |              |
|--------------|-------|---------------|--------------|
| Scale:       | 1:100 | Date:         | 04/06/2018   |
| Drawn:       | MLA   | Checked:      | ML           |
| Client:      |       | Contract No.: |              |
| Project No.: |       | Sheet No.:    | <b>A 301</b> |

**A 301**

04/06/2018



| No. | Date       | Description               |
|-----|------------|---------------------------|
| 1   | 15-06-2018 | ISSUED FOR DP APPLICATION |
| 2   | 17-05-2019 | ISSUED FOR REVIEW         |
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|     |            |                           |

| No. | Date | Author | Designer |
|-----|------|--------|----------|
|     |      |        |          |
|     |      |        |          |

Project Consultant  
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Sheet

Comments



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Project Name:  
 Multi-Residential Apartment  
 10826 132A ST + 13265 108 Ave.  
 Surrey, BC

Sheet Title:  
**SECTION C  
 EAST - WEST**

| Drawn | Checked |
|-------|---------|
| MLL   | MLL     |
|       |         |
|       |         |

Project No.:  
 S1801

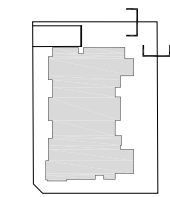
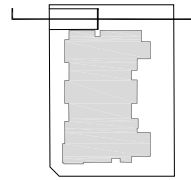
**A 302**

001/02/07/2018

### DRIVEWAY WALL FINISHES

NOTE: WALL FINISH MATERIAL SIMILAR ON BOTH DRIVEWAY WALL, EXCEPT FOR STONE CLAD WALL ( ONLY APPLIES ON SOUTH WALL.

- SB STONE CLADDING B - SPLIT FACE STONE LANDSCAPE WALL
- C2 CONCRETE WALL - PAINTED W/ ELASTOMERIC MIDTONE GREY WITH 1/2" REVEALS
- E WEATHER PROOF ENTER PHONE
- C1 WALL MOUNT DRIVE WAY LIGHT

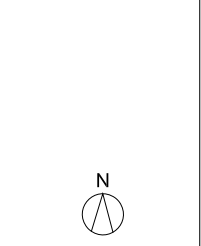


| Rev | Date       | Description               |
|-----|------------|---------------------------|
| 1   | 15-06-2018 | ISSUED FOR DP APPLICATION |
| 2   | 17-05-2019 | ISSUED FOR REVIEW         |

| Rev | Date | Author | Check/Rev |
|-----|------|--------|-----------|
|     |      |        |           |

Project Consultant  
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 V4M 1V6  
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 Email: martin@martinlewis.com

Sheet  
 Consultant



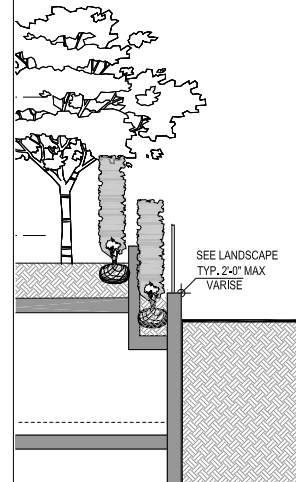
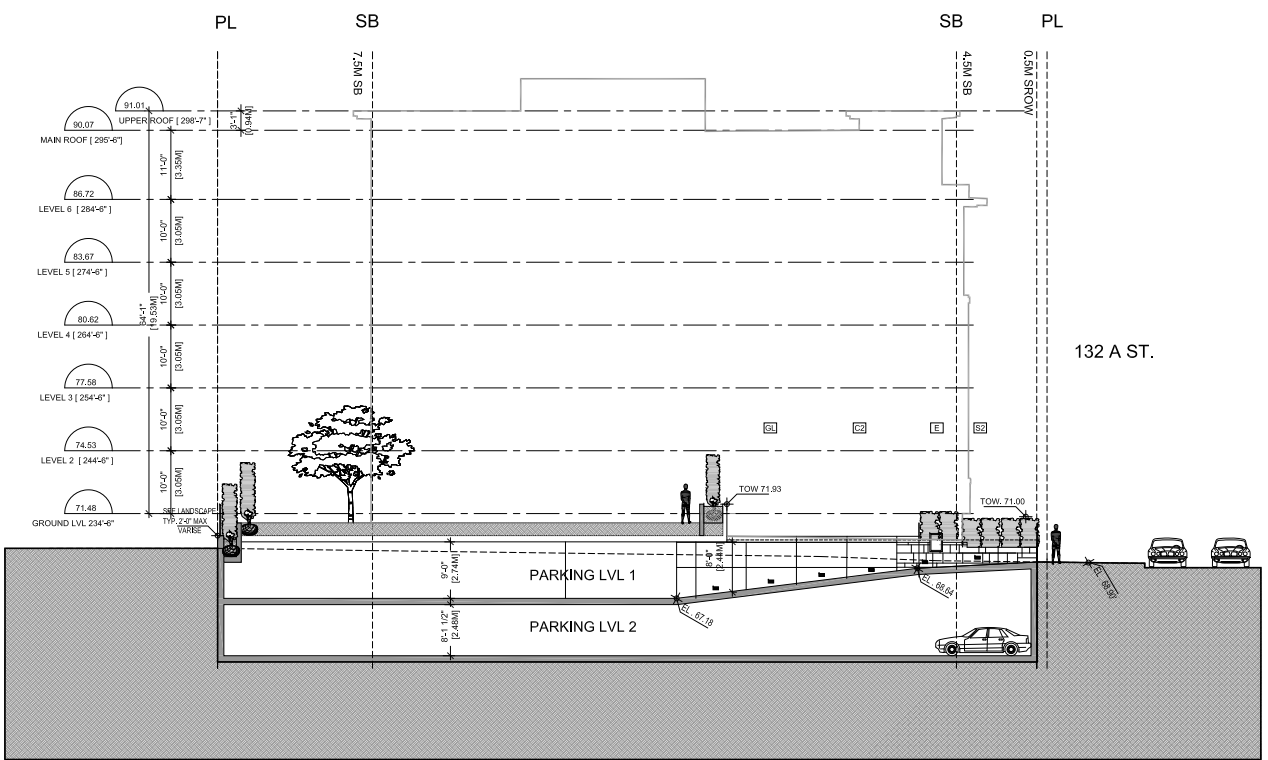
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Project Name:  
 Multi-Residential Apartment  
 10826 132A ST + 10265 108 Ave.  
 Surrey, BC

### SECTION D AT DRIVEWAY

|                        |                     |
|------------------------|---------------------|
| Scale:<br>1/4" = 1'-0" | Date:<br>15/06/2018 |
| Drawn:<br>MLA          | Checked:<br>ML      |
| Client:<br>S1801       | Sheet No.:          |

**A 303**



TYP. WALL SECTION ADJACENT TO PROPERTY

15/06/2018 10:00 AM

LANDSCAPE DRAWINGS



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S: 188 C100 - 4185 Still Creek Drive  
 Burnaby, British Columbia V5C 6G9  
 ☎ 604 294-0111 • f 604 294-0022

SCALE:



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|-----|-----------|-------------------------------------|-----|
| 10  | 18 JUN 13 | UPDATE PER CITY COMMENTS            | CLG |
| 9   | 18 MAR 13 | UPDATE PER AIP REVIEWS              | CLG |
| 8   | 18 APR 12 | UPDATE PER CITY COMMENTS / REVISED  | CLG |
| 7   | 18 APR 12 | UPDATE PER NEW SITE PLAN / REVISED  | CLG |
| 6   | 18 APR 12 | UPDATE PER CITY COMMENTS            | CLG |
| 5   | 18 MAR 13 | UPDATE PER COMMENTS                 | CLG |
| 4   | 18 JAN 12 | UPDATE PER COMMENTS / REVISED       | CLG |
| 3   | 18 MAR 12 | ADD LANDSCAPE SECTION               | CLG |
| 2   | 18 JAN 12 | UPDATE PER NEW SITE PLAN            | CLG |
| 1   | 18 AUG 11 | CONCEPT PLAN / ISSUE FOR SUBMISSION | CLG |
| NO. | DATE      | REVISION DESCRIPTION                | DR. |

CLIENT:

PROJECT:

**6-STORY APARTMENT DEVELOPMENT**

10826 - 133A STREET  
 SURREY

DRAWING TITLE:

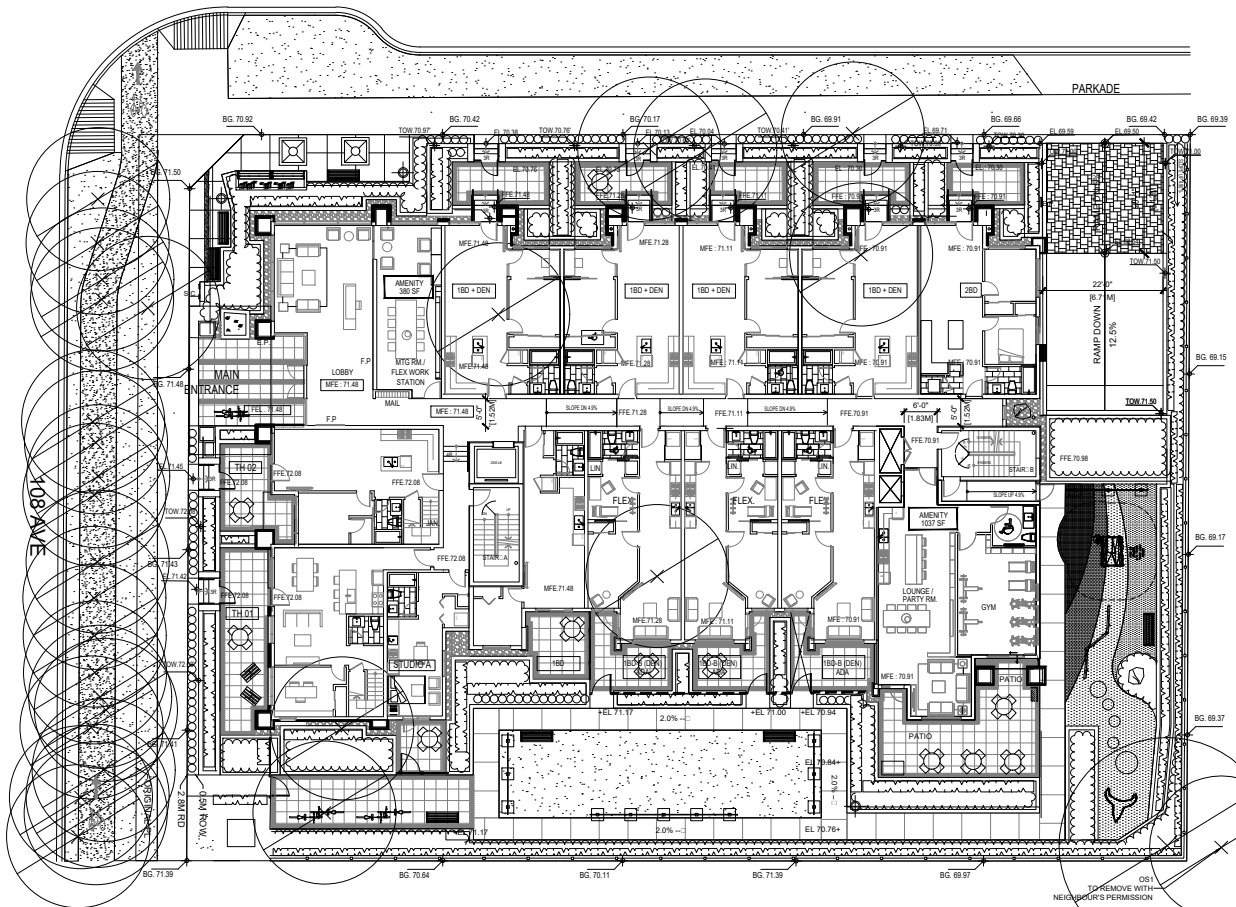
**TREE MANAGEMENT PLAN**

DATE: 18.AUG.13 DRAWING NUMBER:  
 SCALE: 3/32" = 1'-0"  
 DRAWN: CLG  
 DESIGN: CLG  
 CHK'D: PCM

**LO**

OF 4

18131-8.2P PMG PROJECT NUMBER: 18-131

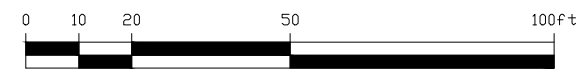


| PMG PROJECT NUMBER: 18-131 |     |                                  |                                     |                         |
|----------------------------|-----|----------------------------------|-------------------------------------|-------------------------|
| KEY                        | QTY | BOTANICAL NAME                   | COMMON NAME                         | PLANTED SIZE / REMARKS  |
|                            | 6   | CORNUS KOUSA 'SATOMI'            | PINK KOUSA DOGWOOD                  | 5.0CM CAL 1.5M STD. B-B |
|                            | 2   | MAGNOLIA 'ELIZABETH'             | ELIZABETH MAGNOLIA (YELLOW)         | 5.0CM CAL 1.2M STD. B-B |
|                            | 3   | PARROTIA PERSICA 'VANESSA'       | VANESSA PERSIAN IRONWOOD            | 6.0CM CAL 1.5M STD. B-B |
|                            | 30  | PINUS NIGRA 'ARNOLD SENTINEL'    | ARNOLD SENTINEL AUSTRIAN BLACK PINE | 3.0M HT. B-B            |
|                            | 3   | PRUNUS 'BLUREIANA'               | FLOWERING PLUM                      | 6CM CAL 1.5M STD. B-B   |
|                            | 17  | QUERCUS PALUSTRIS 'GREEN PILLAR' | GREEN PILLAR PIN AK                 | 6.0CM CAL 1.8M STD. B-B |
|                            | 6   | STYRAX JAPONICUS 'PINK CHIMES'   | PINK FLOWERED JAPANESE SNOWBELL     | 6.0CM CAL 1.5M STD. B-B |

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

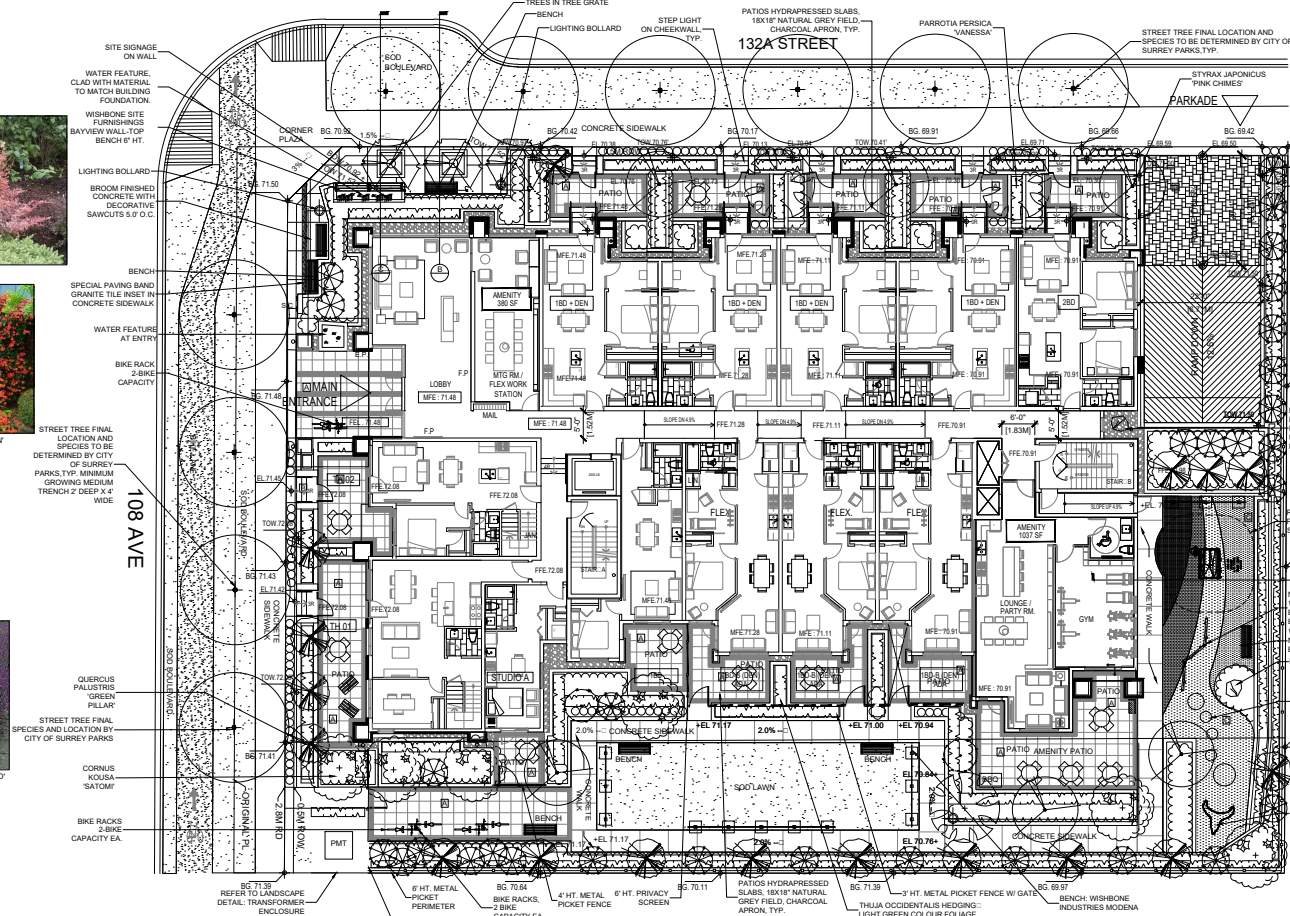
PROPOSED BYLAW-SIZED REPLACEMENT TREES = 67    REQUIRED BYLAW-SIZED REPLACEMENT TREES = 67

