

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7918-0316-00

Planning Report Date: December 2, 2019

PROPOSAL:

- **Rezoning** from RF to CD (based on RM-70)
- **Development Permit**

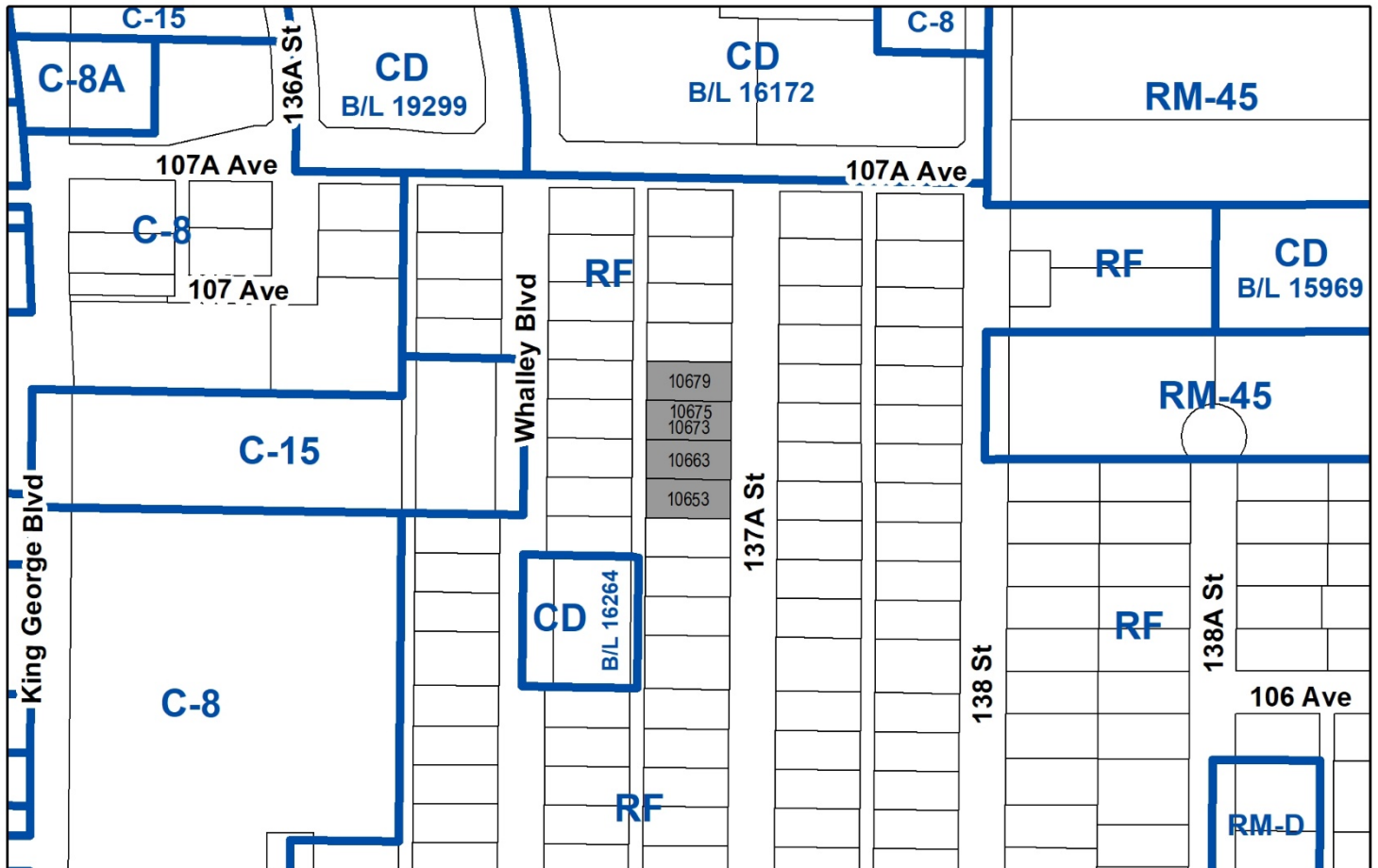
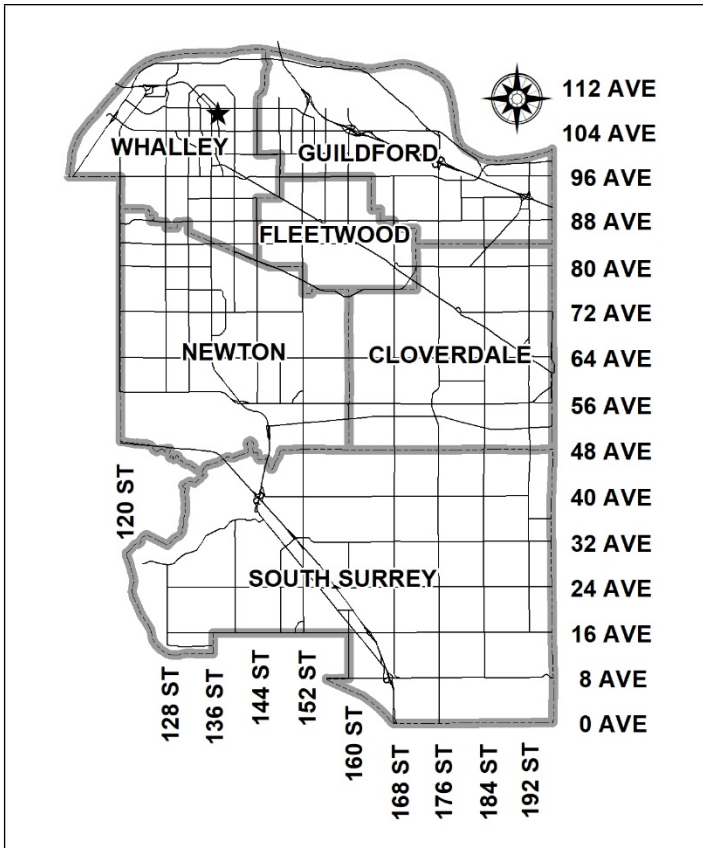
to permit the development of a 6-storey apartment building consisting of 86 dwelling units.

LOCATION: 10653, 10663, 10673/10675 and 10679- 137A Street

ZONING: RF

OCP DESIGNATION: Multiple Residential

CCP DESIGNATION: Residential Low to Mid Rise up to 2.5 FAR



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit for Form and Character.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None

RATIONALE OF RECOMMENDATION

- Complies with the "Multiple Residential" designation in the Official Community Plan (OCP) and the "Low to Mid-Rise up to 2.5 FAR" designation in the City Centre Plan.
- The proposed density and building form are appropriate for this part of the City Centre as the building works with the slope of the site to meet the intent of the Forsyth District's reduced height guidelines for the area.
- The proposed building height and massing complies with the City Centre Plan with heights ranging from 4 to 6 storeys in the Forsyth District.
- The proposed building massing and architectural design quality will contribute positively to the streetscape along 137A Street and the brick finish and colour palette create a visually interesting architectural style that help to reinforce the emerging character in the City Centre.
- The proposed setbacks achieve a more urban, pedestrian streetscape in compliance with the City Centre Plan.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7918-0316-00 generally in accordance with the attached drawings (Appendix II).
3. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (g) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
 - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to the City's Affordable Housing Strategy, to the satisfaction of the General Manager, Planning & Development Services; and
 - (i) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project, subject to the completion of Engineering servicing requirements, as outlined in Appendix III.

School District: Projected number of students from this development:

4 Elementary students at Forsyth Road Elementary School
2 Secondary students at Kwantlen Park Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring 2021.

Parks, Recreation & Culture:

The applicant is required to pay the Community Amenity Contributions on a per unit basis in keeping with the City Centre Plan adopted by Council.

Surrey Fire Service:

A Building Permit may not be issued until a Construction Fire Safety Plan has been submitted, reviewed and accepted by the Fire Service.

SITE CHARACTERISTICS**Existing Land Use:**

All lots have existing dwellings, which will be removed.

Adjacent Area:

Direction	Existing Use	OCP/CCP Designation	Existing Zone
North:	Single Family Dwellings on RF lots.	Multiple Residential / Residential Low to Mid Rise up to 2.5 FAR.	RF
East (Across 137A Street):	Single Family Dwellings on RF lots.	Multiple Residential / Residential Low to Mid Rise up to 2.5 FAR.	RF
South (Across future 106A Avenue):	Single Family Dwellings on RF lots. Site is under application (18-0401) for two 6 storey apartment buildings.	Multiple Residential / Residential Low to Mid Rise up to 2.5 FAR.	RF
West (Across lane):	Single Family Dwellings on RF lots and vacant lots.	Multiple Residential / Residential Low to Mid Rise up to 2.5 FAR.	RF

DEVELOPMENT CONSIDERATIONS

Background

- The 0.25-hectare (0.61-acre) subject site is comprised of four lots which are located along 137A Street, between 105A Avenue and 107A Avenue, in the City Centre.
- The subject site is designated "Multiple Residential" in the Official Community Plan (OCP), Low to Mid-Rise up to 2.5 FAR in the City Centre Plan (CCP) and is currently zoned "Single Family Residential Zone (RF)".

Current Proposal

- The applicant is proposing to rezone the subject site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" based on the "Multiple Residential 70 Zone (RM-70)" as well as a Development Permit in order to allow the construction of a 6-storey apartment building with a two-storey townhouse base fronting 137A Street and the future 106A Avenue. The proposal includes 77 apartment units and 9 townhouse units for a total of 86 dwelling units.
- The proposed unit mix is approximately 66% Studio/1-bedroom units, 20% 2-bedroom units, and 14% 3-bedroom units.
- The subject site will be consolidated from four properties into 1 lot.
- The gross density for the proposed 86-unit development is 349 units per hectare (141 units per acre). Based on the net site area, the unit density is 370 units per hectare (150 units per acre), with a gross floor area ratio (FAR) of 2.38 and a net floor area ratio of 2.53. The gross floor area ratio (FAR) proposed for this development complies with the "Residential Low to Mid Rise up to 2.5 FAR" Surrey City Centre Plan designation and the Multiple Residential OCP designation.
- The proposed use, density, and building massing are in accordance with the long-term vision for this part of Surrey City Centre as described in the City Centre Plan, which was approved by Council on January 16, 2017 (Corporate Report No. R014; 2017). The subject site is located in The Forsyth District. This area is envisioned as a medium density residential neighbourhood of apartments and townhouses, connected to neighbourhood parks and schools with a fine-grained street network or green lanes and pathway systems.
- In order to accommodate the proposed density and other aspects of the project, the applicant has applied to rezone the site to a CD Zone.

Policy Considerations

- The proposed development is supported by the following land use designation, objectives, and policies:

- The Multiple Residential designation is intended to support higher-density residential development including local, neighbourhood serving commercial and community uses. These higher-density neighbourhoods are typically located adjacent to Commercial, Town Centre, Central Business District designations or along Frequent Transit Corridors to support the vitality of these areas.

Subject to creating an appropriate interface with adjacent lower-density residential neighbourhoods, residential uses in this designation may include apartment buildings (generally up to 6 storeys), higher density townhouses (Typically with underground or structured parking) and supportive housing community care facilities that are constructed as multiple-family buildings.

(The proposed development complies with the intention of the Multiple Residential OCP designation.)

- Policy A1.3 - Accommodate urban land development according to the following order of growth management priorities:
 - City Centre and Town Centre locations well-served by local services, infrastructure, and transit.

(The proposed development is located in the City Centre and is well serviced by local services, infrastructure, and transit.)

- Policy A1.5 – Use the provision of municipal services and utilities as a means of supporting the growth management priorities, land use policies and community goals outlines in this Official Community Plan.

(The proposed development falls within Service Area A as defined in the City Centre District Energy System By-law 17667 and must meet the conditions of the by-law prior to the issuance of a Building Permit.)

- Policy A3.3 – Require redevelopment and infill development to contribute to neighbourhood connectivity and walkability and to enhance public opens spaces and greenspaces within existing neighbourhoods.

(The proposed development will enhance the pedestrian environment which will improve walkability and connectivity.)

- Policy C1.2 – Encourage the development of more compact and efficient land uses and servicing systems, emphasizing infill and intensification in order to use existing infrastructure systems efficiently and to minimize the costs of new utility infrastructure.

(The proposed development is a more compact and efficient land use than the current single family homes that occupy the subject site.)

- C2.5 – Encourage development patterns, densities and designs that support transit services and that promote efficient walking and cycling.

(The proposed development will be at a density that supports transit use. The improved pedestrian realm will encourage walking and the provision of bicycle parking for residents and visitors will promote cycling.)

- The subject site is located in the City Centre Plan area's Forsyth District. The vision for this district is to create a community that consists of medium scaled apartment buildings. The Forsyth District is located at the highest topographic area of City Centre, which effectively increases the height of the buildings. Because any new buildings in this District will have an increased visibility from the surrounding areas, the maximum proposed height in the Plan for this neighbourhood is 4 to 6 storeys.

(The proposed development has been designed to work with the topography of the site which rises from west to east. The building's height from the western lane will be 6 storeys; however, the height from 137A Street will be 5 storeys, meeting the intent of the Forsyth District's height guidelines.)

Transportation Considerations

- The subject site will be accessed from the lane to the west at the rear of the property.
- As part of the development, the applicant is being required to construct the west side of 137A Street to City Centre local road standard, construct the north side of the future 106A Avenue to City Centre collector road standard, and to construct the rear lane to City standards.
- The proposed development is located approximately 50 metres (165 ft.) from the north/south cycle route that runs along Whalley Boulevard and approximately 1.3 kilometers (0.8 mi.) from the east/west 100 Avenue cycle route.
- The subject site well served by a number of bus routes that run along 104 Avenue (Routes 96 B-Line, 320 and 337), 108 Avenue (Route 335), and King George Boulevard (Route 321). The site is also located in walkable distances from both Surrey Central (1.2 km) and Gateway SkyTrain (950 m) stations.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant must resolve this requirement prior to consideration of Final Adoption.

Affordable Housing Strategy

- On April 9, 2018 Council approved the City’s Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Restrictive Covenant to adequately address the City’s needs with respect to the City’s Affordable Housing Strategy prior to any Building Permit Issuance.

PROPOSED CD BY-LAW

- The applicant is proposing to rezone the entire site from "Single Family Residential Zone (RF)" to "Comprehensive Development Zone (CD)" based on the requirements of the "Multiple Residential 70 Zone (RM-70)", with modifications to density, building heights and setbacks.
- The following table shows a comparison between the proposed CD Zone and the RM-70 Zone:

	RM-70	Proposed CD Zone
Density (Floor Area Ratio) (Units per Hectare)	1.5 FAR (net) N/A	2.6 (net) 376 UPH
Lot Coverage	33%	52%
Building Height (metres)	50 metres (164 ft)	20 metres (65 ft.)
Building Setbacks (metres)	7.5 metres (25 ft.) from all lot lines.	<u>North</u> 7.5 metres (25ft.)
Building Setbacks (metres)		<u>East</u> 4.5 metres (15 ft.)
		<u>South</u> 4.5 metres (15 ft.)
		<u>West</u> 7.5 metres (25 ft.)

- The floor area ratio (FAR) has been increased from 1.5 in the RM-70 Zone to 2.6 (net) in the CD Zone in compliance with the City Centre Plan.
- The maximum lot coverage has been increased from the 33% in the RM-70 Zone to 52% in the CD Zone to accommodate the built form. The proposed lot coverages are typical for a 6-storey apartment buildings.
- The reduced setbacks along the East (137A Street) and South (future 106A Avenue) achieve a more urban, pedestrian-oriented streetscape, consistent with the goals of the City Centre Plan.

PRE-NOTIFICATION

Pre-notification letters were sent out on November 28, 2018 to a total of 520 addresses and the development proposal signs were installed on November 26, 2019. Staff did not receive any responses from property owners within the pre-notification area.

DESIGN PROPOSAL AND REVIEW

Building Design

- The proposal consists of a mid-rise (6-storey) apartment building comprised of 86 dwelling units (see Appendix II).
- The unit mix consists of 57 - studio/1-bedroom apartment units, 17 - 2-bedroom apartment units, 3 - 3-bedroom apartment units and, 9 - 3-bedroom townhouse units.
- The dwelling units will range in size from 34 square metres (365 sq. ft.) for a studio unit to 140 square metres (1,506 sq. ft.) for the largest 3-bedroom townhouse unit.
- The proposed architectural form incorporates ground oriented two-level townhomes facing 137A Street with apartments above. The building is sited to take advantage of the natural grade by setting the main floor elevation at the average elevation of the south and east property lines.
- The 19-metre (62 ft.) tall, residential building is situated along the public frontages of the site, with the indoor and outdoor amenity spaces located adjacent to the future 106A Avenue.
- Building materials include a brick finish on both sides of the main entry and along the front façade of the building, wrapping around the building ends. Other finish materials include "hardi-board" horizontal siding and wall panels, metal and glass guardrails and exposed architectural concrete with reveals. The Advisory Design Panel (ADP) commended the brick finish and colour palette but recommended minor revisions to improve the material detailing and composition.

Indoor Amenity Space

- The proposed indoor amenity space for the 86-unit apartment building located on the Ground/P1 floor of the building. The space incorporates a community party room with kitchenette, two games rooms, a strata board room as well as multi-function room. The indoor amenity spaces provides direct access to the outdoor amenity space.
- The proposed indoor amenity space totals 281 square metres (3,024 sq. ft.), which exceeds the 258 square metres (2,777 sq. ft.) required under the Zoning By-law (3.0 square metres/32 sq. ft. per dwelling unit).

