

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7918-0282-00

Planning Report Date: November 19, 2018

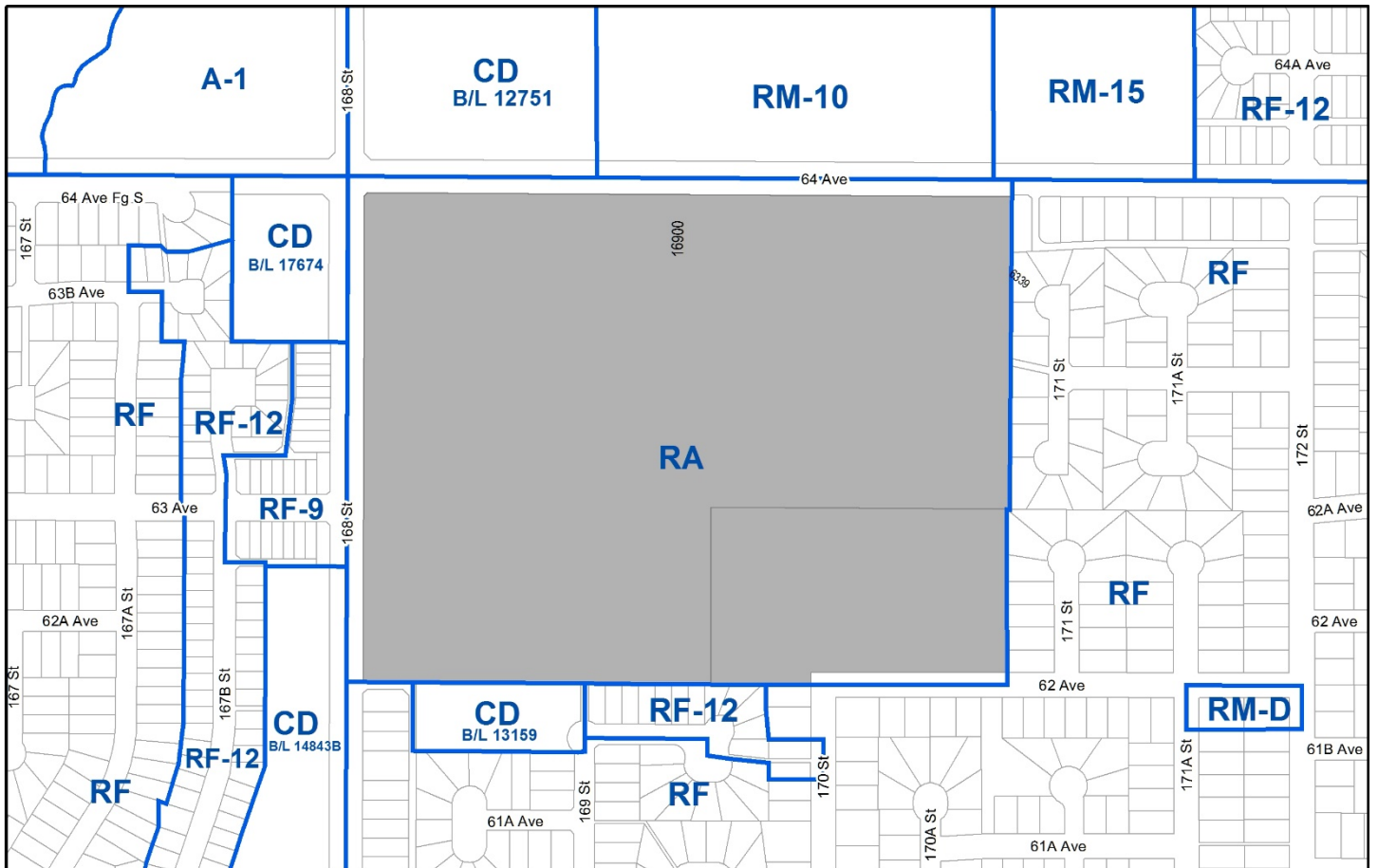
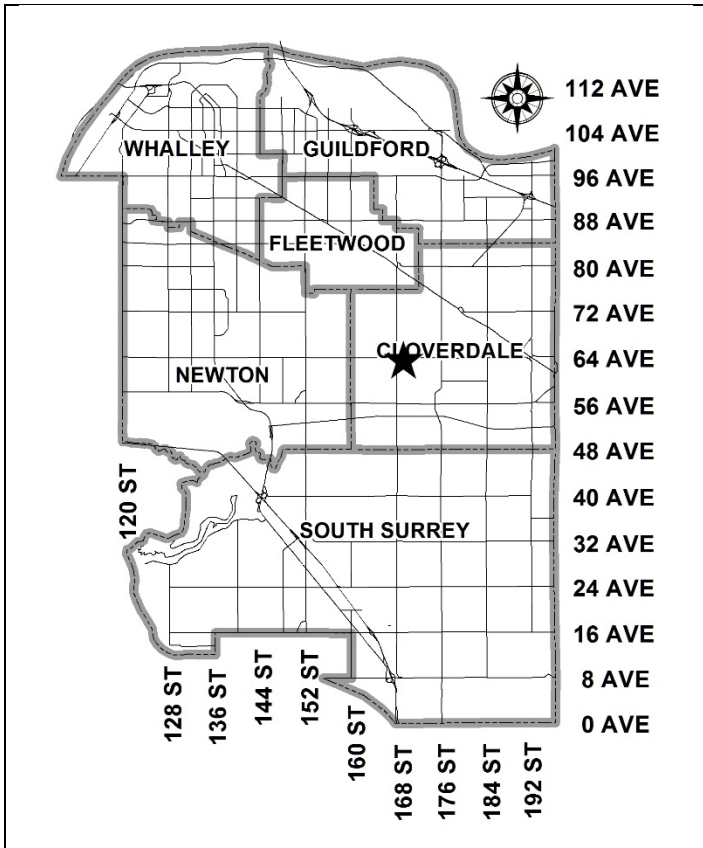
PROPOSAL:

- **Development Permit**
 to permit the development of a two-storey fieldhouse within Cloverdale Athletic Park.

LOCATION: 16900 - 64 Avenue

ZONING: RA

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- Approval and issuance of Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal will facilitate the development of a fieldhouse. The proposed project is a high quality design.
- The proposed building form is appropriate for this part of the Cloverdale Athletic Park and meets the design guidelines in the Official Community Plan (OCP).

RECOMMENDATION

The Planning & Development Department recommends that Council approve Development Permit No. 7918-0282-00 and authorize the Mayor and Clerk to execute the Permit.

NOTE: If the Development Permit as presented, is not acceptable to Council in relation to the character of the development, including landscaping and siting, form, exterior design and finish of the building and other structures, Council may refer the Development Permit back to staff with direction regarding any of these matters.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

Parks, Recreation & Culture: Parks is supportive of the proposed fieldhouse.

SITE CHARACTERISTICS

Existing Land Use: Cloverdale Athletic Park.

Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 64 Avenue):	Low density townhouses.	Urban	CD By-law No. 17751 and RM-10
East:	Cloverdale Athletic Park and single family dwellings.	Urban	RA and RF
South:	Single family dwellings and low density townhouses.	Urban	RF, CD By-law No. 13159 and RF-12
West (Across 168 Street):	Single family dwellings, low density townhouses, and shopping centre.	Small Lots, Townhouses 8 – 15 u.p.a. and Commercial	CD By-law No. 14843B, RF-9 and CD By-law No. 17674

DEVELOPMENT CONSIDERATIONS

- The subject property comprises the Cloverdale Athletic Park and the proposed building and associated parking lot are proposed to be located at the northwest portion of the site at the corner of 64 Avenue and 168 Street in Cloverdale. The site is designated Urban in the Official Community Plan (OCP) and is zoned "One-Acre Residential Zone (RA)".
- Cloverdale Athletic Park is approximately 20 hectares (50 acres) in size and is comprised of tennis, baseball/softball, soccer and other sport fields, playgrounds, as well as two surface parking lots.

- The proposed development will replace the existing cemetery services building which is planned to be relocated to Surrey Centre Cemetery.
- Funding for the proposed building is a three way partnership between the City, the Federal Government and Surrey United Soccer group.

PRE-NOTIFICATION

- A Development Sign was installed on September 18, 2018 and no comments were received.

DESIGN PROPOSAL AND REVIEW

- The proposed field house is a two-storey building. The main floor includes change rooms, washroom facilities and a community room for various community groups. The second floor is primarily for Surrey United Soccer Association with limited City access for meeting spaces. Both floors are approximately 267 square metres (2,873 sq. ft.) in area for a total area of 534 square metres (5,748 sq. ft.). The second floor also includes a 27 square metres (290 sq. ft.) balcony
- The proposed building is red and designed to have an agricultural look but also to reflect the residential character of the surrounding neighbourhood in Cloverdale.
- Glazing is proposed on all four sides of the building on both levels and the second floor includes an east facing balcony that oversees the playing field.
- Cladding materials consist of red corrugated steel, which is long lasting and durable.

Parking and Access

- The applicant is proposing a parking lot to the southwest of the proposed field house. The parking lot consists of a one-way northerly drive aisle with 23 parking spaces at 60 degree angle. Access and egress to the parking lot is from 168 Street to the west.
- Overall, the Cloverdale Athletic Park will have three parking lots, providing a total of 460 stalls serving all the recreational activities in the park. The parking is deemed appropriate based on the anticipated demand to be generated by the various recreational activities in the park.

Landscaping

- Proposed landscaping includes bio-swales and boulders on the west side of the existing concrete path that runs through the site on the east side of the proposed field house. Between the parking lot and bio-swales is a large lawn area.
- A small event plaza is proposed to the south of the fieldhouse. This area will be used as a staging area for sports teams but also allow for event tents and food trucks.
- To the north and west of the fieldhouse is a proposed lawn area with 11 existing and proposed trees to be planted. As a future phase, a playground is contemplated within this area.

- Existing bleachers will be retained to the east of the fieldhouse.

TREES

- Chris Booth, ISA Certified Arborist of City of Surrey prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Apple	1	1	0
Cherry	2	0	2
Oak	3	0	3
Japanese Snowbell	1	0	1
Persian Ironwood	1	0	1
Red Maple	6	0	6
Coniferous Trees			
Cedar	2	0	2
Pine	1	0	1
Spruce	2	0	2
Total (excluding Alder and Cottonwood Trees)	19	1	18
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		17	
Total Retained and Replacement Trees		35	
Contribution to the Green City Fund		nil	

- The Arborist Assessment states that there are a total of 19 protected trees on the site, with no Alder and Cottonwood trees. It was determined that 18 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 2 replacement trees on the site. The applicant is proposing 17 replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of coniferous (Vanderwolf's pyramidal limber pine) and deciduous (Oak, Kentucky Coffeetree, and Ash) species.
- In summary, a total of 35 trees are proposed to be retained or replaced on the site (see Appendix IV) with no contribution to the Green City Fund.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary (Confidential) and Project Data Sheets
- Appendix II. Engineering Summary
- Appendix III. Summary of Tree Survey and Tree Preservation
- Appendix IV. Development Permit No. 7918-0282-00 includes Site Plan, Building Elevations, Landscape Plans and Perspective

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

JKS/cm

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Existing Zoning: RA

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		20 hectares
Road Widening area		
Undevelopable area		
Net Total		20 hectares
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		Less than 1%
Paved & Hard Surfaced Areas		Less than 1%
Total Site Coverage		1%
SETBACKS (in metres)		
Front (West)		23.6 m
Rear (East)		300 m
Side #1 (North)		50.6 m
Side #2 (South)		500 m
BUILDING HEIGHT (in metres/storeys)		
Principal		10.6 m / 2 storeys
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential		
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		569 m ²
TOTAL BUILDING FLOOR AREA		

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)		
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		23
Total Number of Parking Spaces		23
Number of accessible stalls		2
Number of small cars		0
Tandem Parking Spaces: Number / % of Total Number of Units		0
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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INTER-OFFICE MEMO

TO: Manager, Area Planning & Development
- North Surrey Division
Planning and Development Department

FROM: Development Services Manager, Engineering Department

DATE: Nov 08, 2018 **PROJECT FILE:** 7818-0282-00

RE: Engineering Requirements (Park Lot)
Location: 16900 64 Avenue

DEVELOPMENT PERMIT (DP)

There are no engineering requirements relative to issuance of the Development Permit.

