

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7918-0289-00

Planning Report Date: December 2, 2019

PROPOSAL:

- **OCP Amendment** of Figure 16: Central Business District Densities from "3.5 FAR" to "5.5 FAR"
- **CCP Amendment** from "Residential Mid to High Rise 3.5 FAR" to "Mixed-Use 5.5 FAR"
- **Rezoning** from RM-45 to CD (based on RM-135 and C-8)
- **Development Permit**
- **Housing Agreement**

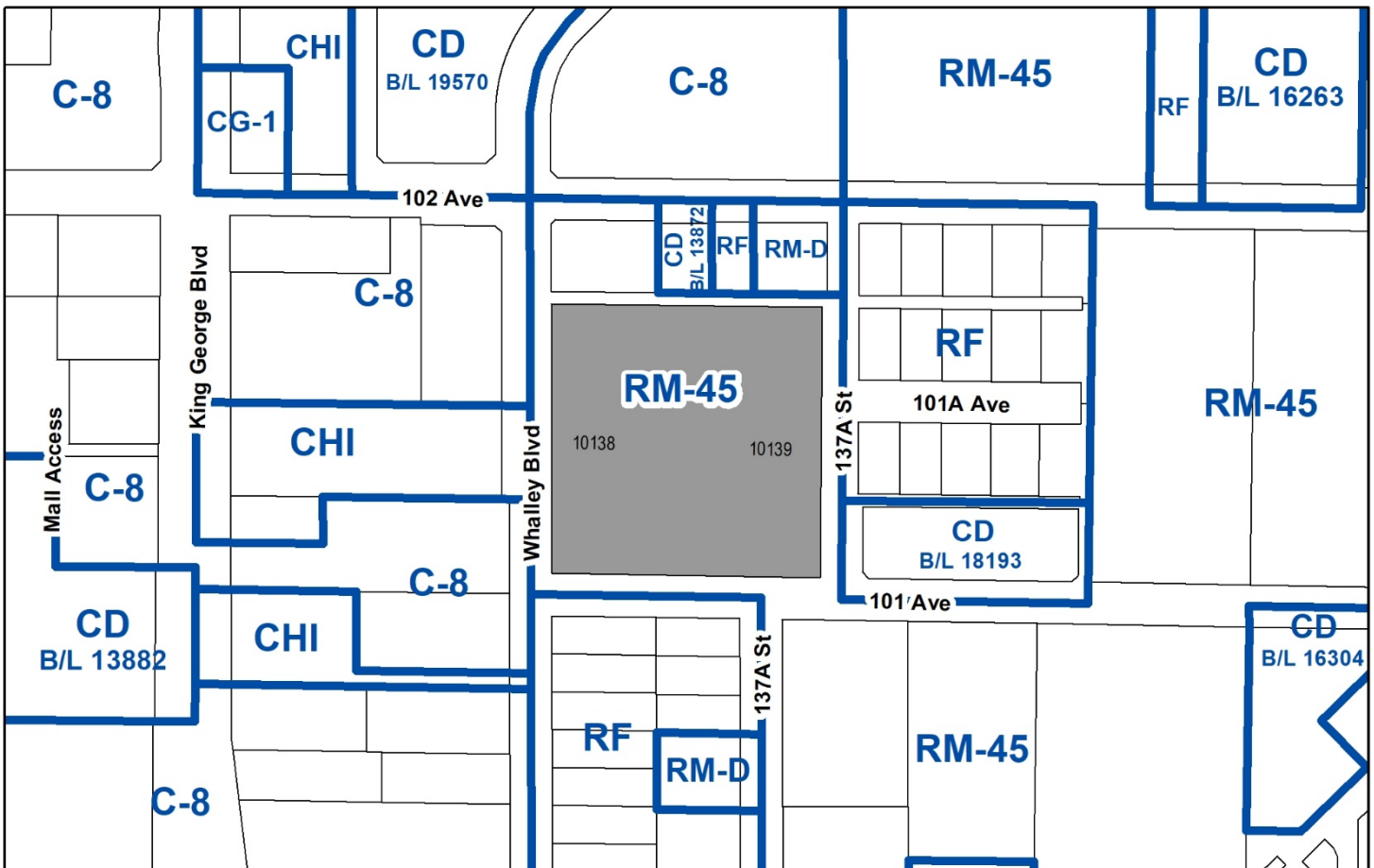
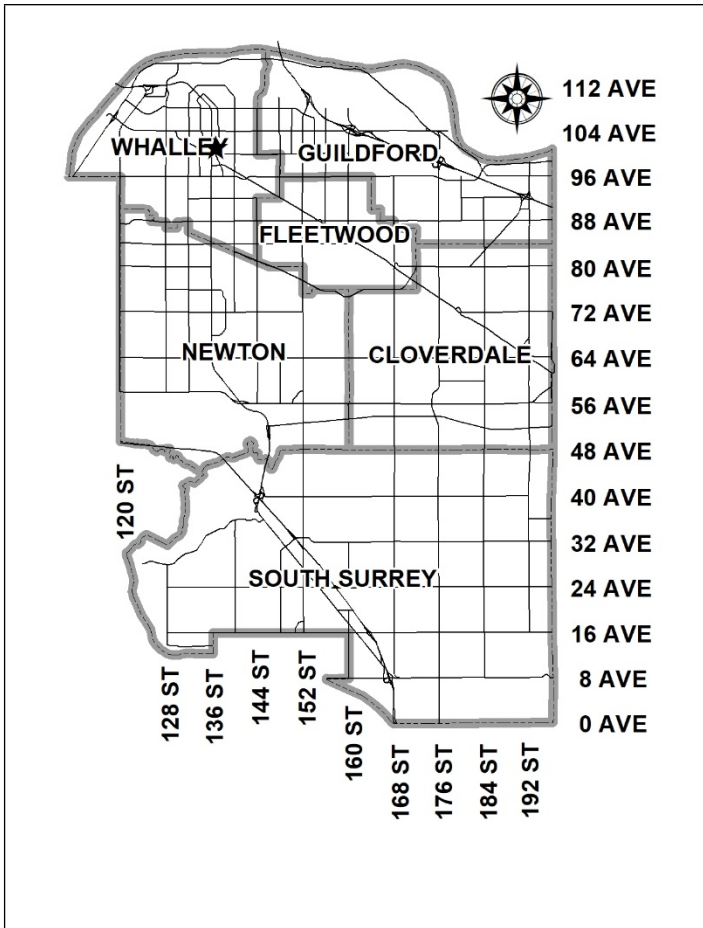
to permit the development of a mixed-use project, consisting of three high-rise residential towers (23-storey, 32-storey and 39-storey), two 13-storey mid-rise market rental residential towers, one 6-storey apartment building and ground-level retail/commercial space including a café and daycare.

LOCATION: 10138 - Whalley Boulevard

ZONING: RM-45

OCP DESIGNATION: Central Business District

CCP DESIGNATION: Residential Mid to High Rise 3.5 FAR



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment;
 - Rezoning; and
 - Housing Agreement
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking an amendment to the Official Community Plan (OCP) and City Centre Plan to permit a higher density.
- The proposal partially complies with Policy O-61 Rental Housing Redevelopment: Rental Replacement and Tenant Relocation Assistance. Existing rental housing units are proposed to be replaced at a higher than 1:1 replacement ratio, however, the 172 proposed rental replacements units are proposed to be provided at market rental rates rather than at affordable rental rates for low to moderate income households (defined as 10% below current Canadian Market and Housing Corporations (CMHC) average rents) in accordance with the Policy.

RATIONALE OF RECOMMENDATION

- Although the proposed density on the subject site is higher than that prescribed in the OCP and City Centre Plan, the proposed mix of uses, including residential market housing, market rental housing, a purpose-built daycare and ground floor commercial space will support and complement the Central Downtown District of the City Centre.
- The City Centre Plan, Density Bonus Interim Policy indicates that increased density may be considered where appropriate in exchange for certain amenities. Rize has proposed a combination of in-kind amenities and cash-in-lieu to address the proposed increase in density.
- The proposed buildings have an attractive design with unique form and massing, high-quality architectural design features, with substantial glazing and a high-quality durable material palette appropriate for the City Centre.
- The site was designed to provide relief at street level as well as publicly accessible open space with four landscaped piazzas and multiple pedestrian connections throughout the site into the surrounding neighbourhood.
- The site is within a walking distance of 500 metres (1,640 ft.) from both the King George and Surrey Central SkyTrain stations. The proposed development conforms to the goal of achieving high-rise, high density development around the SkyTrain Stations.

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- The applicant has provided a Tenant Assistance and Relocation Program (see Appendix X), as required under City Policy No. O-61, in order to offer a relocation strategy for the existing rental tenants on the subject site. The applicant's assistance and proposed relocation efforts for the existing residents meets some of the requirements of Surrey's City Policy No. O-61.
 - In partial accordance with the rental replacement requirements of Surrey's City Policy No. O-61, the applicant is proposing to replace all 154 existing rental units by providing 172 new market rental units in two 13-storey, concrete, purpose-built rental buildings within the proposed development. However, the units will be provided at market rental rates instead of the Policy No. O-61 prescribed affordable rental rates for low to moderate income households defined as a maximum of 10% below current Canadian Market and Housing Corporations (CMHC) average rents.
 - Staff requested the applicant determine what density they would require in order to provide all or a percentage of the proposed market rental units at 10% below CMHC rental rates. The applicant opted to proceed as proposed and not consider additional density and height options beyond the current proposal.
 - The applicant proposes to enter into a Housing Agreement to allocate the 172 dwelling units located in two, 13-storey mid-rise residential buildings on the subject site as market rental. The proposed Housing Agreement will restrict the dwelling units to rental for a period of 20 years.
 - The proposed reduced building setbacks allow for more active engagement with the streets, which is desirable for the City Centre area and is in keeping with the City Centre design guidelines.
 - Staff are supportive of the proposal proceeding to Public Hearing.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to amend Figure 16: Central Business District Densities of the OCP for the subject site from "3.5 FAR" to "5.5 FAR" and a date be set for Public Hearing.
2. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
3. A By-law be introduced to rezone the subject site from "Multiple Residential 45 Zone (RM-45)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
4. A By-law be introduced authorizing Council to enter into a Housing Agreement.
5. Council authorize staff to draft Development Permit No. 7918-0289-00 generally in accordance with the attached drawings (Appendix II).
6. Council approve the applicant's request to reduce the amount of required outdoor amenity space from 3,378 square metres (36,360 sq. ft.) to 3,354 square metres (36,102 sq. ft.).
7. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;
 - (g) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to the City's Affordable Housing Strategy, to the satisfaction of the General Manager, Planning & Development Services;

- (h) registration of a Section 219 Restrictive Covenant to reflect the 172 rental units and ensure that the applicant will adequately address the City's needs with respect to public art, should the project be converted from rental housing to market units, at any point in the future;
 - (i) the applicant to enter into a Housing Agreement with the City to restrict a total of 172 dwelling units on the subject site to rental housing for a period of twenty (20) years;
 - (j) registration of a Section 219 Restrictive Covenant for "no build" on a portion of the subject site (Lot 2 and 3) to prohibit new construction until the existing rental building fronting Whalley Boulevard is demolished (after tenant relocation);
 - (k) registration of a Section 219 Restrictive Covenant for "no occupancy" on the subject site until all strata plans, for all phases are approved by the Approving Officer;
 - (l) registration of a reciprocal access and parking easement for the entire subject site; to the satisfaction of the Engineering Department;
 - (m) registration of a shared access and maintenance easement between all lots for shared use of the proposed indoor and outdoor amenity spaces located throughout the development site;
 - (n) ensure all requirements associated with the provision of MODO car share vehicles are addressed to the satisfaction of the General Manager, Engineering;
 - (o) the applicant provide a cash-in-lieu contribution to offset the deficiency in on-site parking;
 - (p) registration of a volumetric statutory right-of-way for public rights-of-passage over the publicly accessible open space/piazzas within the site;
 - (q) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
 - (r) the applicant provide an additional density bonus amenity contribution in support of the requested increased density, to the satisfaction of the General Manager, Planning and Development Department;
 - (s) registration of a Section 219 Restrictive Covenant to secure the proposed daycare space within the proposed development;
 - (t) the applicant adequately address the impact of reduced on-site indoor amenity space; and
 - (u) the applicant adequately address the impact of reduced on-site outdoor amenity space.
8. Council pass a resolution to amend the City Centre Plan to redesignate the subject site from " Residential Mid to High Rise 3.5 FAR " to "Mixed-Use 5.5 FAR" as shown in Appendix VIII, when the project is considered for final adoption.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

27 Elementary students at Lena Shaw School
 11 Secondary students at Guildford Park School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy as follows:

- Phase 1 - May 2023
- Phase 2 - June 2024
- Phase 3 - August 2024

Parks, Recreation & Culture: Parks has no concerns regarding the proposal.

SITE CHARACTERISTICS

Existing Land Use: Two 4-storey rental apartment buildings consisting of 154 rental dwelling units.

Adjacent Area:

Direction	Existing Use	CCP Designation	Existing Zone
North (Across lane):	Two and three storey apartment buildings, single family dwelling and duplex.	Mixed- Use 3.5 FAR and Residential Mid to High Rise 3.5 FAR	RM-45, RF and RM-D

Direction	Existing Use	CCP Designation	Existing Zone
East (Across 137A Street):	Single family dwellings and a newly constructed six-storey apartment building.	Park and Residential Low to Mid Rise up to 2.5 FAR	RF and CD By-law No. 18193
South (Across 101 Avenue):	Single family dwellings and a two storey apartment building.	Residential Mid to High Rise 3.5 FAR and Residential Low to Mid Rise up to 2.5 FAR	RF and RM-45
West (Across Whalley Boulevard):	Commercial development	Residential Low to Mid Rise up to 2.5 FAR	C-8 and CHI

DEVELOPMENT CONSIDERATIONS

Background

- The 1.6-hectare (4.0-acre) subject property is located at 10138 Whalley Boulevard in City Centre and is currently occupied by two four-storey rental apartment buildings known as Fraserview Courts.
- The subject property is designated "Central Business District" in the Official Community Plan (OCP), " Residential Mid to High Rise 3.5 FAR " in the City Centre Plan and is zoned "Multiple Residential 45 Zone (RM-45)".
- In conjunction with the proposal to redevelop the subject site (Fraserview Courts), the applicant has provided a Tenant Relocation and Assistance Plan in consideration of City Policy O-61 (see City Policy O-61 section and Appendix X).
- In addition to consideration of City policy, the applicant must comply to any Provincially mandated requirements under the Residential Tenancy Act.

Current Proposal

- The applicant, Rize, is proposing to increase the maximum allowable density on the site and rezone the subject site from "Multiple Residential 45 Zone (RM-45)" to "Comprehensive Development Zone (CD)" based on the RM-135 and C-8 Zones and a Development Permit for a three phase mixed-use project, consisting of three high-rise residential towers (23-storey, 32-storey and 39-storey), two 13-storey mid-rise market rental residential towers, one 6-storey apartment building and ground-level retail/commercial space including a café and daycare.
- The development application includes the following:
 - OCP Amendment to increase the allowable density of the subject site within the Central Business District from "3.5 FAR" to "5.5 FAR" (Figure 16);

- City Centre Plan Amendment to increase the allowable density from "Residential Mid to High Rise 3.5 FAR" to "Mixed Use 5.5 FAR";
 - Phased subdivision of the existing lot into 3 lots (ultimately);
 - Rezoning from RM-45 to a CD Zone based on the RM-135 Zone and the C-8 Zone; and
 - Development Permit for Form and Character.
- The proposal would allow for Rize's high density mixed-use development called "The Passages".
- The proposed development will consist of the following:
 - 954 market residential units;
 - 172 market rental residential units and
 - A total of 1,683 square metres (18,116 sq.ft.) of commercial space.
- The proposed gross density for the site is 5.30 FAR, with a proposed net density of 6.0 FAR.

Justification For City Centre Plan Amendment

- The City Centre Plan identifies the subject site for mid to high rise residential development with a floor area ratio (FAR) of up to 3.5, based on the gross site area.
- In addition, the City Centre Plan permits developments to increase densities up to 20% , subject to density bonusing in accordance with the City Centre Interim Density Bonus Policy. As such, a gross density of 4.2 FAR (3.5 FAR + 20%) would apply to the subject site.
- On November 18, 2019, Council endorsed Corporate Report No. R224; 2019, Community Amenity Contribution and Density Bonus Program Update. The intent of that report was to introduce a new City-wide Community Amenity Contribution ("CAC") and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in City's Annual Five-Year Capital Financial Plan.
- In accordance with Corporate Report R224, the proposed Tier 1 and Tier 2 Capital Plan Project CACs are recommended to start January 1, 2020 should the necessary Zoning by-law Amendments be adopted by Council (scheduled for Public Hearing on December 2, 2019). It is noted that in accordance with the implementation strategy outlined in Corporate Report R224, the proposed development will not be subject to the Tier 1 or Tier 2 Capital Plan Project CACs for up to one-year from the date the application receives third reading approval from City Council, provided Third Reading is granted by Council for this project prior to January 1, 2020.
- The applicant is seeking to amend the OCP and City Centre Plan to allow an overall gross density of 5.30 FAR across the entire subject site.

- The following outlines the applicant's rationale for the proposed higher density:
 - The applicant is proposing to construct a 395 square metre (4,252 sq. ft.) purpose-built daycare space with an associated outdoor space for community use, which will be leased by Rize to a market daycare provider (this will be secured by Restrictive Covenant);
 - An additional 18 market rental units (154 replacement market rental units are required and provided in accordance with City Policy O-61);
 - The provision of 6,466 square metres (69,602 sq. ft.) of publicly accessible open space throughout the site secured through a statutory right-of-way for public rights-of-passage; and
 - In addition to the required \$1,000 per market residential (non-rental) unit Affordable Housing Reserve Fund Contribution, City Centre Amenity Contributions, and City Centre specific Development Cost Charges, the applicant has offered a voluntary density bonus contribution of an additional \$200,000 to the City's Affordable Housing Reserve Fund.
- Aside from the proposal above, it is noted that the applicant is proposing an additional, \$100,000 voluntary contribution to the School District, to support a school fundraising program in the area.

Multiple Residential Component

- The proposed development consists of a three phase mixed-use project, consisting of three high-rise residential towers (23-storey, 32-storey and 39-storey), two 13-storey mid-rise market rental residential towers, one 6-storey apartment building and ground-level retail/commercial space including a café and daycare.

Phase 1

- Located on the northeast corner of the site, fronting 137A Street to the east and the green lane to the north, the applicant is proposing to construct "Block A", a 13-storey residential mid-rise tower that will consist of 88 market rental residential dwelling units with a ground floor café and daycare and "Tower B", a 23-storey high-rise residential tower with 212 residential dwelling units.
- In "Block A", the 88 market rental apartment units will range in size from 47 square metres (506 sq.ft.) to 78 square metres (840 sq.ft.), and are comprised of the following unit types:
 - 55 one-bedroom units; and
 - 33 two-bedroom units.
- In "Tower B", the 212 apartment units will range in size from 39 square metres (420 sq.ft.) to 172 square metres (1,851 sq.ft.), and are comprised of the following unit types:
 - 40 studio units;
 - 98 one-bedroom units;
 - 66 two-bedroom units; and
 - 8 three-bedroom units.

Phase 2

- Located on the southern portion of the site, fronting 137A Street to the east, 101 Avenue to the south and Whalley Boulevard to the west, the applicant is proposing to construct "Mansion Block C", a 6-storey residential low-rise apartment building that will consist of 66 residential dwelling units and "Tower D", a 32-storey high-rise residential tower with 304 residential dwelling units with 261 square metres (2,809 sq.ft.) of ground floor commercial space fronting Whalley Boulevard.
- In "Mansion Block C", the 66 apartment units will range in size from 47 square metres (506 sq.ft.) to 118 square metres (1,270 sq.ft.), and are comprised of the following unit types:
 - 8 one-bedroom units;
 - 38 two-bedroom units; and
 - 20 three-bedroom units.
- "In Tower D", the 304 apartment units will range in size from 39 square metres (420 sq.ft.) to 146 square metres (1,571 sq.ft.), and are comprised of the following unit types:
 - 58 studio units;
 - 146 one-bedroom units;
 - 91 two-bedroom units; and
 - 9 three-bedroom units.

Phase 3

- Located on the northwest corner of the site, fronting Whalley Boulevard to the west and the green lane to the north, the applicant is proposing to construct "Block E", a 13-storey residential mid-rise tower that will consist of 84 market rental residential dwelling units with 621 square metres (6,684 sq.ft.) of ground floor commercial space fronting Whalley Boulevard as well as wrapping around to front the City and Central piazzas and "Tower F", a 39-storey high-rise residential tower with 372 residential dwelling units.
- In "Block E", the 84 market rental residential units will range in size from 47 square metres (506 sq.ft.) to 84 square metres (904 sq.ft.), and are comprised of the following unit types:
 - 49 one-bedroom units;
 - 28 two-bedroom units; and
 - 7 three-bedroom units.
- "In Tower F", the 372 apartment units will range in size from 39 square metres (420 sq.ft.) to 172 square metres (1,851 sq.ft.), and are comprised of the following unit types:
 - 70 studio units;
 - 176 one-bedroom units;
 - 116 two-bedroom units; and
 - 10 three-bedroom units.

Indoor and Outdoor Amenity Space

- On November 18, 2019, Council approved Corporate Report No. R206; 2019, Updates to Indoor and Outdoor Amenity Space Requirements. Based upon the City's Zoning By-law requirement of 3.0 square metres/32 sq.ft. per dwelling unit for amenity space for 1,126 dwelling units, 3,378 square metres (36,360 sq. ft.) of indoor amenity space and 3,378 square metres (36,360 sq. ft.) of outdoor amenity space are required.
- In accordance with the recent update, there are minimum requirements for indoor amenity space that must be provided on site (i.e. no cash-in-lieu). Based on the minimum requirement for the building types proposed, 1,376 square metres (14,811 sq.ft.) of on-site indoor amenity space is required.
- The proposed development includes 3,146 square metres (33,863 sq.ft.) of indoor amenity located throughout the development. Cash-in-lieu (\$1,500 per unit deficiency) will be required for the balance of required indoor amenity space.
- The proposed indoor amenity space is located throughout the development and will include the following:
 - Three different themed amenity areas are proposed at the base of three of the residential towers (Tower B, D and F), including a games and screening room, a co-working space and a lounge area.
 - A ground level gymnasium in Mansion Block C with a portion carved out below grade that incorporates a basketball/sports court with amphitheater seating.
 - A 330 square metre (3,552 sq.ft.) sky bar located on the 38th floor of Tower F will function as a lounge with kitchenette, seating and television.
 - A second floor amenity area proposed in each market rental residential building consisting of multi-purpose/lounge space. The smaller amenity area in Block A will function as a meeting and gathering space with soft seating and the larger amenity room in Block E will include a lounge with kitchenette, seating and television
- The proposed outdoor amenity space is located throughout the development and focusses on "the passages" theme with publicly accessibly open spaces comprised of four landscaped amenity piazzas animated with community agricultural gardens, an urban square with seating and gathering spaces.
- Features of the piazzas include young children's play area, a great lawn for event and performance space (for both active and passive use), yoga and exercise zone, community harvest table and outdoor barbeque and games table as a space to encourage the public and residents to interact and socialize.
- A rooftop terrace is proposed on the 38th floor of Tower F and will be directly accessible from the sky bar indoor amenity space.
- There will also be a terrace directly accessible from the indoor amenity lounge area located on the second floor of Block E.

- An 822-square metre (8,848-sq.ft.) outdoor private courtyard is proposed for residents of the development and located centrally within Mansion Block C.
- Semi-private outdoor amenity space with outdoor tables and chairs are also provided alongside the neighbourhood piazza and café.
- The proposed 3,354 square metres (36,102 sq.ft.) of outdoor amenity space is slightly lower than the 3,378 square metres (36,360 sq. ft.) of outdoor amenity space are requirement. The applicant has agreed to provide cash-in-lieu compensation for the balance of required outdoor amenity space in accordance with City policy.

Commercial Component

- In Block A, fronting the new green lane along the north, 395 square metres (4,252 sq.ft) of commercial space will accommodate a two-storey purpose-built daycare and associated outdoor play space on the second floor.
- On the southern side of Block A, a 393 square metre (4,230 sq.ft.) ground floor café is proposed with outdoor patio seating alongside the central piazza.
- On the western portion of the site, fronting Whalley Boulevard, the applicant is proposing 894 square metres (9,623 sq.ft.) of commercial space on the ground floor of Tower D and Block E, with additional commercial space wrapping around the entire ground floor of Block E to compliment the central piazza.
- The commercial ground level space fronting Whalley Boulevard is defined by double height retail units and provides a good transition into the site from the commercial area along King George Boulevard to the west.

Proposed CD By-law

- In order to accommodate the proposed density and other aspects of the project, the applicant has applied to rezone the site to a CD Zone, based on the RM-135 Zone for the residential component and the C-8 Zone for the commercial component.
- The table below shows a comparison between the proposed CD Zone and the RM-135 and C-8 Zones:

	RM-135 and C-8 Zones	Proposed CD By-law
Land Use	<p>The RM-135 Zone permits multiple unit residential buildings and ground-oriented multiple residential buildings.</p> <p>The C-8 Zone permits commercial uses including:</p> <ul style="list-style-type: none"> • Retail stores; • Personal service uses; 	<p>Residential will comply with the RM-135 Zone.</p> <p>Commercial uses will include the following:</p> <p>Block A</p>

	RM-135 and C-8 Zones	Proposed CD By-law
	<ul style="list-style-type: none"> • General service uses; • Beverage container return centres; • Eating establishments; • Neighbourhood pubs; • Liquor stores; • Office uses; • Parking facilities; • Automotive service uses; • Indoor recreational facilities; • Entertainment uses; • Assembly Halls; • Community services; • Child care facilities; and • One dwelling unit. 	<ul style="list-style-type: none"> ○ Eating establishments; ○ Child care facilities; and ○ uses listed below for Block B and C up to a maximum of 120 m² (1,292 sq.ft.) in combined gross floor area. <p>Block B and C</p> <ul style="list-style-type: none"> ○ Retail stores; ○ Personal service uses; ○ General service uses; ○ Eating establishments; ○ Neighbourhood pubs; ○ Liquor stores; ○ Office uses; ○ Indoor recreational facilities; ○ Community services; and ○ Child care facilities.
FAR (Net Density)	2.5	<p>Overall net site density: 6.0</p> <p>Block A: 5.6</p> <p>Block B: 4.8</p> <p>Block C: 7.8</p>
Lot Coverage	33%	40%

	RM-135 and C-8 Zones	Proposed CD By-law
Building Setbacks	50% of the height of the building from all lot lines	<p>Block A</p> <p>North: 4.5 metres (15 ft.) South: 0 metre (0 ft.) West: 0.5 metres (1.6 ft.) 137A St: 4.5 metres (15 ft.)</p> <p>Block B</p> <p>North: 3.5 metre (11.5 ft.) South: 4.5 metre (15 ft.) Whalley Blvd: 4.5 metres (15 ft.) 137A St: 4.5 metres (15 ft.)</p> <p>Block C</p> <p>North: 4.5 metre (15 ft.) South: 1.0 metre (3.3 ft.) Whalley Blvd: 4.5 metres (15 ft.) East: 4.0 metres (13 ft.)</p>
Building Height	Not Applicable	120 metres
Parking Location	No parking facilities within 2.0 metres (6.6 ft.) of the front lot line	Underground parking may extend to all lot lines
Balconies	Balconies are required for all dwelling units which are not ground oriented and shall be a minimum of 5% of the dwelling unit size or 4.6 square metres (50 sq.ft.), whichever is greater	Balconies are required for all dwelling units which are not ground oriented and shall be a minimum of 5% of the dwelling unit size or 4.6 square metres (50 sq.ft.), whichever is greater.

- The proposed CD By-law will incorporate similar uses as the RM-135 Zone for the residential component and the C-8 Zone for the commercial component, with some restrictions.
- The proposed net floor area ratio (FAR) of the overall development will be 6.0, and the lot coverage is proposed to be 40%, which will exceed the maximum 2.5 FAR and 33% lot coverage permitted under the RM-135 Zone. However, the proposed density complies with the proposed Mixed Use 5.5 FAR designation in the Surrey City Centre Plan and the proposed lot coverage is consistent with other high-rise development in the City Centre.
- The CD by-law includes a maximum net density for each phase in order to reflect the ultimate proposed subdivision of the site.
- The RM-135 Zone requires the setbacks to be 7.5 metres (25 ft.) or a minimum of 50% of the building height, whichever is greater. The applicant is proposing reductions for all setbacks in the CD By-law, as indicated in the table above. The reduction in street fronting building setbacks is supportable as they allow for more active engagement of the streets, which is consistent with the City Centre Plan objectives and design guidelines. The remaining setbacks are to accommodate internal setbacks and ultimate subdivision lot lines.

Vehicle Circulation, Access and Parking

- Parking for The Passages development is proposed to be located in a four-level underground parkade that spans the entire subject site. Access to the underground parkade is proposed from two entrances into the inter-connected underground parking levels, one from 101 Avenue and one from the enhanced green lane along the north property line to be constructed as part of the proposed development.
- Proposed parking, loading and services for each building will be completely enclosed within the underground parkade, providing an opportunity to activate the street level with small retail uses, piazzas and street-oriented ground floor residential.
- A volumetric statutory right-of-way for public rights-of-passage will be registered over the open space/piazzas within the site to allow for publicly accessible open space as well as pedestrian circulation into and throughout the site.
- The amount of proposed development includes a total of 956 parking spaces, consisting of 812 resident parking spaces, 94 parking spaces for visitors, 31 parking spaces for the ground floor commercial uses and 13 parking spaces for the daycare.
- The proposed residential parking spaces represents a 20% reduction which is permitted in the Zoning Bylaw. Residential spaces may be reduced up to 10% of the minimum required within City Centre when \$20,000 is paid for each parking space shortfall. As such, the applicant is proposing a financial contribution in accordance with the Off-Street Parking Reserve Fund By-law and/or the Alternative Transportation Infrastructure Reserve Fund By-law.
- To account for the additional 10% reduction, the applicant will enter into an agreement with MODO to provide 6 on-site parking spaces as well as a financial contribution to purchase 6 EV shared vehicles that will be accessible to all MODO members 7 days a week, 24 hours a day. Additional transportation demand measures (TDM) such as enhanced bicycle facilities may be provided to address this additional 10% residential parking reduction as permitted in the Zoning Bylaw.
- Engineering staff has reviewed the proposed parking space reduction and found it to be acceptable with the parking shortfall mitigation measures proposed by the applicant.
- A total of 26 accessible parking spaces are provided for persons with disabilities, exceeding the requirements within the Surrey Zoning By-law.
- To maximize the amount of parking, the underground parkade will be permitted to be sited 0.0 metre (0.0 ft.) from all lot lines.
- In addition, the proposed development includes a total of 2,024 residential and commercial bicycle parking spaces, meeting the requirements within the Surrey Zoning By-law.

Transportation Impact Study

- Based on 1,126 apartment dwelling units and 1,683 square metres (18,116 sq.ft.) of commercial space, the proposed development is anticipated to generate 289 morning peak hour vehicular trips, and 303 afternoon peak hour vehicular trips in accordance with the Institute of Transportation Engineering Trip Generation Manual, 10th Edition (Dense/Multi-Use Urban category).
- The applicant provided a Transportation Impact Study to illustrate the vehicular impact the proposed ultimate development will have on the surrounding road network.
- Based on review of the Transportation Impact Study, staff is requiring a signalized intersection at 101 Avenue and Whalley Boulevard to be provided by the developer.

Road Dedication

- The proposal has the following road dedication and construction requirements:
 - Dedicate 5.942 metres along Whalley Boulevard for the ultimate 32.0 metre arterial road standard; and
 - Dedicate 5.904 metres for a Green Lane along the north property line for a total ultimate dedication of 12 metres.

Public Art Policy

- The applicant will be required to provide public art or register a Restrictive Covenant to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements, as it applies to the market residential component of the development. The applicant must resolve this requirement prior to consideration of Final Adoption.

Affordable Housing Strategy

- On April 9, 2018 Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Restrictive Covenant to adequately address the City's needs with respect to the City's Affordable Housing Strategy prior to any Building Permit Issuance.
- The proposed market rental residential units will not be included in the contribution calculation.

City Policy O-61(Rental Housing Redevelopment: Rental Replacement and Tenant Relocation Assistance)

- On April 9, 2018, Council approved Corporate Report No. Ro66; 2018 which outlined City Policy O-61 - Rental Housing Redevelopment: Rental Replacement and Tenant Relocation Assistance Policy as part of Surrey's Affordable Housing Strategy: A Focus on Rental Housing.
- The Surrey Affordable Housing Strategy includes specific strategies to prevent the loss of purpose-built rental housing and strengthen protection for tenants. The Rental Housing Redevelopment Policy (City Policy O-61) sets out requirements for redevelopment of purpose-built rental housing and provision of assistance to tenants when redevelopment occurs.
- The following illustrates the rental replacement requirements and the applicant's response (Staff's comments in italics):
 - Redevelopment of a purpose-built rental site requires replacement of the existing rental units within the new development.
 - There are currently 154 rental units with 221 bedrooms in the existing Fraserview Court apartment complex. The applicant is proposing to replace all 154 units in two, 13-storey, purpose-built market rental buildings. Although more expensive, the applicant is proposing concrete construction as it provides more durable buildings with a significantly longer lifecycle than wood frame construction.

(The applicant is proposing 172 market rental units, exceeding the 154 rental units required to replace the number of existing rental units. The applicant is proposing an additional 18 market rental units.)
 - Replacement of purpose-built rental units shall include, at a minimum, the same number of total bedrooms as in the original development.
 - A total of 247 bedrooms will be provided (26 bedrooms above the minimum of 221 bedrooms).

(The applicant is proposing 247 bedrooms exceeding the requirement to replace existing 221 bedrooms.)
 - Replacement units are required to be 'affordable rental' for low to moderate income households, rented at a maximum of 10% below current Canadian Market and Housing Corporation (CMHC) average rents for the applicable unit size in the City of Surrey. Current average rental rates for Surrey are provided in CMHC's Rental Market Report: Vancouver CMA, which is released annually in the fall.

- The applicant is proposing to replace the 154 aging wood frame rental units at 10138 Whalley Boulevard with new, durable concrete market rental units incorporated into a comprehensive master plan. However, the policy recommendation to provide new replacement units at 10% below CMHC rental rates represents an undue burden on this new development in the absence of significant government subsidy or density increase over what is currently proposed. The applicant has analyzed the impact these rental rates would have on the proposal and concluded the rental buildings are not feasible with providing the rental replacement units at 10% below CMHC rates. This project meeting the policy requirements would need to be built and operated at a loss.
- To mitigate the challenges in providing rental housing in an environment of escalating construction costs, the applicant is in discussion with BC Housing with the goal of partnering under the Housing Hub program. The Housing Hub program is designed to facilitate the creation of new rental housing and homeownership options for middle-income British Columbians through partnerships.
- Discussions with BC Housing are ongoing and the nature and feasibility of the financing relationship with BC Housing will not be determined until closer to construction, as per the BC Housing Hub program process. The applicant will continue to provide updates to BC Housing as the project approvals progress and will keep City staff informed as partnership discussions progress.

(Staff requested the applicant determine what density would be required in order to provide all or a percentage of the proposed market rental units at the 10% below CMHC rental rates. The applicant opted to proceed as proposed and not consider additional density and height options beyond the current proposal.)

- Affordable rental replacement rental units shall be secured as rental with a Housing Agreement. In addition to tenure, the Housing Agreement shall specifically target households (low to moderate income households, with reference to BC Housing's Housing Income Limits), rental rates, and administration and management of the units, and the requirement of annual reporting to the City on the operations of the affordable rental replacement units.
 - All 172 proposed rental units will be secured with a Housing Agreement. However, the rental homes will be provided at market rental rates.

(see Appendix XI - proposed Housing Agreement)

- The affordable rental replacement units must be managed by a non-profit organization or a nonprofit / social enterprise property management firm as approved by the City.
 - The management of market rate rental homes falls outside the typical area of specialization of non-profit property management firms. The applicant intends to hire an experienced property management firm that specializes in market rental buildings.

- Replacement rental units shall be located on the same development site as the original units. In special cases, replacement units off-site may be considered, at a location in the same neighbourhood.
 - All replacement market rental homes are proposed to be located on the same development site as the original units at 10138 Whalley Boulevard.
- A proposal acceptable to the City shall be provided by the Proponent with the development application. The proposal shall outline how the Proponent's application meets the rental replacement requirements of the Policy.
 - The applicant submitted their Tenant Assistance Program along with the rezoning application on August 2, 2018 and subsequently updated the program as the development proposal progressed.

(See Appendix X - Tenant Assistance and Relocation Program.)

- In accordance with Policy O-61, the applicant has taken the following actions:
 - Provided a Current Occupancy Summary that includes number of units, unit size and bedroom type, rental rates for each unit, vacancy and occupancy rates, demographic profiles and length of tenancy;
 - Provided a Communications Plan illustrating when and how residents are notified of the application process and opportunities for input.
 - Provided City staff with a copy of all written correspondence and notification to tenants;
 - Appointed a Tenant Relocation Coordinator to facilitate communications with the tenants throughout the development proposal process; and
 - Provided a Tenant Relocation and Assistance Plan (Appendix X) that outlines financial compensation, relocation assistance and right of first refusal.
- The applicant has adhered to most of the requirements in City Policy O-61, including providing a Tenant Relocation and Assistance Plan for the existing residents. However, staff requested the applicant determine what density would be required in order to provide all or a percentage of the proposed market rental units at the 10% below CMHC rental rates. The applicant declined and maintains the project is not viable with providing the rental units at 10% below CMHC rental rates.
- The proposal is deemed to partially comply with City Policy O-61 and therefore staff are supportive of the proposal proceeding to a Public Hearing.

DESIGN PROPOSAL AND REVIEW

Building Design

- The three-phase mixed-use proposal includes three high-rise residential towers (23-storey, 32-storey and 39-storey), two 13-storey mid-rise market rental residential towers, one 6-storey apartment building and ground-level retail/commercial space including a café and daycare.
- The proposed cluster of buildings departs from the traditional podium model and sculpts the building forms to provide a dynamic urban quarter activated by publicly accessible open space, community space and ground floor commercial.
- Tower, Point and Courtyard Blocks are proposed at varying heights which increase from east to west with lower height near the future park to the northeast and lower density residential to the east and increased height and mass along Whalley Boulevard. Together they offer a variety of building typologies and scale.
- Roofs are profiled to provide individual interest and direction while contributing to the unique character of the buildings.
- The towers (Tower B, D and F) are proposed in a flatiron building form with symmetrical stacks combining single and double storey units, allowing for larger family units as well as variation across the building façades. The resulting tower design is made slender by the directional prow while on the ground, the building shapes navigate pedestrians throughout the site.
- The mansion block (Mansion Block C) is a modern interpretation of the traditional British mansion block typology merged with the ground floor townhouse concept. The mansion block acts as a shoulder block in the southeast corner of the site and offers an urban street wall along 137A Street and 101 Avenue. Two-storey, street-oriented ground floor townhouse units are proposed along 137A Street.
- Coupled with the two-storey, street-oriented ground floor townhouse units on the 137A Street elevation of Tower B, the townhouse units with individual entries and low-level planting, actively engage with the street, providing a strong urban edge and street wall.
- The point blocks (Block A and E) are a more compact building shape with units clustered around a central core. These mid-rise buildings complement the angles of the towers and complete the corners of the development block. The floor plan is articulated with recessed balconies to corners and centre of facades allowing for variation and depth to materiality of the building. The two, 13-storey point block buildings are proposed to accommodate all 174 market rental units.
- The commercial component fronting Whalley Boulevard is located on the ground floor of Tower D and Block E and will be defined by double height glazed facades. A glass canopy extends along the extent of commercial activities allowing for weather protection.

- The two-storey daycare space and ground floor café are located at the base of Block A. Both commercial spaces are designed to activate the surrounding external public piazza space with clearly defined entrances, generously glazed facades and spill-out terraces at both the first and second floors.
- Stone, brick blend masonry is proposed as exterior materials for mansion block C and the two, 13-storey point block buildings Block A and E.
- Full storey aluminum shingles, interspersed by fenestration and balcony openings are proposed for the tower's facades. The towers, differing in height, are proposed in different colours of dark tones of grey, green and blue in contrast to the more neutral tones of the masonry facades of the lower buildings.

Landscaping

- The landscape design is centered around the interaction between public and private space embracing the idea that permeable landscape encourages activity and living in an informal and organic manner that is safe and well used.
- The perimeter and courtyard landscapes are structured as open, barrier-free spaces that the public and residents can share and enjoy. A series of four distinct piazzas, City Piazza, Park Piazza, Central Piazza and neighbourhood Piazza, are linked by narrow urban groves between buildings and enriched streetscape edges that will define activity, open space character and sense of place.
- Passive seating areas, vegetation and tree canopy, community gardens, orchard, storm water runnel, terraced seating and a rock outcrop in the Central piazza define the centre of the neighbourhood. A café patio, children's play area, great lawn/event/performance space, yoga/exercise area, community harvest table and outdoor barbeque, games table and co-working patio are proposed throughout the publicly accessible open space.
- The landscape design aims to ground the vertical building structures through the use of hardscape treatments evocative of naturally occurring rock outcrop and stone. The landscape design reflects a West Coast spirit with an interface that encourages free meandering and spontaneous gathering.

ADVISORY DESIGN PANEL

ADP Date: May 23, 2019

The applicant has resolved all of the outstanding items from the ADP review to the satisfaction of the Planning and Development Department (see Appendix VII).

PRE-NOTIFICATION

Pre-notification letters were mailed out on March 29, 2019 to a total of 436 addresses. The development sign was installed on February 25, 2019. Staff received written responses from six residents within the pre-notification area expressing opposition and outlining similar concerns and five written requests for general information pertaining to the proposal.

- General information pertaining to the proposed development was requested by six individuals.

(Staff explained, the different aspects of the proposal, including the rezoning, uses and built form.

If approved, the existing 154 rental units on-site will be removed and replaced within the proposed development at market rental rates.)

- The comments provided by residents in response to the prenotification are summarized below (*staff comments in italics*):
- Loss of affordable rental stock: The proposed development proposes to replace the existing affordable rental units with market rental units wherein the rents will be considerably higher than existing rents at Fraserview Courts.

(The applicant is proposing to replace the 154 wood frame rental units at 10138 Whalley Boulevard with new, concrete market rental units incorporated into a comprehensive master planned development.

The applicant has indicated the policy to provide all new replacement units at 10% below CMHC rental rates represents an undue burden on this development in the absence of significant government subsidy or density increase over what is currently proposed. The applicant has analyzed the impact these rental rates would have on the proposal and concluded the rental buildings are not feasible at 10% below CMHC rates. This project meeting the policy requirements would need to be built and operated at a loss.

Staff requested the applicant determine what density would be required in order to provide all or a percentage of the proposed market rental units at the 10% below CMHC rental rates. The applicant opted to proceed as proposed and not consider additional density and height options beyond the current proposal.)

- Staff are supportive of the proposal proceeding to a Public Hearing.
- Displacement of existing tenants: Concern the development proposal will displace low-income and new immigrant families, individuals with disabilities and seniors which could result in negative impacts in terms of quality of life and/or increased homelessness. The existing residents have expressed interest in affordable housing options for low-income households to be provided within the proposed development.

(In partial accordance with the rental replacement requirements of Surrey's City Policy No. O-61, the applicant is proposing to replace all 154 existing rental units by providing 172 new market rental units in two 13-storey, concrete, purpose-built rental buildings within the proposed development.

However, the units will be provided at market rental rates instead of the Policy No. O-61 prescribed affordable rental rates for low to moderate income households described as a maximum of 10% below current Canadian Market and Housing Corporations (CMHC) average rents.

The applicant has provided a Tenant Assistance and Relocation Program as required under City Policy No. O-61, in order to offer a relocation strategy for the existing tenants on the subject site (see Appendix X). The applicant's assistance and proposed relocation efforts for the existing residents meets some of the requirements of Surrey's City Policy No. O-61.)

- **Loss of affordable rental units and displacement from their community:** Current tenants are concerned with being displaced from their existing community and supports, not owning a vehicle and having easy access to transit as well as their neighbours to support each other.

(The applicant has provided a Tenant Assistance and Relocation Program as required under City Policy No. O-61, in order to offer a relocation strategy for the existing tenants on the subject site (see Appendix X). Relocation assistance is to include finding a minimum of three comparable units within the City of Surrey with at least one option in the same neighbourhood where possible.

The applicant's Tenant Relocation Coordinator is in the process of undertaking a complete survey of both the Surrey City Centre neighbourhood and broader area to identify all available rental buildings with units renting at no more than 10% above CMHC average rent for the applicable unit size in Surrey. Once the survey is complete, the Coordinator will contact all building managers of the identified rental buildings, establish connections and ensure she is made aware of all current vacancies so that tenants of 10138 Whalley Boulevard requiring relocation assistance are informed.

All tenants who have indicated they want relocation assistance will be provided with at least three rental options and will be provided with all applicable rental options once the Four Month Notice to End Tenancy is given (under the Residential Tenancy Act.)

- **Building in disrepair:** A current tenant has expressed concern with the existing building falling into disrepair.

(A response from the applicant's Asset management group was provided in response to the concerns. Rize took ownership in January 2018 and explained it is not their intention to neglect the buildings or the tenants during the development process. The live-in maintenance staff are dedicated and complete any needed repairs as soon as possible.

Rize have two full time maintenance people who live at the property and repairs are completed in a timely manner. The repair and maintenance costs from 2018 were significantly higher than the previous landlord. There has been two full time maintenance people with the building for over five years and a resident manager is on-site every day to answer all calls and deal with tenant's inquiries.)

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

DISTRICT ENERGY

- The subject site is located within Service Area A, as defined in the "City Centre District Energy System By-law" (see Appendix VI for location). The District Energy System consists of three primary components:
 - community energy centres, City-operated facilities that generate thermal energy for distribution through a piped hot water network;
 - distribution piping that links the community energy centres with buildings connected to the system; and
 - City-owned energy transfer stations (ETS) located within the building connected to the system. The ETS transfers heat energy from the distribution system to the building's mechanical system and is used to meter the amount of energy used.
- All new developments within Service Area A with a build-out density equal to or greater than a floor area ratio (FAR) of 1.0 will be required to provide hydronic thermal energy systems in support of the City's District Energy (DE) system including domestic hot water, make-up air units and in-suite hydronic space heating. The City is committed to having the DE system operational within the timeframe of this project. Therefore, the subject application will be required to connect to the City's DE system prior to occupancy.

- In order to avoid conflicts between the District Energy System and other utilities, the location of the ETS and related service connections will be reviewed by Engineering and the applicant at the servicing agreement. Prior to the issuance of the Building Permit, the Engineering Department will require the applicant to register a statutory right-of-way and Section 219 Restrictive Covenant over the subject site for the following purposes:
 - City access to, and maintenance and operation of, the ETS within the building and any infrastructure between the building and the property line; and
 - to prevent conflicts with other utilities.
- Prior to the issuance of a building permit, the Engineering Department will confirm that the applicant has met the requirements of the "City Centre District Energy System By-law".

TREES

- Stuart Goode, ISA Certified Arborist of Goode Arboriculture Consulting prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Plum	1	1	0
Coniferous Trees			
Austrian Pine	39	39	0
Total (excluding Alder and Cottonwood Trees)	40	40	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		195	
Total Retained and Replacement Trees		195	
Contribution to the Green City Fund		n/a	

- The Arborist Assessment states that there is a total of 40 mature trees on the site. It was determined that no trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication, proposed lot grading and underground parking.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 80 replacement trees on the site. The applicant is proposing 195 replacement trees, exceeding City requirements.

- The new trees on the site will consist of a variety of trees including Autumn Blaze Maple, Worplesdon Sweetgum, Redspire Flowering Pear and Columnar English Oak.
- In summary, a total of 195 trees are proposed to be replaced on the site.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on August 2, 2018. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The proposed development is located within the City Centre area and is within 500 metres of both the Surrey Central and King George SkyTrain Stations.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed development will incorporate a range of residential, market rental residential, commercial/retail and daycare uses. • The proposed development incorporates a mix of housing types as well as landscaped piazzas for community use and community gardens.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The proposed development will incorporate Low Impact Development Standards (LIDS) in its design. • The proposed development will contain provisions for recycling and space will be available for future strata if they would like to deal with organic waste. • Natural landscaping is incorporated into the proposed development.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • The development provides or is connected to pedestrian and cycling oriented infrastructure, such as: <ul style="list-style-type: none"> ○ Connection to off-site pedestrian and multi-use paths; ○ Proximity to SkyTrain and transit stops; ○ Bike lockers. • The development will also provide Electric Vehicle charging stations
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The proposed development incorporates CPTED principles, including providing "eyes on the street" and good sight lines throughout. • The project provides for indoor and outdoor spaces for residential, commercial occupants and the community. • A purpose-built daycare is proposed.
6. Green Certification (F1)	<ul style="list-style-type: none"> • The project does not meet any green certification standards.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • The typical notification to area residents has occurred (i.e. development proposal sign and pre-notification letter).

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Project Data Sheets
Appendix II.	Survey Plan, Proposed Subdivision Layout, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	District Energy Service Area Map
Appendix VII.	ADP Comments and Applicant's Responses
Appendix VIII.	City Centre Plan Proposed Amendment
Appendix IX.	Amended OCP Figure 16
Appendix X.	Tenant Assistance and Relocation Program
Appendix XI.	Proposed Housing Agreement
Appendix XII.	Proposed CD By-law

approved by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

JLM/cm

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on RM-135 and C-8)

Required Development Data	Minimum Required / Maximum Allowed	Proposed		
LOT AREA* (in square metres)				
Gross Total		16,466 m ²		
Road Widening area		1,532 m ²		
Undevelopable area				
Net Total		14,934 m ²		
LOT COVERAGE (in % of net lot area)				
Buildings & Structures				
Paved & Hard Surfaced Areas				
Total Site Coverage		40%		
SETBACKS (in metres)		Blocks		
		A	B	C
North		4.5	3.5	4.5
South		0	4.5	1.0
East		0.5	4.5	4.5
West		4.5	4.5	4.0
BUILDING HEIGHT (in metres/storeys)				
Principal		120 m		
Accessory		4.5 m		
NUMBER OF RESIDENTIAL UNITS				
Bachelor		168		
One Bed		532		
Two Bedroom		372		
Three Bedroom +		54		
Total		1,126		
FLOOR AREA: Residential		69,680 m ²		
FLOOR AREA: Commercial		1,683 m ²		
Retail				
Office				
Total				
FLOOR AREA: Industrial				
FLOOR AREA: Institutional				
TOTAL BUILDING FLOOR AREA		87,205 m ²		

*If the development site consists of more than one lot, lot dimensions pertain to the entire site.

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)	6.6	5.30
FAR (net)	6.0	6.0
AMENITY SPACE (area in square metres)		
Indoor	3,378 m ²	3,146 m ²
Outdoor	3,378 m ²	3,354 m ²
PARKING (number of stalls)		
Commercial	31	31
Daycare	13	13
Residential (20% reduction)	811	812
Modo car share spaces		6
Residential Visitors	90	94
Institutional		
Total Number of Parking Spaces		956
Number of accessible stalls	12	26
Number of small cars	331	305
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW NO. _____ OF LOT 72 SECTION 26 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT PLAN 39808

CITY OF SURREY BCGS 92G.016

SCALE 1:1000



ALL DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 432 mm IN WIDTH BY 280 mm IN HEIGHT (B SIZE) WHEN PLOTTED AT A SCALE OF 1:1000

THIS PLAN LIES WITHIN INTEGRATED SURVEY AREA NO. 1, SURREY, BC, NAD83 (CSRS) 4.0.0.BC.1.GVRD.

THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT – CITY OF SURREY

BOOK OF REFERENCE

DESCRIPTION	AREA
BLOCK A	4562m ²
BLOCK B	6627 m ²
BLOCK C	5278 m ²
TOTAL ALL BLOCKS	16467 m ²



**H.Y. AND ASSOCIATES
LAND SURVEYING LTD.**

200, 9128 – 152nd STREET
SURREY, B.C.

V3R 4E7
(ph) 604-583-1616

File: 185074_BLOCK2_REV1.DWG

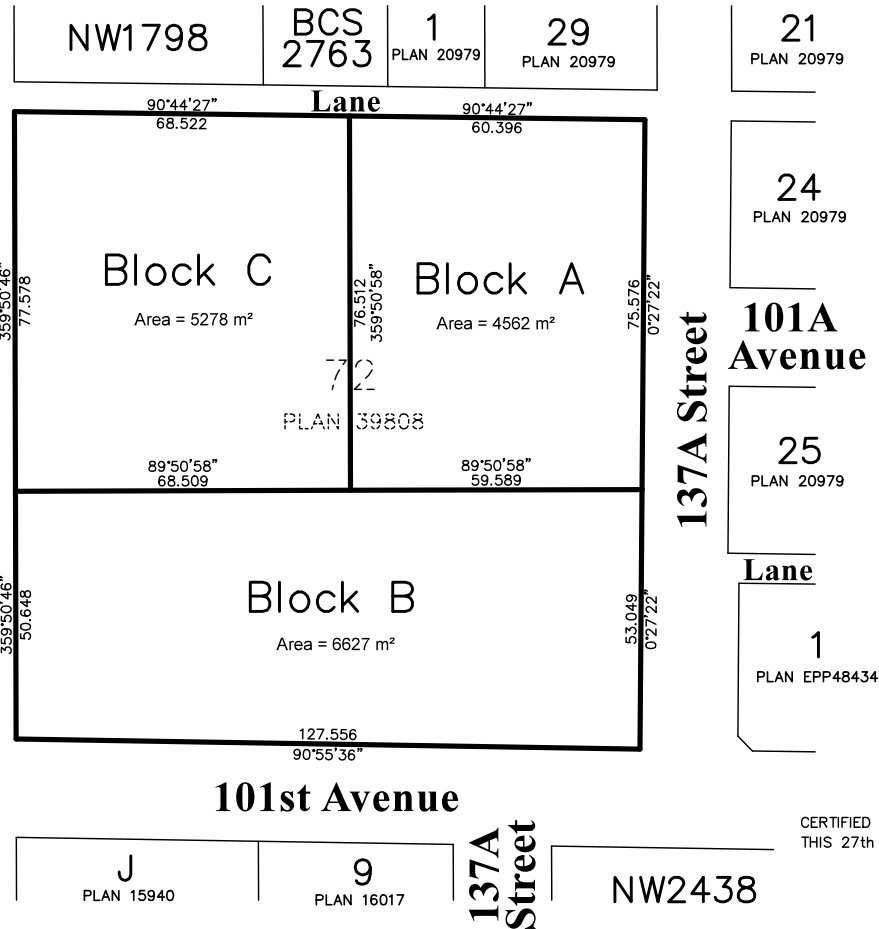
1
PLAN BCP39750

1
PLAN LMP47258

62
PLAN 34523

B
PLAN 68094

Whalley Boulevard



CERTIFIED CORRECT TO SURVEY DATED
THIS 27th DAY OF NOVEMBER, 2019

EUGENE WONG BCLS #718
THIS DOCUMENT IS NOT VALID UNLESS
ORIGINALLY SIGNED AND SEALED

**SUBDIVISION PLAN OF
LOT 72 SECTION 26 BLOCK 5 NORTH RANGE 2 WEST
NEW WESTMINSTER DISTRICT
PLAN 39808**

BCGS 92G.016

SCALE 1:500



ALL DISTANCES ARE IN METRES
THE INTENDED PLOT SIZE OF THIS PLAN IS 864 mm IN WIDTH BY
560 mm IN HEIGHT (D SIZE) WHEN PLOTTED AT A SCALE OF 1:500

THIS PLAN LIES WITHIN INTEGRATED SURVEY AREA NO. 1,
SURREY, BC, NAD83 (CSRS) 4.0,0,BC,1,0VRD.

GRID BEARINGS ARE DERIVED FROM OBSERVATIONS
BETWEEN GEODETIC CONTROL MONUMENTS 5212 AND 5539
AND ARE REFERRED TO THE CENTRAL MERIDIAN OF UTM ZONE 10
THE UTM COORDINATES AND ESTIMATED ABSOLUTE ACCURACY ACHIEVED
ARE DERIVED FROM MASCOT PUBLISHED COORDINATES AND STANDARD
DEVIATIONS FOR GEODETIC CONTROL MONUMENTS 5212 AND 5539

THIS PLAN SHOWS HORIZONTAL GROUND-LEVEL DISTANCES UNLESS
OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY
GROUND-LEVEL DISTANCES BY THE AVERAGE COMBINED FACTOR OF
0.9995913. THE AVERAGE COMBINED FACTOR HAS BEEN DETERMINED
FROM CONTROL MONUMENTS 5212 AND 5539

LEGEND

- ⊕ INDICATES CONTROL MONUMENT FOUND
- INDICATES LEAD PLUG FOUND
- INDICATES STANDARD IRON POST FOUND
- INDICATES STANDARD IRON POST PLACED
- U. INDICATES UNREGISTERED

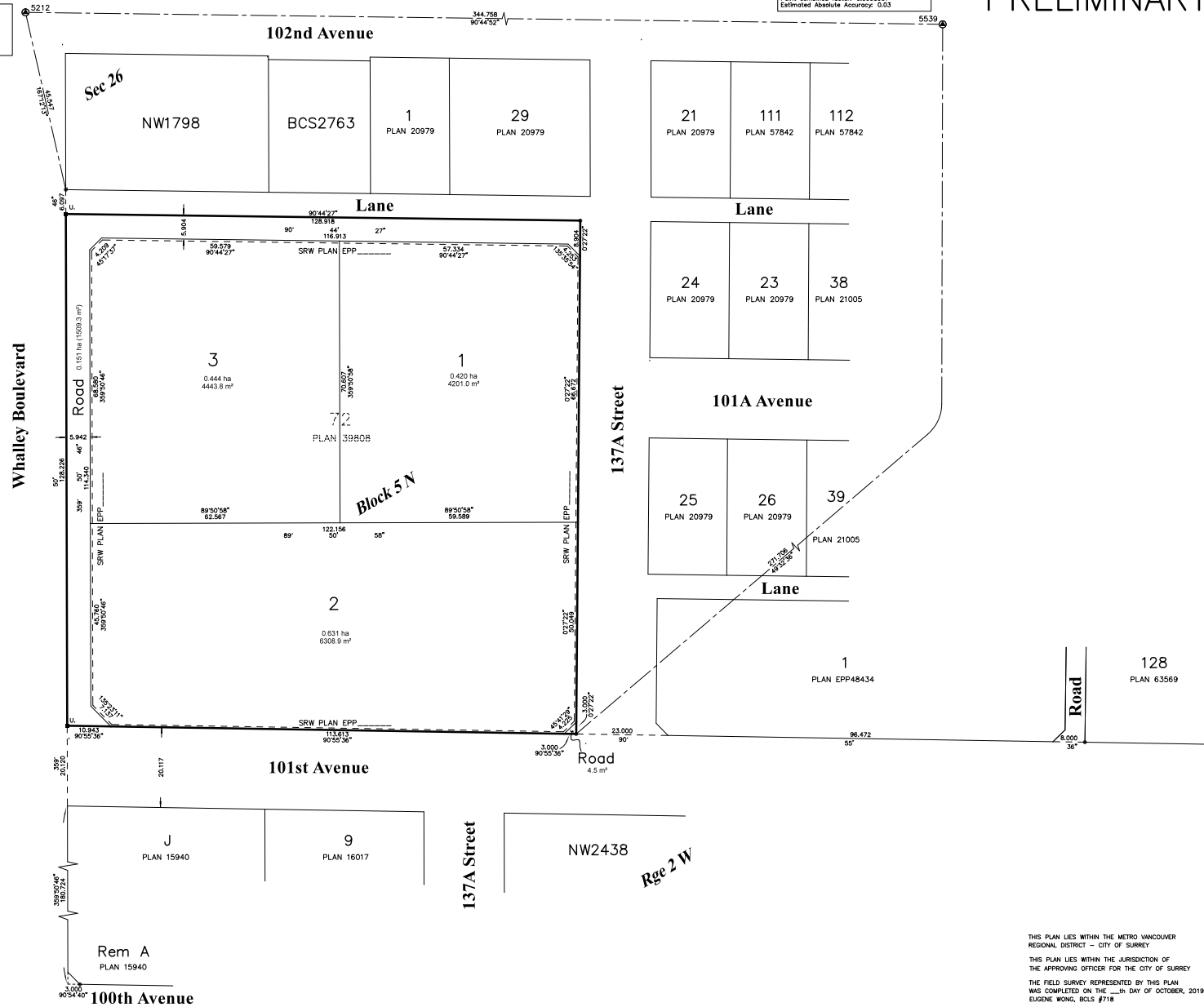
THIS PLAN SHOWS ONE OR MORE WITNESS POSTS
WHICH ARE NOT SET ON THE TRUE CORNER(S)



H.Y. AND ASSOCIATES
LAND SURVEYING LTD.
200, #128 - 152nd STREET
SURREY, B.C.
V3R 4E7
(ph) 604-583-1616
File: 185074_592.DWG

5539
UTM Zone 10 coordinates
Datum: NAD83(CSRS) 4.0,0,BC,1,0VRD.
UTM NORTHING: 5448341.578
UTM EASTING: 811951.750
Point combined factor: 0.9995901
Estimated Absolute Accuracy: 0.03

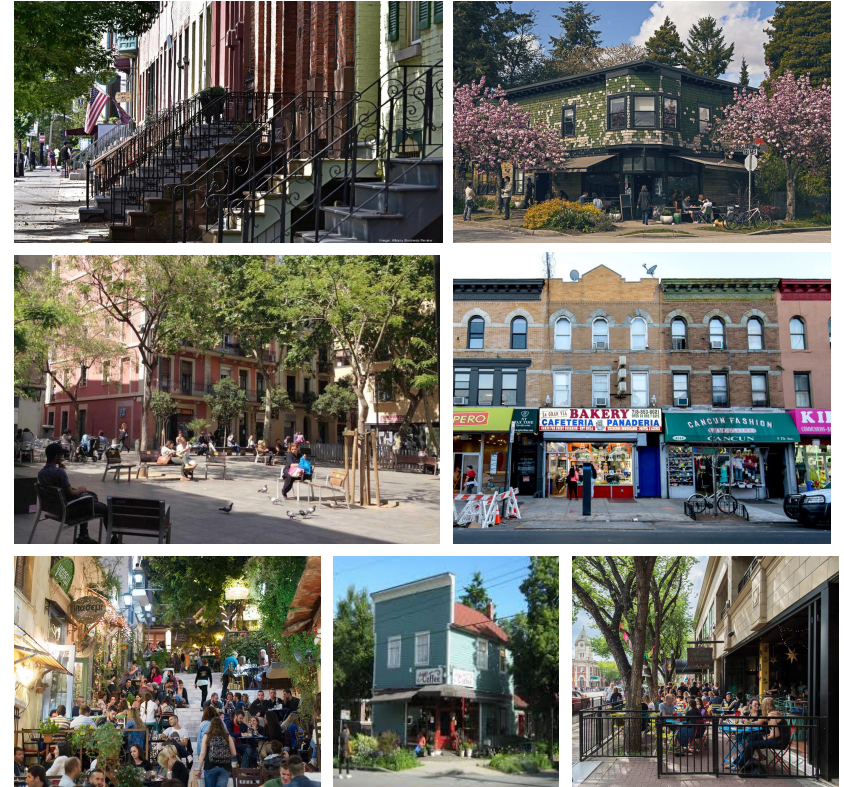
PLAN EPP
PRELIMINARY



THIS PLAN LIES WITHIN THE METRO VANCOUVER
REGIONAL DISTRICT - CITY OF SURREY
THIS PLAN LIES WITHIN THE JURISDICTION OF
THE APPROVING OFFICER FOR THE CITY OF SURREY
THE FIELD SURVEY REPRESENTED BY THIS PLAN
WAS COMPLETED ON THE ___th DAY OF OCTOBER, 2019
EUGENE WONG, BCL5 #718



Proposed Passages Scheme inserted in the existing Urban context



it is our ambition to create a neighbourhood grain created with uses which contribute to the livelihood of the ground plane and act as a catalyst to the wider city context.

Proposed Development

The submission is requesting additional height and density above that of the masterplan in order to be able to offset the high aspirations and unique opportunities for the City of Surrey that the scheme offers:

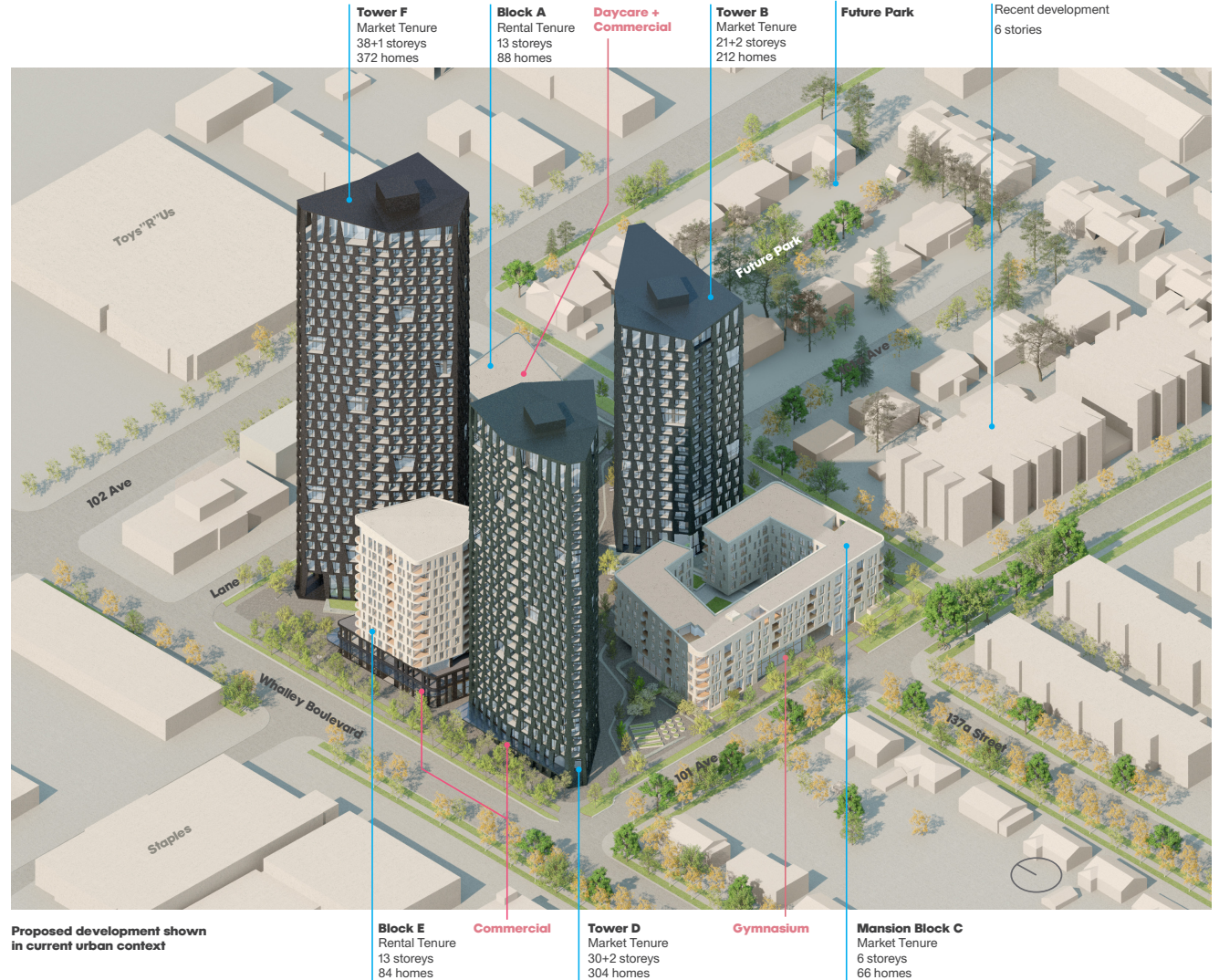
The project is characterized by porous site planning and organic massing structured to deliver a series of new public rooms to the local community.