Outdoor Amenity Space and Landscaping

- The proposed outdoor amenity space for the development is 377 square metres (4,058 sq. ft.) in area and is integrated with the indoor amenity space.
- Based upon the standard Zoning By-law requirements of 3.0 square metres/32 sq. ft. per dwelling unit for outdoor amenity space, the proposed development meets the required 377 square metres (4,058 sq. ft.) of outdoor amenity space.
- The outdoor amenity space is split between two areas. A portion of the outdoor amenity space is proposed to be at ground level and has been designed, in combination with the indoor amenity space, with the intention of being a single shared space for social interaction and gatherings for the development. There is also a rooftop outdoor amenity area that will have seating and garden plots for the use of residents.
- The ground level outdoor amenity space will include seating clusters to create a gathering area surrounded by lush shrubs and trees demarking the area for the use of the development's residents.
- A corner plaza is proposed on the southeast corner of the site at 137A Street and the future 106A Avenue. The plaza is intended for public use and will be secured through a statutory right-of-way.
- The ADP recommended minor revisions to the outdoor amenity area provide more use options for residents.

Parking and Bicycle Storage

- All parking will be provided underground and will be accessed from a driveway accessed from the western rear lane.
- The proposed development includes a total of 91 parking spaces, consisting of 82 resident parking spaces and 9 parking spaces for visitors. Seven (7) of the parking stalls are designated for persons with a disability.
- The proposed resident parking is within the range (minimum and maximum) of required parking spaces in the Zoning By-law (86 – 111 stalls). The visitor spaces are located within a secured portion of the underground parking garage.
- In total, 91 parking spaces are proposed for the overall development. Of these, 17 small car spaces are provided, or 19% of the total number of parking spaces. The Surrey Zoning By-law allows for a maximum 35% of the total parking spaces to be provided for small cars.
- The RM-70 Zone requires that no parking facilities be constructed within 2.0 metres (6.6 ft.) of the front lot line or a lot line along a flanking street. The proposed CD Zone will permit the underground parking facility to extend to within 0 metres (0 ft.) of all property lines.

- In addition, the development will be providing a total of 115 secure residential bicycle parking spaces and 6 visitor bicycle parking spaces. This exceeds the 109 required bicycle parking spaces (103 resident and 6 visitor) in the Zoning By-law.

District Energy

- The subject site is located within Service Area B, as defined in the "City Centre District Energy System By-law" (see Appendix IX for location). The District Energy (DE) System consists of three primary components:
 - Community energy centres, city operated facilities that generate thermal heat energy for distribution through a piped hot water network;
 - Distribution piping that links the community energy centres with buildings connected to the system; and
 - City-owned Energy Transfer Stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system and is used to meter the amount of energy used.
- All new developments within Service Area B with a build-out floor area ratio (FAR) between 1.0 and 2.5 will be required to incorporate hydronic thermal energy systems to allow for future connection to the City's district energy system but will not be required to utilize hydronic systems for space heating within individual residential units. Hydronic systems will be required for all other space heating and hot water heating in the building.
- Heat generation equipment (e.g. boilers) will need to be provided by the developer until such time as the development can be connected to the DE System.
- The project is required to be compatible for a future connection to the City's DE System.
- In order to avoid conflicts between the DE System and other utilities, the location of the ETS and related service connections are confirmed by Engineering and the applicant at the servicing agreement stage. The Engineering Department also requires the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for City access to, and maintenance and operation of, the ETS and to prevent conflicts with other utilities.
- Prior to the issuance of a building permit, the Engineering Department must confirm that the applicant has met the requirements of the "City Centre District Energy System By-law".

TREES

- Francis R. Klimo, ISA Certified Arborist of Klimo & Associates, prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees			
Black Locust	2	2	0
Cherry	1	1	0
Plum	4	4	0
Black Walnut	1	1	0
Coniferous Trees			
Western Hemlock	1	1	0
Western Red Cedar	2	2	0
Deodar Cedar	2	2	0
Total	13	13	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		16	
Total Retained and Replacement Trees		16	
Contribution to the Green City Fund		\$4,000	

- The Arborist Assessment states that there are a total of thirteen (13) protected trees on the site. There are no Alder or Cottonwood trees. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, parkade, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of twenty-six (26) replacement trees on the site. Since only sixteen (16) replacement trees can be accommodated on the site the deficit of ten (10) replacement trees will require a cash-in-lieu payment of \$4,000, representing \$400 per tree, to the Green City Fund, in accordance with the City’s Tree Protection By-law.
- In addition to the replacement trees, boulevard street trees will be planted on 137A Street and along the future 106A Avenue. This will be determined by the Engineering Department during the servicing design review process.
- The new trees on the site will consist of a variety of trees including Serbian Spruces, Japanese Maples, Shrubby Altheas, and Hicks Yews.
- In summary, a total of sixteen (16) trees are proposed to be replaced on the site with a contribution of \$4,000 to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on October 31, 2019. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • Within City Centre • The site is located within walking distance to transit services along 104 Avenue and 108 Avenue and to Surrey Central and Gateway SkyTrain stations.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed development intends to provide a range of unit sizes from studio/1-bedroom to 3-bedroom apartment units and 3-bedroom townhouse units.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The proposed development intends to provide a publicly accessible corner plaza. • The proposed development includes private garden plots within the rooftop outdoor amenity space.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The development provides bike racks and secured bike parking. • The site's location encourages transit use in the City Centre.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Secured underground parking is provided. • Active spaces at the ground plane and reduced setbacks encourage "eyes on the street". • The proposed development includes six (6) adaptable units.
6. Green Certification (F1)	<ul style="list-style-type: none"> • None proposed.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • The development is in the City's District Energy Area B and will be connected in the future. • The typical notifications to area residents have occurred (i.e. Development Proposal sign and Pre-notification letter).

ADVISORY DESIGN PANEL

ADP Date: September 12, 2019

The applicant has resolved all the outstanding items from the ADP review to the satisfaction of the Planning and Development Department (see Appendix VI).

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Project Data Sheets
Appendix II.	Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspectives
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	ADP Comments and Applicant's Responses
Appendix VII.	Proposed CD By-law
Appendix VIII.	District Energy Service Area Map
Appendix IX.	Aerial View of Subject Site

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Ciccozzi Architecture and Maruyama Landscape Architects, respectively, dated October 31, 2019.

approved by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

CW/cm

APPENDIX I

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on RM-70)

Required Development Data	RM-70 Minimum Required / Maximum Allowed	Proposed CD By-law
LOT AREA* (in square metres)		
Gross Total		2,467.4 m ²
Road Widening area		139.8 m ²
Undevelopable area		
Net Total	Min. 2,000 m ²	2327.6 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	Max. 33%	51.4%
Paved & Hard Surfaced Areas		23.4%
Total Site Coverage		74.8%
SETBACKS (in metres)		
North	7.5 m	7.5 m
South	7.5 m	4.5 m
East	7.5 m	4.5 m
West	7.5 m	7.5 m
BUILDING HEIGHT (in metres/storeys)		
Principal	50 m	19 m / 6 storeys
Accessory	4.5 m	N/A
NUMBER OF RESIDENTIAL UNITS		
Bachelor		12
One Bed		45
Two Bedroom		17
Three Bedroom +		12
Total		86
FLOOR AREA: Residential	Max. 3,491.4 m ²	6,040.7 m ²
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA	Max. 3,491.4 m ²	6040.7 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	RM-70 Minimum Required / Maximum Allowed	Proposed CD By-law
DENSITY		
# of units/ha /# units/acre (gross)		348.6 UPH / 141.1 UPA
# of units/ha /# units/acre (net)		369.5 UPH / 149.53 UPA
FAR (gross)		2.45
FAR (net)	1.5	2.6
AMENITY SPACE (area in square metres)		
Indoor	Min. 258 m ²	281 m ²
Outdoor	Min. 258 m ²	377 m ²
PARKING (number of stalls)		
Commercial		
Industrial		
Residential (City Centre Parking Rates)	Min. 77 / Max. 95	82
Residential Visitors	Min. 9 / Max. 17	9
Institutional		
Total Number of Parking Spaces	Min. 86 / Max. 112	91
Number of accessible stalls	Min. 2 / Max. 2	7
Number of small cars	Min. 30 / Max. 39	17 (19%)
Tandem Parking Spaces: Number / % of Total Number of Units	0	0
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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LOOKING NORTH-WEST ALONG 137A STREET



LOOKING EAST ALONG LANEWAY



LOOKING NORTH-EAST ALONG LANEWAY



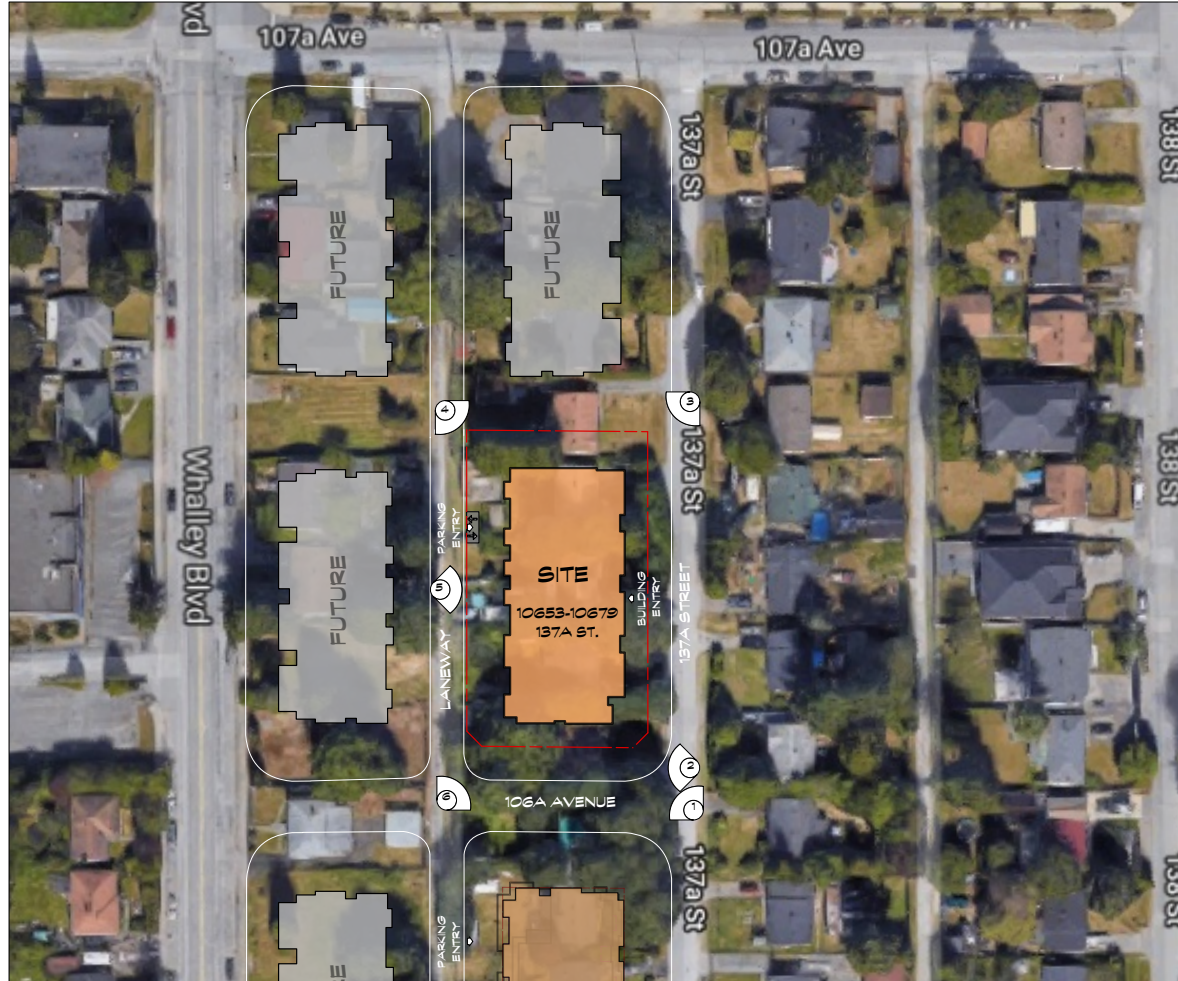
LOOKING WEST ALONG 137A STREET



LOOKING SOUTH-WEST ALONG 137A STREET



LOOKING SOUTH-EAST ALONG LANEWAY



SITE CONTEXT & VICINITY PLAN

COPYRIGHT RESERVED. THIS DRAWING MUST NOT BE SCALED. VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM THE ARCHITECTS. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF CICCOTZI ARCHITECTURE INC AND CAN BE REPRODUCED ONLY WITH THEIR WRITTEN PERMISSION.

REVISION:		
NO.	DATE	DESCRIPTION
1	14.12.2018	AS PER CRB COMMENTS
2	28.02.2019	AS PER LD COMMENTS
3	24.06.2019	AS PER LD COMMENTS
4	22.08.2019	AS PER LD COMMENTS
5	31.10.2019	AS PER ACP COMMENTS
6	28.11.2019	AS PER CITY'S COMMENTS

ISSUE:	
DATE	DESCRIPTION
22.08.2018	REZONING CPA
14.12.2018	REZONING CPA RESUBMISSION ISSUED FOR CLIENTS REVIEW
14.02.2019	REZONING CPA RESUBMISSION
28.02.2019	REZONING CPA RESUBMISSION
24.06.2019	REZONING CPA RESUBMISSION
22.08.2019	REZONING CPA RESUBMISSION TO ACP
31.10.2019	REBBE FOR REZONING CPA
28.11.2019	REBBE FOR REZONING CPA

SCALE:

CICCOTZI
ARCHITECTURE

200 - 2339 COLUMBIA STREET
VANCOUVER, B.C.
CANADA V5Y 3Y3
TEL: (604) 687-4741





















PROJECT:

RESIDENTIAL DEVELOPMENT

10653-10679 137A STREET
SURREY, B.C.

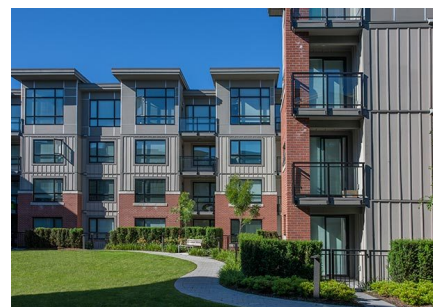
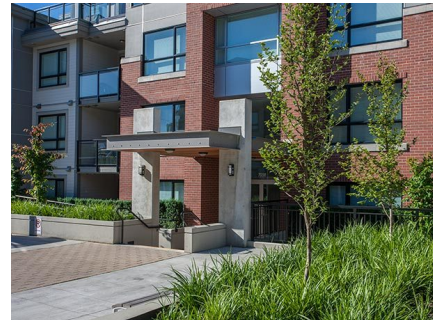
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SCALE: NTS	PROJECT NO.: 584
SHEET TITLE: CONTEXT PLAN	

REVISION NO.: 6	SHEET NO.: A0.1
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		ACCENT WOOD TRIM BENJAMIN MOORE CSP-1075			BRICK CLADDING MUTUAL MATERIALS INCA MISSION			PAINTED WOOD TRIM BENJAMIN MOORE HC-167 AMHERST GREY
		ACCENT HARDI PANEL GREY SLATE - SMOOTH FINISH			CAST IN PLACE CONCRETE UNPAINTED SMOOTH FINISH			ALUMINUM RAILINGS REFINISHED ALUMINUM BLACK
		HARDI PANEL SIDING W/ METAL BATTENS NAVAJO BEIGE - SMOOTH FINISH TUSCAN GOLD - SMOOTH FINISH NIGHT GREY - SMOOTH FINISH			PRECAST CONCRETE UNPAINTED SMOOTH FINISH			ALUMINUM WINDOWS & CURTAINWALL STOREFRONT AKZO NOBEL - INTERPON IRON MOUNTAIN GREY 8L251-03000 / 8L1007-0101



BUILDING CHARACTER



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REVISION:		
NO.	DATE	DESCRIPTION
1	14.12.2018	AS PER DRG COMMENT
2	28.02.2019	AS PER LO COMMENTS
3	24.06.2019	AS PER LO COMMENTS
4	22.08.2019	AS PER LO COMMENTS
5	31.10.2019	AS PER ADP COMMENTS

ISSUE:	
DATE	DESCRIPTION
17.08.2018	REZONING CPA
14.12.2018	REZONING CPA RESUB-MISSION
28.02.2019	REZONING CPA RESUB-MISSION
28.02.2019	REZONING CPA RESUB-MISSION
24.06.2019	REZONING CPA RESUB-MISSION
03.09.2019	SUB-MISSION TO ADP
31.10.2019	REZONING FOR REZONING CPA
28.11.2019	REZONING FOR REZONING CPA

SEAL:

CICOZZI
ARCHITECTURE

200 - 2339 COLUMBIA STREET
VANCOUVER, B.C.
CANADA V5Y 3Y3
TEL: (604) 687-4741



PROJECT:
RESIDENTIAL DEVELOPMENT

10653-10679 137A STREET
SURREY, B.C.