BUILDING PERMIT (BP)

The following issues are to be addressed as a condition of issuance of the Building Permit:

Works and Services

- Construct two (2) 4.5m concrete letdowns to 168 Street to allow for the proposed one-way access.
- Relocate the existing water meter within the Cloverdale Athletic Park Pavilion (Acct #:105424) to the south of Fire Hydrant (ID: 10073). The relocation will allow for the metering of all water servicing the site.
- Install a water meter on the east service connection servicing Softball fields 2 through 5 and the water playground.
- Connect to the existing onsite sanitary main servicing the site. A flow analysis is required to be submitted to the City if the new building will produce additional flows into the City system.
- Provide an adequately-sized service connection, complete with inspection chamber, to service the proposed building if not connecting to the existing on-site storm drainage system.
- The applicant is required to confirm that there is no increase in storm run-off from pre to post development conditions.
- Submit a storm water control plan to the satisfaction of Surrey Drainage Engineering to assess the 5 year post development flows (minor system) and 100 year post development flows (major system) within the catchment. The calculations are to confirm downstream capacity to the nearest trunk sewer (>20 ha catchment).
- Provide a water quality/sediment control inlet chamber as a component of the on-site drainage system. Register a restrictive covenant on title for the installation and maintenance.
- Obtain an Erosion & Sediment Control (ESC) Permit, under By-law 2006, No. 16138, from the Engineering Department, prior to issuance of the Building Permit.

A Servicing Agreement is not required as part of the DP or BP. The driveway crossing, sanitary and storm connections can be constructed subject to issuance of a City Road and Right-of-Way Permit obtainable at the Engineering front counter upon payment of securities and permit fees. City crews will do the installation of the water service once payment has been made and a work order has been issued. A processing fee of \$1,580.25 (2018 rate with GST included) is required to administer the storm water review, water flow analysis, sanitary flow analysis, and/or legal document requirements.

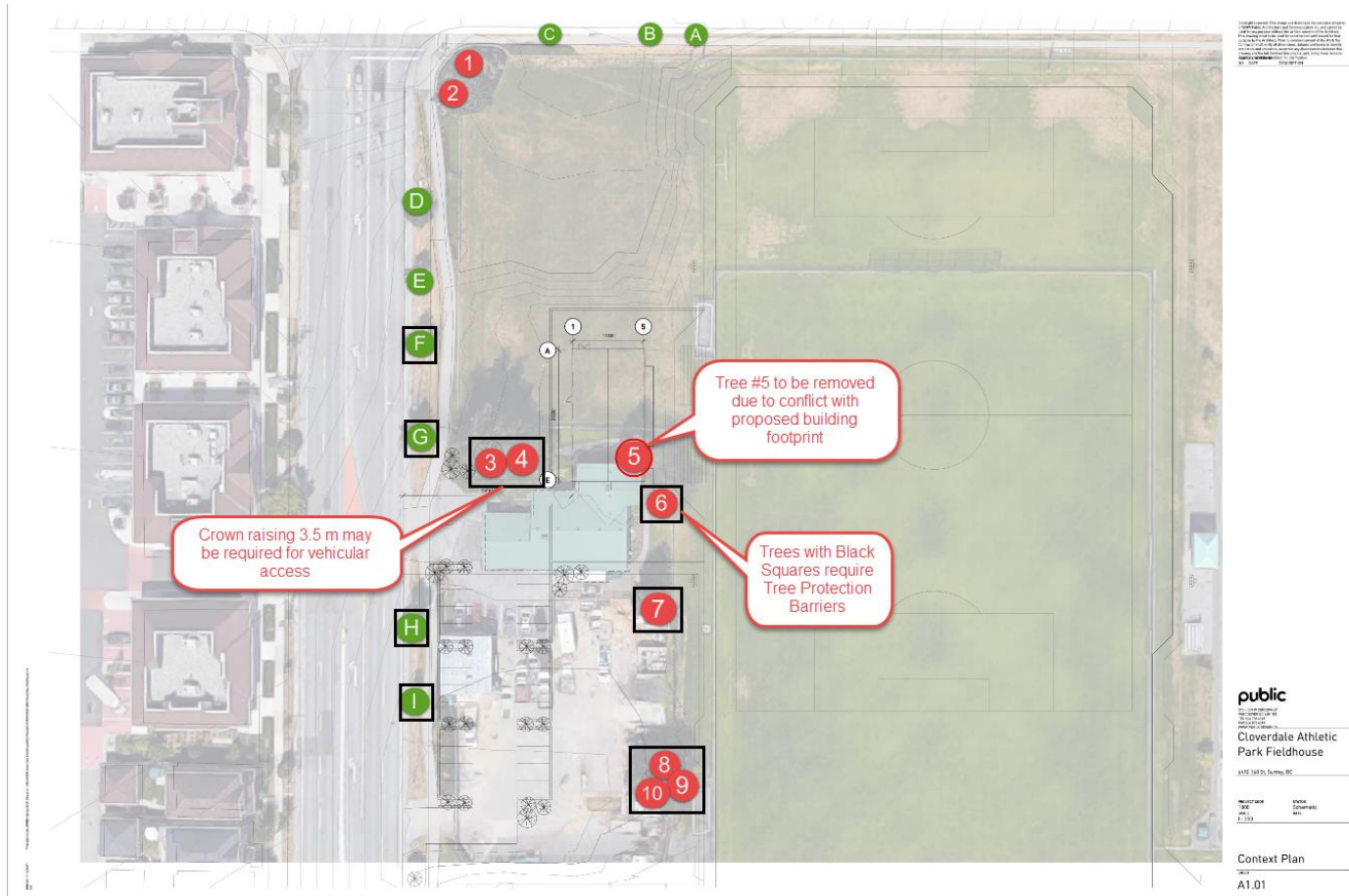


Tommy Buchmann, P.Eng.
Acting Development Services Manager
CE4

Tree locations:

- Ten (10) onsite trees.
- Nine (9) boulevard trees (north and west frontage).

An aerial image from COSMOS showing tree locations is attached as Schedule 'C'.

**Recommendations:**

There is only one on-site tree (**#5**) located within the building footprint of the proposed new building. This tree requires removal due to conflict.

The Boulevard trees **#A to #E** will not require tree protection barriers to be installed as they are far enough away that there should be no impact. All other trees will require tree protection barriers.

Onsite tree **#1** (Deodara) needs to be inventoried in Cityworks and the tree stakes removed

Onsite trees **#3 & #4** may require crown raising to a height of 3.5m to allow for access to the building being demolished and new building to be constructed.

Onsite tree **#4** (Prunus) has a ganoderma conk at the base of the trunk on the north side. The conk appears to be now inactive, presumably from a mechanical lawn mower impact. This tree also has a large lateral over the



Tree # D - Norway Maple



Tree #E - Norway Maple



Tree #F – Red Oak

Tree Inventory Table

City Onsite Trees										
Tree #	Common Name	Botanical Name	DBH (cm)	Height (metres)	Spread (metres)	Overall Condition	Retention Suitability	Comments	Retain / Remove	TPZ
1	Deodara	Deodar	24	6	3	V.Good	V.Good	Not inventoried. Tree stakes still present	Retain	1.5m
2	Maple "Sunset"	Acer truncatum	27	10	7	V.Good	V.Good	CRX is slightly buried,	Retain	1.7m
3	English Oak	Quercus Robur	62	16	7	Good	V.Good	Reduced soil volume with adjacent parking lot	Retain	3.8m
4	Cherry	Prunus Serrulata	67	6	6	Fair	V.Good	Inactive ganoderma conk,	Retain	4.0m
5	Apple tree	Malus	39	13	2	V.Good	V.Good	Conflicts with proposed building footprint	Remove	N/A
6	Cherry	Prunus Serrulata	7	3.5	1	Good	V.Good	Newly planted, aphid present 7%, epicormic growth	Retain	1.2m
7	Norway Spruce	Picea abies	40	15	3	Good	V.Good	Broken top, 3% dieback	Retain	2.5m
8	Cedar	Thuja plicata	42	15	4	Good	V.Good	Retain all three as a group	Retain as group	2.6m
9	Pine	Pinus nigra	52	16	4	Good	V.Good	Retain all three as a group	Retain as group	3.2m
10	Norway Spruce	Picea abies	42	16	3.5	Fair	V.Good	10% dieback, resinous present in trunk	Retain as group	2.6m

City Boulevard Trees										
Tree #	Common Name	Botanical Name	DBH (cm)	Height (metres)	Spread (metres)	Overall Condition	Retention Suitability	Comments	Retain / Remove	TPZ
A	Paperbark Maple	Acer griseum	5.5	3.5	1	Fair	V.Good	Boulevard tree - Slight decline in canopy	Retain	1.2m
B	Styrax	Styrax japonica	7	3.5	1	Good	V.Good	Boulevard tree -	Retain	1.2m
C	Parrotia	Parrotia	6	2	1	Good	V.Good	Boulevard tree -	Retain	1.2m
D	Norway Maple	Acer platanoides	20	11	3	V.Good	V.Good	Boulevard tree -	Retain	1.2m
E	Norway Maple	Acer platanoides	17	11	3	V.Good	V.Good	Boulevard tree -	Retain	1.2m
F	Red Oak	Quercus rubra	17	11	3.5	V.Good	V.Good	Boulevard tree -	Retain	1.2m
G	Norway Maple	Acer platanoides	20	11	2.5	V.Good	V.Good	Boulevard tree -	Retain	1.2m
H	Norway Maple	Acer platanoides	20	10	4	V.Good	V.Good	Boulevard tree -	Retain	1.2m
I	Red Oak	Quercus rubra	5.5	8	1.5	Good	V.Good	Boulevard tree - dieback in crown tip,	Retain	1.2m

(the "City")

DEVELOPMENT PERMIT

NO.: 7918-0282-00

Issued To: CITY OF SURREY

(the "Owner")

Address of Owner: 13450 - 104 Avenue
Surrey, BC V3T 1V8

A. General Provisions

1. This development permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development permit.
2. This development permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 017-134-307
Lot A Section 7 Township 8 New Westminster District Plan NWP88205

16900 - 64 Avenue

(the "Land")

3. This development permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached to and forms part of this development permit.
4. The Land has been designated as a development permit area in Surrey Official Community Plan, 2013, No. 18020, as amended.

B. Form and Character

1. The character of the development including landscaping, siting, form, exterior design and finish of buildings and structures, truck parking specifications, free standing signs, sign design packages and comprehensive sign packages on the Land shall be in accordance with the drawings numbered 7918-0282-00(1) through to and including 7918-0282-00(20) (the "Drawings").

2. Minor changes to the Drawings that do not affect the general form and character of the landscaping, siting, form, exterior design and finish of buildings and structures, truck parking specifications, free standing signs, sign design packages and comprehensive sign details on the Land, may be permitted subject to the approval of the City.

C. Landscaping Installation and Maintenance

1. The landscaping shall be constructed, planted, installed and maintained in good order in accordance with the landscaping plans prepared by Public Architecture, and numbered as 7918-0282-00(11) through to 7918-0282-00(20) (the "Landscaping").
2. For Form and Character development permits, or for that portion of a development permit pertaining to Form and Character, the Landscaping shall be installed and completed within six (6) months after the date of the final inspection of the buildings and structures.
3. For Form and Character development permits, Landscaping shall be maintained for a minimum of twelve (12) months after the date of substantial completion.

D. Administration

1. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development permit.
2. This development permit shall lapse if the Owner does not substantially start any construction with respect to which this development permit is issued within two (2) years after the date this development permit is issued. The terms and conditions of this development permit, and any amendment to it, are binding on any and all persons who acquire an interest in the Land.
3. This development permit is only valid for the development that is described in this development permit. If a change to development is considered, a new development permit or an amendment to this permit is required before any work is started.
4. All reports, documents and drawings referenced in this development permit shall be attached to and form part of this development permit.
5. This development permit is issued subject to compliance by the Owner and the Owner's employees, contractors and agents with all applicable City bylaws, including the Tree Protection Bylaw, Erosion and Sediment Control Bylaw and the Soil Removal and Deposition Bylaw, all as may be amended or replaced from time to time.

6. This development permit is NOT A BUILDING PERMIT.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL/DELEGATED OFFICIAL, THE
DAY OF _____, 20__ .

ISSUED THIS _____ DAY OF _____, 20__ .

Mayor

City Clerk

IN CONSIDERATION OF COUNCIL APPROVAL OF THIS DEVELOPMENT PERMIT AND
OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREE TO
THE TERMS AND CONDITIONS OF THIS DEVELOPMENT PERMIT AND ACKNOWLEDGE
THAT WE HAVE READ AND UNDERSTOOD IT.