The density permits relief at street level, allowing the project to be urban, civic and generous offering the City in return exceptional publicly accessible spaces, comprised primarily of four landscaped amenity piazzas animated with the following features:

- Extensive landscaping of high quality finishes
- A variety of small scale commercial amenities, including Daycare facilities in the first phase.
- External Play areas (includes Basketball court)
- Community Agricultural Gardens
- Urban Square, with seating and gathering spaces.
- Indoor gymnasium with potential for community use.
- Co-working areas at ground floor.



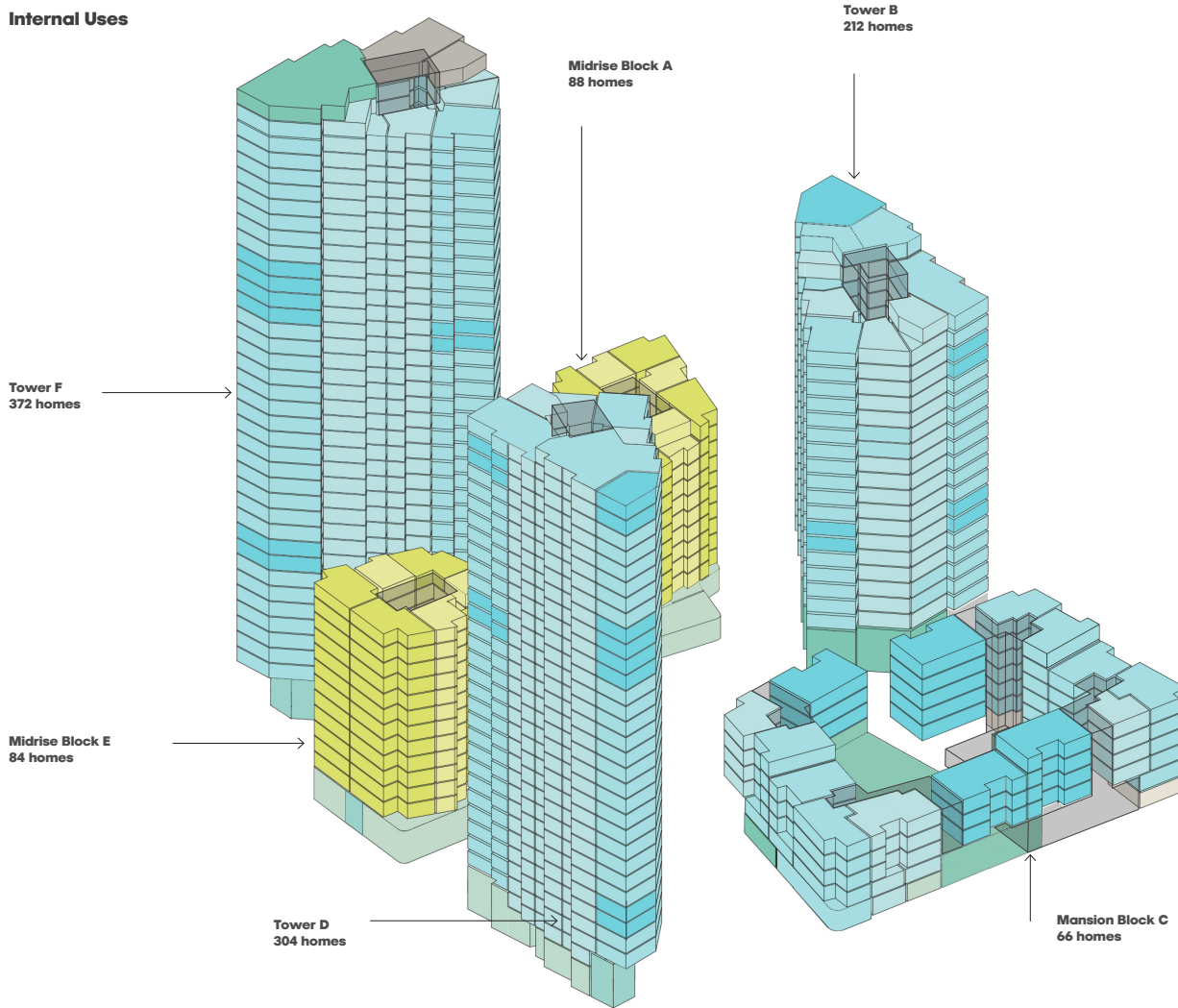
Proposed development shown in future urban context



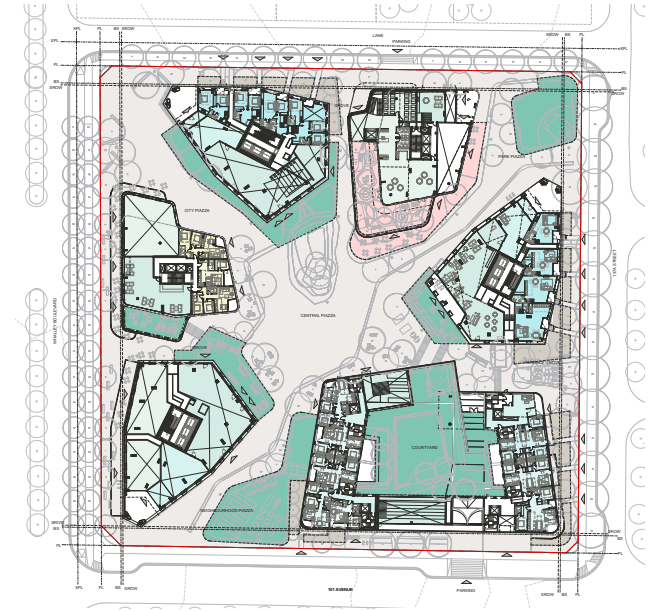
Proposed development shown in current urban context

Programme

Internal Uses



Outdoor Amenity Diagram



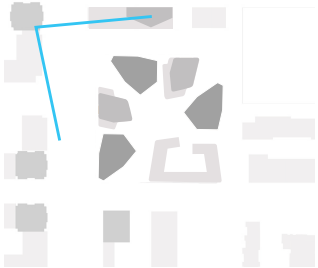
- External Amenity Key**
- Communal private and semi-private outdoor amenity
 - Residential threshold
 - Commercial semi-private outdoor

- Internal Programme Key**
- Plant
 - Lobby
 - Amenity
 - Commercial
 - Market Studio
 - Market 1B2P
 - Market 2B4P
 - Market 3B5P
 - Market Townhouse / Duplex Penthouse
 - Rental 1B2P
 - Rental 2B4P

Urban Views: Whalley Blvd

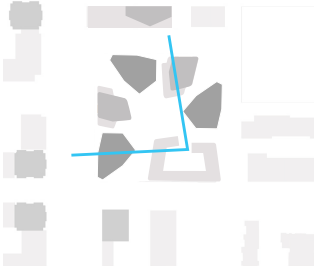
Whalley Boulevard is where the scheme addresses the City Centre and forms the gateway into the plot. The City Piazza connects looks onto the boulevard's Commercial nature and leads through to the Central Piazza beyond.

The Blocks D & E on this western edge are where the neighbourhood commercial services are concentrated, providing essential services for residents and visitors and therefore animating the frontage, increasing footfall and drawing people into the site.

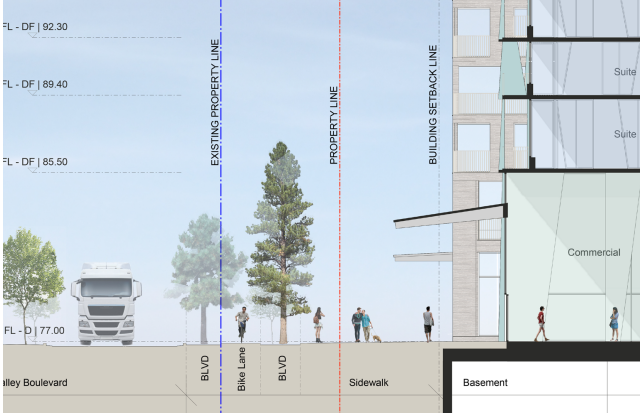


Urban Views: Central Piazza

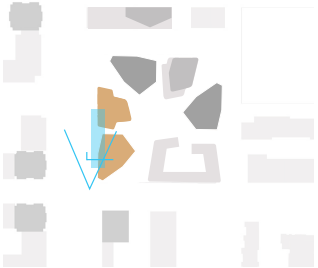
A melting pot of activities merge at the heart of the scheme, where residential buildings animate the higher levels with life and light. On the ground the more public uses contribute to the liveliness of the place, making the passages a place of encounter and fun. A meeting point for Surrey residents attracted by the commercial activities and home for those living here.



Commercial Frontage: Whalley Boulevard



Whalley Boulevard street level façades are defined by shops of double height. A glass canopy extends along the extent of commercial activities allowing for weather protection and specific architectural character.



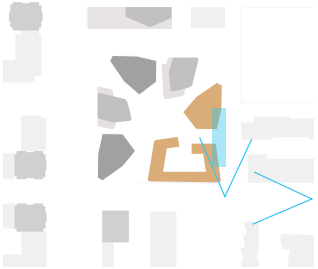
Close up view of Commercial facades along Whalley Blvd.

Townhome Frontage: 137A St/ 101Ave.



101Ave. / 137A St. corner looking west

The 5 - 6 storey mansion block acts as a shoulder block in the south east corner of the site. The recessed balconies and masonry facades define domesticity towards the more low rise residential neighbours. the ground floors are defined with homes which look onto landscaped front gardens. Tower B's street facing elevation proposes 2 storey walk-up town houses, which relate in scale and materiality to the tower form. Together these two buildings create a streetwall characterised with elements of living: Front doors, low level planting, porches, steps which offer a more intimate feel to the street in contrast to the commercial Boulevard in the West.

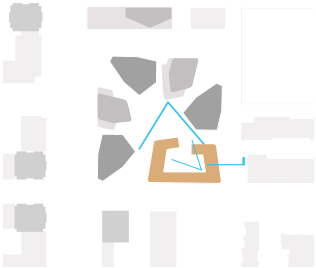


137A Street looking North

Mansion Block and Terraced Passage

The Terrace Grove takes advantage of the higher grading on the eastern edge to carve down towards the Central Piazza. The terraced landscape leads into this main space, framed by residential homes, a Mansion Block entrance lobby and amenity spaces on either side.

The playfulness of the landscaping levels also creates a raised courtyard garden within the Mansion Block, under which the car park ramp is concealed. The Gymnasium is a tall through space which defines the hard working podium of the mansion Block. The panoramic windows address north and south views, opening onto the main central piazza, which is enlivened by the activities within.



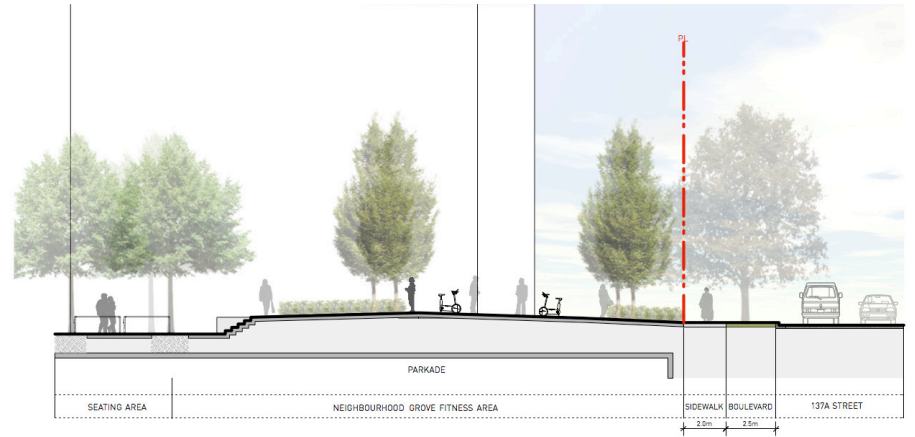
Stepped terracing define the eastern Grove



View from the Central Piazza looking right through the Sports Hall and to 101 Avenue beyond



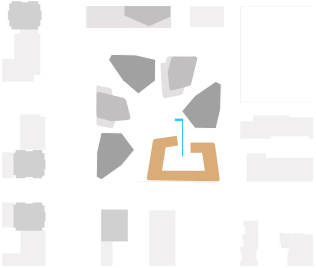
The enclosed courtyard garden for the residents



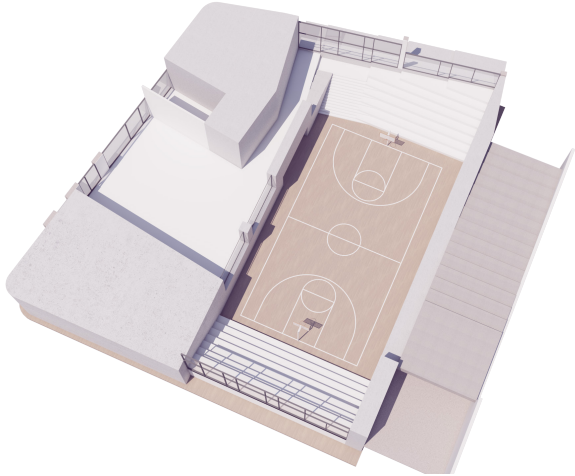
Playfulness of levels in the Terrace Grove

The Gymnasium

Throughout the scheme the integration of the architecture and landscaping allows the internal uses of the buildings to activate the public realm and vice versa. By playing with building and site levels, the Mansion Block offers a particularly special scene, carving into the ground plane and bringing the activity of the gym out into the open. Whether in the Lobby, the Cafe or at the window to Gymnasium, 'The Passages' creates places for people to cross paths and get to know each other, slowly building up the truly healthy and vibrant community that is the key aspiration of this project.



Generous glazing provides views down from the Terrace Grove and Central Piazza, allowing passers-by to become casual spectators to the activity within



The Gymnasium, cutting through the Mansion Block to activate the Piazzas beyond

Cafe & Daycare

The establishment of neighborhood assets such as the Daycare and Cafe offers essential services to the residents and local area from day one, and set out the civic and community-focused intentions of the project.

These spaces activate the surrounding external spaces with clear defined entrances, generous glazed frontages and spill-out terraces at both the first and second floor levels.



The Cafe and Daycare Centre, offering multilevel activation to the Park Piazza and Park Grove, as well as the Central Piazza



Daycare Centre, at second floor

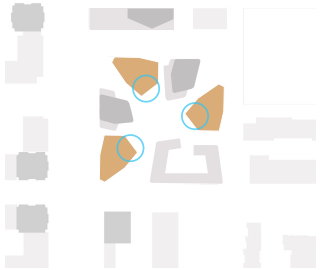


Ground level cafe

Resident's Amenity: Co-working, Games and Lounge



Games Room & Auditorium fronting onto the City Plaza



Housed behind the tall piers at the base of the 3 towers, residential amenities are located at the base of the three towers. It is the objective that these spaces should communicate variety of uses and avoid repeating the 'lounge typology', to avoid sterilizing the public realm which holds a strong visual connection. As such the intention is to theme each tower with different amenity offering:

- Games and screening room
- Co-work Space
- Lounge area

The Co-working Space provides the main frontage onto the Neighborhood Piazza and will create activity throughout the day and into the early evening. This facility provides a unique place to study, work and network with views out to the life of the surrounding piazzas and the opportunity to take a break in the Cafe, Gymnasium or Games Room beyond.



The Co-working space, facing out towards the Central Piazza

Building Typology and Facade Expression

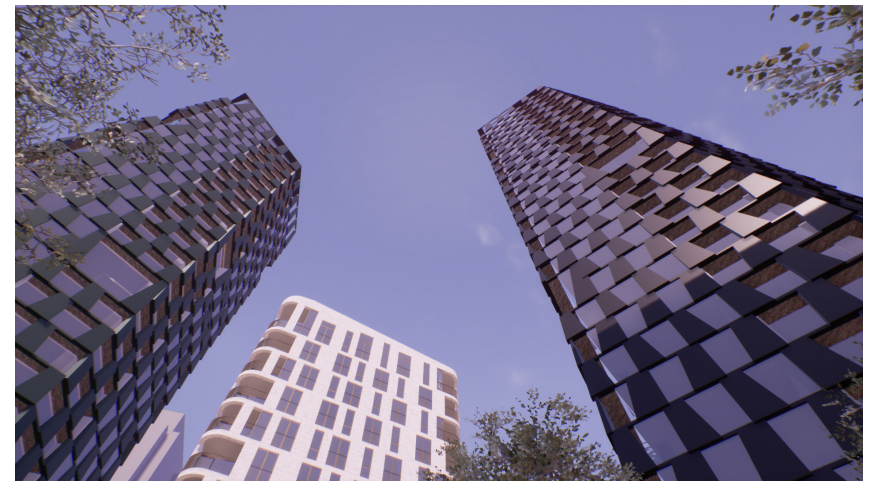
The design offers a range of facade expression while limiting the number of different building typologies, with an aim to maintain cohesiveness and sense of density across the site.

We propose contrasting but complementary aesthetic for the towers and the mid-rise buildings, arranged in an alternating fashion. Just as the height variation creates a sculptural cluster, the variety of facade language will offer people a rich and sensory experience as they move through the site.

We have sought to refer to natural forms such as stone for the low rise buildings, made up from the ground like monolithic carvings. As for the towers these refer to dense vertical forests. The textured bark of trees, tonal references from moss and lichen come with a strong desire to resist 'flatness' and complacency associated with residential architecture of this scale. We also consider a strong association to the shingled facade, a common vernacular found in Vancouver's residential architecture, finished in virtually every colour. Our interpretation of the shingle stems from its sense of versatility, ability to be modular, tonal freedom and above all its scaly pattern.

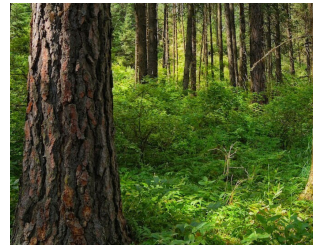
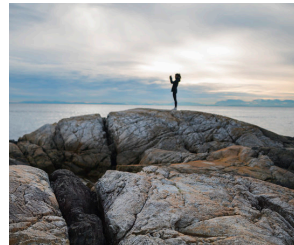
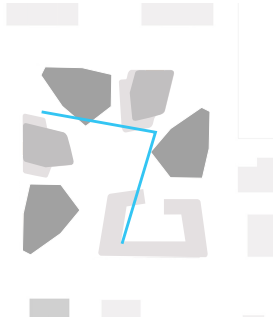
We propose full storey aluminium shingles, interspersed by fenestration and balcony openings. The towers of differing heights, also propose different colours, in this case they are defined in dark tones of grey, green and blue, in sympathy with the forest ideal. The colours proposed are in contrast to the more neutral tones of the lower masonry buildings, which as referred to above relate to the site geology and ground.

The staggering of openings create pattern which aims to disguise the stacked nature of the floorplates, to reinforce this effort we propose 2 storey randomized 'voids'. These relate to a series of larger homes (2 and 3 bed) which sprinkle the facades in a playful manner. We feel this gesture contributes greatly to the breaking down of the tower heights and mass.





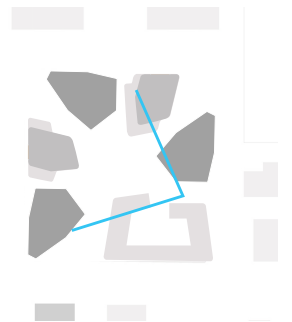
View of Central Piazza

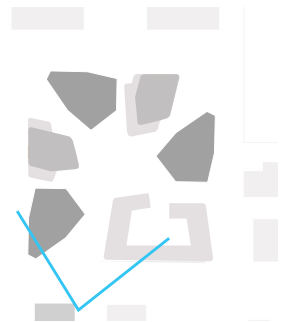


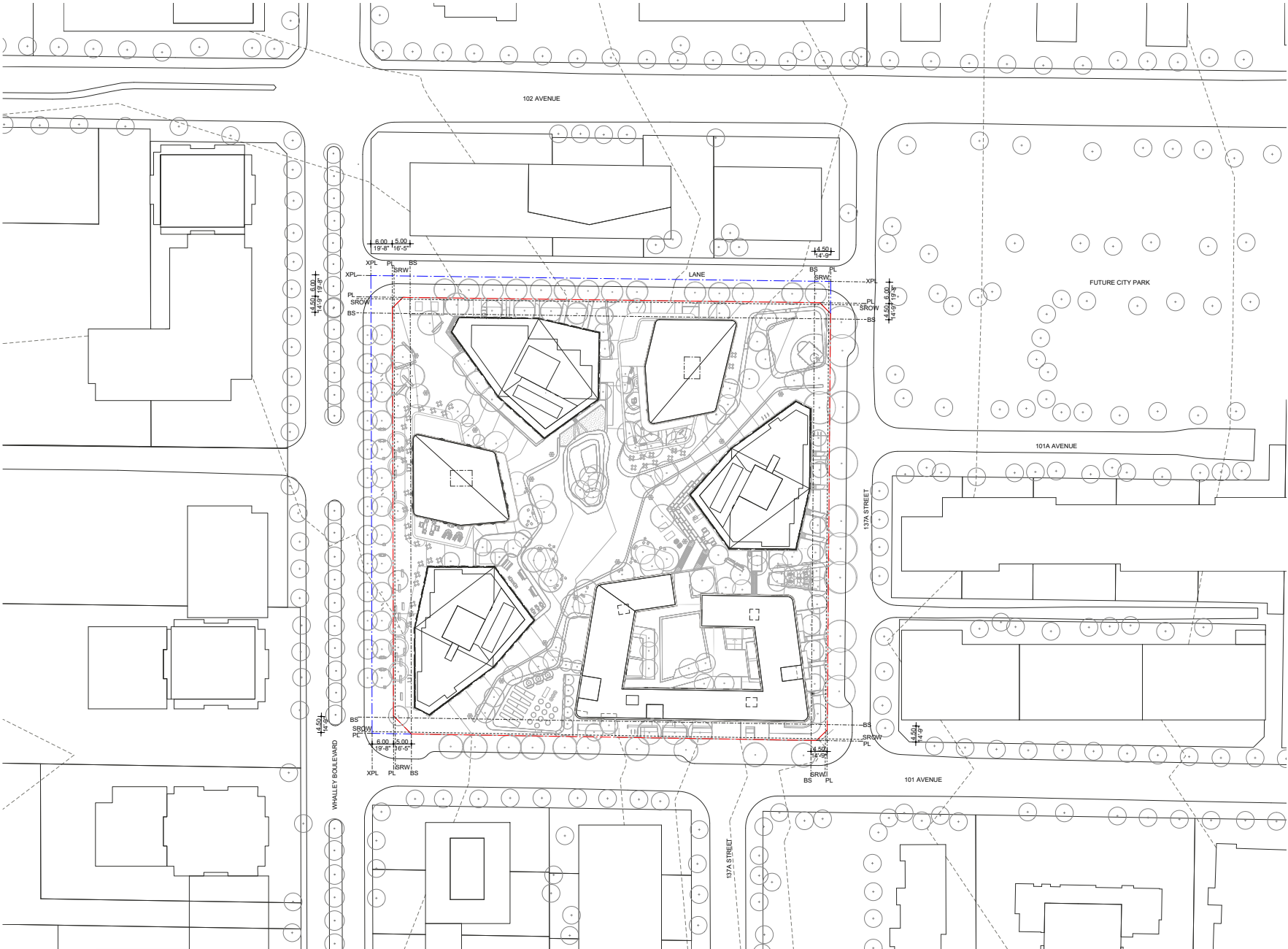


The activities of the outer edges connect through to engage with the Central Piazza which is the heart of this community's activities.

With clusters of trees and activities around its perimeter, this central open space encourages the public and residents to interact and socialize.





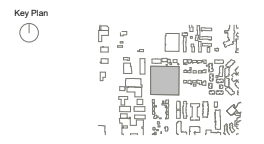


- Notes
- Existing Property Line (XPL)
 - Future Property Line (PL)
 - Building Setbacks (BS)
 - Statutory Right of Way (SRW)
- Proposed Trees

Rev	Date	Description
4	2011/1/19	Reasoning & Development Permit
3	23/08/19	ADP Response
2	15/05/19	Submission to ADP
1	20/12/18	RZ & DP Drawing Submission

Note

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Soaciff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00
 Client:
Rize Ateller (WLY) Properties Ltd

Project Number: **2463** Status: **Rezoning & Development Permit**

Drawing Title:
Proposed Context Plan

Date: **21/11/2019 16:28:16** Drawn: **AC**
 Scale: **1 : 500 @ANSI D** Checked: **NC**

Drawing No:
2463_ABA_X_00_001 Rev: **4**



- Notes
- Existing Property Line (XPL)
 - Future Property Line (PL)
 - Building Setbacks (BS)
 - - - Statutory Right of Way (SROW)

Rev. Date Description

4	2011/19	Reasoning & Development Permit
3	23/08/19	ADP Response
2	15/05/19	Submission to ADP
1	05/04/19	City Comments Response

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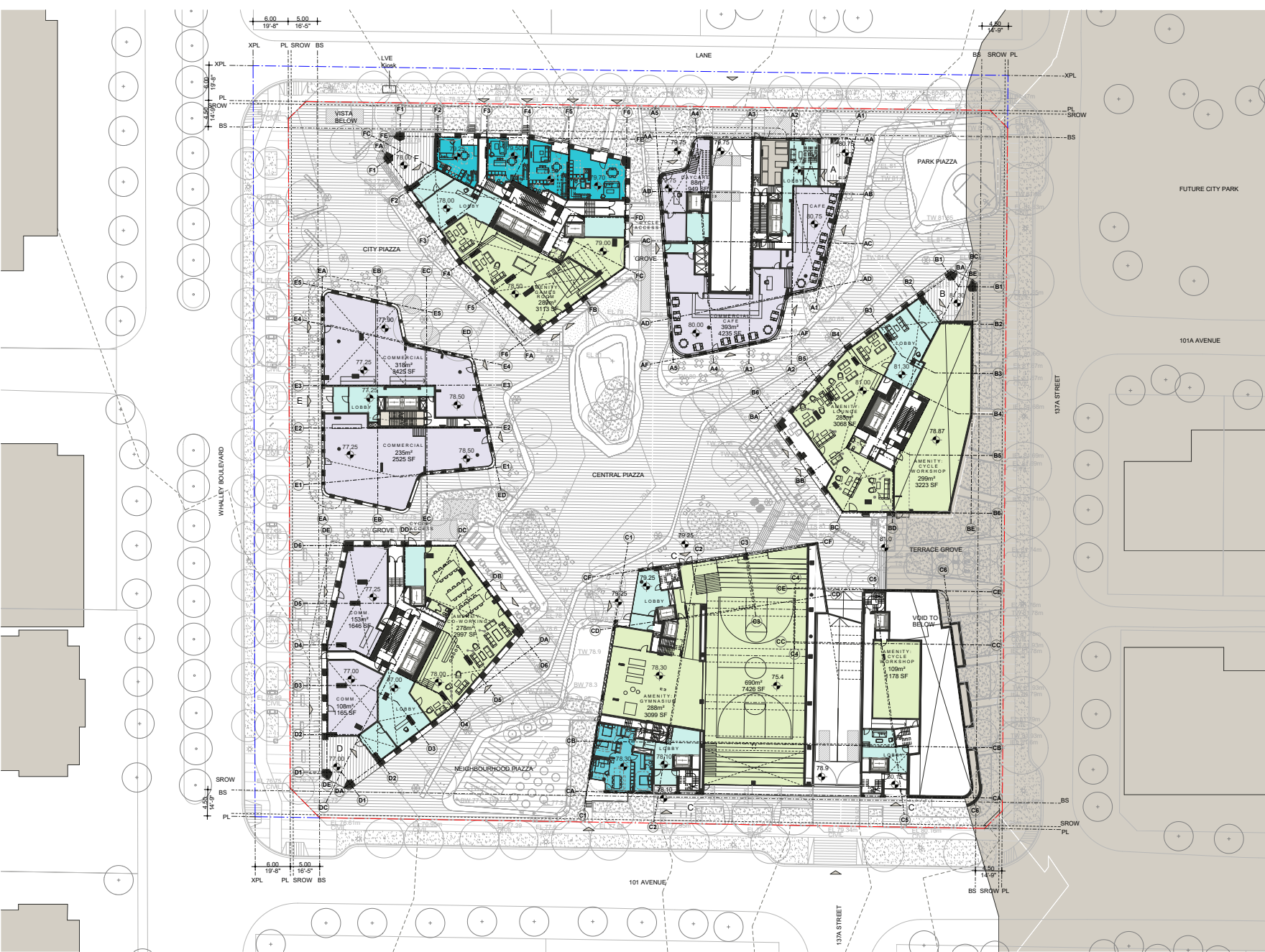
Project:
Seacliff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00
 Client:
Rize Atelier (WLY) Properties Ltd

Project Number: **2463** Status: **Rezoning & Development Permit**

Drawing Title:
Typical Plan - Dedications & Floorplate Sizes

Date: **21/11/2019 16:29:30** Drawn: **AC**
 Scale: **1:300 @ANSI D** Checked: **NC**

Drawing No: **2463_ABA_X_00_005** Rev: **4**



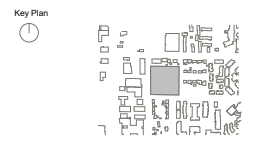
- Notes**
- Existing Property Line (XPL)
 - Future Property Line (PL)
 - Building Setbacks (BS)
 - Statutory Flight of Way (SROW)
- ☀ Street Lamp
- Proposed Trees
- Servicing
 - Lobby
 - Amenity
 - Commercial
 - Market Studio
 - Market 1B2P
 - Market 2B4P
 - Market 3B5P
 - Market Townhouse / Duplex
 - Penthouse
 - Rental 1B2P
 - Rental 2B4P
 - Rental 3B5P
 - ▲ Entrance

NOTE Refer to Landscape Architect and Civil Drawings for Landscape Details and Site Lighting

Rev	Date	Description
6	2011/1/19	Reasoning & Development Permit
5	16/09/19	City Comments to ADP response
4	23/08/19	ADP Response
3	15/05/19	Submission to ADP
2	27/02/19	City Comments Response
1	20/12/18	RZ & DP Drawing Submission

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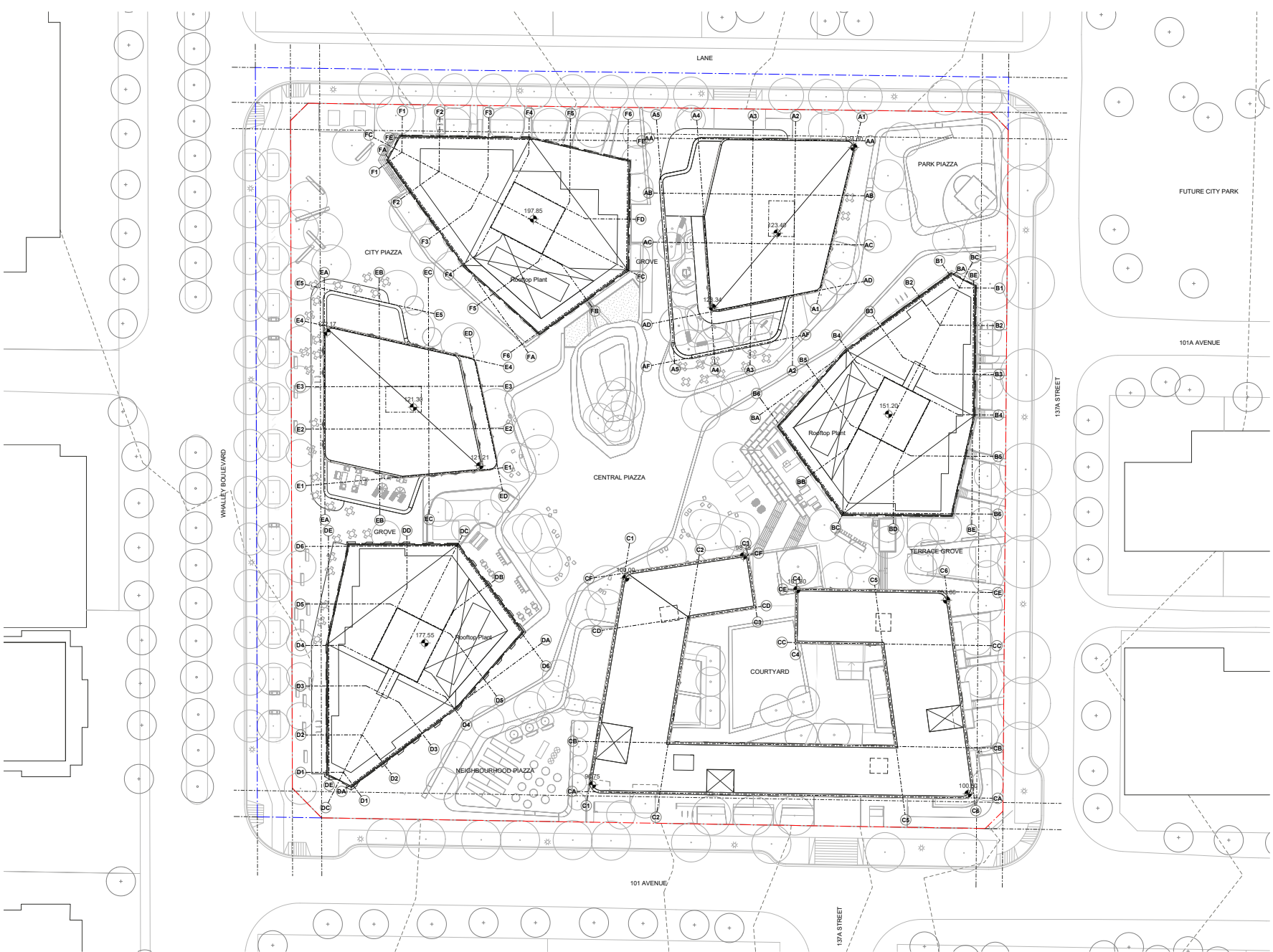
Client:
 Rize Ateller (WLY) Properties Ltd

Project Number: 2463 **Status:** Rezoning & Development Permit

Drawing Title:
 Level 1 Floor Plan

Date: 21/11/2019 16:30:34 **Drawn:** AC
Scale: 1:300 @ANSI D **Checked:** NC

Drawing No: 2463_ABA_X_10_101 **Rev:** 6



- Notes
- Existing Property Line (XPL)
 - Future Property Line (PL)
 - - - Building Setbacks (BS)
 - - - - - Statutory Right of Way (SROW)

- Proposed Trees
- Servicing
 - Lobby
 - Amenity
 - Commercial
 - Market Studio
 - Market 1B2P
 - Market 2B4P
 - Market 3B5P
 - Market Townhouse / Duplex
 - Penthouse
 - Rental 1B2P
 - Rental 2B4P
 - Rental 3B5P
 - Entrance

Rev	Date	Description
4	2011/1/9	Reasoning & Development Permit
3	23/08/19	ADP Response
2	15/05/19	Submission to ADP
1	20/12/18	RZ & DP Drawing Submission

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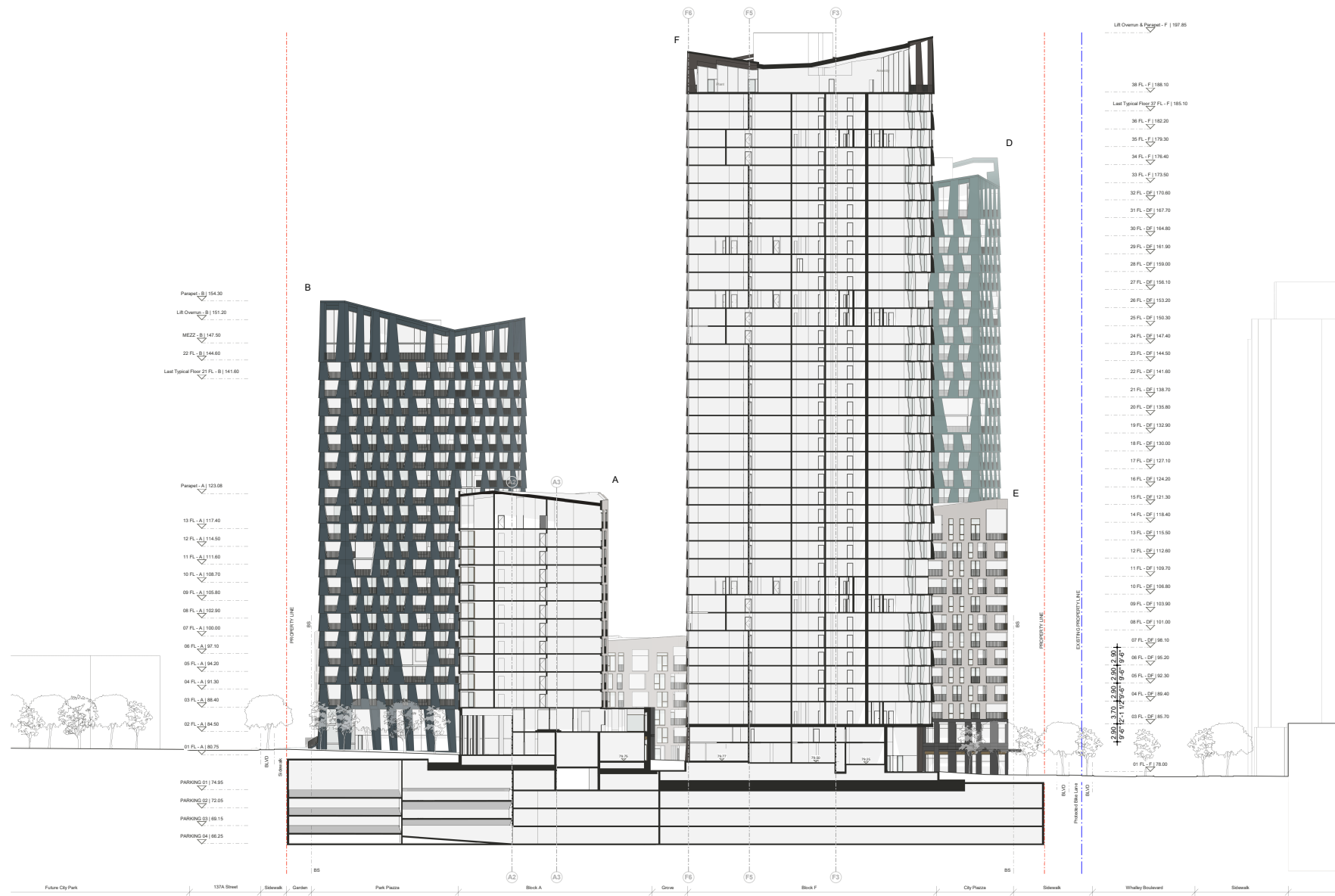
Project Number: **2463** Status: **Rezoning & Development Permit**

Drawing Title:
Roof Plan

Date: **21/11/2019 16:43:28** Drawn: **AC**
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Drawing No:
2463_ABA_X_10_150 Rev: **4**

- Notes
- Existing Property Line (XPL)
 - Future Property Line (PL)
 - Building Setbacks (BS)
 - Statutory Right of Way (SROW)

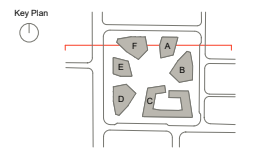


L&R Overman & Partners - F | 197.85

38 FL - F 188.10
Last Typical Floor 37 FL - F 185.10
36 FL - F 182.20
35 FL - F 179.30
34 FL - F 176.40
33 FL - F 173.50
32 FL - F 170.60
31 FL - DF 167.70
30 FL - DF 164.80
29 FL - DF 161.90
28 FL - DF 159.00
27 FL - DF 156.10
26 FL - DF 153.20
25 FL - DF 150.30
24 FL - DF 147.40
23 FL - DF 144.50
22 FL - DF 141.60
21 FL - DF 138.70
20 FL - DF 135.80
19 FL - DF 132.90
18 FL - DF 130.00
17 FL - DF 127.10
16 FL - DF 124.20
15 FL - DF 121.30
14 FL - DF 118.40
13 FL - DF 115.50
12 FL - DF 112.60
11 FL - DF 109.70
10 FL - DF 106.80
09 FL - DF 103.90
08 FL - DF 101.00
07 FL - DF 98.10
06 FL - DF 95.20
05 FL - DF 92.30
04 FL - DF 89.40
03 FL - DF 86.50
01 FL - F 78.00

Rev	Date	Description
4	2011/1/19	Rezoning & Development Permit
3	23/08/19	ADP Response
2	15/05/19	Submission to ADP
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City of Surrey File No. 7918-0289-00
Client:
Rize Ateller (WLY) Properties Ltd

Project Number: **2463** Status: **Rezoning & Development Permit**

Drawing Title:
Section 1

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- Notes
- Existing Property Line (XPL)
 - Future Property Line (PL)
 - Building Setbacks (BS)
 - Statutory Right of Way (SROW)

Lift Overrun & Parcel - F | 197.85

38 FL - E | 185.10

Last Typical Floor 37 FL - F | 185.10

Lift Overrun - E | 120.80

Parcel - E | 120.18

13 FL - E | 114.50

12 FL - E | 111.60

11 FL - E | 108.70

10 FL - E | 105.80

09 FL - E | 102.90

08 FL - E | 100.00

07 FL - E | 97.10

06 FL - E | 94.20

05 FL - E | 91.30

04 FL - E | 88.40

03 FL - E | 85.50

02 FL - E | 82.60

01 FL - E | 77.60

PARKING 03 | 72.05

PARKING 02 | 69.15

PARKING 04 | 66.25

Parcel - D | 177.50

Lift Overrun - D | 174.40

MEZ2 - D | 170.70

31 FL - DF | 167.80

Last Typical Floor 30 FL - DF | 164.80

29 FL - DF | 161.90

28 FL - DF | 159.00

27 FL - DF | 156.10

26 FL - DF | 153.20

25 FL - DF | 150.30

24 FL - DF | 147.40

23 FL - BSF | 144.50

22 FL - BSF | 141.60

21 FL - BSF | 138.70

20 FL - BSF | 135.80

19 FL - BSF | 132.90

18 FL - BSF | 130.00

17 FL - BSF | 127.10

16 FL - BSF | 124.20

15 FL - BSF | 121.30

14 FL - BSF | 118.40

13 FL - BSF | 115.50

12 FL - BSF | 112.60

11 FL - BSF | 109.70

10 FL - BSF | 106.80

09 FL - BSF | 103.90

08 FL - BSF | 101.00

07 FL - BSF | 98.10

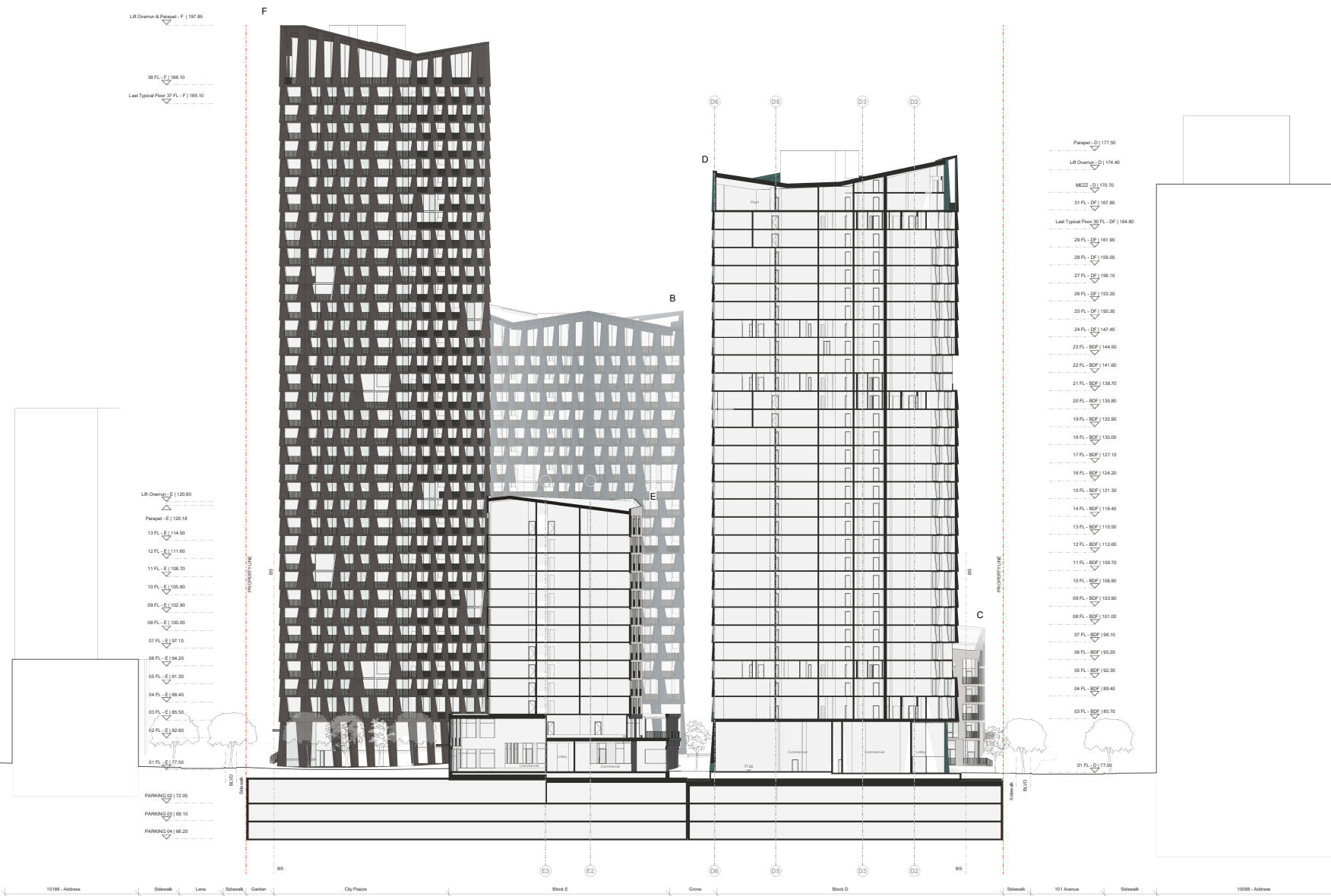
06 FL - BSF | 95.20

05 FL - BSF | 92.30

04 FL - BSF | 89.40

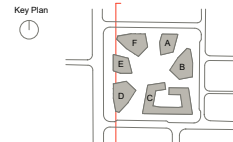
03 FL - BSF | 86.50

01 FL - D | 77.00



Rev	Date	Description
4	2011/1/19	Rezoning & Development Permit
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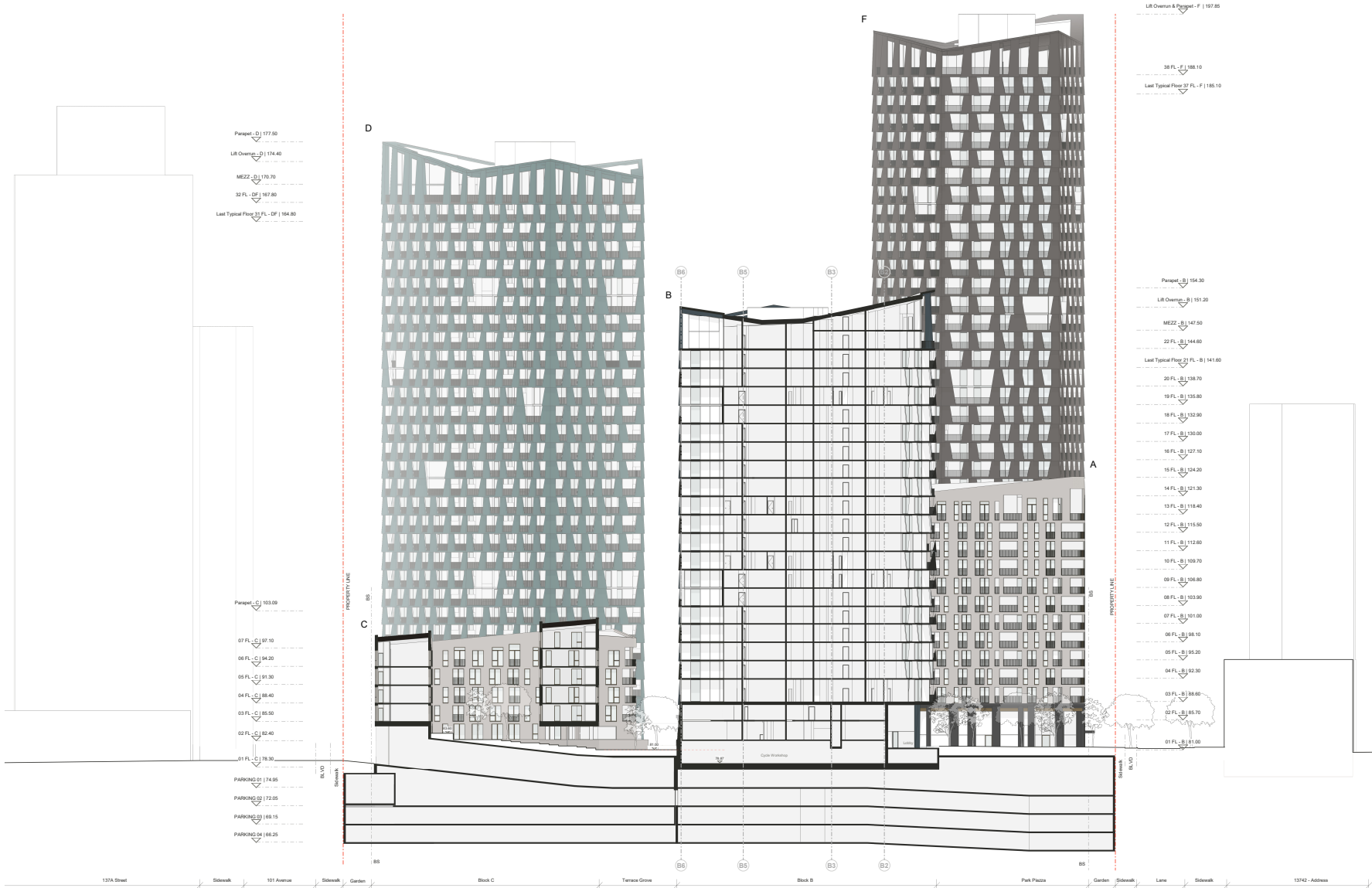
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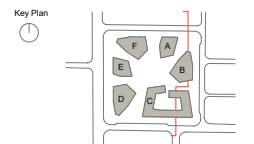
Drawing No:
2463_ABA_X_10_202 Rev: **4**

- Notes
- Existing Property Line (XPL)
 - Future Property Line (PL)
 - Building Setbacks (BS)
 - - - - - Statutory Right of Way (SROW)



Rev	Date	Description
4	2011/1/19	Reasoning & Development Permit
3	23/08/19	ADP Response
2	15/05/19	Submission to ADP
1	20/12/18	RZ & DP Drawing Submission

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Project:
Soacliff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00
Client:
Rize Ateller (WLY) Properties Ltd

Project Number: 2463 **Status:** Rezoning & Development Permit

Drawing Title: Section 3

Date: 21/11/2019 09:48:08 **Drawn:** JP
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Drawing No: 2463_ABA_X_10_203 **Rev:** 4

- Notes
- Existing Property Line (XPL)
 - Future Property Line (PL)
 - Building Setbacks (BS)
 - Statutory Right of Way (SROW)

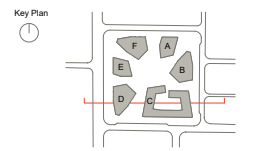
- Lift Overrun & Parcel - F | 197.85
- 38 FL - C | 188.10
- Last Typical Floor 37 FL - F | 185.10
- Parcel - D | 177.50
- Lift Overrun - D | 174.40
- MEZZ - D | 170.70
- 31 FL - CF | 167.60
- Last Typical Floor 30 FL - DF | 164.80
- 29 FL - CF | 161.90
- 28 FL - CF | 159.00
- 27 FL - CF | 156.10
- 26 FL - CF | 153.20
- 25 FL - CF | 150.30
- 24 FL - CF | 147.40
- 23 FL - CF | 144.50
- 22 FL - CF | 141.60
- 21 FL - CF | 138.70
- 20 FL - CF | 135.80
- 19 FL - CF | 132.90
- 18 FL - CF | 130.00
- 17 FL - CF | 127.10
- 16 FL - CF | 124.20
- 15 FL - CF | 121.30
- 14 FL - CF | 118.40
- 13 FL - CF | 115.50
- 12 FL - CF | 112.60
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- 10 FL - CF | 106.80
- 09 FL - CF | 103.90
- 08 FL - CF | 101.00
- 07 FL - CF | 98.10
- 06 FL - CF | 95.20
- 05 FL - CF | 92.30
- 04 FL - CF | 89.40
- 03 FL - CF | 86.50
- 01 FL - C | 77.00

- Parcel - B | 154.30
- Lift Overrun - B | 151.20
- MEZZ - B | 147.50
- 22 FL - B | 144.60
- Last Typical Floor 21 FL - B | 141.60

- Parcel - C | 103.00
- 07 FL - C | 97.10
- 06 FL - C | 94.20
- 05 FL - C | 91.30
- 04 FL - C | 88.40
- 03 FL - C | 85.50
- 02 FL - C | 82.60
- 01 FL - C | 78.30
- PARKING 01 | 174.95
- PARKING 02 | 172.05
- PARKING 03 | 169.15
- PARKING 04 | 166.25

Rev	Date	Description
4	20/11/19	Reasoning & Development Permit
3	23/08/19	ADP Response
2	15/05/19	Submission to ADP
1	20/12/18	RZ & DP Drawing Submission

Note
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Project:
Soaciff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00

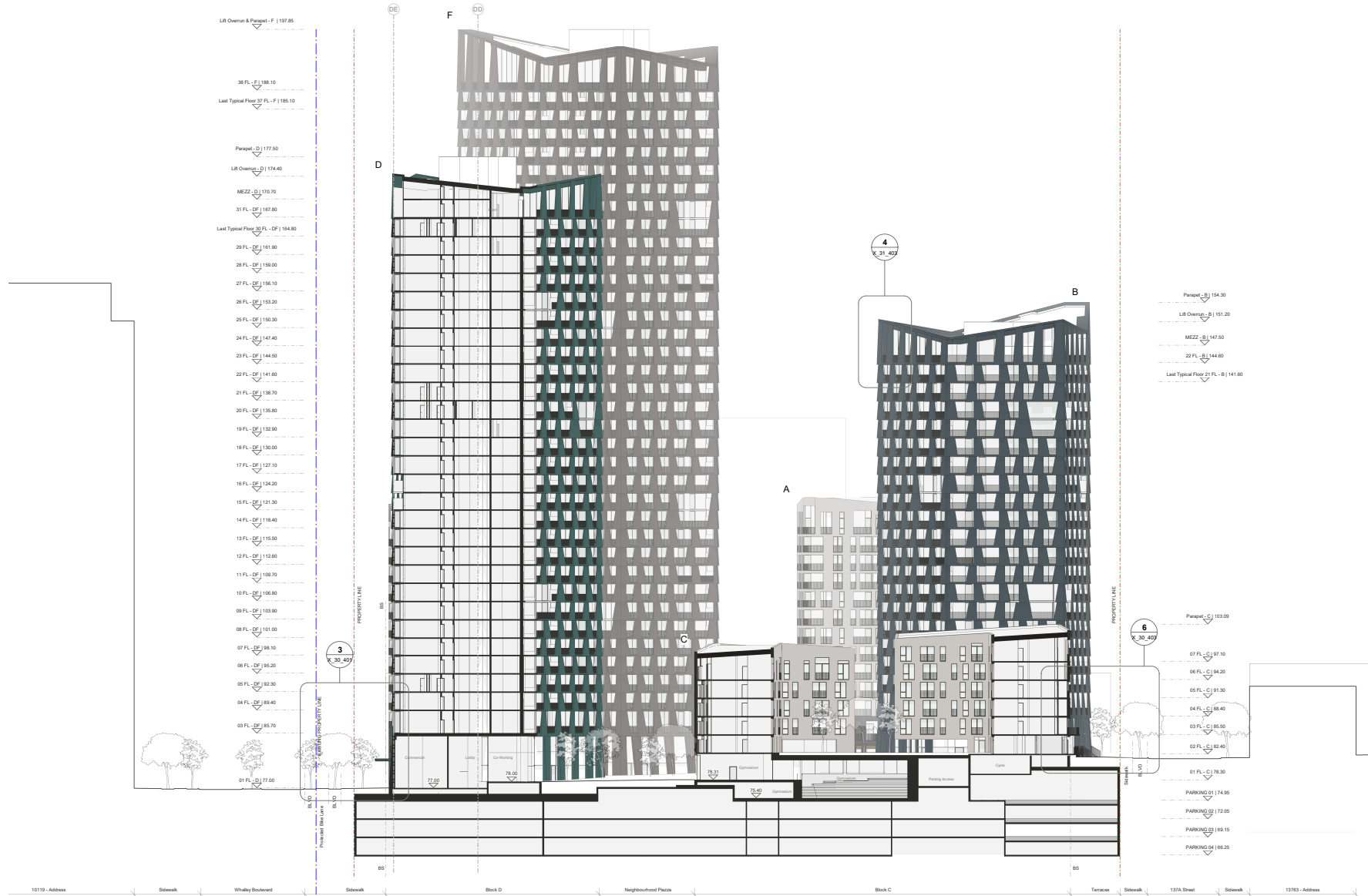
Client:
Rize Ateller (WLY) Properties Ltd

Project Number: **2463** Status: **Rezoning & Development Permit**

Drawing Title:
Section 4

Date: **21/11/2019 09:49:29** Drawn: **JP**
Scale: **1 : 300** @ANSI D Checked: **NC**

Drawing No: **2463_ABA_X_10_204** Rev: **4**



- Notes
- Existing Property Line (XPL)
 - Future Property Line (PL)
 - Building Setbacks (BS)
 - Statutory Right of Way (SROW)

LR Overrun & Parapet - F | 197.85

36 FL - F | 186.10

Last Typical Floor 37 FL - F | 185.10

Parapet - E | 122.17

13 FL - E | 115.50

12 FL - E | 112.60

11 FL - E | 109.70

10 FL - E | 106.80

09 FL - E | 103.90

08 FL - E | 101.00

07 FL - E | 98.10

06 FL - E | 95.20

05 FL - E | 92.30

04 FL - E | 89.40

03 FL - E | 86.50

02 FL - E | 83.10

01 FL - E | 77.25

Parapet - B | 154.30

LR Overrun - B | 151.20

MEZZ - B | 147.50

22 FL - B | 144.60

Last Typical Floor 21 FL - B | 141.60

20 FL - B | 138.70

19 FL - B | 135.80

18 FL - B | 132.90

17 FL - B | 130.00

16 FL - B | 127.10

15 FL - B | 124.20

14 FL - B | 121.30

13 FL - B | 118.40

12 FL - B | 115.50

11 FL - B | 112.60

10 FL - B | 109.70

09 FL - B | 106.80

08 FL - B | 103.90

07 FL - B | 101.00

06 FL - B | 98.10

05 FL - B | 95.20

04 FL - B | 92.30

03 FL - B | 89.40

02 FL - B | 86.50

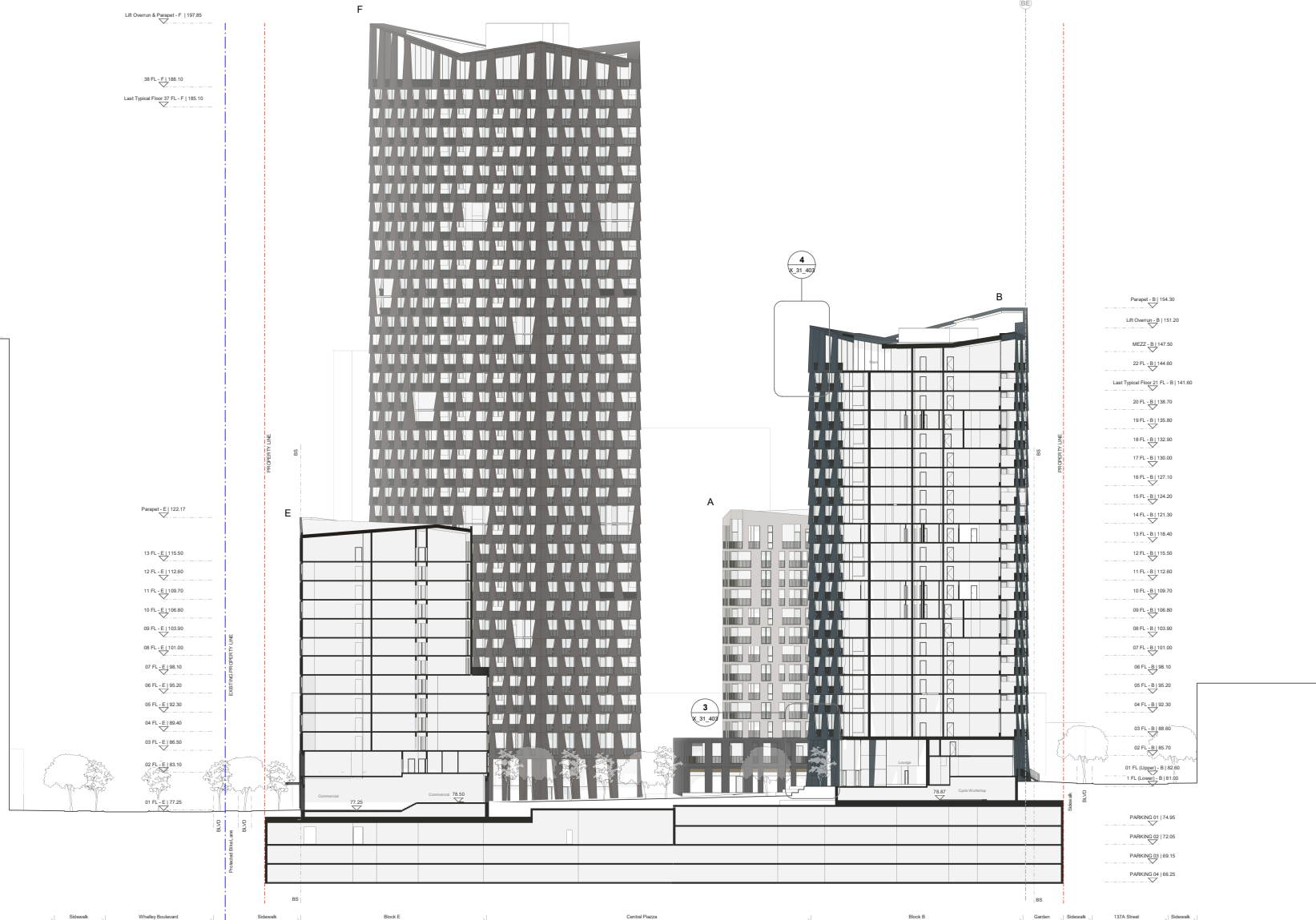
01 FL (Basement) - B | 81.50

PARKING 01 | 74.55

PARKING 02 | 72.05

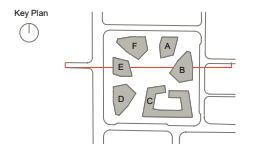
PARKING 03 | 69.15

PARKING 04 | 66.25



Rev	Date	Description
4	2011/19	Reasoning & Development Permit
3	23/08/19	ADP Response
2	15/05/19	Submission to ADP
1	20/12/18	RZ & DP Drawing Submission

Note
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Project:
Seacliff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00
Client:
Rize Ateller (WLY) Properties Ltd

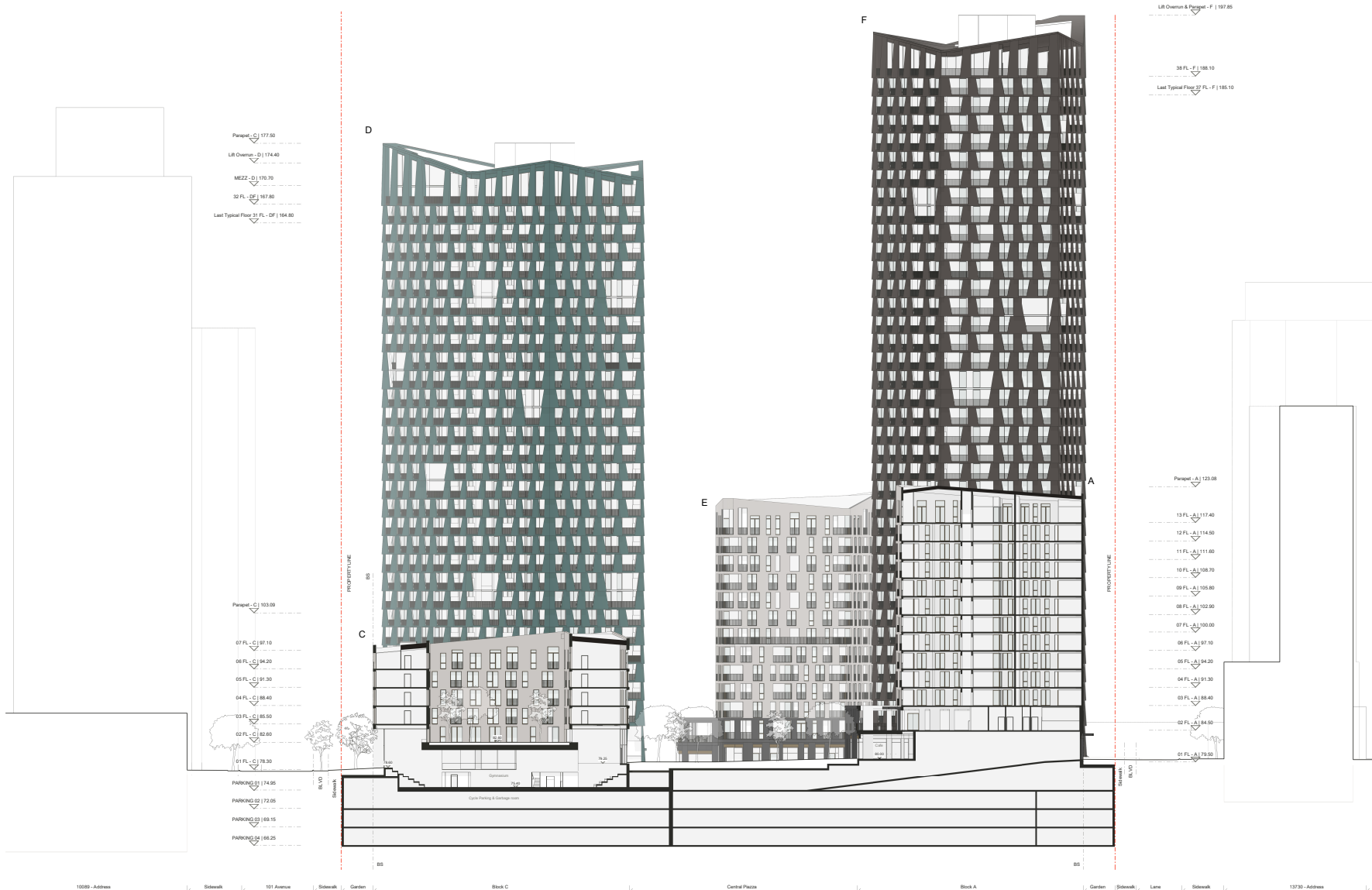
Project Number: **2463** Status: **Rezoning & Development Permit**