DRAWN: KWW	CHECKED BY: RC
SCALE: 1:50	PROJECT NO: 584

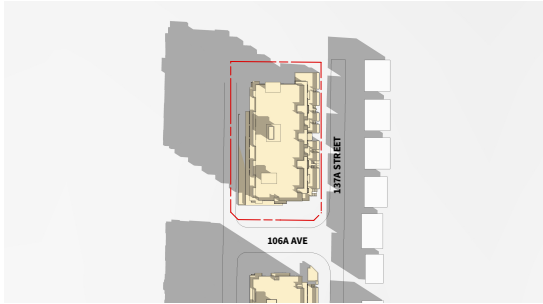
SHEET TITLE:
MATERIAL BOARD

REVISION NO.:	SHEET NO.:
5	AQ

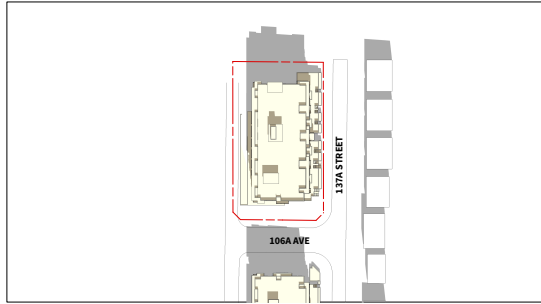


SPRING EQUINOX
(20TH MARCH)

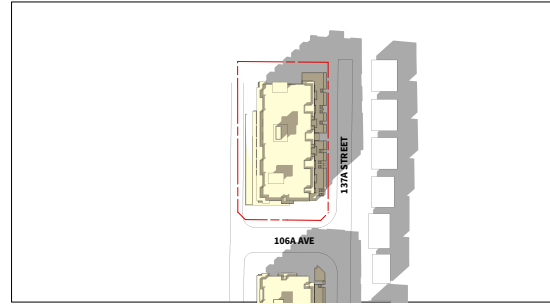
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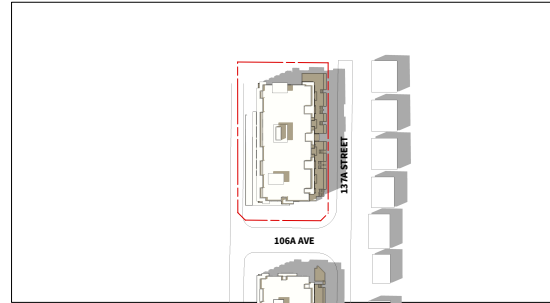
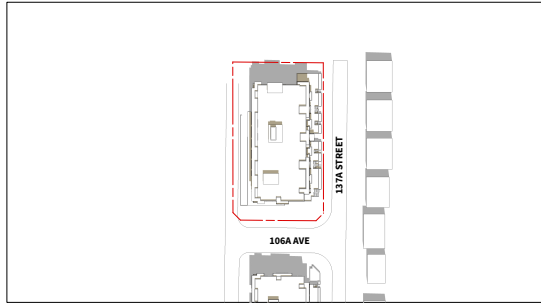
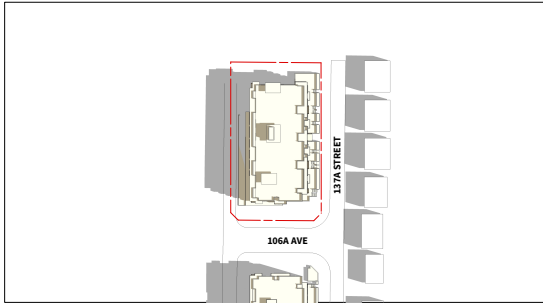
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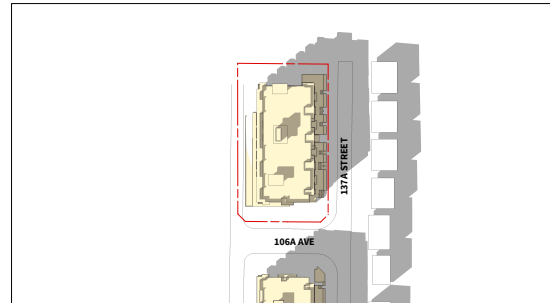
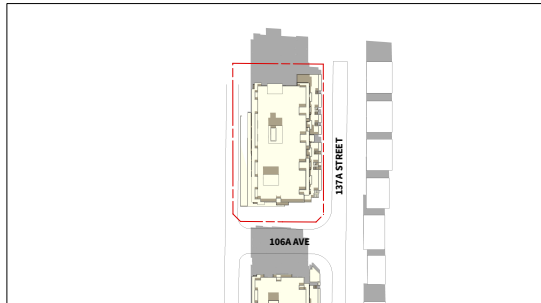
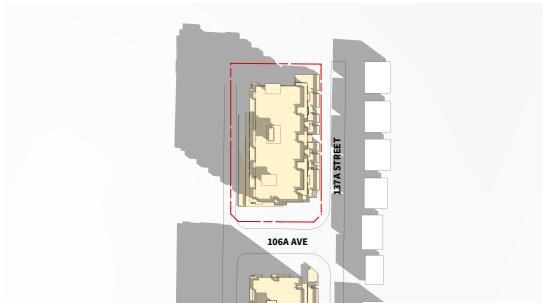
3:00PM



SUMMER SOLSTICE
(21ST JUNE)



FALL EQUINOX
(23RD SEPTEMBER)



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REVISION:

NO.	DATE	DESCRIPTION

ISSUE:

DATE: 03.08.2019 DESCRIPTION: SUBMISSION TO ADP

SEAL:



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PROJECT:

RESIDENTIAL DEVELOPMENT

10653-10670, 137A STREET
SURREY, BC

DRAWN:

KW

CHECKED BY:

RC

SCALE:

NTS

PROJECT NO.:

RCA 585

SHEET TITLE:

**SHADOW STUDY
PHASE 1**

REVISION NO.:

-

SHEET NO.:

A03

PHASE 2

18-0401

PHASE 1

18-0316



1 137 A STREET (EAST) STREETSCAPE ELEVATION
SCALE: 1:200



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REVISION:

NO.	DATE	DESCRIPTION
△ 22	08.2019	AS PER LD COMMENTS
△ 21	10.2018	AS PER ADP COMMENT

ISSUE:

DATE	DESCRIPTION
03.09.2019	SUBMISSION TO ADP
31.10.2018	REISSUE FOR REZONING DPA
28.11.2018	REISSUE FOR REZONING DPA



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PROJECT:

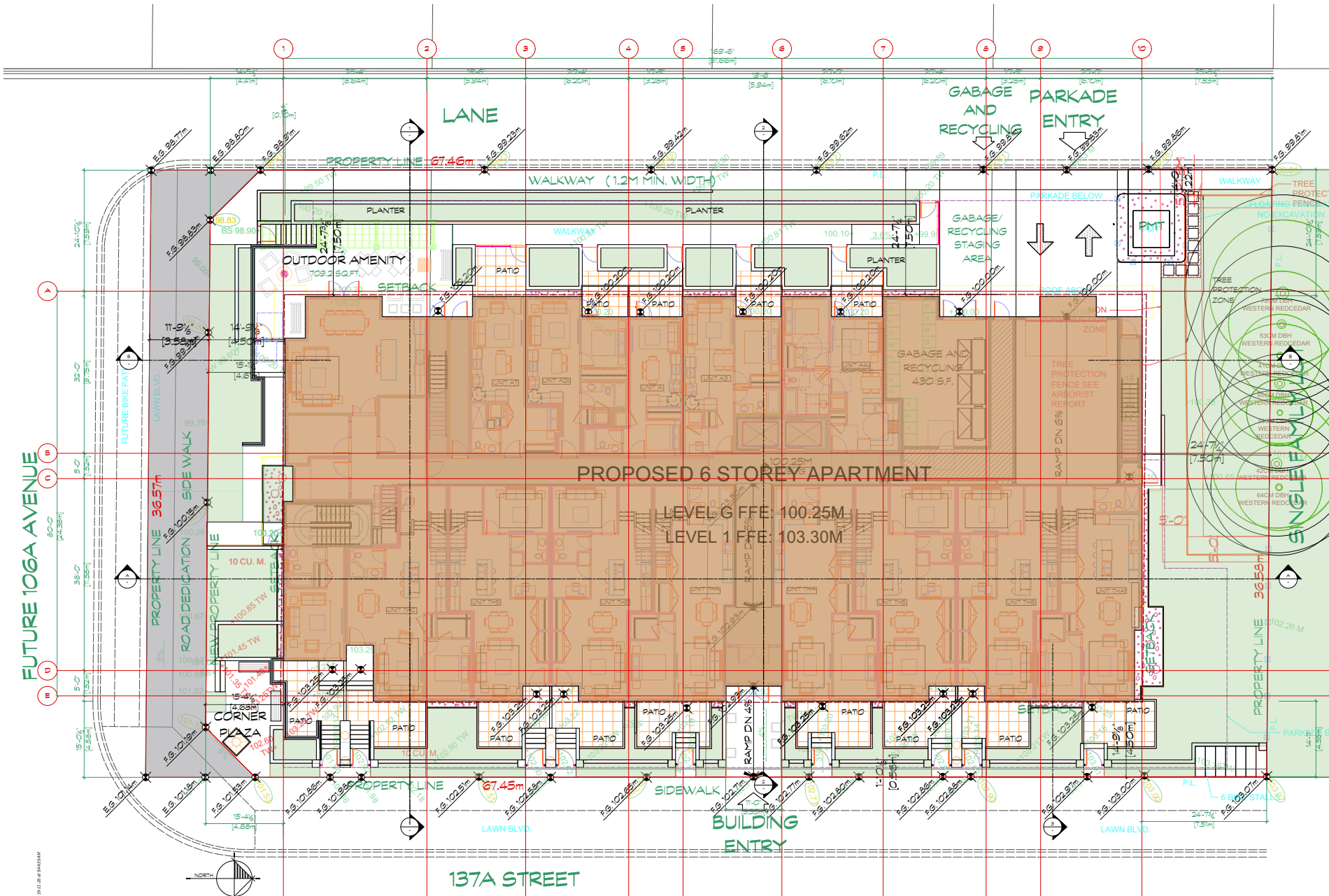
RESIDENTIAL DEVELOPMENT

10653-10679 137A STREET
SURREY, B.C.

DRAWN: KNW	CHECKED BY: RC
SCALE: 1:200	PROJECT NO.: 584

SHEET TITLE:
STREETSCAPE

REVISION NO.: 2	SHEET NO.: AQ
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FUTURE 106A AVENUE

137A STREET

PROPOSED 6 STOREY APARTMENT

LEVEL G FFE: 100.25M
LEVEL 1 FFE: 103.30M

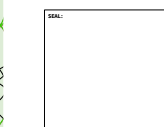
1 SITE PLAN
SCALE: 1:100



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14.12.2018	AS PER DRG COMMENT	
28.02.2019	AS PER LD COMMENTS	
24.06.2019	AS PER LD COMMENTS	
22.08.2019	AS PER LD COMMENTS	
31.03.2019	AS PER ADP COMMENT	

DATE	DESCRIPTION
22.01.2018	REZONING DPA
14.02.2018	REZONING DPA RESUBMISSION
14.02.2018	ISSUED FOR CLIENT'S REVIEW
28.02.2019	REZONING DPA RESUBMISSION
23.09.2019	SUBMISSION TO ADP
31.03.2019	REZONING FOR REZONING DPA
28.10.2019	REZONING FOR REZONING DPA



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PROJECT:
RESIDENTIAL DEVELOPMENT
10653-10679 137A STREET
SURREY, B.C.

DRAWN: KNW	CHECKED BY: RC
SCALE: 3/32" = 1'-0"	PROJECT NO.: 584

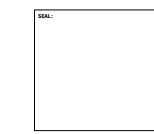
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DRAWING NO.: 5	SHEET NO.: A10
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NO.	DATE	DESCRIPTION
14	12.2018	AS PER DRG COMMENT
15	02.2019	AS PER LD COMMENTS
16	06.2019	AS PER LD COMMENTS
17	08.2019	AS PER LD COMMENTS
18	10.2019	AS PER ADP COMMENTS

DATE	DESCRIPTION
22.01.2018	REZONING DPA
14.02.2018	REZONING DPA RESUBMISSION
14.02.2018	ISSUED FOR CLIENTS REVIEW
28.02.2018	REZONING DPA RESUBMISSION
24.08.2018	REZONING DPA RESUBMISSION
03.09.2018	SUBMISSION TO ADP
31.03.2019	REZONING DPA
28.11.2019	REZONING DPA



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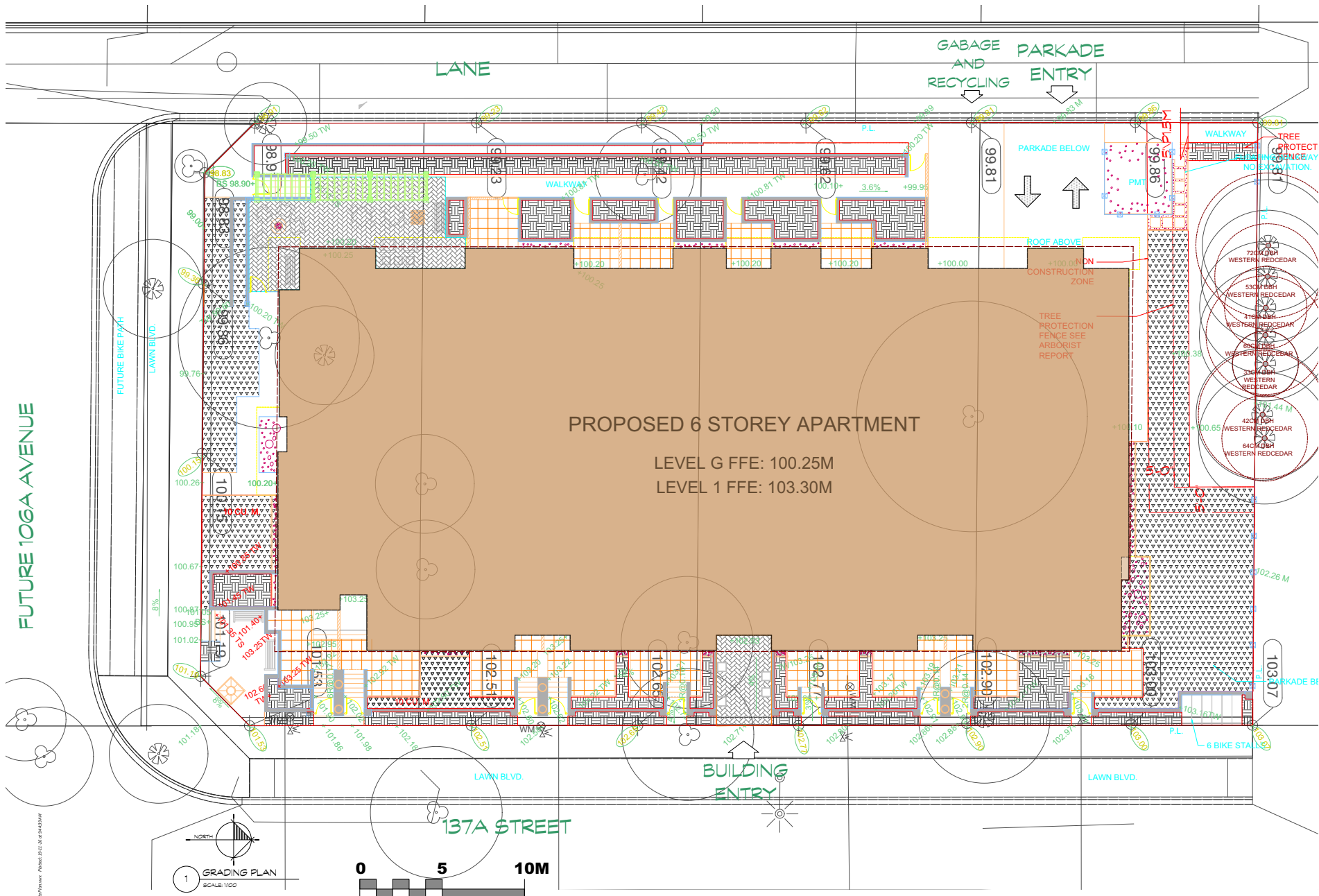
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RESIDENTIAL DEVELOPMENT
10653-10679 137A STREET
SURREY, B.C.

DRAWN	CHECKED BY
KWW	RC

SCALE: 3/32" = 1'-0"
PROJECT NO.: 584

SHEET TITLE:
GRADING PLAN

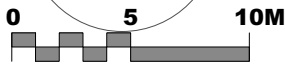
REVISION NO.	SHEET NO.
5	A1



FUTURE 106A AVENUE



1 GRADING PLAN
SCALE: 1:100



TOTAL SITEWORK: PERMIT # 21126664334

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▲	22.08.2019	AS PER LD COMMENTS
▲	31.10.2019	AS PER ADP COMMENT

ISSUE:

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03.09.2019	SUBMISSION TO ADP
31.10.2019	REVISION FOR REVISION DPA
28.11.2019	REVISION FOR REVISION DPA



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PROJECT:

RESIDENTIAL DEVELOPMENT

10653-10679 137A STREET
SURREY, B.C.

DRAWN:

KXW

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RC

SCALE:

1:100

PROJECT NO.:

584

SHEET TITLE:

ELEVATION 1

REVISION NO.:

5

SHEET NO.:

A4



1 137 A STREET (EAST) ELEVATION
SCALE: 1:100



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△ 24.06.2019		AS PER LD COMMENTS
△ 22.08.2019		AS PER LD COMMENTS
△ 31.03.2019		AS PER ADP COMMENT

ISSUE:

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24.06.2019	REZONING CPA RESUBMISSION
23.09.2019	SUBMISSION TO ADP
31.03.2019	REZONING FOR REZONING CPA
28.11.2019	REZONING FOR REZONING CPA



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PROJECT:

RESIDENTIAL DEVELOPMENT

10653-10679 137A STREET
SURREY, B.C.

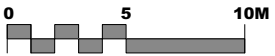
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SCALE: 1:100	PROJECT NO.: 584

SHEET TITLE:
ELEVATION 2

REVISION NO.: 5	SHEET NO.: A4
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2 LANEWAY (WEST) ELEVATION
SCALE: 1:100



DATE: 09/08/2019 11:26:45 AM

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03.09.2019	SUBMISSION TO ADP
31.10.2019	RESSUB FOR REZONING DPA
28.11.2019	RESSUB FOR REZONING DPA



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PROJECT:

RESIDENTIAL DEVELOPMENT

10653-10679 137A STREET
SURREY, B.C.

DRAWN: KNW CHECKED BY: RC

SCALE: 1/100 PROJECT NO.: 584

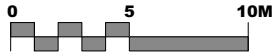
SHEET TITLE:

ELEVATION 3

REVISION NO.: 5 SHEET NO.: A4



1 FUTURE 106A AVENUE (SOUTH) ELEVATION
SCALE: 1/100



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▲	22.08.2019	AS PER LD COMMENTS
▲	31.10.2019	AS PER ADP COMMENT

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28.02.2019	REZONING DPA RESUBMISSION
24.06.2019	REZONING DPA RESUBMISSION
03.09.2019	SUBMISSION TO ADP
31.10.2019	REZONING FOR REZONING DPA
28.11.2019	REZONING FOR REZONING DPA



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PROJECT:
RESIDENTIAL DEVELOPMENT
10653-10679 137A STREET
SURREY, B.C.