Authorized Agent: (Signature)

Name: (Please Print)

Owner: (Signature)

Name: (Please Print)

7918-0282-00(1)

PROPERTY DATA
 CMC ADDRESS 4348 148th St, Surrey BC Canada V5E 5Y1
 PLAN 8820
 PID 017453-07
 LEGAL DESCRIPTION Lot 4 Section 7 Township 8 Plan N48R8205 NWD 20W6E
 ZONING SA

BUILDING CODE SUMMARY

CLAUSE	ITEM	PROPOSED
-	Applicable building code	Part 3, BCBC 2012
-	Street facing	5
-	Building setback (m)	23.0m, 50.4m (7.5m min req'd)
-	Building height (storeys)	2
-	Building height (m)	27.76m (9m max)
-	Building area (gross)	5615 sqm (275 L2 + 276 L1)
3.1.1	Major occupant	Group A, Division 2
3.1.2	Occupied occupant load	100 L1 / 112 L2 (180 aggregate exits)
3.2.1	Construction method	3,2,2,2,5
3.2.2	Construction type	Combustible / noncombustible
3.2.2.5	Sprinklers	Unsprinkled
3.2.2.5.1a)	Fire-resistance rating	Not to be less than 45 minutes
3.2.2.5.2)	Roof fire-resistance rating	Not to be less than 45 minutes
3.2.2.5.3)	Substrate separation	Not to be less than 45 minutes
3.3.1.1)	Egress doorways	1 (1) req'd
3.3.1.1)	Exit	2 (2) req'd
3.3.1.1)	Travel distance to egress	14.0m max (15m max req'd)
3.3.1.1)	Travel distance to exits	29.2m max (30m max req'd)
3.3.1.1)	Exit width (DE occupied)	2.27m aggregate (1.5m req'd)

PROJECT JUSTIFICATION

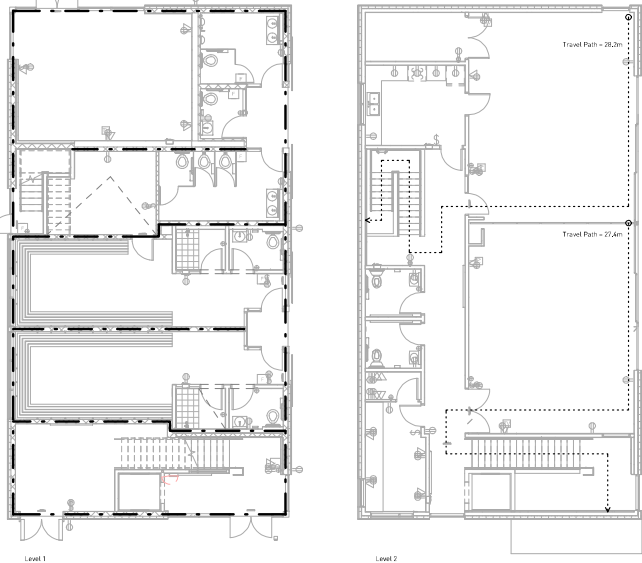
The proposed field house provides the City of Surrey with new changing room facilities, washrooms and a community room on the ground floor, and a meeting room with facilities for Surrey United Soccer on the second floor.

In consultation with CoS Parks Recreation and Culture Department, CoS Planning and Development and Surrey United Soccer, siting and layout of the proposed field house follows the below design rationale:

1. Locate long distances from the athletic field to the field house to allow for natural surveillance by parents of their children who are using washrooms, change rooms and the adjacent athletic facilities.
2. Provide good overlook of the field from the second floor large multi-purpose room - avoid the target light problem.
3. Provide ample parking space on the remaining site for teams waiting to use the field.
4. Locate the Community Room in the northwest corner of the field house for good accessibility from the bus stops and for good visibility from the street intersection.
5. Provide updated universal washroom facilities closer to updated athletic facilities, new fields and tennis courts.
6. Consider Crime Prevention through Environmental Design:
 - a. avoid recessed mirrors or mirrors
 - b. avoid ground level materials that can be easily damaged or vandalized
 - c. provide good sightlines from public spaces and streets to the field house.

FIRE PLANS

----- Egress Path
 ●●●●●●●● Fire Rating - 45 minutes for load-bearing assemblies



PROJECT TEAM

CLIENT
 Tim Neufeld
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 Surrey BC V5E 1W8
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 AES Engineering
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 Vancouver BC V6L 1M7
 T: 604-547-0000
 E: michael@aeseng.com

DRAWING LIST

ARCHITECTURAL SHEETS

A0.0 SERIES - GENERAL
 A0.00 Cover Sheet
 A0.01 Assemblies
 A0.02 Schedules - Legends
 A0.03 Door Schedule - Assemblies

A1.0 SERIES - SITE, DEMO AND COMPLIANCE PLANS
 A1.01 Site Plan

A2.0 SERIES - OVERALL FLOOR PLANS
 A2.01 Floor Plans
 A2.02 Mechanical/MEP Plan

A3.1 SERIES - SLAB PLANS
 A3.11 L1 Slab Plan

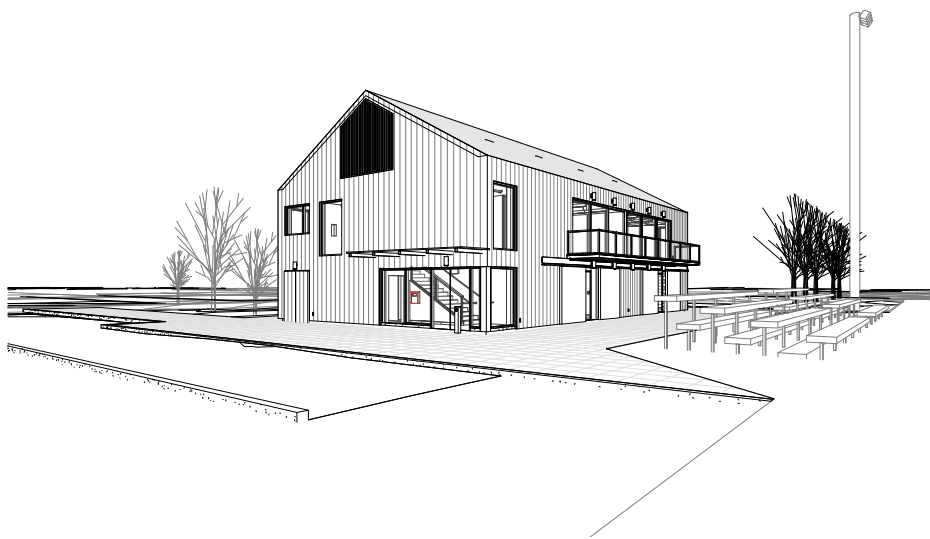
A3.0 SERIES - REFLECTED CEILING PLANS
 A3.01 Reflected Ceiling Plans

A4.0 SERIES - BUILDING ELEVATIONS/SECTIONS
 A4.01 East - West Exterior Elevations
 A4.02 North - South Exterior Elevations
 A4.03 Building Sections

A4.0 SERIES - DETAILS
 A4.01 Plan Details
 A4.02 Section Details

A7.0 SERIES - VERTICAL CIRCULATION
 A7.01 Entry Lobby - Exit Stairs

A8.0 SERIES - INTERIOR ELEVATIONS
 A8.01 L1 Interior Elevations
 A8.02 L2 Interior Elevations
 A8.03 Washroom, Sewer and Kitchen Interior Elevations



CLOVERDALE ATHLETIC PARK FIELD HOUSE

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ISSUES & REVISIONS

NO.	DATE	DESCRIPTION
A	July 10, 2018	Issued for Development Permit
B	Oct 17, 2018	Issued for 50% Easing

public
 445 FRANCES ST.
 VANCOUVER BC V6L 1C1
 TEL: 604-778-4222
 FAX: 604-778-4222
 WWW.P&M.PUBLICARCH.COM

Cloverdale Athletic Park Fieldhouse

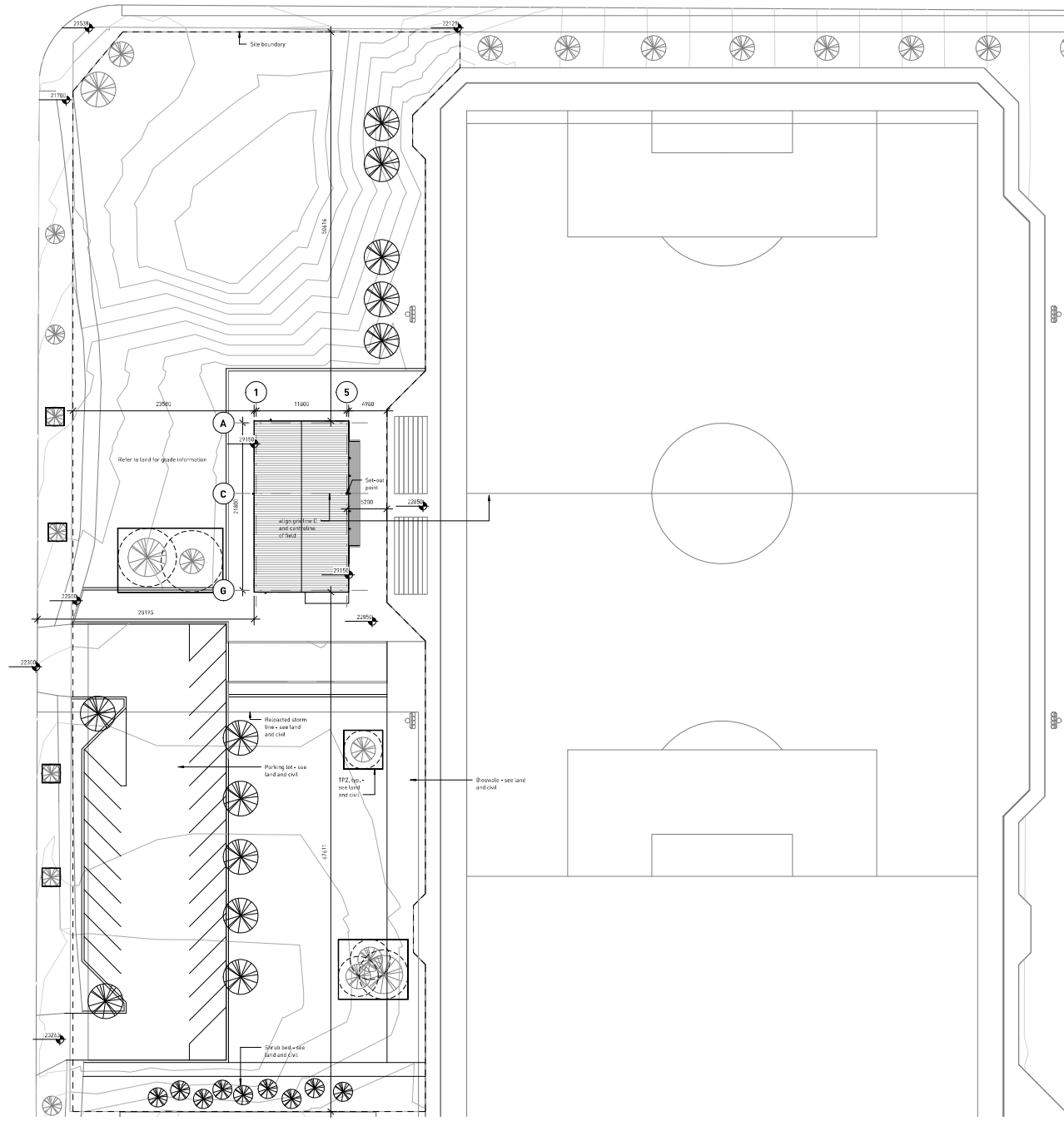
4410 148 St. Surrey, BC

PROJECT CODE 1809
 STATUS Schematic
 SCALE 1:100
 DATE

Cover Sheet
 SHEET A0.00

7918-0282-00(1) 2018-07-10 10:10:10 AM

7918-0282-00(2)



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ISSUE	REVISION	DATE	DESIGN/PROJECT
A	July 18, 2018	Board for Development Permit	
B	Oct 17, 2018	Issued to 50% Easing	