Drawing Title:
Section 5

Date: **21/11/2019 09:50:33** Drawn: **JP**
Scale: **1 : 300 @ANSI D** Checked: **NC**

Drawing No: **2463_ABA_X_10_205** Rev: **4**

- Notes
- Existing Property Line (XPL)
 - Future Property Line (PL)
 - Building Setbacks (BS)
 - Statutory Right of Way (SROW)



Parapet - C | 177.50
 LR Overrun - D | 174.40
 MEZZ - C | 170.70
 32 FL - DF | 167.80
 Last Typical Floor 31 FL - DF | 164.80

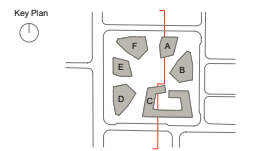
Parapet - C | 103.09
 07 FL - C | 97.10
 06 FL - C | 94.20
 05 FL - C | 91.30
 04 FL - C | 88.40
 03 FL - C | 85.50
 02 FL - C | 82.60
 01 FL - C | 78.30
 PARKING_02 | 72.05
 PARKING_01 | 69.15
 PARKING_04 | 66.25

LR Overrun & Parapet - F | 197.85
 38 FL - F | 188.10
 Last Typical Floor 37 FL - F | 185.10

Parapet - A | 123.08
 13 FL - A | 117.40
 12 FL - A | 114.50
 11 FL - A | 111.60
 10 FL - A | 108.70
 09 FL - A | 105.80
 08 FL - A | 102.90
 07 FL - A | 100.00
 06 FL - A | 97.10
 05 FL - A | 94.20
 04 FL - A | 91.30
 03 FL - A | 88.40
 02 FL - A | 84.50
 01 FL - A | 79.50

Rev	Date	Description
4	20/11/19	Reasoning & Development Permit
3	23/08/19	ADP Response
2	15/05/19	Submission to ADP
1	20/12/18	RZ & DP Drawing Submission

Note
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Project:
Sacliffe, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00
 Client:
Rize Ateller (WLY) Properties Ltd

Project Number: **2463** Status: **Rezoning & Development Permit**

Drawing Title:
Section 6

Date: **21/11/2019 09:51:39** Drawn: **JP**
 Scale: **1 : 300** @ANSI D Checked: **NC**

Drawing No:
2463_ABA_X_10_206 Rev: **4**

- Notes
- Existing Property Line (XPL)
 - Future Property Line (PL)
 - Building Setbacks (BS)
 - Statutory Right of Way (SROW)

Rev	Date	Description
4	2011/1/9	Reasoning & Development Permit
3	23/08/19	ADP Response
2	15/05/19	Submission to ADP
1	20/12/18	RZ & DP Drawing Submission

Note
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Project:
Soaciff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00

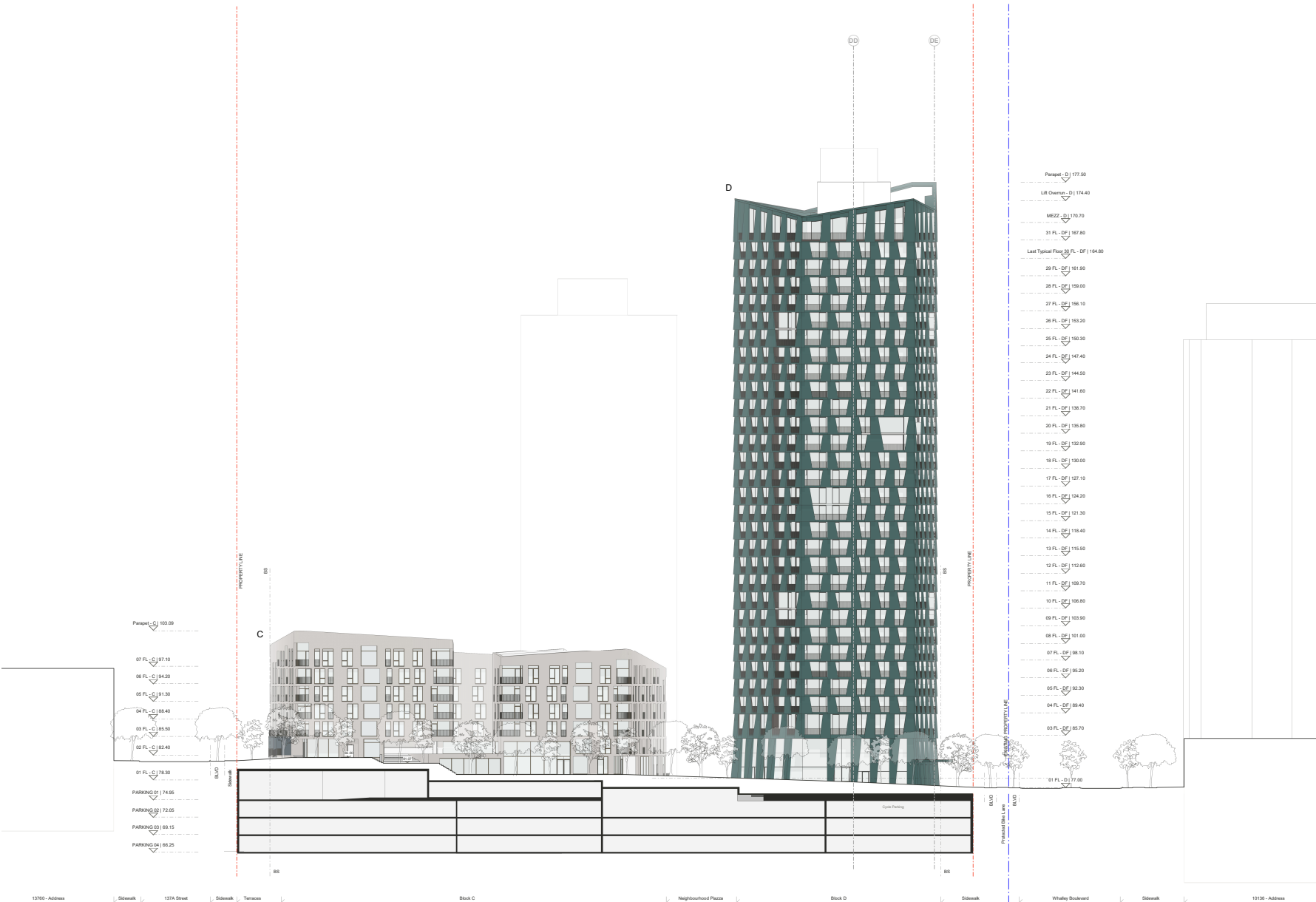
Client:
Rize Ateller (WLY) Properties Ltd

Project Number: 2463 **Status:** Rezoning & Development Permit

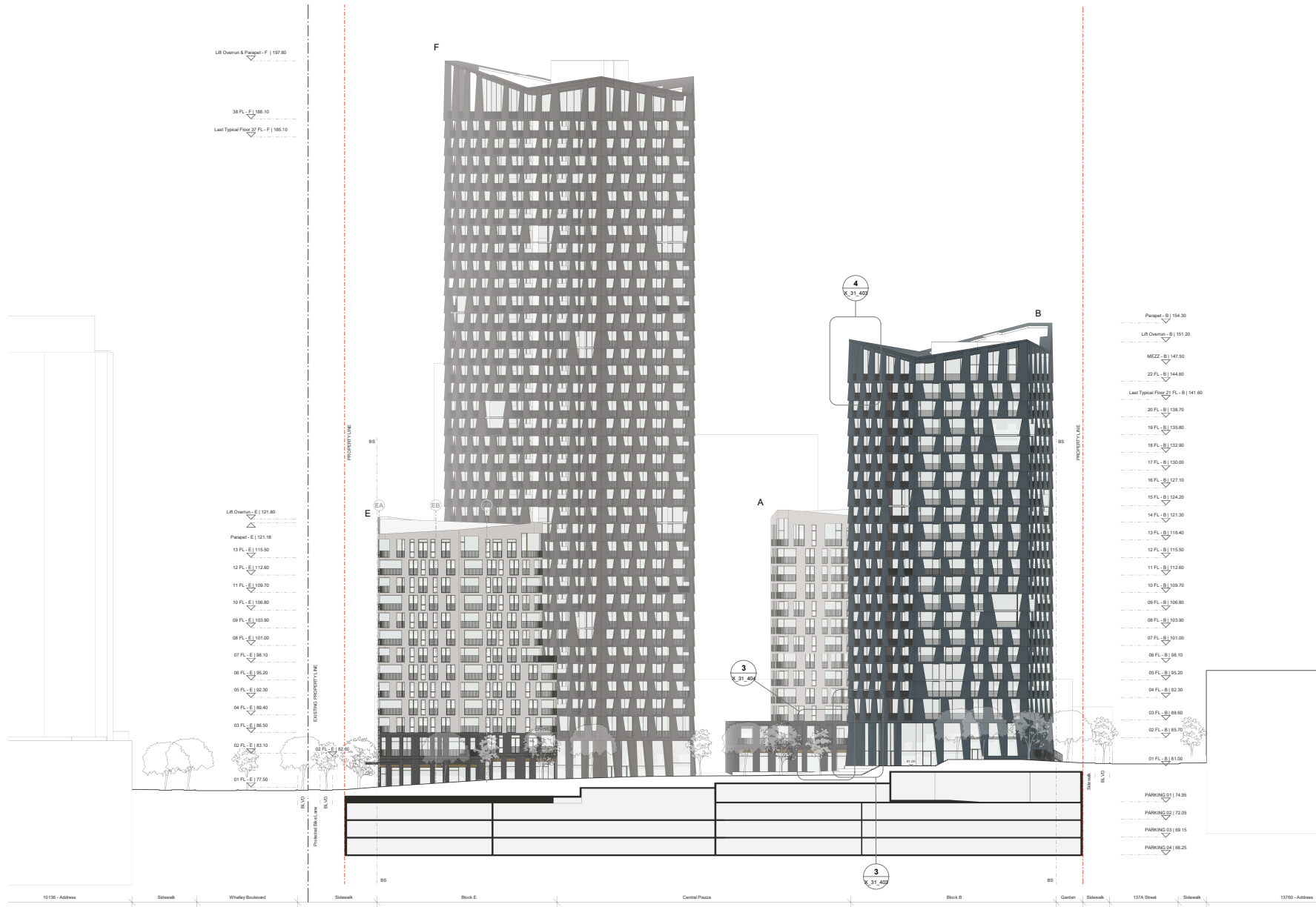
Drawing Title:
Section 7

Date: 21/11/2019 09:52:28 **Drawn:** JP
Scale: 1 : 300 @ANSI D **Checked:** NC

Drawing No: 2463_ABA_X_10_207 **Rev:** 4



- Parapet - D | 177.50
- Lit Overlap - D | 174.40
- MEZZ - D | 170.70
- 31 FL - DF | 167.80
- Last Typical Floor 30 FL - DF | 164.80
- 29 FL - DF | 161.90
- 28 FL - DF | 159.00
- 27 FL - DF | 156.10
- 26 FL - DF | 153.20
- 25 FL - DF | 150.30
- 24 FL - DF | 147.40
- 23 FL - DF | 144.50
- 22 FL - DF | 141.60
- 21 FL - DF | 138.70
- 20 FL - DF | 135.80
- 19 FL - DF | 132.90
- 18 FL - DF | 130.00
- 17 FL - DF | 127.10
- 16 FL - DF | 124.20
- 15 FL - DF | 121.30
- 14 FL - DF | 118.40
- 13 FL - DF | 115.50
- 12 FL - DF | 112.60
- 11 FL - DF | 109.70
- 10 FL - DF | 106.80
- 09 FL - DF | 103.90
- 08 FL - DF | 101.00
- 07 FL - DF | 98.10
- 06 FL - DF | 95.20
- 05 FL - DF | 92.30
- 04 FL - DF | 89.40
- 03 FL - DF | 86.50
- 01 FL - D | 77.00



L/R Overrun & Parapet - F - F1197.80
 38 FL - E | 1188.10
 Last Typical Floor 37 FL - F - F1185.10

L/R Overrun - E | 121.80
 Parapet - E | 121.18
 13 FL - E | 115.50
 12 FL - E | 112.80
 11 FL - E | 109.70
 10 FL - E | 106.80
 09 FL - E | 103.90
 08 FL - E | 101.00
 07 FL - E | 98.10
 06 FL - E | 95.20
 05 FL - E | 92.30
 04 FL - E | 89.40
 03 FL - E | 86.50
 02 FL - E | 83.10
 01 FL - E | 77.50

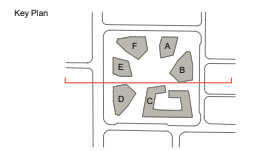
Parapet - B | 154.30
 L/R Overrun - B | 151.20
 MEZZ - B | 147.50
 22 FL - B | 144.60
 Last Typical Floor 21 FL - B | 141.60
 20 FL - B | 138.70
 19 FL - B | 135.80
 18 FL - B | 132.90
 17 FL - B | 130.00
 16 FL - B | 127.10
 15 FL - B | 124.20
 14 FL - B | 121.30
 13 FL - B | 118.40
 12 FL - B | 115.50
 11 FL - B | 112.60
 10 FL - B | 109.70
 09 FL - B | 106.80
 08 FL - B | 103.90
 07 FL - B | 101.00
 06 FL - B | 98.10
 05 FL - B | 95.20
 04 FL - B | 92.30
 03 FL - B | 89.40
 02 FL - B | 86.50
 01 FL - B | 81.00

PARKING 01 | 174.95
 PARKING 02 | 172.05
 PARKING 03 | 169.15
 PARKING 04 | 166.25

- Notes
- - - Existing Property Line (XPL)
 - - - Future Property Line (PL)
 - - - Building Setbacks (BS)
 - - - Statutory Right of Way (SROW)

Rev	Date	Description
4	2011/1/19	Reasoning & Development Permit
3	23/08/19	ADP Response
2	15/05/19	Submission to ADP
1	20/12/18	RZ & DP Drawing Submission

Note
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Project:
Soaciff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00

Client:
Rize Atelier (WLY) Properties Ltd

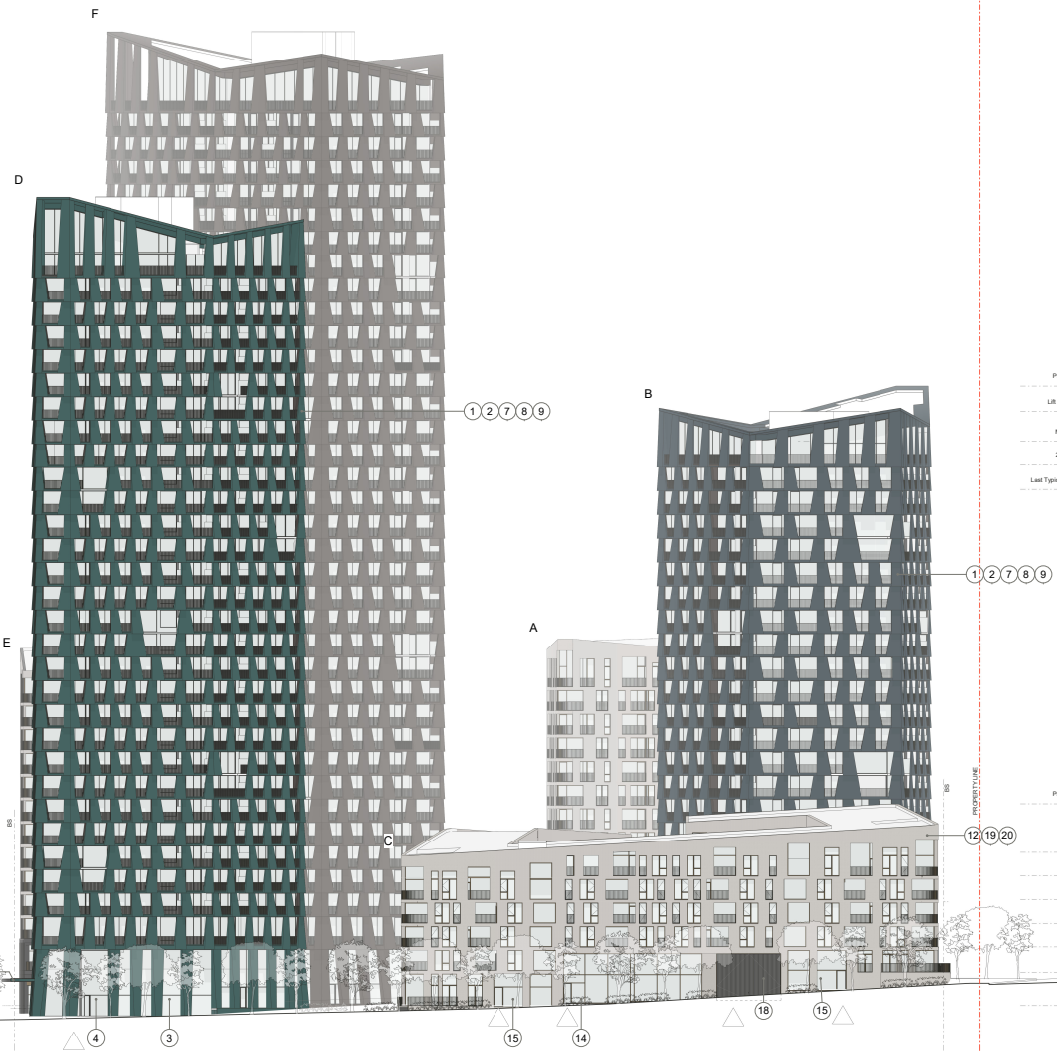
Project Number: **2463** Status: **Rezoning & Development Permit**

Drawing Title:
Section 8

Date: **21/11/2019 09:53:47** Drawn: **JP**
 Scale: **1:300** @ANSI D Checked: **NC**

Drawing No:
2463_ABA_X_10_208 Rev: **4**

LR Overlap & Parapet - F | 172.85
 38 FL - F | 185.10
 Last Typical Floor 37 FL - F | 185.10
 Parapet - D | 177.50
 LR Overlap - D | 174.40
 MEZZ - D | 170.70
 31 FL - D | 167.80
 Last Typical Floor 30 FL - D | 164.80
 29 FL - D | 161.90
 28 FL - D | 159.00
 27 FL - D | 156.10
 26 FL - D | 153.20
 25 FL - D | 150.30
 24 FL - D | 147.40
 23 FL - D | 144.50
 22 FL - D | 141.60
 21 FL - D | 138.70
 20 FL - D | 135.80
 19 FL - D | 132.90
 18 FL - D | 130.00
 17 FL - D | 127.10
 16 FL - D | 124.20
 15 FL - D | 121.30
 14 FL - D | 118.40
 13 FL - D | 115.50
 12 FL - D | 112.60
 11 FL - D | 109.70
 10 FL - D | 106.80
 09 FL - D | 103.90
 08 FL - D | 101.00
 07 FL - D | 98.10
 06 FL - D | 95.20
 05 FL - D | 92.30
 04 FL - D | 89.40
 03 FL - D | 86.50
 01 FL - D | 77.00



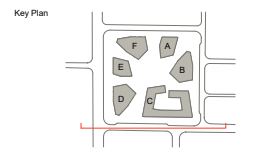
Parapet - B | 154.30
 LR Overlap - B | 151.20
 MEZZ - B | 147.50
 22 FL - B | 144.60
 Last Typical Floor 21 FL - B | 141.80
 Parapet - C | 103.09
 07 FL - C | 97.10
 06 FL - C | 94.20
 05 FL - C | 91.30
 04 FL - C | 88.40
 03 FL - C | 85.50
 02 FL - C | 82.60
 01 FL - C | 78.30

- Notes
- Elevation materials
- Aluminium cladding panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
 - Aluminium detached panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
 - Towers commercial / amenity glazing:
 - Aluminium window frames, black metallic finish
 - Towers recessed residential entrance:
 - Aluminium window frames, black metallic finish
 - Signage band / Commercial ventilation for Towers
 - Canopy for Towers
 - Tower D: Dark Green Metallic finish, with glass roof
 - Recessed window wall / balcony
 - Aluminium window frames, black metallic finish
 - Tower window
 - Aluminium window frames, black metallic finish
 - Flat bar steel balustrade, black metallic finish
 - Ventilation Panel for Towers
 - Building Lighting for Towers
 - Brick blend masonry light beige / buff colour
 - Mid-rise buildings commercial / amenity cladding:
 - Aluminium metal cladding, gunmetal grey metallic finish
 - Mid-rise buildings commercial / amenity glazing
 - Aluminium window frames, champagne metallic finish
 - Mid-rise buildings recessed residential entrance:
 - Aluminium window frames, champagne metallic finish
 - Signage band / commercial ventilation for Mid-rise buildings
 - Canopy for mid-rise buildings
 - Gunmetal grey metallic finish, with glass roof
 - Parkade gates:
 - Flat bar steel railing, gunmetal grey metallic finish
 - Aluminium window frames, champagne metallic finish
 - Flat bar steel balustrade, champagne metallic finish
 - Residential porch:
 - Block C: aluminium panels, dark blue metallic finish
 - Ventilation Panel for Mid-rise buildings
 - Building Lighting for Mid-rise buildings
 - Metal soffit to match metal cladding
 - Metal soffit to match window frames, champagne metallic finish
 - White painted concrete finish

Rev	Date	Description
5	2011/19	Reasoning & Development Permit
4	16/09/19	City Comments to ADP response
3	23/08/19	ADP Response
2	15/05/19	Submission to ADP
1	20/12/18	RZ & DP Drawing Submission

Note

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Project:
Soaciff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00
 Client:
Rize Atelier (WLY) Properties Ltd

Project Number: **2463** Status: **Rezoning & Development Permit**

Drawing Title:
Elevation South

Date: **21/11/2019 09:58:13** Drawn: **JP**
 Scale: **1 : 300 @ANSI D** Checked: **NC**

Drawing No: **2463_ABA_X_10_301** Rev: **5**

Notes

Elevation materials

1. Aluminium cladding panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
2. Aluminium detached panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
3. Towers commercial / amenity glazing:
 - Aluminium window frames, black metallic finish
4. Towers recessed residential entrance:
 - Aluminium window frames, black metallic finish
5. Signage band / Commercial ventilation for Towers
6. Canopy for Towers
 - Tower D: Dark Green Metallic finish, with glass roof
7. Recessed window wall / balcony
 - Aluminium window frames, black metallic finish
8. Tower window
 - Aluminium window frames, black metallic finish
9. Flat bar steel balustrade, black metallic finish
10. Ventilation Panel for Towers
11. Building Lighting for Towers
12. Brick kilned masonry, light beige / buff colour
13. Mid-rise buildings commercial / amenity cladding:
 - Aluminium metal cladding, gunmetal grey metallic finish
14. Mid-rise buildings commercial / amenity glazing:
 - Aluminium window frames, champagne metallic finish
15. Mid-rise buildings recessed residential entrance:
 - Aluminium window frames, champagne metallic finish
16. Signage band / commercial ventilation for Mid-rise buildings
17. Canopy for mid-rise buildings
 - Gunmetal grey metallic finish, with glass roof
18. Parkade gables:
 - Flat bar steel railing, gunmetal grey metallic finish
19. Aluminium window frames, champagne metallic finish
20. Flat bar steel balustrade, champagne metallic finish
21. Residential porch:
 - Block C: aluminium panels, dark blue metallic finish
22. Ventilation Panel for Mid-rise buildings
23. Building Lighting for Mid-rise buildings
24. Metal soffit to match metal cladding
25. Metal soffit to match window frames, champagne metallic finish
26. White painted concrete finish

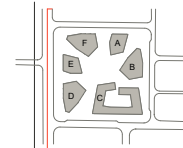
Rev Date Description

4	2011/19	Reasoning & Development Permit
3	23/08/19	ADP Response
2	15/05/19	Submission to ADP
1	20/12/18	RZ & DP Drawing Submission

Note

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Key Plan



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Project:
Soacifl, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00

Client:
Rize Ateller (WLY) Properties Ltd

Project Number: **2463** Status: **Rezoning & Development Permit**

Drawing Title:
Elevation West

Date: **21/11/2019 09:56:38** Drawn: **JP**
 Scale: **1 : 300** @ANSI D Checked: **NC**

Drawing No: **2463_ABA_X_10_302** Rev: **4**

L/R Overlap & Parapet - F | 197.85

38 FL - E | 188.10

Last Typical Floor - F - F | 185.10

Parapet - E | 122.17

13 FL - E | 116.50

12 FL - E | 112.80

11 FL - E | 109.70

10 FL - E | 106.80

09 FL - E | 103.90

08 FL - E | 101.00

07 FL - E | 98.10

06 FL - E | 95.20

05 FL - E | 92.30

04 FL - E | 89.40

03 FL - E | 86.50

02 FL - E | 83.10

01 FL - E | 77.25

Parapet - D | 177.40

L/R Overlap - D | 174.30

MEZZ - D | 170.60

31 FL - DF | 167.70

Last Typical Floor 30 FL - DF | 164.80

29 FL - DF | 161.90

28 FL - DF | 159.00

27 FL - DF | 156.10

26 FL - DF | 153.20

25 FL - DF | 150.30

24 FL - DF | 147.40

23 FL - DF | 144.50

22 FL - DF | 141.60

21 FL - DF | 138.70

20 FL - DF | 135.80

19 FL - DF | 132.90

18 FL - DF | 130.00

17 FL - DF | 127.10

16 FL - DF | 124.20

15 FL - DF | 121.30

14 FL - DF | 118.40

13 FL - DF | 115.50

12 FL - DF | 112.60

11 FL - DF | 109.70

10 FL - DF | 106.80

09 FL - DF | 103.90

08 FL - DF | 101.00

07 FL - DF | 98.10

06 FL - DF | 95.20

05 FL - DF | 92.30

04 FL - DF | 89.40

03 FL - DF | 86.50

01 FL - D | 77.00

F

D

B

E

C

1 2 7 8 9

9 8 7 2 1

12
19
20

4

1

3

17

16

14

15

13

E3

E2

D6

D5

D4

D3

D2

D1

Lane

Sidewalk

City Plaza

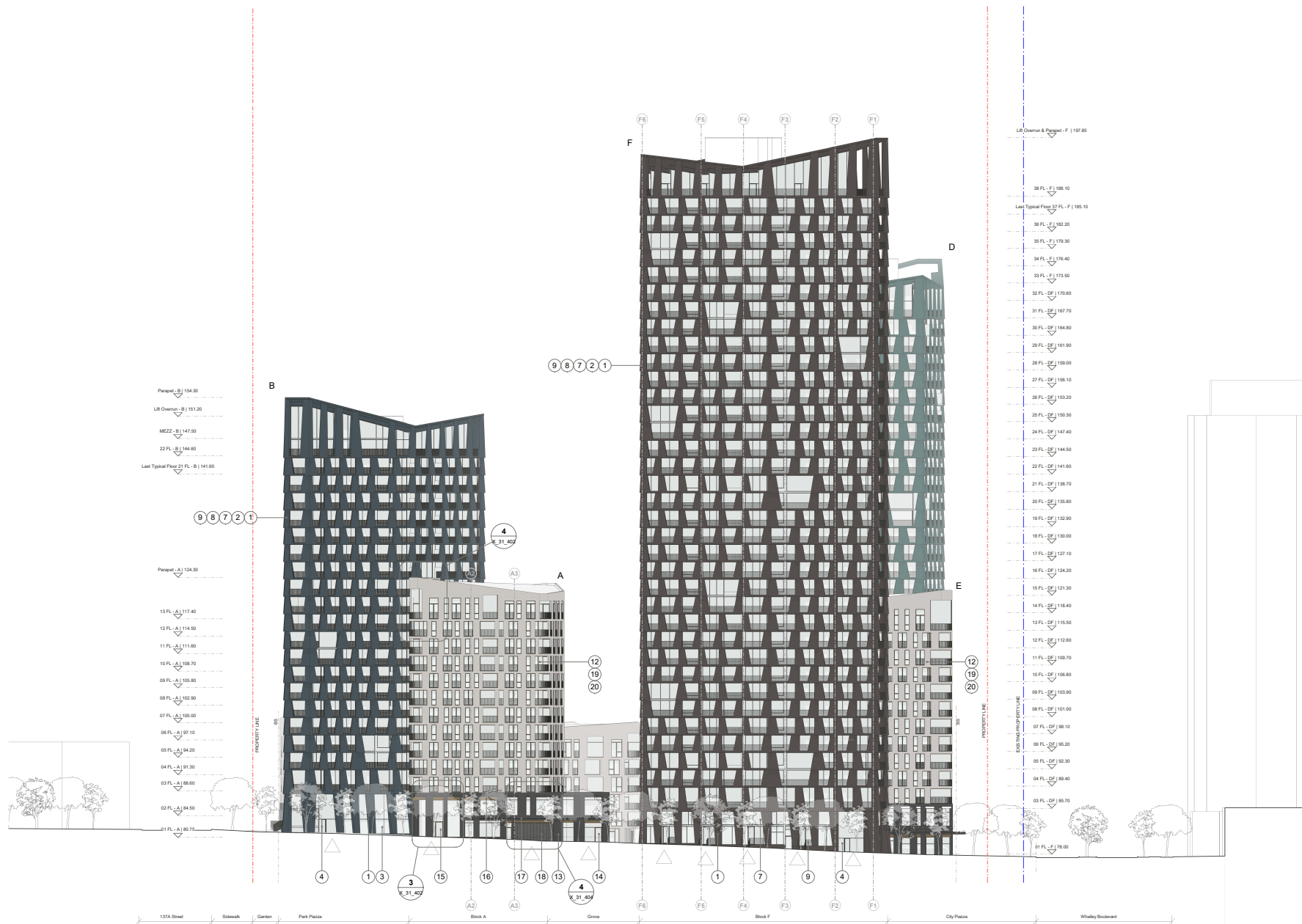
Block E

Grass

Block D

Sidewalk

101 Avenue

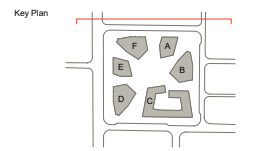


- Notes
- Elevation materials
- Aluminium cladding panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
 - Aluminium detached panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
 - Towers commercial / amenity glazing:
 - Aluminium window frames, black metallic finish
 - Towers recessed residential entrance:
 - Aluminium window frames, black metallic finish
 - Signage band / Commercial ventilation for Towers
 - Canopy for Towers
 - Tower window:
 - Tower D: Dark Green Metallic finish, with glass roof
 - Recessed window wall / balcony:
 - Aluminium window frames, black metallic finish
 - Tower window:
 - Aluminium window frames, black metallic finish
 - Flat bar steel balustrade, black metallic finish
 - Ventilation Panel for Towers
 - Building Lighting for Towers
 - Brick blend masonry / light beige / buff colour
 - Mid-rise buildings commercial / amenity cladding:
 - Aluminium metal cladding, gunmetal grey metallic finish
 - Mid-rise buildings commercial / amenity glazing:
 - Aluminium window frames, champagne metallic finish
 - Mid-rise buildings recessed residential entrance:
 - Aluminium window frames, champagne metallic finish
 - Signage band / commercial ventilation for Mid-rise buildings
 - Canopy for mid-rise buildings:
 - Gunmetal grey metallic finish, with glass roof
 - Parkade gates:
 - Flat bar steel railing, gunmetal grey metallic finish
 - Aluminium window frames, champagne metallic finish
 - Flat bar steel balustrade, champagne metallic finish
 - Residential porch:
 - Block C: aluminium panels, dark blue metallic finish
 - Ventilation Panel for Mid-rise buildings
 - Building Lighting for Mid-rise buildings
 - Metal soffit to match metal cladding
 - Metal soffit to match window frames, champagne metallic finish
 - White painted concrete finish

Rev	Date	Description
4	2011/19	Rezoning & Development Permit
3	23/08/19	ADP Response
2	15/05/19	Submission to ADP
1	20/12/18	RZ & DP Drawing Submission

Note

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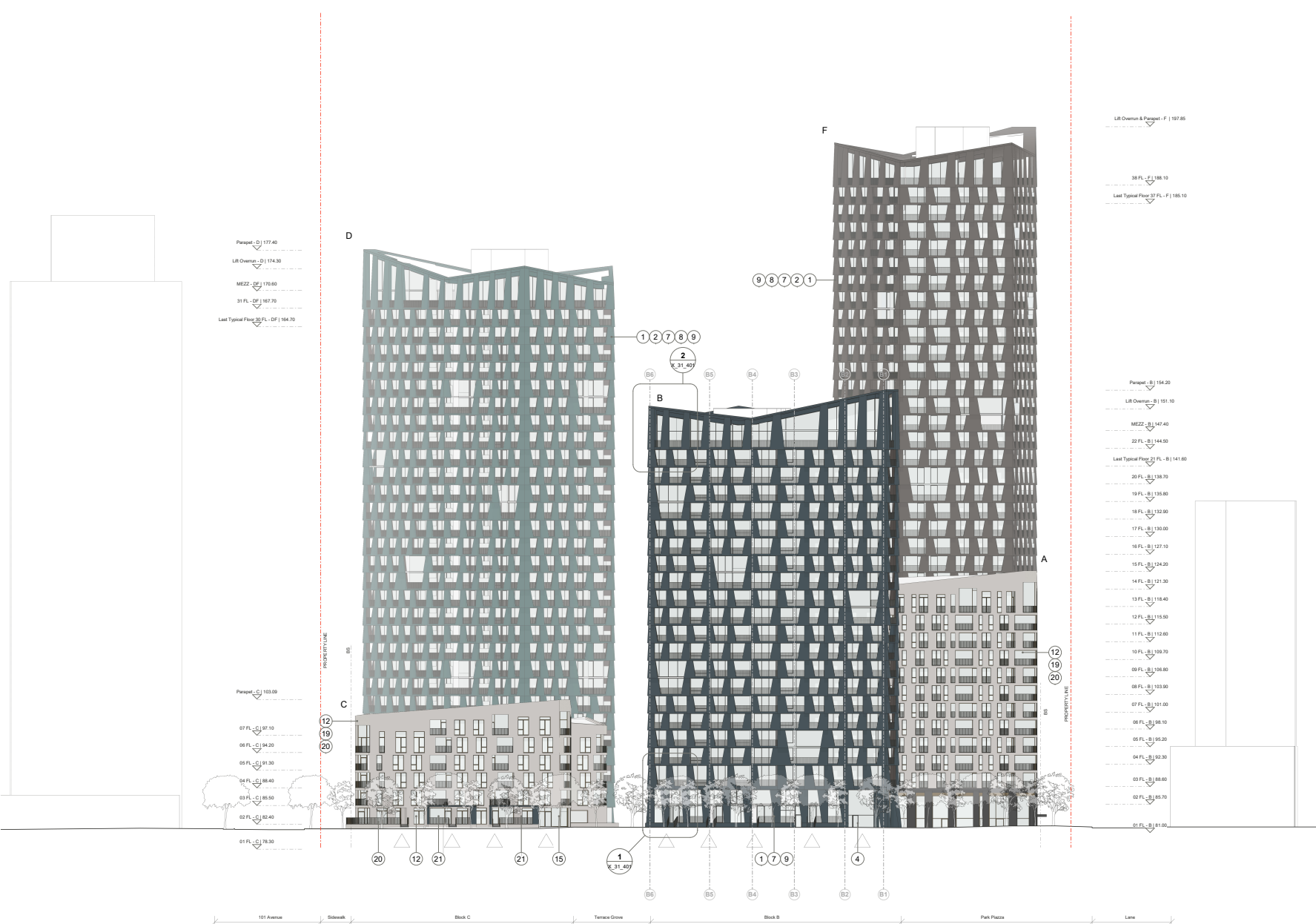
Project:
Soccliff, 10138 Whalley Blvd
 City of Surrey File No. 7918-0289-00
 Client:
Rize Atteler (WLY) Properties Ltd

Project Number: **2463** Status: **Rezoning & Development Permit**

Drawing Title:
Elevation North

Date: **21/11/2019 09:58:07** Drawn: **JP**
 Scale: **1:300** @ANSI D Checked: **NC**

Drawing No: **2463_ABA_X_10_303** Rev: **4**

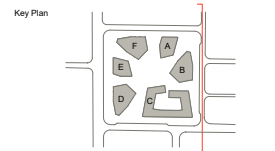


- Notes
- Elevation materials
- Aluminium cladding panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
 - Aluminium detached panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
 - Towers commercial / amenity glazing:
 - Aluminium window frames, black metallic finish
 - Towers recessed residential entrance:
 - Aluminium window frames, black metallic finish
 - Signage band / Commercial ventilation for Towers
 - Canopy for Towers
 - Tower D: Dark Green Metallic finish, with glass roof
 - Recessed window wall / balcony
 - Aluminium window frames, black metallic finish
 - Tower window
 - Aluminium window frames, black metallic finish
 - Flat bar steel balustrade, black metallic finish
 - Ventilation Panel for Towers
 - Building Lighting for Towers
 - Brick blend masonry / light beige / buff colour
 - Mid-rise buildings commercial / amenity cladding:
 - Aluminium metal cladding, gunmetal grey metallic finish
 - Mid-rise buildings commercial / amenity glazing
 - Aluminium window frames, champagne metallic finish
 - Mid-rise buildings recessed residential entrance:
 - Aluminium window frames, champagne metallic finish
 - Signage band / commercial ventilation for Mid-rise buildings
 - Canopy for mid-rise buildings
 - Gunmetal grey metallic finish, with glass roof
 - Parkade gates:
 - Flat bar steel railing, gunmetal grey metallic finish
 - Aluminium window frames, champagne metallic finish
 - Flat bar steel balustrade, champagne metallic finish
 - Residential porch:
 - Block C: aluminium panels, dark blue metallic finish
 - Ventilation Panel for Mid-rise buildings
 - Building Lighting for Mid-rise buildings
 - Metal soffit to match metal cladding
 - Metal soffit to match window frames, champagne metallic finish
 - White painted concrete finish

Rev	Date	Description
4	2011/1/19	Reasoning & Development Permit
3	23/08/19	ADP Response
2	15/05/19	Submission to ADP
1	20/12/18	RZ & DP Drawing Submission

Note

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Project:
Saociff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00

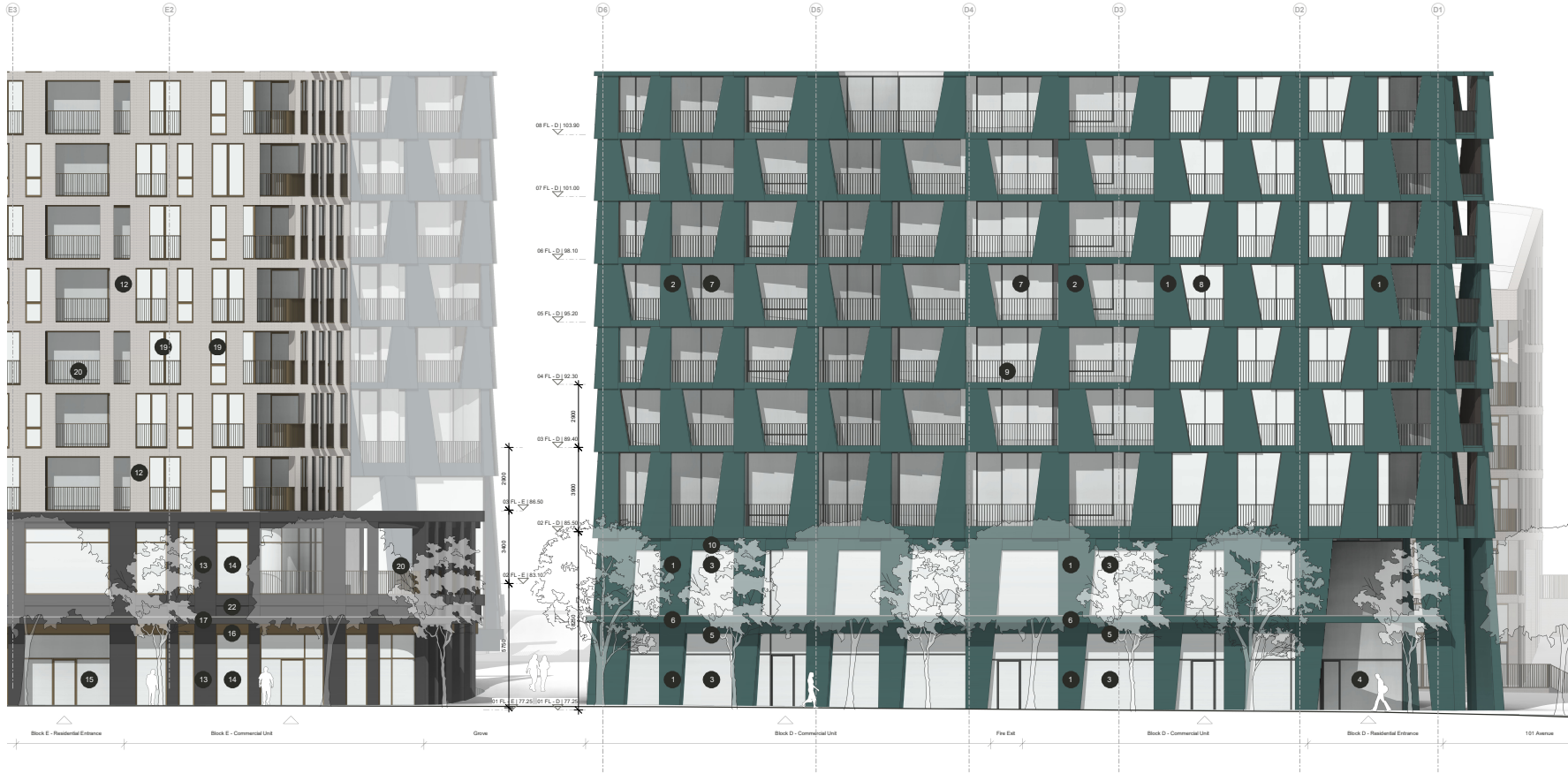
Client:
Rize Ateller (WLY) Properties Ltd

Project Number: **2463** Status: **Rezoning & Development Permit**

Drawing Title:
Elevation East

Date: **21/11/2019 09:59:28** Drawn: **JP**
 Scale: **1:300** @ANSI D Checked: **NC**

Drawing No: **2463_ABA_X_10_304** Rev: **4**



1 Ground Level Elevation - Whalley Blvd
1:100

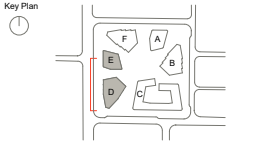
Notes

Elevation materials

1. Aluminium cladding panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
2. Aluminium detached panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
3. Towers commercial / amenity glazing:
 - Aluminium window frames, black metallic finish
4. Towers recessed residential entrance:
 - Aluminium window frames, black metallic finish
5. Signage band / Commercial ventilation for Towers
6. Canopy for Towers
 - Tower D: Dark Green Metallic finish, with glass roof
7. Recessed window wall / balcony
 - Aluminium window frames, black metallic finish
8. Tower window
 - Aluminium window frames, black metallic finish
9. Flat bar steel balustrade, black metallic finish
10. Ventilation Panel for Towers
11. Building Lighting for Towers
12. Brick blend masonry light beige / buff colour
13. Mid-rise buildings commercial / amenity cladding:
 - Aluminium metal cladding, gunmetal grey metallic finish
14. Mid-rise buildings commercial / amenity glazing
 - Aluminium window frames, champagne metallic finish
15. Mid-rise buildings recessed residential entrance:
 - Aluminium window frames, champagne metallic finish
16. Signage band / commercial ventilation for Mid-rise buildings
17. Canopy for mid-rise buildings
 - Gunmetal grey metallic finish, with glass roof
18. Parkade gates
 - Flat bar steel railing, gunmetal grey metallic finish
19. Aluminium window frames, champagne metallic finish
20. Flat bar steel balustrade, champagne metallic finish
21. Residential porch:
 - Block C: aluminium panels, dark blue metallic finish
22. Ventilation Panel for Mid-rise buildings
23. Building Lighting for Mid-rise buildings
24. Metal soffit to match metal cladding
25. Metal soffit to match window frames, champagne metallic finish
26. White painted concrete finish

Rev	Date	Description
3	2011/19	Reasoning & Development Permit
2	23/08/19	ADP Response
1	15/05/19	Submission to ADP

Note
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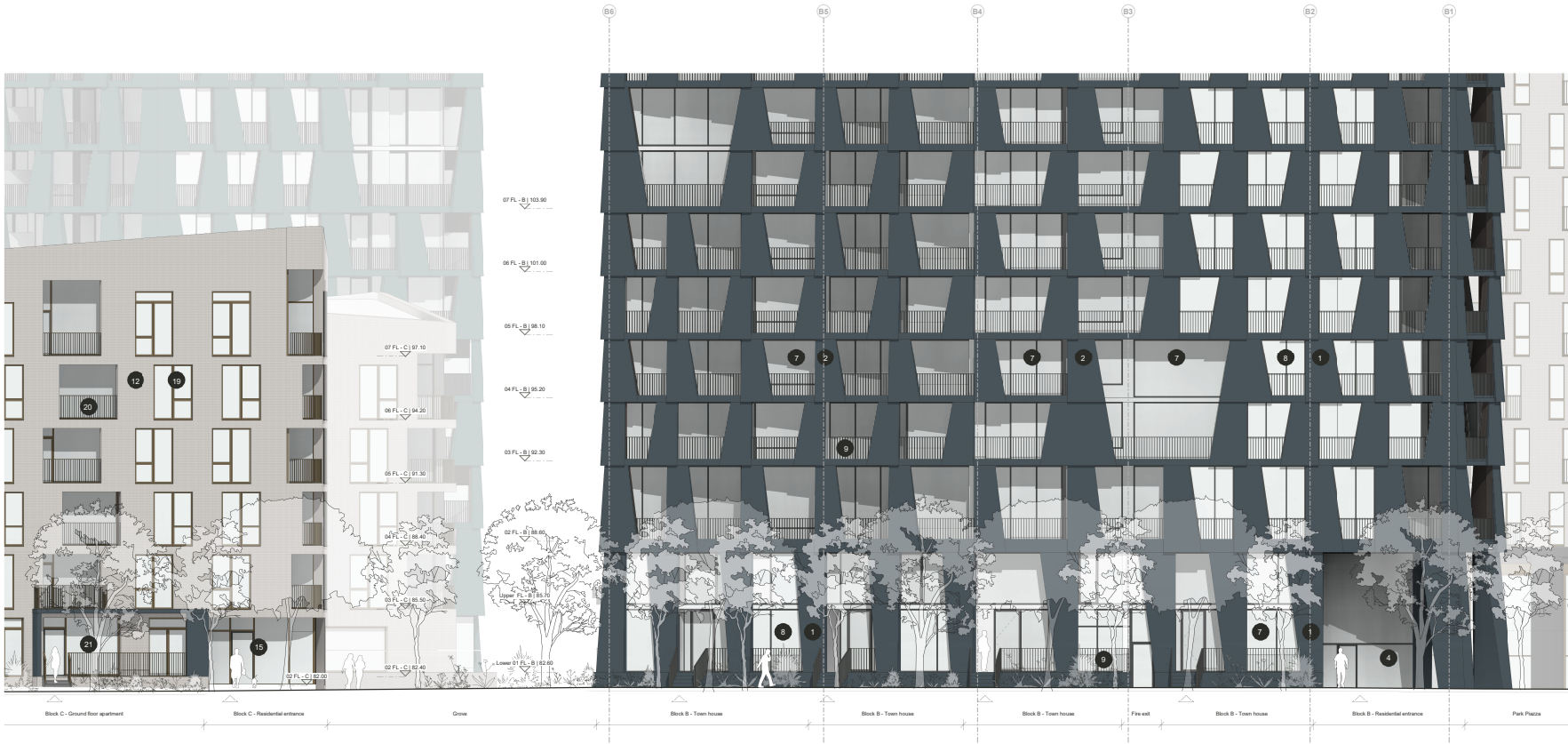
Project:
Soaciff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00
Client:
Rize Atelier (WLY) Properties Ltd

Project Number: **2463** Status: **Rezoning & Development Permit**

Drawing Title:
Ground Level Elevation - Whalley Blvd

Date: **21/11/2019 11:41:11** Drawn: **RR**
Scale: **1:100 @ANSI D** Checked: **NC**

Drawing No: **2463_ABA_X_20_301** Rev: **3**



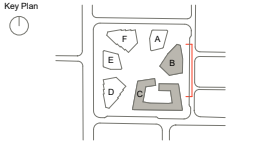
1 Elevation East Street Frontage
1 : 100

Notes

- Elevation materials
- Aluminium cladding panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
 - Aluminium detached panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
 - Towers commercial / amenity glazing:
 - Aluminium window frames, black metallic finish
 - Towers recessed residential entrance:
 - Aluminium window frames, black metallic finish
 - Signage band / commercial ventilation for Towers
 - Canopy for Towers
 - Tower D: Dark Green Metallic finish, with glass roof
 - Recessed window wall / balcony
 - Aluminium window frames, black metallic finish
 - Tower window
 - Aluminium window frames, black metallic finish
 - Flat bar steel balustrade, black metallic finish
 - Ventilation Panel for Towers
 - Brick blend masonry light beige / buff colour
 - Mid-rise buildings commercial / amenity cladding:
 - Aluminium metal cladding, gunmetal grey metallic finish
 - Mid-rise buildings commercial / amenity glazing
 - Aluminium window frames, champagne metallic finish
 - Mid-rise buildings recessed residential entrance:
 - Aluminium window frames, champagne metallic finish
 - Signage band / commercial ventilation for Mid-rise buildings
 - Canopy for mid-rise buildings
 - Gunmetal grey metallic finish, with glass roof
 - Parkade gates:
 - Flat bar steel railing, gunmetal grey metallic finish
 - Aluminium window frames, champagne metallic finish
 - Flat bar steel balustrade, champagne metallic finish
 - Residential porch:
 - Block C: aluminium panels, dark blue metallic finish
 - Ventilation Panel for Mid-rise buildings
 - Building Lighting for Mid-rise buildings
 - Metal soffit to match window frames, champagne metallic finish
 - White painted concrete finish

Rev	Date	Description
3	2011/19	Reasoning & Development Permit
2	23/08/19	ADP Response
1	15/05/19	Submission to ADP

Note
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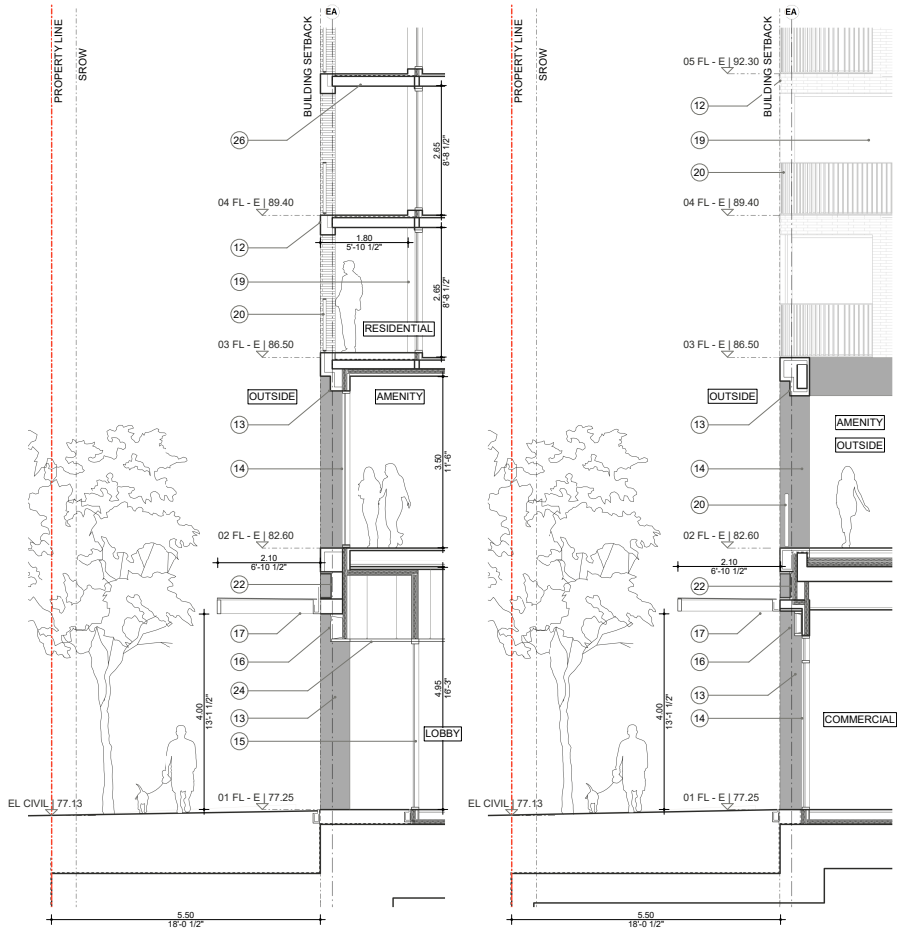
Project:
Soaciff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00
Client:
Rize Ateller (WLY) Properties Ltd

Project Number: **2463** Status: **Rezoning & Development Permit**

Drawing Title:
Ground Level Elevation - Townhouses

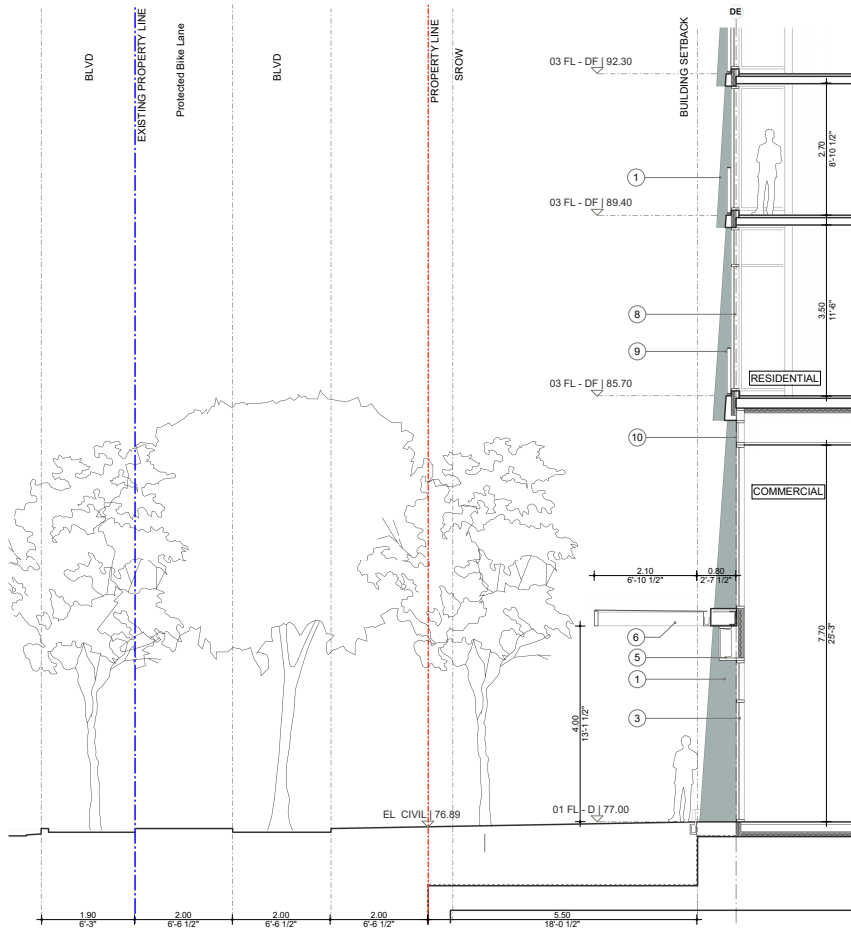
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Drawing No: **2463_ABA_X_20_302** Rev: **3**



1 Detailed Street Section 1 - Whalley Blvd
1: 50

2 Detailed Street Section 2 - Whalley Blvd
1: 50



3 Detailed Street Section 3 - Whalley Blvd
1: 50

Notes

Elevation materials

- Aluminium cladding panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
- Aluminium detached panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
- Towers commercial / amenity glazing:
 - Aluminium window frames, black metallic finish
 - Aluminium window frames, black metallic finish
- Towers recessed residential entrance:
 - Aluminium window frames, black metallic finish
 - Signage band / commercial ventilation for Towers
- Canopy for Towers
 - Tower D: Dark Green Metallic finish, with glass roof
- Recessed window wall / balcony
 - Aluminium window frames, black metallic finish
- Tower window
 - Aluminium window frames, black metallic finish
- Flat bar steel balustrade, black metallic finish
- Ventilation Panel for Towers
- Building Lighting for Towers
- Brick blend masonry light beige / buff colour
- Mid-rise buildings commercial / amenity cladding:
 - Aluminium metal cladding, gunmetal grey metallic finish
- Mid-rise buildings commercial / amenity glazing
 - Aluminium window frames, champagne metallic finish
- Mid-rise buildings recessed residential entrance:
 - Aluminium window frames, champagne metallic finish
- Signage band / commercial ventilation for Mid-rise buildings
- Canopy for mid-rise buildings
 - Gunmetal grey metallic finish, with glass roof
- Parkade gates:
 - Flat bar steel railing, gunmetal grey metallic finish
- Aluminium window frames, champagne metallic finish
- Flat bar steel balustrade, champagne metallic finish
- Residential porch:
 - Block C: aluminium panels, dark blue metallic finish
- Ventilation Panel for Mid-rise buildings
- Building Lighting for Mid-rise buildings
- Metal soffit to match window frames, champagne metallic finish
- White painted concrete finish

NOTE Refer to Landscape Architect and Civil Drawings for Landscape Details and Site Lighting

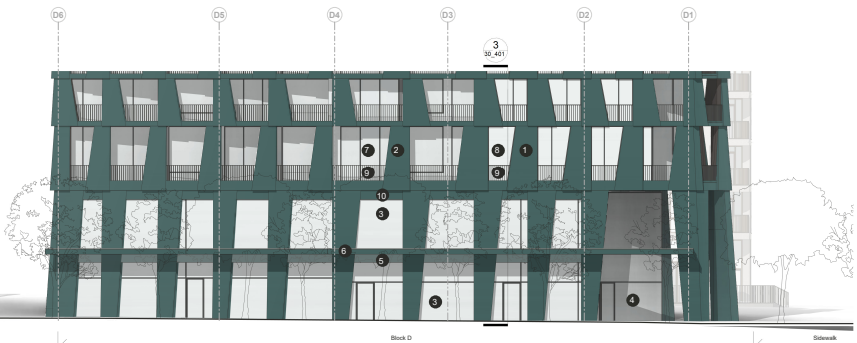
Rev	Date	Description
3	2011/1/19	Reasoning & Development Permit
2	16/09/19	City Comments to ADP response
1	23/08/19	ADP Response

Note

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Key Plan

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Project:
Soacliff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00

Client:
Rize Ateller (WLY) Properties Ltd

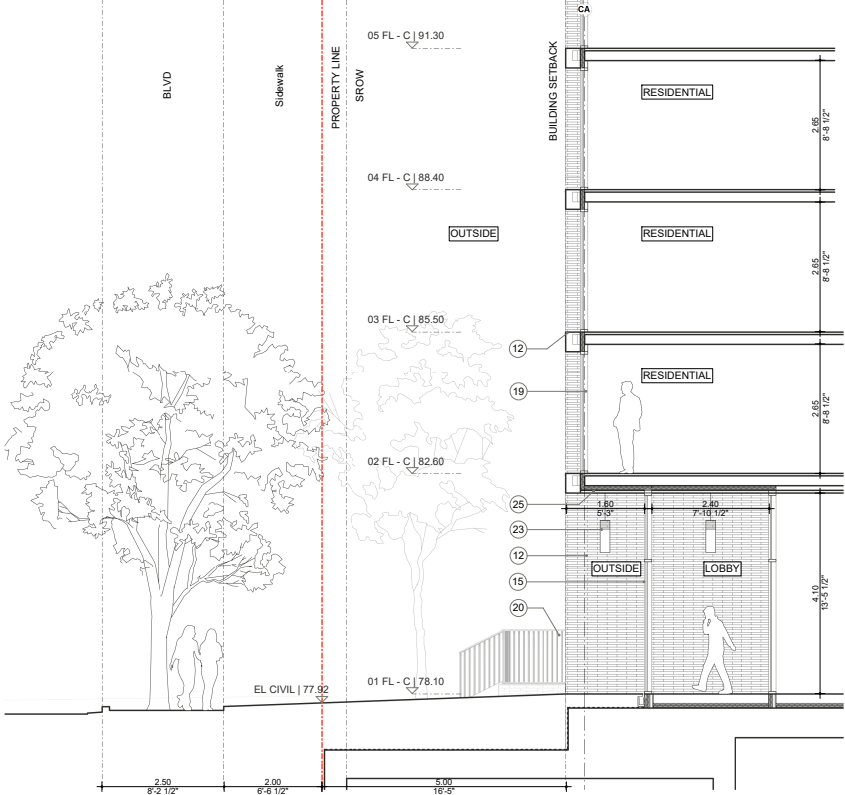
Project Number: 2463 **Status:** Rezoning & Development Permit

Drawing Title: Detailed Street Sections - Whalley Blvd

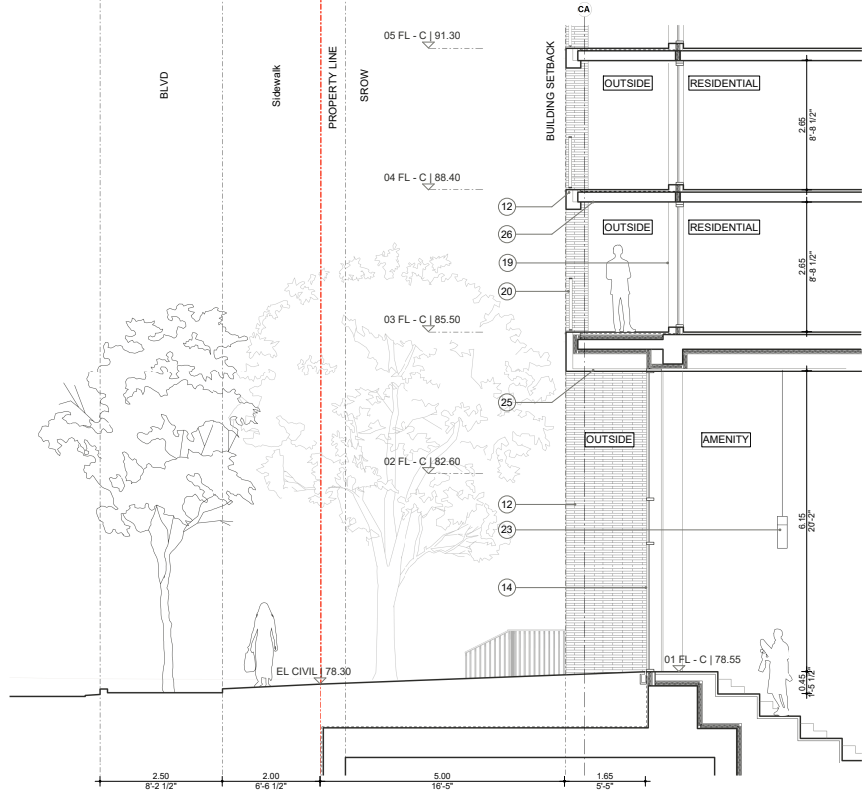
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Drawing No: 2463_ABA_X_30_401 **Rev:** 3

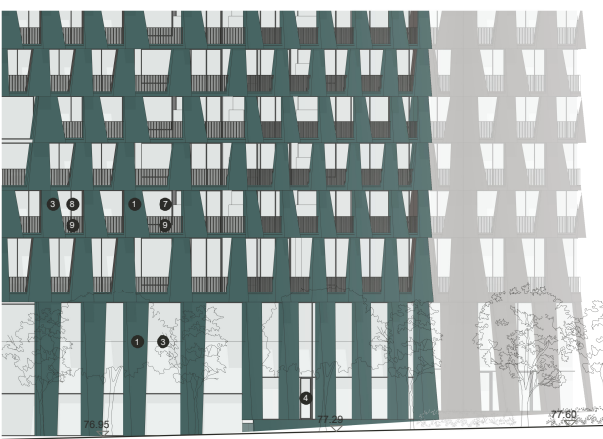
101 Avenue



4 Detailed Street Section 4 - 101 Av
1:50



5 Detailed Street Section 5 - 101 Av
1:50



- Notes
- Elevation materials
- Aluminium cladding panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
 - Aluminium detached panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
 - Towers commercial / amenity glazing:
 - Aluminium window frames, black metallic finish
 - Towers recessed residential entrance:
 - Aluminium window frames, black metallic finish
 - Signage band / Commercial ventilation for Towers
 - Canopy for Towers
 - Tower D: Dark Green Metallic finish, with glass roof
 - Recessed window wall / balcony
 - Aluminium window frames, black metallic finish
 - Tower window
 - Aluminium window frames, black metallic finish
 - Flat bar steel balustrade, black metallic finish
 - Ventilation Panel for Towers
 - Building Lighting for Towers
 - Brick blend masonry: light beige / buff colour
 - Mid-rise buildings commercial / amenity cladding:
 - Aluminium metal cladding, gunmetal grey metallic finish
 - Mid-rise buildings commercial / amenity glazing:
 - Aluminium window frames, champagne metallic finish
 - Mid-rise buildings recessed residential entrance:
 - Aluminium window frames, champagne metallic finish
 - Signage band / Commercial ventilation for Mid-rise buildings
 - Canopy for mid-rise buildings
 - Parkade gates:
 - Gunmetal grey metallic finish, with glass roof
 - Flat bar steel railing, gunmetal grey metallic finish
 - Aluminium window frames, champagne metallic finish
 - Flat bar steel balustrade, champagne metallic finish
 - Residential porch:
 - Block C: aluminium panels, dark blue metallic finish
 - Ventilation Panel for Mid-rise buildings
 - Building Lighting for Mid-rise buildings
 - Metal soffit to match window frames, champagne metallic finish
 - White painted concrete finish

NOTE Refer to Landscape Architect and Civil Drawings for Landscape Details and Site Lighting

Rev	Date	Description
3	2011/1/9	Reasoning & Development Permit
2	16/09/19	City Comments to ADP response
1	23/08/19	ADP Response

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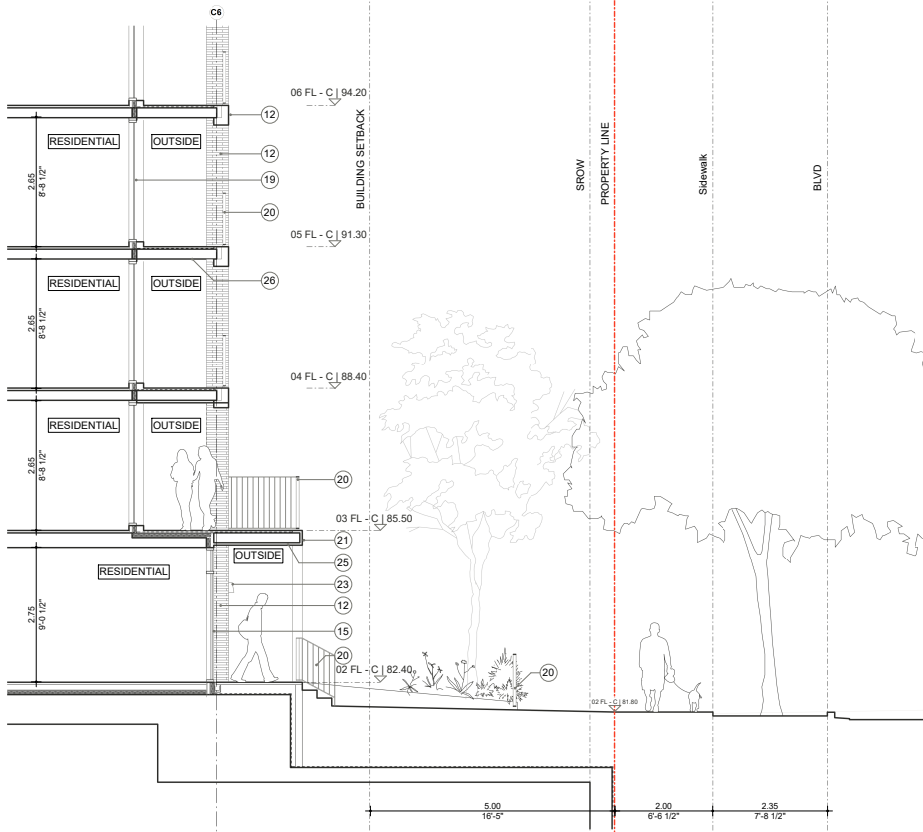
Project:
Saociff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00
Client:
Rize Atelier (WLY) Properties Ltd