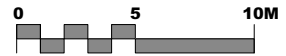
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SCALE: 1:100	PROJECT NO.: 584

SHEET TITLE:
ELEVATION 4

REVISION NO.: 5	SHEET NO.: A4
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2 NORTH ELEVATION
SCALE: 1:100





LANDSCAPE NOTES:

1. ALL PLANT MATERIAL AND INSTALLATION SHALL MEET OR EXCEED THE LATEST CSA STANDARDS.
2. TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
3. AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
4. MINIMUM 10 CUBIC METER PER TREE TOP SOIL OR STRUCTURAL SOIL IS REQUIRED FOR TREE PLANTING. REFER TO 4. FOR SOIL TYPES AND DEPTH REQUIREMENTS.
5. STRUCTURAL SOIL MIX COMPOSITION: 3" BLASTED QUARRY ROCK (NO FINES), GROWING MEDIUM SOIL STABILIZER, GROWING MEDIUM CONTENT: 50-60% SAND, 30-40% FINES (SILT & CLAY) & 1% ORGANIC MATTER. STRUCTURAL SOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
6. TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 - A. GRASSED AREAS: 150MM
 - B. GROUND COVERS ON GRADE: 300MM
 - C. SHRUBS ON GRADE: 450MM
 - F. SHRUBS AND GROUND COVER ON SLAB: 600MM
 - G. TREE PITS: 1000MM WITH 300MM (BELOW ROOT BALL)
 - H. TREES ON SLAB: 1000MM DEPTH OF TOPSOIL, & MIN. 10 CUBIC METERS SOIL VOLUME IN PLANTERS
7. LAWN AREAS SHALL BE SOODED WITH #1 PREMIUM RESIDENTIAL SOD, NON NETTED.
8. ALL SHRUB PLANTING AREAS SHALL HAVE GROUND COVERS 300MM (14") O.C.
7. SOILM DEPTH OF 100MM COMPACT MUDCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
8. IRRIGATION SYSTEM - (AUTOMATIC) DESIGN-BUILD REQUIRED.
9. PAVING TYPES AND MATERIALS AS FOLLOWS
 - ON SITE SIDERWALKS, CAST IN PLACE CONCRETE W/ BROODM FINISH
 - ON SITE TYPE 1: PATIOS TO BE UNIT PAVERS, NEW YORK STONE SERIES, SIZE: 600MMx600MM (2X2), COLOR: CHARCOAL
 - TYPE 2: UNIT PAVERS, OLD COUNTRY STONE, SIZE: 180MMx176MMx60MM (7 1/8" x 7" x 2 3/8") COLOR: WALNUT BLEND.
 - FIRE EXIT PATHS SHALL BE CAST IN PLACE CONC. STANDARD BROOM FINISH WITH SAW CUT CONTROL JOINT, NO TROWEL LINES
10. ROAD GRADING AND OVERALL SITE GRADING BY CIVIL ENGINEERING OR ARCHITECTURAL.
11. FINAL STREET TREE LOCATION AND TREE SPECIES SELECTION TO BE DETERMINED BY CITY OF SURREY AT TIME OF INSTALLATION. CITY BOULEVARD SHALL BE LAWN.

PLANT LIST:

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND.
TREES					
*QRD	1	QUERCUS RUBRA	RED OAK	5 CM CAL.	B & B
*POC	8	PICEA OMPIKRA	SERBIAN SPRUCE	3.0M HT.	B & B
*ACD	2	ACER GIBBERRIUM	WINE MAPLE	5 CM CAL.	B & B
*APO	2	ACER PALMATUM	JAPANESE MAPLE	5 CM CAL.	B & B
*CID	1	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	6 CM CAL.	B & B
*SSD	2	SORBUS SPITHENSIS	SITKA MOUNTAIN ASH	3.5M HT.	B & B
SHRUBS					
AKD	6	ACER PALMATUM KINRAN	KINRAN JAPANESE MAPLE	2.0M HT.	B & B
AUD	2	ACER PALMATUM SANGO KAKU	CORAL BARK JAP. MAPLE	2.0M HT.	B & B
ACD	13	HIBISCUS COLLETIS	SHRUBBY ALTHEA	2.5M HT.	B & B
SMS	8	SYRINGA MEYERI - PALBIN	DWARF KOREAN LILAC	2.5M HT.	B & B
TAC	23	TAXUS X MEDIA 'HICKSY'	HICKS YEW	1.75M HT.	B & B
CS	12	CORNUS SARGOLHEA	BLOODWIND DOGWOOD	#3	CONTAINER
CHD	22	CHORON TERNATA	NEWSPORN MIXED ORANGE	#3	CONTAINER
EN	53	ESCALONIA NEWPORT DWARF	NEWPORT DWARF ESCALONIA	#2	CONTAINER
HE	40	HEBE ALBICANS	HEBE	#2	CONTAINER
MA	46	MAYONIA AQUIFOLIUM	OREGON GRAPE	#3	CONTAINER
PO	87	PRUNUS L. OTTO LYUENSIS	OTTO LYUEN LAUREL	#3	CONTAINER
PM	67	POLYSTICHUM MUNITEN	WESTERN SWARD FERN	#2	CONTAINER
RC	5	RHOODOENDRON CHEER	CHEER RHODO.	#3	CONTAINER
RO	42	RHOODOENDRON DORR-AMETES	DORR-AMETES RHODO.	#3	CONTAINER
RR	28	RHODO. ROYAL PINK	ROYAL PINK RHODO.	#3	CONTAINER
RJ	25	RHOODOENDRON LUNIQUE	LUNIQUE RHODO.	#3	CONTAINER
SB	2	SPIRAEA BRAMALLA DWARF'S RED	DWARTS RED	#3	CONTAINER
SJ	20	SKIMMIA JAPONICA REVESIANA	JAPANESE SKIMMIA	#3	CONTAINER
SP	26	SPIRAEA JAPONICA LITTLE PRINCESS	LITTLE PRINCESS SPIRAEA	#3	CONTAINER
GROUNDCOVERS					
AD	159	ASTILE CHINENSIS 'DIAMONDS AND PEARLS'	PLUME FLOWER	#1	CONTAINER
AL	12	ALCHEMILLA MOLLIS	LADY'S MANTLE	#3	STAKE TO ABBORR
CZ	176	COROPHIS VERTICILLATA ZAGREB	ZAGREB TICKSEED	#1	60CM O.C.
HM	24	HELICHERA MACKENZIAE VAR. DIERSFOLIA	CORAL BELLS	#1	CONTAINER
HS	8	HEMEROCALLIS STELLA D'ORO	DAY LILY	#1	45CM O.C.
RF	65	RUBRO-COXA FULGIDA var 'GOLDSTRUM'	BLACK EYED SUSAN	#1	40CM O.C.
RP	130	ECHINOGA PURPUREA MAGNUS	MAGNUS CONEFLOWER	#1	60CM O.C.
FT	860	FACHYSANDRA TERMINALIS	JAPANESE SPURGE	10CM POT	40CM O.C.
ANNUALS:	86			10CM POT	40CM O.C.

LANDSCAPE STATISTICS (TREES):

ON SITE:
 BYLAW PROTECTED TREES TO BE REMOVED: 13
 REPLACEMENT TREES REQUIRED: 26
 REPLACEMENT TREES PROPOSED: 16

LEGEND:

EXISTING TREES TO REMAIN	DECORATIVE RIVER ROCK BED	1.1M HT. RAISED TIMBER PLANTER WALL	CHILDREN'S PLAY AREA, SAND PIT W/ ARTIFICIAL BOLLIDER AND LOG
PROPOSED TREE & CONIFEROUS TREE	CONCRETE PAVING, BROOM FINISH W/ SAW CUT CONTROL JOINT	1.2M HT. ALUMINUM FENCE	DECORATIVE POTS
SHRUB & GROUNDCOVER PLANTING	UNIT PAVING TYPE 1	1.8M HT. ALUMINUM SCREEN / PATIO DIVIDER	CIVIL SPOT ELEVATION LANDSCAPE SPOT ELEVATION
CONC. RETAINING WALL / PLANTER WALL REFER TO ARCH. DWGS. A0.2 FOR THE FINISH	UNIT PAVING TYPE 2	1.8M HT. WOOD PRIVACY FENCE ALONG NORTH PROPERTY LINE	PATIO FURNITURE BY STRATA NOT IN DP.
FIRE PIT	PERGOLA	GUARDRAIL BY ARCHITECT	LANDSCAPE LIGHTING
BENCH	CONC. RETAINING WALL W/ ALLOW. GATE FRONT YARD REFER TO ARCH. DWGS. A0.2 FOR THE FINISH	GARDEN PLOTS, 360MM HT.	

1 GROUND LEVEL - SOFT LANDSCAPE PLAN

SCALE: 1:125



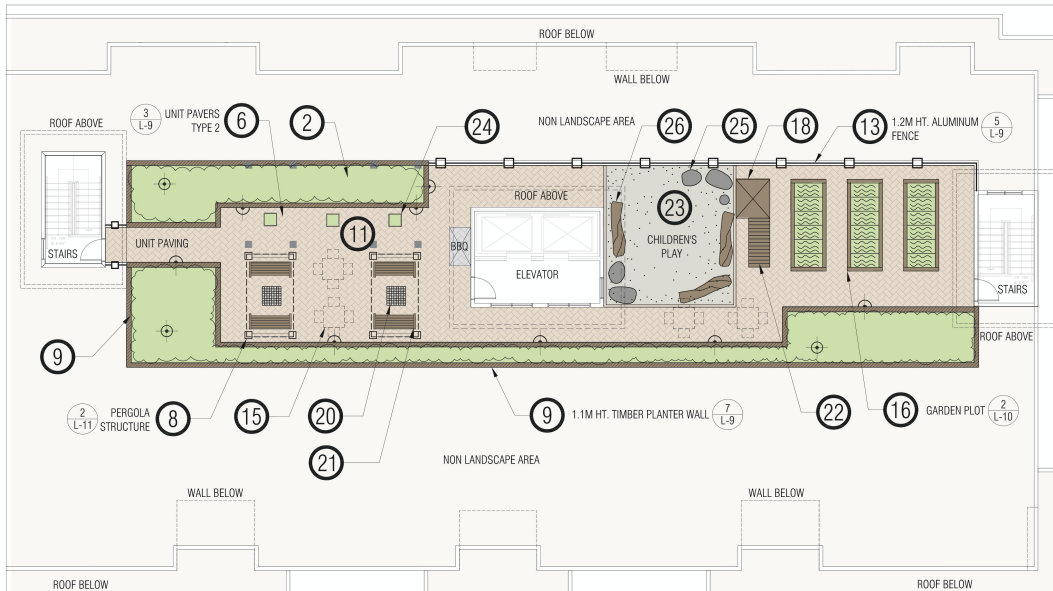
REVISIONS/ISSUED
 1. FILE PREPARED FOR THE CITY OF SURREY
 2. FILE REVISIONS BY THE CITY OF SURREY
 3. FILE REVISIONS BY THE CITY OF SURREY
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 5. FILE REVISIONS BY THE CITY OF SURREY
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 10. FILE REVISIONS BY THE CITY OF SURREY
 11. FILE REVISIONS BY THE CITY OF SURREY
 12. FILE REVISIONS BY THE CITY OF SURREY

RESUBMISSION FOR RZ/ DPA.
 DATE: OCT 31 -2019
 SURVEY FILE: 161616

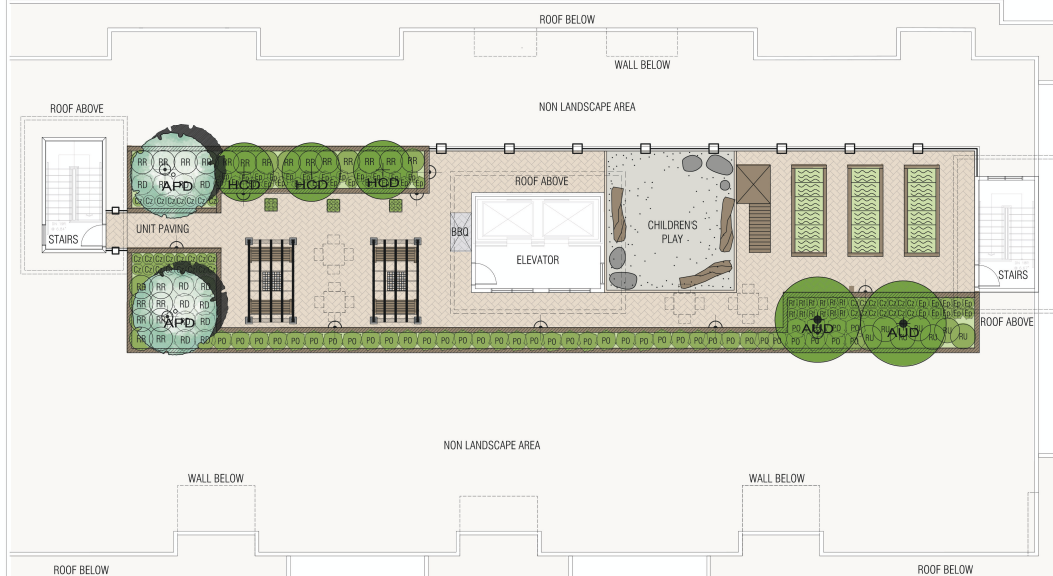
PROJECT
 PROPOSED 6 STOREYS RESIDENTIAL DEVELOPMENT
 10655-10679 137A STREET, SURREY, B.C.
 DEVELOPER: LUSA ENTERPRISES LTD.
 CITY OF SURREY FILE NO. 16.03.016
 106A AVENUE & ASSOCIATED 883 C. LOG POINT SQUARE, VANCOUVER, B.C. V2Z 5B4. PH: 604.274.9997 FX: 604.274.6501 EM: mhu@lusa.com

DATE
 JULY 16, 2019
 DESIGN
 DRAWN
 CHECKED
 SCALE
 AS SHOWN
 JOB NO.
 M199

SHEET TITLE
 SOFT LANDSCAPE PLAN
 GROUND LEVEL
 SHEET NO.
 L-4



1 ROOFTOP LEVEL - HARD LANDSCAPE PLAN
SCALE: 1:100



2 ROOFTOP LEVEL - SOFT LANDSCAPE PLAN
SCALE: 1:100



PLANT LIST:

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND.
TREES					
★GRD	1	QUERCUS RUBRA	RED OAK	5 CM CAL	B & B
★PC	8	PICEA OMORICA	SERBIAN SPRUCE	3.0M HT.	B & B
★ACD	2	ACER GINNATUM	VINE MAPLE	5 CM CAL	B & B
★AFD	2	ACER PALMATUM	JAPANESE MAPLE	5 CM CAL	B & B
★CO	1	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	6 CM CAL	B & B
★SSD	2	SORBUS SITOENSIS	SITKA MOUNTAIN ASH	3.5M HT.	B & B
SHRUBS					
AND	6	ACER PALMATUM KIRWAN	KIRWAN JAPANESE MAPLE	2.0M HT.	B & B
ADD	2	ACER PALMATUM SANGOKU	CORAL BARK JAP. MAPLE	2.0M HT.	B & B
HDD	13	HIBISCUS COLEOSTIS	SHIRAZBY ALTHEA	2.5M HT.	B & B
SMS	8	SYRINGA MEYER 'PALIBIN'	DWARF KOREAN LILAC	1.8M HT.	B & B
TAC	23	FAXUS X MEDIA 'HICKSI'	HICKS YEW	1.5M HT.	B & B
CS	12	CORNUS SARGUHA	BLOODROOT DOGWOOD	#3	CONTAINER
CT	22	CHOSYA TERATA	MEXICAN MOCK ORANGE	#3	CONTAINER
ETS	53	ESCALONIA NEWPORT DWARF	NEWPORT DWARF ESCALONIA	#2	CONTAINER
HE	40	HEBE ALBICANS	HEBE	#2	CONTAINER
MA	46	MANISIA AQUILELUM	OREGON GRAPE	#3	CONTAINER
PO	87	PRUNUS L. OTTO LYXENS	OTTO LYXEN LAUREL	#3	CONTAINER
PM	67	POLYSTICHUM MUNITEM	WESTERN SWORD FERN	#2	CONTAINER
RC	5	RHOISODENDRON CHEER	CHEER RHODOD.	#3	CONTAINER
RR	42	RHOISODENDRON DORA AMETIS	DORA AMETIS RHOD.	#3	CONTAINER
RR	28	RHODO ROYAL PINK	ROYAL PINK RHODO.	#3	CONTAINER
RUI	25	RHOISODENDRON LINDLEI	LINDLEI RHOD.	#3	CONTAINER
SB	2	SPHIREA BUMALDA 'DARTS RED'	DARTS RED	#3	CONTAINER
SJ	20	SKIMMIA JAPONICA REVESIANA	JAPANESE SKIMMIA	#3	CONTAINER
SP	26	SPHIREA JAPONICA LITTLE PRINCESS	LITTLE PRINCESS SPHIREA	#3	CONTAINER
GROUNDCOVERS					
AD	159	ASTILEBE CHINENSIS DIAMONDUS AND PEARLS	PLUME FLOWER	#1	CONTAINER
AL	12	ALCHEMILLA MOLIS	LADY'S MANTLE	#3	STAKE OR BORD.
CZ	176	CONEPHEIS VERTICILLATA JASPER	JASPER TICKSEED	#1	800M O.C.
HM	24	HEUCHEA MICHXantha VAR. DIVERSIFOLIA	CORAL BELLS	#1	CONTAINER
HS	8	HEMERICALIS STELLA DORO	DAY LILY	#1	45CM O.C.
RF	65	RUBROECIA FALGIDA w/ GOLDSTRUM	BLACK EYED SUSAN	#1	40CM O.C.
EP	130	EPHRAZEA PURPUREA 'MAGNUS'	MAGNUS CONIFLOWER	#1	50CM O.C.
PT	860	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	10CM POT	40CM O.C.
ANNUALS	86			100M POT	40CM O.C.