public
 445 FRANCIS ST.
 VANCOUVER, BC V6Y 1T7
 TEL: 604.778.4321
 FAX: 604.778.4322
 WWW.HILLIERKNOWLTON.COM

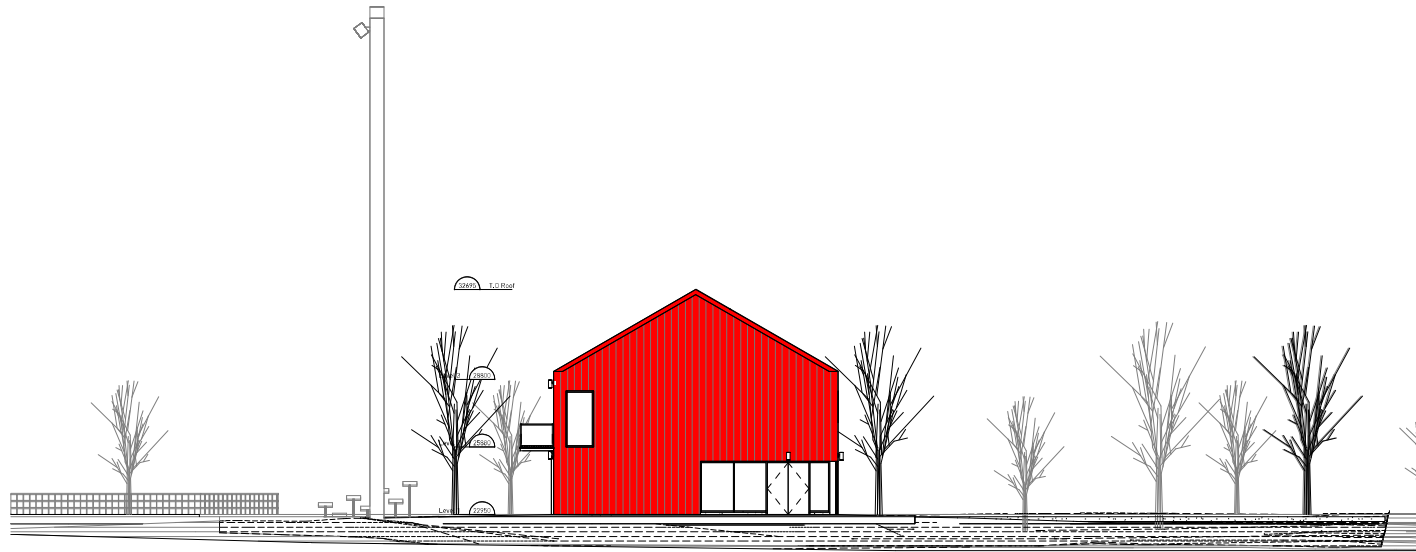
Cloverdale Athletic Park Fieldhouse

4410 168 St. Surrey, BC

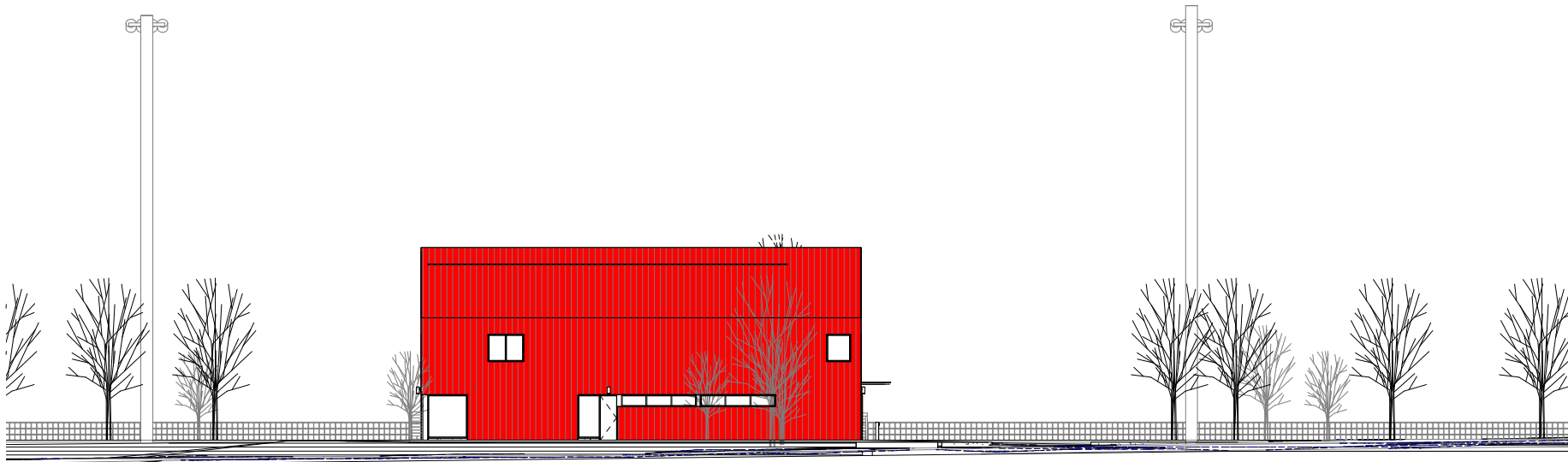
PROJECT CODE	STATUS
1809	Schematic
SCALE	DATE
1:250	

Site Plan
 SHEET
 A1.01

7918-0282-00(3)



1 Site Elevation - North



2 Site Elevation - West

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**Cloverdale Athletic
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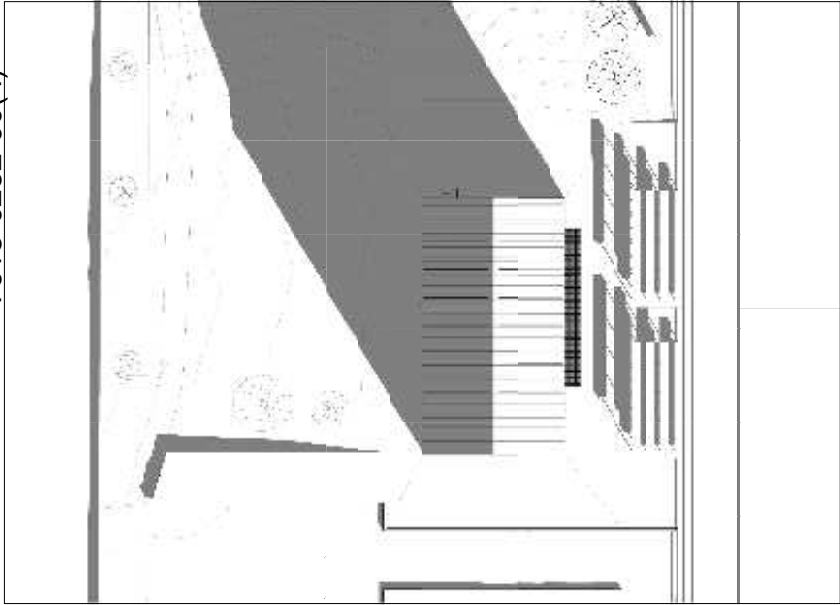
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PROJECT CODE	STATUS
1809	Schematic
SCALE	DATE
1 : 100	

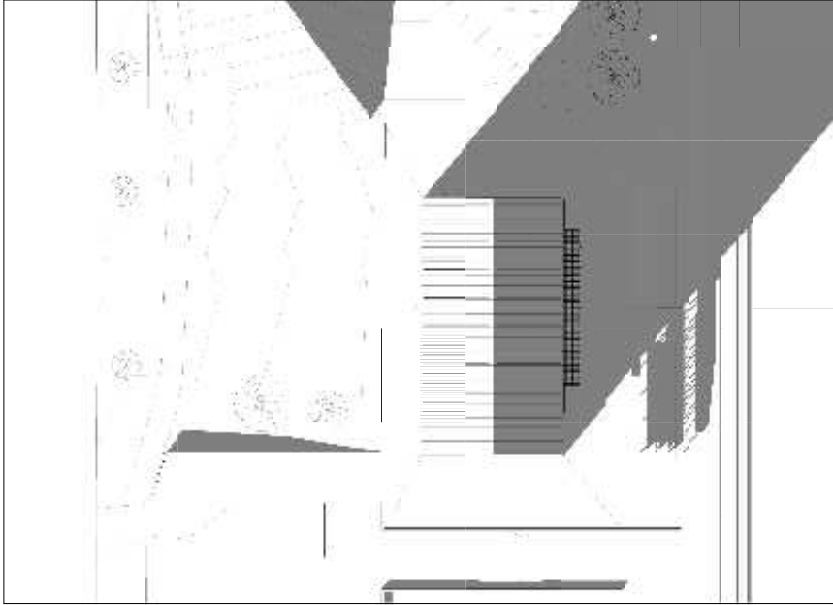
Site Elevations

SHEET

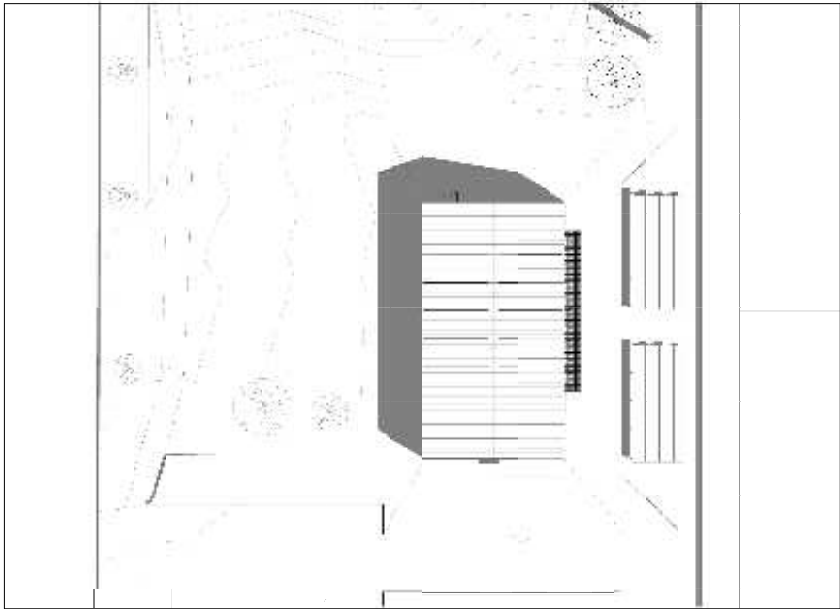
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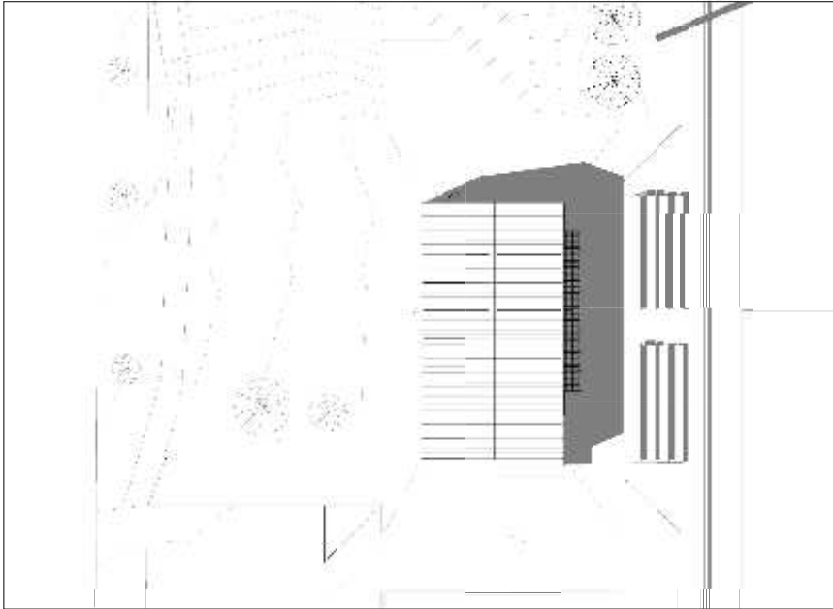
1 Shadow Study - Winter Solstice 10am



2 Shadow Study - Winter Solstice 3pm



3 Shadow Study - Summer Solstice - 10am



4 Shadow Study - Summer Solstice 3pm

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PROJECT CODE	STATUS
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SCALE	DATE
1:200	

Shadow Study

SHEET
A1.04



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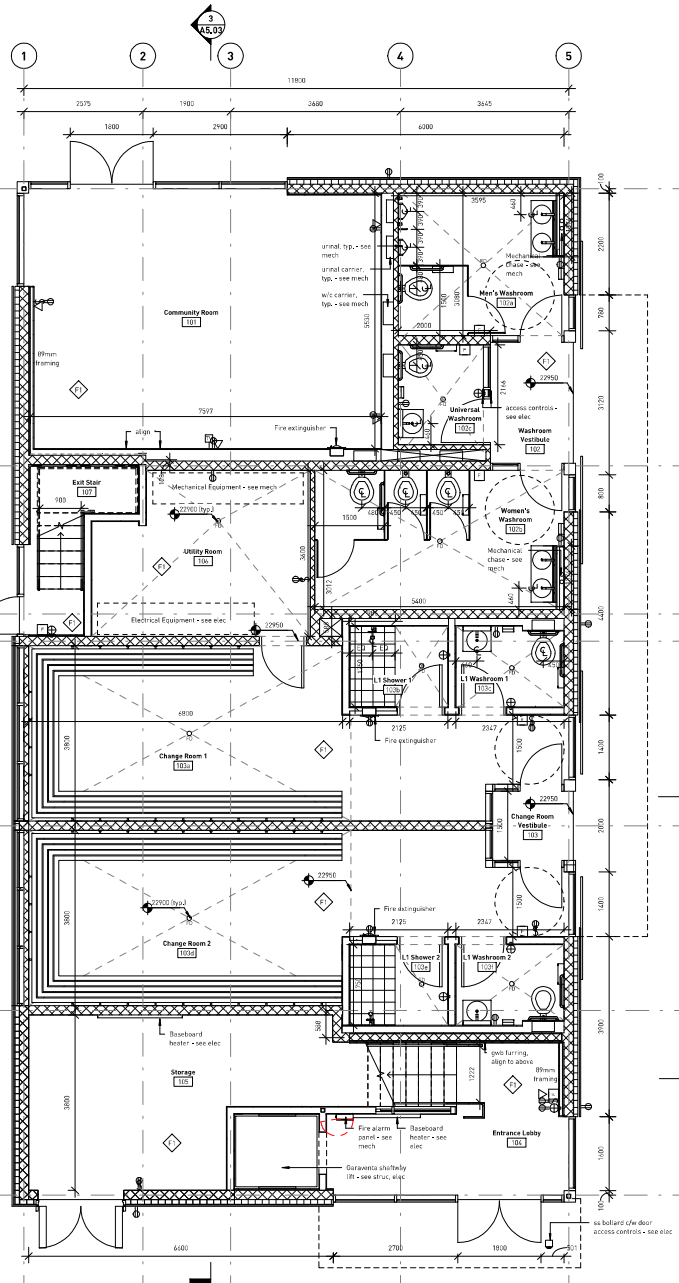
4410 168 St. Surrey, BC