Project Number: **2463** Status: **Rezoning & Development Permit**

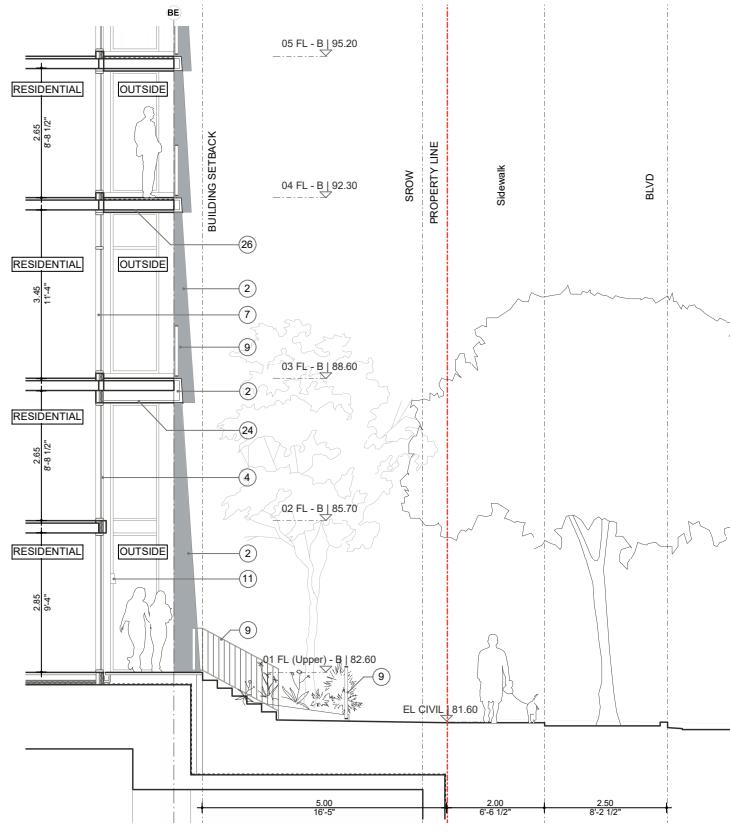
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Detailed Street Sections - 101 Av

Date: **21/11/2019 11:53:23** Drawn: **JV**
Scale: **As indicated**/ANSI D Checked: **RR**

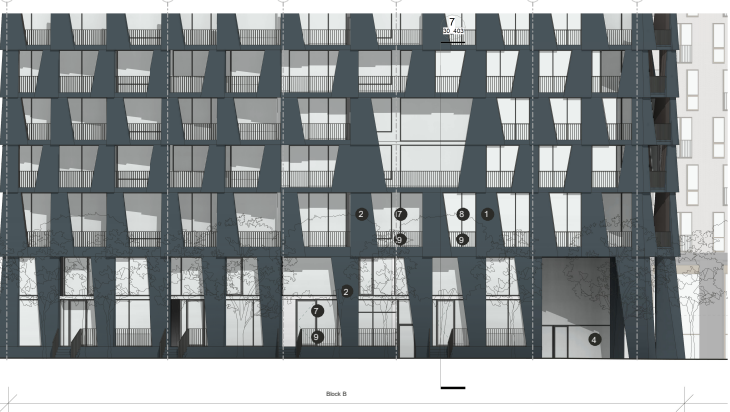
Drawing No: **2463_ABA_X_30_402** Rev: **3**



6 Detailed Street Section 6 - 137A Street
1 : 50



7 Detailed Street Section 7 - 137A Street
1 : 50

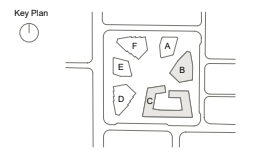


- Notes**
- Elevation materials
- Aluminium cladding panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
 - Aluminium detached panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
 - Towers commercial / amenity glazing:
 - Aluminium window frames, black metallic finish
 - Towers recessed residential entrance:
 - Aluminium window frames, black metallic finish
 - Signage band / Commercial ventilation for Towers
 - Canopy for Towers
 - Tower D: Dark Green Metallic finish, with glass roof
 - Recessed window wall / balcony
 - Aluminium window frames, black metallic finish
 - Tower window
 - Aluminium window frames, black metallic finish
 - Flat bar steel balustrade, black metallic finish
 - Ventilation Panel for Towers
 - Building Lighting for Towers
 - Brick blend masonry: light beige / buff colour
 - Mid-rise buildings commercial / amenity cladding:
 - Aluminium metal cladding, gunmetal grey metallic finish
 - Mid-rise buildings commercial / amenity glazing
 - Aluminium window frames, champagne metallic finish
 - Mid-rise buildings recessed residential entrance:
 - Aluminium window frames, champagne metallic finish
 - Signage band / commercial ventilation for Mid-rise buildings
 - Canopy for mid-rise buildings
 - Gunmetal grey metallic finish, with glass roof
 - Parkade gates:
 - Flat bar steel railing, gunmetal grey metallic finish
 - Aluminium window frames, champagne metallic finish
 - Flat bar steel balustrade, champagne metallic finish
 - Residential porch:
 - Block C: aluminium panels, dark blue metallic finish
 - Ventilation Panel for Mid-rise buildings
 - Building Lighting for Mid-rise buildings
 - Metal soffit to match metal cladding
 - Metal soffit to match window frames, champagne metallic finish
 - White painted concrete finish

NOTE Refer to Landscape Architect and Civil Drawings for Landscape Details and Site Lighting

Rev	Date	Description
3	2011/19	Reasoning & Development Permit
2	16/09/19	City Comments to ADP response
1	23/08/19	ADP Response

Note
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Project:
Soaciff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00

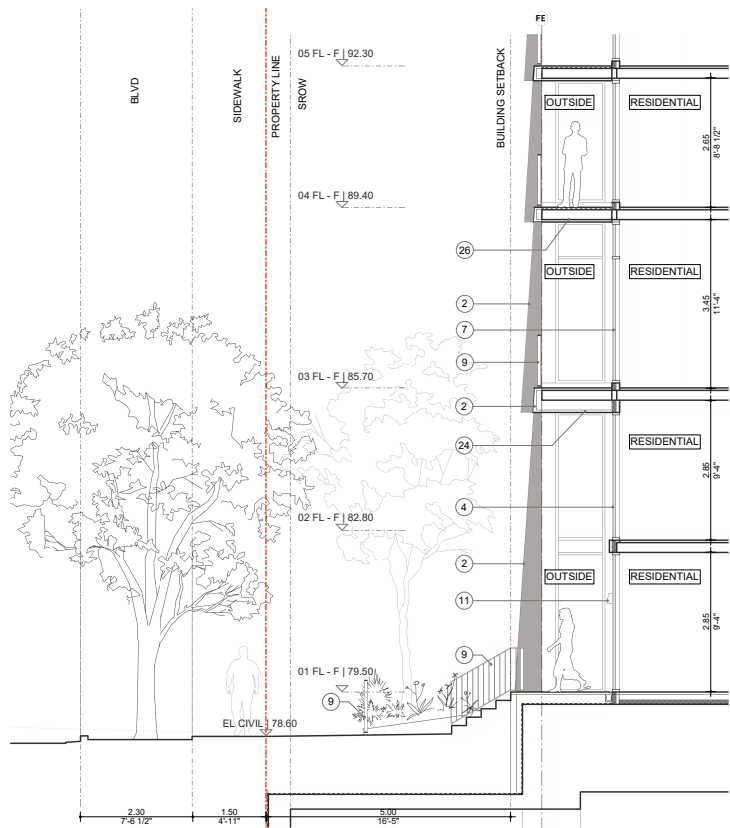
Client:
Rize Ateller (WLY) Properties Ltd

Project Number: 2463
Status: Rezoning & Development Permit

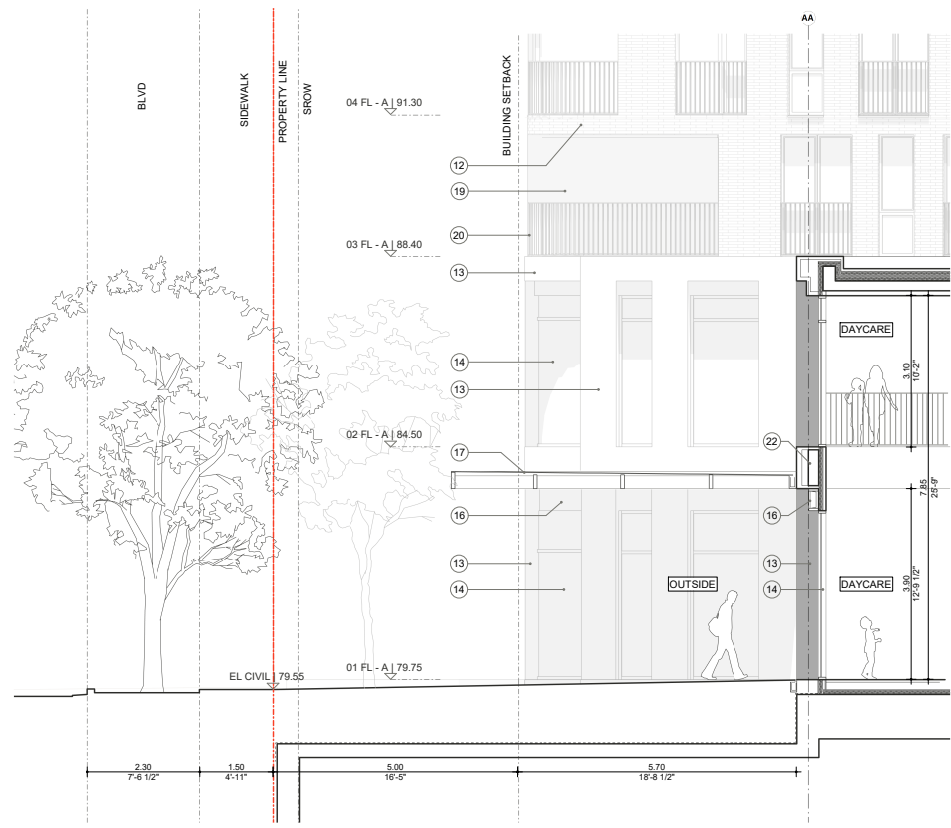
Drawing Title:
Detailed Street Sections - 137A Street

Date: 21/11/2019 11:57:53
Scale: As indicated/ANSI D
Drawn: JV
Checked: RR

Drawing No: 2463_ABA_X_30_403
Rev: 3



8 Detailed Street Section 8 - Lane
1:50



9 Detailed Street Section 9 - Lane
1:50



- Notes**
- Elevation materials
- Aluminium cladding panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
 - Aluminium detached panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
 - Towers commercial / amenity glazing:
 - Aluminium window frames, black metallic finish
 - Towers recessed residential entrance:
 - Aluminium window frames, black metallic finish
 - Signage band / commercial ventilation for Towers
 - Canopy for Towers
 - Tower D: Dark Green Metallic finish, with glass roof
 - Towers recessed residential entrance:
 - Aluminium window frames, black metallic finish
 - Tower window
 - Aluminium window frames, black metallic finish
 - Flat bar steel balustrade, black metallic finish
 - Ventilation Panel for Towers
 - Building Lighting for Towers
 - Brick blend masonry light beige / buff colour
 - Mid-rise buildings commercial / amenity cladding:
 - Aluminium metal cladding, gunmetal grey metallic finish
 - Mid-rise buildings commercial / amenity glazing:
 - Aluminium window frames, champagne metallic finish
 - Mid-rise buildings recessed residential entrance:
 - Aluminium window frames, champagne metallic finish
 - Signage band / commercial ventilation for Mid-rise buildings
 - Canopy for mid-rise buildings
 - Gunmetal grey metallic finish, with glass roof
 - Parkade gates:
 - Flat bar steel railing, gunmetal grey metallic finish
 - Aluminium window frames, champagne metallic finish
 - Flat bar steel balustrade, champagne metallic finish
 - Residential porch:
 - Block C: aluminium panels, dark blue metallic finish
 - Ventilation Panel for Mid-rise buildings
 - Building Lighting for Mid-rise buildings
 - Metal soffit to match metal cladding
 - Metal soffit to match window frames, champagne metallic finish
 - White painted concrete finish

NOTE Refer to Landscape Architect and Civil Drawings for Landscape Details and Site Lighting

Rev	Date	Description
3	2011/19	Reasoning & Development Permit
2	16/09/19	City Comments to ADP response
1	23/08/19	ADP Response

Note

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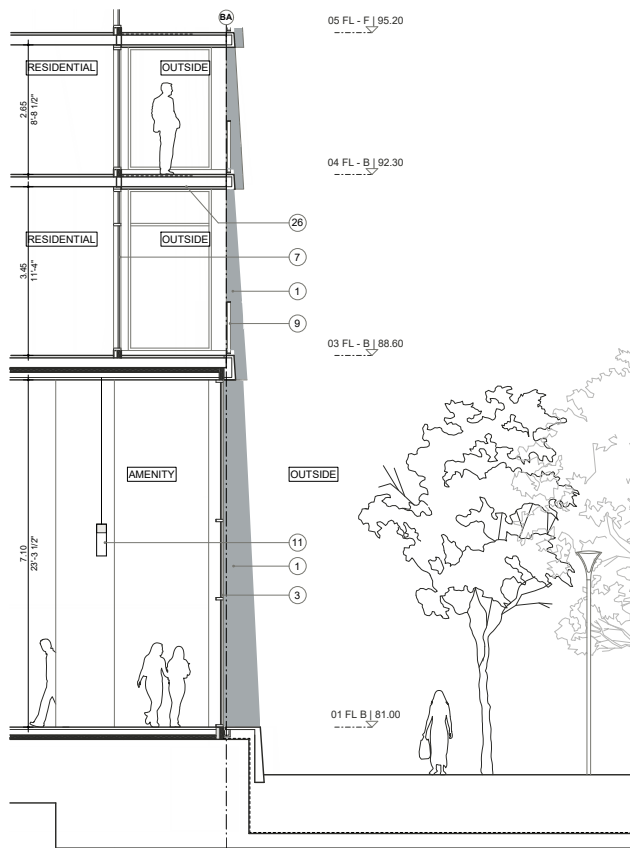
Project:
Soacifl, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00
Client:
Rize Atelier (WLY) Properties Ltd

Project Number: 2463 **Status:** Rezoning & Development Permit

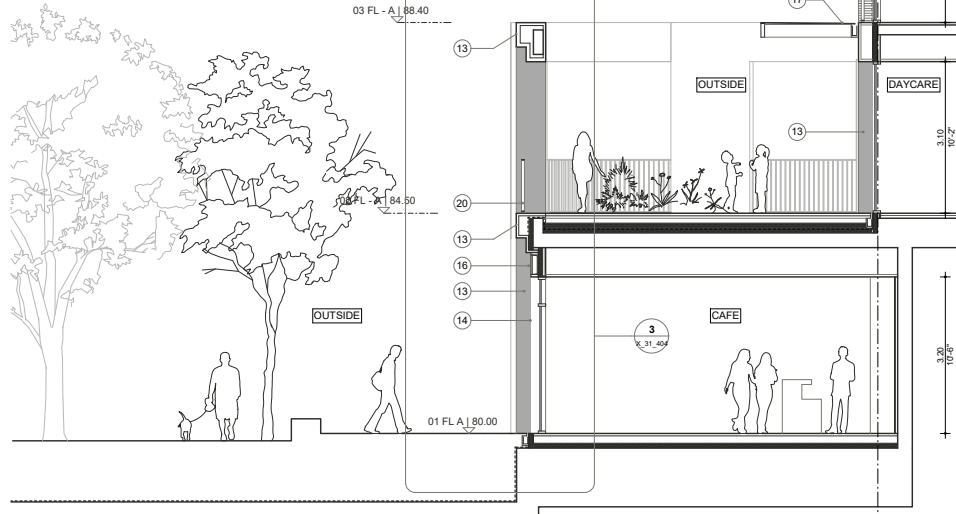
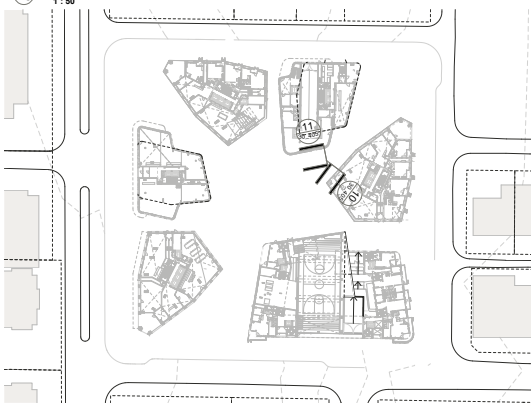
Drawing Title: Detailed Street Sections - Lane

Date: 21/11/2019 12:03:08 **Drawn:** JV
Scale: As indicated @ ANSI D **Checked:** RR

Drawing No: 2463_ABA_X_30_404 **Rev:** 3



10 Detailed Street Section 10 - Passage
1 : 50



11 Detailed Street Section 11 - Passage
1 : 50

Notes

Elevation materials

1. Aluminium cladding panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
2. Aluminium detached panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
3. Towers commercial / amenity glazing:
 - Aluminium window frames, black metallic finish
4. Towers recessed residential entrance:
 - Aluminium window frames, black metallic finish
5. Signage band / Commercial ventilation for Towers
6. Canopy for Towers
7. Tower D: Dark Green Metallic finish, with glass roof
7. Recessed window wall / balcony
 - Aluminium window frames, black metallic finish
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 - Aluminium window frames, black metallic finish
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10. Ventilation Panel for Towers
11. Building Lighting for Towers
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13. Mid-rise buildings commercial / amenity cladding:
 - Aluminium metal cladding, gunmetal grey metallic finish
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15. Mid-rise buildings recessed residential entrance:
 - Aluminium window frames, champagne metallic finish
16. Signage band / commercial ventilation for Mid-rise buildings
17. Canopy for mid-rise buildings
 - Gunmetal grey metallic finish, with glass roof
18. Parkade gates:
 - Flat bar steel railing, gunmetal grey metallic finish
19. Aluminium window frames, champagne metallic finish
20. Flat bar steel balustrade, champagne metallic finish
21. Residential porch:
 - Block C: aluminium panels, dark blue metallic finish
22. Ventilation Panel for Mid-rise buildings
23. Building Lighting for Mid-rise buildings
24. Metal soffit to match metal cladding
25. Metal soffit to match window frames, champagne metallic finish
26. White painted concrete finish

NOTE Refer to Landscape Architect and Civil Drawings for Landscape Details and Site Lighting

Rev	Date	Description
3	2011/19	Reasoning & Development Permit
2	16/09/19	City Comments to ADP response
1	23/08/19	ADP Response

Note

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Key Plan



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Project:
Soacliff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00

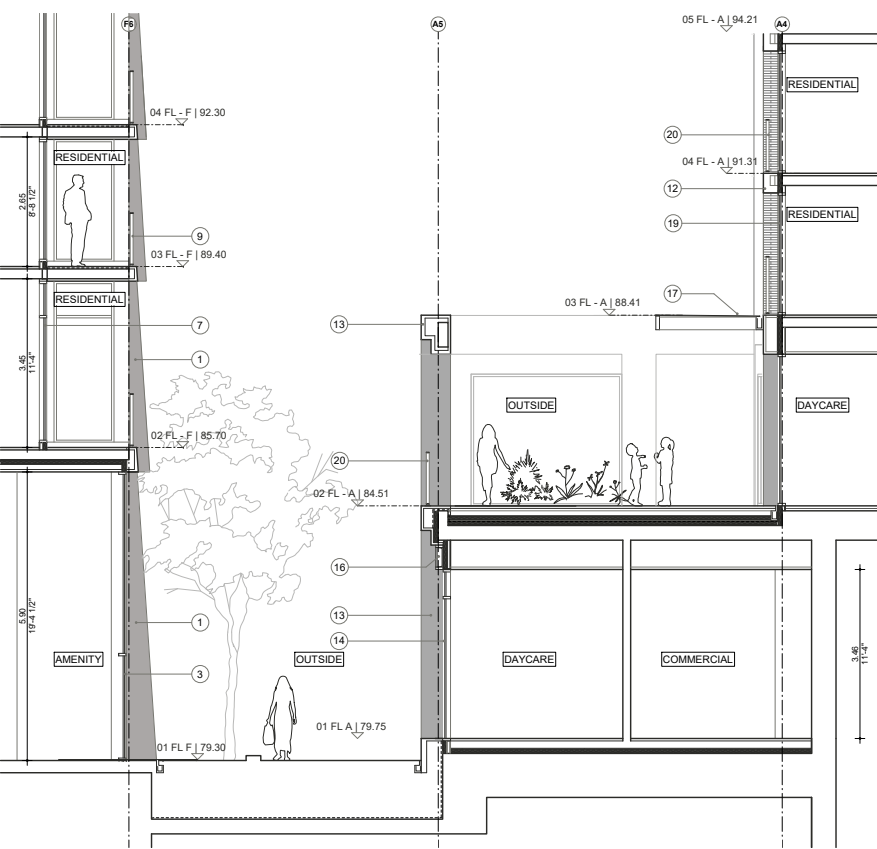
Client:
Rize Atelier (WLY) Properties Ltd

Project Number: **2463** Status: **Rezoning & Development Permit**

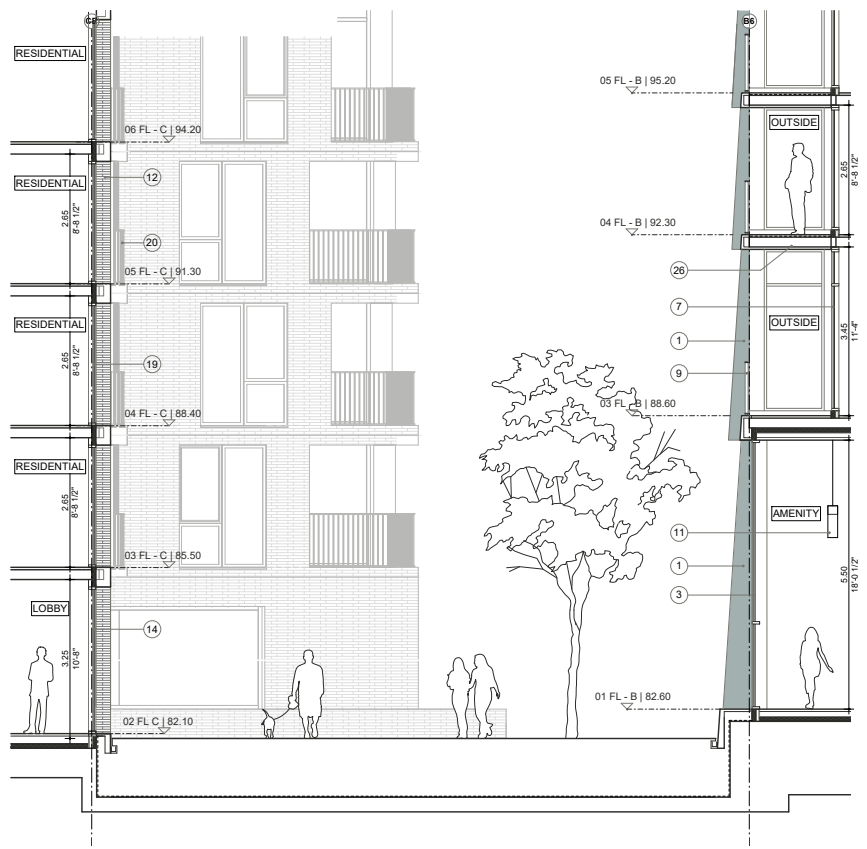
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Date: **21/11/2019 12:03:57** Drawn: **JV**
Scale: **As indicated@ANSI D** Checked: **RR**

Drawing No: **2463_ABA_X_30_405** Rev: **3**



12 Detailed Street Section 12 - Groves
1:50



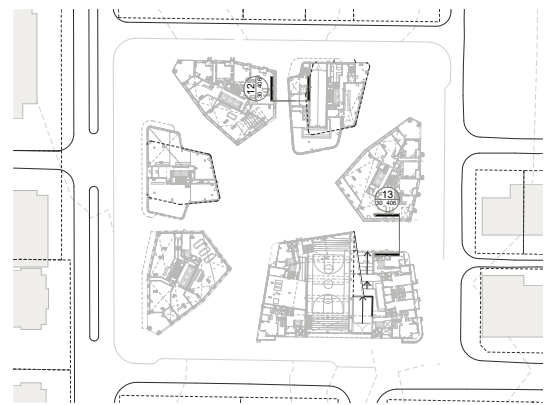
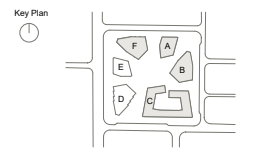
13 Detailed Street Section 13 - Groves
1:50

- Notes
- Elevation materials
- Aluminium cladding panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
 - Aluminium detached panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
 - Towers commercial / amenity glazing:
 - Aluminium window frames, black metallic finish
 - Towers recessed residential entrance:
 - Aluminium window frames, black metallic finish
 - Signage band / commercial ventilation for Towers
 - Canopy for Towers
 - Tower D: Dark Green Metallic finish, with glass roof
 - Tower window
 - Aluminium window frames, black metallic finish
 - Flat bar steel balustrade, black metallic finish
 - Ventilation Panel for Towers
 - Building Lighting for Towers
 - Brick blend masonry, light beige / buff colour
 - Mid-rise buildings commercial / amenity cladding:
 - Aluminium metal cladding, gunmetal grey metallic finish
 - Mid-rise buildings commercial / amenity glazing
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NOTE Refer to Landscape Architect and Civil Drawings for Landscape Details and Site Lighting

Rev	Date	Description
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City of Surrey File No. 7918-0289-00

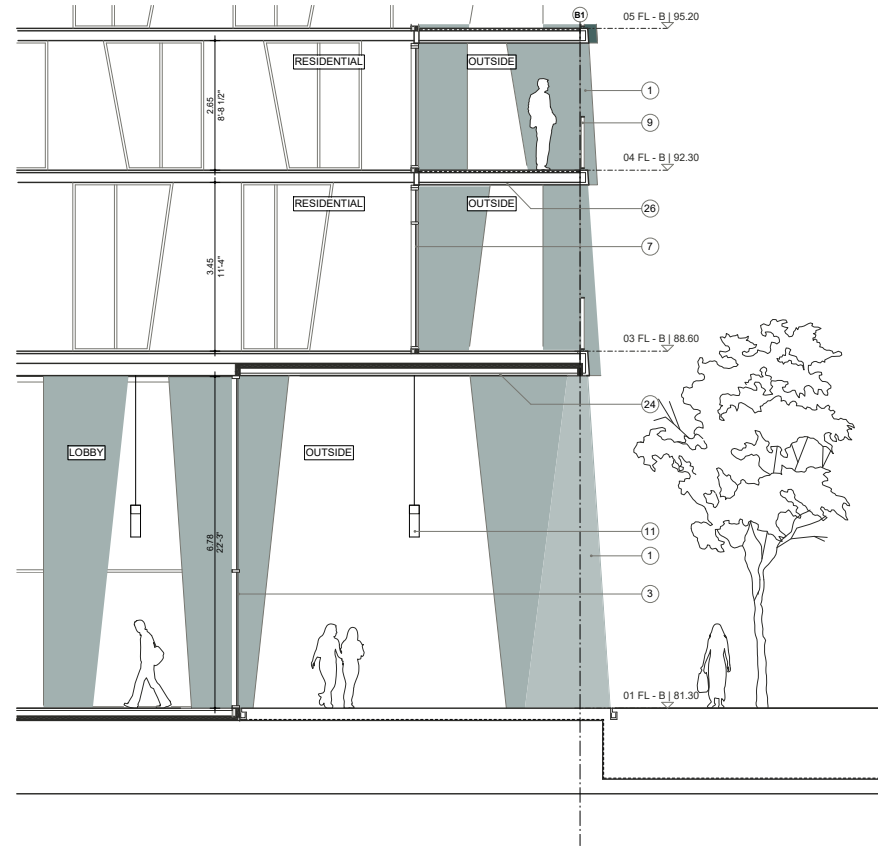
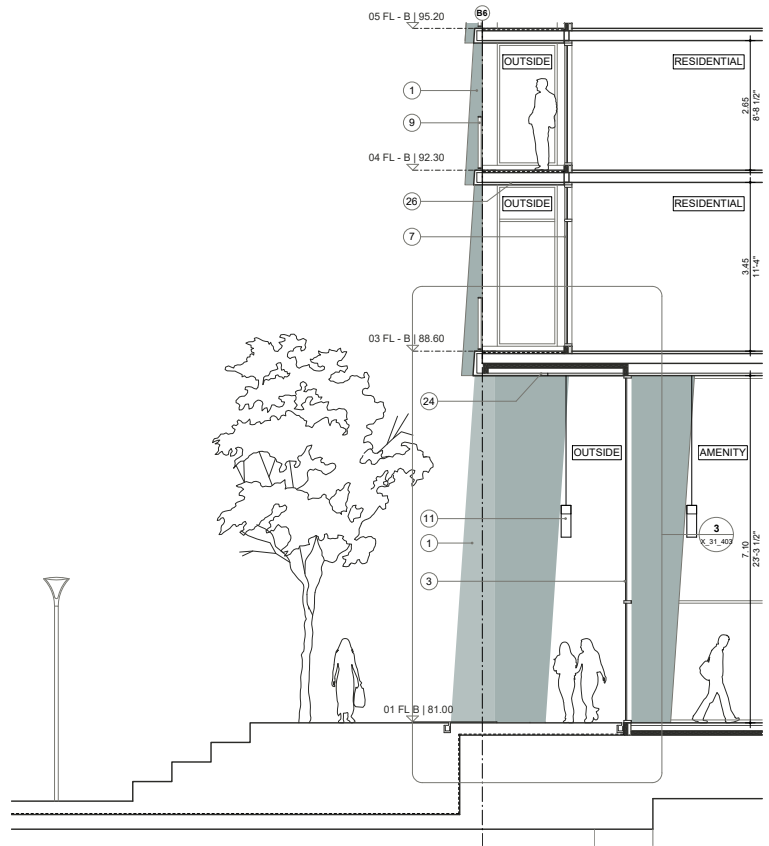
Client:
Rize Ateller (WLY) Properties Ltd

Project Number: **2463** Status: **Rezoning & Development Permit**

Drawing Title:
Detailed Phase 1 Sections - Groves

Date: **21/11/2019 12:04:37** Drawn: **JV**
Scale: **As indicated@ANSI D** Checked: **RR**

Drawing No: **2463_ABA_X_30_406** Rev: **3**



- Notes
- Elevation materials
- Aluminium cladding panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
 - Aluminium detached panel:
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 - Ventilation Panel for Towers
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 - Building Lighting for Mid-rise buildings
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NOTE Refer to Landscape Architect and Civil Drawings for Landscape Details and Site Lighting

Rev	Date	Description
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Project:
Soclift, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00

Client:
Rize Atelier (WLY) Properties Ltd

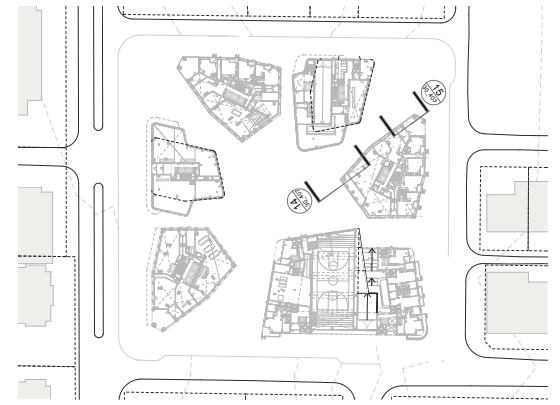
Project Number: **2463** Status: **Rezoning & Development Permit**

Drawing Title:
Detailed Phase1 Sections - Tower B

Date: **21/11/2019 12:05:15** Drawn: **JV**
Scale: **As indicated@ANSI D** Checked: **RR**

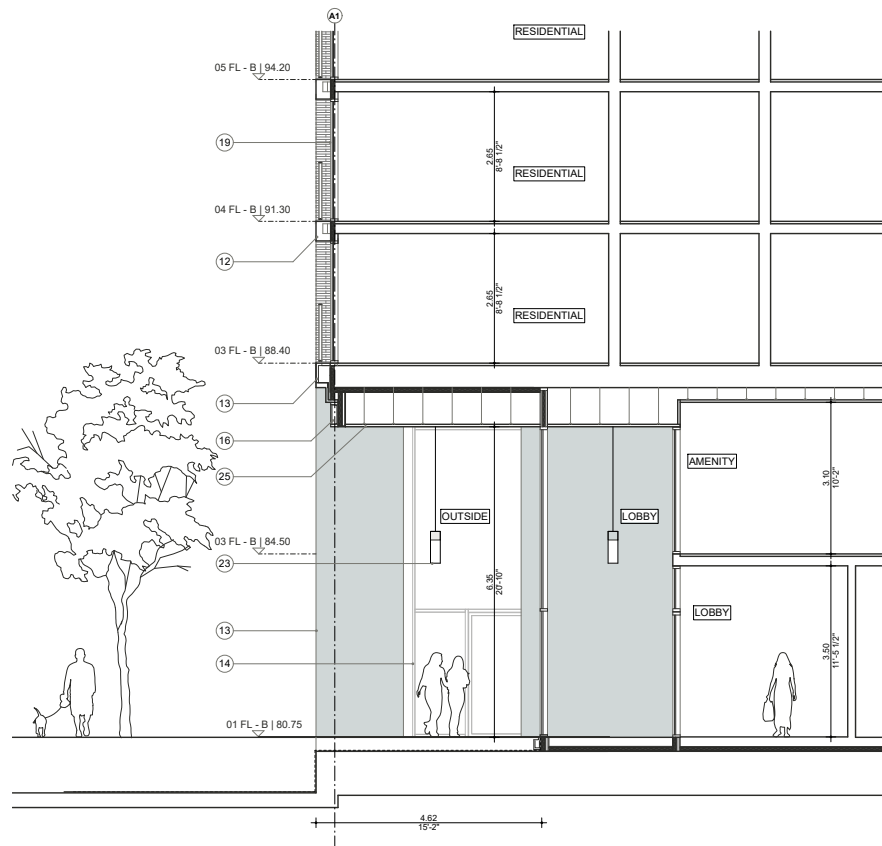
Drawing No: **2463_ABA_X_30_407** Rev: **3**

14 Detailed Street Section 14 - Tower B
1 : 50



15 Detailed Street Section 15 - Tower B
1 : 50





16 Detailed Street Section 16 - Block A
1:50

Notes

Elevation materials

1. Aluminium cladding panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
2. Aluminium detached panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
3. Towers commercial / amenity glazing:
 - Aluminium window frames, black metallic finish
4. Towers recessed residential entrance:
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5. Signage band / Commercial ventilation for Towers
6. Canopy for Towers
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22. Ventilation Panel for Mid-rise buildings
23. Building Lighting for Mid-rise buildings
24. Metal soffit to match metal cladding
25. Metal soffit to match window frames, champagne metallic finish
26. White painted concrete finish

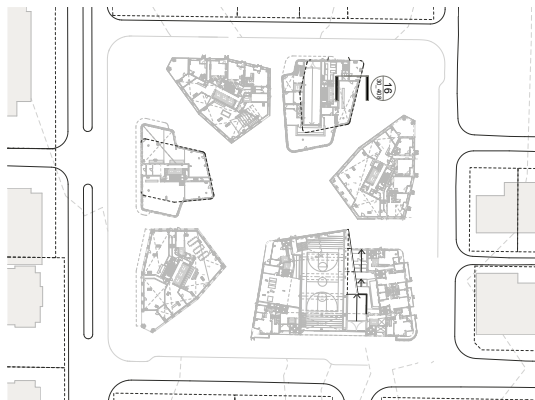
NOTE Refer to Landscape Architect and Civil Drawings for Landscape Details and Site Lighting

Rev	Date	Description
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Key Plan



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Soacliff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00

Client:
Rize Atelier (WLY) Properties Ltd

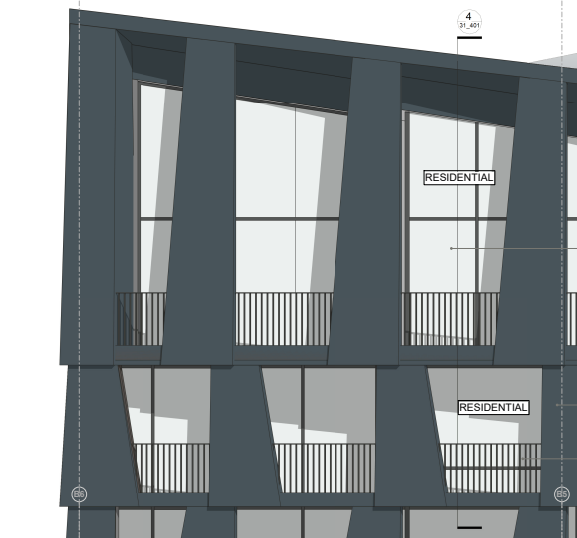
Project Number: 2463
Status: Rezoning & Development Permit

Drawing Title:
Detailed Phase 1 Sections - Block A

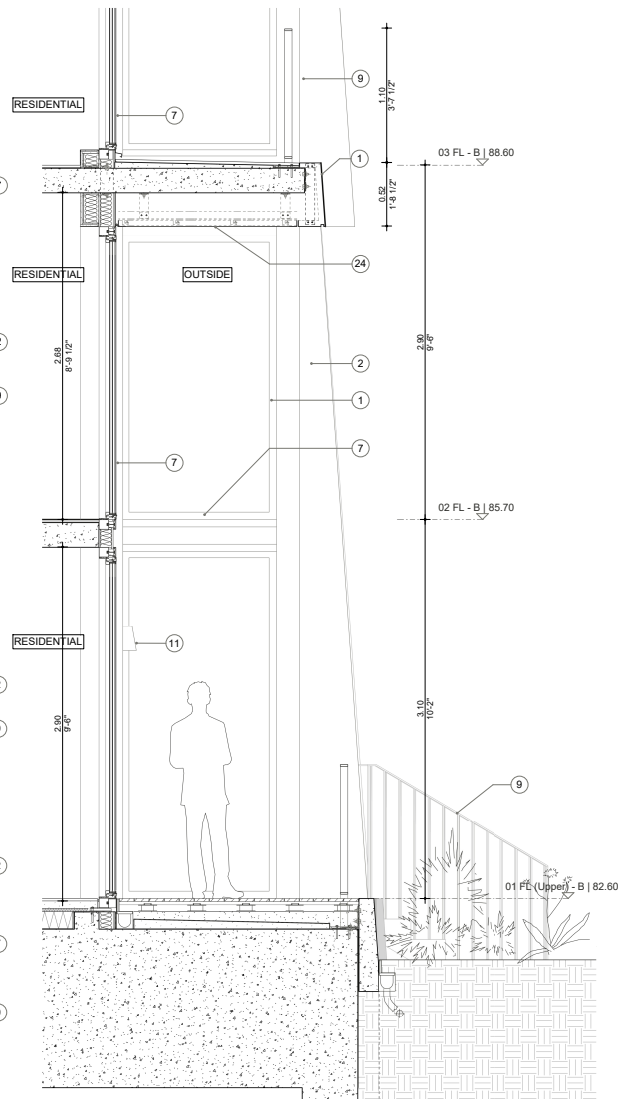
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Drawn: JV
Checked: RR

Drawing No: 2463_ABA_X_30_408
Rev: 3

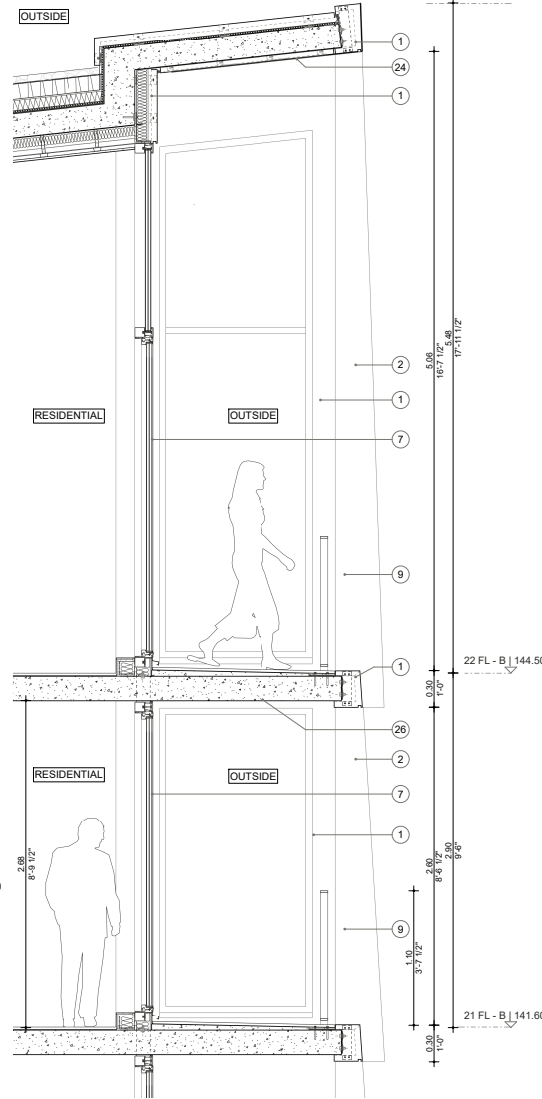
2 Elevation Block B Upper
1:50



1 Elevation Block B Lower
1:50



3 Detail Phase 1_Townhouse
1:20



4 Detail Phase 1_Tower Parapet
1:20

- Notes
- Elevation materials
- Aluminium cladding panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
 - Aluminium detached panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
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 - Aluminium window frames, black metallic finish
 - Towers recessed residential entrance:
 - Aluminium window frames, black metallic finish
 - Signage band / commercial ventilation for Towers
 - Canopy for Towers
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 - Residential porch:
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 - Ventilation Panel for Mid-rise buildings
 - Building Lighting for Mid-rise buildings
 - Metal soffit to match window frames, champagne metallic finish
 - White painted concrete finish

NOTE: Illustrative details, subject to refining at Building Permit

Rev	Date	Description
2	2011/1/9	Reasoning & Development Permit
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Project:
Soaciff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00

Client:
Rize Ateller (WLY) Properties Ltd

Project Number: **2463** Status: **Rezoning & Development Permit**

Drawing Title:
Phase 1 - Tower B Envelope Details

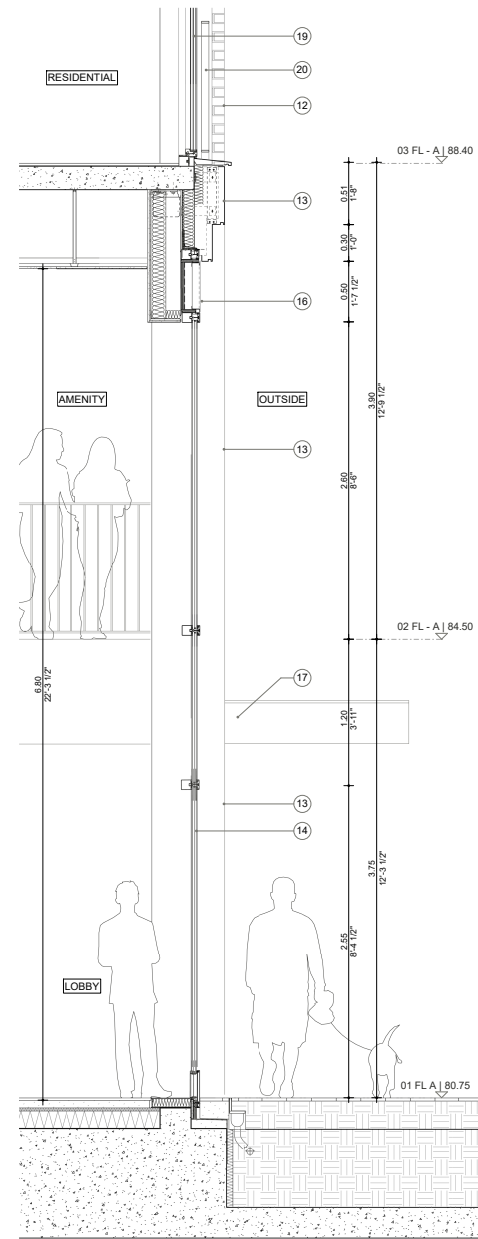
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Scale: **As indicated**/ANSI D Checked: **RR**

Drawing No: **2463_ABA_X_31_401** Rev: **2**

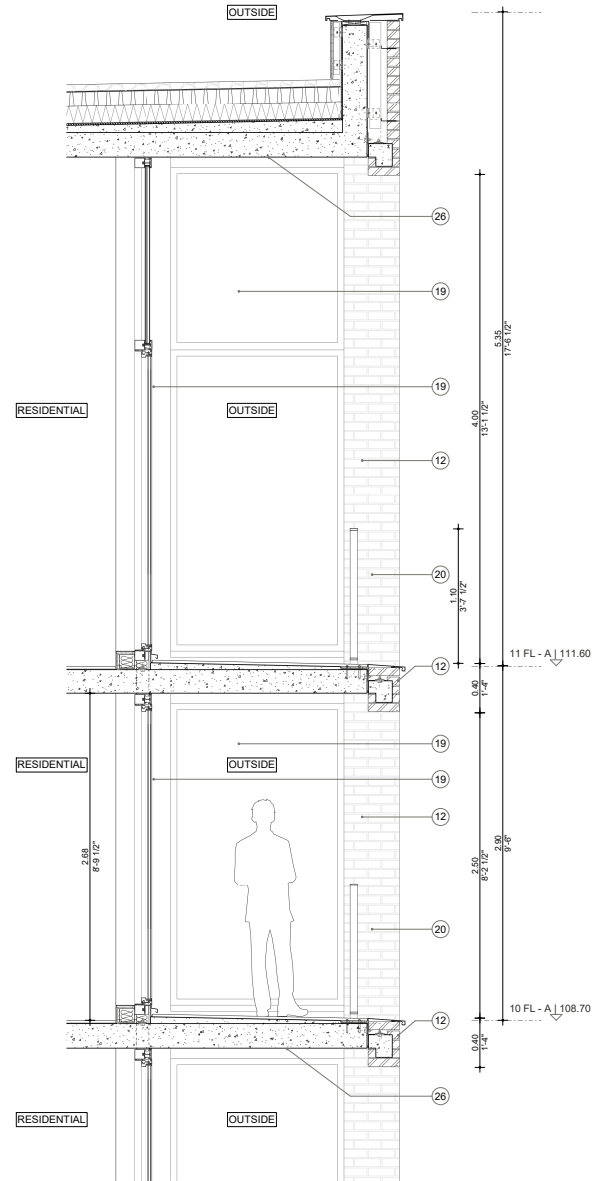
② Elevation Block A Upper
1:50



① Elevation Block A Lower
1:50



③ Detail Phase 1_Block A Frontage
1:20



④ Detail Phase 1_Block A Parapet
1:20

Notes

Elevation materials

1. Aluminium cladding panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
2. Aluminium detached panel:
 - Tower B: Dark Blue Metallic finish
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3. Towers commercial / amenity glazing:
 - Aluminium window frames, black metallic finish
4. Towers recessed residential entrance:
 - Aluminium window frames, black metallic finish
5. Signage band / Commercial ventilation for Towers
6. Canopy for Towers
 - Tower D: Dark Green Metallic finish, with glass roof
7. Recessed window wall / balcony
 - Aluminium window frames, black metallic finish
8. Tower window
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9. Flat bar steel balustrade, black metallic finish
10. Ventilation Panel for Towers
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24. Metal soffit to match metal cladding
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26. White painted concrete finish

NOTE: Illustrative details, subject to refining at Building Permit

Rev. Date Description

- | Rev. | Date | Description |
|------|----------|--------------------------------|
| 2 | 2011/1/9 | Reasoning & Development Permit |
| 1 | 23/08/19 | ADP Response |

Note

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Key Plan



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Project:
Soaciff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00

Client:
Rize Ateller (WLY) Properties Ltd

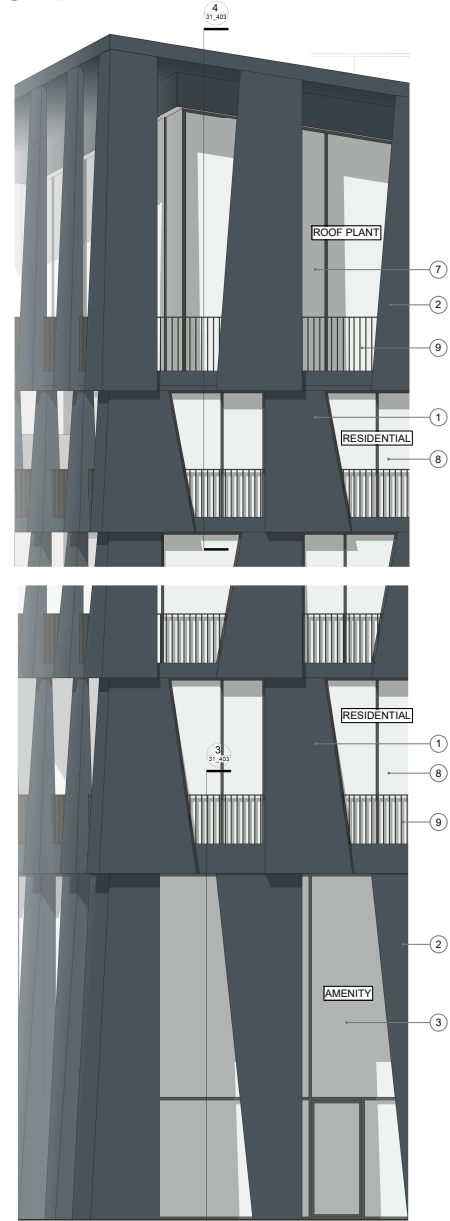
Project Number: **2463** Status: **Rezoning & Development Permit**

Drawing Title:
Phase 1 - Block A Envelope Details

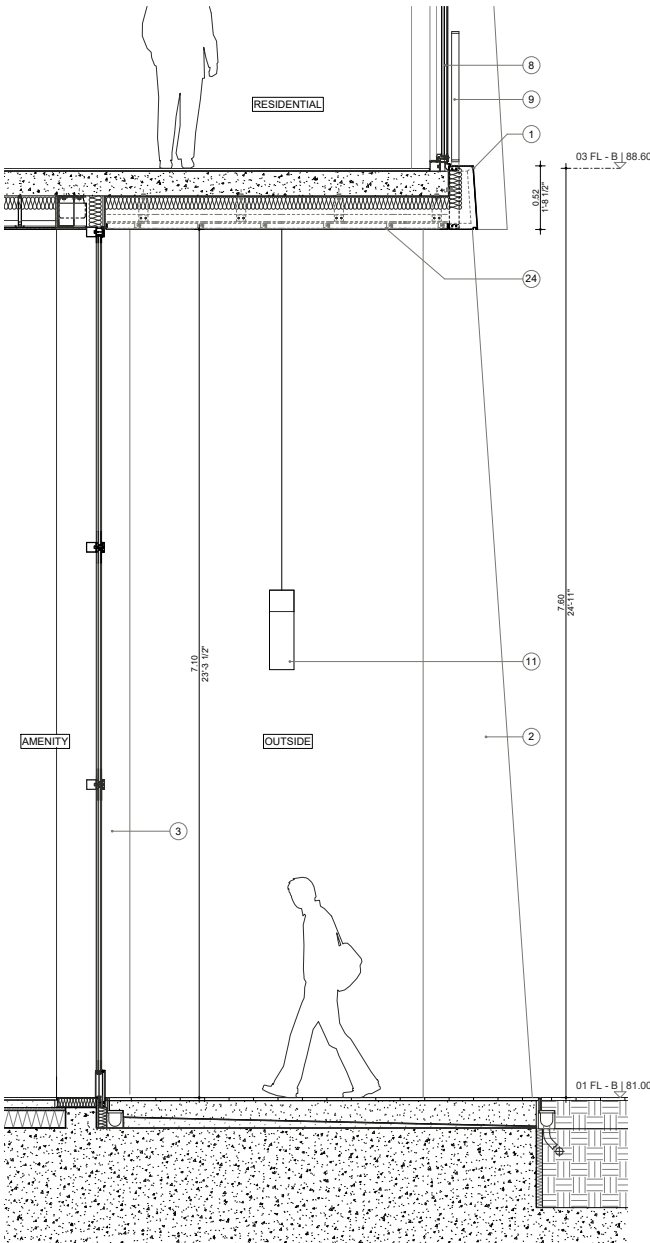
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Drawing No: **2463_ABA_X_31_402** Rev: **2**

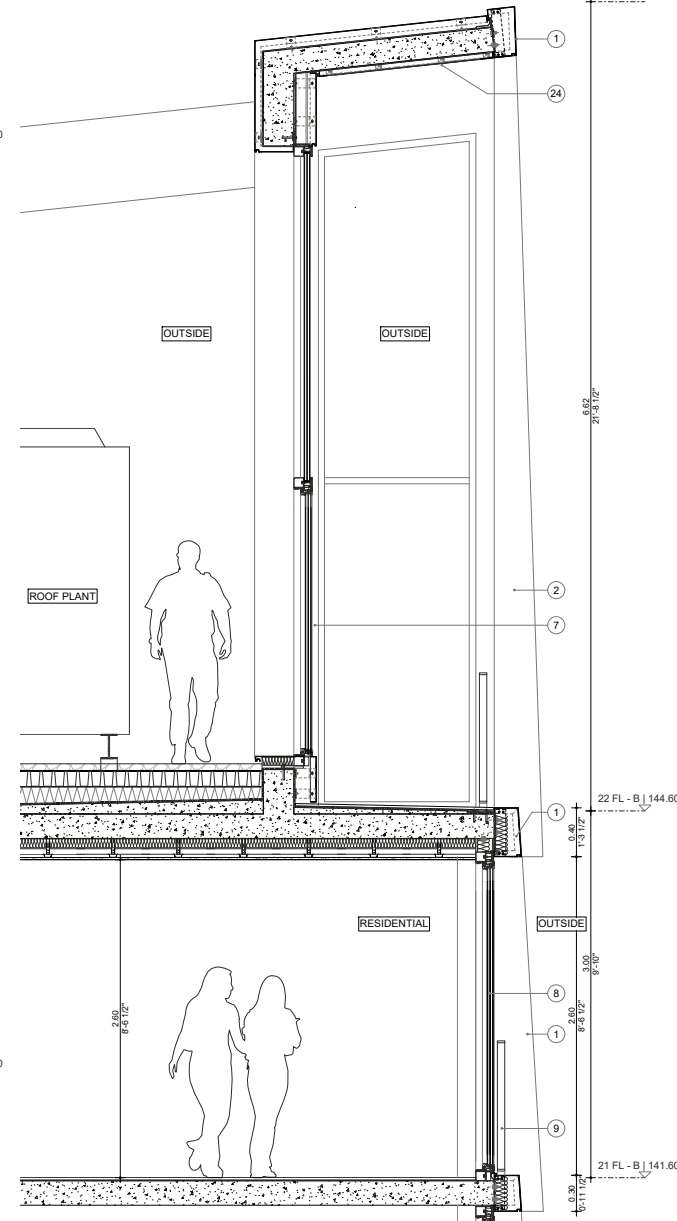
② Elevation Block B Plant
1:50



① Elevation Block B Arcade
1:50



③ Detail Phase 1_Tower B Lounge
1:20



④ Detail Phase 1_Tower B Roof Plant
1:20

- Notes
- Elevation materials
- Aluminium cladding panel:
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Rev	Date	Description
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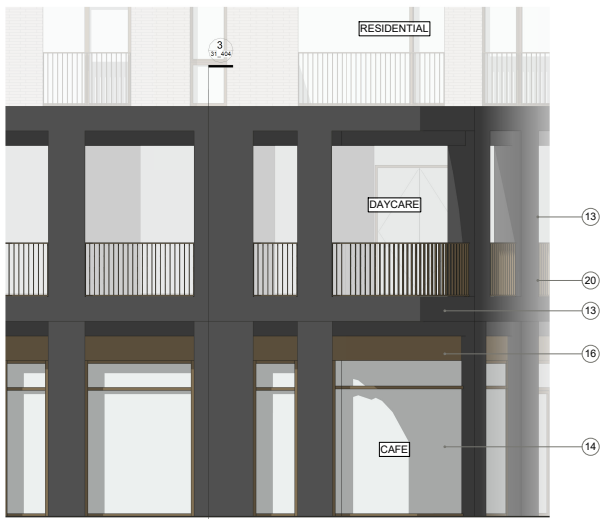
Project:
Saefiff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00
Client:
Rize Atelier (WLY) Properties Ltd

Project Number: 2463
Status: Rezoning & Development Permit

Drawing Title:
Phase 1 - Tower B Envelope Detail 2

Date: 21/11/2019 12:25:08
Scale: As indicated
ANSI D
Drawn: JV
Checked: RR

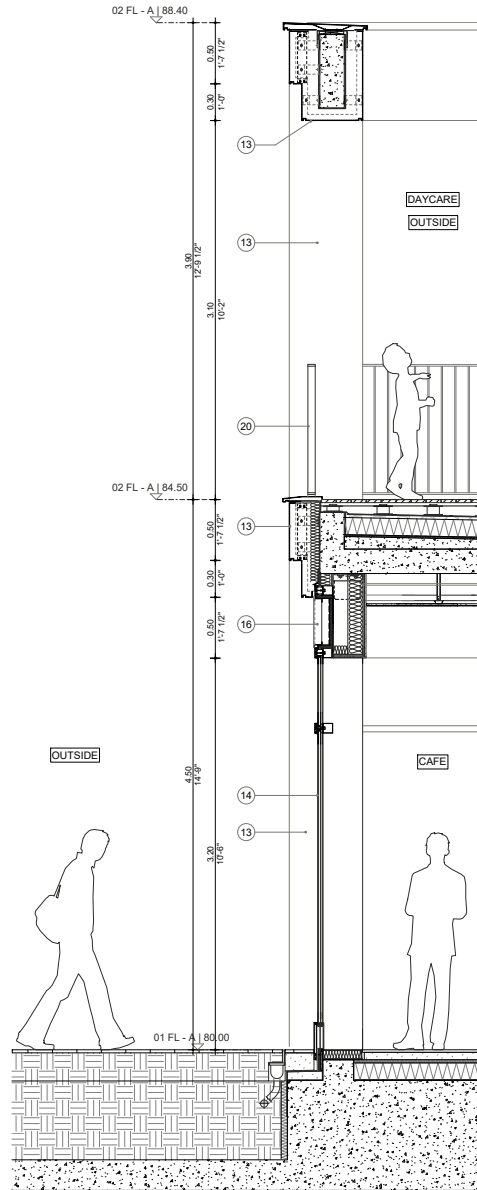
Drawing No: 2463_ABA_X_31_403
Rev: 2



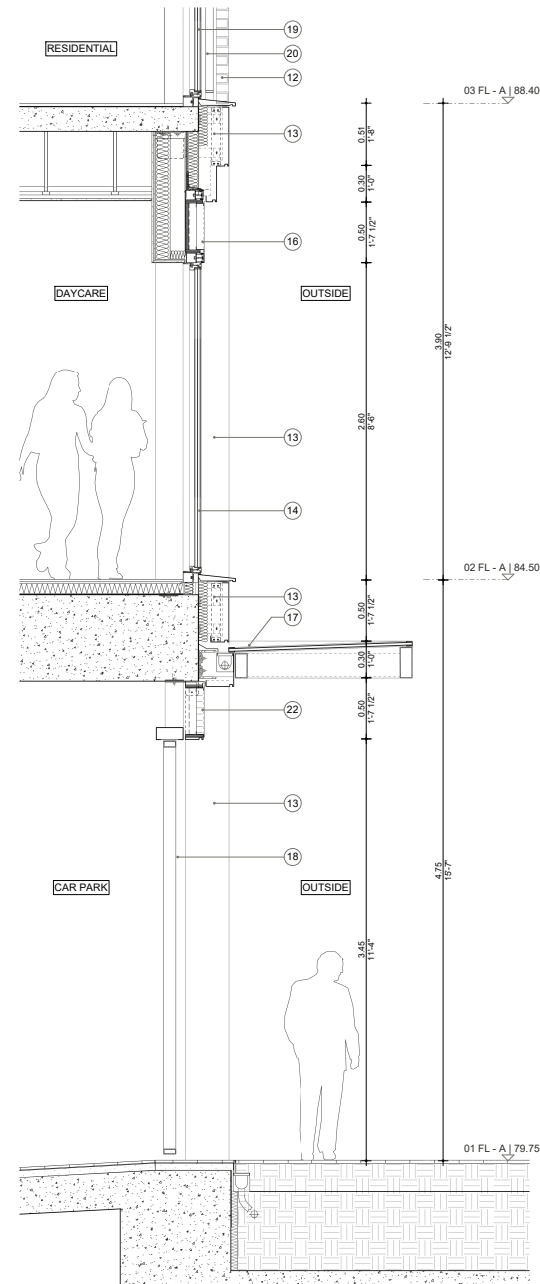
2 Elevation Block A Cafe
1:50



1 Elevation Block A Parkade
1:50



3 Detail Phase 1_Block A_Cafe
1:20



4 Detail Phase 1_Block A_Parkade Entrance
1:20

- Notes
- Elevation materials
- Aluminium cladding panel:
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 - Tower D: Dark Green Metallic finish
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Rize Ateller (WLY) Properties Ltd

Project Number: **2463** Status: **Rezoning & Development Permit**

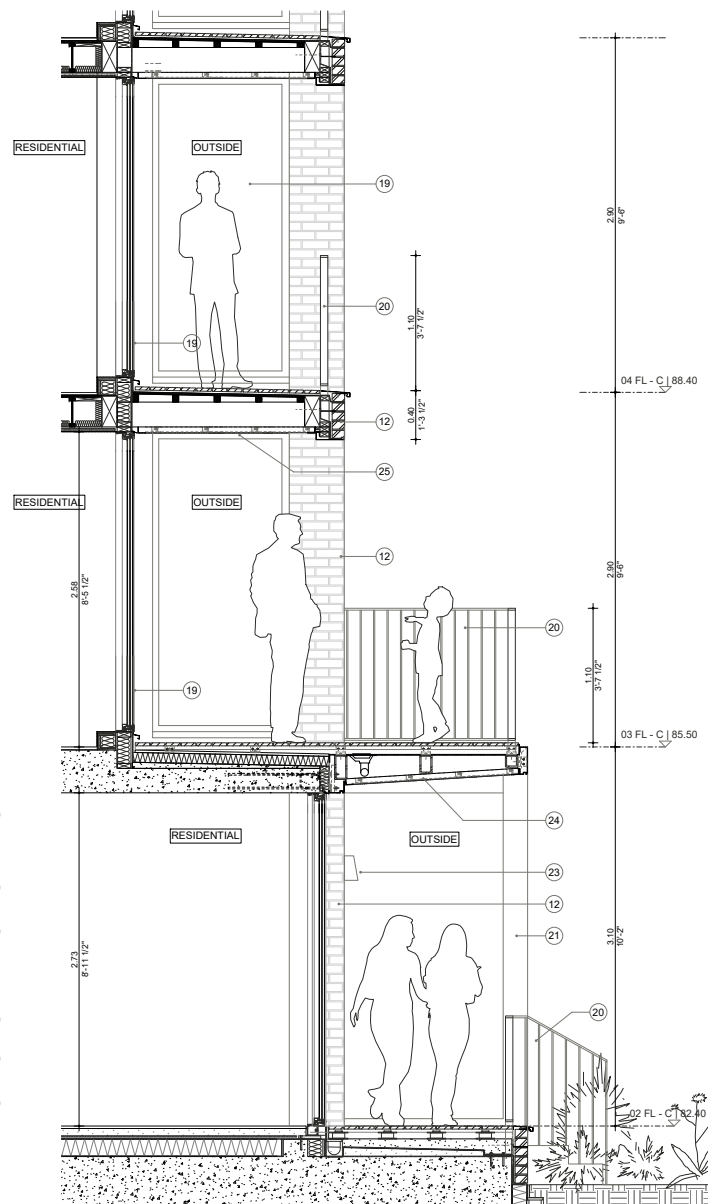
Drawing Title:
Phase 1 - Block A Envelope Details 2

Date: **21/11/2019 12:28:06** Drawn: **JV**
Scale: **As indicated** ANSI D Checked: **RR**

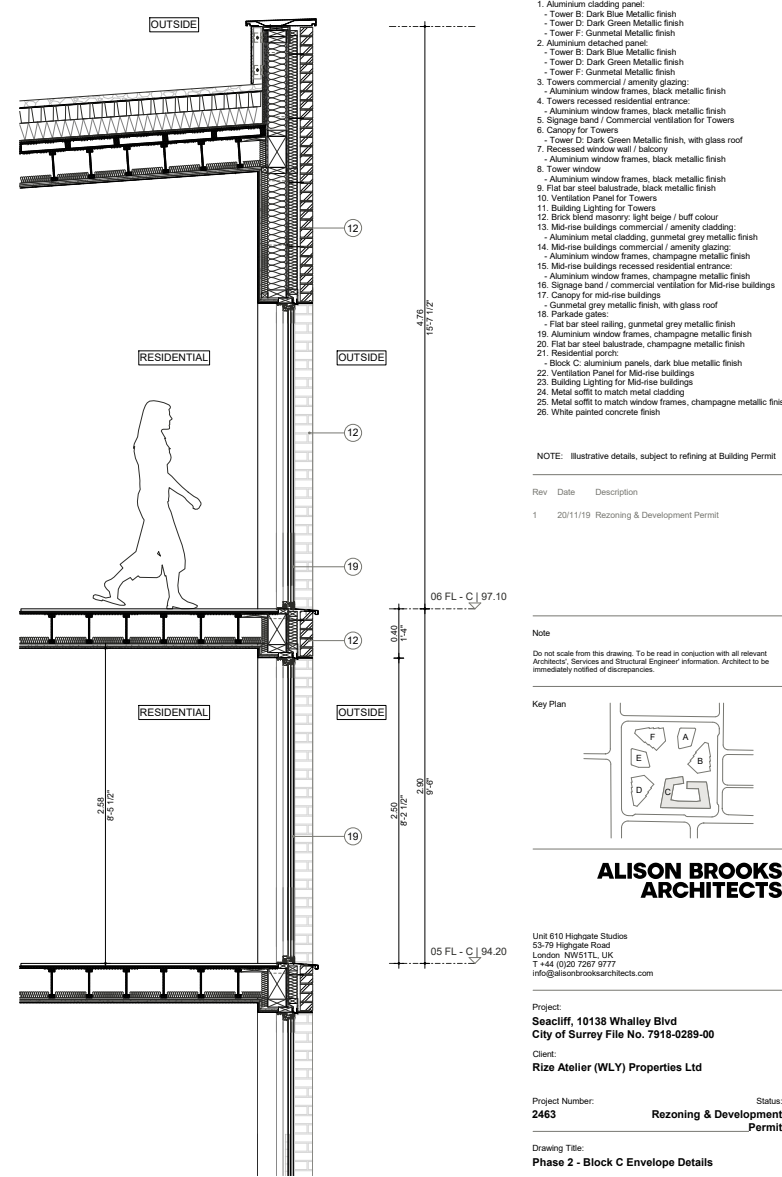
Drawing No: **2463_ABA_X_31_404** Rev: **2**