TREE TO REMOVE - REFER TO ARBORIST REPORT FOR MORE INFORMATION





132 A STREET

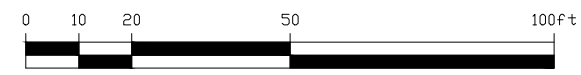


### Fencing Legend

| S. in. of | Model   |
|-----------|---|
| 2"        | 2" HT. METAL PICKET PERIMETER FENCE, REFER TO LANDSCAPE DETLS |
| 4"        | 4" HT. METAL PICKET PERIMETER FENCE, REFER TO LANDSCAPE DETLS |
| 6"        | 6" HT. METAL PICKET PERIMETER FENCE, REFER TO LANDSCAPE DETLS |

### Material Legend

| S. in. of | Model   |
|-----------|---|
|           | ABBOTSFORD CONCRETE PRODUCTS, 18X18 HYDRAPRESSED CONCRETE SLABS, NATURAL COLOUR IN FIELD, CHARCOAL Z, SLAB APRON, TEXADA TEXTURE                            |
|           | ABBOTSFORD CONCRETE PRODUCTS, VENETIAN COBBLE PAVERS, 6.0CM DEPTH PEDESTAL DUTY, COLOUR: SANDALWOOD BLEND, ASHLAR PATTERN, INSTALL PER MANUFACTURERS DETAIL |
|           | POUR-IN-PLACE RECYCLED RUBBER PLAY SURFACING, MARATHON SURFACES OR APPROVED EQUIVALENT, THREE COLOUR STRIPES: DARK BLUE, LIGHT BLUE, LIGHT GREEN            |
|           | 6" ROUND RIVER ROCK IN WATER FEATURE  |



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S: 100 - 4185 Still Creek Drive  
 B: 100 - 5111 101 Ave SW, V5C 6G9  
 T: 604 294-0011, F: 604 294-0022

SCALE:  
 TERRACED LANDSCAPE TO SCREEN RETAINING WALLS (MAX. HT. 0.6M)



| NO. | DATE      | REVISION DESCRIPTION               | DR. |
|-----|-----------|------------------------------------|-----|
| 10  | 18 JUN 13 | UPDATE PER CITY COMMENTS           | CLG |
| 9   | 18 MAR 13 | UPDATE PER CITY COMMENTS           | CLG |
| 8   | 18 JAN 13 | UPDATE PER NEW SITE PLAN / PRODUCE | CLG |
| 7   | 18 JAN 13 | UPDATE PER CITY COMMENTS / REVISE  | CLG |
| 6   | 18 JAN 13 | UPDATE PER CITY COMMENTS           | CLG |
| 5   | 18 MAR 13 | UPDATE PER COMMENTS                | CLG |
| 4   | 18 JAN 13 | UPDATE PER COMMENTS / REVISE       | CLG |
| 3   | 18 JAN 13 | ADD LANDSCAPE SECTION              | CLG |
| 2   | 18 JAN 13 | UPDATE PER NEW SITE PLAN           | CLG |
| 1   | 18 JAN 13 | CONCEPT PLAN / SOIL FOR SUBMISSION | CLG |

CLIENT:

PROJECT:  
**6-STORY APARTMENT DEVELOPMENT**  
 10826 - 133A STREET  
 SURREY

DRAWING TITLE:  
**LANDSCAPE PLAN**

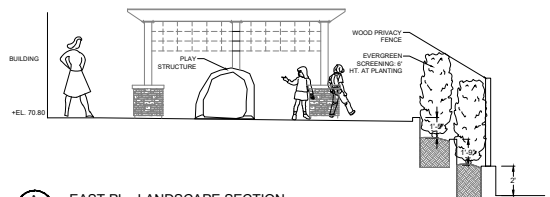
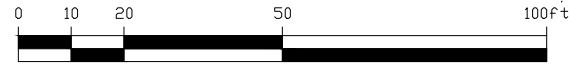
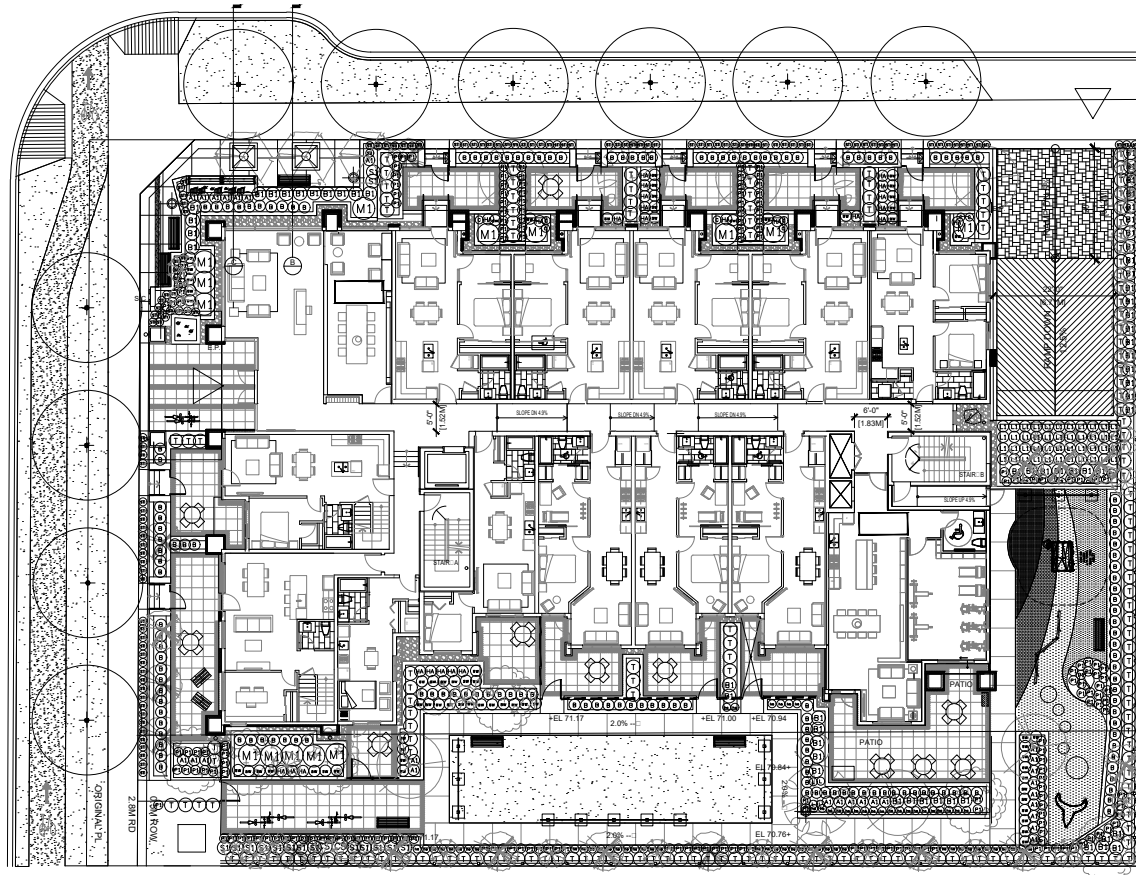
DATE: 18.AUG.21 DRAWING NUMBER:  
 SCALE: 3/32 = 1"=0'  
 DRAWN: CLG  
 DESIGN: CLG  
 CHK'D: PCM