* PROPOSED REPLACEMENT TREE
LANDSCAPE STATISTICS (TREES):

ON SITE: BYLAW PROTECTED TREES TO BE REMOVED: 13
REPLACEMENT TREE REQUIRED: 26
REPLACEMENT TREE PROPOSED: 15

LEGEND:

	EXISTING TREES TO REMAIN		DECORATIVE RIVER ROCK BED		1.1M HT. RAISED TIMBER PLANTER WALL		CHILDREN'S PLAY AREA SAND PIT / ARTIFICIAL BOLLIDER AND LOG
	PROPOSED DECIDUOUS TREE & CONIFEROUS TREE		CONCRETE PAVING, BROOM FINISH W/ SAW CUT CONTROL JOINT		1.2M HT. ALUMINUM FENCE		DECORATIVE POTS
	SHRUB & GROUNDCOVER PLANTING		UNIT PAVING TYPE 1		1.8M HT. ALUMINUM SCREEN / PATIO DIVIDER		CIVIL SPOT ELEVATION LANDSCAPE SPOT ELEVATION
	CONC. RETAINING WALL / PLANTER WALL REFER TO ARCH DWGS. A0.2 FOR THE FINSH		UNIT PAVING TYPE 2		1.8M HT. WOOD PRIVACY FENCE ALONG NORTH PROPERTY LINE		PATIO FURNITURE BY STRATA NOT IN DP.
	FIRE PIT		PERGOLA		GUARDRAIL BY ARCHITECT		LANDSCAPE LIGHTING
	BENCH		CONC. RETAINING WALL, W/ ALLUM. GATE, FRONT YARD REFER TO ARCH DWGS. A0.2 FOR THE FINSH		GARDEN PLOTS, 360MM HT.		

LANDSCAPE NOTES:

1. ALL PLANT MATERIAL AND INSTALLATION SHALL MEET OR EXCEED THE LATEST CSA STANDARDS.
2. TOPSOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTORS EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
3. AMEND TOPSOIL PER SOIL ANALYSIS RECOMMENDATIONS PRIOR TO SPREADING ON SITE. REJECTED TOPSOIL SHALL BE REMOVED OFF SITE IMMEDIATELY AT THE LANDSCAPE CONTRACTORS EXPENSE.
4. MINIMUM 10 CUBIC METER PER TREE. TOP SOIL OR STRUCTURAL SOIL IS REQUIRED FOR TREE PLANTING. REFER TO L-6 FOR SOIL TYPE AND DEPTH REQUIREMENTS.
5. STRUCTURAL SOIL MIX COMPOSITION: 2% ELASTIC QUARRY ROCK (NO FINES), GROWING MEDIUM SOIL STABILIZER, GROWING MEDIUM CONTENT: 50-60% SAND, 30-40% FINES (SILT & CLAY) & 12% ORGANIC MATTER. STRUCTURAL SOIL SUPPLIED SHALL BE FROM A REPUTABLE SOURCE. A FULL ANALYSIS OF THE TOPSOIL WILL BE REQUIRED AT THE CONTRACTORS EXPENSE. SUBMIT TO LANDSCAPE CONSULTANT FOR APPROVAL.
6. TOPSOIL DEPTHS FOR PLANTING AS FOLLOWS:
 - A. GRASSED AREAS: 150MM
 - B. GROUND COVERS ON GRADE: 300MM
 - C. SHRUBS ON GRADE: 450MM
 - F. SHRUBS AND GROUND COVER ON SLAB: 600MM
 - G. TREE PITS: 1000MM WITH 300MM (BELOW FOOT BALL)
 - H. TREES ON SLAB: 1000MM DEPTH OF TOPSOIL & MIN. 10 CUBIC METERS SOIL VOLUME IN PLANTERS
7. LAWN AREAS SHALL BE SOICED WITH #1 PREMIUM RESIDENTIAL SOIL. NON NETTED.
8. ALL SHRUB PLANTING AREAS SHALL HAVE GROUND COVERS 300MM (14") O.C.
9. 50MM DEPTH OF 100MM COMPOST MULCH TO BE INSTALLED IN ALL SHRUB PLANTING AREAS.
6. IRRIGATION SYSTEM - AUTOMATIC/ DESIGN REQUIRED.
9. PAVING TYPES AND MATERIALS AS FOLLOWS:
 - TYPE 2 UNIT PAVERS, CAST IN PLACE CONCRETE W/BROOM FINISH
 - H. TREES ON SLAB: 1000MM DEPTH OF TOPSOIL & MIN. 10 CUBIC METERS SOIL VOLUME IN PLANTERS
 - ON SITE TYPE 1: PATIOS TO BE UNIT PAVERS, NEW YORK STONE SERIES; SIZE: 600MMx600MM (2X2); COLOR: CHARDAL
 - TYPE 2: UNIT PAVERS, OLD COUNTRY STONE, SIZE: 180MM x 78MM x 60MM (7 1/8" x 3" x 2 3/8") COLOR: WALNUT BLEND
 - FIRE EXIT PATHS SHALL BE CAST IN PLACE CONC. STANDARD BROOM FINSH WITH SAW CUT CONTROL JOINT. NO TROWEL LINES
10. ROAD GRADING AND OVERALL SITE GRADING BY CIVIL ENGINEERING OR ARCHITECTURAL.
11. FINAL STREET TREE LOCATION AND TREE SPECIES SELECTION TO BE DETERMINED BY CITY OF SURREY AT TIME OF INSTALLATION. CITY BOULEVARD SHALL BE LAWN.

LANDSCAPE ITEMS:

- | | | |
|--|--|-----------------------------------|
| 1 LAWN | 11 SHARED AMENITY SPACE | 21 BENCH |
| 2 PLANTING BED | 12 CONC. RETAINING WALL, W/ GATE, FRONT YARD, REFER TO ARCH DWGS, A0.2 FOR THE FINSH | 22 WORK TABLE |
| 3 DECORATIVE RIVER ROCK BED | 13 1.2M HT. ALUMINUM FENCE | 23 CHILDREN'S PLAY AREA, SAND PIT |
| 4 CONCRETE PAVING & STAIRS BROOM FINISH W/ SAW CUT CONTROL JOINT | 14 1.8M HT. WOOD PRIVACY FENCE ALONG THE PROPERTY LINE | 24 DECORATIVE POT W/ ANNUALS |
| 5 UNIT PAVING TYPE 1 | 15 PATIO FURNITURE (CONC DP) SUPPLIED - BY STRATA | 25 ARTIFICIAL BOLLIDER |
| 6 UNIT PAVING TYPE 2 | 16 WOOD GARDEN PLOT 360MM HT. | 26 LOG |
| 7 1.8M HT. ALUMINUM SCREEN/ PATIO DIVIDER | 17 FIRE PIT | |
| 8 WOOD PERGOLA | 18 COMPOST BOX | |
| 9 1.1M HT. RAISED TIMBER PLANTER WALL | 19 CORNER PLAZA WITH BENCHES | |
| 10 CONC. RETAINING WALL, REFER TO ARCH DWGS, A0.2 FOR THE FINSH | 20 CHESS BOARD PAVING (150MM X 150MM UNIT PAVES) | |

REVISIONS/ISSUED

1	REVISED FOR REVIEW
2	REVISED FOR REVIEW
3	REVISED FOR REVIEW
4	REVISED FOR REVIEW
5	REVISED FOR REVIEW
6	REVISED FOR REVIEW
7	REVISED FOR REVIEW
8	REVISED FOR REVIEW
9	REVISED FOR REVIEW
10	REVISED FOR REVIEW

DATE: OCT 31 - 2019
SURREYVILLE: 160616

NORTH

REVISIONS FOR RZ/ DPA.

PROPOSED 6 STOREYS RESIDENTIAL DEVELOPMENT

10653-10679 137A STREET, SURREY, B.C.

DEVELOPER: LUSA ENTERPRISES LTD.

PROJECT

10653-10679 137A STREET, SURREY, B.C.

REVISIONS FOR RZ/ DPA.

DATE: OCT 31 - 2019
SURREYVILLE: 160616

REVISIONS FOR RZ/ DPA.

LANDSCAPE PLAN ROOFTOP LEVEL

SHEET NO. L-5

DATE: JULY 16, 2013

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DRAWN	MM	MM	MM	MM	MM
CHECKED	MM	MM	MM	MM	MM

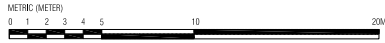
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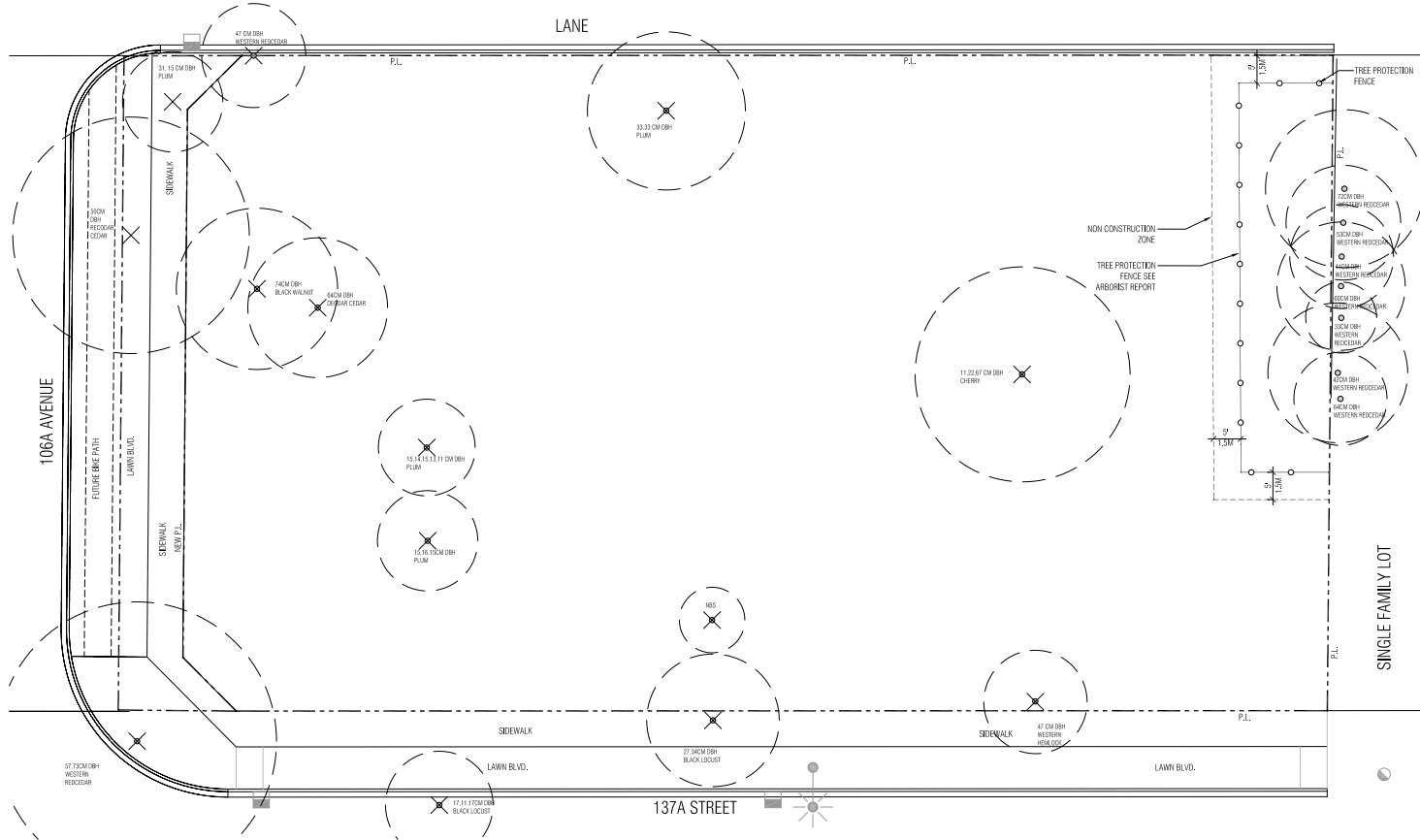
LANDSCAPE ARCHITECTS

REVISIONS FOR RZ/ DPA.

DATE: OCT 31 - 2019
SURREYVILLE: 160616



1 TREE RETENTION / REMOVAL PLAN
SCALE: 1:125



- NOTES:**
1. INFORMATION SHOWN ON THIS DWG HAS BEEN COPIED FROM ARBORIST REPORT.
 2. REFER TO ARBORIST REPORT PREPARED BY A B.C. TREE MEN - CERTIFIED ARBORIST.

LEGEND:

- EXISTING TREES TO BE REMOVED. SEE ARBORIST REPORT FOR DETAILS.
- EXISTING TREES TO BE RETAINED. SEE ARBORIST REPORT FOR DETAILS.
- TREE PROTECTION FENCE W/ 1.5M WIDE NON-CONSTRUCTION ZONE

DATE	JULY 16, 2013
DESIGN	MMK
DRAWN	MMK
CHECKED	MMK
SCALE	AS SHOWN
JOB NO.	1009

SHEET TITLE
**TREE RETENTION/
REMOVAL PLAN**

SHEET NO.
L-7



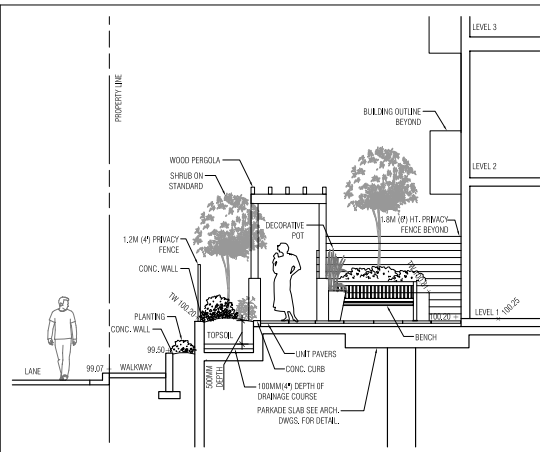
PROJECT
PROPOSED 6 STOREYS RESIDENTIAL DEVELOPMENT
10655-10679 137A STREET, SURREY, B.C.
DEVELOPER: LISA ENTERPRISES LTD.

PROFESSIONAL ASSOCIATES INC. 165 FIDELITY SQUARE, VANCOUVER, B.C. V6C 2S6, PH: 604-276-9787, FX: 604-276-9791, EM: madatama@madatama.com

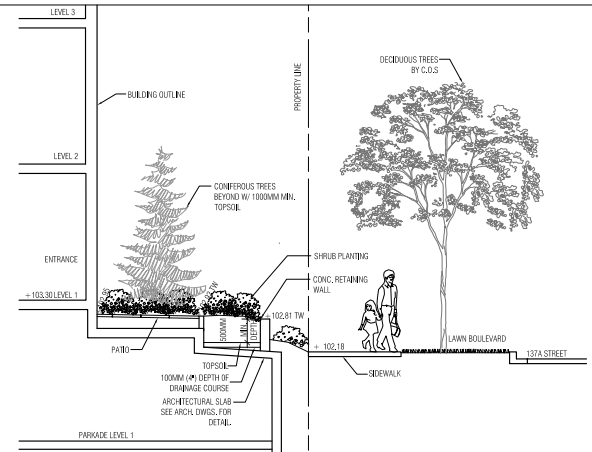
RESUBMISSION FOR
RZ/ DPA.
DATE: OCT. 31 - 2019
SUBMIT FILE: 150516



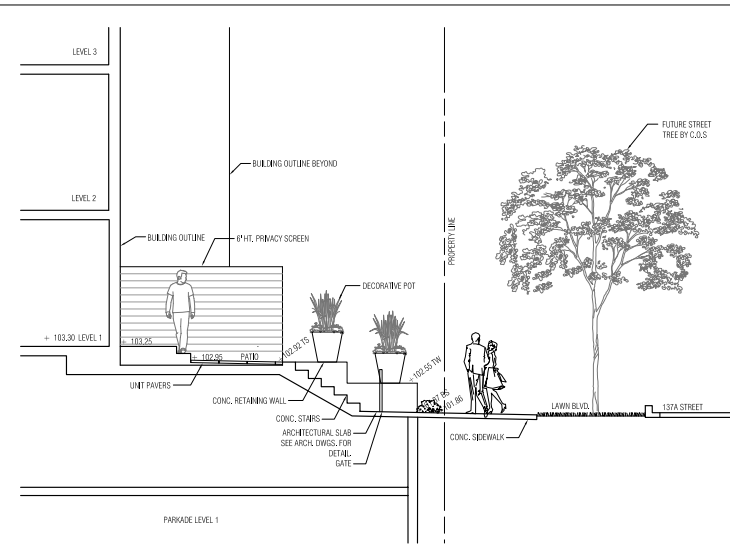
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2. ANY CHANGES TO THIS DRAWING MUST BE APPROVED BY MADATAMA INC. IN WRITING.
3. THIS DRAWING IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.
4. ANY REVISIONS TO THIS DRAWING MUST BE APPROVED BY MADATAMA INC. IN WRITING.
5. ANY REVISIONS TO THIS DRAWING MUST BE APPROVED BY MADATAMA INC. IN WRITING.
6. ANY REVISIONS TO THIS DRAWING MUST BE APPROVED BY MADATAMA INC. IN WRITING.
7. ANY REVISIONS TO THIS DRAWING MUST BE APPROVED BY MADATAMA INC. IN WRITING.
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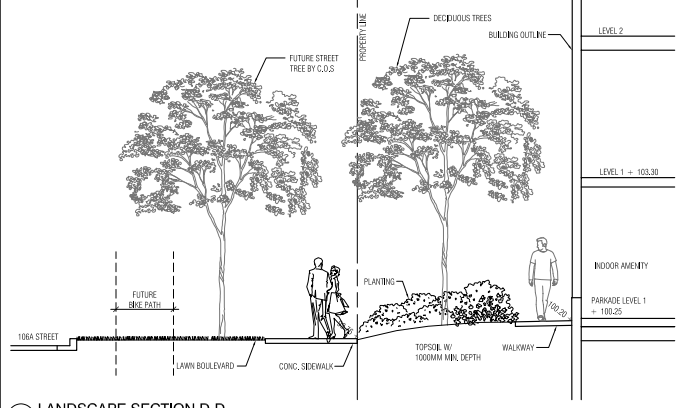
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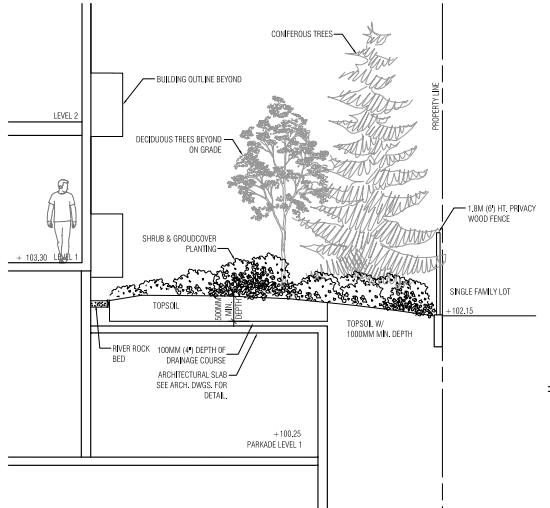
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SCALE: 1:50