1 Elevation Block C Townhouse
1:50



2 Detail Phase 2 Block C Townhouse
1:20



3 Detail Phase 2 Block C Parapet
1:20

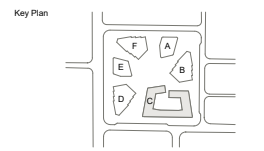
- Notes
- Elevation materials
- Aluminium cladding panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
 - Aluminium detached panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
 - Towers commercial / amenity glazing:
 - Aluminium window frames, black metallic finish
 - Towers recessed residential entrance:
 - Aluminium window frames, black metallic finish
 - Signage band / Commercial ventilation for Towers
 - Canopy for Towers
 - Tower D: Dark Green Metallic finish, with glass roof
 - Recessed window wall / balcony
 - Aluminium window frames, black metallic finish
 - Tower window
 - Aluminium window frames, black metallic finish
 - Flat bar steel balustrade, black metallic finish
 - Ventilation Panel for Towers
 - Building Lighting for Towers
 - Brick blend masonry: light beige / buff colour
 - Mid-rise buildings commercial / amenity cladding:
 - Aluminium metal cladding, gunmetal grey metallic finish
 - Mid-rise buildings commercial / amenity glazing
 - Aluminium window frames, champagne metallic finish
 - Mid-rise buildings recessed residential entrance:
 - Aluminium window frames, champagne metallic finish
 - Signage band / commercial ventilation for Mid-rise buildings
 - Canopy for mid-rise buildings
 - Gunmetal grey metallic finish, with glass roof
 - Parade gates
 - Flat bar steel railing, gunmetal grey metallic finish
 - Aluminium window frames, champagne metallic finish
 - Flat bar steel balustrade, champagne metallic finish
 - Residential porch:
 - Block C: aluminium panels, dark blue metallic finish
 - Ventilation Panel for Mid-rise buildings
 - Building Lighting for Mid-rise buildings
 - Metal soffit to match metal cladding
 - Metal soffit to match window frames, champagne metallic finish
 - White painted concrete finish

NOTE: Illustrative details, subject to refining at Building Permit

Rev	Date	Description
1	2011/19	Rezoning & Development Permit

Note

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Project:
Soaciff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00

Client:
Rize Ateller (WLY) Properties Ltd

Project Number: **2463** Status: **Rezoning & Development Permit**

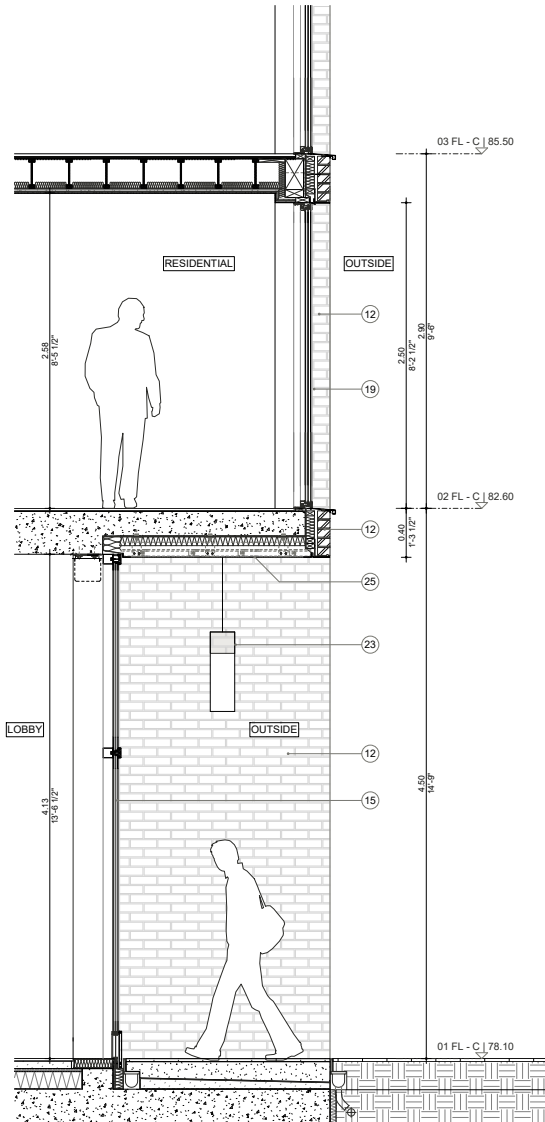
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Phase 2 - Block C Envelope Details

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Scale: **As indicated**/ANSI D Checked: **NC**

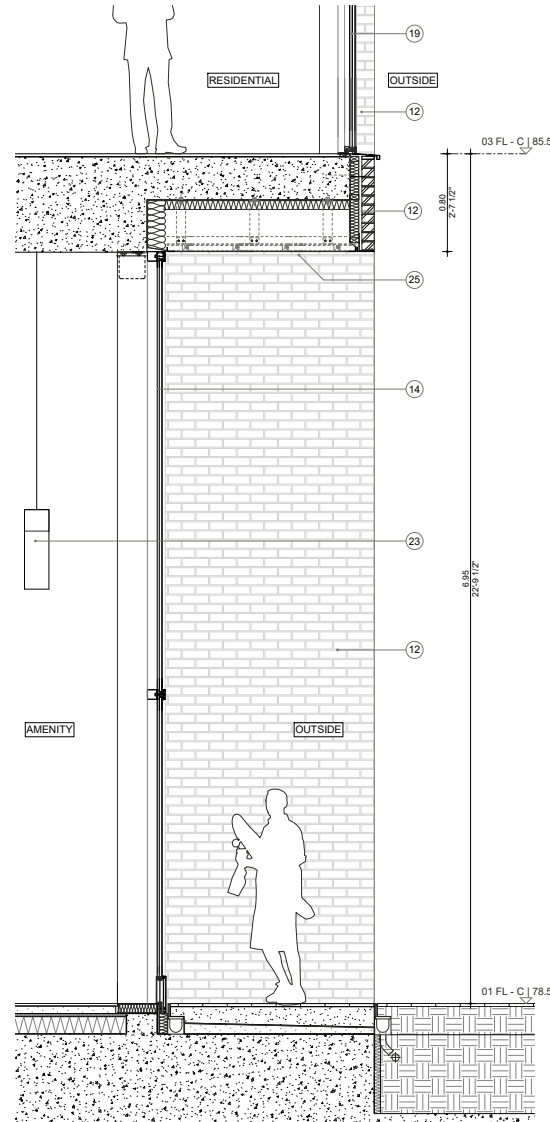
Drawing No: **2463_ABA_X_31_405** Rev: **1**



1 Elevation Block C Entrance
1:50



2 Detail Phase 2_Block C Entrance
1:20



3 Detail Phase 2_Block C Sports Hall
1:20

Notes

Elevation materials

1. Aluminium cladding panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
2. Aluminium detached panel:
 - Tower B: Dark Blue Metallic finish
 - Tower D: Dark Green Metallic finish
 - Tower F: Gunmetal Metallic finish
3. Towers commercial / amenity glazing:
 - Aluminium window frames, black metallic finish
4. Towers recessed residential entrance:
 - Aluminium window frames, black metallic finish
5. Signage band / commercial ventilation for Towers
6. Canopy for Towers
7. Recessed window wall / balcony
 - Aluminium window frames, black metallic finish
8. Tower window
 - Aluminium window frames, black metallic finish
9. Flat bar steel balustrade, black metallic finish
10. Ventilation Panel for Towers
11. Building Lighting for Towers
12. Brick blend masonry: light beige / buff colour
13. Mid-rise buildings commercial / amenity cladding:
 - Aluminium metal cladding, gunmetal grey metallic finish
14. Mid-rise buildings commercial / amenity glazing
 - Aluminium window frames, champagne metallic finish
15. Mid-rise buildings recessed residential entrance:
 - Aluminium window frames, champagne metallic finish
16. Signage band / commercial ventilation for Mid-rise buildings
17. Canopy for mid-rise buildings
 - Gunmetal grey metallic finish, with glass roof
18. Parkade gates:
 - Flat bar steel railing, gunmetal grey metallic finish
19. Aluminium window frames, champagne metallic finish
20. Flat bar steel balustrade, champagne metallic finish
21. Residential porch:
 - Block C: aluminium panels, dark blue metallic finish
22. Ventilation Panel for Mid-rise buildings
23. Building Lighting for Mid-rise buildings
24. Metal soffit to match window frames, champagne metallic finish
25. Metal soffit to match window frames, champagne metallic finish
26. White painted concrete finish

NOTE: Illustrative details, subject to refining at Building Permit

Rev	Date	Description
1	20/11/19	Rezoning & Development Permit

Note

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Key Plan



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Soaciff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00

Client:
Rize Ateller (WLY) Properties Ltd

Project Number: 2463
Status: Rezoning & Development Permit

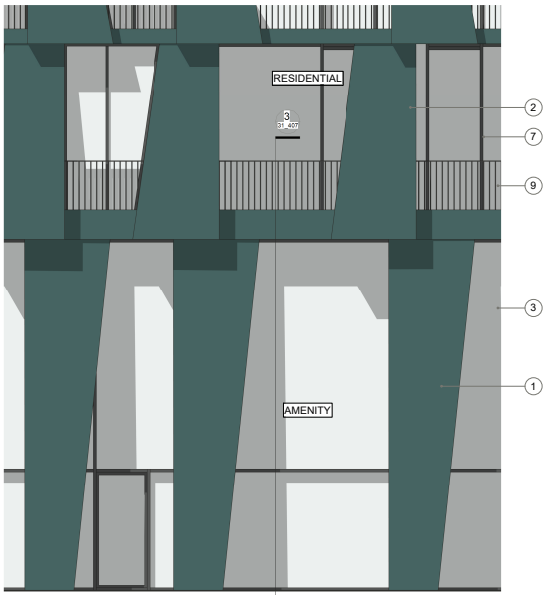
Drawing Title:
Phase 2 - Block C Envelope Details 2

Date: 21/11/2019 12:31:38
Scale: As indicated@ANSI D
Drawn: RR
Checked: NC

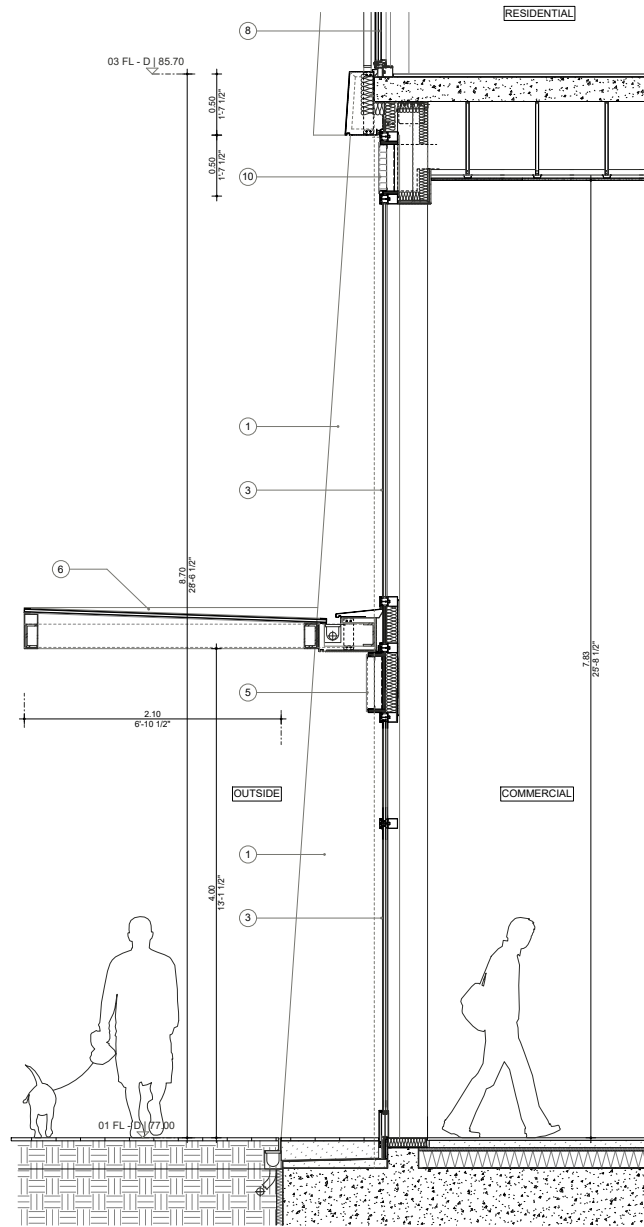
Drawing No: 2463_ABA_X_31_406
Rev: 1



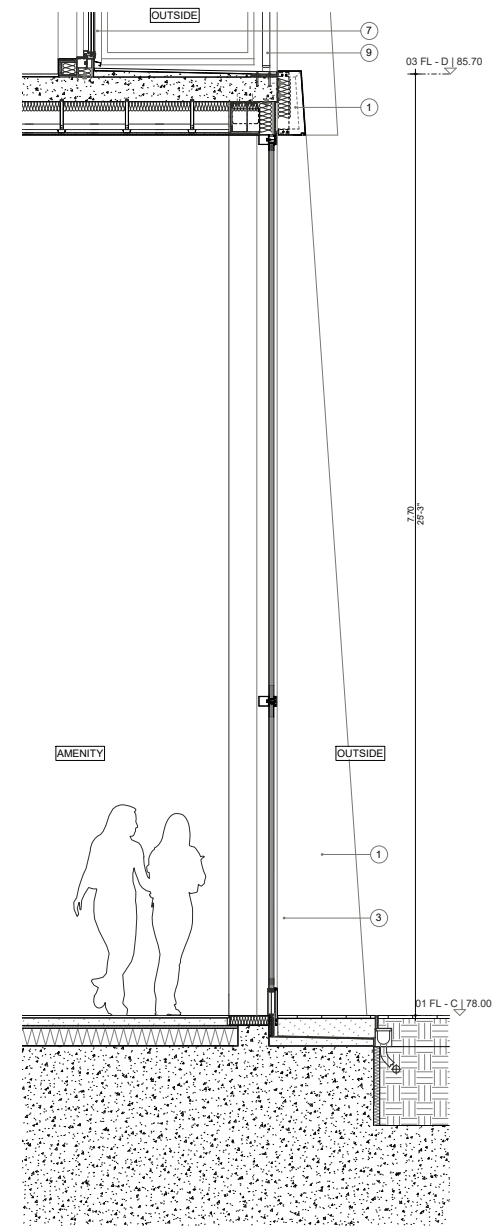
2 Elevation Tower D Whalley
1: 50



1 Elevation Tower D Piazza
1: 50



3 Detail Phase 2_Tower D Commercial Frontage
1: 20



4 Detail Phase 2_Tower D Amenity Frontage
1: 20

- Notes
- Elevation materials
- Aluminium cladding panel:
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 - Aluminium detached panel:
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 - Flat bar steel balustrade, champagne metallic finish
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 - Block C: aluminium panels, dark blue metallic finish
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Rev	Date	Description
1	2011/19	Rezoning & Development Permit

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City of Surrey File No. 7918-0289-00

Client:
Rize Atelier (WLY) Properties Ltd

Project Number: **2463** Status: **Rezoning & Development Permit**

Drawing Title: **Phase 2 - Tower D Envelope Details**

Date: **21/11/2019 12:33:32** Drawn: **RR**
Scale: **As indicated**/ANSI D Checked: **NC**

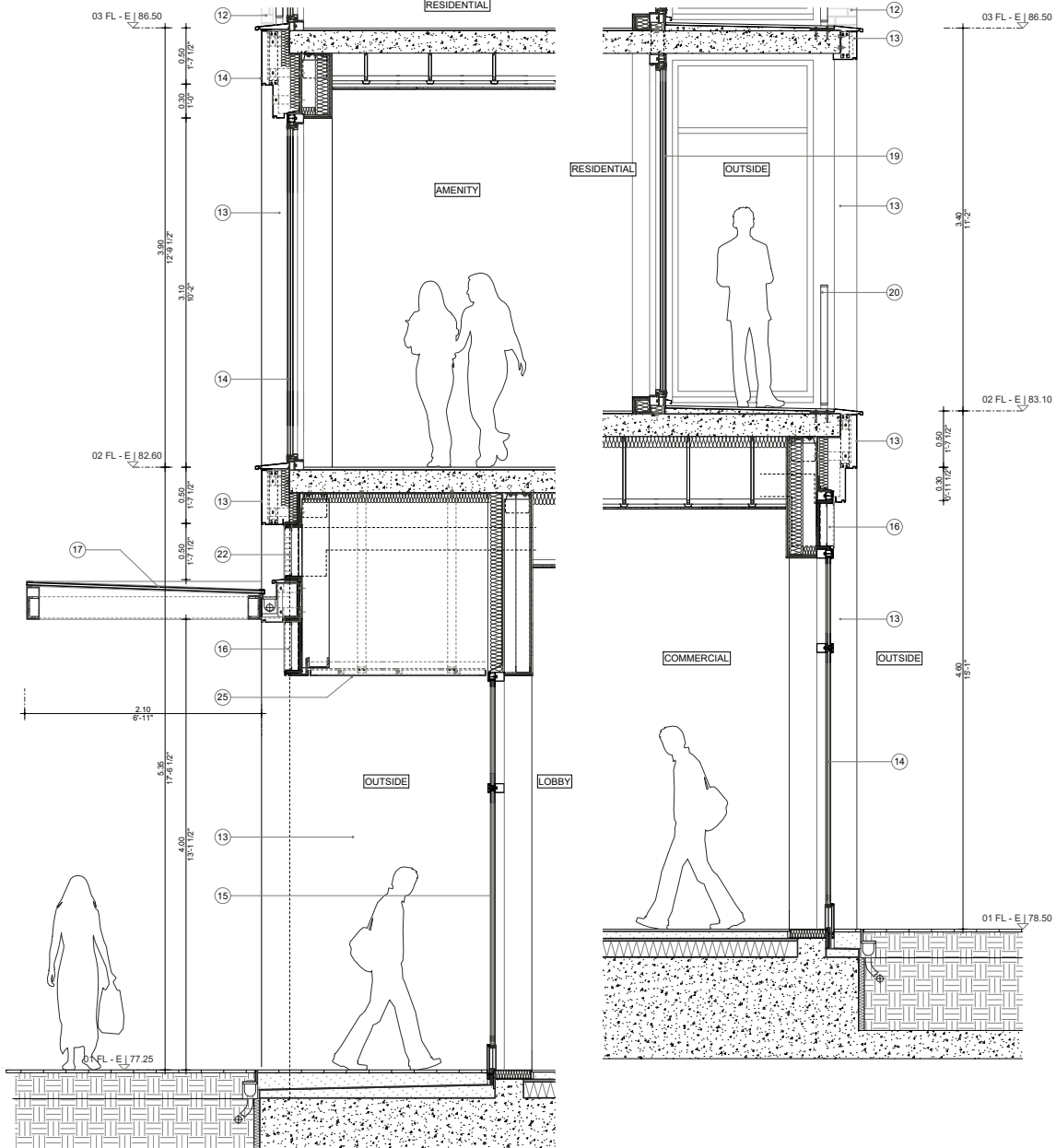
Drawing No: **2463_ABA_X_31_407** Rev: **1**



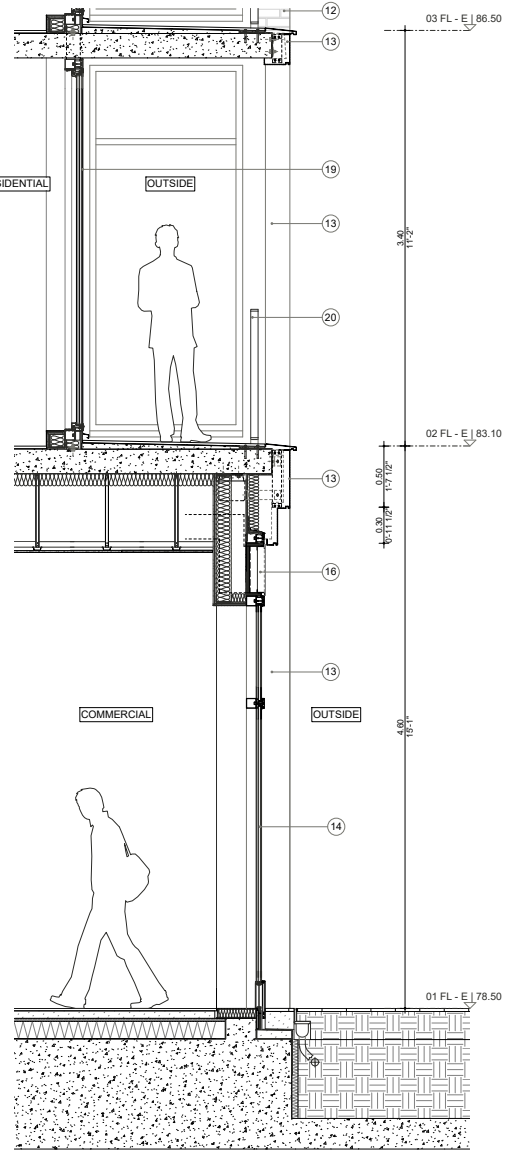
2 Elevation Block E Whalley
1:50



1 Elevation Block E Piazza
1:50



3 Detail Phase 3_Block E Entrance
1:20



4 Detail Phase 3_Block E Commercial
1:20

- Notes
- Elevation materials
- Aluminium cladding panel:
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 - Tower F: Gunmetal Metallic finish
 - Aluminium detached panel:
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 - Residential porch:
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 - Building Lighting for Mid-rise buildings
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 - Metal soffit to match window frames, champagne metallic finish
 - White painted concrete finish

NOTE: Illustrative details, subject to refining at Building Permit

Rev	Date	Description
1	2011/19	Rezoning & Development Permit

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City of Surrey File No. 7918-0289-00

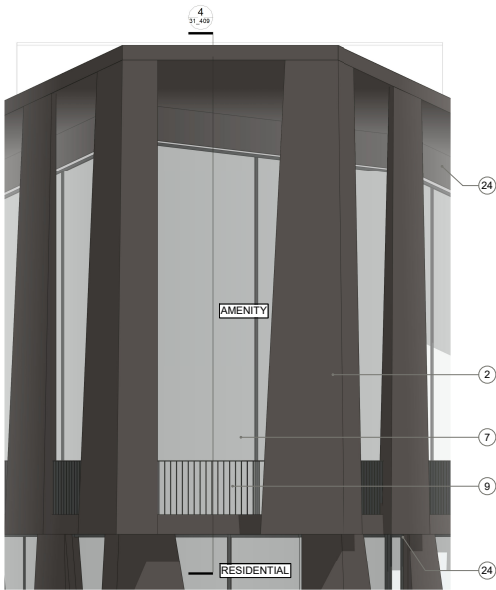
Client:
Rize Ateller (WLY) Properties Ltd

Project Number: **2463** Status: **Rezoning & Development Permit**

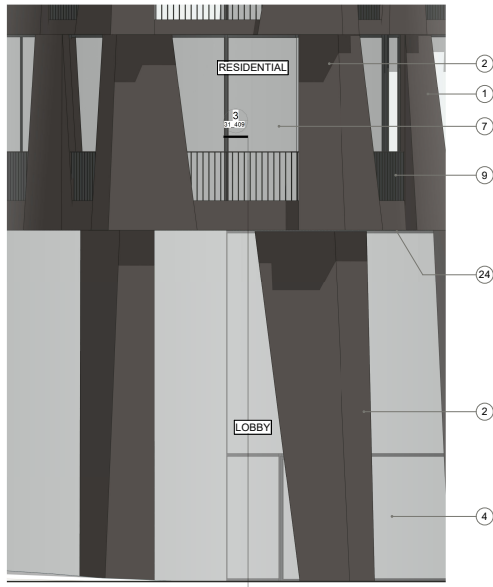
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Phase 3 - Block E Envelope Details

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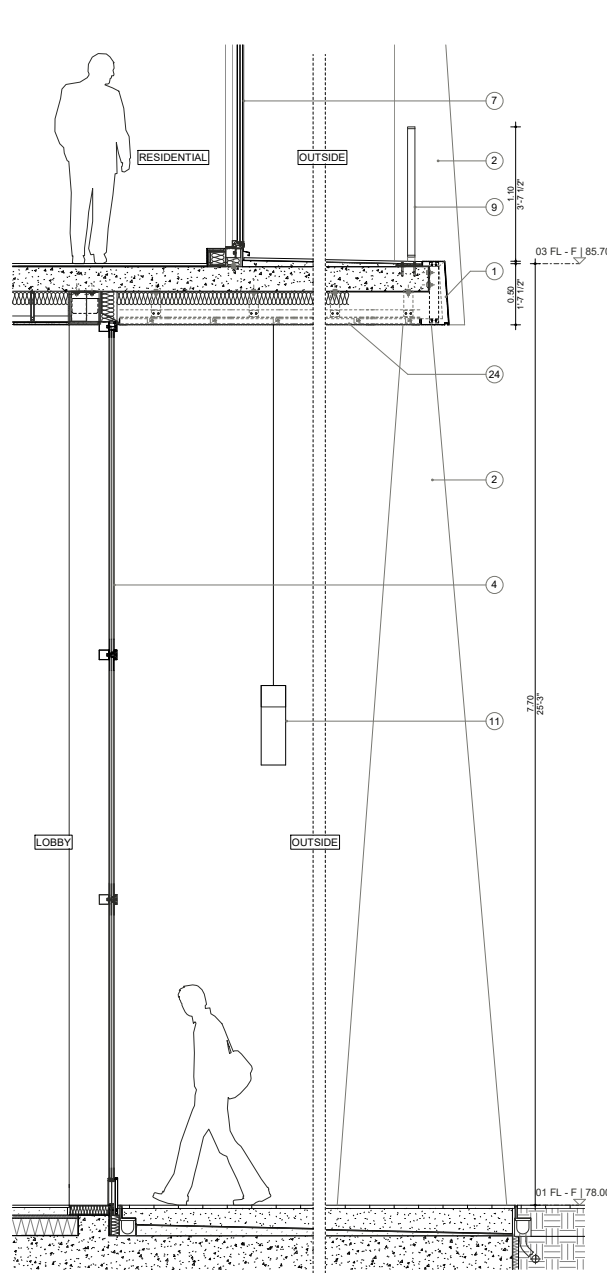
Drawing No: **2463_ABA_X_31_408** Rev: **1**



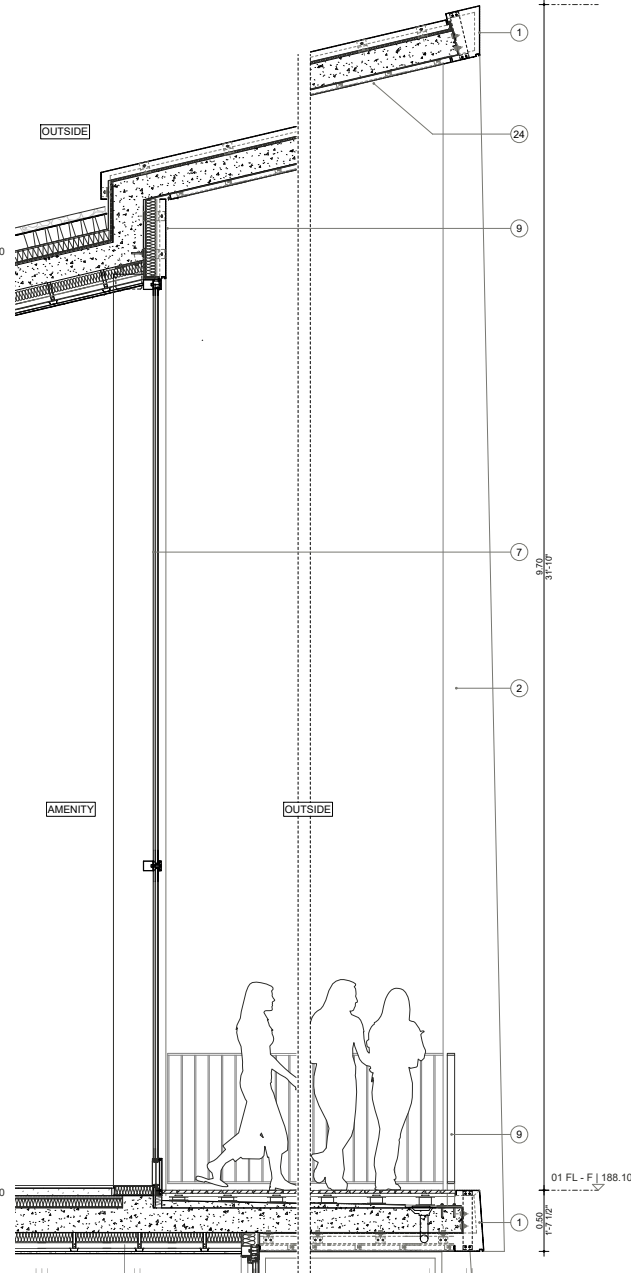
② Elevation Tower F Roof
1:50



① Elevation Tower F Entrance
1:50



③ Detail Phase 3_Tower F Entrance
1:20



④ Detail Phase 3_Tower F Roof
1:20

- Notes
- Elevation materials
- Aluminium cladding panel:
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 - Tower F: Gunmetal Metallic finish
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Rev	Date	Description
1	2011/19	Rezoning & Development Permit

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City of Surrey File No. 7918-0289-00
Client:
Rize Atelier (WLY) Properties Ltd

Project Number: **2463** Status: **Rezoning & Development Permit**

Drawing Title:
Phase 3 - Tower F Envelope Details

Date: **21/11/2019 12:38:19** Drawn: **RR**
Scale: **As indicated**/ANSI D Checked: **NC**

Drawing No: **2463_ABA_X_31_409** Rev: **1**

BEGA

Pendant luminaire

24 507

IP 65

Project - Reference number

Date

Product data sheet

Application

LED pendant with shielded light for mounting in arcades, galleries and passageways.
An integral reflector unit directs the light downwards in a rotationally symmetrical wide beam.

When installed in exterior applications, the luminaire must be protected from constant pendulum movement due to wind.

Product description

Luminaire made of aluminium alloy, aluminium and stainless steel
Safety glass with optical structure
Reflector made of pure anodised aluminium
Silicone gasket
4 drilled holes with thread M4 to which tension cables preventing pendulum movement can be fixed
Mounting plate with 2 fixing holes ϕ 5.5 mm · 70 mm spacing
2 cable entries for through-wiring of mains supply cable ϕ 7-10,5 mm, max. 5 G 1.5¹
Cable pendant H05RN-F 5 G 1¹ with 2 steel cords · Colour black
Connecting terminal 2.5¹
with plug connection
Earth conductor connection
LED power supply unit
220-240 V \sim 0/50-60 Hz
DC 176-264 V
DALI controllable

A basic isolation exists between power cable and control line
Safety class I
Protection class IP 65
Dust-tight and protection against water jets
CE – Conformity mark
Weight: 5.6 kg

Lamp

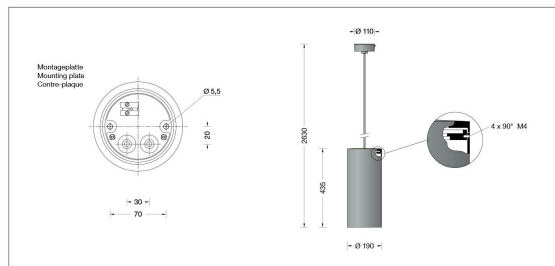
Module connected wattage 35,7 W
Luminaire connected wattage 40 W
Rated temperature $t_a = 25^\circ\text{C}$
Ambient temperature $t_{a\text{ max}} = 30^\circ\text{C}$

24 507

Module designation LED-0770/830
Colour temperature 3000 K
Colour rendering index $R_a > 80$
Module luminous flux 6385 lm
Luminaire luminous flux 4107 lm
Luminaire luminous efficiency 102,7 lm/W

24 507 K4

Module designation LED-0770/840
Colour temperature 4000 K
Colour rendering index $R_a > 80$
Module luminous flux 6540 lm
Luminaire luminous flux 4207 lm
Luminaire luminous efficiency 105,2 lm/W

**Lifetime of the LED**

Ambient temperature $t_a = 15^\circ\text{C}$
– at 50,000h: L90B10
– at > 500,000h: L70B50
Ambient temperature $t_a = 25^\circ\text{C}$
– at 50,000h: L90B10
– at 428,000h: L70B50

max. ambient temperature $t_a = 30^\circ\text{C}$
– at 50,000h: L90B10
– at 312,000h: L70B50

Inrush current

Inrush current: 5 A / 100 μs
Maximum number of luminaires of this type per miniature circuit breaker:
B10A: 27 luminaires
B16A: 44 luminaires
C10A: 27 luminaires
C16A: 44 luminaires

Article No. 24 507

LED colour temperature optionally 3000K or 4000K
3000 K – Article number
4000 K – Article number + **K4**

BEGA

Wall luminaire

33 817

IP 64

Project - Reference number

Date

Product data sheet

Application

Shielded wall luminaire with asymmetrical light distribution makes it particularly well-suited for installation on columns and wall faces.
The used LED technique offers durability and optimal light output with low power consumption at the same time.

Product description

Luminaire made of aluminium alloy, aluminium and stainless steel
Safety glass with optical structure
Silicone gasket
Reflector made of pure anodised aluminium
2 fixing holes ϕ 4.5 mm
105 mm spacing
2 cable entries for through-wiring of mains supply cable ϕ 7-10,5 mm, max. 5 G 1.5¹
Connecting terminal and earth conductor terminal 2.5¹
LED power supply unit
220-240 V \sim 0/50-60 Hz
DC 176-280 V
DC Start \geq 190 V
DALI controllable
A basic isolation exists between power cable and control line
Safety class I
Protection class IP 64
Dust-tight and protection against splash water
Impact strength IK04
Protection against mechanical impacts < 0.5 joule
 – Safety mark
CE – Conformity mark
Weight: 1.6 kg

Lamp

Module connected wattage 13.9 W
Luminaire connected wattage 17 W
Rated temperature $t_a = 25^\circ\text{C}$
Ambient temperature $t_{a\text{ max}} = 50^\circ\text{C}$

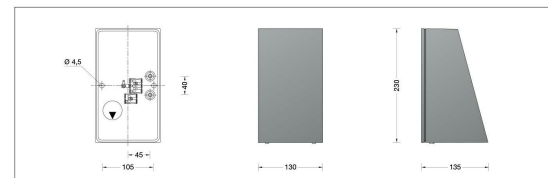
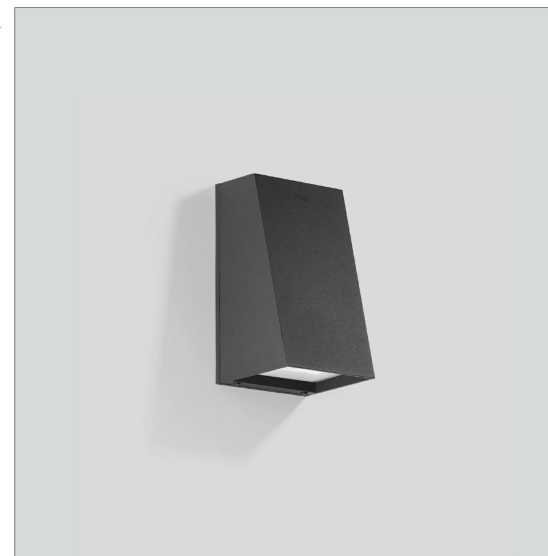
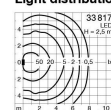
On request we can offer you modifications for environments with higher temperatures as a customized product.

33 817

Module designation LED-0341/830
Colour temperature 3000 K
Colour rendering index $R_a > 80$
Module luminous flux 2490 lm
Luminaire luminous flux 1330 lm
Luminaire luminous efficiency 78,2 lm/W

33 817 K4

Module designation LED-0341/840
Colour temperature 4000 K
Colour rendering index $R_a > 80$
Module luminous flux 2550 lm
Luminaire luminous flux 1362 lm
Luminaire luminous efficiency 80,1 lm/W

Light distribution**Lifetime of the LED**

Ambient temperature $t_a = 15^\circ\text{C}$
– at 50,000h: L90B10
– at > 500,000h: L70B50

Ambient temperature $t_a = 25^\circ\text{C}$
– at 50,000h: L90B10
– at 451,000h: L70B50

max. ambient temperature $t_a = 50^\circ\text{C}$
– at 50,000h: L80B50
– at 100,000h: L70B50

Inrush current

Inrush current: 24 A / 115 μs
Maximum number of luminaires of this type per miniature circuit breaker:
B10A: 31 luminaires
B16A: 51 luminaires
C10A: 53 luminaires
C16A: 86 luminaires

Light technique

Luminaire data for the light planning program
DIALux for outdoor lighting, street lighting and indoor lighting as well as luminaire data in EULUMDAT- and IES-format you will find on the BEGA web page www.bega.com.

Article No. 33 817

LED colour temperature optionally 3000K or 4000K
3000 K – Article number
4000 K – Article number + **K4**

Colour graphite or silver
graphite – article number + **A**
silver – article number + **A**

Notes

Rev. Date Description

1 2011/19 Rezoning & Development Permit

Note

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Key Plan

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Project:

**Saociff, 10138 Whalley Blvd
City of Surrey File No. 7918-0289-00**

Client:

Rize Ateller (WLY) Properties Ltd

Project Number:

2463 Rezoning & Development Permit

Drawing Title:

Building Lighting Specifications

Date: 21/11/2019 12:38:38

Drawn: AC

Scale: N/A

@ANSI D

Checked: NC

Drawing No:

2463_ABA_X_31_410

Rev:

1

City Data Sheet - Site wide

Alison Brooks Architects

Whalley Boulevard Development Data Sheet - Overall

City of Surrey File No. 7918-0289-00	Revision	Date	Work Stage
		09.05.2019	Submission to ADP
		23.08.2019	ADP Response
		3.20.11.2019	Rezoning & Development Permit

Project Description
New residential development involving the demolition of 2 existing buildings and the construction of 6 new blocks providing approximately 1,118 homes in three phases.

Civic Address 10138 Whalley Blvd 10139 137A St	Legal Address PID: 008-665-397, Lot 72, Plan NW939808, SEC 26, Range2, New Westminster Land District
---	--

General Data	Surrey Zoning By-Law 12000 District: New Westminster Current Zoning: RM-45 - Multiple Residential 45 Zone Adjacent Zoning: N/A Rezoned to: CD-1	Transit Skytrain LRT (Future) Bus Route	Station Surrey Central	Walking Distance 400m	Existing Land Use 2-4 storey Residential buildings with surface parking, 154 homes and 221 bedrooms - which are being 100% replaced in the new development
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Policy	Surrey City Centre Plan Recommended: 3.5 110m 38 Storeys	Plan Surrey 2013 Official Community Plan Recommended: 3.5 119.85m 38 Storeys	Proposed: 5.30 119.85m 38 Storeys	Density Bonus Interim Policy (20% Consideration) - City Centre Plan Section 11.7 Eligible Land Use Designations: Mid to High Rise 3.5 FAR (Current Permitted on site) High Rise & Mixed Use 5.5 FAR Mixed Use 7.5
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Deviations
Seeking an amendment to the Official Community Plan and City Centre Plan to permit a higher density

Amenities
Cash-in-Lieu: a cash-in-lieu of amenities payment may be provided

Floor Area (FAR) Calculations	Total	Phase 1	Phase 2	Phase 3	
Site Area (Gross - Existing PL)	16,486	4,561	6,627	7,132	Note: BYLAW SECTION (Part 26-27 for High rise multiple residential buildings) RMC-135 (Bylaw) 2,000m2.
Dedications	1,532	368	3,940	322	
Site Area (Gross - New PL)	14,934	4,195	45,155	6,305	
Setbacks & SWW	9,150	198	8,928	378	
Site Area (Net)	12,782	3,835	39,127	5,326	

Site Setbacks	Required	Provided	
North	4.50	14.76	5.00
South	4.50	14.76	5.00
East	4.50	14.76	5.00
West	5.00	16.40	5.50

Coverage	sm	sf	
Block A	743	8,000	
Tower B	799	8,600	
Mansion Block C	1,416	15,238	
Tower D	856	9,214	
Block E	790	8,503	
Tower F	837	9,006	
Footprint	5,441	58,562	
Lot Coverage (Gross Site)	33%		
Lot Coverage (Net Site)	43%		Note: Site Coverage 33% as per section 24.2 City Bylaw
Hard Landscaping Area	4,042	43,508	
Total Built/Hard Landscaping	9,483	102,069	
Total Site Coverage (Net Site)	74%		

Levels & Heights	No. of Storeys	Entrance Level	Last Occupied Floor	Top of Aperture/Canopy	Building Height	
Block A	13	80.75	264.93	117.40	385.17	142.88
Tower B	23	81.30	267.73	147.50	483.92	239.50
Mansion Block C	6	78.30	256.89	97.10	318.57	81.33
Tower D	32	77.00	252.62	170.70	560.04	329.72
Block E	13	77.26	253.44	115.30	378.96	147.38
Tower F	38	78.00	265.91	188.10	609.11	393.21

Recommended Density	sm	sf	FAR
Base	57,631	620,335	3.50
Interim Density Bonus Policy	11,526	124,067	0.70
Subtotal (Base + Bonus)	66,157	744,402	4.20
OSP Amendment	90,563	974,812	5.30

Proposed Density	units/ha	FAR
Gross Site	684	5.30
Net Site	881	8.82

Data by Use

Residential Unit Mix	Market	Rental	Total	Block A	Tower B	Block C	Tower D	Block E	Tower F
Studio	18%	168	0%	0	15%	168			
1B	40%	428	60%	104	47%	532			
2B	33%	311	35%	61	33%	372			
3B	5%	47	4%	7	5%	54			
Total	100%	954	100%	172	100%	1,126			

Market Areas	Market	NSA - Residential	NSA - Amenity Above Grade + Sports	NSA - Amenity Below Grade	NSA - Commercial	FAR Area	Efficiency
Tower B	16,246	174,875	13,113	141,150	81%	291	3,132
Mansion Block C	8,666	93,276	5,574	59,595	64%	1,310	14,104
Tower D	22,888	244,313	18,230	196,225	80%	284	3,052
Tower F	27,933	300,666	22,507	242,268	81%	624	6,714
Total by Tenure	75,533	813,029	59,424	639,638	79%	2,510	27,012

Rental Areas	Rental	NSA - Residential	NSA - Amenity Above Grade + Sports	NSA - Amenity Below Grade	NSA - Commercial	FAR Area	Efficiency
Block A	7,318	78,765	5,163	55,571	71%	57	618
Block E	7,093	76,349	5,093	54,820	72%	171	1,837
Total by Tenure	14,411	155,114	10,256	110,391	71%	228	2,455

Total Areas	All Tenures	NSA - Residential	NSA - Amenity Above Grade + Sports	NSA - Amenity Below Grade	NSA - Commercial	FAR Area	Efficiency
Phase 1	23,564	253,540	18,276	198,721	78%	348	3,760
Phase 2	31,354	337,488	23,804	256,220	78%	1,595	17,166
Phase 3	35,026	377,015	27,600	297,068	79%	794	8,551
Total all Tenures	89,944	968,043	69,680	750,029	77%	2,738	29,477

Indoor Amenity	Indoor Amenity Detail	Outdoor Amenity Detail				
Amenity Provided	3,146	33,868	93%	3,146	33,868	100%
Amenity Required	3,378	36,360	100%			
Outdoor Amenity	3,354	36,102	99%			
Amenity Provided	3,378	36,360	100%			

Daycare Provision	sm	sf
Daycare total area	395	4,254

City Data Sheet - Phase 1

Alison Brooks Architects

Whalley Boulevard Development Data Sheet - Phase 1

City of Surrey File No. 7918-0289-00	Revision 1	Date 23.08.2019	Work Stage ADP Response
	Revision 2	Date 20.11.2019	Work Stage Rezoning & Development Permit

Project Description
New residential development involving the demolition of 2 existing buildings and the construction of 6 new blocks providing approximately 1,102 homes in three phases.

Civic Address 10138 Whalley Blvd 10139 137A St	Legal Address PID: 008-665-597, Lot 72, Plan NW39808, SEC 26, Rang2, New Westminster Land District
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General Data - Phase 1 Only

Surrey Zoning By-Law 12000	Station	Walking Distance	Existing Land Use
District RM-45 - Multiple Residential 45 Zone	Station Surrey Central	400m	2-4-storey Residential buildings with surface parking. 154 homes and 221 bedrooms - which are being 100% replaced in the new development.
Current Zoning Adjacent Zoning Rezoned to	Transit Skytrain LRT (future) Bus Route		

Policy	Density Bonus Interim Policy (20% Consideration) - City Centre Plan Section 11.7
Surrey City Centre Plan	Eligible Land Use Designations
Plan Surrey 2013 Official Community Plan	Md to High Rise 3.5 FAR (Current Permitted on site) High Rise & Mixed Use 5.5 FAR Mixed Use 7.5
Proposed	rental housing, civic amenities including child care spaces, public meeting spaces, civic and cultural facilities, public art, open space, publically accessible parks or gathering places, etc.
Recommended	Amenities
3.5	Cash-in-Lieu
110m	a cash-in-lieu of amenities payment may be provided
38 Storeys	
Central Business District	
Mixed-use 3.5 FAR	
Seeking an amendment to the Official Community Plan and City Centre Plan to permit a higher density.	

Floor Area (FAR) Calculations - Phase 1 Only

Site Area	sm	sf	
Site Area (Gross - Existing PL)	4,561	49,094	
Designations	398	3,940	Note: BYLAW SECTION (Part 26-27 for High rise multiple residential buildings) RMC-135 (Bylaw) 2,000m ² .
Site Area (Gross - New PL)	4,163	45,154	
Setbacks & SRW	560	6,028	
Site Area (Net)	3,603	39,127	

Site Setbacks	Required	Provided	
North	4.50	14.76	5.00
South	4.50	14.76	5.00
East	4.50	14.76	5.00
West	5.00	16.40	5.50

Note 01: From Surrey City Centre Plan Section 10.5 - 10.7 (Urban Design Guidelines)
Note 02: Residential Setback considered from edge of new property line
Note 03: Create a "Merchant Zone" where a setback of 4 to 8 or more metres is possible.
Note 04: Additional 0.5m SRW to all frontages

Coverage	sm	sf	
Block A	743	8,000	
Tower B	799	8,600	
Footprint	1,542	16,600	
Lot Coverage (Gross Site)	34%		
Lot Coverage (Net Site)	42%		Note: Site Coverage 33% as per section 24.2 City Bylaw

Hard Landscaping Area	1,153	12,411
Total Built/Hard Landscaping	2,895	29,011
Total Site Coverage (Net Site)	74%	

Levels & Heights	No. of Storeys	Entrance Level	Last Occupied Floor	Top of Appurtenance	Building Height	
Block A	13	80.75	264.93	117.40	385.17	124.30
Tower B	23	81.30	266.73	147.50	483.92	506.23

Note: Surrey City Centre Plan Section 10.3 (Urban Design Guidelines)
Maximum Height 110m
Maximum No. of Floors 38 Storeys

Recommended Density	sm	sf	FAR	Proposed Density	units/ha	FAR
Base	15,964	177,830	3.50	Gross Site	658	5.09
Interim Density Bonus Policy	3,193	34,366	0.70	Net Site	825	6.39
Subtotal (Base + Bonus)	19,156	206,196	4.20			
OCF Amendment	25,088	270,018	5.50			

Data by Use - Phase 1 Only

Residential Unit Mix	Market	Rental	Total	Block A	Tower B
	mix	no. units	mix	no. units	no. units
Studio	19%	40	0%	0	40
1B	40%	98	63%	55	153
2B	31%	66	38%	33	99
3B	4%	8	0%	0	8
Total	100%	212	100%	88	212
Tenure	71%		29%		

Phase 1: 300

Market Areas	Market											
	GFA	NSA - Residential			NSA - Amenity Above Grade + Sports		NSA - Amenity Below Grade		NSA - Commercial		FAR Area	Efficiency
	sm	sf	sm	sf	eff	sm	sf	sm	sf	sm	sf	%
Tower B	16,246	174,875	13,113	141,150	81%	291	3,132	299	3,223	0	0	83%
Total by Tenure	16,246	174,875	13,113	141,150	81%	291	3,132	299	3,223	0	0	83%

Rental Areas	Rental											
	GFA	NSA - Residential			NSA - Amenity Above Grade		NSA - Amenity Below Grade		NSA - Commercial		FAR Area	Efficiency
	sm	sf	sm	sf	eff	sm	sf	sm	sf	sm	sf	%
Block A	7,318	78,765	5,163	55,571	71%	57	618	0	0	788	8,484	82%
Total by Tenure	7,318	78,765	5,163	55,571	71%	57	618	0	0	788	8,484	82%

Total Areas	All Tenures											
	GFA	NSA - Residential			NSA - Amenity Above Grade + Sports		NSA - Amenity Below Grade		NSA - Commercial		FAR Area	Efficiency
	sm	sf	sm	sf	eff	sm	sf	sm	sf	sm	sf	%
Total all Tenures - Phase 1	23,564	253,640	18,276	196,721	78%	348	3,750	299	3,223	788	8,484	82%

Indoor Amenity	sm	sf	%	Indoor Amenity Detail	sm	sf	%	Outdoor Amenity Detail	sm	sf	%
Amenity Provided	648	6,973	72%	Total	648	6,973	100%	Total	625	6,727	100%
Amenity Required	900	9,688	100%	Rental Amenity Room A	57	618	9%	Public (max. 0.75sm/unit)	225	2,422	36%
				Media Lounge Tower B	291	3,132	45%	Semi-private at grade	400	4,306	64%
				Below grade:							
				Bike Workshop/Dog Wash	299	3,223	46%				
				Block B							

Outdoor Amenity	sm	sf	%
Amenity Provided	625	6,727	69%
Amenity Required	900	9,688	100%

Daycare Provision	sm	sf
Daycare total area	395	4,254

City Data Sheet - Phase 2

Ailison Brooks Architects

Whalley Boulevard Development Data Sheet - Phase 2

City of Surrey File No.	Revision	Date	Work Stage
7918-0289-00		1 23.08.2019	ADP Response
		2 20.11.2019	Rezoning & Development Permit

Project Description
New residential development involving the demolition of 2 existing buildings and the construction of 6 new blocks providing approximately 1,102 homes in three phases.

Civic Address	Legal Address
10138 Whalley Blvd 10139 137A St	PID: 008-665-397, Lot 72, Plan NW39808, SEC 26, Range2, New Westminster Land District

General Data - Phase 2 Only

Surrey Zoning By-Law 12000	Existing Land Use
District: New Westminster Current Zoning: RM-45 - Multiple Residential 45 Zone Adjacent Zoning: N/A Rezoned to: CD-1	2 4-storey Residential buildings with surface parking, 154 homes and 221 bedrooms - which are being 100% replaced in the new development

Policy	Surrey City Centre Plan	Plan Surrey 2013 Official Community Plan	Proposed	Density Bonus Interim Policy (20% Consideration) - City Centre Plan Section 11.7
FAR	Recommended 3.5	Recommended 3.5	4.49	Eligible Land Use Designations: Mid to High Rise 3.5 FAR (Current Permitted on site) Mixed Use 5.5 FAR
Max Height	110m	100.50m	32 Storeys	
Max Storeys	38 Storeys	32 Storeys		
Designation	Central Business District	Mixed-use 3.5 FAR		rental housing, civic amenities including child care spaces, public meeting spaces, civic and cultural facilities, public art, open space, publicly accessible parks or gathering places, etc.
Deviations	Seeking an amendment to the Official Community Plan and City Centre Plan to permit a higher density			Amenities: a cash-in-lieu of amenities payment may be provided

Floor Area (FAR) Calculations - Phase 2 Only

Site Area	sm	sf
Site Area (Gross - Existing PL)	6,627	71,332
Dedications	322	3,466
Site Area (Gross - New PL)	6,305	67,866
Setbacks & SRW	379	16,538
Site Area (Net)	5,926	57,329

Site Setbacks	Required	Provided
North	4.50	14.76
South	4.50	14.76
East	4.50	14.76
West	5.00	16.40

Coverage	sm	sf
Mansion Block C	1,416	15,236
Tower D	856	9,214
Footprint	2,272	24,452
Lot Coverage (Gross Site)	34%	
Lot Coverage (Net Site)	43%	

Note: Site Coverage 33% as per section 24.2 City Bylaw

Levels & Heights	No. of Storeys	Entrance Level	Last Occupied Floor	Top of Appearance	Building Height
Mansion Block C	6	78.30	256.89	97.10	318.57
Tower D	32	77.00	252.62	170.70	560.04

Recommended Density	sm	sf	FAR	Proposed Density	units/ha	FAR
Base	23,195	249,664	3.50	Gross Site	558	4.49
Interim Density Bonus Policy	4,639	49,933	0.70	Net Site	695	5.59
Subtotal (Base + Bonus)	27,833	299,596	4.20			
OCP Amendment	36,449	392,328	5.50			

Data by Use - Phase 2 Only

Residential Unit Mix	Market		Rental		Total		Block C		Tower D	
	mix	no. units	mix	no. units	mix	no. units	no. units	no. units	no. units	no. units
Studio	16%	58			16%	58	0	58		
1B	42%	154			42%	154	8	146		
2B	35%	129			35%	129	38	91		
3B	8%	29			8%	29	20	9		
Total	100%	370	0%	0	100%	370	66	304		
Tenure		100%		0%			Phase 2:		370	

Market Areas	GFA		NSA - Residential		NSA - Amenity Above Grade + Sports		NSA - Amenity Below Grade		NSA - Commercial		FAR Area		Efficiency %	
	sm	sf	sm	sf	sm	sf	sm	sf	sm	sf	sm	sf		
Mansion Block C	8,666	93,276	5,574	59,995	64%	1,310	14,704	109	1,178	0	0	7,355	79,164	79%
Tower D	22,688	244,213	18,230	196,225	80%	284	3,062	0	0	261	2,813	22,404	241,151	83%
Total by Tenure	31,354	337,488	23,804	256,220	78%	1,595	17,766	109	1,178	261	2,813	29,758	320,315	82%

Rental Areas	GFA		NSA - Residential		NSA - Amenity Above Grade		NSA - Amenity Below Grade		NSA - Commercial		FAR Area		Efficiency %
	sm	sf	sm	sf	sm	sf	sm	sf	sm	sf	sm	sf	
Total by Tenure	0	0	0	0	0%	0	0	0	0	0	0	0	0%

Total Areas	GFA		NSA - Residential		NSA - Amenity Above Grade + Sports		NSA - Amenity Below Grade		NSA - Commercial		FAR Area		Efficiency %	
	sm	sf	sm	sf	sm	sf	sm	sf	sm	sf	sm	sf		
Total all Tenures	31,354	337,488	23,804	256,220	78%	1,595	17,766	109	1,178	261	2,813	29,758	320,315	82%

Indoor Amenity	sm	sf	%	Indoor Amenity Detail	sm	sf	%	Outdoor Amenity Detail	sm	sf	%	
	Amenity Provided	1,704	18,344		154%	Total	1,704		18,344	100%	Total	1,772
Amenity Required	1110	11,948	100%	Coworking Tower D	284	3,062	17%	Public (max. 0.75sm/unit)	278	2,987	16%	
				Fitness Block C	288	3,100	17%	Private at grade Block C	822	8,848	46%	
				Below grade:				Semi-private at grade	672	7,233	38%	
				Fitness Block C	1,022	11,004	60%					
				Bike Workshop/Dog Wash (Block C)	109	1,178	6%					

Outdoor Amenity	sm	sf	%
	Amenity Provided	1,772	19,068
Amenity Required	1110	11,948	100%

Note: Surrey City Centre Plan Section 10.3 (Urban Design Guidelines)
Maximum Height 110m
Maximum No. of Floors 38 Storeys

City Data Sheet - Phase 3

Alison Brooks Architects

Whaley Boulevard Development Data Sheet - Phase 3

City of Surrey File No. 7918-0289-00	Revision 1	Date 23.08.2019	Work Stage ADP Response
	Revision 2	Date 20.11.2019	Work Stage Rezoning & Development Permit

Project Description
New residential development involving the demolition of 2 existing buildings and the construction of 6 new blocks providing approximately 1,102 homes in three phases.

Civic Address
10158 Whaley Blvd
10139 137A St

Legal Address
PID: 008-665-397, Lot 72, Plan NW39808, SEC 26, Range2, New Westminster Land District

General Data - Phase 3 Only			
Surrey Zoning By-Law 12000	New Westminster	Transit Station	Walking Distance
District	RM-45 - Multiple Residential 45 Zone	Skytrain LRT (future)	400m
Current Zoning	N/A	Surrey Central	
Adjacent Zoning	CD-1	Bus Route	
Rezoned to			
Policy	Surrey City Centre Plan	Plan Surrey 2013 Official Community Plan	Proposed
FAR	Recommended 3.5	Recommended 3.5	Proposed 6.49
Max Height	110m	110m	119.85m
Max Storeys	38 Storeys	38 Storeys	38 Storeys
Designation	Central Business District	Mixed-use 3.5 FAR	
Deviations	Seeking an amendment to the Official Community Plan and City Centre Plan to permit a higher density		
	Density Bonus Interim Policy (20% Consideration) - City Centre Plan Section 11.7	Eligible Land Use Designations	Mid to High Rise 3.5 FAR (Current Permitted on site) High Rise & Mixed Use 5.5 FAR Mixed Use 7.5
	Amenities		rental housing, civic amenities including child care spaces, public meeting spaces, civic and cultural facilities, public art, open space, publically accessible parks or gathering places, etc.
	Cash-in-Lieu		a cash-in-lieu of amenities payment may be provided

Floor Area (FAR) Calculations - Phase 3 Only						
Site Area	sm	sf				
Site Area (Gross - Existing PL)	5,278	56,812				
Deductions	344	9,088				
Site Area (Gross - New PL)	4,434	47,727				
Setbacks & SRW	813	6,598				
Site Area (Net)	3,821	41,129				
Site Setbacks	Required	Provided				
North	4.50	14.76	5.00			
South	4.50	14.76	5.00			
East	4.50	14.76	5.00			
West	5.00	16.40	5.50			
Coverage	sm	sf				
Block E	790	8,503				
Tower F	837	9,006				
Footprint	1,627	17,509				
Lot Coverage (Gross Site)	31%					
Lot Coverage (Net Site)	43%					
Hard Landscaping Area	1,332	14,338				
Total Built/Hard Landscaping	2,959	31,847				
Total Site Coverage (Net Site)	77%					
Levels & Heights	No. of Storeys	Entrance Level	Last Occupied Floor	Top of Appurtenance	Building Height	
Block E	13	77.25	252.44	115.50	378.94	122.17
Tower F	38	78.00	255.91	188.10	617.13	197.85
Recommended Density	sm	sf	FAR	Proposed Density	units/ha	FAR
Base	18,473	198,842	3.50	Gross Site	864	6.49
Interim Density Bonus Policy	3,656	39,768	0.70	Net Site	864	6.98
Subtotal (Base + Bonus)	22,168	238,610	4.20			
DCP Amendment	29,029	312,466	5.50			

Note: BYLAW SECTION (Part 26-27 for High rise multiple residential buildings) RMC-135 (Bylaw) 2,000sqm.

Note 01: From Surrey City Centre Plan Section 10.5 - 10.7 (Urban Design Guidelines)
Note 02: Residential Setback considered from edge of new property line
Note 03: Create a "Merchant Zone" where a setback of 4 to 8 or more metres is possible.
Note 04: Additional 0.5m SRW to all frontages

Note: Site Coverage 33% as per section 24.2 City Bylaw

Note: Surrey City Centre Plan Section 10.3 (Urban Design Guidelines)
Maximum Height 110m
Maximum No. of Floors 38 Storeys

Data by Use - Phase 3 Only											
Residential Unit Mix	Market			Rental			Total			Block E	Tower F
	mix	no. units	%	mix	no. units	%	mix	no. units	%	no. units	no. units
Studio	19%	70	0%	0	15%	70	0	70	0	70	
1B	47%	176	56%	49	49%	225	49	176	49	176	
2B	31%	116	33%	28	32%	144	28	116	28	116	
3B	3%	10	8%	7	4%	17	7	10	7	10	
Total	100%	372	100%	84	100%	456	84	372	84	372	
Tenure			82%		18%					456	

Market Areas															
Market Areas	GFA			NSA - Residential			NSA - Amenity Above Grade + Sports			Market					
	sm	sf	%	sm	sf	eff	sm	sf	%	NSA - Amenity Grade	Below	NSA - Commercial	FAR Area	Efficiency %	
Tower F	27,933	300,666		22,507	242,268	81%	624	6,714		0	0	0	27,309	293,952	83%
Total by Tenure	27,933	300,666		22,507	242,268	81%	624	6,714		0	0	0	27,309	293,952	83%

Rental Areas																
Rental Areas	GFA			NSA - Residential			NSA - Amenity Above Grade			Rental						
	sm	sf	%	sm	sf	eff	sm	sf	%	NSA - Amenity Grade	Below	NSA - Commercial	FAR Area	Efficiency %		
Block E	7,093	76,349		5,093	54,820	72%	171	1,837		0	0	633	6,816	6,922	74,512	83%
Total by Tenure	7,093	76,349		5,093	54,820	72%	171	1,837		0	0	633	6,816	6,922	74,512	83%

Total Areas																
Total Areas	GFA			NSA - Residential			NSA - Amenity Above Grade + Sports			All Tenures						
	sm	sf	%	sm	sf	eff	sm	sf	%	NSA - Amenity Grade	Below	NSA - Commercial	FAR Area	Efficiency %		
Total all Tenures	35,026	377,015		27,600	297,088	79%	794	8,551		0	0	633	6,816	34,231	368,466	83%

Indoor Amenity					Indoor Amenity Detail					Outdoor Amenity Detail				
Indoor Amenity	sm	sf	%		Total	sm	sf	%		Total	sm	sf	%	
	Amenity Provided	794	8,551	58%		Amenity Provided	171	1,837	21%		Amenity Provided	1,001	10,775	100%
Amenity Required	1368	14,725	100%	Amenity Required	294	3,163	37%	Amenity Required	342	3,681	34%			
				Rental Amenity Room E	294	3,163	37%	Rental Amenity Room E	320	3,444	32%			
				Games & Audit. Tower F	330	3,551	42%	Games & Audit. Tower F	207	2,228	21%			
				Sky Bar Tower F				Sky Bar Tower F	132	1,421	13%			
								Terrace Block E						



Parking - Staff Schedule			
Level	Tower Location	Tower No.	Count
LEVEL 04	PHASE 1	BLOCK 5	85
LEVEL 03	PHASE 1	BLOCK 5	120
LEVEL 02	PHASE 1	BLOCK 5	85
LEVEL 01	PHASE 1	BLOCK 5	85
PHASE 2 - 205			
LEVEL 04	PHASE 2	BLOCK 2	120
LEVEL 03	PHASE 2	BLOCK 2	170
LEVEL 02	PHASE 2	BLOCK 2	120
LEVEL 01	PHASE 2	BLOCK 2	85
PHASE 2 - 308			
LEVEL 04	PHASE 2	BLOCK 7	130
LEVEL 03	PHASE 2	BLOCK 7	130
LEVEL 02	PHASE 2	BLOCK 7	85
PHASE 2 - 378			
LEVEL 04	PHASE 2	BLOCK 8	85
Grand total: 1068			

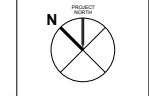
Parking - Bike Storage Schedule		
Level	Tower Location	Count
BLOCK A		
LEVEL 04	BLOCK A	85
LEVEL 03	BLOCK A	85
BLOCK B		
LEVEL 04	BLOCK B	120
LEVEL 03	BLOCK B	170
BLOCK C - 216		
LEVEL 04	BLOCK C	85
BLOCK C - 69		
LEVEL 04	BLOCK C	130
BLOCK C - 67		
LEVEL 04	BLOCK C	85
LEVEL 03	BLOCK C	85
BLOCK D - 275		
LEVEL 04	BLOCK D	85
LEVEL 03	BLOCK D	85
BLOCK E - 274		
LEVEL 04	BLOCK E	85
LEVEL 03	BLOCK E	85
BLOCK F - 274		
LEVEL 04	BLOCK F	85
LEVEL 03	BLOCK F	85
BLOCK G - 274		
LEVEL 04	BLOCK G	85
Grand total: 1068		

CONTRACT

THIS CONTRACT is made between the City of Whalley and the Whalley Development Corporation, for the purpose of providing the Whalley Development Corporation with the right to develop the Whalley Development Corporation's land in Whalley, Ontario, in accordance with the Whalley Development Corporation's Development Agreement with the City of Whalley, Ontario, dated 2018.11.14.