**L1**  
 OF 4

**PLANT SCHEDULE**

| KEY | SYMBOL | BOTANICAL NAME                     | COMMON NAME                           | PMG PROJECT NUMBER: 18-131 | PLANTED SIZE / REMARKS  |
|-----|--------|------------------------------------|---------------------------------------|----------------------------|-------------------------|
| 1   |        | CORNUS KOUSA SATOMI                | PINK KOUSA DOGWOOD                    |                            | 5.0CM CAL 1.5M STD. B/B |
| 2   |        | MAGNOLIA 'ELZABETH'                | ELZABETH MAGNOLIA (YELLOW)            |                            | 5.0CM CAL 1.5M STD. B/B |
| 3   |        | PARROTIA PERSICA VARESSAE          | VANESSA PERSIAN IRONWOOD              |                            | 5.0CM CAL 1.5M STD. B/B |
| 4   |        | PRUNUS NIGRA 'ARNOLD SENTINEL'     | ARNOLD SENTINEL AUSTRALIAN BLACK PINE |                            | 3.0M HT. B/B            |
| 5   |        | PRUNUS 'BLUREANNA'                 | FLOWERING PLUM                        |                            | 6.0CM CAL 1.5M STD. B/B |
| 6   |        | QUERCUS PALUSTRIS 'GREEN PILLAR'   | GREEN PILLAR PIN AK                   |                            | 6.0CM CAL 1.5M STD. B/B |
| 7   |        | STYRAX JAPONICUS 'PINK CHIMES'     | PINK FLOWERED JAPANESE SNOWBELL       |                            | 6.0CM CAL 1.5M STD. B/B |
| 8   |        | AZALEA JAPONICA 'HMC CRIMSON'      | AZALEA SINGLE DEEP CRIMSON            |                            | 3 POT. 40CM             |
| 9   |        | BERBERIS THUNBERGII 'ROSE GLOW'    | ROSE PURPLE FOLIAGE BARBERRY          |                            | 3 POT. 30CM             |
| 10  |        | BUXUS MICROPHYLLA 'WINTER GEM'     | LITTLE LEAF BOX                       |                            | 3 POT. 40CM             |
| 11  |        | CORNUS SERICEA 'KELSEY'            | DWARF KELSEY DOGWOOD                  |                            | 3 POT. 30CM             |
| 12  |        | LONICERA PILEATA                   | BOWLEAF HONEYBUCKLE                   |                            | 2 POT. 30CM             |
| 13  |        | MAHONIA 'MEDEA CHARITY'            | CHARITY MAHONIA                       |                            | 3 POT. 30CM             |
| 14  |        | SPIRAEA JAPONICA 'GOLDMOUND'       | DWARF GOLDMOUND SPIREA                |                            | 3 POT. 40CM             |
| 15  |        | THUJA OCCIDENTALIS 'YELLOW RIBBON' | YELLOW RIBBON CEDAR                   |                            | 1.8M B/B                |
| 16  |        | CAREX ACUTOSTACHYA                 | BEALTBAMA SEDGE                       |                            | 1 POT                   |
| 17  |        | HELICTOTRICHON SEMPERVIRENS        | BLUE OAT GRASS                        |                            | 1 POT                   |
| 18  |        | PENNISETUM ALOPECUROIDES 'HAMELIN' | DWARF FOUNTAIN GRASS                  |                            | 1 POT                   |
| 19  |        | STIPA TENUISSIMA                   | MEDICAL FEATHER GRASS                 |                            | 1 POT                   |
| 20  |        | CAMPSIS X TAGLIABUANA 'MME GALEN'  | MADAME GALEN TRUMPET CREEPER          |                            | 3 POT. 75CM STAKED      |
| 21  |        | HOSTA 'BLUE MAMMOTH'               | HOSTA LARGE BLUE                      |                            | 2 POT. 1-2 EYE          |
| 22  |        | LAVANDULA ANGSTIFOLIA 'MUNSTEAD'   | ENGLISH LAVENDER COMPACT VIOLET-BLUE  |                            | 1 POT                   |
| 23  |        | POLYSTICHUM MARGINATUM             | WESTERN SWORD FERN                    |                            | 1 POT. 20CM             |

NOTES: PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \*SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND PRAIRIE VALLEY. \*SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. \*DEFINITION OF CONDITIONS OF AVAILABILITY: ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \*ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \*NO SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



**A EAST PL - LANDSCAPE SECTION**  
1/4" = 1'-0"

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S: 1st C100 - 4185 Still Creek Drive  
B: 1st Fl. - 1811 131 St. W. V5C 6G9  
T: 604 294-0011, F: 604 294-0022

SCALE:



| NO. | DATE      | REVISION DESCRIPTION                | DR. |
|-----|-----------|-------------------------------------|-----|
| 10  | 18 JUN 13 | UPDATE PER CITY COMMENTS            | CLG |
| 9   | 18 MAR 13 | UPDATE PER SHIP INQUIRY             | CLG |
| 8   | 18 APR 13 | UPDATE PER NEW SITE PLAN / PRODUCE  | CLG |
| 7   | 18 APR 13 | UPDATE PER CITY COMMENTS            | CLG |
| 6   | 18 APR 13 | UPDATE PER CITY COMMENTS            | CLG |
| 5   | 18 MAR 13 | UPDATE PER COMMENTS                 | CLG |
| 4   | 18 JAN 13 | UPDATE PER COMMENTS / PRODUCE       | CLG |
| 3   | 18 JAN 13 | ADD LANDSCAPE SECTION               | CLG |
| 2   | 18 JAN 13 | UPDATE PER NEW SITE PLAN            | CLG |
| 1   | 18 AUG 12 | CONCEPT PLAN / ISSUE FOR SUBMISSION | CLG |

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

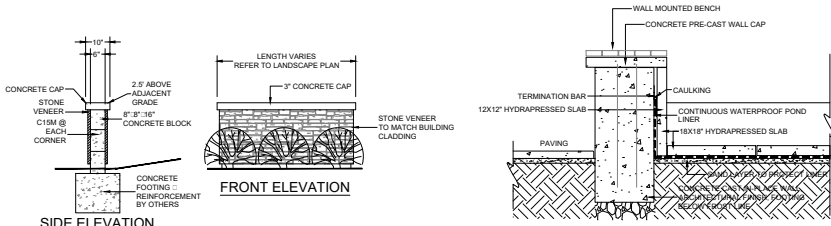
PROJECT:

**6-STORY APARTMENT DEVELOPMENT**

10826 - 133A STREET  
SURREY

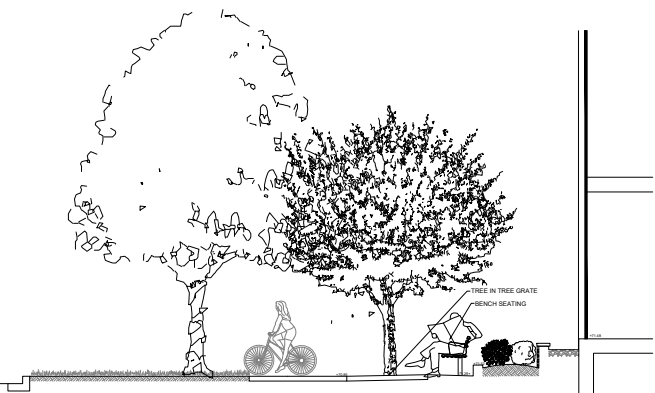
DRAWING TITLE:  
**SHRUB PLAN**

DATE: 18.AUG.21 DRAWING NUMBER:  
SCALE: 3/32 = 1' = 0"  
DRAWN: CLG  
DESIGN: CLG  
CHKD: PCM **L2** OF 4

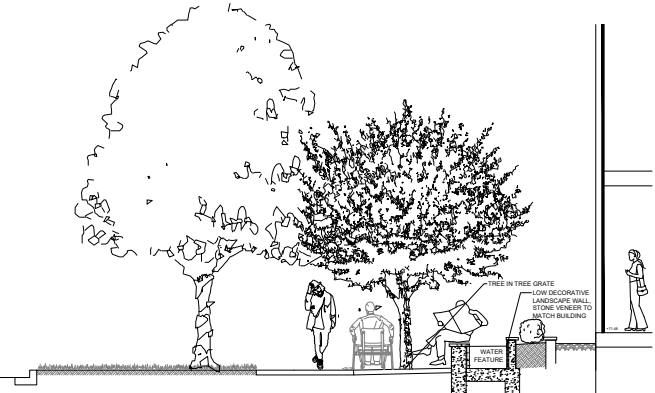


1 FEATURE WALL AT CORNER PLAZA

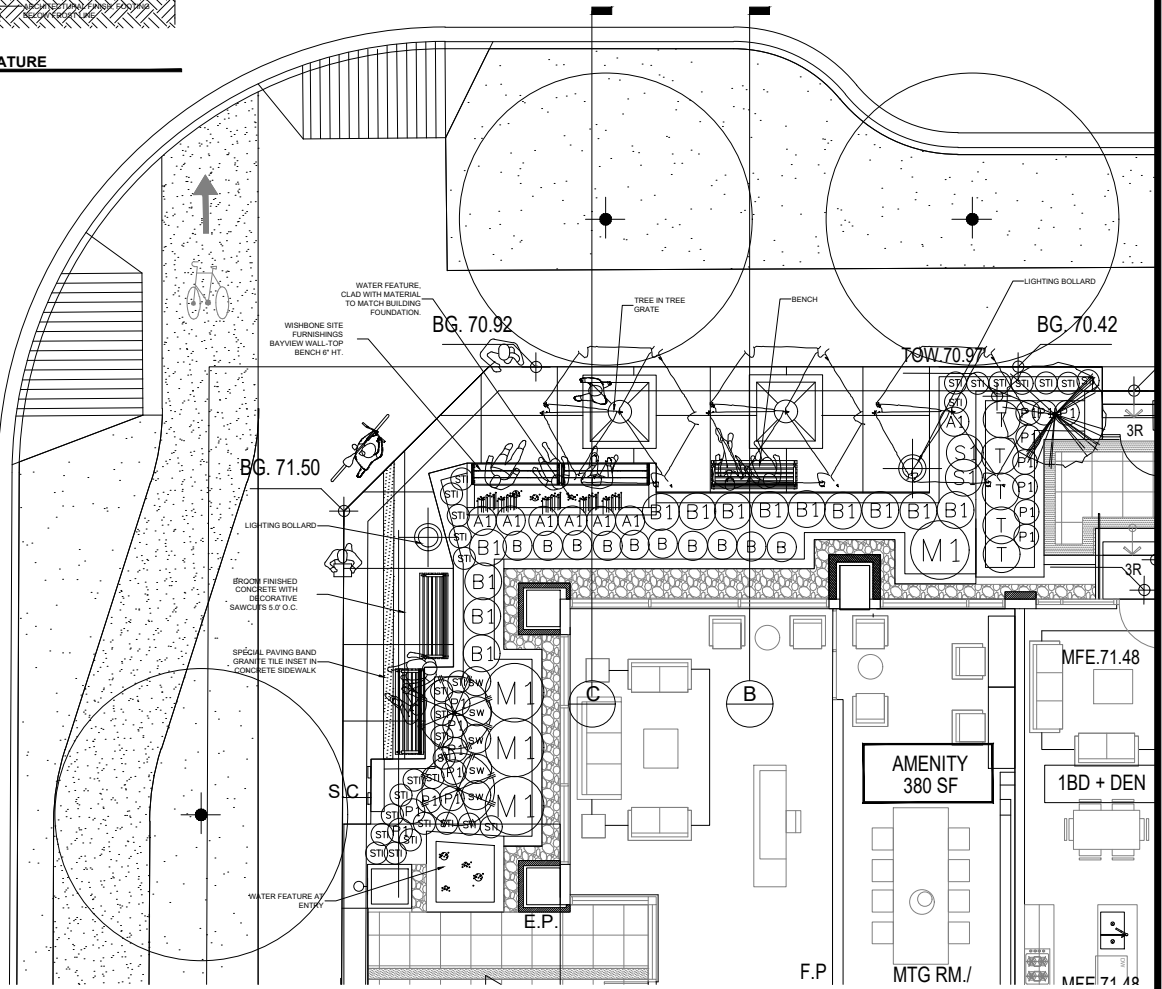
2 WATER FEATURE



B CORNER PLAZA 132A ST 108TH AVE



C CORNER PLAZA 132A ST 108TH AVE



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S: 100 C100 - 4185 Still Creek Drive  
 B: 1000 - 50th St Colton, WA 99009  
 T: 509 294-0011 F: 509 294-0022

SEAL:



| NO. | DATE      | REVISION DESCRIPTION                | DR. |
|-----|-----------|-------------------------------------|-----|
| 10  | 18 JUN 13 | UPDATE PER CITY COMMENTS            | CSG |
| 9   | 18 MAR 13 | UPDATE PER CITY COMMENTS            | CSG |
| 8   | 18 APR 13 | UPDATE PER CITY COMMENTS / RESOLVE  | CSG |
| 7   | 18 APR 13 | UPDATE PER NEW SITE PLAN / RESOLVE  | CSG |
| 6   | 18 APR 13 | UPDATE PER CITY COMMENTS            | CSG |
| 5   | 19 MAR 13 | UPDATE PER COMMENTS                 | CSG |
| 4   | 18 JAN 13 | UPDATE PER COMMENTS / RESOLVE       | CSG |
| 3   | 18 JAN 13 | ADD LANDSCAPE FEATURES              | EBB |
| 2   | 18 JAN 13 | UPDATE PER NEW SITE PLAN            | CSG |
| 1   | 18 AUG 12 | CONCEPT PLAN / ISSUE FOR SUBMISSION | CSG |

CLIENT:

PROJECT:  
**6-STORY APARTMENT DEVELOPMENT**

10826 - 133A STREET  
 SURREY

DRAWING TITLE:  
**CORNER PLAZA DETAIL**
























DATE: 18 JUL 30 DRAWING NUMBER:  
 SCALE: 1/4" = 1'-0"  
 DRAWN:  
 DESIGN:  
 CHKD: **L3**





# PLANT SCHEDULE

PMG PROJECT NUMBER: 18-131

| KEY  | QTY | BOTANICAL NAME                     | COMMON NAME                          | PLANTED SIZE / REMARKS |
|--|-----|------------------------------------|--------------------------------------|------------------------|
| <b>TREE</b>  |     |                                    |                                      |                        |
|   | 6   | CORNUS KOUSA 'SATOMI'              | PINK KOUSA DOGWOOD                   | 5.0CM CAL 1.5M STD B B |
|   | 2   | MAGNOLIA 'ELIZABETH'               | ELIZABETH MAGNOLIA (YELLOW)          | 5.0CM CAL 1.2M STD B B |
|   | 3   | PARROTIA PERSICA 'VANESSA'         | VANESSA PERSIAN IRONWOOD             | 6.0CM CAL 1.5M STD B B |
|   | 30  | PINUS NIGRA 'ARNOLD SENTINEL'      | ARNOLD SENTINEL AUSTRIAN BLACK PINE  | 3.0M HT B B            |
|   | 3   | PRUNUS 'BLIREIANA'                 | FLOWERING PLUM                       | 6CM CAL 1.5M STD B B   |
|   | 17  | QUERCUS PALUSTRIS 'GREEN PILLAR'   | GREEN PILLAR PIN AK                  | 6.0CM CAL 1.8M STD B B |
|   | 6   | STYRAX JAPONICUS 'PINK CHIMES'     | PINK FLOWERED JAPANESE SNOWBELL      | 6.0CM CAL 1.5M STD B B |
| <b>SHRUB</b>   |     |                                    |                                      |                        |
|   | 27  | AZALEA JAPONICA 'HINO CRIMSON'     | AZALEA SINGLE DEEP CRIMSON           | 3 POT 40CM             |
|   | 58  | BERBERIS THUNBERGII 'ROSE GLOW'    | ROSE PURPLE FOLIAGE BARBERRY         | 2 POT 30CM             |
|   | 155 | BUXUS MICROPHYLLA 'WINTER GEM'     | LITTLE-LEAF BOX                      | 3 POT 40CM             |
|   | 2   | CORNUS SERICEA 'KELSEY'            | DWARF KELSEY DOGWOOD                 | 3 POT 80CM             |
|   | 44  | LONICERA PILEATA                   | BOXLEAF HONEYSUCKLE                  | 2 POT 30CM             |
|   | 14  | MAHONIA 'MEDIA CHARITY'            | CHARITY MAHONIA                      | 3 POT 50CM             |
|   | 15  | SPIRAEA JAPONICA 'GOLDMOUND'       | DWARF GOLDMOUND SPIREA               | 3 POT 40CM             |
|   | 171 | THUJA OCCIDENTALIS 'YELLOW RIBBON' | YELLOW RIBBON CEDAR                  | 1.8M B B               |
| <b>GRASS</b>   |     |                                    |                                      |                        |
|   | 8   | CAREX 'BEATLEMANIA'                | BEATLEMANIA SEDGE                    | 1 POT                  |
|   | 66  | HELICTOTRICHON SEMPERVIRENS        | BLUE OAT GRASS                       | 1 POT                  |
|   | 178 | PENNISETUM ALOPECUROIDES 'HAMELIN' | DWARF FOUNTAIN GRASS                 | 1 POT                  |
|   | 118 | STIPA TENUISSIMA                   | MEXICAN FEATHER GRASS                | 1 POT                  |
| <b>VINE</b>  |     |                                    |                                      |                        |
|   | 3   | CAMPISIS X TAGLIABUANA 'MME GALEN' | MADAME GALEN TRUMPET CREEPER         | 3 POT 75CM STAKED      |
| <b>PERENNIAL</b>   |     |                                    |                                      |                        |
|   | 25  | HOSTA 'BLUE MAMMOTH'               | HOSTA LARGE BLUE                     | 2 POT 1-2 EYE          |
|   | 4   | LAVENDULA ANGUSTIFOLIA 'MUNSTEAD'  | ENGLISH LAVENDER COMPACT VIOLET-BLUE | 1 POT                  |
| <b>GC</b>  |     |                                    |                                      |                        |
|  | 64  | POLYSTICHUM MUNITUM                | WESTERN SWORD FERN                   | 1 POT 20CM             |