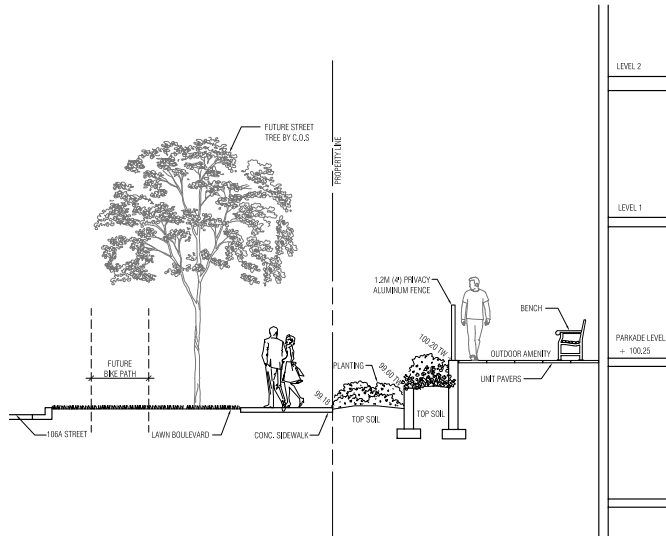
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SCALE: 1:50



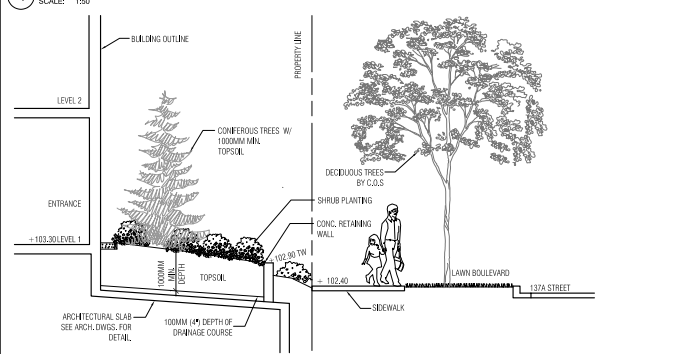
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SCALE: 1:50



5 LANDSCAPE SECTION E-E
SCALE: 1:50



6 LANDSCAPE SECTION F-F
SCALE: 1:50



7 LANDSCAPE SECTION G-G
SCALE: 1:50

REVISIONS/ISSUED
DATE: OCT. 31 - 2019
SUBMITTABLE: 100216

RESUBMISSION FOR
RZ DPA
DATE: OCT. 31 - 2019
SUBMITTABLE: 100216



PROJECT
PROPOSED 6 STOREYS RESIDENTIAL DEVELOPMENT
10655-10679 137A STREET 1, SURREY, B.C.
CITY OF SURREY FILE NO. 184016
100 MAINWAY & ASSOCIATES INC. 100 FREDRICK SQUARE, VANCOUVER, B.C. V6Z 2S4, PH: 604-276-9767, FX: 604-276-4501, E: info@mainway.ca

SHEET TITLE
LANDSCAPE SECTIONS
SHEET NO.
L-8

DATE: JULY 18 2018
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DRAWN: [Signature]
CHECKED: [Signature]
SCALE: AS SHOWN
JOB NO.: 18030

REVISIONS/ISSUED
DATE: OCT. 31 - 2019
SUBMITTABLE: 100216

RESUBMISSION FOR
RZ DPA
DATE: OCT. 31 - 2019
SUBMITTABLE: 100216

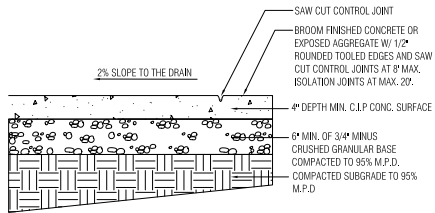
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PROPOSED 6 STOREYS RESIDENTIAL DEVELOPMENT
10655-10679 137A STREET 1, SURREY, B.C.
CITY OF SURREY FILE NO. 184016
100 MAINWAY & ASSOCIATES INC. 100 FREDRICK SQUARE, VANCOUVER, B.C. V6Z 2S4, PH: 604-276-9767, FX: 604-276-4501, E: info@mainway.ca



PROJECT
PROPOSED 6 STOREYS RESIDENTIAL DEVELOPMENT
10655-10679 137A STREET 1, SURREY, B.C.
CITY OF SURREY FILE NO. 184016
100 MAINWAY & ASSOCIATES INC. 100 FREDRICK SQUARE, VANCOUVER, B.C. V6Z 2S4, PH: 604-276-9767, FX: 604-276-4501, E: info@mainway.ca

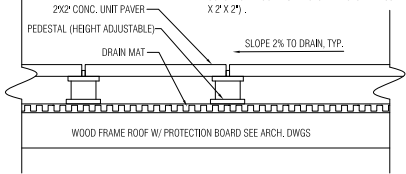
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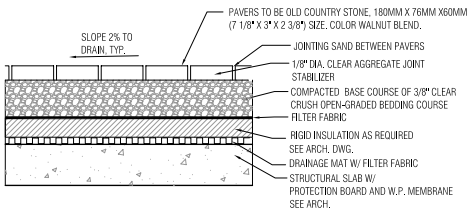


1 CONCRETE PAVING - ON GRADE
SCALE: 1/10

- NOTES:
1. BLACKJACK PEDESTAL SYSTEM, AVAILABLE FROM ABBOTSFORD CONCRETE PRODUCTS, INSTALLATION AS PER MANUFACTURER'S INSTRUCTIONS.
 2. ABBOTSFORD CONCRETE PRODUCTS, TEGADA HYDRAPRESSED SLAB, NEW YORK STONE SERIES, COLOR: CHARCOAL, SIZE: 610MM X 610MM X 50MM (2' X 2' X 2").

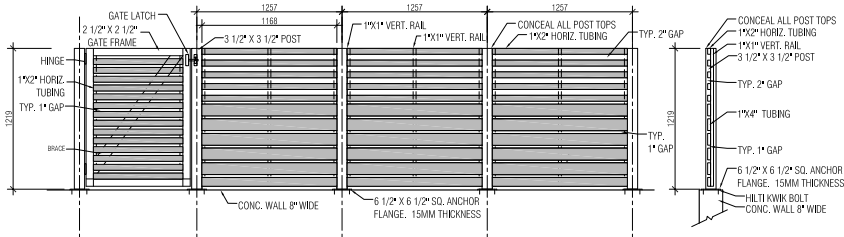


2 CONCRETE UNIT PAVING TYPE 1
SCALE: 1/10



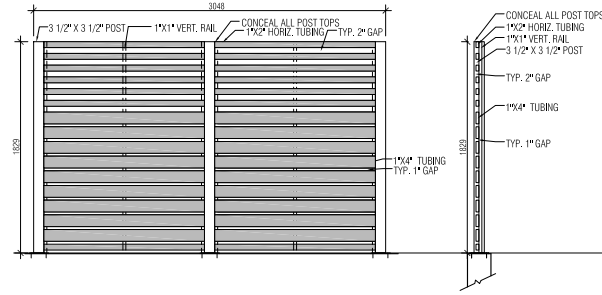
3 CONCRETE UNIT PAVING TYPE 2
SCALE: 1/10

1. ALL FENCE MATERIAL TO BE ALUMINUM. POSTS, RAILS TO BE POWER COATED COLOR: "GUN METAL"
2. ALL METAL FASTENERS AND POST ANCHORS SHALL STAINLESS STEEL.
4. HILTI KWIK BOLT FOR ALL ANCHOR BASE PLATES.
5. FENCE FABRICATOR TO TAKE SITE MEASUREMENTS TO CONFIRM SITE CONDITIONS.

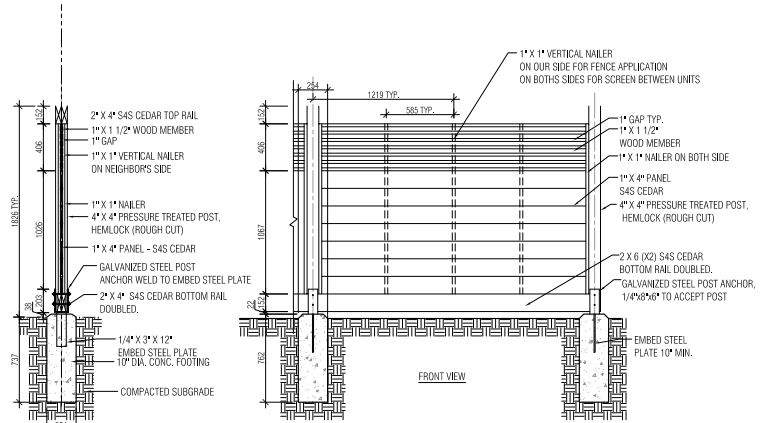


5 ALUMINUM PRIVACY FENCE AND GATE - 1.2M HT.
SCALE: 1/20

1. ALL FENCE MATERIAL TO BE ALUMINUM. POSTS, RAILS TO BE POWER COATED COLOR: "GUN METAL"
2. ALL METAL FASTENERS AND POST ANCHORS SHALL STAINLESS STEEL.
4. HILTI KWIK BOLT FOR ALL ANCHOR BASE PLATES.
5. FENCE FABRICATOR TO TAKE SITE MEASUREMENTS TO CONFIRM SITE CONDITIONS.

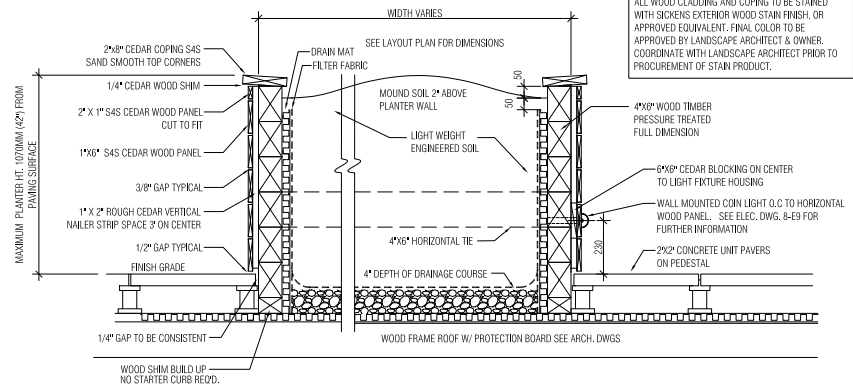


4 ALUMINUM PRIVACY FENCE/DIVIDER FOR PATIO - 1.8M HT.
SCALE: 1/20



1. ALL LUMBER TO BE PRESSURE TREATED NO. 2 & BTR. HEM/FIR OR S4S CEDAR S.T.K., U.O.N.
2. STAIN: SICKENS WOOD STAIN, COLOR: DARK BROWN
3. ALL METAL FASTENERS AND POST ANCHORS SHALL BE HOT DIPPED GALVANIZED TO CSA STANDARDS.
4. CONTRACTOR TO PROVIDE SHOP DRAWING TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION FOR REVIEW AND APPROVAL.

6 WOOD PRIVACY FENCE - 1.8M HT. ON PROPERTY LINE
SCALE: 1/20



7 WOOD PLANTER WALL - 1.1M HT.
SCALE: 1/20

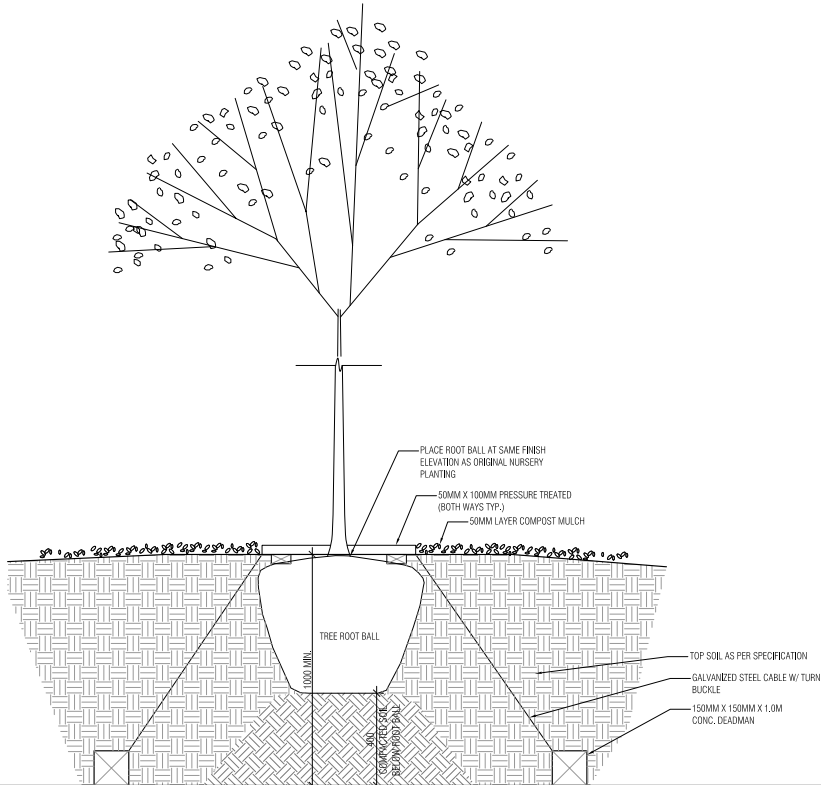
REVISIONS/ISSUED
1. 2024-08-15: INITIAL DESIGN
2. 2024-08-15: PRELIMINARY DESIGN
3. 2024-08-15: PRELIMINARY DESIGN
4. 2024-08-15: PRELIMINARY DESIGN
5. 2024-08-15: PRELIMINARY DESIGN
6. 2024-08-15: PRELIMINARY DESIGN

PROPOSED 6 STOREYS RESIDENTIAL DEVELOPMENT
10655-10679 137A STREET, SURREY, B.C.
SUBMIT FILE: 106516

PROJECT
10655-10679 137A STREET, SURREY, B.C.
DESIGNER: MAAOTAMA LANDSCAPE ARCHITECTS
CITY OF SURREY FILE NO.: 184016
100 MAINWAY, ASSOCIATES INC., 165 FREDERICK SQUARE, VANCOUVER, B.C. V6Z 2S4, PH: 604-276-9787, FX: 604-276-4901, E: info@maaotama.com

DATE: JUL 18 2024
DESIGN: []
DRAWN: []
CHECKED: []
SCALE: AS SHOWN
JOB NO.: 184016

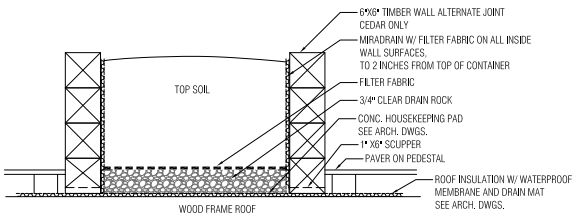
SHEET TITLE
LANDSCAPE DETAILS
SHEET NO.
L-9
LANDSCAPE ARCHITECTS



ARCHITECTURAL SLAB
SEE ARCH. DWG.