REVISIONS

NO.	DATE	DESCRIPTION
1	2019.11.20	ISSUED FOR PERMIT



Issued For: Rezoning and Development Permit
 Date: 2019.11.20

SCALE

SUB-CONSULTANT

PRIME CONSULTANT

[B] GROUP
 ARCHITECTS (CANADA) INC.
 1000 SHEPPARD AVENUE EAST, SUITE 100
 SCARBOROUGH, ONTARIO M1S 1T7
 TEL: (416) 291-1111
 WWW.BIGGROUP.COM

PROJECT TITLE
 Whalley Blvd
 Project Address
 City, Province/State
 Postal/ZIP Code

PROJECT NO. - 11931

DRAWN BY

CHECKED BY

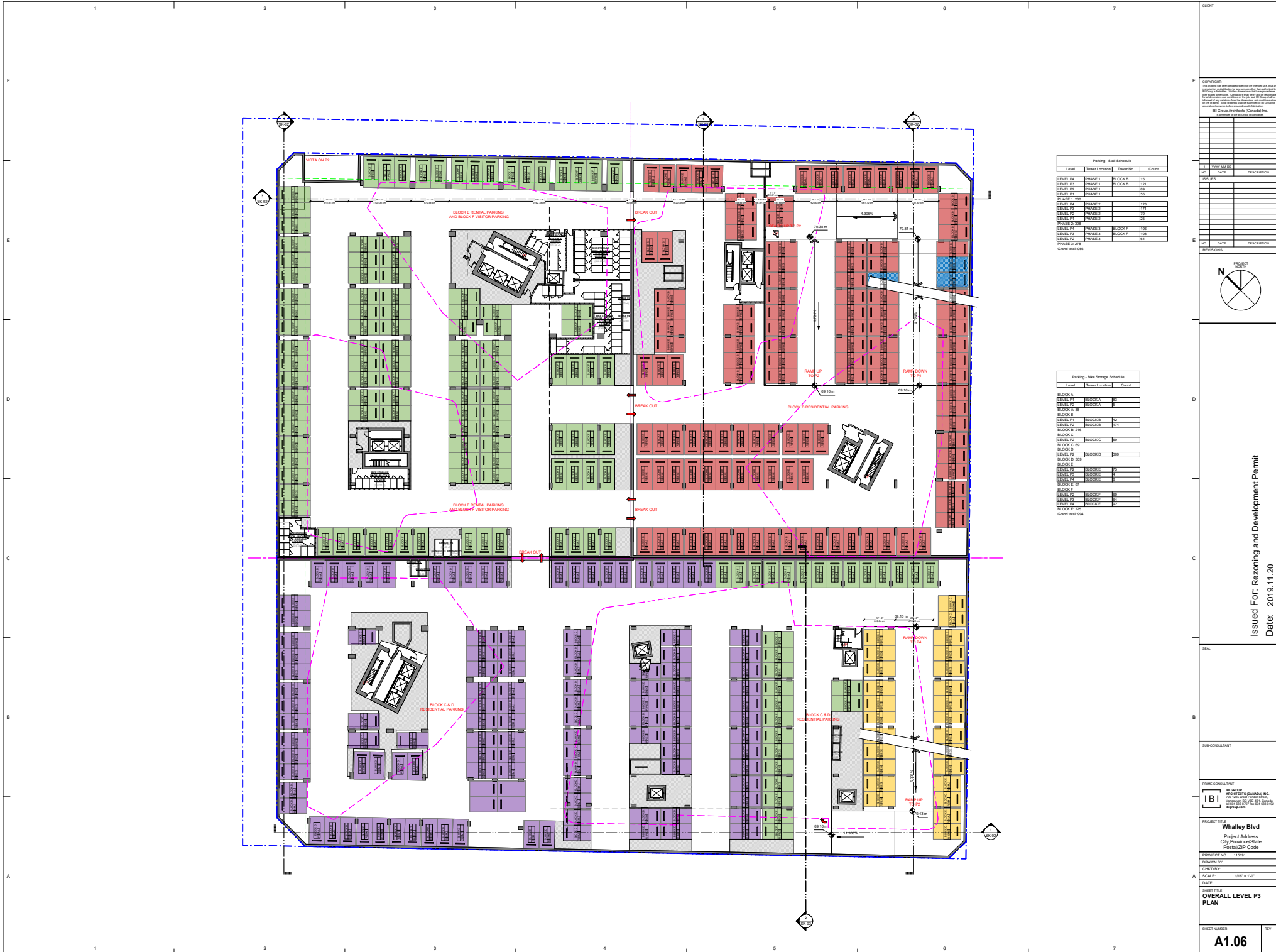
SCALE - 1/8" = 1'-0"

DATE

OVERALL LEVEL P4 PLAN

SHEET NUMBER **REV**

A1.05



Parking - Staff Schedule			
Level	Tower Location	Tower No.	Count
LEVEL 04	PHASE 1	BLOCK 8	83
LEVEL 03	PHASE 1	BLOCK 8	121
LEVEL 02	PHASE 1	BLOCK 8	83
LEVEL 01	PHASE 1	BLOCK 8	83
PHASE 2 - 202			
LEVEL 04	PHASE 2	BLOCK 2	123
LEVEL 03	PHASE 2	BLOCK 2	171
LEVEL 02	PHASE 2	BLOCK 2	123
LEVEL 01	PHASE 2	BLOCK 2	123
PHASE 2 - 308			
LEVEL 04	PHASE 2	BLOCK 7	136
LEVEL 03	PHASE 2	BLOCK 7	198
LEVEL 02	PHASE 2	BLOCK 7	136
PHASE 2 - 378			
Grand total: 208			

Parking - Bike Storage Schedule		
Level	Tower Location	Count
BLOCK A		
LEVEL 03	BLOCK A	83
LEVEL 02	BLOCK A	83
BLOCK B		
LEVEL 03	BLOCK B	123
LEVEL 02	BLOCK B	174
BLOCK C		
LEVEL 03	BLOCK C	83
BLOCK D		
LEVEL 02	BLOCK D	130
BLOCK E		
LEVEL 03	BLOCK E	123
LEVEL 02	BLOCK E	174
LEVEL 01	BLOCK E	83
BLOCK F		
LEVEL 02	BLOCK F	83
LEVEL 01	BLOCK F	83
BLOCK G		
LEVEL 02	BLOCK G	136
BLOCK H		
LEVEL 02	BLOCK H	136
BLOCK I		
LEVEL 02	BLOCK I	136
BLOCK J		
LEVEL 02	BLOCK J	136
BLOCK K		
LEVEL 02	BLOCK K	136
BLOCK L		
LEVEL 02	BLOCK L	136
BLOCK M		
LEVEL 02	BLOCK M	136
BLOCK N		
LEVEL 02	BLOCK N	136
BLOCK O		
LEVEL 02	BLOCK O	136
BLOCK P		
LEVEL 02	BLOCK P	136
BLOCK Q		
LEVEL 02	BLOCK Q	136
BLOCK R		
LEVEL 02	BLOCK R	136
BLOCK S		
LEVEL 02	BLOCK S	136
BLOCK T		
LEVEL 02	BLOCK T	136
BLOCK U		
LEVEL 02	BLOCK U	136
BLOCK V		
LEVEL 02	BLOCK V	136
BLOCK W		
LEVEL 02	BLOCK W	136
BLOCK X		
LEVEL 02	BLOCK X	136
BLOCK Y		
LEVEL 02	BLOCK Y	136
BLOCK Z		
LEVEL 02	BLOCK Z	136
Grand total: 204		

CLIENT

PROJECT NUMBER

NO. DATE DESCRIPTION

REVISIONS

NO. DATE DESCRIPTION

REVISIONS

PROJECT NUMBER

ISSUED FOR: Rezoning and Development Permit
Date: 2019.11.20

SCALE

SUB CONSULTANT

PRIME CONSULTANT

[B] GROUP

PROJECT TITLE: **Whalley Blvd**
Project Address
City, Province/State
Postal/ZIP Code

PROJECT NO.: 11931

DRAWN BY:

CHECKED BY:

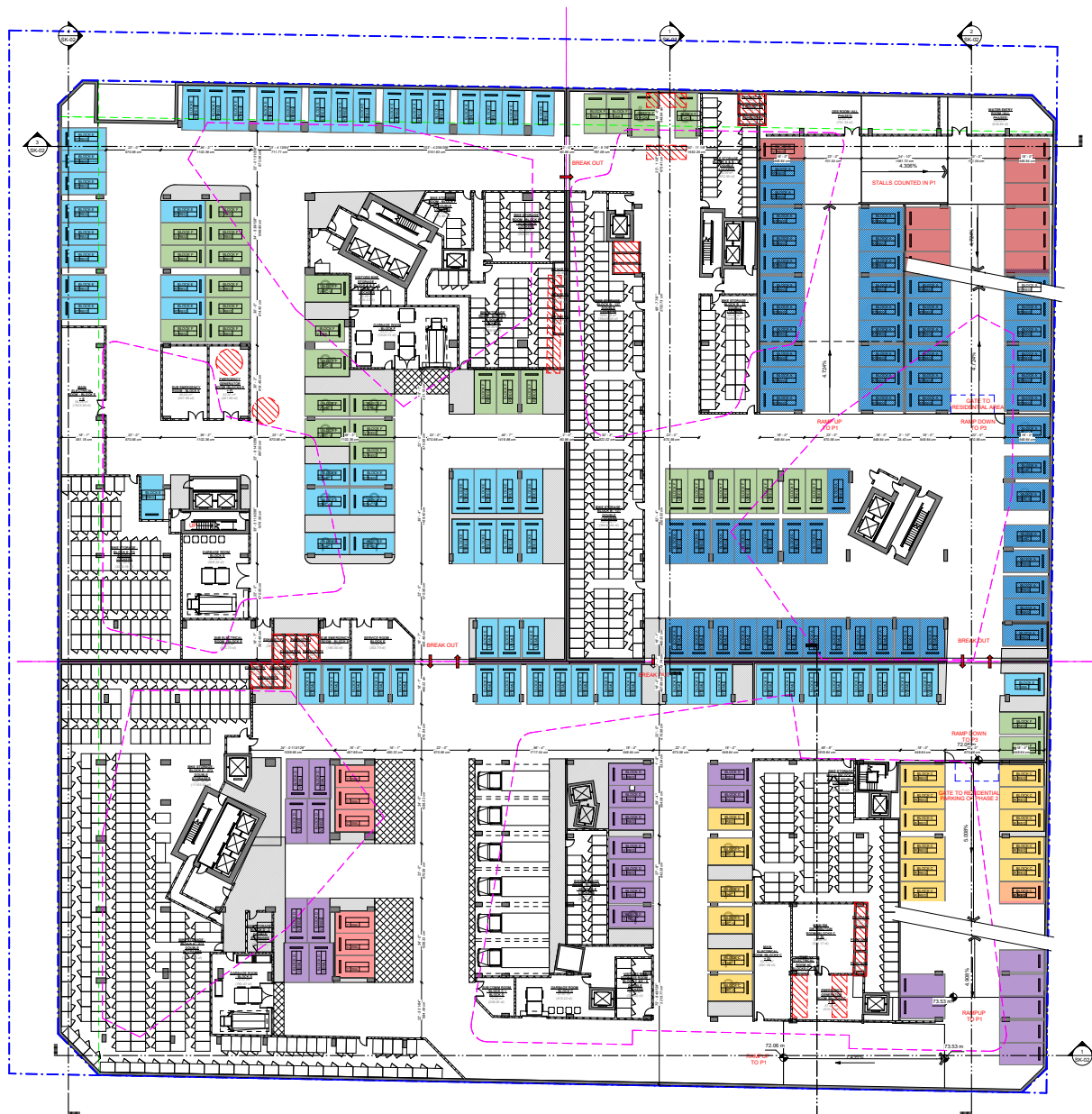
SCALE: 1/8" = 1'-0"

DATE:

OVERALL LEVEL P3 PLAN

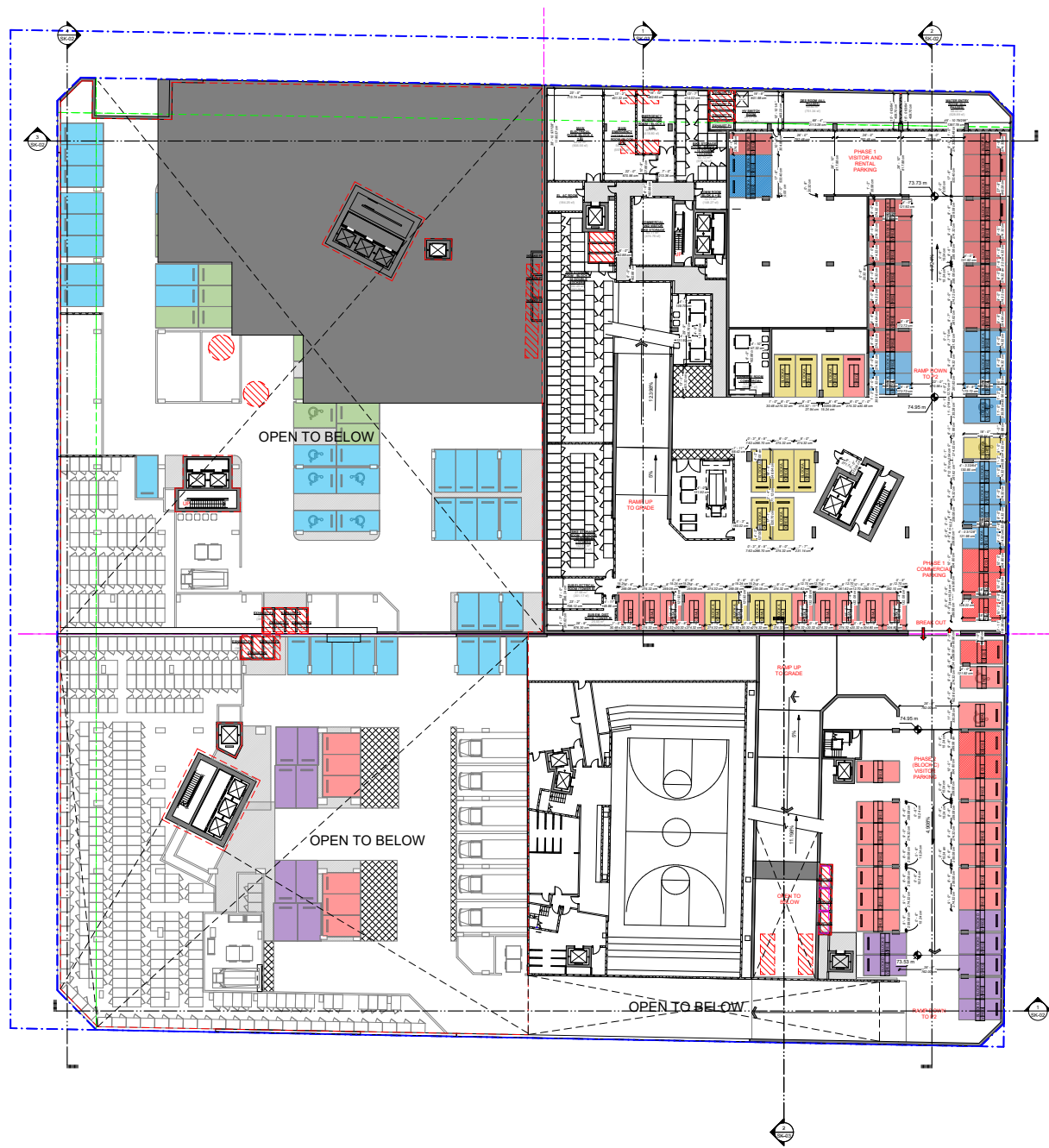
SHEET NUMBER: **A1.06**

REV



Level	Tower Location	Tower No.	Count
LEVEL 01	PHASE 1	BLOCK 5	25
LEVEL 02	PHASE 1	BLOCK 5	25
LEVEL 03	PHASE 1	BLOCK 5	25
LEVEL 04	PHASE 2	BLOCK 6	25
LEVEL 05	PHASE 2	BLOCK 6	25
LEVEL 06	PHASE 2	BLOCK 6	25
LEVEL 07	PHASE 1	BLOCK 7	25
LEVEL 08	PHASE 1	BLOCK 7	25
LEVEL 09	PHASE 1	BLOCK 7	25
LEVEL 10	PHASE 1	BLOCK 7	25
LEVEL 11	PHASE 1	BLOCK 7	25
LEVEL 12	PHASE 1	BLOCK 7	25
LEVEL 13	PHASE 1	BLOCK 7	25
LEVEL 14	PHASE 1	BLOCK 7	25
LEVEL 15	PHASE 1	BLOCK 7	25
LEVEL 16	PHASE 1	BLOCK 7	25
LEVEL 17	PHASE 1	BLOCK 7	25
LEVEL 18	PHASE 1	BLOCK 7	25
LEVEL 19	PHASE 1	BLOCK 7	25
LEVEL 20	PHASE 1	BLOCK 7	25
LEVEL 21	PHASE 1	BLOCK 7	25
LEVEL 22	PHASE 1	BLOCK 7	25
LEVEL 23	PHASE 1	BLOCK 7	25
LEVEL 24	PHASE 1	BLOCK 7	25
LEVEL 25	PHASE 1	BLOCK 7	25
LEVEL 26	PHASE 1	BLOCK 7	25
LEVEL 27	PHASE 1	BLOCK 7	25
LEVEL 28	PHASE 1	BLOCK 7	25
LEVEL 29	PHASE 1	BLOCK 7	25
LEVEL 30	PHASE 1	BLOCK 7	25
LEVEL 31	PHASE 1	BLOCK 7	25
LEVEL 32	PHASE 1	BLOCK 7	25
LEVEL 33	PHASE 1	BLOCK 7	25
LEVEL 34	PHASE 1	BLOCK 7	25
LEVEL 35	PHASE 1	BLOCK 7	25
LEVEL 36	PHASE 1	BLOCK 7	25
LEVEL 37	PHASE 1	BLOCK 7	25
LEVEL 38	PHASE 1	BLOCK 7	25
LEVEL 39	PHASE 1	BLOCK 7	25
LEVEL 40	PHASE 1	BLOCK 7	25
LEVEL 41	PHASE 1	BLOCK 7	25
LEVEL 42	PHASE 1	BLOCK 7	25
LEVEL 43	PHASE 1	BLOCK 7	25
LEVEL 44	PHASE 1	BLOCK 7	25
LEVEL 45	PHASE 1	BLOCK 7	25
LEVEL 46	PHASE 1	BLOCK 7	25
LEVEL 47	PHASE 1	BLOCK 7	25
LEVEL 48	PHASE 1	BLOCK 7	25
LEVEL 49	PHASE 1	BLOCK 7	25
LEVEL 50	PHASE 1	BLOCK 7	25
LEVEL 51	PHASE 1	BLOCK 7	25
LEVEL 52	PHASE 1	BLOCK 7	25
LEVEL 53	PHASE 1	BLOCK 7	25
LEVEL 54	PHASE 1	BLOCK 7	25
LEVEL 55	PHASE 1	BLOCK 7	25
LEVEL 56	PHASE 1	BLOCK 7	25
LEVEL 57	PHASE 1	BLOCK 7	25
LEVEL 58	PHASE 1	BLOCK 7	25
LEVEL 59	PHASE 1	BLOCK 7	25
LEVEL 60	PHASE 1	BLOCK 7	25
LEVEL 61	PHASE 1	BLOCK 7	25
LEVEL 62	PHASE 1	BLOCK 7	25
LEVEL 63	PHASE 1	BLOCK 7	25
LEVEL 64	PHASE 1	BLOCK 7	25
LEVEL 65	PHASE 1	BLOCK 7	25
LEVEL 66	PHASE 1	BLOCK 7	25
LEVEL 67	PHASE 1	BLOCK 7	25
LEVEL 68	PHASE 1	BLOCK 7	25
LEVEL 69	PHASE 1	BLOCK 7	25
LEVEL 70	PHASE 1	BLOCK 7	25
LEVEL 71	PHASE 1	BLOCK 7	25
LEVEL 72	PHASE 1	BLOCK 7	25
LEVEL 73	PHASE 1	BLOCK 7	25
LEVEL 74	PHASE 1	BLOCK 7	25
LEVEL 75	PHASE 1	BLOCK 7	25
LEVEL 76	PHASE 1	BLOCK 7	25
LEVEL 77	PHASE 1	BLOCK 7	25
LEVEL 78	PHASE 1	BLOCK 7	25
LEVEL 79	PHASE 1	BLOCK 7	25
LEVEL 80	PHASE 1	BLOCK 7	25
LEVEL 81	PHASE 1	BLOCK 7	25
LEVEL 82	PHASE 1	BLOCK 7	25
LEVEL 83	PHASE 1	BLOCK 7	25
LEVEL 84	PHASE 1	BLOCK 7	25
LEVEL 85	PHASE 1	BLOCK 7	25
LEVEL 86	PHASE 1	BLOCK 7	25
LEVEL 87	PHASE 1	BLOCK 7	25
LEVEL 88	PHASE 1	BLOCK 7	25
LEVEL 89	PHASE 1	BLOCK 7	25
LEVEL 90	PHASE 1	BLOCK 7	25
LEVEL 91	PHASE 1	BLOCK 7	25
LEVEL 92	PHASE 1	BLOCK 7	25
LEVEL 93	PHASE 1	BLOCK 7	25
LEVEL 94	PHASE 1	BLOCK 7	25
LEVEL 95	PHASE 1	BLOCK 7	25
LEVEL 96	PHASE 1	BLOCK 7	25
LEVEL 97	PHASE 1	BLOCK 7	25
LEVEL 98	PHASE 1	BLOCK 7	25
LEVEL 99	PHASE 1	BLOCK 7	25
LEVEL 100	PHASE 1	BLOCK 7	25

Level	Tower Location	Count
BLOCK A	BLOCK A	25
BLOCK B	BLOCK B	25
BLOCK C	BLOCK C	25
BLOCK D	BLOCK D	25
BLOCK E	BLOCK E	25
BLOCK F	BLOCK F	25
BLOCK G	BLOCK G	25
BLOCK H	BLOCK H	25
BLOCK I	BLOCK I	25
BLOCK J	BLOCK J	25
BLOCK K	BLOCK K	25
BLOCK L	BLOCK L	25
BLOCK M	BLOCK M	25
BLOCK N	BLOCK N	25
BLOCK O	BLOCK O	25
BLOCK P	BLOCK P	25
BLOCK Q	BLOCK Q	25
BLOCK R	BLOCK R	25
BLOCK S	BLOCK S	25
BLOCK T	BLOCK T	25
BLOCK U	BLOCK U	25
BLOCK V	BLOCK V	25
BLOCK W	BLOCK W	25
BLOCK X	BLOCK X	25
BLOCK Y	BLOCK Y	25
BLOCK Z	BLOCK Z	25
BLOCK AA	BLOCK AA	25
BLOCK AB	BLOCK AB	25
BLOCK AC	BLOCK AC	25
BLOCK AD	BLOCK AD	25
BLOCK AE	BLOCK AE	25
BLOCK AF	BLOCK AF	25
BLOCK AG	BLOCK AG	25
BLOCK AH	BLOCK AH	25
BLOCK AI	BLOCK AI	25
BLOCK AJ	BLOCK AJ	25
BLOCK AK	BLOCK AK	25
BLOCK AL	BLOCK AL	25
BLOCK AM	BLOCK AM	25
BLOCK AN	BLOCK AN	25
BLOCK AO	BLOCK AO	25
BLOCK AP	BLOCK AP	25
BLOCK AQ	BLOCK AQ	25
BLOCK AR	BLOCK AR	25
BLOCK AS	BLOCK AS	25
BLOCK AT	BLOCK AT	25
BLOCK AU	BLOCK AU	25
BLOCK AV	BLOCK AV	25
BLOCK AW	BLOCK AW	25
BLOCK AX	BLOCK AX	25
BLOCK AY	BLOCK AY	25
BLOCK AZ	BLOCK AZ	25
BLOCK BA	BLOCK BA	25
BLOCK BB	BLOCK BB	25
BLOCK BC	BLOCK BC	25
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BLOCK BI	BLOCK BI	25
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BLOCK BM	BLOCK BM	25
BLOCK BN	BLOCK BN	25
BLOCK BO	BLOCK BO	25
BLOCK BP	BLOCK BP	25
BLOCK BQ	BLOCK BQ	25
BLOCK BR	BLOCK BR	25
BLOCK BS	BLOCK BS	25
BLOCK BT	BLOCK BT	25
BLOCK BU	BLOCK BU	25
BLOCK BV	BLOCK BV	25
BLOCK BW	BLOCK BW	25
BLOCK BX	BLOCK BX	25
BLOCK BY	BLOCK BY	25
BLOCK BZ	BLOCK BZ	25
BLOCK CA	BLOCK CA	25
BLOCK CB	BLOCK CB	25
BLOCK CC	BLOCK CC	25
BLOCK CD	BLOCK CD	25
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BLOCK CF	BLOCK CF	25
BLOCK CG	BLOCK CG	25
BLOCK CH	BLOCK CH	25
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BLOCK CM	BLOCK CM	25
BLOCK CN	BLOCK CN	25
BLOCK CO	BLOCK CO	25
BLOCK CP	BLOCK CP	25
BLOCK CQ	BLOCK CQ	25
BLOCK CR	BLOCK CR	25
BLOCK CS	BLOCK CS	25
BLOCK CT	BLOCK CT	25
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BLOCK CX	BLOCK CX	25
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BLOCK CZ	BLOCK CZ	25
BLOCK DA	BLOCK DA	25
BLOCK DB	BLOCK DB	25
BLOCK DC	BLOCK DC	25
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BLOCK DF	BLOCK DF	25
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BLOCK DU	BLOCK DU	25
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BLOCK DZ	BLOCK DZ	25
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BLOCK GU	BLOCK GU	25
BLOCK GV	BLOCK GV	25
BLOCK GW	BLOCK GW	25
BLOCK GX	BLOCK GX	25
BLOCK GY	BLOCK GY	25
BLOCK GZ	BLOCK GZ	25
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BLOCK IC	BLOCK IC	25
BLOCK ID	BLOCK ID	25
BLOCK IE	BLOCK IE	25
BLOCK IF	BLOCK IF	25
BLOCK IG	BLOCK IG	25
BLOCK IH	BLOCK IH	25
BLOCK II	BLOCK II	25
BLOCK IJ	BLOCK IJ	25
BLOCK IK	BLOCK IK	25
BLOCK		



Parking - Stall Schedule Phase		
Tower Location	Comments	Count

PHASE 1		
PHASE 1	C	12
PHASE 1	CS	3
PHASE 1	P	13
PHASE 1	R	133
PHASE 1	R	10
PHASE 1	R	32
PHASE 1	R	29
PHASE 2	C	17
PHASE 2	CS	4
PHASE 2	R	312
PHASE 2	R	32
PHASE 2	R	25
PHASE 3	R	277
PHASE 3	R	14
PHASE 3	R	74
PHASE 3	R	27
PHASE 3	R	27
Grand total		956

Parking - Stall Schedule by Block		
Tower No.	Comments	Count

PHASE 1		
C		12
CS		3
BLOCK A		133
BLOCK A		10
BLOCK A		32
BLOCK B		29
BLOCK B		137
BLOCK B		10
BLOCK C		17
BLOCK C		4
BLOCK D		312
BLOCK D		32
BLOCK D		25
BLOCK E		277
BLOCK E		14
BLOCK E		74
BLOCK E		27
BLOCK E		27
Grand total		956

Parking - Bike Storage Schedule		
Level	Tower Location	Count

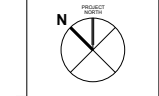
BLOCK A		
LEVEL P1	BLOCK A	10
LEVEL P2	BLOCK A	6
BLOCK B		
LEVEL P1	BLOCK B	137
LEVEL P2	BLOCK B	10
LEVEL P3	BLOCK B	174
BLOCK C		
LEVEL P1	BLOCK C	17
LEVEL P2	BLOCK C	4
BLOCK D		
LEVEL P1	BLOCK D	312
LEVEL P2	BLOCK D	32
LEVEL P3	BLOCK D	25
BLOCK E		
LEVEL P1	BLOCK E	277
LEVEL P2	BLOCK E	14
LEVEL P3	BLOCK E	74
LEVEL P4	BLOCK E	27
LEVEL P5	BLOCK E	27
LEVEL P6	BLOCK E	14
LEVEL P7	BLOCK E	14
LEVEL P8	BLOCK E	14
LEVEL P9	BLOCK E	14
LEVEL P10	BLOCK E	14
LEVEL P11	BLOCK E	14
LEVEL P12	BLOCK E	14
LEVEL P13	BLOCK E	14
LEVEL P14	BLOCK E	14
LEVEL P15	BLOCK E	14
LEVEL P16	BLOCK E	14
LEVEL P17	BLOCK E	14
LEVEL P18	BLOCK E	14
LEVEL P19	BLOCK E	14
LEVEL P20	BLOCK E	14
Grand total		554

Note: Each Bike Storage locker accommodates 2 bikes

CONTRACT
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REVISIONS

NO.	DATE	DESCRIPTION
1	2019.11.20	ISSUED FOR PERMIT



PROJECT ADDRESS
Whalley Blvd
City, Province/State
Postal/ZIP Code

PROJECT NO.: 11931

DRAWN BY:

CHD BY:

SCALE: 3/8" = 1'-0"

DATE:

SHEET NAME:
OVERALL LEVEL P1 PLAN

ISSUED FOR: Rezoning and Development Permit
Date: 2019.11.20

ISSUE CONSULTANT

B. GROUP ARCHITECTS (CANADA) INC.
Whalley Blvd, Unit 101
Scarborough, ON M1B 5C6
Canada
Tel: 416-491-1111
www.bgroup.ca

PROJECT TITLE:
Overall Level P1 Plan

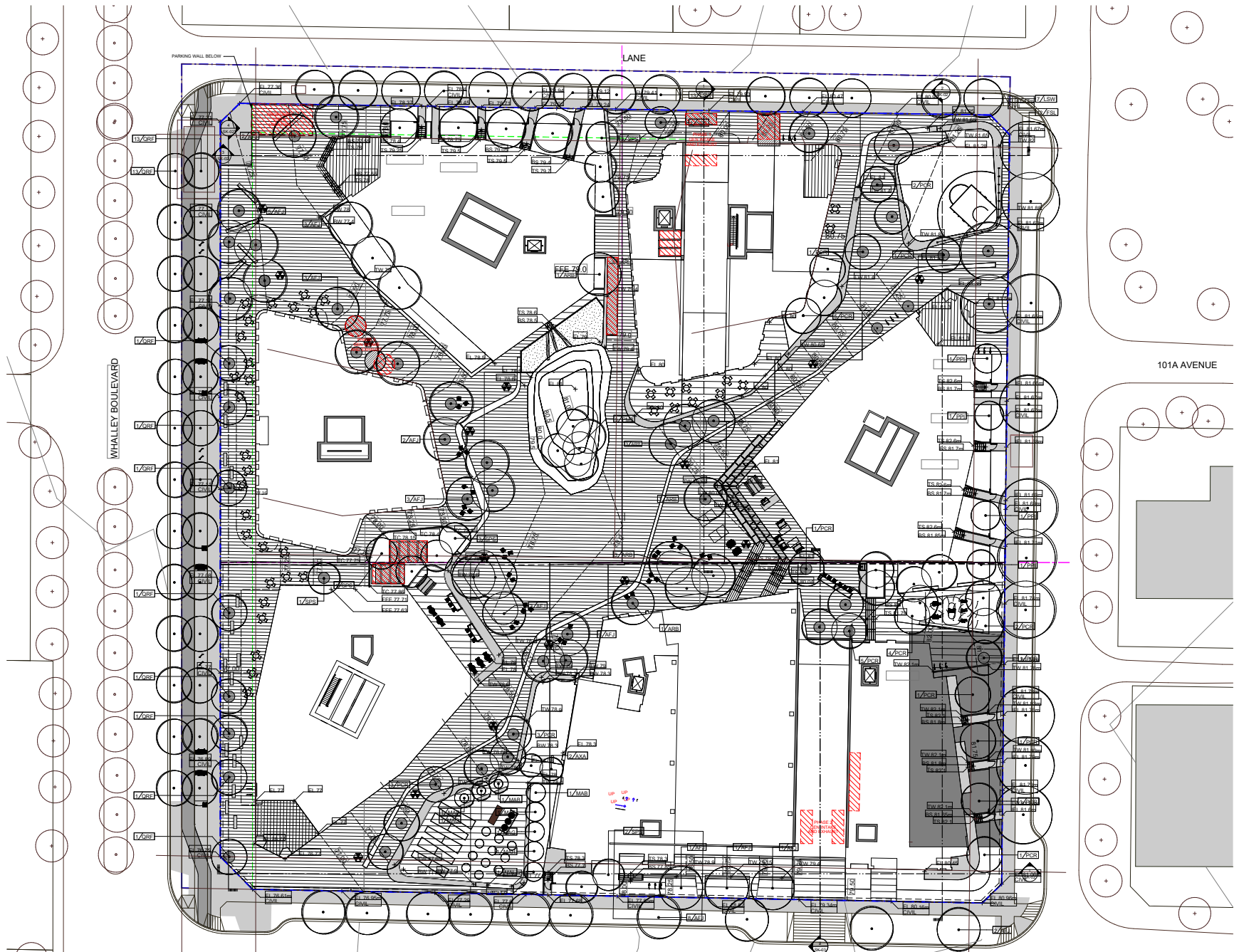
DRAWN BY:
CHD BY:

DATE:

SHEET NUMBER:
A1.08

REV

1/10/2020 10:18:28 AM PST



CLIENT

DATE

PROJECT NO.

PROJECT NAME

PROJECT ADDRESS

CITY, PROVINCE/STATE

REAR/ZIP CODE

PROJECT NO. - 11511

DRAWN BY

CHECKED BY

SCALE - 3/8" = 1'-0"

DATE

SHEET NO. **A1.09**

REVISIONS

NO.	DATE	DESCRIPTION
1	2019.11.20	ISSUED FOR PERMIT

ISSUED FOR: Rezoning and Development Permit
Date: 2019.11.20

PROJECT CONSULTANT

PROJECT NAME

PROJECT ADDRESS

CITY, PROVINCE/STATE

REAR/ZIP CODE

PROJECT NO. - 11511

DRAWN BY

CHECKED BY

SCALE - 3/8" = 1'-0"

DATE

SHEET NO. **A1.09**

VEHICLE/BICYCLE TABULATIONS - REFERENCE FROM SURREY

Zoning Bylaw Rules (Part 5)

VEHICLES

Residential Uses (Ground Oriented)	2 parking spaces per dwelling unit 2.2 parking spaces per dwelling unit for visitors
Residential Uses (Non Ground Oriented)	0.2 parking spaces per dwelling unit 0.1 parking spaces per dwelling unit for visitors
Retail	1 parking spaces per 200 m ² (1,075 ft ²) of gross floor area
Restaurants and Caf�	1 parking spaces if gross floor area is <150 m ² otherwise 3 parking spaces per 200 m ² (1,075 ft ²) of gross floor area
Medical Office	1.5 parking spaces per 200 m ² (1,075 ft ²) of gross floor area
Day Care	0.7 spaces per employee and 1 space for every 20 children
	70-100 1 101-200 2 200-300 3 301-400 4 401-500 5 More than 500
Space for Persons with Disabilities	
Small Cars	Minimum 30% of the required parking spaces

BICYCLES

Residential Uses (Ground Oriented)	1 visitor bicycle spaces per multiple unit residential building
Residential Uses (Non Ground Oriented)	2 visitor bicycle spaces per multiple unit residential building
Retail Store	1.2 bicycle spaces in a visitor bicycle parking area per dwelling unit
	1.2 visitor bicycle spaces per 200 m ² (1,075 ft ²) of gross floor area where the gross floor area is greater than or equal to 6,445 m ² (70,000 ft ²)

City Centre Plan (Part 5.B)

Proximity to Skytrain 20% reduction of standard requirements for Commercial use

OVERALL REQUIRED / PROVIDED TOTAL PARKING

Use	Residential		Sub Total	10% Residential Parking Reduction (Total Measures) + 10% Residential Parking Reduction (Cash in Lieu)		Residential Sub Total	Commercial		Day Care	Total
	0.9 Per Dwelling Unit	0.2 Per Unit		Residents	Visitors		Car/Commercial	Day Care		
Parking Stalls Required	1,014.40	112.40	1,126.80	930.12	90.08	900.80	30.74	11.00		945
Provided (applies)	1,011	111	1,122	911	90	901	31	11		

Use	Residential	Residential Visitor	Sub Total	Commercial	Day Care	Car Share Program	Total
P1	2	36	36	25	13	6	80
P2	166	60	226	6	-	-	232
P3	400	-	400	-	-	-	400
P4	244	-	244	-	-	-	244
Total	812	94	906	31	13	6	956

EV Stalls	Residential	Residential Visitor	Sub Total	Commercial	Day Care	Car Share Program	Sub Total	Total
Number of Stalls	100%	50%	858	20%	20%	100%	16	874
	812	47		6	3	6		

REQUIRED / PROVIDED BICYCLE PARKING

Use	RESIDENTIAL		Sub Total	Extra Stalls for TDM Measures	Total Residential Bike Stalls	Visitor at ground	Commercial	Total
	Residential	Visitor						
Bikes Required	1,351	36	1,387	600	1,987	36	-	2,023
Bikes Provided	1,351	36	1,387	601	1,988	36	-	2,024

Floor By Floor Breakdown of Provided Car parking

Type	Breakdown by Car Size				Total	Breakdown by Use					Total
	Regular	Small	H.C.			Residential	Visitors	Day Care	Commercial	Car Share	
P1	63	13	4		80	1	35	11	25	6	80
P2	143	67	22		232	166	60	-	6	-	232
P3	272	129	-		401	401	-	-	-	-	401
P4	151	93	-		244	244	-	-	-	-	244
Total	629	302	26		956	812	95	13	31	6	944
TARGET					944	811	90	13	30		944

NOTE: The target of small car is a maximum allowed

Floor By Floor Breakdown of Provided Bicycle Parking

Type	Breakdown by Use				Total
	Residential	Commercial	Visitor		
P1	238	-	12		250
P2	1,356	-	24		1,380
P3	136	-	-		136
P4	200	-	-		200
Total	1,930		36		1,966

REQUIRED / PROVIDED LOADING

No Loading requirements for City of Surrey

Use	Residential	Commercial	Total
Loading Stalls Required	N/A	N/A	N/A
Provided			
Class A Loading Provided	6	-	6
Class B Loading Provided	-	-	-
TOTAL	6		6

VALUES FOR TABULATING PARKING & LOADING COUNTS

Residential Units	STUDIO & 1 BD	2 BD & 3BD	Total
Block A	55	33	88
Block B	138	14	212
Block C	8	58	66
Block D	204	100	304
Block E	49	35	84
Block F	246	138	372
Project Total	700	406	1,126

Total	PHASE 01	PHASE 02	PHASE 03
300			
370			
456			

Additional Use	Imperial	Metric
COMMERCIAL	12,443	1,156
DAY CARE	1,410	181
TOTAL	13,853	1,337

Additional Use	Imperial	Metric
DAY CARE	4,433	420
		20 child care spaces

Note: 12 Group Child Care (under 36 months) and 29 Group Child Care (30 months to school age)

Required (Sub types - part of overall count of cars)

Small Car (Max)	Electric Vehicle	Total	N/C
30% of total vehicles	No requirements for City of Surrey		
331	To be Confirmed by City Staff		12

Provided

Small Car (Max)	Electric Vehicle				Total	N/C
	Residential	Visitors	Commercial			
305	-	-	-	-	-	28

VEHICLE/BICYCLE TABULATIONS - REFERENCE FROM SURREY

Zoning Bylaw Rules (Part 5)

VEHICLES

Residential Uses (Ground Oriented)	2 parking spaces per dwelling unit 0.2 parking spaces per dwelling unit for visitors
Residential Uses (Non Ground Oriented)	0.9 parking spaces per dwelling unit 0.1 parking spaces per dwelling unit for visitors
Retail	1 parking spaces per 100 m ² (1,075 ft ²) of gross floor area
Restaurants and Caf�	1 parking spaces if gross floor area is <150 m ² otherwise 3 parking spaces per 100 m ² (1,075 ft ²) of gross floor area
Medical Office	1.5 parking spaces per 100 m ² (1,075 ft ²) of gross floor area
Day Care	0.7 spaces per employee and 1 space for every 10 children
	50-100 1 101-200 2 201-300 3 301-400 4 401-500 5 More than 500 5
Space for Persons with Disabilities	1 parking spaces plus 1 parking space per 100 required parking spaces or portion thereof in excess of 500 parking spaces
Small Cars	Maximum 10% of the required parking spaces

BICYCLES

Residential Uses (Ground Oriented)	6 visitor bicycle spaces per multiple unit residential building
Residential Uses (Non Ground Oriented)	6 visitor bicycle spaces per multiple unit residential building
Retail Store	1.2 bicycle spaces in a secure bicycle parking area per dwelling unit
	0.1 visitor bicycle space per 100 m ² (1,075 ft ²) of gross floor area where the gross floor area is greater than or equal to 4,645 m ² (50,000 ft ²)

City Centre Plan (Part 5.4)

Proximity to Skytrain	10% relaxation of standard requirements for Commercial use
------------------------------	--

PHASE 01 REQUIRED / PROVIDED TOTAL PARKING

Use	Residential	Residential Visitor	Sub Total	10% Residential Parking Reduction (TDM Measure) / 10% Residential Parking Reduction (Cash in Use)		Residential Sub Total	Commercial		Total
				Residents	Visitors		Caf�/Commercial	Day Care	
Building Stalls Required	270.0	30.0	300.0	243.0	24.0	267.0	9.0	13.0	282.0
Provided (Exp./In)	270	30	300	215	24	240	9	13	262

Provided

Use	Residential	Residential Visitor	Sub Total	Commercial	Day Care	Care Share Program	Total
P1	2	27	29	10	7.3	3	55
P2	74	14	88	-	-	-	88
P3	121	14	135	-	-	-	135
P4	15	-	15	-	-	-	15
TOTAL	216	38	254	10	7.3	3	280

Required (Sub types - part of overall count of cars)

Small Car (Max)	Electric Vehicle			Total	N/C
	Impersonal	Personal	Electric		
91% of total vehicles	No requirements for City of Surrey				
91	To be Confirmed by City Staff				

Provided

Small Car (Max)	Electric Vehicle			Total	N/C
	Residential	Visitors	Commercial		
91					

REQUIRED / PROVIDED BICYCLE PARKING

Use	Residential					Additional use		Total			
	BLOCK A		BLOCK B		Sub Total Residential	Extra Residential Stalls for TDM Measures	Total Residential				
	Residential	Visitors	Residential	Visitors					Residential	Visitors	
Bikes Required	109	6	214	6	360	12	160	530	11	12	544
Bikes provided	109	6	214	6	360	12	231	596	11	11	620

Floor By Floor Breakdown of Provided Car parking

Type	Breakdown by Car Size				Breakdown by Use				Total
	Regular	Small	H.C.	Total	Residential	Visitors	Day Care	Commercial	
P1	40	13	2	55	1	28	13	10	51
P2	58	25	6	89	79	11	-	-	90
P3	92	30	-	122	122	-	-	-	122
P4	6	9	-	15	15	-	-	-	15
Total	196	77	8	281	216	39	13	10	281
TARGET	-	50	3	262	216	24	13	9	262

NOTE: The target of small car is a maximum allowed

Floor By Floor Breakdown of Provided Bicycle Parking

Type	Breakdown by Use			Breakdown by Buildings		
	Residential	Commercial	Visitor	Total	BLOCK A	BLOCK B
P1	238	-	11	250	166	84
P2	358	-	12	370	10	360
Total	596	-	23	620	176	440

REQUIRED / PROVIDED LOADING

No Loading requirements for City of Surrey

Use	Residential	Commercial	Total
Loading Stalls Required	NA	NA	NA

Use	Residential	Commercial	Total
Class A Loading Provided	-	-	-
Class B Loading Provided	-	-	-
TOTAL	-	-	-

PHASE 01 VALUES FOR TABULATING PARKING & LOADING COUNTS

Residential Units	STUDIO & 1 BD			2 BD & 3BD			Total
	STUDIO	1 BD	Sub TOTAL	2 BD	3 BD	Sub TOTAL	
Block A	-	55	55	33	-	33	88
Block B	40	63	103	60	9	69	172
Project Total	40	118	158	93	9	102	260

Additional Use	
DAY CARE	395 sq ft - 40 child care spaces

Note: 12 Group Child Care (under 36 months) and 29 Group Child Care (37 month to school age)

Additional Use	Impersonal	Electric
	sq ft	m ²
CAF�	1,410	131
COMMERCIAL	2,820	262

VEHICLE/BICYCLE TABULATIONS - REFERENCE FROM SURREY

Zoning Bylaw Rules (Part 5)

VEHICLES

Residential Uses (Ground Oriented)	2 parking spaces per dwelling unit
	0.2 parking spaces per dwelling unit for visitors
Residential Uses (Non Ground Oriented)	0.5 parking spaces per dwelling unit
	0.1 parking spaces per dwelling unit for visitors.
Retail	3 parking spaces per 100 m ² [1,075 ft ²] of gross floor area.
Restaurants and Caf�	3 parking spaces if gross floor area is <150 m ² otherwise 3 parking spaces per 100 m ² [1,075 ft ²] of gross floor area
Medical Office	1.5 parking spaces per 100 m ² [1,075 ft ²] of gross floor area.
Day Care	5.1 spaces per employee and 1 space for every 10 children
	51-100 1
	101-200 2
	201-300 3
	301-400 4
	401-500 5
	more than 500 6
Small Cars	5 parking spaces plus 1 parking space per 100 required parking spaces or portion thereof in excess of 500 parking spaces
	Minimum 35% of the required parking spaces.

BICYCLES

Residential Uses (Ground Oriented)	6 visitor bicycle spaces per multiple unit residential building
	6 visitor bicycle spaces per multiple unit residential building
Residential Uses (Non Ground Oriented)	2 bicycle spaces in a secure bicycle parking area per dwelling unit
Retail Store	0.1 visitor bicycle space per 100 m ² [1,075 ft ²] of gross floor area where the gross floor area is greater than or equal to 4,645 m ² [50,000 ft ²]
Proximity to Skytrain	25% relaxation of standard requirements for Commercial use

PHASE 02 REQUIRED / PROVIDED TOTAL PARKING

Required

Use	Residential	Residential Visitor	Sub Total	20% Residential Parking Reduction (TDM Measure) + 10% Residential Parking Reduction (Cash In Kind)		Residential Sub Total	Additional Use Commercial	Total
				Residents	Visitors			
Parking Rate	0.9 Per Dwelling Unit	0.1 Per Unit						
Parking Stalls Required	333.00	37.00	370.00	286.20	29.60	296	6.10	302
Rounded (up/down)	333	37	370	286	30	296	6	302

Provided

Use	Residential	Residential Visitor	Sub Total	Commercial	Car Share Program	Total
P2	44	29	73	6	-	79
P3	177	-	177	-	-	171
P4	122	36	158	-	-	123
TOTAL	248	36	374	27	3	398

REQUIRED / PROVIDED BICYCLE PARKING

Use	Residential						Total Residential		Visitor use		Total
	BLOCK C		BLOCK D		Sub Total Residential		Extra Residential Stalls for TDM Measures		Visitor on ground	Commercial	
	Residential	Visitors	Residential	Visitors	Residential	Visitors	Residential	Visitors			
Bikes Required	79	6	305	6	444	12	300	644	12	12	668
Bikes provided	79	6	305	6	444	12	300	744	12	12	768

Floor By Floor Breakdown of Provided Car parking

Type	Breakdown by Car Size				Breakdown by Use						
	Regular	Small	H.C.	Total	Residential	Visitors	Day Care	Commercial	Car Share		Total
P1	21	-	-	21	15	7	7	15	3	-	25
P2	35	38	6	79	44	29	-	6	-	-	79
P3	68	83	-	151	171	-	-	-	-	-	171
P4	55	68	-	123	123	-	-	-	-	-	123
Total	201	189	6	396	338	36	-	21	3	-	398
TARGET			10%	302	266	30	-	6			302

NOTE: The target of small car is a maximum allowed

Floor By Floor Breakdown of Provided Bicycle Parking

Type	Breakdown by Use				Breakdown by Buildings		
	Residential	Commercial	Visitor	Total	BLOCK C	BLOCK D	Total
P1	-	-	-	-	-	-	-
P2	722	-	12	734	138	618	756.00
Total	722	-	12	734	138	618	756

REQUIRED / PROVIDED LOADING

No Loading requirements for City of Surrey

Required

Use	Residential	Commercial	Total
Loading Stalls Required	NA	NA	NA

Provided

Use	Residential	Commercial	Total
Class A Loading Provided	6	-	6
Class B Loading Provided	-	-	-
TOTAL	6	-	6

PHASE 02 - VALUES FOR TABULATING PARKING & LOADING COUNTS

Residential Units	STUDIO & 1 BD			2 BD & 3BD			Total
	STUDIO	1 BD	Sub TOTAL	2 BD	3 BD	Sub TOTAL	
Block C	-	0	0	33	20	53	63
Block D	58	140	198	91	0	100	384
Project Total	58	140	198	124	20	158	378
Additional Use	Imperial sf		Metric m ²				
COMMERCIAL	2,309		261				

Required (Sub types - part of overall count of cars)

Small Car (Max)	Electric Vehicle			N/C
	Residential	Visitors	Commercial	
30% of total vehicles	No requirements for City of Surrey			Total
304	To Be Confirmed by City Staff			4

Provided

Small Car (Max)	Electric Vehicle			N/C
	Residential	Visitors	Commercial	
183	-	-	-	4

VEHICLE/BICYCLE TABULATIONS - REFERENCE FROM SURREY

Zoning Bylaw Rules (Part 5)

VEHICLES

Residential Uses (Ground Oriented)	2 parking spaces per dwelling unit
Residential Uses (Non Ground Oriented)	0.9 parking spaces per dwelling unit
Residential Uses (Non Ground Oriented)	0.5 parking spaces per dwelling unit for visitors
Retail	1 parking spaces per 100 m ² (107.632) of gross floor area
Restaurants and Caf�	1 parking spaces if gross floor area is <150 m ² otherwise 3 parking spaces per 100 m ² (1,076.32) of gross floor area
Medical Office	15 parking spaces per 100 m ² (1,076.32) of gross floor area
Day Care	0.7 spaces per employee and 1 space for every 10 children
31-300	1
301-350	2
351-400	3
401-450	4
451-500	5
More than 500	5
Small Cars	1 parking spaces plus 1 parking space per 100 required parking spaces or portion thereof in excess of 500 parking spaces

BICYCLES

Residential Uses (Ground Oriented)	1 visitor bicycle spaces per multiple unit residential building
Residential Uses (Non Ground Oriented)	1 visitor bicycle spaces per multiple unit residential building
Residential Uses (Non Ground Oriented)	1.2 bicycle spaces in a secure bicycle parking area per dwelling unit
Retail Store	1.2 visitor bicycle spaces per 100 m ² (1,076.32) of gross floor area where the gross floor area is greater than or equal to 4,843 m ² (520,000 sq ft)
Primarily to Skytrain	10% relaxation of standard requirements for Commercial use

PHASE 03 REQUIRED / PROVIDED TOTAL PARKING

Use	Residential	Residential Visitor	Sub Total	10% Residential Parking Reduction (10% Relaxed) + 10% Residential Parking Reduction (Cash in Lieu)		Residential Sub Total	Additional Use Commercial	Total
				Residents	Visitors			
Parking Stalls Required	410.00	41.00	451.00	405	36	365	15.00	380
Provided (supplied)	410	40	450	379	30	355	15	380

Provided

Use	Residential	Residential Visitor	Sub Total	Commercial	Total
P1	-	-	-	-	-
P2	44	20	64	-	64
P3	108	-	108	-	108
P4	106	-	106	-	106
Total	258	20	278	-	278

PHASE 03 VALUES FOR TABULATING PARKING & LOADING COUNTS

Residential Units	STUDIO & 1 BD			2 BD & 3BD			Total
	STUDIO	1 BD	Sub TOTAL	2 BD	3 BD	Sub TOTAL	
Block E	-	49	49	29	7	35	84
Block F	70	176	246	116	10	126	372
Project Total	70	225	295	144	17	161	456

Additional Use	Imperial	Metric
	sf	m ²
COMMERCIAL	6,814	633

Required (Sub types - part of overall count of cars)

Small Car (Max)	Electric Vehicle			N/C
	Residential	Visitors	Commercial	
32% of total vehicles	No requirements for City of Surrey			Total
248	To Be Confirmed by City Staff			5

Provided

Small Car (Max)	Electric Vehicle			N/C
	Residential	Visitors	Commercial	
35	-	-	0	10

REQUIRED / PROVIDED BICYCLE PARKING

Use	Residential				Sub Total Residential		Extra Residential Stalls for TDM Measures	Total Residential		Additional use		Total
	BLOCK E		BLOCK F		Residential	Visitors		Residential	Visitors	Visitor at ground	Commercial	
Bikes Required	101	6	446	6	547	12	240.00	787	12	12	-	811
Bikes provided	101	6	446	6	547	12	65	612	12	12	-	636

Floor By Floor Breakdown of Provided Car parking

Type	Breakdown by Car Size				Breakdown by Use						
	Regular	Small	H.C.	Total	Residential	Visitors	Day Care	Commercial	Car Share	Total	
P1	-	-	-	-	-	-	-	-	-	-	
P2	50	4	10	64	44	20	-	-	-	64	
P3	92	16	-	108	108	-	-	-	-	108	
P4	90	16	-	106	106	-	-	-	-	106	
Total	232	36	10	278	254	20	-	-	-	274	
TARGET	232	36	10	278	254	20	-	-	-	274	

NOTE: The target of small car is a maximum allowed

Floor By Floor Breakdown of Provided Bicycle Parking

Type	Breakdown by Use				Breakdown by Buildings		
	Residential	Commercial	Visitor	Total	BLOCK E	BLOCK F	Total
P1	-	-	-	-	-	-	-
P2	276	-	12	288	150	138	288
P3	136	-	-	136	8	128	136
P4	200	-	-	200	16	184	200
Total	612	-	12	624	174	450	624

REQUIRED / PROVIDED LOADING

No Loading requirements for City of Surrey

Required

Use	Residential	Commercial	Total
Loading Stalls Required	NA	NA	NA

Provided

Use	Residential	Commercial	Total
Class A Loading Provided	-	-	-
Class B Loading Provided	-	-	-
TOTAL	-	-	-



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ALISON BROOKS ARCHITECTS

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	19-5-3	ADP Submission
02	19-08-15	ADP Resubmission/ Phase 1 DP Submission
03	19-10-21	Re-issued for response to Planning/ADP Comments
04	19-11-18	Final Rezoning/Phase 1 DP Submission

PROJECT

RIZE PASSAGES

ADDRESS

10138 Whalley Boulevard
 Surrey BC

DRAWING TITLE

Illustrative Plan

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NORTH	SCALE
	1:600

PROJECT NO.	18024
DATE	2019-05-10
FILE NAME	18024 Plan.vwx
PLOTTED	19-11-18
DRAWN	PY/MB REVIEWED

DRAWING

L0.02

SITE FURNISHING MATERIALS LEGEND	
KEY	DESCRIPTION
F1	Landscapeforms PARC CENTRE Movable Furniture
F2	Landscapeforms HARPO Lounge Chair
F3	Landscapeforms HARPO Chaise Lounge Chair
F4	Landscapeforms HARVEST Picnic Table
F5	Landscapeforms FGP Bike Rack
F6	Landscape Gate
F7	Tree Grate
F8	Timber Bench Type 1
F9	Timber Bench Type 2
F10	Feature Bench
F11	Lace Fence Chain Link Mesh
F12	Basketball Hoop
F13	Landscapeforms CHIPMAN Stool
F14	Landscapeforms GO Outdoor Table
F15	Garden Planter
F16	Potting Bench
F17	Compost Screen
F18	BBQ/Outdoor Kitchen
F19	Kompan CITY BIKE
F20	Kompan CROSSTRAINER
F21	Kompan STRETCH BAR
F22	Concrete Foosball Table
F23	Concrete Ping Pong Table

HARDSCAPE MATERIALS LEGEND	
KEY	DESCRIPTION
H1	Stone Wall
H2	Stone Band
H3	Stone Runnel
H4	Catch Basin
H5	Granite Boulder
H6	Beach Log
H7	Concrete Wall
H8	Concrete Band/Curb
H9	Rock Outcrop
H10	Concrete Stairs

PAVING MATERIALS LEGEND	
KEY	DESCRIPTION
P1	Abbotsford Concrete Paver - Piazza Series
P2	Concrete Unit Paver
P3	Painted Concrete
P4	Play Sand
P5	Cast in Place Concrete Paving
P6	Wood Chips



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**ALISON BROOKS
 ARCHITECTS**

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	19-5-3	ADP Submission
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03	19-10-21	Re-issued for response to Planning/ADP Comments
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**KEY PLAN
 NTS**

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Legends and Key Plan

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	NTS

PROJECT NO.	18024
DATE	2019-05-10
FILE NAME	18024 Plan.vwx
PLOTTED	19-11-18
DRAWN	PV/MB REVIEWED

**DRAWING
 L0.03**

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	19-5-3	ADP Submission
02	19-08-15	ADP Resubmission/ Phase 1 DP Submission
03	19-10-21	Re-issued for response to Planning/ADP Comments
04	19-11-18	Final Rezoning/Phase 1 DP Submission

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**Layout and Materials Plan
 Ground Level**

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PROJECT NO.

18024

DATE

2019-05-10

FILE NAME

18024 Plan.vwx

PLOTTED

19-11-18

DRAWN

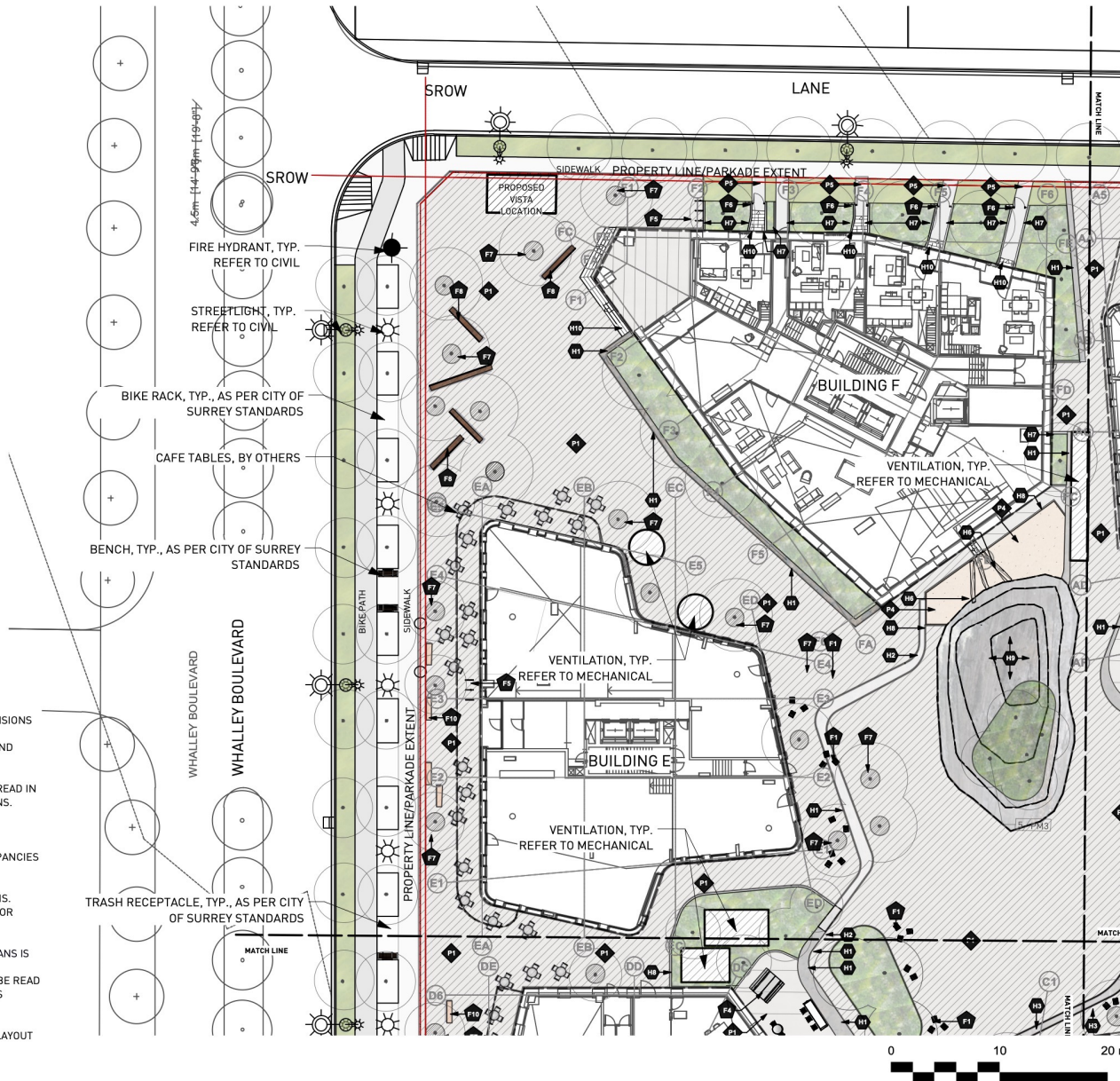
PY/MB REVIEWED

DRAWING

L1.01

LAYOUT AND MATERIALS GENERAL NOTES

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- REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS.



REVISIONS AND ISSUES

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**Layout and Materials Plan
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PROJECT NO. 18024

DATE 2019-05-10

FILE NAME 18024 Plan.vwx

PLOTTED 19-11-18

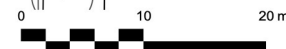
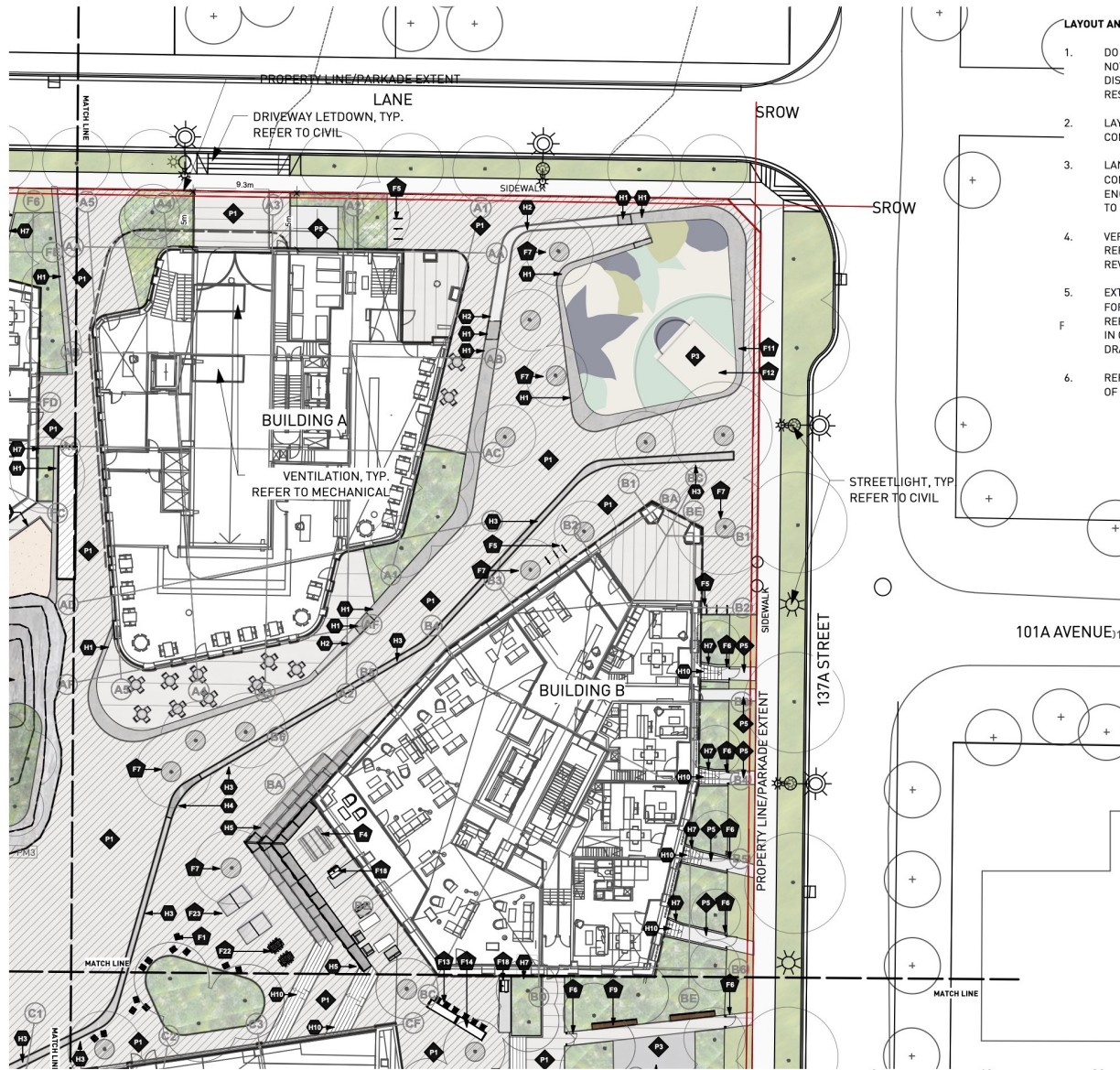
DRAWN PY/MB REVIEWED

DRAWING

L1.02

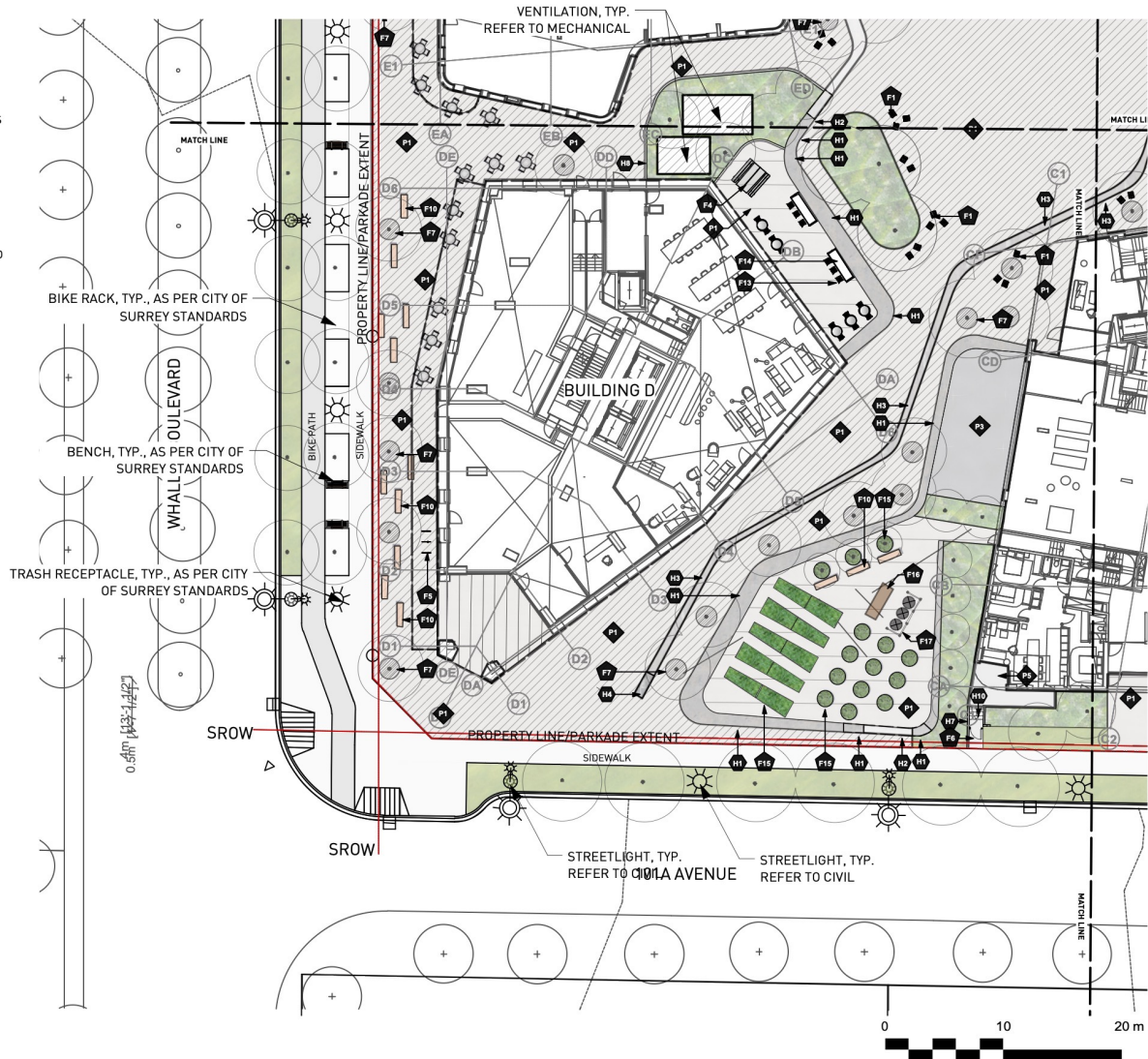
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ALISON BROOKS ARCHITECTS

REVISIONS AND ISSUES

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01	19-5-3	ADP Submission
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**Layout and Materials Plan
 Ground Level**

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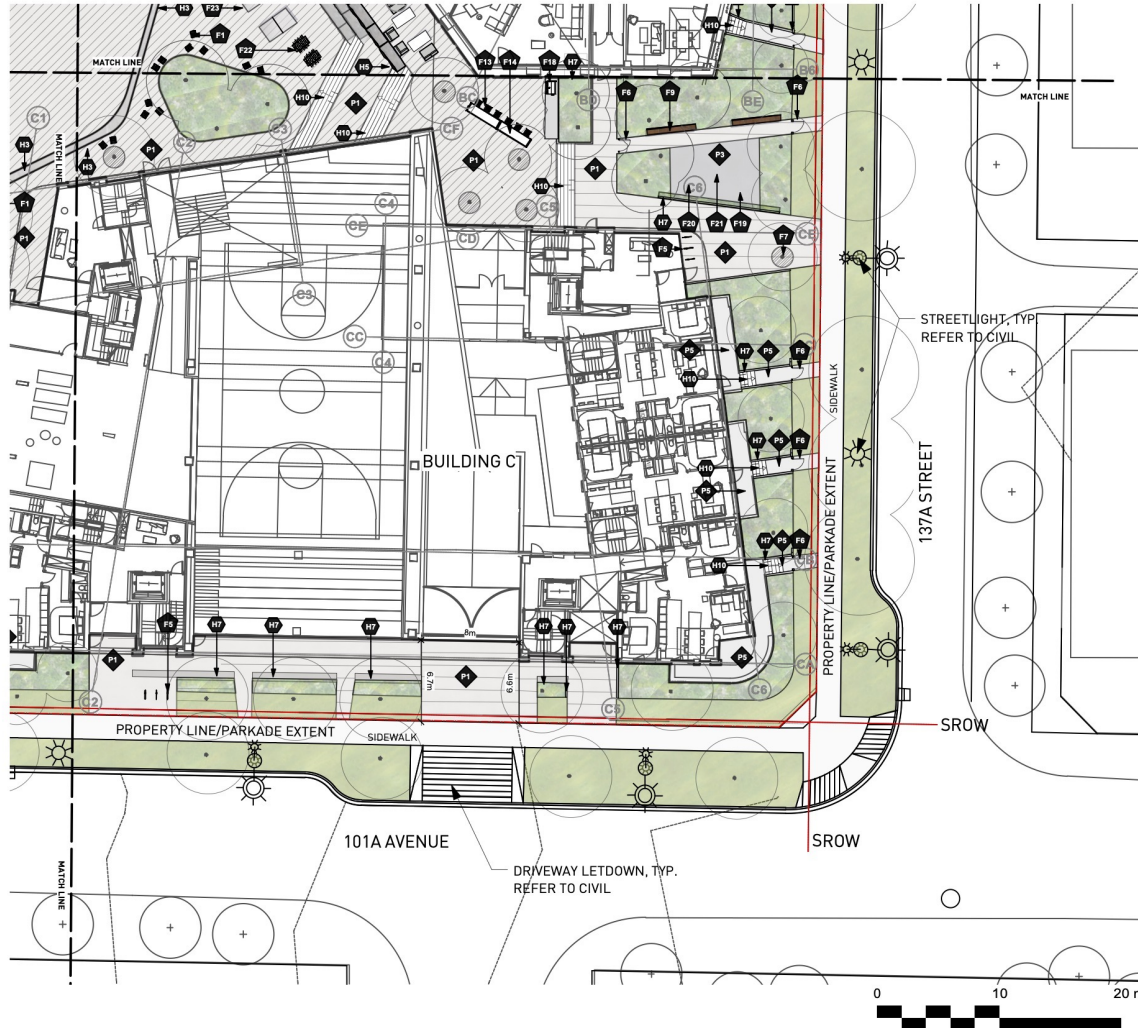
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PROJECT NO.	18024
DATE	2019-05-10
FILE NAME	18024 Plan.vwx
PLOTTED	19-11-18
DRAWN	PV/MB REVIEWED

DRAWING

L1.03



LAYOUT AND MATERIALS GENERAL NOTES

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PROJECT

RIZE PASSAGES

ADDRESS

10138 Whalley Boulevard
 Surrey BC

DRAWING TITLE

**Layout and Materials Plan
 Ground Level**

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PROJECT NO.