PROJECT CODE	STATUS
1809	Schematic
SCALE	DATE

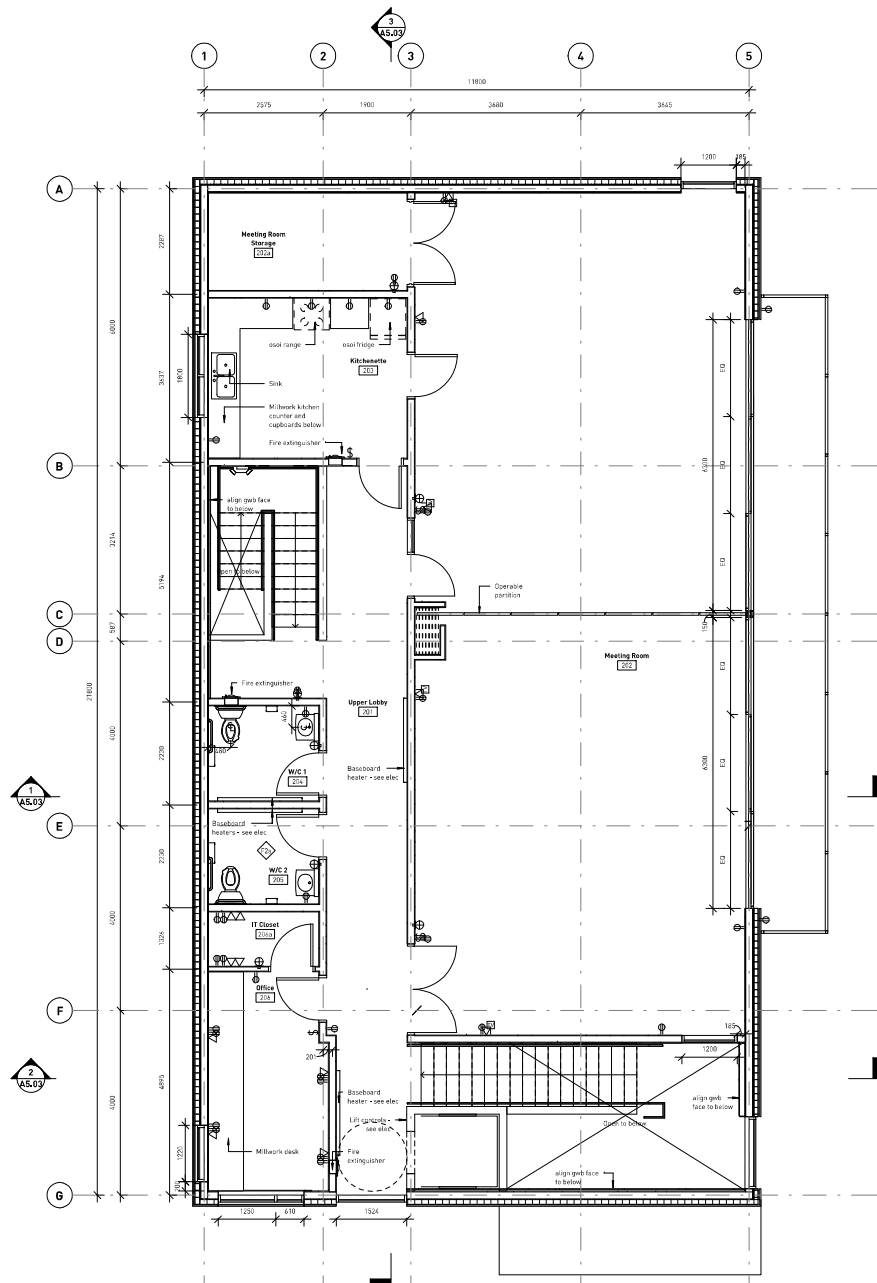
Rendered Perspectives

SHEET
 A1.06

7918-0282-00(7)



1 Level 1 Floor Plan
1:50



2 Level 2 Floor Plan
1:50

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ISSUES - REVISIONS

NO.	DATE	DESCRIPTION
A	July 10, 2018	Issued for Development Permit
B	Oct 17, 2018	Issued for 50% Easing

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STATUS
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DATE

Floor Plans

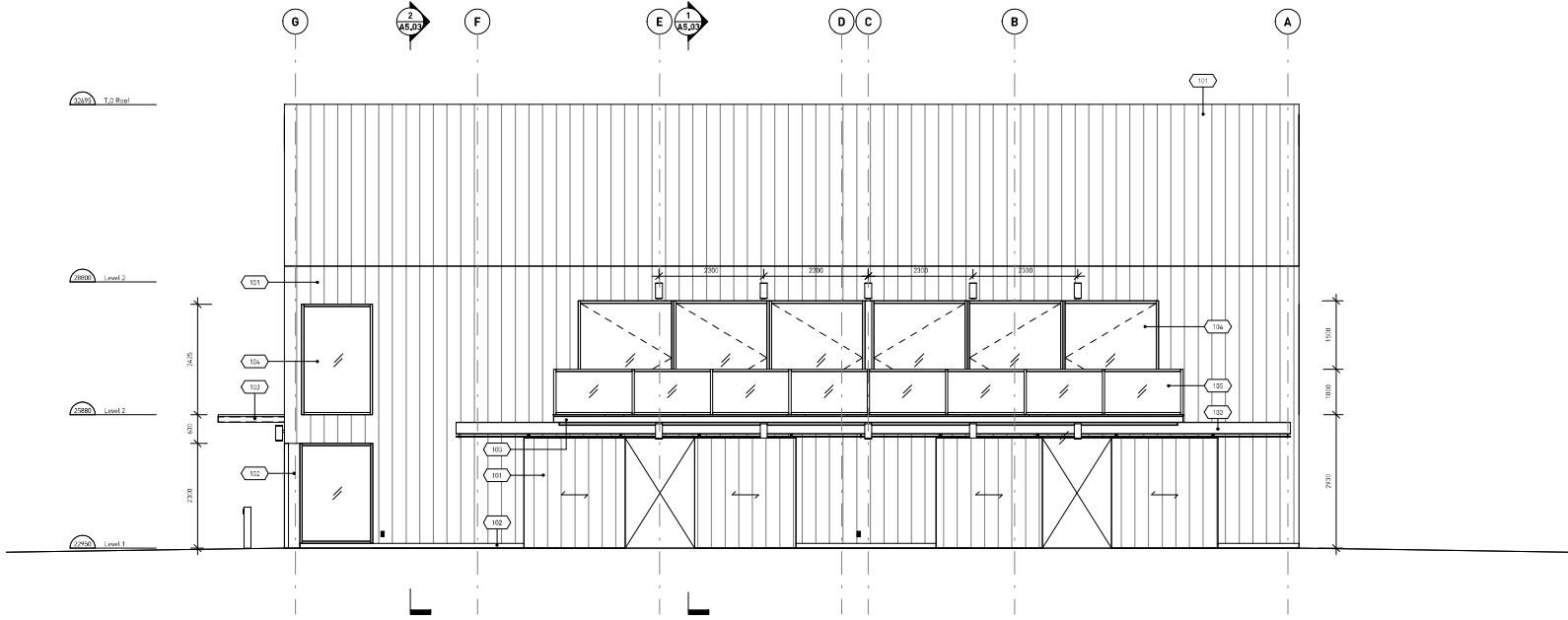
SHEET
A2.01

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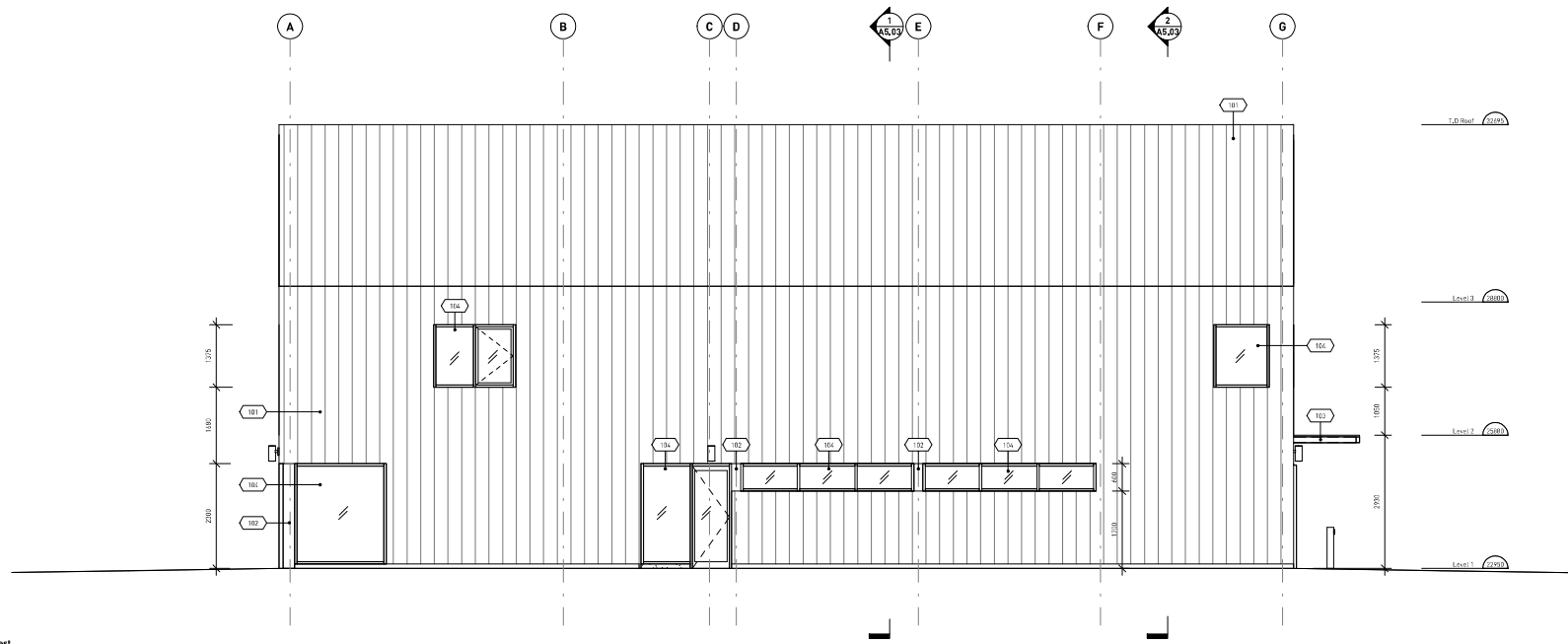
NO.	DATE	DESCRIPTION
A	July 18, 2018	Issued for Development Permit
B	Oct 12, 2018	Issued for 50% Easing

EXTERIOR MATERIAL LEGEND

101	Corrugated steel cladding
102	Polished metal
103	Painted steel
104	Tempered and laminated glass
105	Structural glass
106	Painted mechanical louvers



1 Elevation - East



3 Elevation - West

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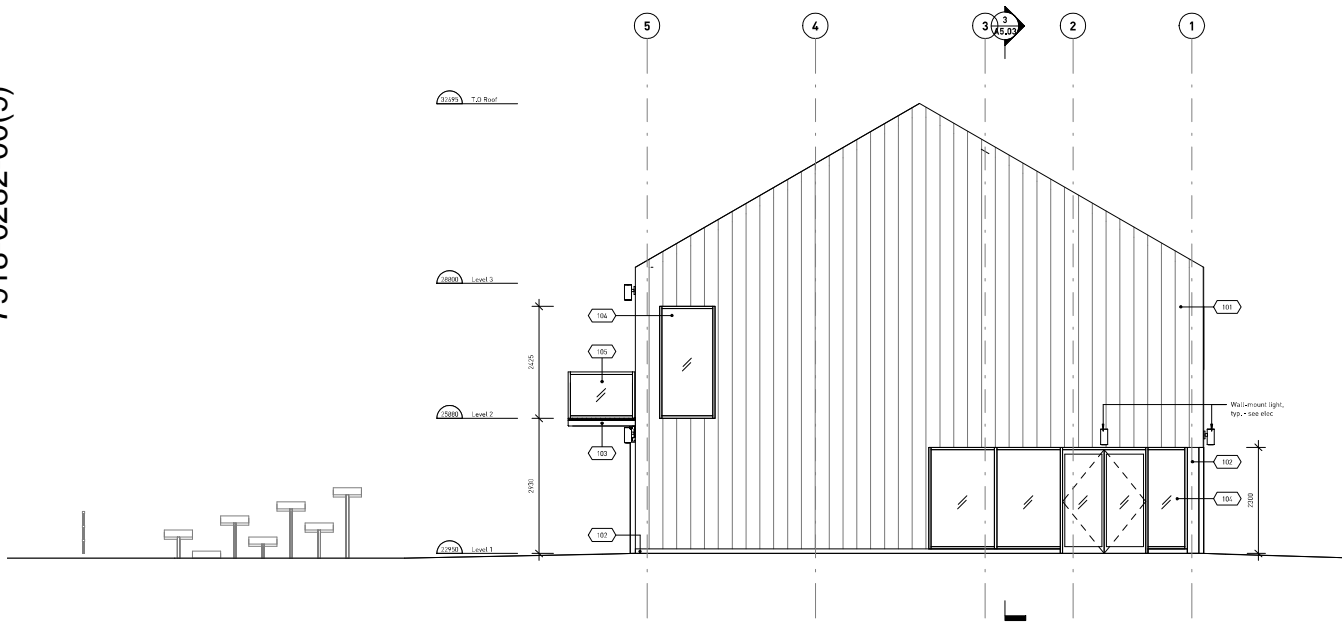
Cloverdale Athletic Park Fieldhouse