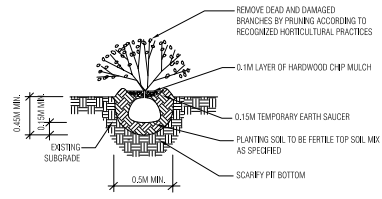
1 TREE ANCHOR

SCALE: 1:10



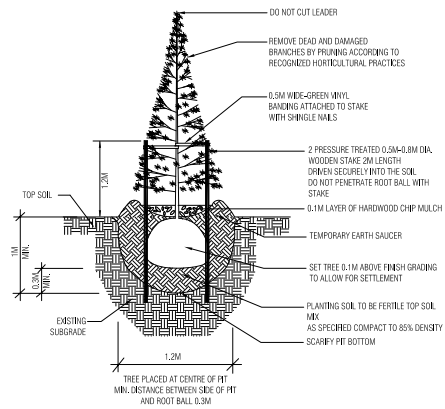
2 GARDEN PLOT

SCALE: 1:10



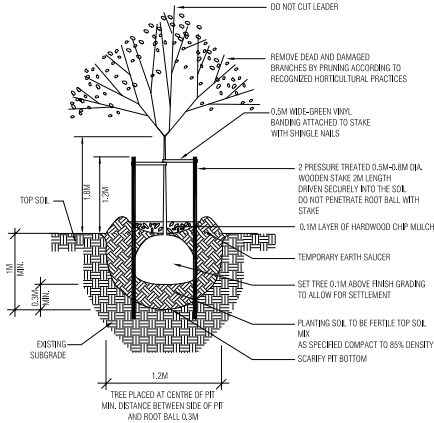
3 SHRUB PLANTING

SCALE: NTS



4 CONIFEROUS TREE PLANTING DETAIL

SCALE: NTS



5 DECIDUOUS TREE PLANTING DETAIL

SCALE: NTS

REVISIONS/ISSUED
1. THIS SHEET IS PART OF THE LANDSCAPE ARCHITECTURE PLAN FOR THE PROPOSED 6 STOREY RESIDENTIAL DEVELOPMENT AT 10655-10679 137A STREET, SURREY, B.C.
2. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
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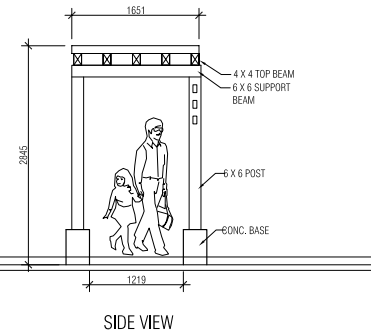
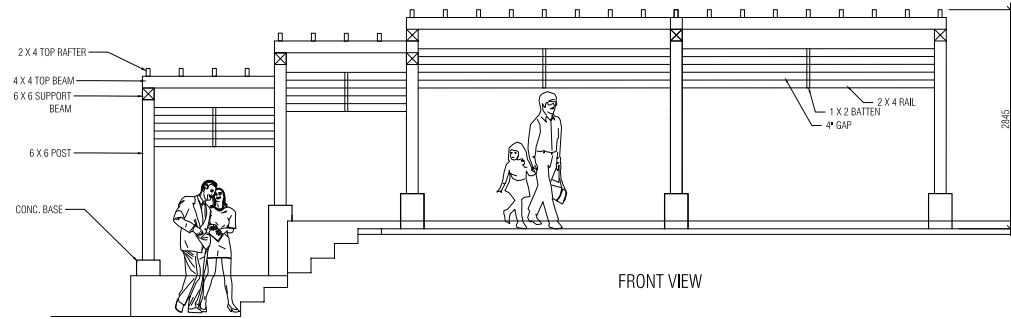
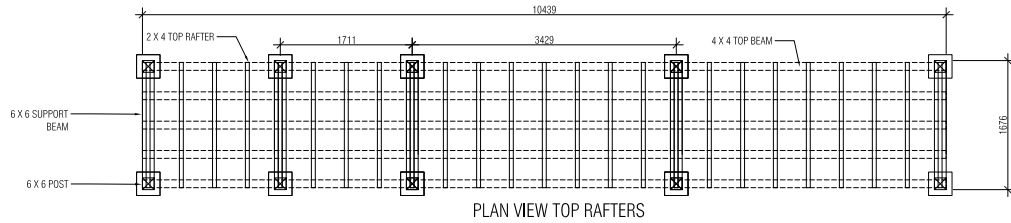
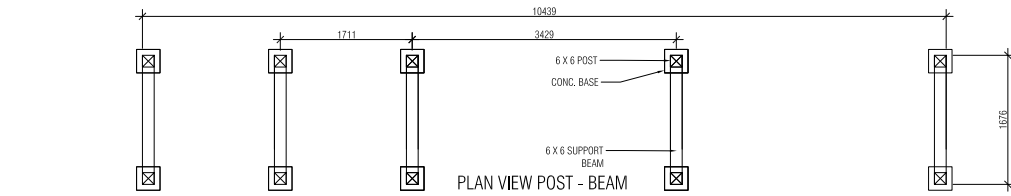
RESUBMISSION FOR
RZ/DPA
DATE: OCT. 31 - 2019
SUBMIT FILE: 106516

PROJECT
PROPOSED 6 STOREYS RESIDENTIAL DEVELOPMENT
10655-10679 137A STREET, SURREY, B.C.
DEVELOPER: LISA ENTERPRISES LTD.
CITY OF SURREY FILE NO. 164016
100 HANCOCK ASSOCIATES INC. 165 FORT STREET, VANCOUVER, B.C. V6C 2S4, PH: 604-276-9767, FX: 604-276-4201, E: lisa@lisaenterprises.com

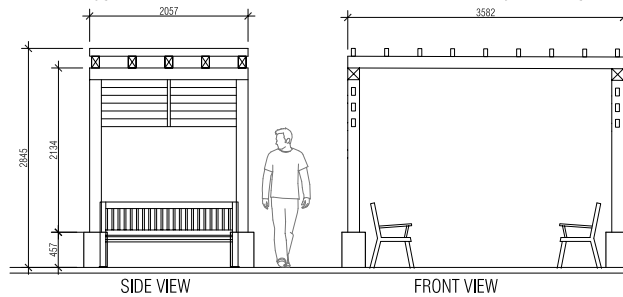
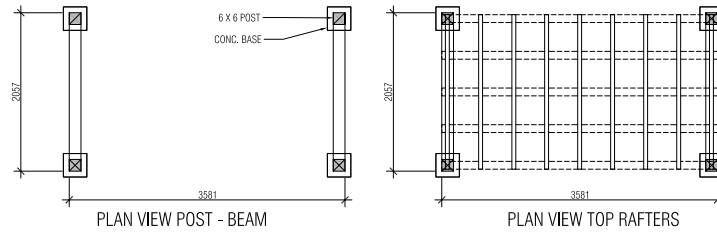


DATE	JULY 18 2018
DESIGN	MM
DRAWN	MM
CHECKED	MM
SCALE	AS SHOWN
JOB NO.	106516

SHEET TITLE
LANDSCAPE DETAILS
SHEET NO.
L-10



1 WOOD PERGOLA - TYPE 1
SCALE: 1:30



2 WOOD PERGOLA - TYPE 2
SCALE: 1:30

REVISIONS/ISSUED
1. THE DESIGN OF THIS PERGOLA IS FOR THE PROPOSED 6 STOREY RESIDENTIAL DEVELOPMENT AT 10655-10679 137A STREET, SURREY, B.C. THE PERGOLA IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BC BUILDING CODE AND ALL APPLICABLE REGULATIONS.
2. THE PERGOLA IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BC BUILDING CODE AND ALL APPLICABLE REGULATIONS.
3. THE PERGOLA IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BC BUILDING CODE AND ALL APPLICABLE REGULATIONS.
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9. THE PERGOLA IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BC BUILDING CODE AND ALL APPLICABLE REGULATIONS.
10. THE PERGOLA IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE BC BUILDING CODE AND ALL APPLICABLE REGULATIONS.

RESUBMISSION FOR
RZ/DPA
DATE: OCT. 31 - 2019
SUBMIT FILE: 106516

PROJECT
PROPOSED 6 STOREYS RESIDENTIAL DEVELOPMENT
10655-10679 137A STREET, SURREY, B.C.
DEVELOPER: LISA ENTERPRISES LTD.
CITY OF SURREY FILE NO. 164016
100 HANCOCK ASSOCIATES INC. 165 FREDOT SQUARE, VANCOUVER, B.C. V6Z 2S6, PH: 604-276-9777, FX: 604-276-9777, EMAIL: info@hancoc.com



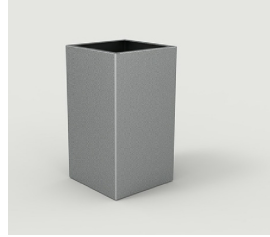
DATE	JUL 18 2018	BY	
DESIGN		DRAWN	
CHECKED		SCALE	AS SHOWN
JOB NO.	1009		

SHEET TITLE
LANDSCAPE DETAILS
SHEET NO.
L-11



BY MAGLIN SITE FURNITURE, MLB870 BENCH SERIES, MODEL MLB870-W . SIZE: H: 32.2" X L: 69.5" X D: 24.3".IPE WOOD FINISH, ALL METAL COMPONENT TO BE POWDER COATED WITH GUN METAL FINISH.

1 BENCH



BY MAGLIN SITE FURNITURE, MODEL: MLP1500-MPS-S2 PLANTERS' W: 18.38" (46.7CM) X D:18.38" (46.7CM) X H: 33" (83.82CM), 120 LBS. COLOR: BRONZE 14

2 DECORATIVE POT TYPE 1



BY DEKKO, BRAVO SERIES, LIMESTONE COLOR , IVORY BEACJ STONE ROCK,32"W x 32"D x 13"H.

3 FIRE PIT



BY ABBOTSFORD CONCRETE. UNIT PAVERS, OLD COUNTRY STONE. SIZE: 180MM x 76MM x 60MM (7 1/8" x 3" x 2 3/8").COLOR: WALNUT BLEND.

4 UNIT PAVERS TYPE 1



BY ABBOTSFORD CONCRETE. PATIOS TO BE UNIT PAVERS, NEW YORK STONE SERIES. SIZE: 600MMX600MM (2'X2'), COLOR: CHARCOAL.

5 UNIT PAVERS TYPE 2

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Engineer, Engineering Department**

DATE: **Nov 22, 2019** PROJECT FILE: **7818-0316-00**

RE: **Engineering Requirements
Location: 10653/63/75/79 - 137A Street**

REZONE/SUBDIVISION

Property and Right-of-Way Requirements

- Dedicate 3.58m along 106A Avenue.
- Dedicate corner cuts, as required.
- Provide on-site 0.5m wide statutory rights-of-way (SROW) along all site frontages.
- Provide off-site 1.5m wide drainage SROW, if applicable.

Works and Services

- Construct west side of 137A Street
- Construct north side of 106A Avenue
- Construct Lane with road drainage
- Submit geotechnical report addressing the road work requirements.
- Construct storm main along 137A Street and the Lane south to 105A Avenue.
- Construct minimum 250mm water main along 106A Avenue.
- Construct 300mm sanitary main within the Lane.
- Complete sanitary and drainage catchment analysis to determine existing capacities and resolve downstream constraints, as identified.
- Provide water, storm and sanitary service connections
- Register applicable legal documents as determined through detailed design.
- Secure off-site working easement and tree cutting permits, if applicable.
- Pay amenity charge for undergrounding the existing overhead electrical and telecommunication infrastructure.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit beyond those noted above.



Jeff Pang, P.Eng.
Development Engineer

HB4

November 19, 2019

Planning

School Enrolment Projections and Planning Update:

Forsyth Road Elementary was built in 2001. It is in an inner city neighbourhood with significantly higher student support needs which affects class size and composition.

Over the next 10 years our projections are indicating, that by 2027, the school will be operating over 203% capacity. Both the future Guildford 104th Corridor NCP and the City Center Plan will impact the current enrolment projection which may be too conservative. This school will be monitored over the next year to determine if a future expansion project is required at this school. Until then, any enrolment growth at the school will be managed by portables.

Kwantlen Park Secondary is currently operating at 120% and is projected to grow by 542 students over the next 10 years. This school will also be impacted by timing of future high rise development in the area. As per the District's Five Year 2020/2021 Capital Plan, the District is requesting a 300 capacity addition at Kwantlen Park and the another 450 addition at Guildford Park to manage the secondary seat shortfall in the Guildford/City Centre communities. Both projects are targeted to open September 2025. The Ministry of Education has not approved capital funding for either request.

THE IMPACT ON SCHOOLS

APPLICATION #: 18 0316 00 Oct 24 2019 (revised Nov 2019)

SUMMARY

The proposed 9 townhouse units and 77 highrise units are estimated to have the following impact on the following schools:

Projected # of students for this development:

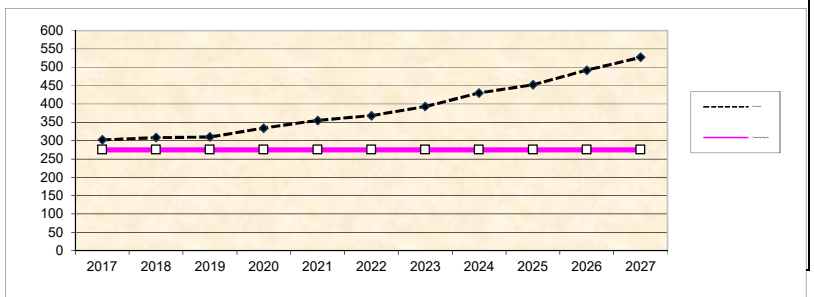
Elementary Students:	4
Secondary Students:	2

September 2019 Enrolment/School Capacity

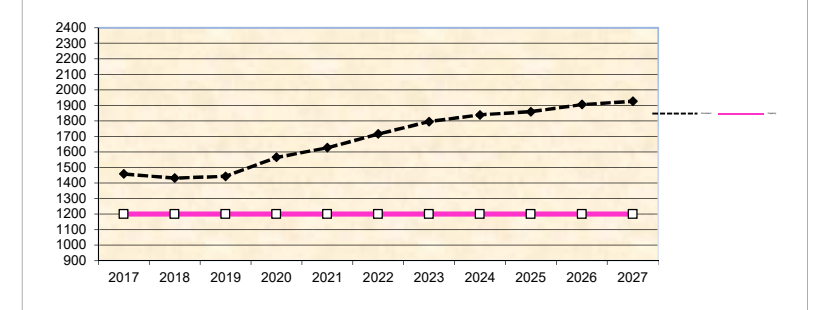
Forsyth Road Elementary	
Enrolment (K/1-7):	43 K + 267
Operating Capacity (K/1-7)	19 K + 256

Kwantlen Park Secondary	
Enrolment (8-12):	1443
Capacity (8-12):	1200

Forsyth Road Elementary



Kwantlen Park Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students. Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

9.0 TREE PRESERVATION SUMMARY

Surrey Project No: N/A

Address: 10679 - 10653 137A St, Surrey

Registered Arborist: Francis R. Klimo

On-Site Trees	Number of Trees
Protected Trees Identified <i>(on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas and non-by-law protected trees)</i>	13
Protected Trees to be Removed	13
Protected Trees to be Retained <i>(excluding trees within proposed open space or riparian areas)</i>	0
Total Replacement Trees Required:	
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) =	0
All other Trees Requiring 2 to 1 Replacement Ratio 13 X two (2) = 26	26
Replacement Trees Proposed	16
Replacement Trees in Deficit	10
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required:	
Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0	0
All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	

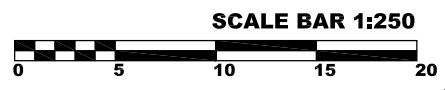
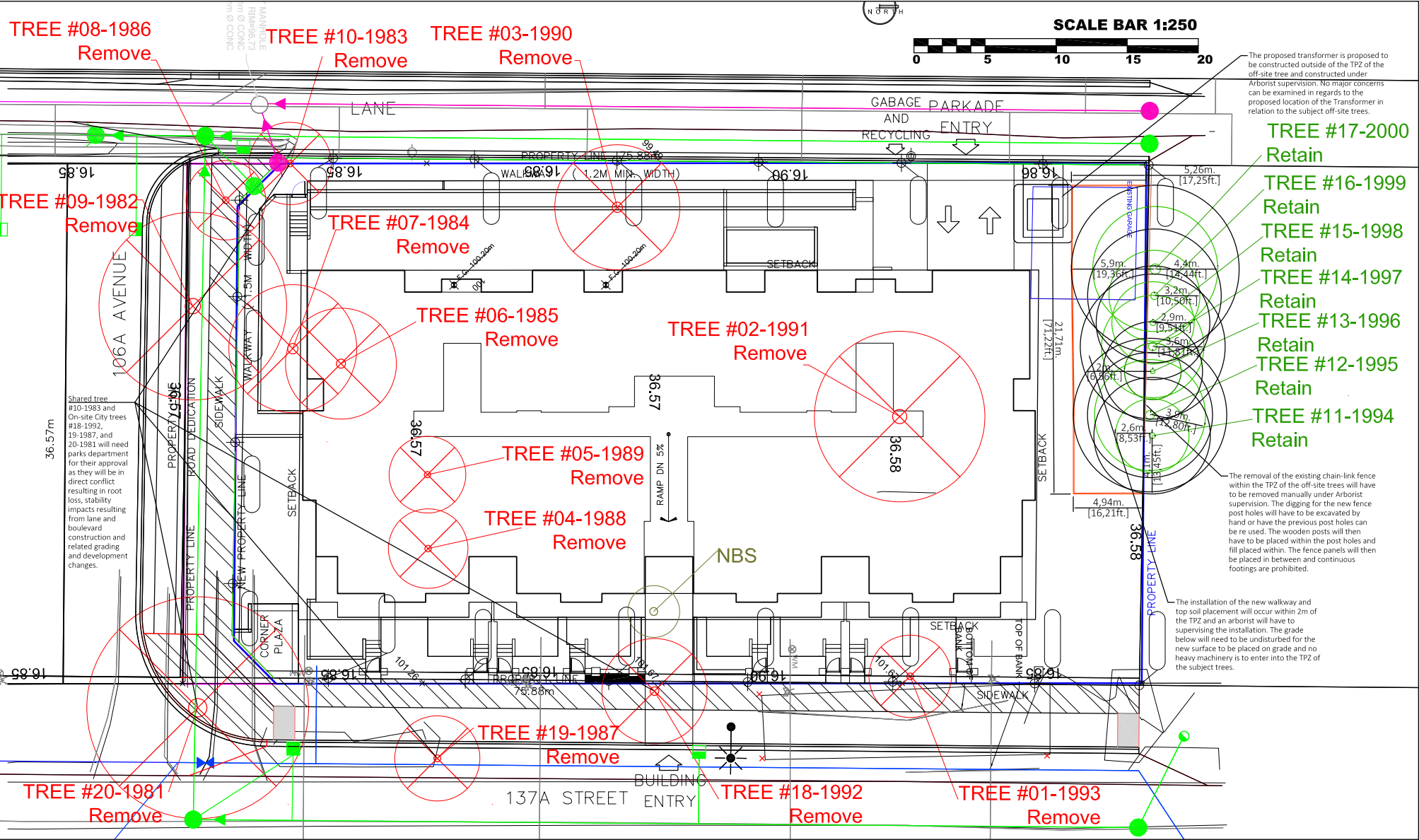
Summary, report and plan prepared and submitted by:



November 25, 2019

(Signature of Arborist)

Date



The proposed transformer is proposed to be constructed outside of the TPZ of the off-site tree and constructed under Arborist supervision. No major concerns can be examined in regards to the proposed location of the Transformer in relation to the subject off-site trees.