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

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SEAL:

| NO. | DATE      | REVISION DESCRIPTION                | DR. |
|-----|-----------|-------------------------------------|-----|
| 10  | 18 JUN 18 | UPDATE PER CITY COMMENTS            | CSG |
| 9   | 18 MAY 18 | UPDATE PER ADP COMMENTS             | CSG |
| 8   | 18 APR 18 | UPDATE PER CITY COMMENTS / RESOLVE  | CSG |
| 7   | 18 APR 18 | UPDATE PER NEW SITE PLAN / RESOLVE  | CSG |
| 6   | 18 APR 18 | UPDATE PER CLIENT COMMENTS          | CSG |
| 5   | 18 MAR 18 | UPDATE PER COMMENTS                 | CSG |
| 4   | 18 JAN 18 | UPDATE PER COMMENTS / RESOLVE       | CSG |
| 3   | 18 JAN 18 | ADD LANDSCAPE SECTION               | CSG |
| 2   | 18 JAN 18 | UPDATE PER NEW SITE PLAN            | CSG |
| 1   | 18 AUG 17 | CONCEPT PLAN / ISSUE FOR SUBMISSION | CSG |

CLIENT:

PROJECT:

**6-STORY APARTMENT DEVELOPMENT**  
 10826 - 133A STREET  
 SURREY  
 DRAWING TITLE:  
**LANDSCAPE PLANT LIST ENLARGED**

DATE: 18 JUL 30 DRAWING NUMBER:  
 SCALE: AS NOTED  
 DRAWN:  
 DESIGN:  
 CHKD: OF 4

CIVIL DRAWINGS



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TO: **Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

FROM: **Development Engineer, Engineering Department**

DATE: **Jan 04, 2019** PROJECT FILE: **7818-0319-00**

---

RE: **Engineering Requirements  
Location: 10826 - 132A Street and 13265 - 108 Avenue**

### REZONE/SUBDIVISION

#### *Property and Right-of-Way Requirements*

- Dedicate 2.808m along 108 Avenue for the ultimate 30.0m arterial road standard.
- Dedicate 3.0m x 3.0m corner cut at the intersection of 132A Street and 108 Avenue.
- Provide a 0.5m wide statutory rights-of-way (SROW) along 132A Street and 108 Avenue road frontages.

#### *Works and Services*

- Construct east side of 132A Street to the City Centre local road standard.
- Construct north side of 108 Avenue to the City Centre arterial road standard.
- Construct north side of 108 Avenue fronting 13277 - 108 Avenue to the City Centre arterial road standards under Development Coordinated Works (DCW). These works are subject to the available City funding.
- Construct minimum 250mm water main along 132A Street.
- Provide metered water, sanitary and storm service connections to the site.
- Register applicable legal documents and working easements as determined through detailed design.
- Pay City Centre Amenity charge for undergrounding the existing overhead electrical and telecommunication infrastructure.

A Servicing Agreement is required prior to Rezone/Subdivision.

### DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit beyond those noted above.



Tommy Buchmann, P.Eng.  
Acting Development Services Manager

HB4



Planning

June 13, 2019

**THE IMPACT ON SCHOOLS**

APPLICATION #: 18 0319 00

**SUMMARY**

The proposed 80 lowrise units are estimated to have the following impact on the following schools:

**Projected # of students for this development:**

|                      |   |
|----------------------|---|
| Elementary Students: | 4 |
| Secondary Students:  | 4 |

**September 2018 Enrolment/School Capacity**

|                                 |            |
|---------------------------------|------------|
| <b>K.B. Woodward Elementary</b> |            |
| Enrolment (K/1-7):              | 77 K + 555 |
| Operating Capacity (K/1-7)      | 38 K + 396 |
| <b>Kwantlen Park Secondary</b>  |            |
| Enrolment (8-12):               | 1432       |
| Capacity (8-12):                | 1200       |

**School Enrolment Projections and Planning Update:**

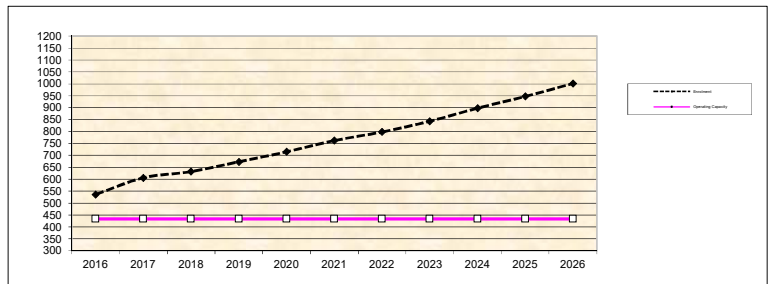
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

KB Woodward Elementary is operating at 138% capacity. The 10 year enrolment projections indicate that the school will grow as City Centre continues to transform into the new business/commercial/residential center for Surrey. As for September 2018, there are currently 8 portables on site used for enrolling space. Any immediate future growth will need to be addressed by bringing on portables.

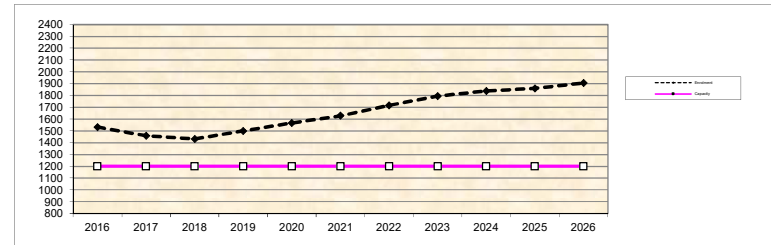
There is potential for significant redevelopment located along King George Boulevard, in particular, with the current building form potentially changing into high rise residential development and/or mixed use. The timing of these future high rise developments, with good market conditions, will impact the enrolment growth upwards. Along with this development, growth could be further compounded with the densification of 104th Ave between City Centre and Guildford Mall. As of March 2019, the Ministry of Education approved funding to prepare a feasibility study to build a 200 capacity addition at this site to relieve the short term pressure at the school.

As of September 2018, Kwantlen Park Secondary is currently operating at 119% with 11 portables on site used for enrolling classes. As part of the 2019/2020 Five Year Capital Plan submission, the District is requesting a 300 capacity addition to relieve enrolment pressure in the catchment. The Ministry has not approved any funding for this project.

**K.B. Woodward Elementary**



**Kwantlen Park Secondary**



\* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.  
Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

## Tree Preservation Summary

Surrey Project No: 18-0319

Address: 10826 132A Street &amp; 13265 108 Avenue

Registered Arborist: Woodridge Tree Consulting Arborists Ltd., Krisanna Mazur - PN7530A

| On-Site Trees   | Number of Trees | Off-Site Trees   | Number of Trees |
|---|-----------------|--|-----------------|
| <b>Protected Trees Identified *</b>   | 34              | <b>Protected Trees Identified</b>                            | 1               |
| <b>Protected Trees to be Removed</b>  | 34              | <b>Protected Trees to be Removed</b>                         | 1               |
| <b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)  | 0               | <b>Protected Trees to be Retained</b>                        | 0               |
| <b>Total Replacement Trees Required:</b>  |                 | <b>Total Replacement Trees Required:</b>                     |                 |
| - Alder & Cottonwoods to be removed (1:1)<br>1 X one (1) = 1  | 67              | - Alder & Cottonwoods to be removed (1:1)<br>0 X one (1) = 0 | 2               |
| - All other species to be removed (2:1)<br>33 X two (2) = 66  |                 | - All other species to be removed (2:1)<br>1 X two (2) = 2   |                 |
| <b>Replacement Trees Proposed</b>   | 23              | <b>Replacement Trees Proposed</b>                            | 0               |
| <b>Replacement Trees in Deficit</b>   | 44              | <b>Replacement Trees in Deficit</b>                          | 2               |
| <b>Protected Trees to be Retained in Proposed Open Space or Riparian Areas</b>  | 0               |  |                 |
| *on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas |                 |  |                 |