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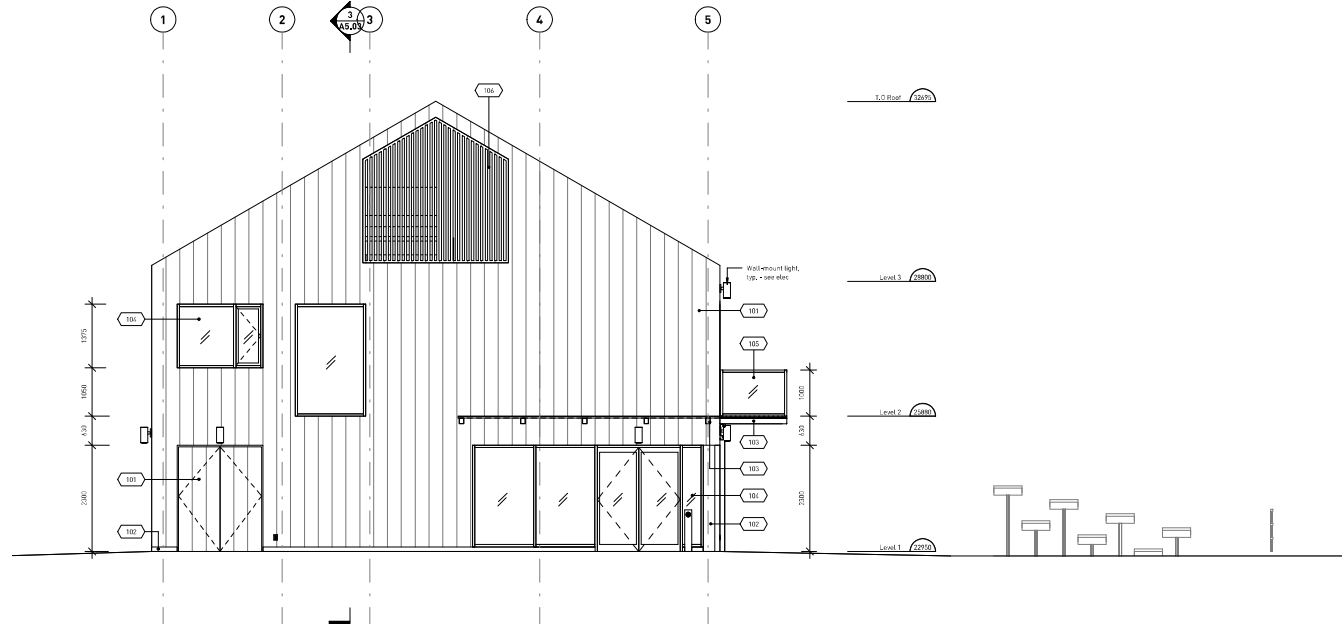
PROJECT CODE	STATUS
1809	Schematic
SCALE	DATE
1:50	

East + West Exterior Elevations

SHEET
 A5.01



1 Elevation - North



2 Elevation - South

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NO.	DATE	DESCRIPTION
A	July 18, 2018	Issued for Development Permit
B	Oct 17, 2018	Issued to 50% Existing

EXTERIOR MATERIAL LEGEND

101	Corrugated steel cladding
102	Pratunished metal
103	Painted steel
104	Tempered and laminated glass
105	Structural glass
106	Painted mechanical covers

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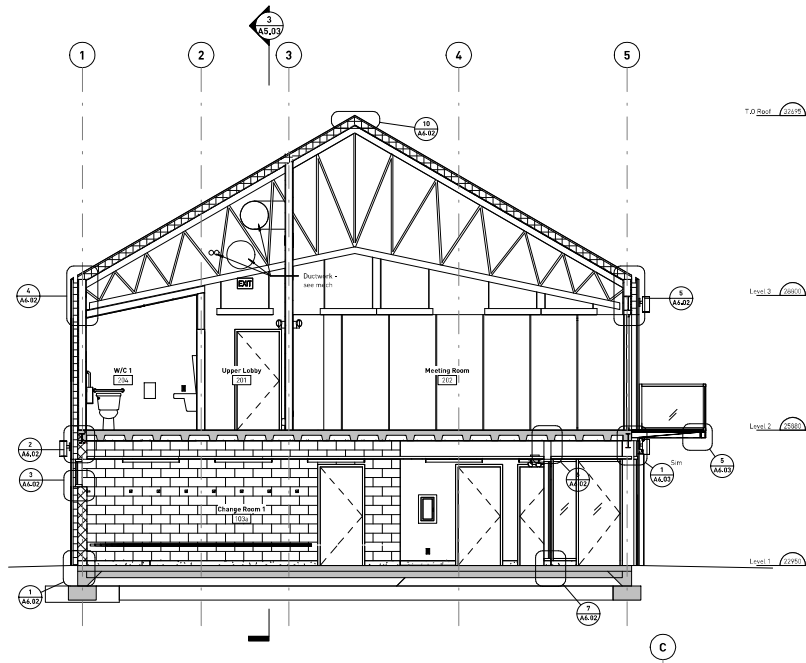
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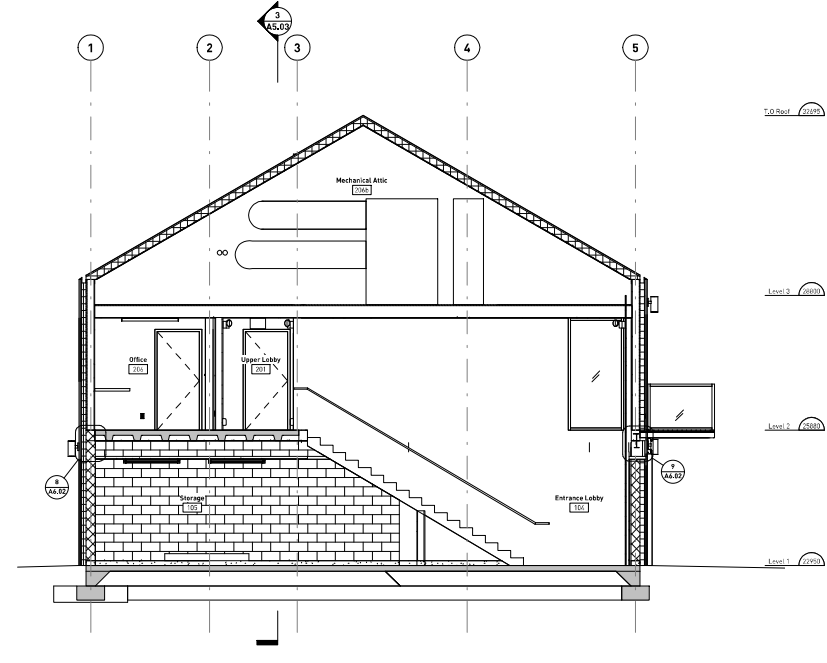
PROJECT CODE	STATUS
1809	Schematic
SCALE	DATE
1:50	

North + South
 Exterior Elevations
 SHEET
 A5.02

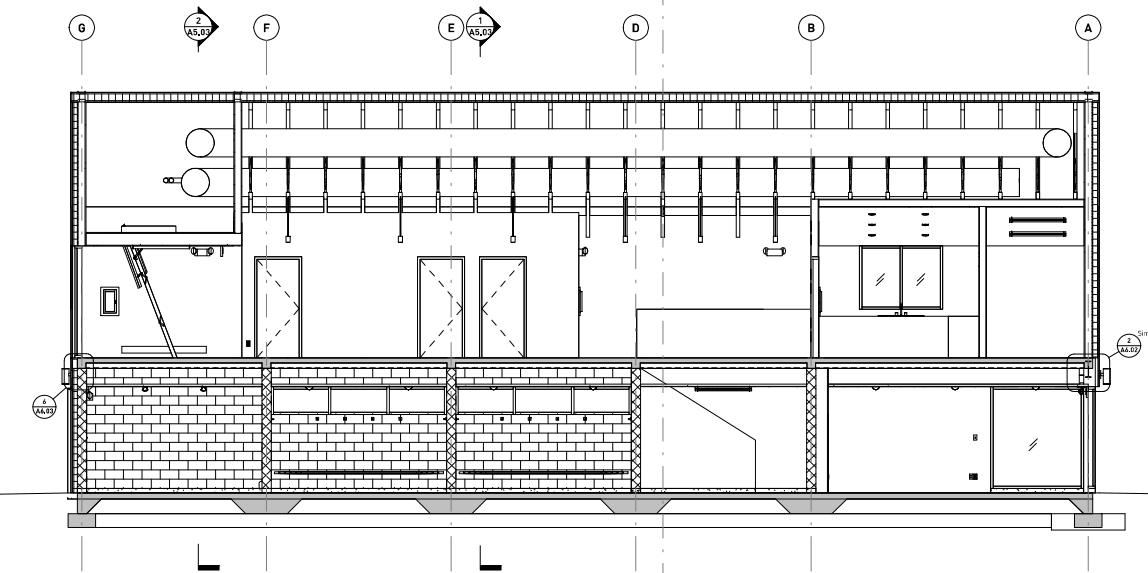
7918-0282-00(10)



1 Section - transverse through change room + meeting room



2 Section - transverse through Entrance Lobby



3 Section - longitudinal section

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**Cloverdale Athletic
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4410 168 St. Surrey, BC

PROJECT CODE 1809	STATUS Schematic
SCALE 1:50	DATE

Building Sections
 SHEET
 A5.03

7918-0282-00(11)

LANDSCAPE NOTES:

- 1. GENERAL
 - 1.1. CONTRACTOR TO ENSURE DRAWINGS AND SPECIFICATIONS HAVE BEEN REVIEWED (COMPLETE) AND THAT SUBCONTRACTORS ARE PROVIDED WITH COMPLETE INFORMATION AT TIME OF BIDDING, MOBILIZATION UPON AWARD, AND DURING SITE CONSTRUCTION.
 - 1.2. CONTRACTOR TO VERIFY ALL UNITS AND QUANTITIES SHOWN.
 - 1.3. CONTRACTOR TO IMMEDIATELY NOTIFY CONTRACT ADMINISTRATOR OF ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING WORK. DO NOT COMMENCE WORK UNTIL DISCREPANCY IS CLARIFIED OR RESOLVED.
 - 1.4. CONTRACTOR TO IMMEDIATELY NOTIFY CONTRACT ADMINISTRATOR OF ANY SCHEDULE DELAYS IMPOSED BY UNFORESEEN ISSUES. SUBMIT WRITTEN NOTICE.
 - 1.5. CONTRACTOR TO PROVIDE A WEEKLY EMAIL SUMMARIZING WORKS COMPLETED IN THE WEEK AND WORKS SCHEDULED FOR THE FOLLOWING WEEK.
 - 1.6. CONTRACTOR TO SUBMIT FIRST DRAINAGE REPORT FOR FORMAL RECORD.
 - 1.7. CONTRACTOR TO SUBMIT REQUESTS FOR REVIEW BY CONSULTANTS MINIMUM 72HRS IN ADVANCE OF REBAR AND FORM WORKS, ELECTRICAL AND CIVIL ENGINEERING RELATED UTILITY TRENCHING, AND GENERAL PREPARATIONS PRIOR TO LARGER CONCRETE POUR.
 - 1.8. CONTRACTOR WILL RESOLVE THE ISSUE FOR CONSTRUCTION DRAWING SET IN DIGITAL PDF FORMAT AT THE TIME OF AWARD. MAINTAIN ONE COPY ON SITE IN CLEAN CONDITION, MAINTAIN REGULAR SITE NOTES AND REDLINES REGARDING SITE CHANGES ON THE COPY. PROVIDE THE REDLINE DRAWING SET AND A MARKED UP PDF SET FOR PROJECT RECORDS AT THE TIME OF SUBSTANTIAL COMPLETION. PROVIDE A SUPPORTING DIGITAL SURVEY OF WORK AS CONSTRUCTED, INCLUDE INVERTS AND FIN ELEVATIONS OF ALL STORM INFRASTRUCTURE.
 - 1.9. INCLUDE A STATUTORY DECLARATION OF PROGRESS PAYMENT AND VCB SUBMITTAL WITH EACH PROGRESS CLAIM. FAILURE TO PROVIDE THESE SUBMITTALS WILL INVAID THE CONTRACT ADMINISTRATOR FROM REVIEWING A CLAIM OR PREPARE A PAYMENT CERTIFICATE.
- 2. SCHEDULE
 - 2.1. COMPLETE WORK FOR CRITICAL SCHEDULE MILESTONES.
- 3. WARRANTY
 - 3.1. THE PROJECT REQUIRES A ONE YEAR WARRANTY ON ALL HARD AND SOFTSCAPE WORK.
 - 3.2. THE WARRANTY PHASE WILL COMMENCE AT THE TIME OF SUBSTANTIAL COMPLETION OF THE TOTAL CONTRACT.
 - 3.3. ESTABLISHMENT MAINTENANCE OF SOFT LANDSCAPES IS TO BE PROVIDED THROUGH SUBSTANTIAL COMPLETION UNTIL THE COMPLETION OF THE ONE YEAR WARRANTY. REFER TO CONTRACT DOCUMENTS AND SPECIFICATIONS.
- 4. PERMITS
 - 4.1. CONTRACTOR TO PROVIDE THE FOLLOWING PERMITS.
 - 4.1.1. XXX
- 5. FIELD LAYOUT AND SURVEY COORDINATION
 - 5.1. SITE LAYOUT TO BE BASED ON TSS (TOTAL STATIONING SURVEY) OR APPROVED ELEM. OPS METHOD TO ENSURE ACCURACY IN LAYOUT.
 - 5.2. SITE LAYOUT AND SURVEY FILES CAN BE PROVIDED TO THE CONTRACTOR IN AUTOCAD FORMAT AT THE TIME OF CONSTRUCTION START-UP.
- 6. SITE MOBILIZATION, STAGING, AND APPROVED
 - 6.1. PROVIDE MOD-44 LOCK FENCE OR APPROVED EQUAL AROUND THE LIMIT OF CONSTRUCTION AND PROTECT THE SITE AT ALL TIMES FROM PUBLIC ACCESS.
 - 6.2. PROVIDE INFORMATION ON INVERTS, SITE STORAGE AND STAGING AREAS) AND HAULING AT CONSTRUCTION START-UP. IF STORAGE OR STAGING AREAS ARE TO BE MOVED BETWEEN DIFFERENT PHASES OF WORK, INFORM OWNER AND CONTRACT ADMINISTRATOR AT CONSTRUCTION START-UP WITH MARKED UP PLANS.
 - 6.3. PROVIDE PROOF OF A BC-ONE (BC-1) CALL AT THE TIME OF CONSTRUCTION START-UP MEETING.
 - 6.4. ENSURE ESC (EROSION AND SEDIMENT CONTROL) MEASURES HAVE BEEN REVIEWED PRIOR TO COMMENCING DEMOLITION OR EXCAVATION WORKS OF THE SITE. AMEND ANY ESC RELATED REQUESTS FROM THE PROJECT ENVIRONMENTAL CONSULTANT IMMEDIATELY. PROVIDE PHOTO PROOF AND EMAIL CONFIRMATION TO THE CONTRACT ADMINISTRATOR AND ENVIRONMENTAL CONSULTANT FOR APPROVAL PRIOR TO COMMENCING WORK. ENSURE TREE PROTECTION FENCING HAS BEEN REVIEWED PRIOR TO COMMENCING WORK.
- 7. SITE CLEANLINESS
 - 7.1. MAINTAIN THE SITE IN A CLEAN AND ORDERLY FASHION AND FOLLOWING BEST PRACTICES WITH CURRENT VCB SAFETY REQUIREMENTS.
 - 7.2. RECYCLE CARBONADO AND WASTE MATERIALS AS PER WASTE MANAGEMENT AND DISPOSAL PROCEDURES DETERMINED UNDER DIVISION 1 OF THE SPECIFICATIONS.
 - 7.3. ENSURE A POWER WASH AND CLEAN-UP HAS BEEN PROVIDED PRIOR TO THE SUBSTANTIAL COMPLETION REVIEW.
 - 7.4. ENSURE CLEAR DRAINS AND SITE ENTRY THROUGH THE ENTIRE COURSE OF CONSTRUCTION.
- 8. 80 HARDSCAPES
 - 8.1. GENERAL REQUIREMENTS
 - 8.1.1. ENSURE THAT HARDSCAPES MEET FLUSH WITH ADJACENT SURFACES UNLESS NOTED OTHERWISE.
 - 8.1.2. PROVIDE MOCKUPS OF HARDSCAPE ELEMENTS AS PER PROJECT SPECIFICATIONS.
 - 8.1.3. MOCKUPS TO INCLUDE A SAMPLE OF JOINT QUALITY, INCLUDING ANY FILLERS OR SEALANTS (I.E. SIKAFLEX) SPECIFIED.
 - 8.1.4. ENSURE JOINT SEALANTS SPECIFIED ARE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
 - 8.1.5. INSTALL FILLERS (I.E. MORTAR, GROUT) OR SEALANTS A MINIMUM 48 HOURS PRIOR TO REVIEW OF SITE MOCKUPS TO ENSURE COLOUR IN PRODUCTS HAS SET TO TRUE FINISH.
 - 8.1.6. ENSURE THAT TRENCHING HAS BEEN REVIEWED AND ACCEPTED PRIOR TO BACKFILLING OF MATERIALS.
 - 8.1.7. PROVIDE COPIES OF ELECTRICAL, TRENCHING REPORTS AND PLUMBING REPORTS PROVIDED BY BUILDING INSPECTION DEPARTMENT TO THE CONTRACT ADMINISTRATOR AND OWNER.
 - 8.1.8. ENSURE BACKFILL MATERIALS ARE AS PER SPECIFICATIONS.
 - 8.1.9. PROVIDE SIEVE TESTS AND AFFILIATED SUBMITTALS OF ALL GRANULARS, SANDS AND BACKFILL MATERIALS FOR APPROVAL PRIOR TO ORDER AND INSTALLATION. REFER TO BACKFILLING OF MATERIALS. WHEN MEETING A NEW HARD SURFACE TO AN EXISTING HARD SURFACE, PROVIDE NOTICE TO THE CONTRACT ADMINISTRATOR OF ANY CONDITIONS WHERE THE JOINT WILL RESULT IN MORE THAN A 6MM DIFFERENTIAL. (I.E. A NEW CONCRETE SIDEWALK IS MEETING AGAINST AN EXISTING ASPHALT SIDEWALK THAT HAS A SMALL DEPRESSION). DO NOT COMMENCE WORK UNTIL THE CONTRACT ADMINISTRATOR HAS CLARIFIED REIFICATION OF THE EXISTING SURFACE IS NEEDED TO AVOID A TRIPPING HAZARD.
 - 8.1.10. CONFIRM SLOPE GRADIENTS HAVE BEEN CHECKED PRIOR TO POURING, LAYING OR INSTALLING ANY HARD SURFACE MATERIALS OVER PREPARED BACKFILL.
 - 8.1.12. REPORT ANY GRADIENTS THAT CONTRADICT BEST CONSTRUCTION PRACTICES IMMEDIATELY TO THE CONTRACT ADMINISTRATOR (I.E. WATER FLOWS TOWARDS A BUILDING OR IS GOING TO PRODUCE IN AN AREA, OR AN AREA OF SURFACE APPEARS FLAT). DO NOT PROCEED UNTIL SLOPES AND BEHNS HAVE BEEN CLARIFIED.
 - 8.1.13. PROVIDE ANY SURVEY SHOTS OR SPOT GRADE CHECKS AS REQUESTED BY CONTRACT ADMINISTRATOR.
 - 8.1.14. REFER TO CIVIL ENGINEERING DRAWINGS AND GEOTECHNICAL REQUIREMENTS.
 - 8.2. CONCRETE PAVING
 - 8.2.1. PROVIDE A MOCKUP AS NOTED ABOVE. REFER TO SPECIFICATIONS FOR FURTHER INFORMATION.
 - 8.2.2. ENSURE CONCRETE PAVING MAINTAINS THE SAME SAW-CUT OR EXPANSION JOINT PATTERNS AS SHOWN IN DESIGN DRAWINGS.
 - 8.2.3. CHALKLINE ALL SAW-CUTS FOR REVIEW PRIOR TO CUTTING.
 - 8.2.4. IN AREAS WITHOUT CUSTOM SAW-CUT OR EXPANSION JOINT PATTERNING, PROVIDE:
 - 8.2.5. EXPANSION JOINTS EVERY 3.0M MAXIMUM ON CENTRE.
 - 8.2.6. SAW-CUT JOINTS EVERY 3.0M MAXIMUM ON CENTRE.
 - 8.2.7. CONFIRM LOCATIONS WITH CONSULTANT PRIOR TO COMMENCING FORMWORK.
- 9. WALLS
 - 9.1. GENERAL REQUIREMENTS
 - 9.1.1. PROVIDE MOCKUP FOR REVIEW OF FORM QUALITY AND FINISH PRIOR TO INSTALLING ADDITIONAL WORK. REFER TO SPECIFICATIONS.
 - 9.1.2. MOCKUPS TO INCLUDE A SAMPLE OF JOINT QUALITY, INCLUDING ANY FILLERS, EPOXIES OR SEALANTS (I.E. SIKAFLEX) SPECIFIED.
 - 9.1.3. ENSURE JOINT EPOXIES AND SEALANTS SPECIFIED ARE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.
 - 9.1.4. MOCKUPS TO INCLUDE ANY GEO-GRID OR SUPPORTING ANCHOR SYSTEM REQUIREMENTS. SUBMIT MATERIAL PRODUCT INFORMATION FOR APPROVAL PRIOR TO COMMENCING WORK-UP.
 - 9.1.5. INSTALL RELIEF (I.E. MORTAR, GROUT) OR SEALANTS A MINIMUM 48 HOURS PRIOR TO REVIEW OF SITE MOCKUPS TO ENSURE COLOUR IN PRODUCTS HAS SET TO TRUE FINISH.
 - 9.1.6. ENSURE REINFORCING HAS BEEN REVIEWED BY CONSULTANT STRUCTURAL ENGINEER.
 - 9.1.7. ENSURE THAT TRENCHING HAS BEEN REVIEWED AND ACCEPTED PRIOR TO BACKFILLING OF MATERIALS.
 - 9.1.8. ENSURE BACKFILL MATERIALS ARE AS PER SPECIFICATIONS.
 - 9.1.8. PROVIDE SIEVE TESTS AND AFFILIATED SUBMITTALS OF ALL SANDS, GRANULARS AND BACKFILL MATERIALS FOR APPROVAL PRIOR TO ORDER AND INSTALLATION.
 - 9.1.10. REPORT ANY ISSUES THAT CONTRADICT BEST CONSTRUCTION PRACTICES IMMEDIATELY TO THE CONTRACT ADMINISTRATOR. DO NOT PROCEED UNTIL DESIGN HAS BEEN CLARIFIED.
 - 9.1.11. PROVIDE ANY SURVEY SHOTS OR SPOT GRADE CHECKS AS REQUESTED BY CONTRACT ADMINISTRATOR. REFER TO CIVIL ENGINEER, STRUCTURAL ENGINEER AND ELECTRICAL ENGINEERS DRAWINGS FOR ADDITIONAL REQUIREMENTS, AS WELL AS GEOTECHNICAL REPORT. REPORT DISCREPANCIES IMMEDIATELY TO CONTRACT ADMINISTRATOR.
 - 9.1.13. REFER TO SPECIFICATIONS FOR FURTHER INFORMATION.
 - 9.2. CURB, CONCRETE WALLS
 - 9.2.1. PROVIDE A MOCKUP. REFER TO SPECIFICATIONS.
 - 9.2.2. WALLS TO RECEIVE A 25MM ROUNDED BEVEL, FINISH UNLESS NOTED OTHERWISE.
 - 9.2.3. CHALKLINE ALL SAW-CUTS FOR REVIEW PRIOR TO CUTTING.
 - 9.2.4. IN AREAS WITHOUT CUSTOM SAW-CUT OR EXPANSION JOINT PATTERNING, PROVIDE:
 - 9.2.4.1. EXPANSION JOINTS EVERY 3.0M MAXIMUM ON CENTRE.
 - 9.2.4.2. SAW-CUT JOINTS EVERY 3.0M MAXIMUM ON CENTRE.
 - 9.2.4.3. CONFIRMATION OF LOCATIONS WITH CONSULTANT PRIOR TO COMMENCING FORMWORK.
 - 9.2.5. ENSURE A MINIMUM 40MM CONCRETE BETWEEN SAW-CUT AND REBAR INKED THE CONCRETE FORM.
 - 9.2.6. PROVIDE A MINIMUM 75MM (3") COVER OF CONCRETE OVER ALL CONCRETE REINFORCING, WITH THE EXCEPTION OF CONTROL JOINTS NOTED ABOVE.
 - 9.2.7. ALL VERTICAL CONCRETE TO RECEIVE A LIGHT SANDBLAST FINISH UNLESS NOTED OTHERWISE.
 - 9.2.8. REFER TO SPECIFICATIONS FOR FURTHER INFORMATION.
 - 9.2.9. CONCRETE THAT IS REINFORCED MUST BE REVIEWED PRIOR TO POURING.
 - 9.3. SEGMENTED CONCRETE WALLS
 - 9.3.1. PROVIDE A MOCKUP. REFER TO SPECIFICATIONS.
 - 9.3.2. PROVIDE SUBMITTALS AS PER SPECIFICATIONS.
 - 9.3.3. CONFIRM PRODUCT COLOUR AND FINISH PRIOR TO PREPARING MOCKUP.
 - 9.3.4. DESIGN THE SUPPORT. ENSURE PRODUCT IS REVIEWED PRIOR TO ORDER. CONFIRM SIZE AND DEPTH OF MATERIAL. INSTALL AS PER MANUFACTURERS SPECIFICATIONS. IMMEDIATELY CONTACT CONTRACT ADMINISTRATOR IF BACKFILL, DEPTH OR MATERIAL SHOWN IN MANUFACTURERS SPECIFICATIONS CONTRADICTS REQUIREMENTS SHOWN IN CONSULTANT'S DRAWINGS OR GEOTECHNICAL REPORT. REBAR SUPPORT. ENSURE REBAR IS REVIEWED BY CONSULTANT PRIOR TO MORTAR SANDING OR ALTERNATE FORM OF CONCALMENT.
 - 9.3.6. WALL CAPS MITRE CORNERS. ENSURE CLEAN POINTED EDGES.
 - 9.3.7. REFER TO SPECIFICATIONS FOR FURTHER INFORMATION.
- 10. METALS
 - 10.1. SUBMIT SHOP DRAWINGS FOR METAL WORKS (I.E. FENCES, ATTACHMENT PLATES, SKAT DETERRENTERS), REFER TO SPECIFICATIONS.
 - 10.2. TREAT METAL WORK FOR PROTECTION FROM CORROSION AND ABRASION. STEEL TO BE GALVANIZED OR STAINLESS. ALUMINIUM TO BE ANODIZED. THIS APPLIES TO FASTENERS.
 - 10.3. ENSURE ANCHOR PLATES AND AFFILIATED FASTENER JOINING MATERIALS MEET FLUSH BETWEEN JOINING SURFACES WITHOUT GAPS UNLESS OTHERWISE SPECIFIED.
 - 10.4. COMPLETE METAL BONDING (I.E. WELDING, SOLDERING) SUCH THAT WORK IS TREATED FOR PROTECTION AND WILL NOT CORRODE.
 - 10.5. CONCEAL BONDING WORK IN THE FINISHING OF THE METAL WORK.
 - 10.6. ENSURE SMOOTH FINISH WITH SANDING OR OTHER APPLICABLE HANDWORK NEEDED TO PROVIDE SMOOTH AND CONSISTENT APPEARANCE.
 - 10.7. INSTALL A GROUNDING ROD FOR ALL VERTICAL METAL ELEMENTS TALLER THAN 1800MM IN HEIGHT.
 - 10.8. ENSURE SHOP DRAWINGS WITH POCKETS OR RAILINGS COMPLY WITH BC BUILDING CODE REQUIREMENTS (I.E. RAILING HEIGHT, POKET SANDING).
 - 10.9. POWDERCOAT APPLICATIONS: ENSURE METAL IS PRETREATED (I.E. GALVANIZED) OR ALTERNATE PROTECTION PROCESS PRIOR TO POWDER COATING. CONFIRM VIB SHOP DRAWING.
 - 10.10. REFER TO PROJECT SPECIFICATIONS FOR FURTHER INFORMATION.
- 11. WOOD
 - 11.1. SUBMIT SHOP DRAWINGS FOR WOOD WORKS (I.E. BENCHES AND DECKING). REFER TO SPECIFICATIONS.
 - 11.2. SUBMIT ONE (1) SAMPLE OF THE WOOD TYPE SPECIFIED FOR THE PROJECT FOR CONFIRMATION OF COLOUR AND FINISH PRIOR TO FABRICATION AND INSTALLATION.
 - 11.3. ENSURE WOOD DOES NOT CRACK OR SP INTERFERE WITH FASTENER CONNECTIONS. PRE-DRILL AND COUNTERSINK AS NEEDED TO PROVIDE SMOOTH CONNECTIONS, UNLESS SPECIFIED OTHERWISE.
 - 11.4. ENSURE WOOD IS FREE OF SPLINTERS, SILVERS, AND INCONSISTENCIES.
 - 11.5. ENSURE WOOD IS FREE OF DEFECTS THAT COULD IMPACT STRUCTURAL INTEGRITY.
 - 11.6. ENSURE WOOD HAS NO EXPOSED SHARP EDGES. SAND SMOOTH UNLESS SPECIFIED OTHERWISE.