- TREE #17-2000 Retain
- TREE #16-1999 Retain
- TREE #15-1998 Retain
- TREE #14-1997 Retain
- TREE #13-1996 Retain
- TREE #12-1995 Retain
- TREE #11-1994 Retain

The removal of the existing chain-link fence within the TPZ of the off-site trees will have to be removed manually under Arborist supervision. The digging for the new fence post holes will have to be excavated by hand or have the previous post holes can be re used. The wooden posts will then have to be placed within the post holes and fill placed within. The fence panels will then be placed in between and continuous footings are prohibited.

The installation of the new walkway and top soil placement will occur within 2m of the TPZ and an arborist will have to supervising the installation. The grade below will need to be undisturbed for the new surface to be placed on grade and no heavy machinery is to enter into the TPZ of the subject trees.

Shared tree #10-1983 and On-site City trees #18-1992, #19-1987, and #20-1981 will need parks department for their approval as they will be in direct conflict resulting in root loss, stability impacts resulting from lane and boulevard construction and related grading and development changes.

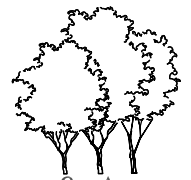
Date	Sheet #
Scale	1:250
Drawn	
Checked	

TREE MANAGEMENT PLAN

Project Number _____

10679-10653 137A ST, SURREY

Francis R. Klimo
 ISA Certified Arborist #PN-8149A
 ISA Certified Tree Risk Assessor (TRAQ)
 BC Wildlife Danger Tree Assessor #7193



Klimo & Associates



Advisory Design Panel Minutes

Present:

Chair - R. Drew

Panel Members:

A. Callison

A. Llanos

G. Borowski

I. MacFadyen

M. Patterson

Guests:

Blaire Chisholm, Brook Pooni Associates

Cameron Woodruff, PMG Landscape Architects Ltd.

Catherine Truong, Rio Can

Mark Huberman, Bunt Engineer

Mauren Solmendson, Brook Pooni Associates

Neil Banhas, Wensley Architecture Ltd.

Robert Ciccozzi Architecture Inc.

Rod Maruyama, Maruyama & Associates

Staff Present:

A. McLean, City Architect

N. Chow, Urban Design Planner

S. Maleknia, Urban Design Planner

C. Eagles, Administrative Assistant

A. RECEIPT OF MINUTES

It was

Moved by I. MacFadyen

Seconded by A. Callison

That the minutes of the Advisory Design

Panel meeting of August 22, 2019 be received.

Carried

B. NEW BUSINESS

1. 2020 Meeting Schedule

2. Time: 5:10 p.m.

File No.: 7918-0316-00

Address: 10653 – 10679 137A Street

New or Resubmit: New

Last Submission Date: N/A

Description: Proposed Rezoning from RF to CD (based on RM-70), consolidation of four (4) lots into one (1), and a Development Permit for a 6-storey apartment building with ground-oriented two-level townhomes, and a total of eighty-six (86) dwelling units.

Developer: 1140375 BC Ltd.

Architect: Robert Ciccozzi Architecture Inc.

Landscape Architect: Rod Maruyama & Associates

Planner: Christopher Wilcott

Urban Design Planner: Sam Maleknia

The Urban Design Planner advised that staff have no specific issues. The proposal complies with recent scale in the area and staff support the project. Staff expressed concerns on how similar or different the neighbouring projects should be in terms of architectural expression.

The Project Architect presented an overview of the site and building plans, streetscapes and elevations. The rooftop amenity will include urban agricultural plots, workshop benches and a compost area.

The Landscape Architect presented an overview of the general concept for the Landscape plans.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by G. Borowski
Seconded by A. Maria Llanos
That the Advisory Design Panel (ADP):

1. SUPPORT the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department.
2. Recommend that the landscaping submission return to staff for further development.

Carried
With A. Callison opposed

Key Points:

- Consider adding children's play equipment and expanding rooftop amenity. *Future park to south of the development will provide children's play opportunities. Roof top area expanded and revised.*
- Consider future-proofing for District Energy system. *Considered and incorporated. Space reserved at Level G/P1. Will coordinated with construction document.*
- Consider covered area (indoor amenity) at rooftop amenity. *A covered area on the roof is considered another story and the building will not comply to the BC Building Code with respect to 6 story combustable construction.*
- Storm water management strategy. *See attached Civil Engineering's Response.*
- Manage potential heat gain and overheating issues at west elevation.
- Consider an energy modeling study. *Not required at this stage.*
- Reconsider utilization of landscape area, particularly at retained tree areas at north end of building. *Passive recreational uses are not compatible with north side yard. Site aspect is total shade year round, very little light. Programmed for fire exit only. Roots of existing trees will required protection.*
- Relocate accessible stalls to be closer to the elevator lobby access. *Reviewed and revised.*
- Consider measures to differentiate façade treatment of west façade.
- Expression of elevator overrun. *Considered and incorporated.*
- Consider natural lighting into corridor by shifting stairwell. *Acknowledged*
- Review depth of units on the east side for access to natural light

Acknowledged

- Consider townhouse patios for privacy and transition between public and private realm. *Considered and incorporated.*
- The use of accent colour at soffit and balcony fascia is welcomed.

Acknowledged

Site

- It was noted the proposal is a good initiative being so close to SkyTrain. *Acknowledged*
- The building placement is supported. *Acknowledged*

Form and Character

- The massing articulation is supported. *Acknowledged*
- Consider adding a trellis to rooftop amenity. *Considered and incorporated*
- Recommend children's play equipment on the rooftop outdoor amenities. *Future park to adjacent to and south of the development phase 2 will provide children's play opportunities.*
- Reconsider the need to decorate the elevator overrun. *Reviewed and revised.*
- Concern with depth of the units facing the east. *Acknowledged*
- Recommend additional outdoor space with indoor amenity at grade. *Exterior landscape space has been designed with maximum amount of space. Terraced planters are required to accommodate grade changes.*
- The brick base articulation is supported. *Acknowledged*
- The balcony and soffit accent colour is successful. *Acknowledged*
- Review the clarity of the main entrance. *Acknowledged*
- Recommend further privacy of townhome patios. *Privacy screen will be incorporated, also larger plant material to be used between adjacent side to side patio spaces.*
- Recommend altering the lower brick massing by further articulating the massing volume between the brick facade and the panels above. *Reviewed and revised.*
- Consider developing the horizontal balconies and upper overhang. *Considered and incorporated.*
- Recommend shifting the stairwell at the north end to introduce natural light to the corridors. *Acknowledged*
- Consider altering guardrail detail mounted to the side. *Considered and incorporated.*
- Recommend a play area for children on the rooftop amenity. *Future park to south of the development will provide children's play opportunities.*
- Consider increasing the size of the ground floor patios on the west side by eliminating common walkway and extending patios and yards further west with direct connection for each unit to the lane. *Acknowledged.*

Landscape

- Recommend extending outdoor amenity on rooftop to include a play area

and covered area for BBQ. Roof top amenity space expanded and revised to consolidate common uses. BBQ station (uncovered) and additional patio tables added.

- Consider programming compatible with tree retention to the north. *Passive recreational uses are not compatible with north side yard. Site aspect is total shade year round, very little light. Programmed for fire exit only. Roots of existing trees will required protection.*

CPTED

- No specific issues were identified.

Sustainability

- Consider west elevation overheating challenge. *Acknowledged.*
- Consider storm water management strategy. *Considered and incorporated.*

Accessibility

- Consider relocating the accessible stalls adjacent to the corridor leading to the west, closer the elevator lobby door. *Reviewed and revised.*
- Consider relocating the accessibility path to exit against amenity interior space to connect to future road to the south. *Considered and incorporated.*

CITY OF SURREY

BYLAW NO. 20001

A bylaw to amend "Surrey Zoning By-law, 1993, No. 12000", as amended

.....

THE Council of the City of Surrey ENACTS AS FOLLOWS:

- 1. "Surrey Zoning By-law, 1993, No. 12000", as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of "Surrey Zoning By-law, 1993, No. 12000", as amended as follows:

FROM: SINGLE FAMILY RESIDENTIAL ZONE (RF)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 009-905-847
 Lot 7 Section 23 Block 5 North Range 2 West New Westminster District Plan 13914
 10653 - 137A Street

Parcel Identifier: 000-857-009
 Lot 8 Section 23 Block 5 North Range 2 West New Westminster District Plan 13914
 10663 - 137A Street

Parcel Identifier: 000-913-936
 Lot 9 Section 23 Block 5 North Range 2 West New Westminster District Plan 13914
 10675 - 137A Street

Parcel Identifier: 009-884-807
 Lot 7 Section 23 Block 5 North Range 2 West New Westminster District Plan 14106
 10679 - 137A Street

(hereinafter referred to as the "Lands")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of medium *density*, medium-rise, *multiple unit residential buildings*, *ground-oriented multiple unit residential buildings*, and related *amenity spaces*, which are to be developed in accordance with a *comprehensive design*.

B. Permitted Uses

The *Lands and structures* shall be used for *Multiple Unit Residential Buildings* and *Ground-Oriented Multiple Unit Residential Buildings*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The *unit density* shall not exceed a *floor area ratio* of 0.1 or *building area* of 300 square metres [3,230 sq. ft.] whichever is smaller. The maximum *density* may be increased to that prescribed in Section D.2 of this Zone if amenities are provided in accordance with Schedule G of "Surrey Zoning By-law, 1993, No. 12000", as amended.
2. (a) The *floor area ratio* shall not exceed 2.6; and
 (b) The *unit density* shall not exceed 376 *dwelling units* per hectare [152 u.p.a.].
3. The indoor *amenity space* required in Sub-section J.1(b) of this Zone is excluded from the calculation of *floor area ratio*.
4. A *secure bicycle parking area* provided in a separate bicycle room located within a *building*, whether located at or above *finished grade*, with convenient access to the outside of the *building*, is excluded from the calculation of the *floor area ratio* to a maximum of 170 square metres [1,830 sq. ft.].

E. Lot Coverage

The *lot coverage* shall not exceed 52%.

F. Yards and Setbacks

1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	North Yard	South Yard	East Yard	West Yard
<i>Principal Buildings, Accessory Buildings, and Structures</i>		7.5 m [25 ft.]	4.5 m [15 ft.]	4.5 m [15 ft.]	7.5 m [25 ft.]

Measurements to be determined as per Part 1 Definitions of "Surrey Zoning By-law, 1993, No. 12000", as amended.

2. Notwithstanding Section F.1 of this Zone, the *setbacks* to patios and covered patio columns may be reduced to 1.5 m [5 ft.].
3. Notwithstanding Sub-section E.17(b) of Part 4 General Provisions of "Surrey Zoning By-law, 1993, No. 12000", as amended, stairs with more than three risers may encroach into the *setbacks*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of "Surrey Zoning By-law, 1993, No. 12000", as amended.

1. *Principal buildings:* The *building height* shall not exceed 20 metres [65 ft.].
2. *Accessory buildings and structures:* The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

1. Resident and visitor *parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of "Surrey Zoning By-law, 1993, No. 12000", as amended.
2. All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.
3. Notwithstanding Sub-section A.3(d) of Part 5 Off-Street Parking and Loading/Unloading of "Surrey Zoning By-law, 1993, No. 12000", as amended, the *parking facility underground* may be located up to 0 metres [0 ft.] from the *front lot line* or *lot line* along a *flanking street*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping strip* of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be located within the *underground parking* or within a *building*.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit*.
2. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq. ft.] per *dwelling unit*, whichever is greater.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
2,300 sq.m. [0.5 acre]	65 metres [213 ft.]	30 metres [98 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of "Surrey Zoning By-law, 1993, No. 12000", as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in "Surrey Zoning By-law, 1993, No. 12000", as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of "Surrey Zoning By-law, 1993, No. 12000", as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of "Surrey Zoning By-law, 1993, No. 12000", as amended and in accordance with the servicing requirements for the RM-70 Zone as set forth in the "Surrey Subdivision and Development By-law, 1986, No. 8830", as amended.
3. General provisions are as set out in Part 4 General Provisions of "Surrey Zoning By-law, 1993, No. 12000", as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of "Surrey Zoning By-law, 1993, No. 12000", as amended.

5. Sign regulations are as set out in "Surrey Sign By-law, 1999, No. 13656", as amended.
 6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of "Surrey Zoning By-law, 1993, No. 12000", as amended.
 7. *Building* permits shall be subject to the "Surrey Building Bylaw, 2012, No. 17850", as amended.
 8. *Building* permits shall be subject to "Surrey Development Cost Charge Bylaw, 2018, No. 19478", as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-70 Zone.
 9. Tree regulations are set out in "Surrey Tree Protection Bylaw, 2006, No. 16100", as amended.
 10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
3. This Bylaw shall be cited for all purposes as "Surrey Zoning Bylaw, 1993, No. 12000, Amendment Bylaw, 2019, No. 20001"

PASSED FIRST READING on the _____ day of _____, 20 .

PASSED SECOND READING on the _____ day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ day of _____, 20 .

PASSED THIRD READING on the _____ day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

_____ MAYOR

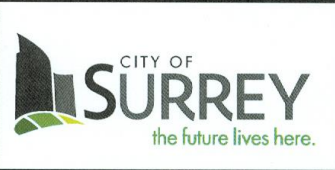
_____ CLERK

SCHEDULE A

Figure 1 – SERVICE AREA A & SERVICE AREA B



Produced by GIS Section: May 31, 2012, CS/AW8

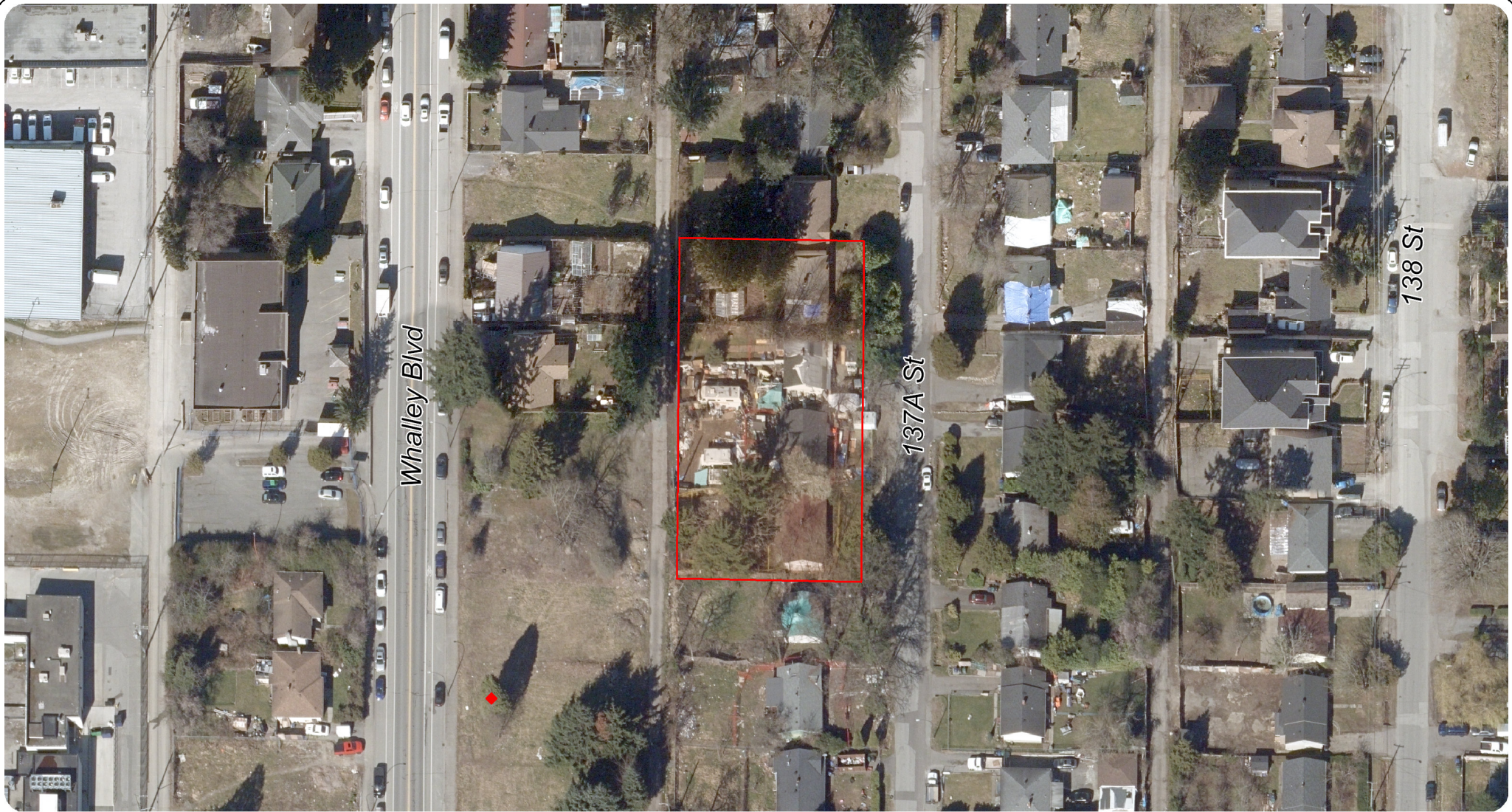


**DISTRICT ENERGY SERVICE AREA
(SERVICE AREA A & SERVICE AREA B)**

**ENGINEERING
DEPARTMENT**

The data provided is compiled from various sources and IS NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, Legal descriptions and encumbrances must be confirmed at the Land Title Office.

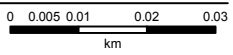
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18-0313 | Aerial View of Site

Scale: 1:715

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Map created on: 2019-11-13