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18024 Plan.vwx

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L1.04

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RIZE PASSAGES

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Layout and Materials Plan Level 2

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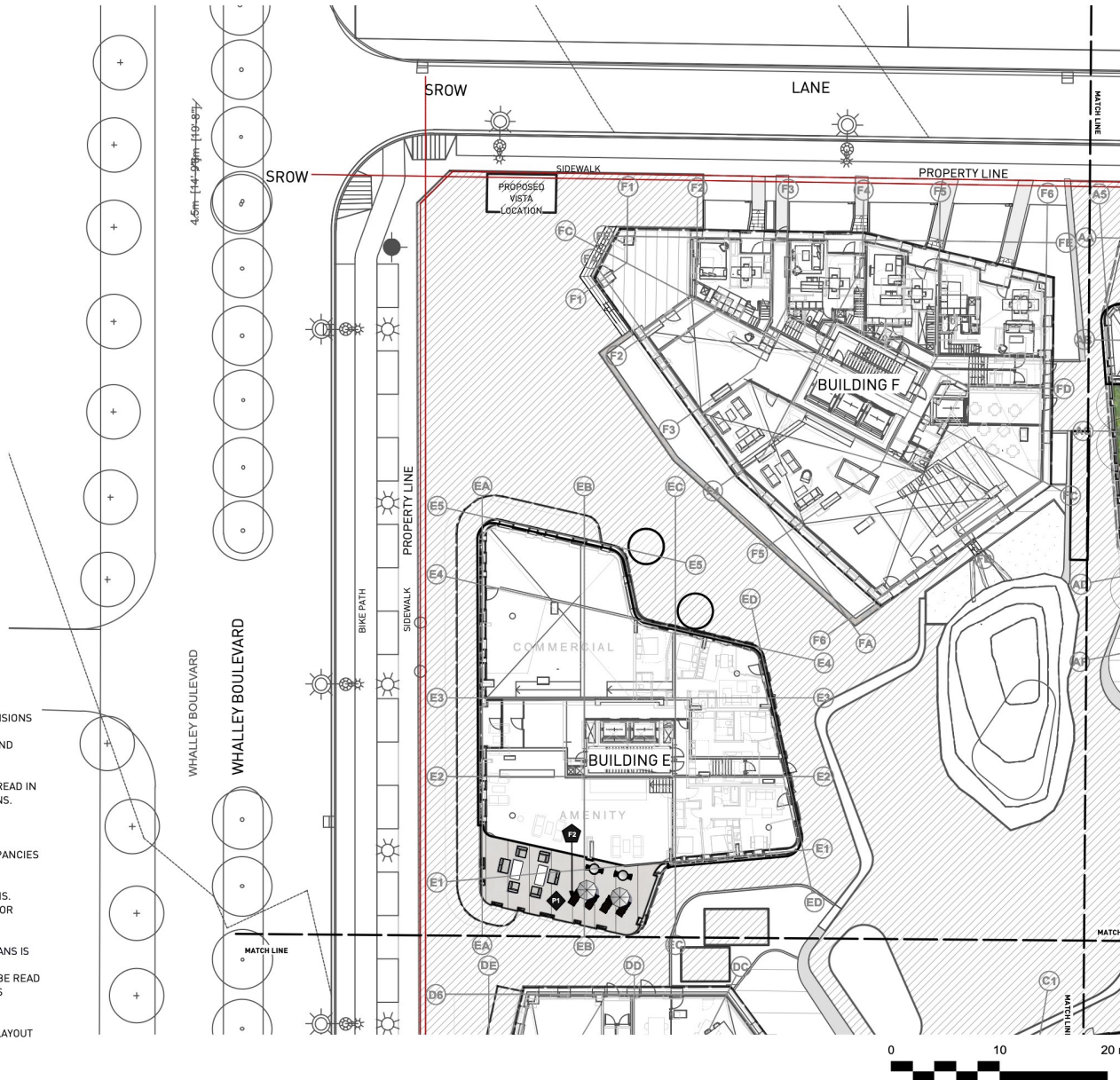
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19-11-18

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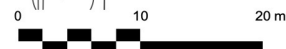
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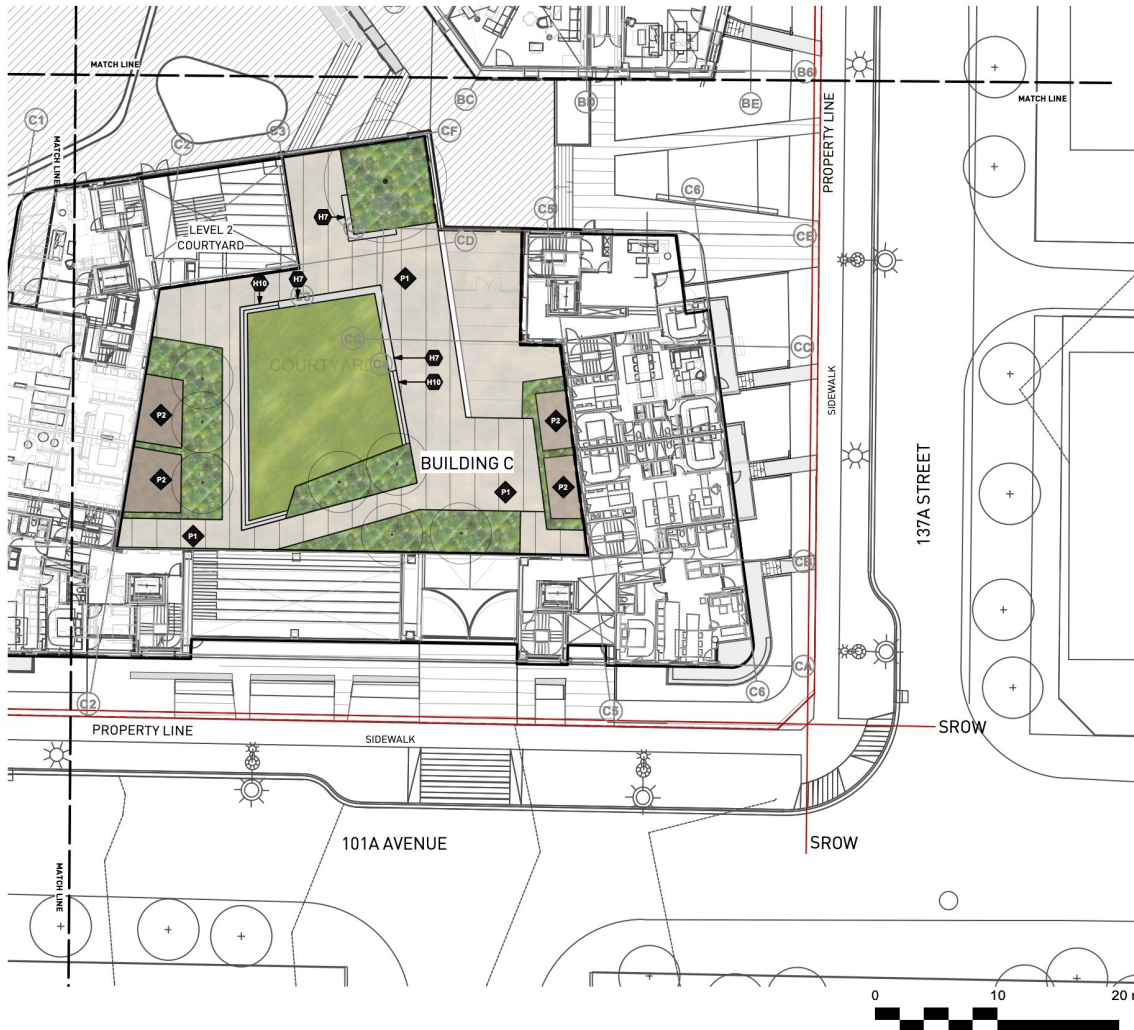
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Plant List

Passages

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Trees						
AFJ	43	Acer x freemani 'Jeffersred'	Autumn Blaze Maple	8 cm cal. [3" cal.]	As Shown	B&B, Uniform branching, dense tree, 7' (2.1 m) std.
AXA	2	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4 cm cal. [1 1/2" cal.]	As Shown	B&B, Multi-stemmed, dense tree
FSL	11	Fagus sylvatica	European Beech	8 cm cal. [3" cal.]	As Shown	B&B, Uniform branching, dense tree, 7' (2.1 m) std.
LSW	20	Liquidambar styraciflua 'Worpleston'	Worpleston Sweetgum	8 cm cal. [3" cal.]	As Shown	B&B, Uniform branching, dense tree, 7' (2.1 m) std.
MAB	2	Malus 'Braeburn'	Braeburn Apple	8' (2.5m) ht	As Shown	Well established, dense tree
MAF	2	Malus 'Fuji'	Fuji Apple	8' (2.5m) ht	As Shown	Well established, dense tree
MAG	4	Malus 'Gala'	Gala Apple	8' (2.5m) ht	As Shown	Well established, dense tree
MAH	1	Malus 'Honeycrisp'	Honeycrisp Apple	8' (2.5m) ht	As Shown	Well established, dense tree
MAL	1	Malus 'Lodi'	Lodi Apple	8' (2.5m) ht	As Shown	Well established, dense tree
PPI	5	Parrrotia persica 'Inge's Ruby Vase'	'IRV' Persian Ironwood	5 cm cal. [2" cal.]	As Shown	B&B, Straight trunk, uniform branching, 5' (1.5 m) std.
PM3	5	Pseudotsuga menziesii	Douglas Fir	3.0 m ht. [10'-0" ht.]	As Shown	B&B, Uniform, dense branching, nursery growth
PCR	53	Pyrus calleryana 'Redspire'	Redspire Flowering Pear	7 cm cal. [2 1/2" cal.]	As Shown	B&B, Well branched, dense tree, 6' (1.8 m) std.
QCC	16	Quercus coccinea	Scarlet Oak	8 cm cal. [3" cal.]	As Shown	B&B, Uniform branching, dense tree, 7' (2.1 m) std.
QRF	34	Quercus robur 'Fastigiata'	Columnar English Oak	8 cm cal. [3" cal.]	As Shown	B&B, Uniform branching, dense tree, branches to within 2' (0.6 m) of g
SPS	13	Stewartia pseudocamellia	Japanese Stewartia	5 cm cal. [2" cal.]	As Shown	B&B, Well branched, dense tree
Shrubs						
BTA	127	Berberis darwinii 'Atropurpurea'	Japanese Barberry	#3 pot	90cm [36"]	Well established
LPL	57	Lonicera pileata	Privet Honeysuckle	#1 pot	45cm [18"]	30 cm [12"] spread
PMP	48	Pinus mugo 'Pumilio'	Dwarf Mugo Pine	#2 pot	110cm [42"]	Well established
PLO	463	Prunus laurocerasus 'Otto Luyken'	Otto Luyken laurel	#3 pot	60 cm [24"]	Well established
ERR	167	Rhododendron 'English Roseum'	English Roseum Rhododendron	#3 pot	60cm [24"]	Well established
RSR	161	Rhododendron 'Scarlet Romance'	Scarlet Romance Rhododendron	#3 pot	60cm [24"]	Well established
RN	25	Ribes nigrum	Black Currant	#3 pot	100cm [39"]	Well established, nursery grown
RR	39	Ribes rubrum	Red Currant	#3 pot	100cm [39"]	Well established, nursery grown
RO	23	Ribes rubrum	Gold Currant	#3 pot	100cm [39"]	Well established, nursery grown
RS	30	Ribes sanguineum	Flowering Currant	#3 pot	100cm [39"]	Well established, nursery grown
SHH	568	Sarcococca hookeriana humilis	Himalayan Sarcococca	#3 pot	45 cm [18"]	Well established
SJP	599	Skimmia japonica	Japanese Skimmia	#3 pot	60 cm [24"]	Well established
TXM	83	Taxus x media 'H.M.Eddie'	H.M.Eddie Yew	1.2m	40 cm [16"]	Well established, dense hedging plant / B & B
VOT	154	Vaccinium ovatum 'Thunderbird'	Thunderbird Evergreen Huckleberry	#3 pot	60 cm [24"]	Well established, nursery grown
VDV	1066	Viburnum davidii	David Viburnum	#2 pot	60cm [24"]	Well established
Ground Cover						
EFC	154	Euonymus fortunei 'Colorata'	Purpleleaf Wintercreeper	#1 pot	38cm [15"]	25cm [10"] spread
FVS	301	Fragaria vesca	Woodland Strawberry	#1 pot	25 cm [10"]	Well established, nursery grown
Ferns						
BSP	304	Blechnum spicant	Deer Fern	#1 pot	38 cm [15"]	Well established, nursery grown
PMU	520	Polystichum munitum	Western Sword Fern	#1 pot	45 cm [18"]	Well established, nursery grown



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**ALISON BROOKS
ARCHITECTS**

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PROJECT

RIZE PASSAGES

ADDRESS

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DRAWING TITLE

Planting List

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NORTH	SCALE
	NTS

PROJECT NO.	18024
DATE	2019-05-10
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Planting Plan Ground Level

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FILE NAME

18024 Plan.vwx

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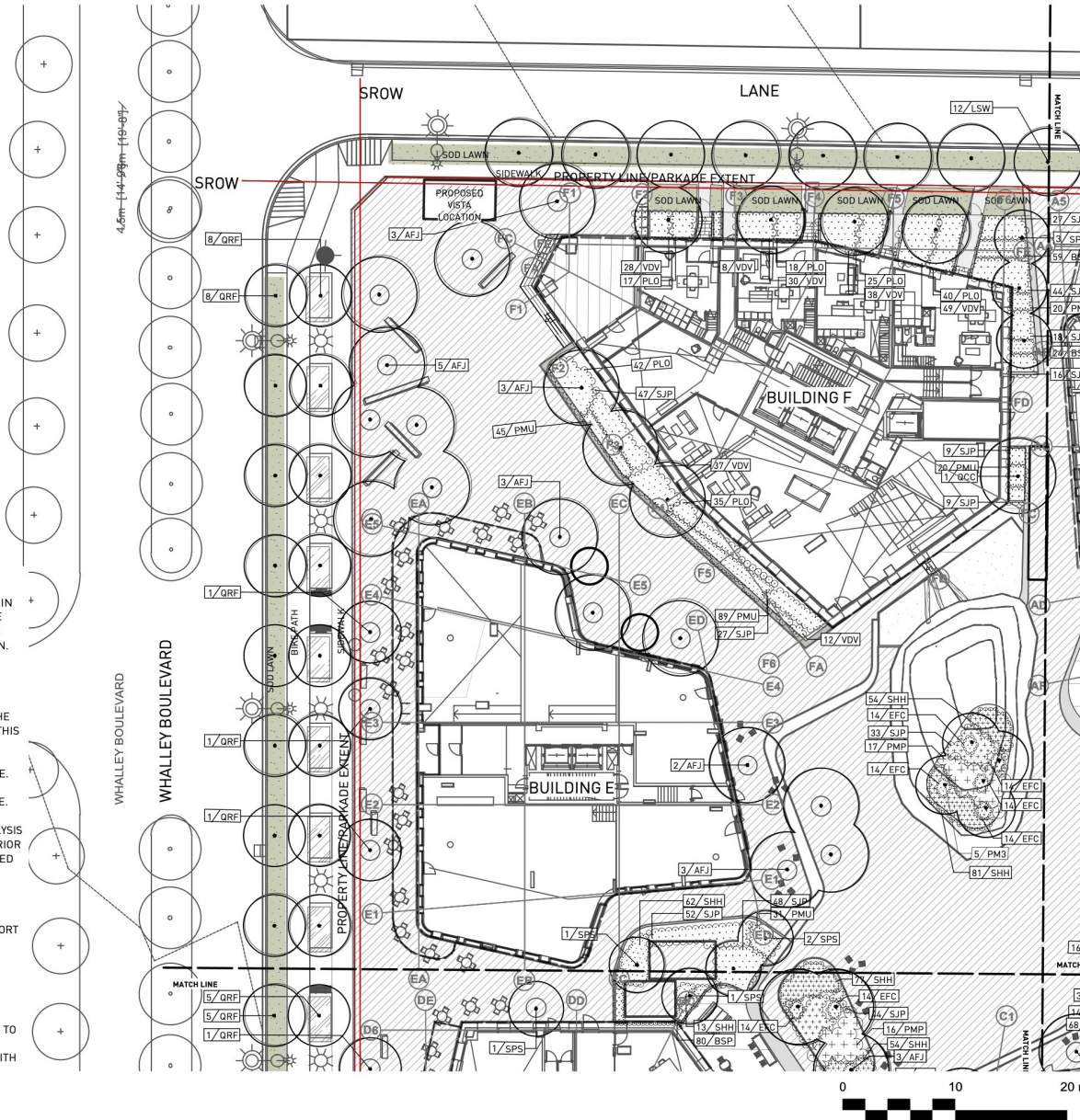
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PLANTING GENERAL NOTES

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
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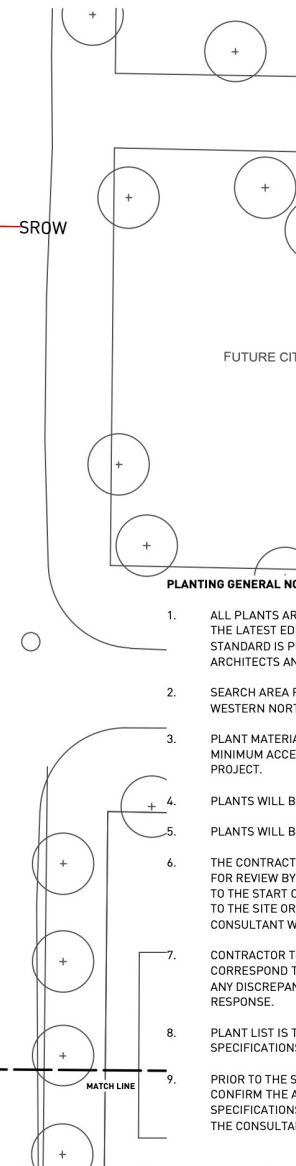
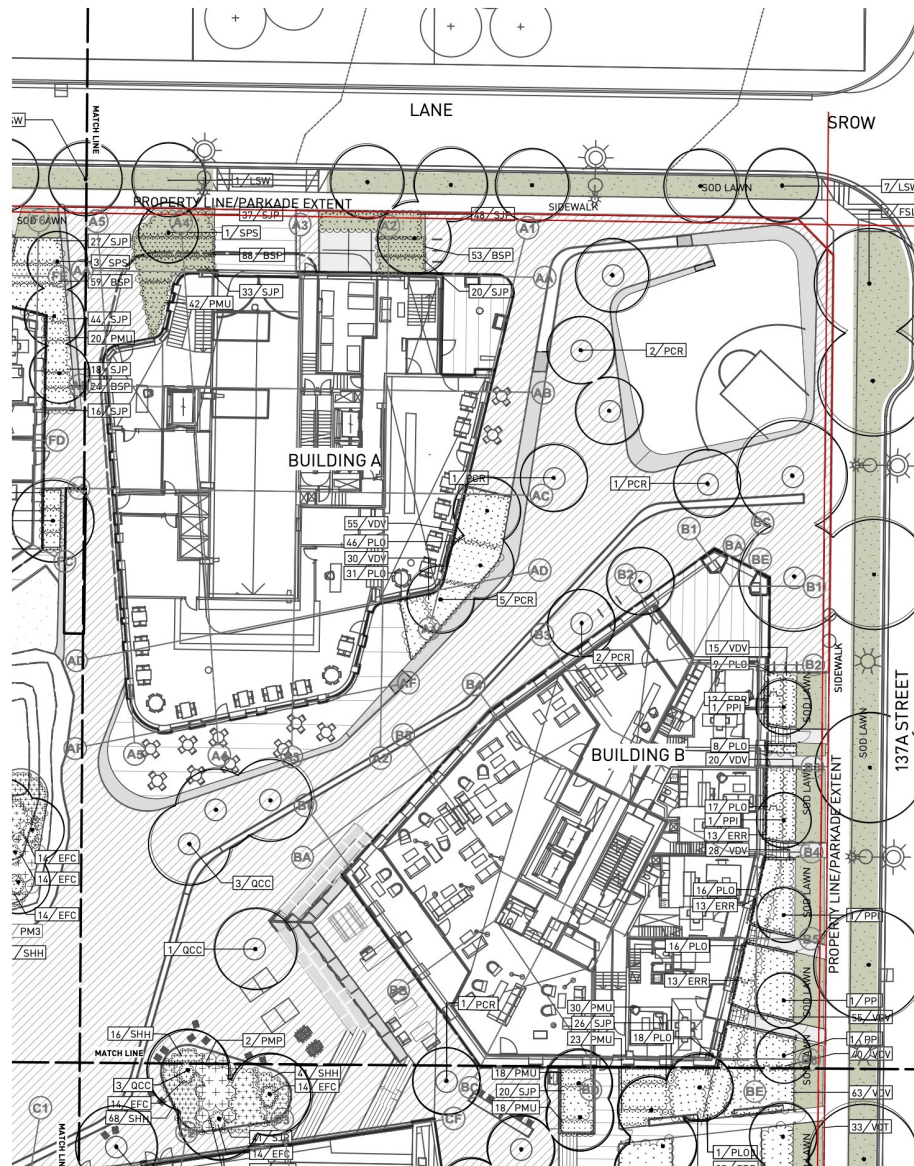
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PROJECT NO.	18024
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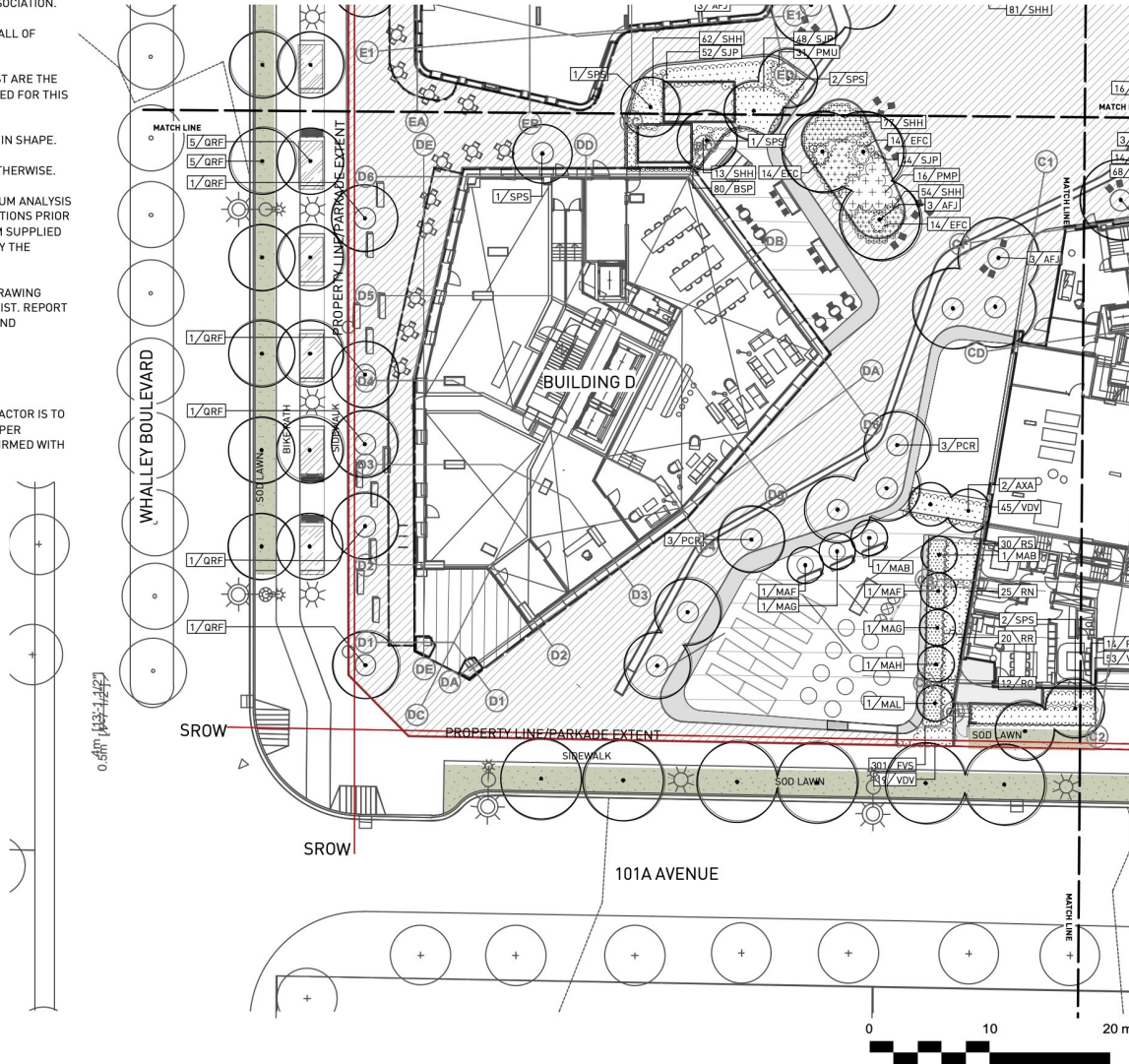
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ALISON BROOKS ARCHITECTS

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Planting Plan Ground Level

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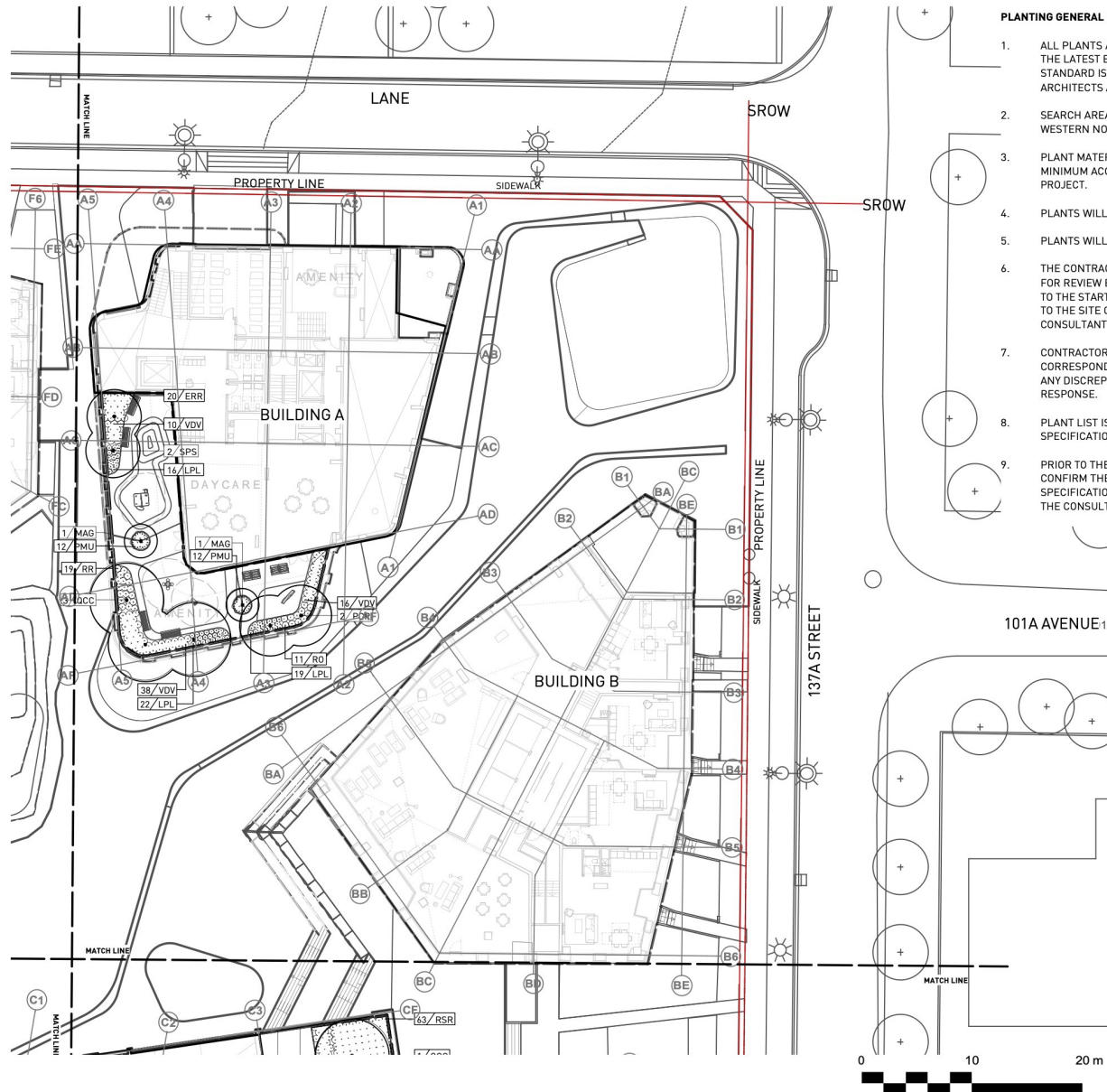
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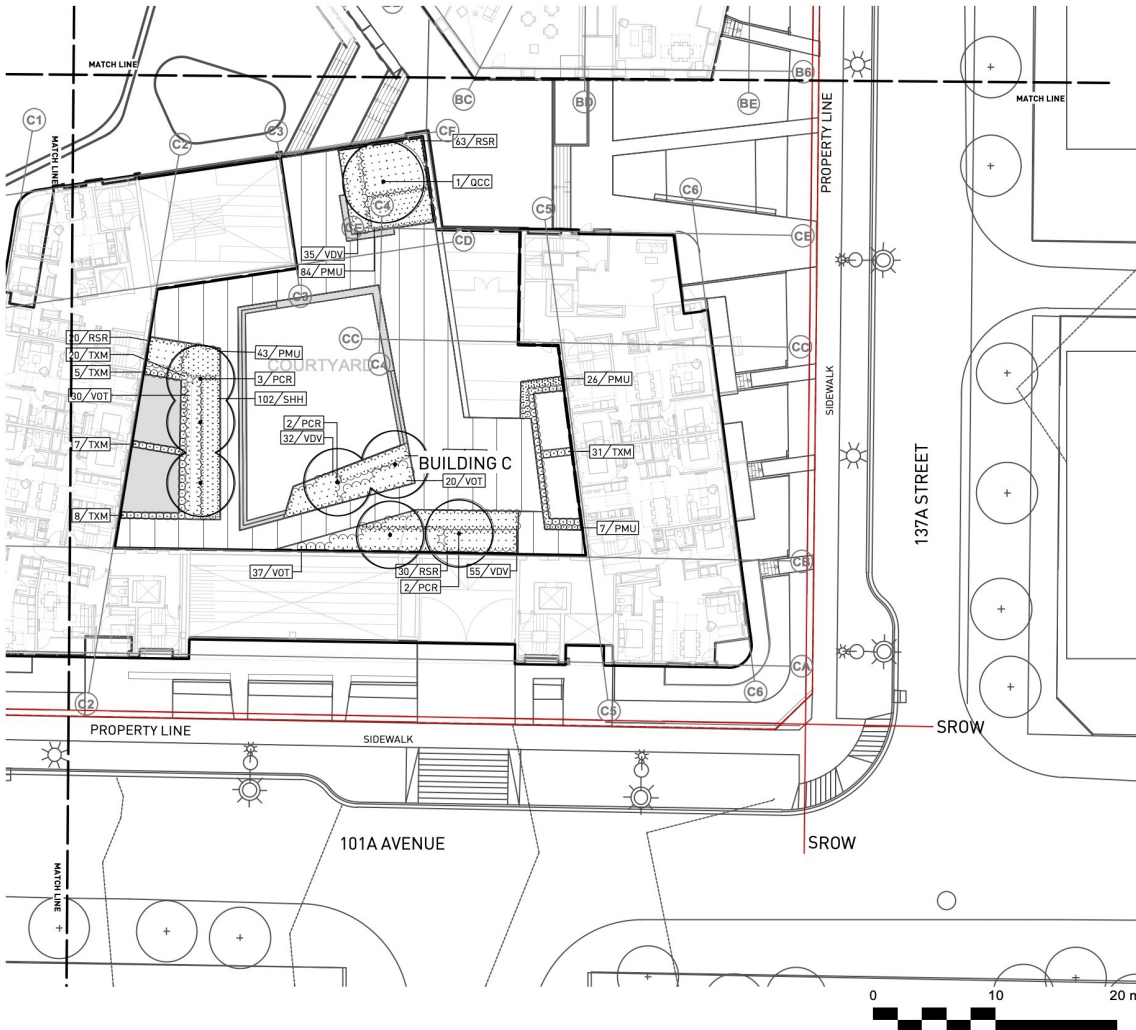
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6. THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT AS PER SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR PLACED ON SITE PRIOR TO REVIEW BY THE CONSULTANT WILL BE REJECTED.
7. CONTRACTOR TO CONFIRM PLANT QUANTITIES ON DRAWING CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
8. PLANT LIST IS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS.
9. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS TO CONFIRM THE AVAILABILITY OF PLANT MATERIAL AS PER SPECIFICATIONS. PLANT SUBSTITUTIONS NOT CONFIRMED WITH THE CONSULTANT WILL BE REJECTED.



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ALISON BROOKS ARCHITECTS

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	19-5-3	ADP Submission
02	19-08-15	ADP Resubmission/Phase 1 DP Submission
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04	19-11-18	Final Rezoning/Phase 1 DP Submission

PROJECT

RIZE PASSAGES

ADDRESS

10138 Whalley Boulevard
 Surrey BC

DRAWING TITLE

Planting Plan Level 2

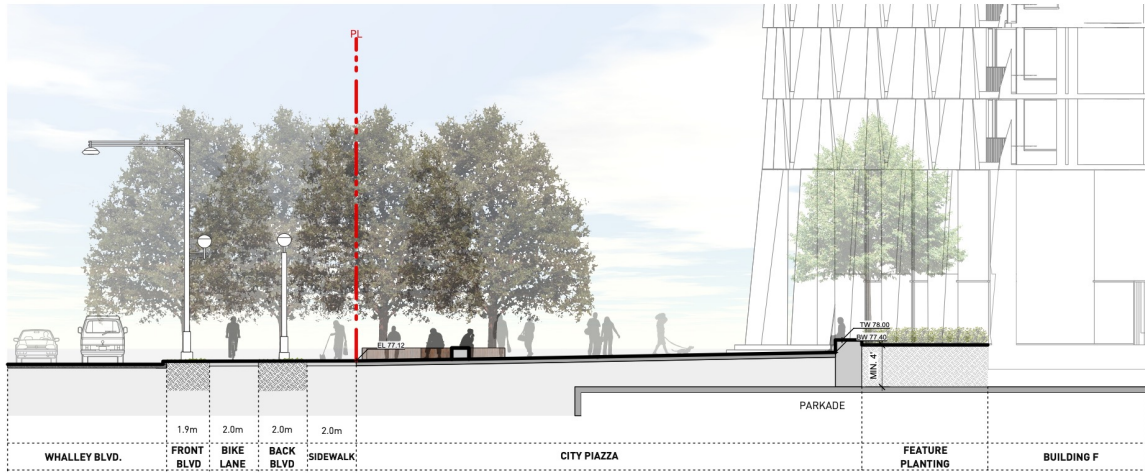
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NORTH		SCALE	1:400
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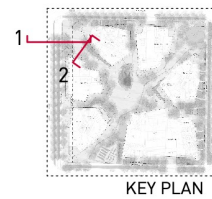
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DATE	2019-05-10
FILE NAME	18024 Plan.vwx
PLOTTED	19-11-18
DRAWN	PV/MB REVIEWED

DRAWING

L3.06

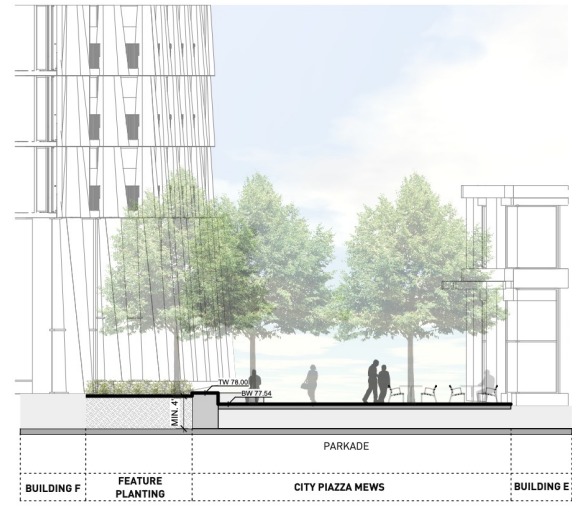


1 WHALLEY BOULEVARD AND CITY PIAZZA
Scale 1:200



REVISIONS AND ISSUES

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2 CITY PIAZZA MEWS
Scale 1:200

PROJECT
RIZE PASSAGES

ADDRESS
 10138 Whalley Boulevard
 Surrey, BC

DRAWING TITLE
Sections

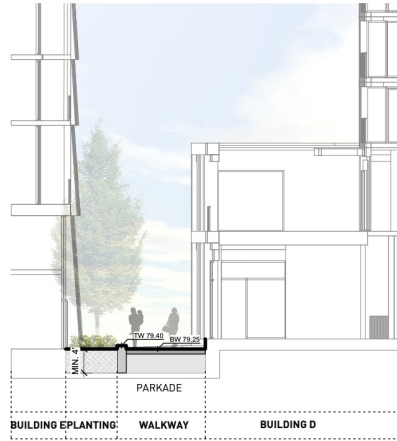
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PROJECT NO.	18024
DATE	31 July 2019
FILE NAME	18024 Section.vwx
PLOTTED	19-11-18
DRAWN	PY/EW/KZ
REVIEWED	BH

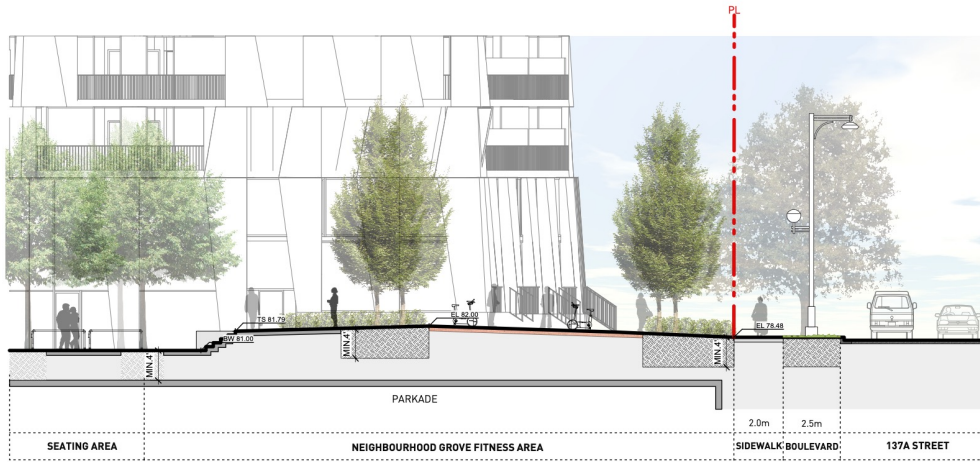
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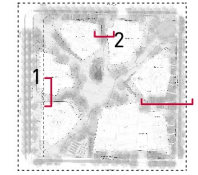
1 CITY GROVE
Scale 1:200



2 PARK GROVE
Scale 1:200



3 NEIGHBOURHOOD GROVE
Scale 1:200



KEY PLAN



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PROJECT

RIZE PASSAGES

ADDRESS

10138 Whalley Boulevard
Surrey, BC

DRAWING TITLE

Sections

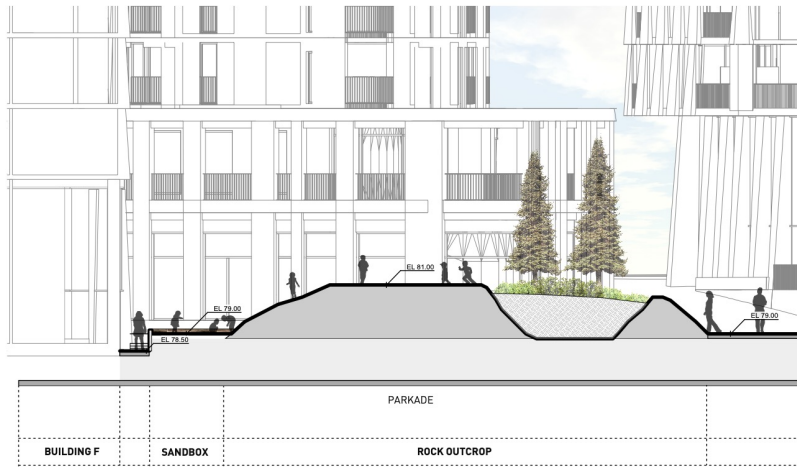
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NORTH	SCALE
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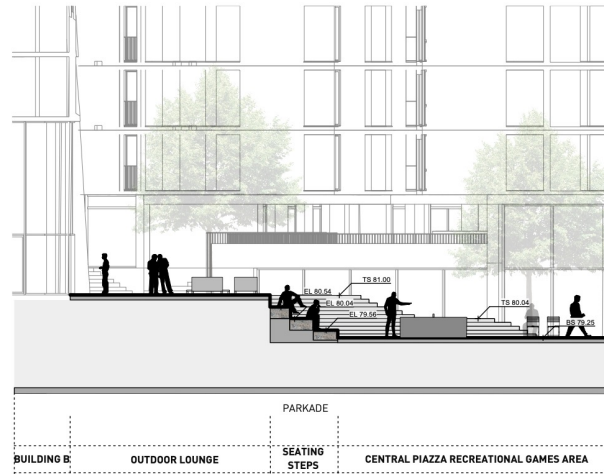
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DATE	31 July 2019
FILE NAME	18024 Section.vwx
PLOTTED	19-11-18
DRAWN	PY/EWKZ
REVIEWED	BH

DRAWING

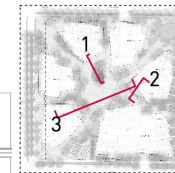
L6.02



1 CENTRAL PIAZZA ROCK OUTCROP
Scale 1:200



2 OUTDOOR LOUNGE
Scale 1:200



KEY PLAN



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3 CENTRAL PIAZZA LONG SECTION
Scale 1:200

PROJECT

RIZE PASSAGES

ADDRESS

10138 Whalley Boulevard
Surrey, BC

DRAWING TITLE

Sections

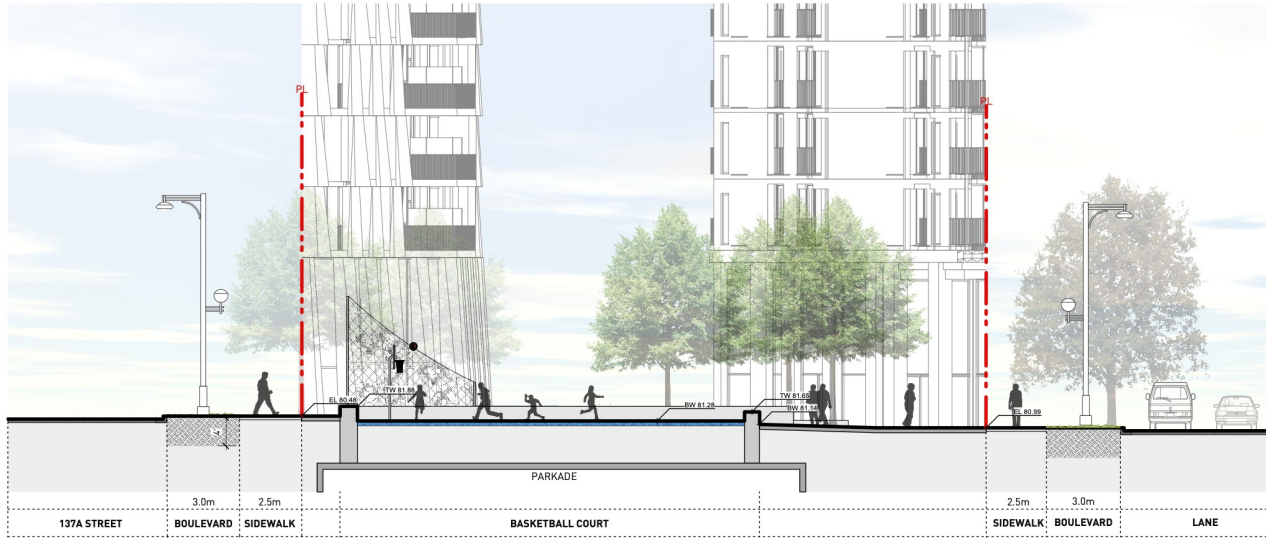
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PROJECT NO.	18024
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FILE NAME	18024 Section.vwx
PLOTTED	19-11-18
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REVIEWED	BH

DRAWING

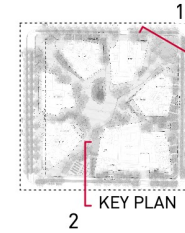
L6.03



1 PARK PIAZZA
Scale 1:200



2 NEIGHBOURHOOD PIAZZA
Scale 1:200



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PROJECT
RIZE PASSAGES

ADDRESS
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Surrey, BC

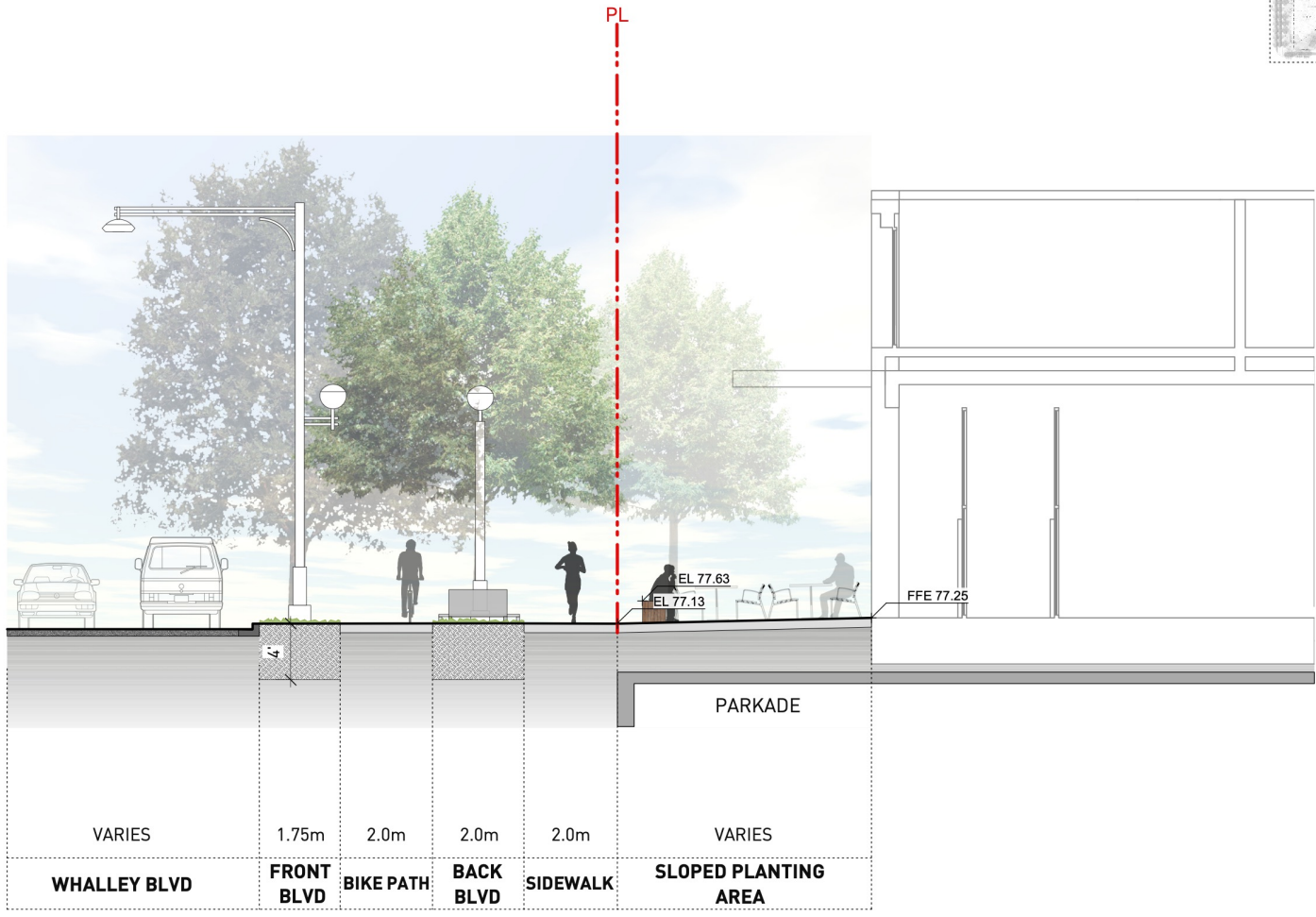
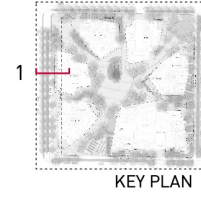
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NORTH	SCALE As Shown
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PROJECT NO.	18024
DATE	31 July 2019
FILE NAME	18024 Section.vwx
PLOTTED	19-11-18
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REVIEWED	BH

DRAWING
L6.04



REVISIONS AND ISSUES

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PROJECT
RIZE PASSAGES

ADDRESS
 10138 Whalley Boulevard
 Surrey, BC

DRAWING TITLE
Sections

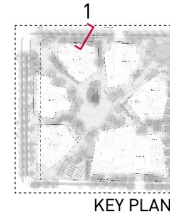
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NORTH	SCALE
	As Shown

PROJECT NO.	18024
DATE	31 July 2019
FILE NAME	18024 Section.vwx
PLOTTED	19-11-18
DRAWN	PY/EW/JKZ
REVIEWED	
BH	

DRAWING
L6.05

1 WHALLEY BLVD AND COMMERCIAL FRONTAGE
 Scale 1:100



**ALISON BROOKS
 ARCHITECTS**

REVISIONS AND ISSUES

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PROJECT
RIZE PASSAGES

ADDRESS
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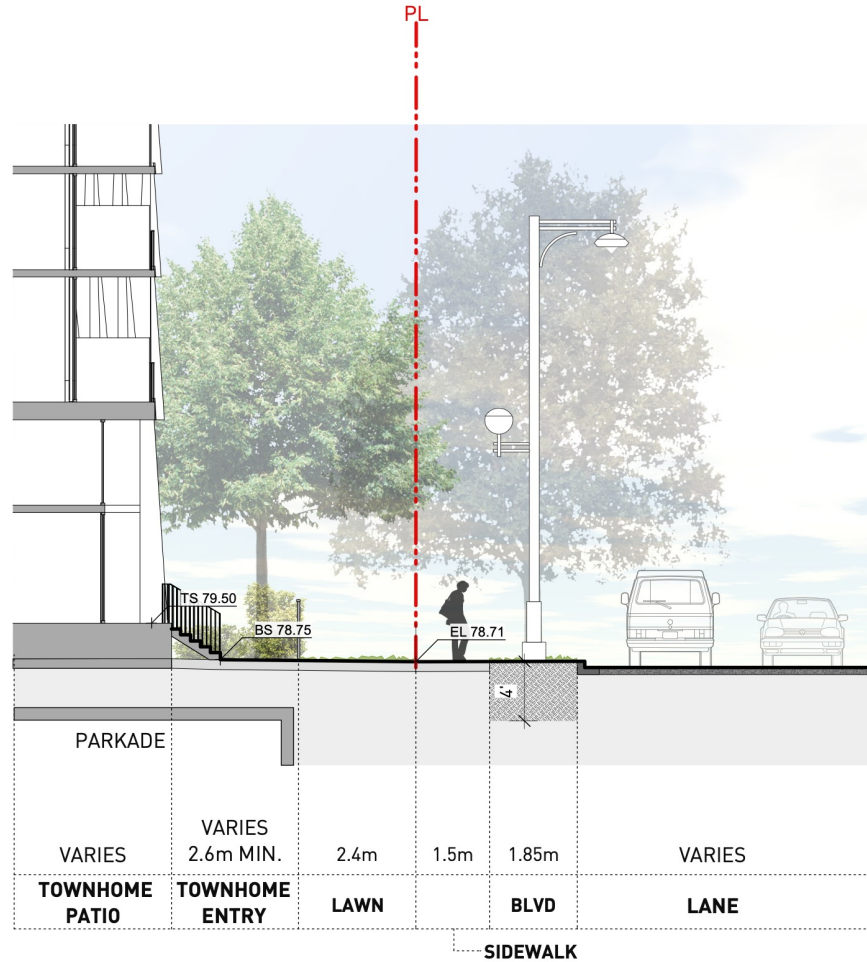
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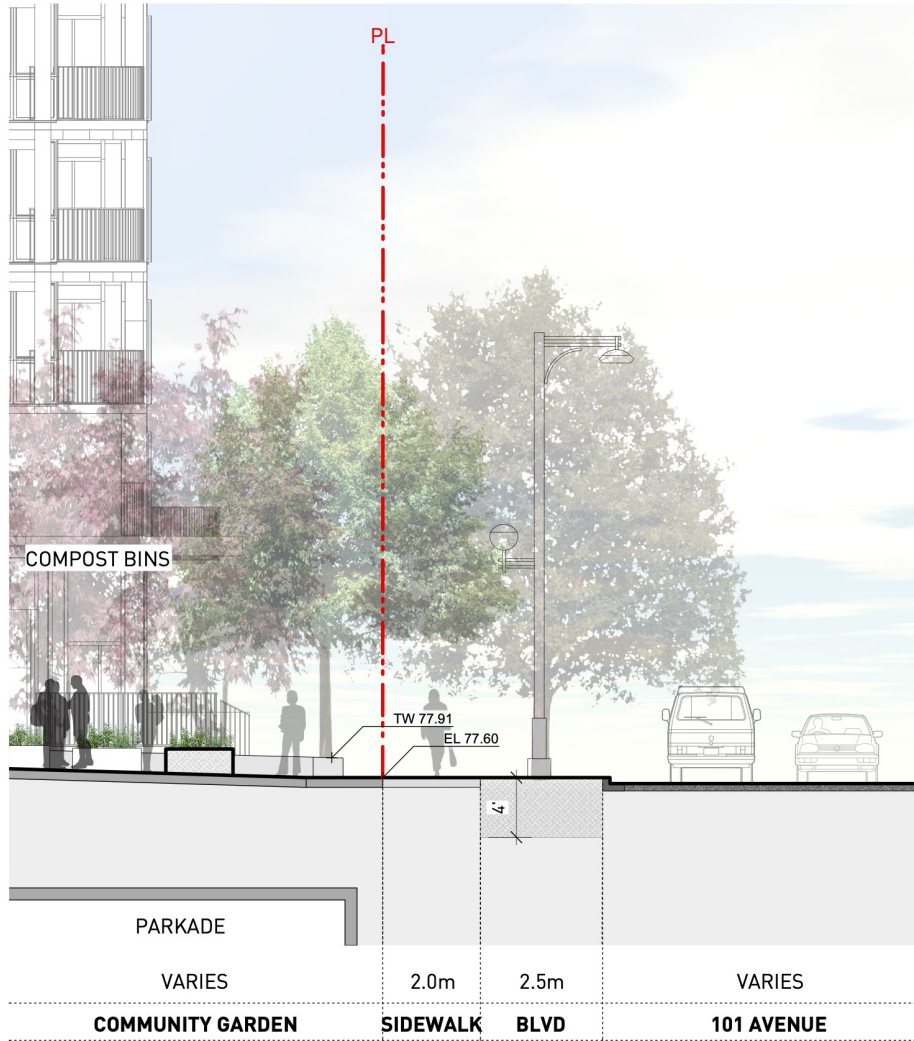
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DATE	31 July 2019
FILE NAME	18024 Section.vwx
PLOTTED	19-11-18
DRAWN	PY/EW/JKZ
REVIEWED	BH

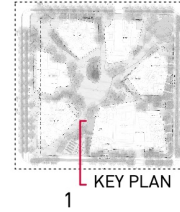
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1 LANE AND TOWNHOME PATIO
 Scale 1:100



1 101 AVE AND TOWNHOUSE PATIO
Scale 1:100



ALISON BROOKS ARCHITECTS

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PROJECT
RIZE PASSAGES

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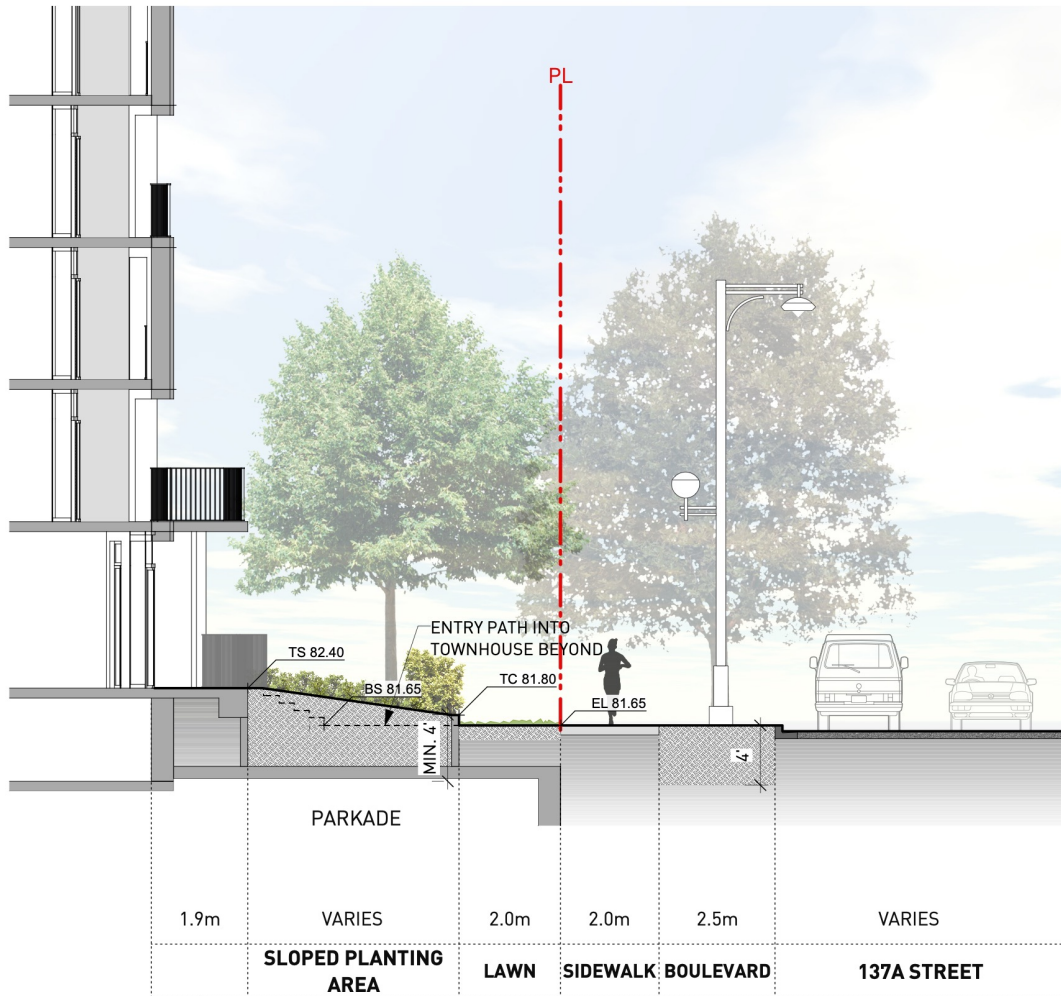
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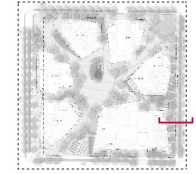
PROJECT NO.	18024
DATE	31 July 2019
FILE NAME	18024 Section.vwx
PLOTTED	19-11-18
DRAWN	PY/EW/KZ
REVIEWED	BH

DRAWING
L6.07



TOWNHOME PATIO

1 137A STREET AND TOWNHOUSE PATIO
Scale 1:100



KEY PLAN

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ALISON BROOKS ARCHITECTS

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PROJECT
RIZE PASSAGES

ADDRESS
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DRAWING TITLE
Sections

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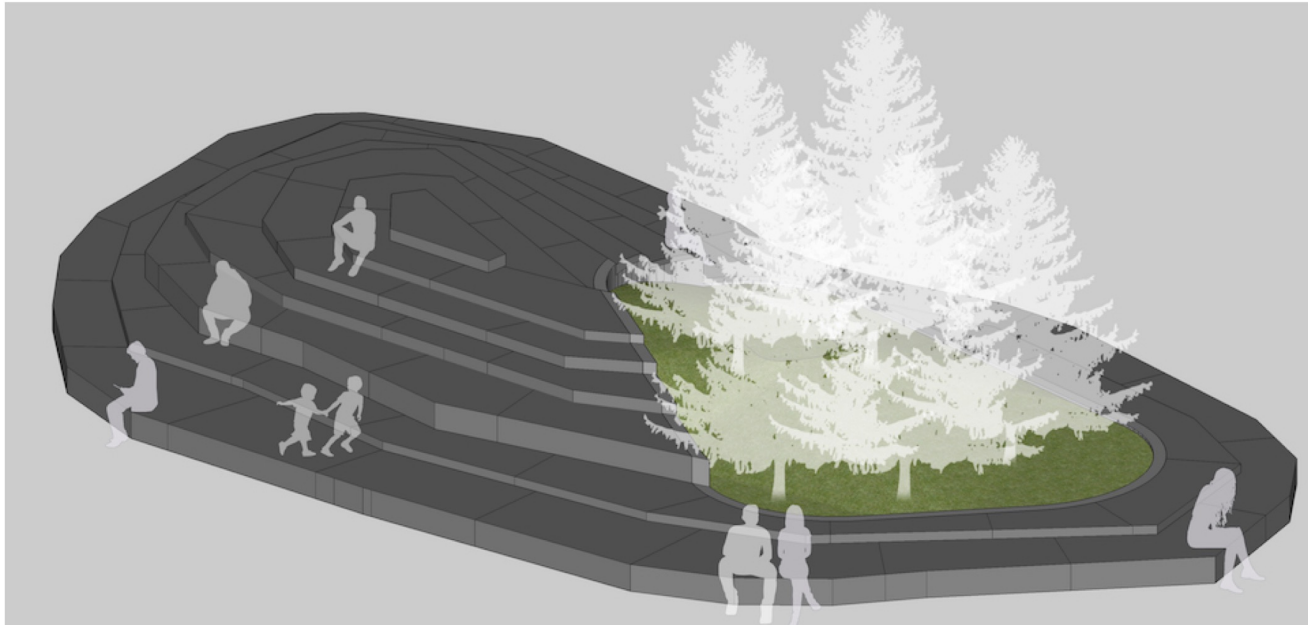
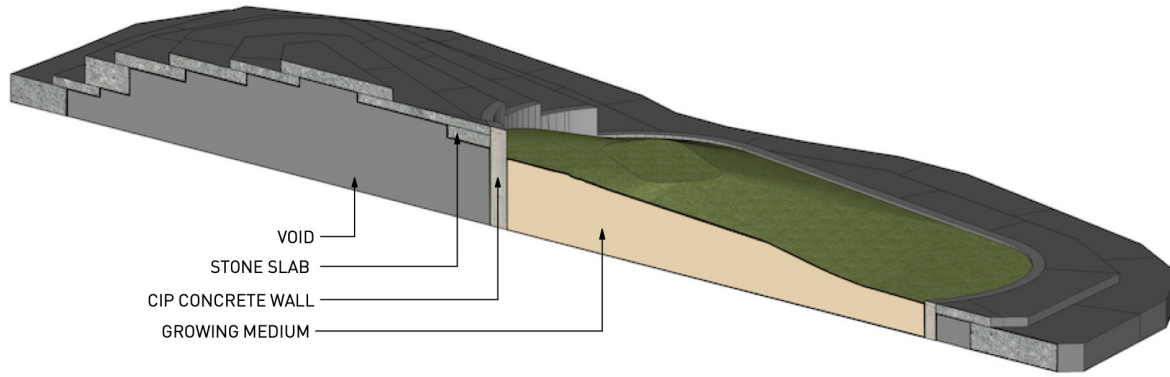
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PROJECT NO.	18024
DATE	31 July 2019
FILE NAME	18024 Section.vwx
PLOTTED	19-11-18
DRAWN	PY/EW/KZ
REVIEWED	BH

DRAWING
L6.08

REVISIONS AND ISSUES

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01	19-5-3	ADP Submission
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03	19-10-21	Re-issued for response to Planning/ADP Comments



JOINTING DETAIL



STONE SLAB DETAIL

PROJECT

RIZE PASSAGES

ADDRESS

10138 Whalley Boulevard
 Surrey BC

DRAWING TITLE

Detail

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NORTH

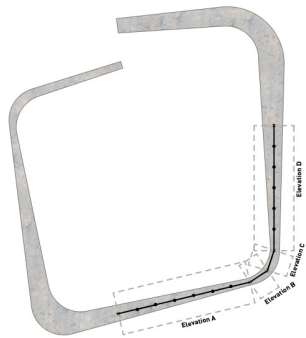
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As Shown

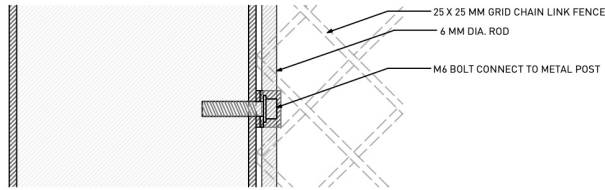
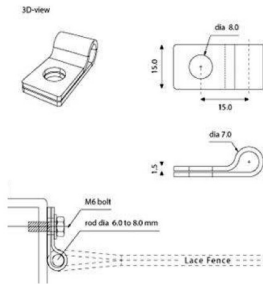
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PLOTTED	19-11-18
DRAWN	KZ/AE
REVIEWED	BH

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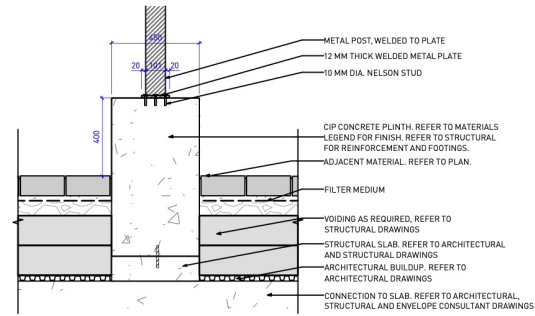
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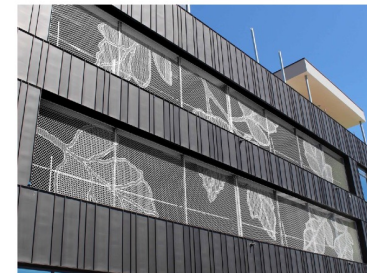
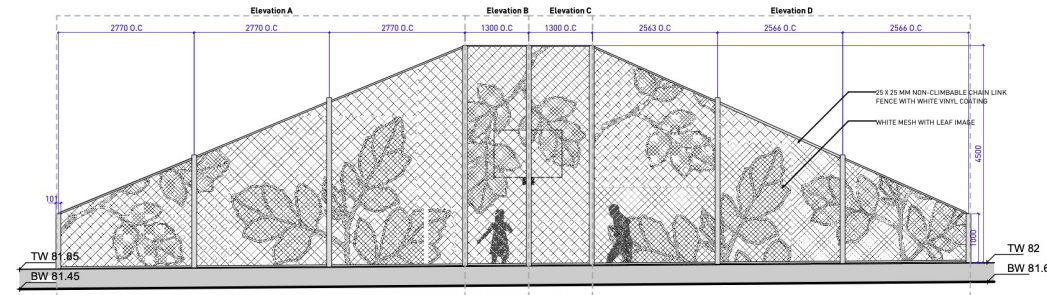
KEY PLAN 1:300



MOUNTING CONNECTION 1:5



CHAIN LINK FENCE POST FOOTING 1:25



1 BASKETBALL COURT FENCE
Scale: 1:100

REVISIONS AND ISSUES

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RIZE PASSAGES

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REVIEWED	BH

DRAWING

L7.07

REVISIONS AND ISSUES

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DRAWING TITLE

Detail

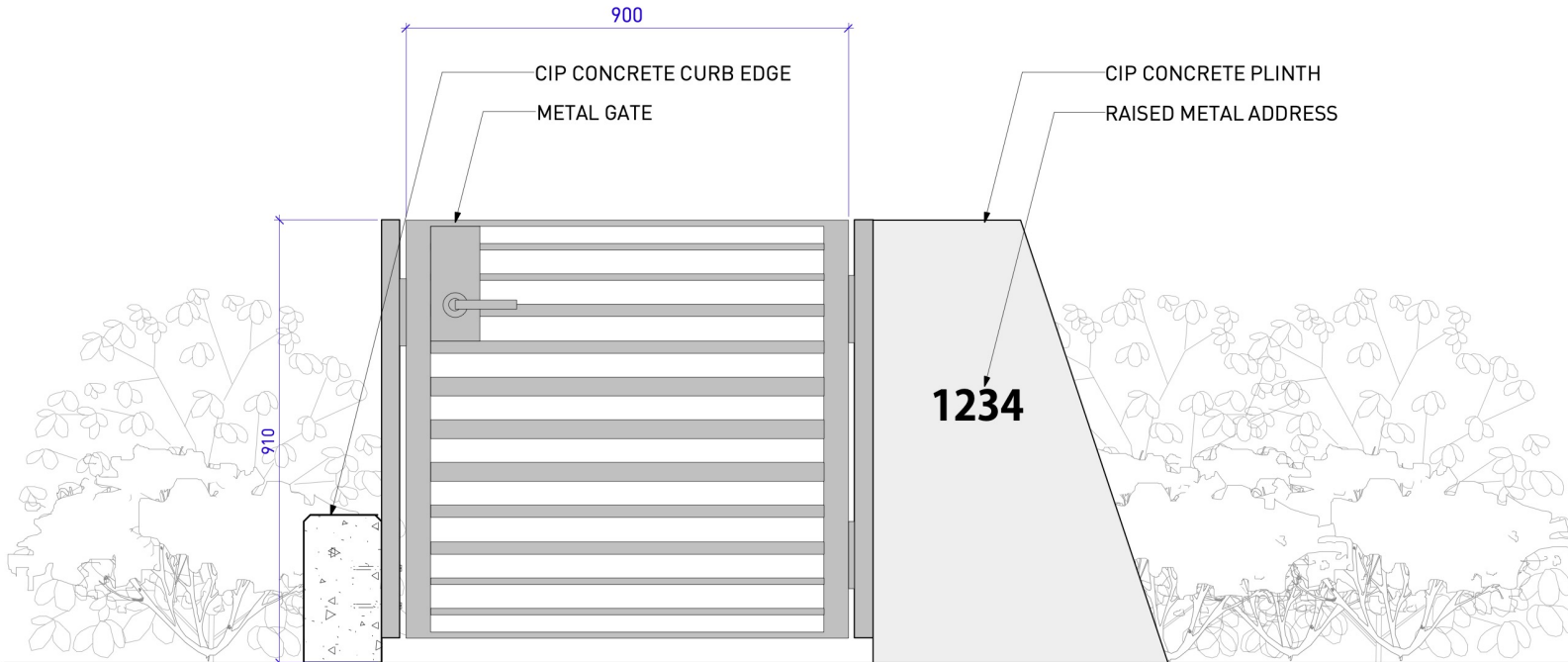
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PLOTTED	19-11-18
DRAWN	KZ/AE
REVIEWED	BH

DRAWING

L7.08



1 TOWNHOME GATE
 Scale: 1:10

INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **Nov 21, 2019** PROJECT FILE: **7818-0289-00
(Supersedes Mar 04/19)**

RE: **Engineering Requirements (Commercial/Multi-family)
Location: 10138 Whalley Blvd**

OCP AMENDMENT/CITY CENTRE PLAN AMENDMENT/DEVELOPMENT PERMIT

There are no engineering requirements relative to the proposed OCP and CCP Amendment, and Development Permit beyond those noted below.