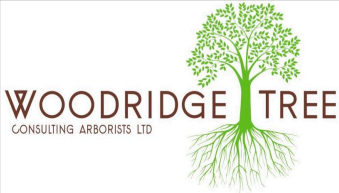
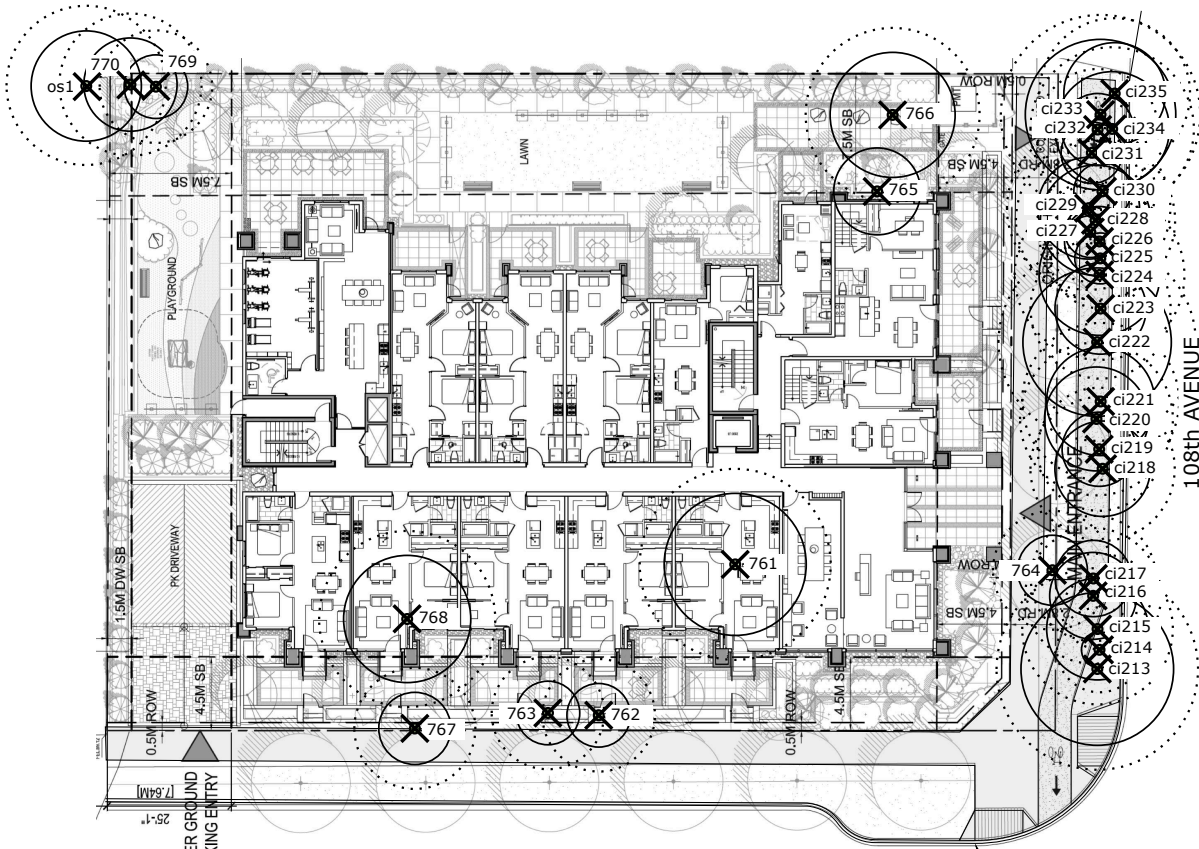
Summary, report and plan prepared and submitted by:



April 2, 2019

(Signature of Arborist)

Date



**Tree Plan for Development at  
10826 132A Street &  
13265 108 Avenue,  
Surrey, B.C.**

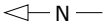
**Date: May 14, 2018  
Updated: August 10, 2018  
Updated: April 2, 2019**

**Notes**

- trees #ci2, ci4, ci14, ci16 and os1 were not surveyed, locations are approximate

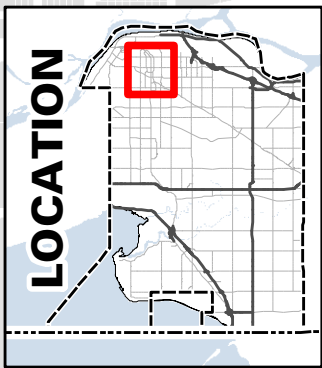
| Tree Inventory |              |          |         |  |
|----------------|--------------|----------|---------|--|
| Tag            | Species      | DBH (cm) | TPZ (m) |  |
| ci213          | Douglas Fir  | 72       | 4.32    |  |
| ci214          | Douglas Fir  | 17       | 1.02    |  |
| ci215          | Douglas Fir  | 48       | 2.88    |  |
| ci216          | Douglas Fir  | 41       | 2.46    |  |
| ci217          | Douglas Fir  | 36       | 2.16    |  |
| ci218          | Douglas Fir  | 45       | 2.70    |  |
| ci219          | Douglas Fir  | 35       | 2.10    |  |
| ci220          | Douglas Fir  | 49       | 2.94    |  |
| ci221          | Douglas Fir  | 51       | 3.06    |  |
| ci222          | Douglas Fir  | 70       | 4.20    |  |
| ci223          | Douglas Fir  | 43       | 2.58    |  |
| ci224          | Douglas Fir  | 57       | 3.42    |  |
| ci225          | Douglas Fir  | 24       | 1.44    |  |
| ci226          | Douglas Fir  | 33       | 1.98    |  |
| ci227          | Douglas Fir  | 24       | 1.44    |  |
| ci228          | Douglas Fir  | 52       | 3.12    |  |
| ci229          | Douglas Fir  | 54       | 3.24    |  |
| ci230          | Douglas Fir  | 27       | 1.62    |  |
| ci231          | Douglas Fir  | 29       | 1.74    |  |
| ci232          | Douglas Fir  | 34       | 2.04    |  |
| ci233          | Douglas Fir  | 71       | 4.26    |  |
| ci234          | Elm          | 54       | 3.24    |  |
| ci235          | Elm          | 48       | 2.88    |  |
| 760            | Red Alder    | 48       | 2.88    |  |
| 761            | Cherry Tree  | 67       | 4.02    |  |
| 762            | Mountain Ash | 30       | 1.80    |  |
| 763            | Mountain Ash | 30       | 1.80    |  |
| 764            | Cherry Tree  | 33       | 1.98    |  |
| 765            | Cherry Tree  | 41       | 2.46    |  |
| 766            | Cherry Tree  | 59       | 3.54    |  |
| 767            | Blue Spruce  | 34       | 2.04    |  |
| 768            | Douglas Fir  | 60       | 3.60    |  |
| 769            | Silver Birch | 30       | 1.80    |  |
| 770            | Douglas Fir  | 44       | 2.64    |  |
| os1            | Black Pine   | 52       | 3.12    |  |

**Legend**

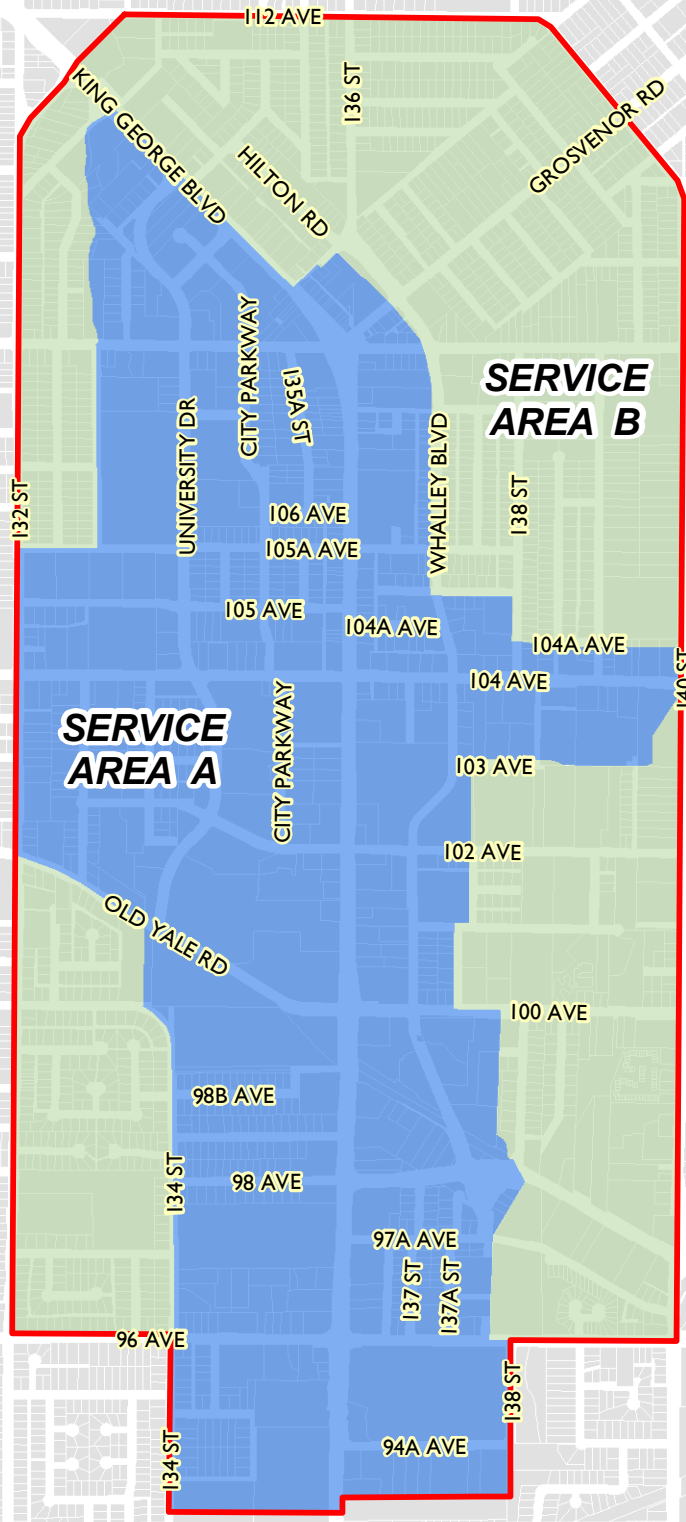


x = remove tree

tree barrier



Subject Site



**LEGEND**

- Service Area A
- Service Area B
- City Centre Boundary

Produced by GIS Section: May 31, 2012, CS/AW8



# DISTRICT ENERGY SERVICE AREA (SERVICE AREA A & SERVICE AREA B)

## ENGINEERING DEPARTMENT

The data provided is compiled from various sources and IS NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, Legal descriptions and encumbrances must be confirmed at the Land Title Office.



2. 5:15 p.m.

File No.: 18-0319-00  
Address: 10826 132A Street and 13265 108 Avenue  
New or Resubmit: New  
Last Submission Date: N/A  
Description: Proposed Rezoning and Development Permit to allow for 6 storey residential apartments with a total of 80 residential units proposed.  
Developer: Cheer Real Estate Development  
Architect: Martin Liew  
Landscape Architect: Caelan Griffiths  
Planner: Ingrid Matthews  
Urban Design Planner: Sam Maleknia

The Urban Design Planner advised that staff have no specific issues.

The Project Architect presented an overview of the site and building plans, streetscapes and elevations.

The Landscape Architect presented an overview of the general concept for the Landscape plans.

*See Response in Blue Italic*

## ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by I. MacFadyen  
Seconded by R. Sethi  
That the Advisory Design Panel (ADP):

1. SUPPORT the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department.
2. Recommend that the landscaping submission return to staff for further development.

Carried

### Key Points

- Stronger horizontal break between Hardie products to be more purposeful.  
*Implemented. See elevation drawings.*
- East elevation material selection to be enhanced by masonry products.  
*The current proposed trees on outdoor amenity area serves the purpose of articulation of the lower floors of the east elevation visually from the street.*

*Having additional architectural articulation on the lower portion of the building is redundant.*

- Improve outdoor amenity on the east side with both programming and conception to the north outdoor amenity.  
*Implemented. See landscape site plan drawing*
- Make references to BC Energy Step Code.  
*Noted, see Site Plan & Project Summary*
- 
- Stormwater strategies to manage stormwater runoff.  
*Will address this in servicing agreement*
- The corner plaza needs further design development  
*Implemented. See landscape site plan drawing*
- Ensure the glass on amenity space is clear.  
*Implemented. See elevation dwg*
- Reconsider location of bicycle racks. Relocate them to the east side, behind of PMT in more protected and safe location.  
*Implemented. See landscape site plan drawing*

#### Site

- Reconsider location for bicycle rack.  
*Implemented. See landscape site plan drawing*

#### Form and Character

- Consider applying the Hardie panels more rigorously to the north and east elevations. Clarify the black joints on the panels.  
*Elevation has been modified as per comments. See elevation drawings.*
- Consider eliminating the use of stone cladding above wood posts at sixth floor. Keep the stone cladding at the base only.  
*Implemented. See south and west elevation drawings.*
- Consider re-programming amenity space in the south east corner of the site and connection to the main outdoor amenity to the north.  
*See landscape dwg*
- Consider a distinctive horizontal break or transition from different siding type.  
*Elevation has been modified as per comments. See elevation drawings.*
- Consider adjusting the northwest balcony so won't terminate the wooden pillars.  
*Implemented. See Plan A105 and west elevation drawings.*

- Consider additional articulation of lower floors of east elevation.  
*The current proposed trees on outdoor amenity area serves the purpose of articulation of the lower floors of the east elevation visually from the street. Having additional architectural articulation on the lower portion of the building would appear too “ heavy”.*
- Ensure that Stair A complies to BC building code as it is a long way to exit through the lobby.  
*Code consultant confirmed that it can be resolved through “Alternate solution” to the BCBC 2018*

#### Landscape

- Consider reworking the corner plaza, water feature and main entry to be unified and create a more cohesive plaza.  
  
*Implemented, see landscape plan*

#### CPTED

- No specific issues were identified.

#### Sustainability

- Consider certification against LEED.  
*Will have equibalance to LEED Silver*
- Consider Step Code 3 of the BC Energy Step Code.  
*Will apply current Step Code 2 as required by BC Energy Step Code*
- Consider step code and energy modeling on the windows.  
*Noted*
- Consider additional EV charging stations.  
*The project has increase 3 more ( in total of 5) EV charging stations and all the other parking stalls will provide rough in for future EV charging stations*
- Consider raingarden and stormwater strategies to minimum runoff.  
*Will address in servicing agreement*
- Consideration made to stormwater management system.  
*Same as above mentioned*
- Consider increasing the amount of soft and permeable surfaces.  
*The entire building is sitting on below grade parkade structure. Increasing the amount of soft and permeable surface might not be possible under the premise.*

CITY OF SURREY

BYLAW NO. \_\_\_\_\_

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended  
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 002-347-989

Lot 3 Section 15 Block 5 North Range 2 West New Westminster District Plan 20244

10826 - 132A Street

Parcel Identifier: 008-709-891

Lot "A" (U8084E) Section 15 Block 5 North Range 2 West New Westminster District Plan 20244

13265 - 108 Avenue

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

**A. Intent**

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density*, medium rise, *multiple unit residential buildings*, *ground-oriented multiple unit residential buildings* and related *amenity spaces*, which are to be developed in accordance with a *comprehensive design*.

**B. Permitted Uses**

The *Lands* and *structures* shall be used for *multiple unit residential buildings* and *ground-oriented multiple unit residential buildings*.

**C. Lot Area**

Not applicable to this Zone.

**D. Density**

1. For the purpose of *building* construction, the maximum *density* shall not exceed a *floor area ratio* of 0.1 or *building* area of 300 square metres [3,230 sq. ft.] whichever is smaller. The maximum *density* of development may be increased to that prescribed in Section D.2 and D.3 of this Zone if amenities are provided in accordance with Schedule G of Surrey Zoning Bylaw, 1993, No. 12000, as amended.
2. The *floor area ratio* shall not exceed 2.63.
3. The indoor *amenity space* required in Sub-section J.1(b) of this Zone is excluded from the calculation of *floor area ratio*.

**E. Lot Coverage**

The *lot coverage* shall not exceed 48%.

**F. Yards and Setbacks**

1. *Buildings* and *structures* shall be sited in accordance with the following minimum *setbacks*:

| <b>Use</b>  | <b>Setback</b> | South<br>Yard       | North<br>Yard     | West<br>Yard     | East<br>Yard      |
|---|----------------|---------------------|-------------------|------------------|-------------------|
| <i>Principal Buildings</i> and<br><i>Accessory Buildings</i> and<br><i>Structures</i> |                | 4.5 m *<br>[15 ft.] | 8.0 m<br>[26 ft.] | 4.5m<br>[15 ft.] | 7.2 m<br>[24 ft.] |

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

\*The south *yard setback* for the principal *building* entry canopy and columns may be reduced to 0.5 metres (1.6 ft.).

2. Notwithstanding Sub-section E.17(b) of Part 4 General Provision of Surrey Zoning By-law, 1993, No. 12000, as amended, stairs with more than three risers may encroach into the *setbacks*.
3. Notwithstanding Sub-section E.17(b) of Part 4 General Provision of Surrey Zoning By-law, 1993, No. 12000, as amended, *building* columns and posts may encroach up to 1.0 metres (3 ft.) into the required *setbacks*.

## **G. Height of Buildings**

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. Principal buildings: The *building height* shall not exceed 20 metres [66 ft.].
2. Accessory buildings and structures: The *building height* shall not exceed 4.5 metres [ 15 ft.].

## **H. Off-Street Parking**

1. Resident and visitor *parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.
3. *Tandem parking* is not permitted.
4. Notwithstanding Sub-section A.3(d) of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, the *Parking Facility Underground* may be located up to 0.5 metres [2 ft.] from the *front lot line* or *lot line* along a *flanking street*.

## **I. Landscaping**

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping strip* of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be located within the *underground parking* or within a *building*.

## **J. Special Regulations**

1. *Amenity space* shall be provided on the *lot* as follows:

- (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
  - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.
2. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq.ft.] per *dwelling unit*, whichever is greater.

**K. Subdivision**

*Lots* created through subdivision in this Zone shall conform to the following minimum standards:

| <i>Lot Size</i>            | <i>Lot Width</i>      | <i>Lot Depth</i>      |
|----------------------------|-----------------------|-----------------------|
| 2,000 sq.m.<br>[0.50 acre] | 30 metres<br>[98 ft.] | 40 metres<br>[131ft.] |

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

**L. Other Regulations**

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

- 1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
- 2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-70 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
- 3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
- 4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
- 5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.

6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2016, No. 19478, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-70 Zone.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, \_\_\_\_\_, No. \_\_\_\_\_."

PASSED FIRST READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PASSED SECOND READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PUBLIC HEARING HELD thereon on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PASSED THIRD READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

\_\_\_\_\_ MAYOR

\_\_\_\_\_ CLERK