REZONE/SUBDIVISION


Property and Right-of-Way Requirements

- Dedicate 5.942m along Whalley Boulevard
- Dedicate 5.904m along Green Lane
- Dedicate corner cuts, as required.
- Provide 0.5m wide statutory rights-of-way along all site frontages.

Works and Services

- Construct east side of Whalley Boulevard
- Construct west side of 137A Street
- Construct north side of 101 Avenue
- Construct Traffic Signal at the intersection of Whalley Boulevard and 101 Avenue.
- Construct south side of Green Lane, and storm main along Green Lane, if required.
- Construct minimum 250mm water main along 137A Street.
- Review capacity and condition of sanitary sewer systems on Whalley Boulevard, 137A Street and 101 Avenue and replace them with minimum 250mm/450mm/600mm sanitary mains as required.
- Complete sanitary and drainage catchment analysis to determine capacities. Resolve downstream constraints, if identified.
- Register applicable legal documents as determined through detailed design.
- Secure off-site working easements, if applicable.
- Pay sanitary latecomer charges proposed under 7816-0448-00.
- Pay amenity charge for undergrounding the existing overhead electrical and telecommunication infrastructure.

A Servicing Agreement is required prior to Rezone.


Jeff Pang, P.Eng.
Development Engineer
HB4

NOTE: Detailed Land Development Engineering Review available on file



Planning

November 26, 2019

THE IMPACT ON SCHOOLS

APPLICATION #: 18 0289 00 (Updated Nov 2019)

SUMMARY

The proposed 1126 highrise units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	28
Secondary Students:	11

September 2019 Enrolment/School Capacity

Lena Shaw Elementary	
Enrolment (K/1-7):	83 K + 478
Operating Capacity (K/1-7)	57 K + 512
Guildford Park Secondary	
Enrolment (8-12):	1315
Capacity (8-12):	1050

School Enrolment Projections and Planning Update:

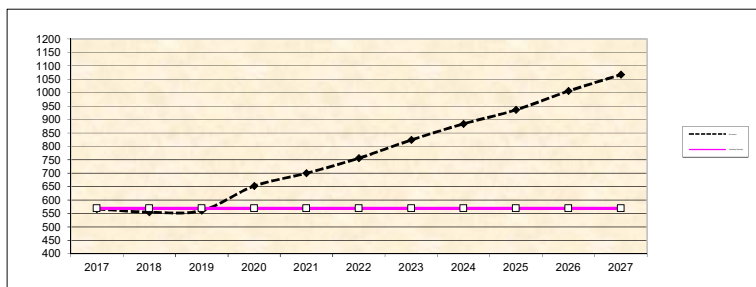
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

There is potential for significant redevelopment located along King George Boulevard, in particular, with the current building form potentially changing into high rise residential development and/or mixed use. The timing of these future high rise developments, with good market conditions could impact the enrolment growth upwards even more from the projections below.

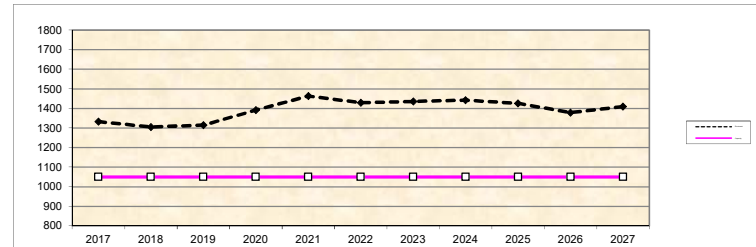
As of September 2019, Lena Shaw was operating at 98% capacity and is projected to grow 114% in 2028. Because of the points made above, the growth projections quoted below are conservative. Timing of when this potential densification will impact the school is hard to determine at this time. Currently there are no plans to expand the school, however, this facility will be reviewed, over the next year, to be considered for a future capital plan project request to the Ministry of Education, for an addition.

Guildford Park Secondary is currently over capacity by 23%. With the continued development and densification of the City Center, enrollment for this school is projected to continue to grow, perhaps, quicker than what is shown below. As part of the District's 2020/2021 Five Year Capital Plan, the District has requested a 450 capacity addition. The Ministry has not approved funding for this project.

Lena Shaw Elementary



Guildford Park Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students. Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

Conclusions:

This summary is based on the Arborists best judgment, trees expected to be unsafe, conflicting with the proposed development plans, of poor health or minimal long-term retaining value are recommended for removal shown in the Tree Inventory and Tree Preservation Summary. Goode Arboriculture Consulting recommends arborist consultation when any changes are made to the proposed site plans due to the effects on any retained trees on-site.

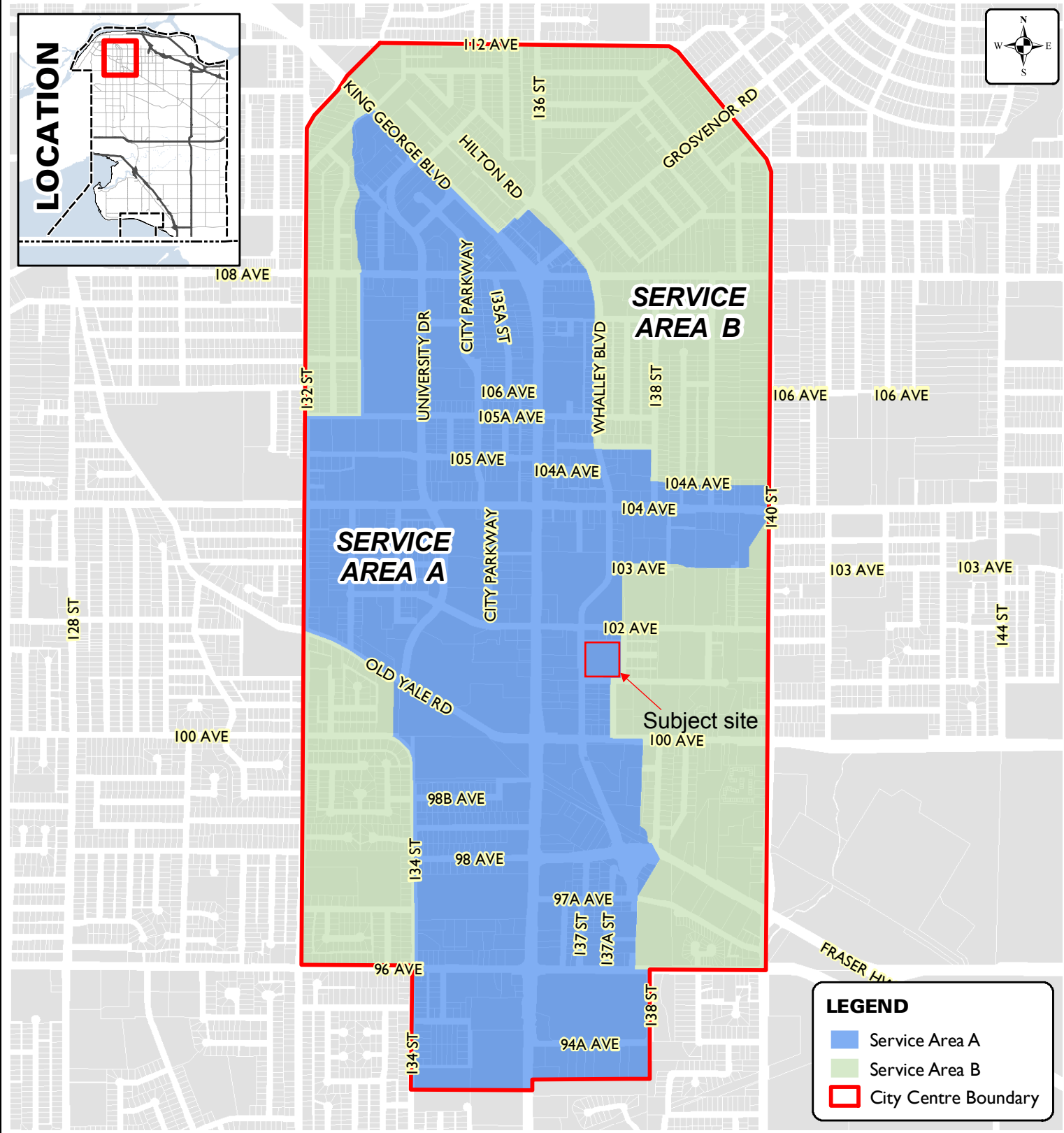
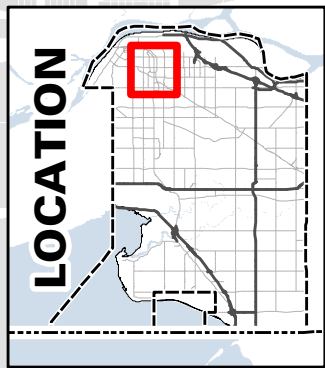
Table 2 - Tree Retention and Removal by Species Summary

Tree Species	Existing	Remove	Retain
<i>Deciduous Trees (excluding Alder & Cottonwood Trees)</i>			
Plum Tree <i>Prunus spp.</i>	1	1	0
<i>Coniferous Trees</i>			
Austrian Pine <i>Pinus nigra</i>	39	39	0
Total (excluding Alder & Cottonwood Trees)	40	40	0
Additional Trees in the proposed Open Space / Riparian Area			
Total Replacement Trees Proposed (excluding Boulevard Street Trees)	See Landscape Plan		
Total Retained and Replacement Trees	See Landscape Plan		

Table 3 - On-site Tree Protection and Replacement Summary

On-Site Trees	Number of Trees
Protected Trees Identified - on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas.	40
Protected Trees to be Removed	40
Protected Trees to be Retained – excluding trees within proposed open space or riparian areas.	0
Total Replacement Trees Required:	80
<ul style="list-style-type: none"> Alder & Cottonwood Trees Requiring 1:1 Replacement Ratio = All other Trees Requiring 2 to Replacement Ratio = 	40
Replacement Trees Proposed	See Landscape Plan
Replacement Trees in Deficit	
Protected Trees to be retained in proposed open space /riparian areas	

FIGURE 1



LEGEND

- Service Area A
- Service Area B
- City Centre Boundary

Produced by GIS Section: May 31, 2012, CS/AW8



DISTRICT ENERGY SERVICE AREA (SERVICE AREA A & SERVICE AREA B)

ENGINEERING DEPARTMENT

The data provided is compiled from various sources and IS NOT warranted as to its accuracy or sufficiency by the City of Surrey. This information is provided for information and convenience purposes only. Lot sizes, Legal descriptions and encumbrances must be confirmed at the Land Title Office.

Advisory Design Panel Minutes

2E - Community Room B
City Hall
13450 - 104 Avenue
Surrey, B.C.
THURSDAY, MAY 23, 2019
Time: 4:00 p.m.

Present:

Chair - L. Mickelson
Panel Members:
A. Llanos
A. Politano
B. Howard
I. MacFadyen
K. Shea
M. Enns
R. Drew
S. McFarlane

Guests:

Alison Brooks, Alison Brooks Architect and Martin
Bruckner, IBI Group
Benn Duffel, Rize Atelier
Bruce Hemstock, PWL
Jasvinder Momi, Western Luxury Custom Homes
Jessie Arora, DF Architecture
Ruchir Dhall, Bent Picture Creative Ventures Ltd.

Staff Present:

A. McLean, City Architect
S. Maleknia, Urban Design Planner
C. Eagles, Administrative Assistant

B. NEW SUBMISSIONS

2. Time: 4:45 p.m.

File No.: 7918-0289-00
Address: 10138 Whalley Boulevard
New or Resubmit: New
Last Submission Date: N/A
Description: OCP text amendment to Figure 16 to allow an FAR of 5.5, a City Centre Plan amendment from 'Residential Mid to High Rise 3.5 FAR to 'Mixed-Use High Rise 5.5 FAR', rezoning of the subject site from RM-45 to CD (based on RM-135 and C-15) and a Development Permit to allow for 948 market and 154 purposed built rental units in 6 buildings, ranging in height from 6 to 37 storeys with 1,743 square metres of ground floor commercial space and 444 square metres of daycare space.

Developer: Benn Duffel, Rize Atelier
Architect: Alison Brooks, Alison Brooks Architect and Martin Bruckner, IBI Group
Landscape Architect: Bruce Hemstock, PWL
Planner: Jennifer McLean
Urban Design Planner: Sam Maleknia

The City Architect advised that modest dedications are taken at the roads and lane to create standard widths and improve the public realm. City guidelines outline the recommended scale of development. There are a few aspects that do not follow OCP guidelines. Staff are looking for comments on the building height, open spaces and architectural expression.

The Project Architect presented an overview of the site and building plans, streetscapes and elevations and highlighted the following information:

- The project focused on ways to connect adjacent lots and neighbourhoods.
- Townhouses are at the bottom of the towers.
- The balconies are screened and shaded.
- Sense of threshold is to be created at the entrances to the towers.
- Piazza areas surround the exterior to invite the neighbourhood in.
- The project has six guiding principles: fun, pattern, shape, rest, trees and water.

The Landscape Architect presented an overview of the general concept for the Landscape plans. The site will include a sports field, community garden, and café.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by R. Drew
Seconded by B. Howard
That the Advisory Design Panel (ADP):

1. SUPPORT the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department; and
2. Recommend that the landscaping submission return to staff for further development.

Carried

The Panel supported the project in general.

Key Points:

- Townhouse public realm interfaces needs refinement.

(The design team have undergone further work to illustrate the interfacing of townhomes with the public realm in line with the City Plan guidelines.)

- Consider targeting a higher BC Energy Step Code.

(The development will be designed to meet Surrey's Step Code requirements in effect at the time of applying for Building Permit.)

Site

- Address concerns of privacy where mid-rise and tower buildings are close and at entry points.

(The proposal does address issues of privacy between buildings. The angular building footprints avoid direct overlooking by avoiding parallel relationships between facades. This approach is particularly successful with facades which are in closer proximity to one another.)

- Carefully consider what spaces should be public.

(We have carefully considered areas which are less publicly accessible, within the spirit of the overall concept for an inclusive public space at the heart of the development.)

- No issues with the height of towers.
- Consider a wind study.

(We do not believe a wind study is warranted at this time.)

Form and Character

- Consider a more elegant way to bring bicycles into the buildings, such as a ramp into the parkade without using the vehicle ramp.

(The applicant has considered several options for offering cyclists alternative ways of reaching the bicycle parking areas in the parkade, in particular closer to Whalley Blvd where a public cycle route is proposed. Towers D and F have been revised to incorporate dedicated cores off of the landscaped grove areas equipped with lifts which directly connect to the cycle storage areas in the parkade. The additional elevators mean that cyclists will not have to share the carpark access ramps with vehicles or access the communal areas of buildings with cycles. The location of these cycle lobbies will also bring more liveliness and purpose to the groves which gain character from the additional use. The cores will also double up their functionality by serving the dedicated retail parking and the associated retailers who require parkade access for servicing.)

- Consider different expression at retail base of towers without diminishing the overall tower expression.

(The integrity of the metal cladding, inherent to the tower designs relate very successfully with the proposed retail areas at the base of tower D. The tower legs are tallest in the retail areas and express the internal volume of 8.2m clear height. Furthermore a glass canopy is proposed along the full extent of the Whalley boulevard elevation which will enhance and scale the street level experience for pedestrians. Signage and differentiated internal lighting from the residential areas of the tower above will in our view be most successful in defining the commercial areas at this level. In the case of the retail areas at the base of the mid rise blocks, the double height commercial base is clad in metal in contrast to its masonry floors overhead. Here also a glass canopy is proposed with purposely designed signage strips which also discretely integrate commercial extract louvres.

- Consider how the cladding will meet the ground.

(This comment was related to the metal cladding proposed and its durability upon a risk of impact from vehicles. The generous building setbacks to the site perimeter and pedestrian only piazzas and groves minimize the risk of vehicles approaching the façade and causing impact or damage. The cladding proposed will be of high quality and appropriate gauge in these areas and throughout ground floors, durable surfaces which contribute to the high-quality public realm.)

- Consider how people would use the site in different seasons, such as the rainy season.

(Additional lighting has been provided to encourage winter use.)

- Consider reinforcing the lighting pallet for winters months.

(Pole lights are used throughout the site to provide lighting for winter months. Additional wall lighting has been provided in specific areas such as Urban Agriculture and Basketball court to promote uses in the winter months.)

- Consider bicycle racks closer to the cycle route.

(Bicycle racks are provided along Whalley Boulevard as per City of Surrey standards, additional bike racks are provided along Whalley Boulevard commercial frontage.)

- The sculpting of tower top works well.

- Supports playful quality of skin.

- It was noted that the shadows appear to have a impact on the public park and on internal ground level spaces.

- Consider mitigating the shadows.

(This comment was responded to at ADP given the Tower B and D were incorrectly located in the large-scale model, giving the impression that a taller volume was proposed on the Park facing corner. As can be verified on all architectural information the lowest tower is proposed in this location in line with the City's recommendations during the design development stages. No response required.)

- The “passages” concept creates more perimeter that needs to be animated and activated. The outdoor spaces do not belong to anyone and there is the potential there is too much.

(We feel there is a balance of different uses with a clear sense of corresponding outdoor space and varied frontage types. We feel this

comment is in contradiction to the overall support received by the panel. It is also worth noting the hierarchy of public spaces and permeable nature of the piazzas and groves has been developed with the planners support and confidence in the proposed strategy.)

Landscape

- Support the programming.
- Support the unifying elements such as the rock outcrops, walls, furnishing, water, site sculpting, and channel.
- Consider the use of space in the dark, rainy, cold months.

(Additional lighting has been provided to encourage winter use.)

- Consider diversified lighting styles to promote all season play.

(Pole lights are used throughout the site to provide lighting for winter months. Additional wall lighting has been provided in specific areas such as Urban Agriculture and Basketball court to promote uses in the winter months.)

- Consider evergreen planting and softer textures.

(Evergreen planting provided in Central Piazza and throughout the site.)

- Support the rich landscaping, however fundamental thesis, the idea of authenticity, should be brought to the rock outcrop.

(The landscape architect recognizes that the landscape design is not an attempt to mimic the Pacific Northwest character, but a modern interpretation of that character. This is reflected in the landscape detail and how it is fundamentally not a natural depiction of stone but an interpretation of a Pacific Northwest boulder.)

CPTED

- Consider CPTED principles when further developing bike rooms.

(The development will be designed to meet CPTED principles at the time of applying for Building Permit. Refer to previous response for cycle access strategy.)

Sustainability

- Consider a higher BC Energy Step Code.

(The development will be designed to meet Surrey's Step Code requirements in effect at the time of applying for Building Permit.)

- Consider a stormwater strategy to minimize rainwater leaving the site.
- Consider the retention of water and making use of it.

(A water runnel throughout the site has taken into consideration some of the stormwater retention, which doubles as a site activation device. Addition to the planting area also serves to perform some stormwater retention function.)

- Consider thermal bridging with the façade and balconies.

(Thermal bridging will be considered as part of a more detailed building physics assessment at working drawing stage. The building will be designed in accordance with prevailing Step Code requirements at the time of BP application.)

Accessibility

- Recommend that the amenity restrooms be accessible.

(Accessible restrooms will be provided in amenity areas.)

- Include sufficient designated disabled parking stalls.

(Sufficient designated disabled parking stalls have been provided.)

- Recommend that the entrance door be power operated.

(Power operated entrance doors will be provided in accordance with Code requirements.)

- Consider the elevator and entrance call button panel to be placed horizontally.

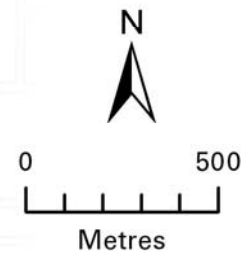
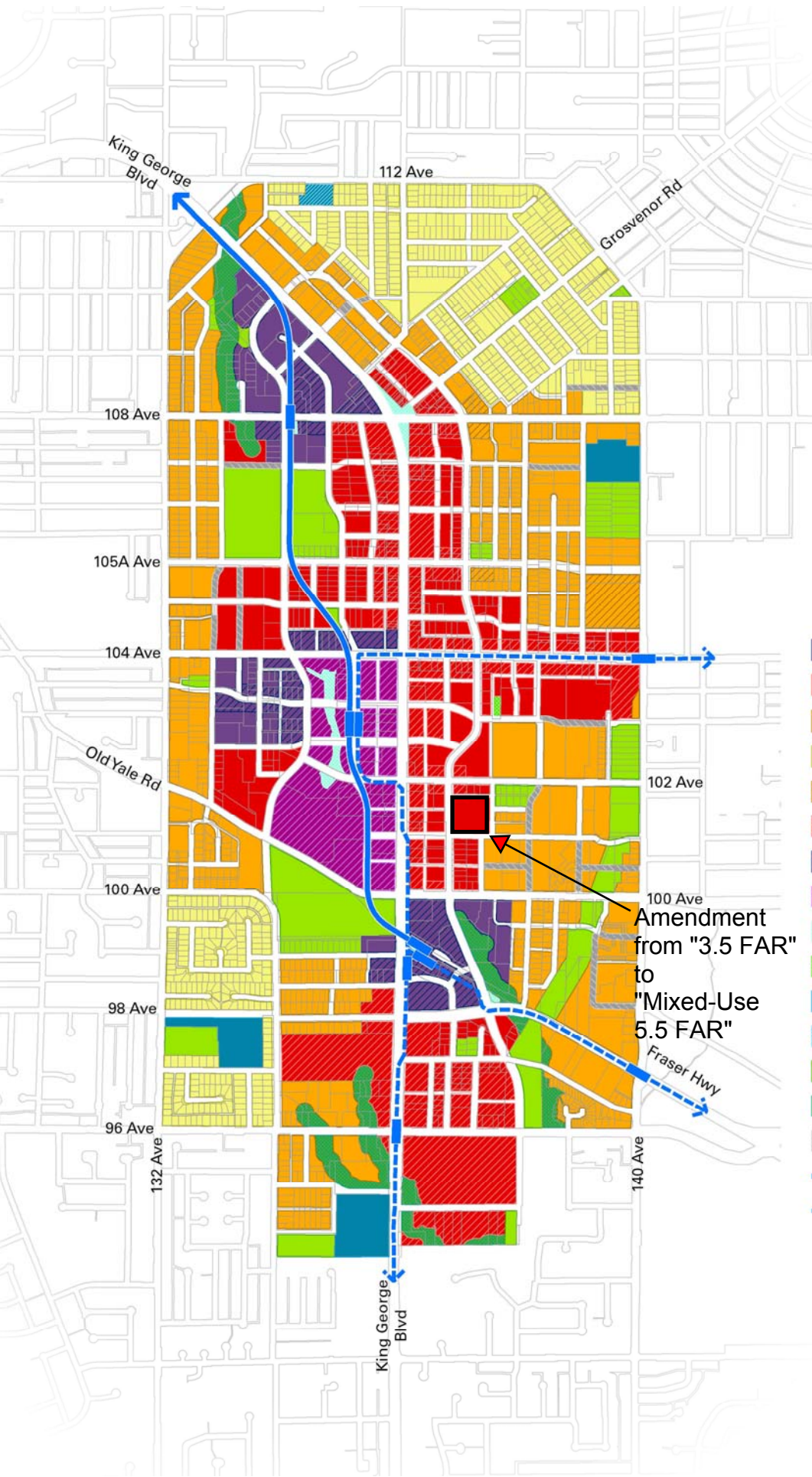
(This will be implemented in accordance with Code requirements at time of BP application.)

- Consider emergency call buttons in the parking lobbies.

(This will be provided.)

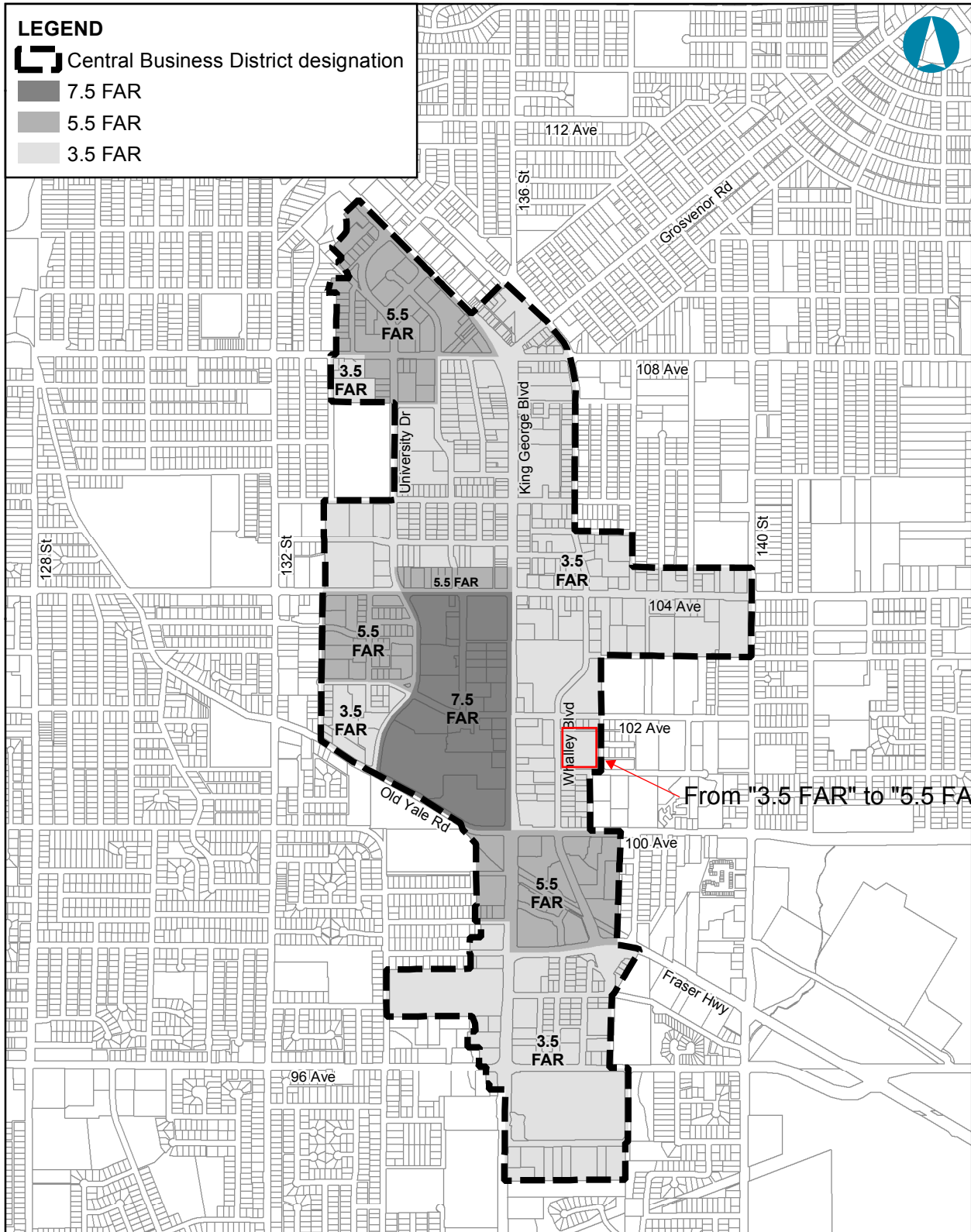
- Consider 5% of units be wheel chair accessible.

(The provision will be in accordance with Code requirements at time of BP application.)



- High Rise 5.5 FAR
- Mid to High Rise 3.5 FAR
- Low to Mid Rise up to 2.5 FAR
- Single Family/Duplex 0.6 FAR
- Mixed-Use 2.5 FAR
- Mixed-Use 3.5 FAR
- Mixed-Use 5.5 FAR
- Mixed-Use 7.5 FAR
- Plaza
- Public Open Space
- School
- Institutional
- Park
- Creek Buffers
- Long Term Road
- SkyTrain
- Proposed Light Rail

Amendment
from "3.5 FAR"
to
"Mixed-Use
5.5 FAR"



Tenant Assistance Program

10138 Whalley Boulevard, Surrey
November 13th, 2019



Rize Atelier (WLY) Properties Ltd.

1. Summary

Rize Atelier (WLY) Properties Ltd. have applied for a rezoning that would require the relocation of Fraserview Court tenants of the existing RM-45 rental buildings on the site. Rize is aware that this application, if approved, would cause inconvenience and financial burden on the existing residents. Our goal is to provide support to the current tenants to ease the transition out of the Fraserview Court apartments and reduce any financial pressure.

The rezoning application includes more than 100% replacement of the rental homes currently on the site. In addition to replacing the existing 154 rental homes comprising 221 bedrooms, Rize is proposing an additional 18 rental homes for a total of 172 homes comprising 247 bedrooms.

All tenants residing in the Fraserview Court apartments at the time that the rezoning application was submitted on August 2, 2018 are eligible for relocation assistance under the Tenant Assistance Program and will be offered the opportunity to rent in the proposed new purpose-built rental buildings.

2. Property Address, Legal Description, & Tenants

Property Address: 10138 Whalley Blvd, Surrey, BC V3T 4G2 + 10139 137a Street, Surrey, BC, V3T 4J5

Legal Address: Parcel Identifier: 008-665-397
Legal Description: LOT 72 SECTION 26 RANGE 2 PLAN NWP39808 NWD

Fraserview Courts Unit Summary*	
Total Units	154
Vacant Units (2019.10.07)	21
Total Bedrooms	221

**Refer to Appendix A: Current Occupancy and Compensation Summary for further details. As of October 7, 2019, 21 tenants have vacated Fraser Court apartments and have been financially compensated according to the compensation schedule detailed below. An additional tenant has given notice and will be vacating their suite on November 30th, 2019.*

3. Tenant Assistance Program

Resident Support Specialist

Name: Zaklina Vracar

Company: Rize Atelier (WLY) Properties (Consultant)

Mobile: 604.722.6817

Email: z.vracar@rizealliance.com

The resident support specialist will be the prime contact for all residents affected by the loss of housing due to the redevelopment of the property, and will interact with all residents on an equitable, fair and compassionate basis. The resident support specialist will arrange one-on-one meetings with each resident to discuss and develop a tailored relocation approach, specific to each personal scenario, which will provide the necessary options for each individual resident. Where language, culture, or living situation may be an impediment, the resident support specialist will identify such situations and engage appropriate resources to assist, such as interpretive services.

a. Tenant Notice/ Financial Compensation

As the owner and landlord of 10138 Whalley Blvd, Rize will conform to British Columbia's Residential Tenancy Act requirements for ending a tenancy due to the landlord's use of the property for major construction.

Rize commits to providing a four-month notice period to each tenant eligible for the plan, following receipt of all necessary permits and approvals required by law, in accordance with the Residential Tenancy Act.

Financial compensation will be provided to all tenants who are resident in the building at the time of Rezoning/DP application (August 2, 2018). Compensation will be available as a lump sum payment, free rent or a combination of both at the discretion of the tenant. In addition, through regular communication, Rize will provide tenants with project updates to keep them informed in advance of the four month formal notice period.

All tenants will be provided with the equivalent of a minimum of 3 months rent. Longer term tenancies will be provided with additional compensation on a scale relating to the length of tenancy. This will ensure that longer term tenants who may be paying a lower monthly rent are fairly compensated.

The tenant compensation is structured as follows:

Tenancy Compensation (months rent)

< 10 years	3
> 10 to < 15	4
> 15 to < 20	5
> 20 to < 25	6
> 25 to < 30	7
> 30 to < 35	8
> 35 to < 40	9
> 40 years	10

Please see Appendix A for a Tenant Compensation Summary spreadsheet, detailing the compensation that has been or will be provided to each suite.

b. Moving Expenses

In addition to the 3 month minimum compensation, Rize will compensate every suite for moving expenses according to the following structure:

- \$750 for 1 bedroom homes
- \$1000 for 2 bedroom homes
- \$1200 for 3 bedroom homes

Suites with extended tenure will be provided with additional moving expense support according to the scale below:

- 10-20 years : +\$1000
- 20-30 years : +\$2500
- 30-40 years : +\$5000
- Over 40 years : +\$10,000

Please see Appendix A for a Tenant Compensation Summary spreadsheet, detailing the moving expense compensation that has been or will be provided to each suite.

c. Alternate Accommodation Assistance

The resident support specialist will be available to assist tenants in finding alternate accommodation upon request. The resident support specialist will undertake a complete survey of both the Surrey City Centre neighbourhood and broader area to identify all available rental buildings with units renting at no more than 10% above CMHC average rent for the applicable unit size in Surrey. Once the survey is complete, she will contact all building managers of the identified rental buildings, establish connections and ensure that she is made aware of all current vacancies and is informed when units come back on the

rental market so that she can inform tenants of 10138 Whalley Boulevard requiring relocation assistance.

Surveys have been distributed to all tenants multiple times in order to identify household size, affordability and accessibility concerns. Every effort will be made to provide tenants with accessibility/mobility issues alternative rental options that meet their requirements. 10138 Whalley Boulevard is not a pet friendly building; however, approximately 3 current tenants have stated that they currently have pets and our Tenant Relocation Coordinator will make every attempt to provide at least one option which can accommodate their pets. Please see Appendix B: Current Occupancy and Compensation Summary for tenants' accessibility and pet friendly requirements.

For eligible tenants, the resident support specialist will work with non-profit housing providers, health and/or social service agencies to best meet the needs of vulnerable tenants requiring additional assistance and will assist tenants with applications.

On June 12th, 2019, a BC Housing sign up session was held during which every tenant in attendance was individually assisted by the Relocation Coordinator to fill out application materials. Similar sessions will be held for all other applicable non-profit housing providers and health/social service agencies.

d. Right of First Offer

Tenants will be offered the right of first offer, based on length of tenancy, to rent a new home in the purpose-built rental building at market rates.

4. Communications Plan

Rize are committed to maintaining clear, open lines of communication with all tenants during the approval process. In addition to dedicated, full time access to the Resident Support Specialist, notification and updates will be provided at the following stages:

Stage	Notification	Date	Status
Rezoning/DP Application	<ul style="list-style-type: none">- Notification letter hand delivered to each residence. Letter includes contact information for Resident Support Specialist.- Notification letter posted in clearly visible area within the rental building.	August 20, 2018	Complete

Approvals	- Resident support specialist contacts every tenant for a 1 to 1 meeting to discuss personal situation, identify specific needs and discuss schedule and compensation package.	Aug – April, 2018-19	Ongoing
Approvals	- Notification letter providing additional schedule information hand delivered to each residence, and posted within the rental buildings.	October, 2018	Complete
Approvals	- Rezoning signage posted onsite & city mailout.	February, 2019	Complete
Approvals	- Tenant open house to provide additional information on the project, schedule, and tenant assistance program.	March 28, 2019	Complete
Approvals	- Survey distributed at March 28 open house and redistributed in June 2019 to identify tenants requiring relocation assistance and level of assistance required.	March 28, 2019 – June 12, 2019	Complete
Approvals	- Compensation letters detailing the total compensation payable to each tenant under the tenant compensation structure were distributed to each tenant.	July 20, 2019	Complete
Approvals	- BC Housing Sign-up Session held to help tenants apply for BC Housing financial assistance programs. Tenants were individually assisted by the Resident Support Specialist.	July 29, 2019	Complete
Approvals	- Notification letters will be distributed in advance of significant approvals milestones, including relevant council meetings and public hearings. - Resident support specialist will continue to work with tenants to secure relocation options during the entire approvals process.	October 2018 – January 2020	Ongoing
Rezoning Enactment	- Notification letter with updated schedule information to be hand delivered to each residence, and posted within the rental buildings.	Winter 2020	

Building
Permit
Issuance

- 4 month notice to end tenancy will be
distributed to remaining tenants.

Summer 2020

5. **Reporting**

Rize will submit to City staff regular status updates showing evidence of implementation of the Tenant Assistance Program.

6. **Conclusion**

Rize is committed to working with the residents over the coming months and years to successfully relocate them to alternative accommodation that suits their needs and provide them with the opportunity to return as renters to the new purpose-built rental community.

TERMS OF INSTRUMENT – PART II
SECTION 219 COVENANT AND HOUSING AGREEMENT
(Occupancy)

BETWEEN:

CITY OF SURREY, a Municipal Corporation having its municipal offices at 13450 104 Avenue, Surrey, British Columbia V3T 1V8
 (the “**City**”)

OF THE FIRST PART**AND:**

RIZE ATELIER (WLY) PROPERTIES LTD., Inc. No. BC1013836, a corporation having its office at 3204 – 1055 Dunsmuir Street, Vancouver, British Columbia V7X 1L4
 (the “**Covenantor**”)

OF THE SECOND PART**WHEREAS:**

- A. The Covenantor is the current registered owner of those certain lands and premises located at 10138 Whalley Boulevard in Surrey, B.C. and legally described as follows:
 PID: 008-665-397
 Lot 72 Section 26 Block 5 North Range 2 West New Westminster District Plan 39808
 (the “**Lands**”);
- B. Section 219 of the *Land Title Act* (RSBC 1996, c.250) provides, inter alia, that a covenant, whether of a negative or a positive nature, may be registered as a charge against the title to the land, in favour of a municipality or the Crown, and that the covenant is enforceable against the Covenantor and the successors in title of the Covenantor;
- C. Section 483 of the *Local Government Act* (RSBC 2015, c. 1) authorizes the City by bylaw to enter into a housing agreement;
- D. The Covenantor desires to construct two buildings on certain portions of the Lands, the first such building to contain 88 rental Dwelling Units and the second such building to contain 84 rental Dwelling Units (each, a “**Rental Building**” and together, the “**Rental Buildings**”); and
- E. The Covenantor and the City wish to enter into this Agreement to restrict the use and occupancy of the Rental Buildings, on the terms and conditions set out herein, to have effect both as a covenant under Section 219 of the *Land Title Act* and as a housing agreement under Section 483 of the *Local Government Act*.

NOW THEREFORE THIS AGREEMENT WITNESSES THAT pursuant to Section 219 of the *Land Title Act* and Section 483 of the *Local Government Act*, and in consideration of the

premises, the mutual covenants and agreements contained herein and other good and valuable consideration and the sum of One Dollar (\$1.00) now paid by the City to the Covenantor (the receipt and sufficiency of which is hereby acknowledged), the parties hereto covenant and agree that the Lands shall not be used or built on except in accordance with this Covenant as follows:

ARTICLE 1

1.1 DEFINED TERMS

- 1.1.1 In and for the purpose of this Agreement, the following words have the following meanings:
- (a) “**Agreement**” means this document and any amendments to or modifications of the same;
 - (b) “**Dwelling Units**” means the 172 rental dwelling units to be constructed within the Rental Buildings;
 - (c) “**Rental Building**” has the meaning assigned to it in Recital D; and
 - (d) “**Term**” means in respect each Rental Building, 20 years, commencing on the first day of the month after the City issues an occupancy permit for such Rental Building.

ARTICLE 2

2.1 RESTRICTIONS ON OCCUPANCY OF DWELLING UNITS

- 2.1.1 The Covenantor shall be solely responsible for leasing the Dwelling Units from time to time on such terms as the Covenantor determines, provided such terms are in accordance with this Agreement.
- 2.1.2 The Covenantor covenants and agrees to operate the Rental Buildings as rental buildings and agrees that the Dwelling Units shall be rental units available for rent during the Term of this Agreement.
- 2.1.3 The City may from time to time require that the Covenantor provide written proof of compliance with this Article 2 of this Agreement and the Covenantor agrees to provide the City with such proof in a form reasonably satisfactory to the City.

ARTICLE 3

3.1 SUBDIVISION AND STRATIFICATION

- 3.1.1 The City will forthwith upon request of the Covenantor remove this Section 219 Covenant from any parcel or parcels, including any air space parcel or air space parcels, created by the deposit of a subdivision, strata or air space plan, which will not contain the Rental Buildings. If there is a separate legal title to the portion of the Lands in which a Rental Building is located, the City shall forthwith remove this Section 219 Covenant and the notice of this Agreement from title to the portion or portions of the Lands which do not contain such Rental Building. This Agreement shall continue to be a charge against title to the portion or portions of the Lands containing the Rental Buildings.

- 3.1.2 All or portions of either of the Rental Buildings may be stratified during the Term by way of a strata plan of such Rental Building or a strata plan of an air space parcel for a portion of such Rental Building, as approved by an approving officer under the *Land Title Act*.
- 3.1.3 This Agreement shall automatically terminate at the end of the Term and the City shall remove notice of this Agreement and discharge this Section 219 Covenant from title to the Lands at such time.

ARTICLE 4

4.1 ENFORCEMENT

- 4.1.1 If the Covenantor fails to enforce compliance with the terms and conditions of Article 2 of this Agreement, then it is specifically understood and agreed that the City will be entitled, but will not be obliged, to enforce the terms and conditions of Article 2 of this Agreement.
- 4.1.2 For the purpose of this Agreement, the Covenantor, without the need for further authorization, writing or documents, hereby irrevocably appoints the City as its agent with respect to the enforcement of Article 2 of this Agreement and with respect to exercising all remedies set out in this Agreement and all other remedies available at law to the Covenantor that relate to this Agreement.

ARTICLE 5

5.1 LIABILITY

- 5.1.1 The Covenantor will indemnify and save harmless the City and each of its elected and appointed officials, employees and agents and their respective administrators, successors and permitted assigns, of and from all claims, demands, actions, damages, costs and liabilities, which all or any of them shall or may be liable for or suffer or incur or be put to by reasons of or arising out of failure of the Covenantor to comply with the terms and conditions of this Agreement.
- 5.1.2 Provided that the City is in compliance with the terms and conditions of this Agreement, the Covenantor hereby releases and forever discharges the City and each of its elected and appointed officials, employees and agents and their respective administrators, successors and permitted assigns, of and from any and all claims, demands, actions, damages, economic loss, costs and liabilities which the Covenantor now has or hereafter may have with respect to or by reasons of or arising out of the fact that the Lands are encumbered by this Agreement.

ARTICLE 6

6.1 NOTICE

- 6.1.1 Any notice or other documents to be given or delivered pursuant to this Agreement will be addressed to the proper party as follows:

as to the City:

City of Surrey
14245 56th Avenue

Surrey, B.C. V3X 3A2
Attention: General Manager, Planning & Development Dept.

as to the Covenantor:

Rize Atelier (WLY) Properties Ltd.
3204 – 1055 Dunsmuir Street
Vancouver, B.C. V7X 1L4
Attention: William Wei Jong Lin

or such other address as such party may direct. Any notice or other documents to be given or delivered pursuant to this Agreement will be sufficiently given or delivered if delivered to the particular party at its address set out or determined in accordance with this Article 6.1 and shall be deemed to have been delivered two (2) days after the date of delivery.

- 6.1.2 It is specifically agreed that for any notice or document to be validly given or delivered pursuant to this Agreement, such notice must be hand delivered and not mailed.

ARTICLE 7

7.1 MISCELLANEOUS

- 7.1.1 The Covenantor acknowledges and agrees that:
- (i) this Agreement constitutes both a covenant under Section 219 of the *Land Title Act* and a housing agreement under Section 483 of the *Local Government Act*;
 - (ii) the City is required to file a notice of housing agreement in the Land Title Office against title to the Lands; and
 - (iii) once such a notice is filed, this Agreement binds all persons who acquire an interest in the Lands as a housing agreement.
- 7.1.2 The burden of the covenants herein provided for shall run with the Lands and will be personal and binding upon the Covenantor during the Covenantor's seisen of or ownership of any interest in the Lands.
- 7.1.3 Notwithstanding anything to the contrary, the Covenantor shall not be liable under any breach of any covenants and agreements contained herein, contractual or otherwise, after the Covenantor ceases to have any further interest in the portion or portions of the Lands containing the Rental Buildings, as applicable.
- 7.1.4 The fee simple estate in and to the Lands will not pass or vest in the City under or by virtue of these presents and the Covenantor may fully use and enjoy the Lands except only for the requirements provided for in this Agreement.
- 7.1.5 The covenants and agreements on the part of the Covenantor and herein provided for have been made by the Covenantor as contractual obligations as well as having been made pursuant to Section 219 of the *Land Title Act* and Section 483 of the *Local Government Act* and as such will be binding on the Covenantor, subject to Section 7.1.3.

ARTICLE 8

8.1 MISCELLANEOUS

- 8.1.1 The captions, section numbers and article numbers appearing in this Agreement are inserted for convenience of reference and shall in no way define, limit, construe or describe the scope of intent of this Agreement or in any way affect this Agreement.
- 8.1.2 Words importing the singular number only shall include the plural and vice versa, words importing the masculine gender shall include the feminine and neuter gender and vice versa and words importing persons shall include firms and corporations and vice versa.
- 8.1.3 Unless otherwise stated, a reference in this Agreement to a numbered or lettered article, section, paragraph or clause refers to the article, section, paragraph or clause bearing that number or letter in this Agreement.
- 8.1.4 The words “hereof”, “herein” and similar expressions used in any section, paragraph or clause of this Agreement shall relate to the whole of this Agreement and not to that section, paragraph or clause only unless otherwise expressly provided.
- 8.1.5 Nothing in this Agreement:
- (i) affects or limits any discretion, rights, powers, duties or obligations of the City under any enactment or at common law, including in relation to the uses or the subdivision of the Lands; or
 - (ii) relieves the Covenantor from complying with any enactment, including the City’s by-laws.
- 8.1.6 An alleged waiver by a party of any breach by another party of its obligations under this Agreement will be effective only if it is an express waiver of the breach in writing. No waiver of a breach of this Agreement is deemed or construed to be a consent or waiver of any other breach in this Agreement.
- 8.1.7 Time is of the essence of this Agreement. If any party waives this requirement, that party may reinstate it by delivering notice to the other party.
- 8.1.8 This Agreement shall be construed in accordance with and governed by the laws of the Province of British Columbia.
- 8.1.9 If a court of competent jurisdiction finds that any part of this Agreement is invalid, illegal or unenforceable, that part is considered to have been severed from the rest of this Agreement and the rest of this Agreement remains in force unaffected by that holding or by the severance of that part.
- 8.1.10 Upon request by the City, the Covenantor will promptly do such acts and execute such documents as the City may reasonably require, in the opinion of the City, to give effect to this Agreement.
- 8.1.11 This Agreement is the entire agreement between and among the parties concerning the subject matter hereof and there are no warranties, representations, conditions or collateral agreements relating to this Agreement, except as included in this Agreement.

8.1.12 This Agreement may be enforced by prohibitory and mandatory court order of the Court. In any action to enforce this Agreement, the City shall be entitled to court costs on a solicitor and own client basis.

8.1.13 This Agreement shall enure to the benefit of and be binding upon the parties and their successors and assigns.

END OF DOCUMENT

CONSENT AND PRIORITY AGREEMENT

Bank of Montreal

In this Consent and Priority Agreement:

- (a) “**Existing Charges**” mean the Mortgage registered under number CA6577430 and the Assignment of Rents registered under number CA6577431;
- (b) “**Existing Chargeholder**” means Bank of Montreal;
- (c) “**New Charge**” means the Section 219 Covenant contained in the attached Terms of Agreement – Part 2; and
- (d) words capitalized in this Agreement, not otherwise defined herein, have the meaning ascribed to them in the attached Terms of Agreement – Part 2.

For \$10.00 and other good and valuable consideration, the receipt and sufficiency of which the Existing Chargeholder acknowledges, the Existing Chargeholder hereby:

- (i) consents to the Covenantor granting the New Charge to the City; and
- (ii) agrees with the City that the New Charge charge the Lands in priority to the Existing Charges in the same manner and to the same effect as if the Covenantor had granted the New Charge, and it had been registered against title to the Lands, prior to the grant or registration of the Existing Charges or the advance of any money under the Existing Charges.

To witness this Consent and Priority Agreement, the Existing Chargeholder has caused its duly authorized signatories to sign the attached General Instrument - Part 1.

CITY OF SURREY

BYLAW NO. 19717

A bylaw to amend "Surrey Zoning By-law, 1993, No. 12000", as amended

.....

The Council of the City of Surrey ENACTS AS FOLLOWS:

- 1. "Surrey Zoning By-law, 1993, No. 12000", as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of "Surrey Zoning By-law, 1993, No. 12000", as amended as follows:

FROM: MULTIPLE RESIDENTIAL 45 ZONE (RM-45)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 008-665-397

Lot 72 Section 26 Block 5 North Range 2 West New Westminster District Plan 39808

10138 - Whalley Boulevard

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of high *density*, high-rise *multiple unit residential buildings*, *ground-oriented multiple unit residential buildings* and related *amenity spaces*, and commercial uses, which are to be developed in accordance with a *comprehensive design*.

The Lands are divided into Blocks A, B, and C as shown on the Survey Plan attached hereto and forming part of this By-law as Schedule A, certified correct by Eugene Wong, B.C.L.S., on the 20th day of November, 2019.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

1. Block A

- (a) *Multiple unit residential buildings and ground-oriented multiple unit residential buildings.*
- (b) The following *accessory uses*, provided that such uses form an integral part of a *Multiple unit residential building* on the *Lands*:
 - i. *Eating establishments* excluding *drive-through restaurants*; and
 - ii. *Child care centres.*
- (c) The following *accessory uses*, provided that such uses form an integral part of a *Multiple unit residential building* on the *Lands* and do not exceed 120 square metres [1,292 sq. ft.] in combined gross floor area in Block A:
 - i. *Retail stores* excluding *adult entertainment stores*, auction houses, and *secondhand stores* and *pawnshops*;
 - ii. *Personal service uses* excluding *body rub parlours*;
 - iii. *General service uses* excluding funeral parlours and *drive-through banks*;
 - iv. *Eating establishments* excluding *drive-through restaurants*;
 - v. *Neighbourhood pubs*;
 - vi. *Liquor store*;
 - vii. Office uses excluding *social escort services* and *methadone clinics*;
 - viii. *Indoor recreational facilities*;
 - ix. *Community services*; and
 - x. *Child care centres.*

2. Block B and C

- (a) *Multiple unit residential buildings and ground-oriented multiple unit residential buildings.*
- (b) The following *accessory uses*, provided that such uses form an integral part of a *multiple unit residential building* on the *Lands*:
 - i. *Retail stores* excluding *adult entertainment stores*, auction houses, and *secondhand stores* and *pawnshops*;
 - ii. *Personal service uses* excluding *body rub parlours*;
 - iii. *General service uses* excluding funeral parlours and *drive-through banks*;
 - iv. *Eating establishments* excluding *drive-through restaurants*;
 - v. *Neighbourhood pubs*;
 - vi. *Liquor store*;
 - vii. *Office uses* excluding *social escort services* and *methadone clinics*;
 - viii. *Indoor recreational facilities*;
 - ix. *Community services*; and
 - x. *Child care centres*.

C. Lot Area

Not applicable to this Zone.

D. Density

- 1. For the purpose of *building construction*, the *floor area ratio* shall not exceed 0.1. The maximum *density* may be increased to that prescribed in Section D.2 of this Zone if amenities are provided in accordance with Schedule G of "Surrey Zoning By-law, 1993, No. 12000", as amended.
- 2.
 - (a) Block A: The *floor area ratio* shall not exceed 5.6;
 - (b) Block B: The *floor area ratio* shall not exceed 4.8; and
 - (c) Block C: The *floor area ratio* shall not exceed 7.8.

3. Notwithstanding the definition of *floor area ratio*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section D of this Zone, and further provided that the *floor area ratio* calculated from the cumulative floor areas of the *buildings* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section D.2 of this Zone.
4. Notwithstanding the definition of *floor area ratio* in "Surrey Zoning By-law, 1993, No. 12000", as amended and the maximum *floor area ratio* specified in Section D.2; the cumulative *floor area ratio* of all *buildings* on the *Lands* shall not exceed 6.0;
5. The indoor amenity space required in Sub-section J.1(b) is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

1. The *lot coverage* shall not exceed 40%.
2. Notwithstanding the definition of *lot coverage*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section E of this Zone, and further provided that the *lot coverage* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section E.1 of this Zone.

F. Yards and Setbacks

1. *Buildings* and *structures* shall be sited in accordance with the following minimum *setbacks*:

Block A

Use	Setback	North Yard	South Yard	West Yard	East Yard
<i>Principal Buildings</i>		4.5 m	0 m	0.5 m	4.5 m
<i>Accessory Buildings and Structures</i>		[15 ft.]	[0 ft.]	[1.6 ft.]	[15 ft.]

Block B

	Setback	North <i>Yard</i>	South <i>Yard</i>	West <i>Yard</i>	East <i>Yard</i>
Use					
<i>Principal Buildings</i>		3.5 m	4.5 m	4.5 m	4.5 m
<i>Accessory Buildings and Structures</i>		[11 ft.]	[15 ft.]	[15 ft.]	[15 ft.]

Block C

	Setback	North <i>Yard</i>	South <i>Yard</i>	West <i>Yard</i>	East <i>Yard</i>
Use					
<i>Principal Buildings</i>		4.5 m	1.0 m	4.5 m	4.0 m
<i>Accessory Buildings and Structures</i>		[15 ft.]	[3.3 ft.]	[15 ft.]	[13 ft.]

Measurements to be determined as per Part 1 Definitions of "Surrey Zoning By-law, 1993, No. 12000", as amended.

2. Notwithstanding Section F.1 of this Zone, the minimum *setbacks* of *principal buildings* and *accessory buildings and structures* for interior *lot lines* for lots created by an air space subdivision may be 0.0 metre [0 ft.].
3. Notwithstanding Sub-section A.3(d) of Part 5 Off-Street Parking and Loading/Unloading of "Surrey Zoning By-law, 1993, No. 12000", as amended, an *underground parking facility* may be located up to 0 metre [0 ft.] of any *lot line*.
4. Notwithstanding Sub-section E.17(b) of Part 4 General Provision of "Surrey Zoning By-law, 1993, No. 12000", as amended, stairs with more than three risers may encroach into the *setbacks*.
5. Notwithstanding the definition of *setback* in Part 1 Definitions of "Surrey Zoning By-law, 1993, No. 12000", as amended, roof overhangs, decks, and canopies may encroach into the required *setbacks*.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of "Surrey Zoning By-law, 1993, No. 12000", as amended.

1. *Principal buildings*: The *building height* shall not exceed 120 metres [394 ft.].
2. *Accessory buildings and structures*: The *building height* shall not exceed 4.5 metres [15 ft.].

H. Off-Street Parking

1. Resident and visitor *parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of "Surrey Zoning By-law, 1993, No. 12000", as amended.
2. All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.
3. *Tandem parking* is not permitted.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
3. Garbage containers and *passive recycling containers* shall be located within the *underground parking* or within a *building*.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit*.
2. *Child care centres* shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.
3. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq. ft.] per *dwelling unit*, whichever is greater.

K. Subdivision

1. *Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
4,000 sq.m. [1.0 acre]	40 metres [131 ft.]	60 metres [197 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of "Surrey Zoning By-law, 1993, No. 12000", as amended.

2. Air space parcels and the remainder *lot* created through an air space subdivision in this Zone are not subject to Section K.1.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in "Surrey Zoning By-law, 1993, No. 12000", as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of "Surrey Zoning By-law, 1993, No. 12000", as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of "Surrey Zoning By-law, 1993, No. 12000", as amended and in accordance with the servicing requirements for the RM-135 Zone as set forth in the "Surrey Subdivision and Development By-law, 1986, No. 8830", as amended.
3. General provisions are as set out in Part 4 General Provisions of "Surrey Zoning By-law, 1993, No. 12000", as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of "Surrey Zoning By-law, 1993, No. 12000", as amended.
5. Sign regulations are as set out in "Surrey Sign By-law, 1999, No. 13656", as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of "Surrey Zoning By-law, 1993, No. 12000", as amended.
7. *Building* permits shall be subject to the "Surrey Building Bylaw, 2012, No. 17850", as amended.

8. *Building* permits shall be subject to "Surrey Development Cost Charge Bylaw, 2018, No. 19478", as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-135 Zone in City Centre for the residential portion and the C-8 Zone in the City Centre for the commercial portion.
 9. Tree regulations are set out in "Surrey Tree Protection Bylaw, 2006, No. 16100", as amended.
 10. Development permits may be required in accordance with the "Surrey *Official Community Plan* By-law, 2013, No. 18020", as amended.
 11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
 12. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, c. 267, as amended.
3. This Bylaw shall be cited for all purposes as "Surrey Zoning Bylaw, 1993, No. 12000, Amendment Bylaw, 2019, No. 19717"

PASSED FIRST READING on the _____ day of _____, 20 .

PASSED SECOND READING on the _____ day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ day of _____, 20 .

PASSED THIRD READING on the _____ day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

_____ MAYOR

_____ CLERK

SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW NO. _____ OF LOT 72 SECTION 26 BLOCK 5 NORTH RANGE 2 WEST NEW WESTMINSTER DISTRICT PLAN 39808

CITY OF SURREY BCGS 92G.016

SCALE 1:1000



ALL DISTANCES ARE IN METRES

THE INTENDED PLOT SIZE OF THIS PLAN IS 432 mm IN WIDTH BY 280 mm IN HEIGHT (B SIZE) WHEN PLOTTED AT A SCALE OF 1:1000

THIS PLAN LIES WITHIN INTEGRATED SURVEY AREA NO. 1, SURREY, BC, NAD83 (CSRS) 4.0.0.BC.1.GVRD.

THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT – CITY OF SURREY

BOOK OF REFERENCE

DESCRIPTION	AREA
BLOCK A	4562m ²
BLOCK B	6627 m ²
BLOCK C	5278 m ²
TOTAL ALL BLOCKS	16467 m ²



**H.Y. AND ASSOCIATES
LAND SURVEYING LTD.**

200, 9128 – 152nd STREET
SURREY, B.C.

V3R 4E7
(ph) 604-583-1616

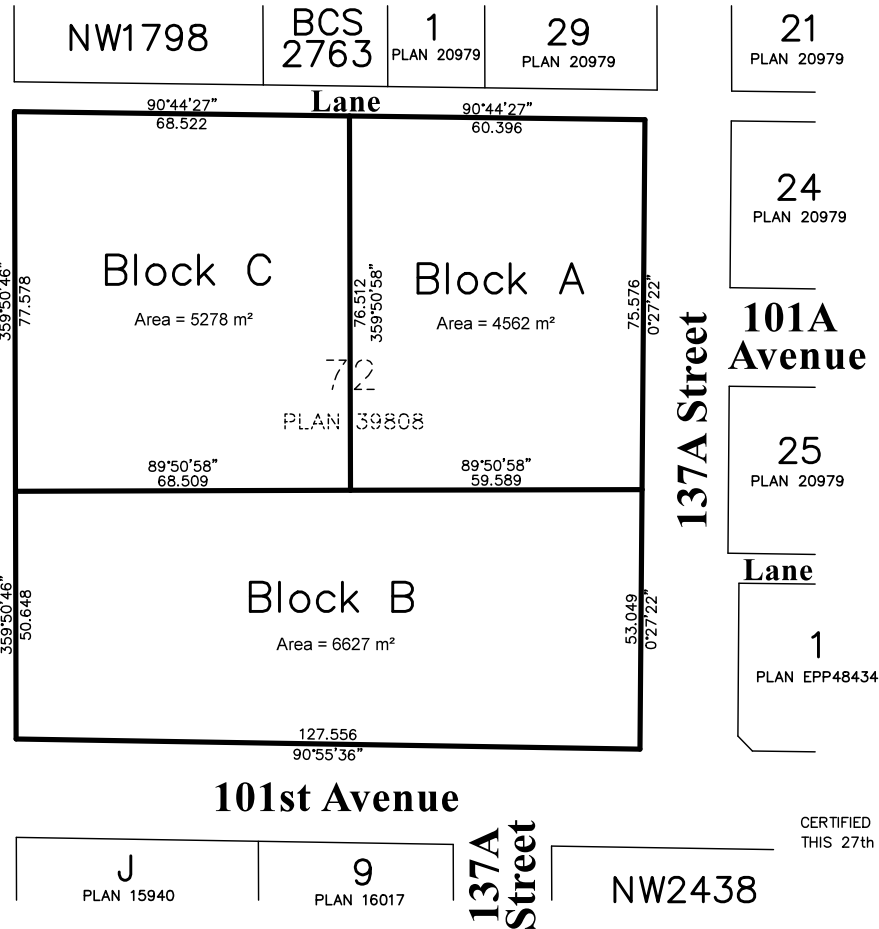
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1
PLAN BCP39750

1
PLAN LMP47258

62
PLAN 34523

B
PLAN 68094



CERTIFIED CORRECT TO SURVEY DATED
THIS 27th DAY OF NOVEMBER, 2019

EUGENE WONG BCLS #718
THIS DOCUMENT IS NOT VALID UNLESS
ORIGINALLY SIGNED AND SEALED