- 11.7. TREAT CUTS WITH SPECIFIED WOOD PRESERVATIVE SOLUTION OR APPROVED ALTERNATE.
- 11.8. REFER TO SPECIFICATIONS FOR FURTHER INFORMATION.
- 12. EDGES
 - 12.1. SUBMIT SHOP DRAWINGS FOR REVIEW OF ALL SPECIFIED EDGER PRODUCTS. INCLUDE INSTALLATION GUIDES WHEN AVAILABLE BY MANUFACTURER.
- 13. DRAINAGE
 - 13.1. SUBMIT SHOP DRAWINGS FOR REVIEW OF ALL SPECIFIED DRAINAGE FEATURES. THIS APPLIES TO PRE-FABRICATED PRODUCTS AND CUSTOM DETAILS. INCLUDE INSTALLATION GUIDES WHEN AVAILABLE BY MANUFACTURER.
- 14. LANDSCAPE LIGHTING
 - 14.1. SUBMIT SHOP DRAWINGS FOR REVIEW OF ALL SPECIFIED LIGHTING. THIS APPLIES TO PRE-FABRICATED PRODUCTS AND CUSTOM DETAILS. INCLUDE COLOUR AND FINISH INFORMATION WITH DRAWINGS, INCLUDING INFORMATION ON ALL FASTENERS. INCLUDE INSTALLATION GUIDES WHEN AVAILABLE BY MANUFACTURER.
- 15. SITE FURNISHINGS
 - 15.1. SUBMIT SHOP DRAWINGS FOR REVIEW OF ALL SPECIFIED SITE FURNISHINGS. THIS APPLIES TO PRE-FABRICATED PRODUCTS AND CUSTOM DETAILS. INCLUDE COLOUR AND FINISH INFORMATION WITH DRAWINGS, INCLUDING INFORMATION ON ALL FASTENERS. INCLUDE INSTALLATION GUIDES WHEN AVAILABLE BY MANUFACTURER.
- 16. SOFT LANDSCAPES
 - 16.1. SOFT LANDSCAPE SUPPLY, SUBMITTALS, PREPARATION AND EXECUTION TO COMPLY WITH CANADIAN LANDSCAPE STANDARD (BRITISH COLUMBIA). FULL DOCUMENT APPLIES.
 - 16.2. ENSURE CONTRACTOR INSTALLING SOFT LANDSCAPES HAS A CURRENT COPY OF THE CANADIAN LANDSCAPE STANDARD (BRITISH COLUMBIA) PRESENT ON SITE.
 - 16.3. SUBMIT REQUEST FOR REVIEW BY CONSULTANT OF SITE SOFT LANDSCAPE FINE GRADING PRIOR TO INSTALLATION OF SOIL OR SEED.
 - 16.4. PLANTS AND TREES
 - 16.4.1. PROVIDE CONSULTANT WITH OPPORTUNITY TO REVIEW PLANT STOCK AT NURSERY PRIOR TO SHIPMENT TO SITE. CONSULTANT RESERVES RIGHT TO REJECT STOCK ON SITE WHEN INCONSISTENT FROM NURSERY SAMPLE STOCK. PROVIDE CONSULTANT OPPORTUNITY TO REVIEW TREES AT NURSERY AND TAG PREFERRED TREE STOCK FOR THE PROJECT THAT COMPLIES WITH DRAWING REQ. SPECIES, AND FORM. ONE (1) WEEK NOTICE IS REQUIRED FOR NURSERY REVIEW.
 - 16.4.2. GROWING MEDIUM TO BE LEVEL 2 GROOMED, 2" AS PER CHART 74.3.3.1 IN CHAPTER 6 OF THE CANADIAN LANDSCAPE STANDARD (BRITISH COLUMBIA). GROWING MEDIUM DEPTHS AS PER CONSTRUCTION DETAILS.
 - 16.4.3. SUBMIT GROWING MEDIUM REPORT FOR REVIEW PRIOR TO ORDER OR INSTALLATION. REPORT TO MATCH TABLE 6.2.3.3 PROPERTIES OF GROWING MEDIA FOR LEVEL 2 GROOMED AREAS. ADDITIONAL GROWING MEDIUM REPORT REQUIREMENTS ARE PROVIDED IN PROJECT SPECIFICATIONS.
 - 16.5. MULCH
 - 16.5.1. TO BE COMPOSTED BARK, BROWN (NOT RED) IN COLOUR.
 - 16.5.2. MULCH TO BE COMPLIANT WITH CANADIAN LANDSCAPE STANDARD, PAGE 132, TABLE F-10.1.
 - 16.5.3. A ONE (1) LITRE MULCH SUBMITTAL IS REQUIRED FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION.
 - 16.5.4. DEPTH OF MULCH TO BE 75MM AFTER SETTLEMENT WITH COMPLETE COVERAGE.
 - 16.5.5. PROVIDE MULCH RING OF 1.2M DIAMETER AND COMPLIANT WITH BC LANDSCAPE STANDARDS FOR EACH NEW TREE.
 - 16.5.6. PROVIDE CONTIGUOUS MULCH FOR SHRUBS AND GROUNDCOVER BEDS SO THAT PLANTS HAVE 100% COMPLETE COVERAGE OF ROOT ZONES. COMPLETE FROM PLANT TO PLANT.
 - 16.5.7. DO NOT BURY PLANTS WITH MULCH. KEEP MULCH AWAY FROM SHRUB STEMS AND TREE TRUNKS.
 - 16.6. LIVING
 - 16.6.1. SUBMIT SEED CERTIFICATES AND SOO REPORT FOR REVIEW PRIOR TO PURCHASE. ALL SOO TO BE CHAPER BEETLE RESISTANT LAVIN MIX UNLESS SPECIFIED OTHERWISE. ENSURE SOO AND SEED ARE NO. 1 TURFGRASS AND NO. 1 CANADIAN SEED AS PER CANADIAN LANDSCAPE STANDARD (BRITISH COLUMBIA). SOO TO BE NON-NETTED.
 - 16.6.2. GROWING MEDIUM TO BE LEVEL 2 GROOMED, 2" AS PER CHART 74.3.3.1 IN CHAPTER 6 OF THE CANADIAN LANDSCAPE STANDARD (BRITISH COLUMBIA). MINIMUM 150MM DEPTH REQUIRED FOR INSTALLATION UNLESS NOTED OTHERWISE.
 - 16.6.4. SUBMIT GROWING MEDIUM REPORT FOR REVIEW PRIOR TO ORDER OR INSTALLATION. REPORT TO MATCH TABLE 6.2.3.3 PROPERTIES OF GROWING MEDIA FOR LEVEL 2 GROOMED AREAS. ADDITIONAL GROWING MEDIUM REPORT REQUIREMENTS ARE PROVIDED IN PROJECT SPECIFICATIONS.
 - 16.6.5. ENSURE AREAS AT EDGE OF LIMIT OF CONSTRUCTION ARE APPROPRIATELY BLENDED TO MEET EXISTING UNDISTURBED LAWN. PROVIDE A MINIMUM 50MM IMPORTED GROWING MEDIUM TO BLEND PROPERLY. PROVIDE ADDITIONAL GROWING MEDIUM AS NEEDED.
 - 16.6.6. COMPLETE ESTABLISHMENT (MINIMUM TWO CUTS) REQUIRED AS PER CANADIAN LANDSCAPE STANDARD (BRITISH COLUMBIA).
 - 16.7. THE CONSULTANT MAY REQUEST, AT THE CONTRACTORS EXPENSE, UP TO TWO TESTS OF GROWING MEDIUM IF SUSPECTED INCONSISTENCIES APPEAR. TESTS SAMPLES WILL BE SUBMITTED TO PACIFIC SOIL ANALYSIS INC. IN RICHMOND BC, SUITE 5 11720 VOUGAUEY WAY, RICHMOND, BC, V6X 3G9.
 - 16.8. ESTABLISHMENT MAINTENANCE AND WATERING REFER TO SECTION 3.0 OF THESE LANDSCAPE NOTES. REFER TO EXTERIOR MAINTENANCE SPECIFICATION.
 - 16.9. WARRANTY: REFER TO SECTION 3.0 OF THESE LANDSCAPE NOTES.
 - 16.10. REFER TO SPECIFICATIONS AND DRAWINGS FOR ADDITIONAL INFORMATION.

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1	May 16/18	Schematic Design
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4	Nov 13/18	90% Detail Design



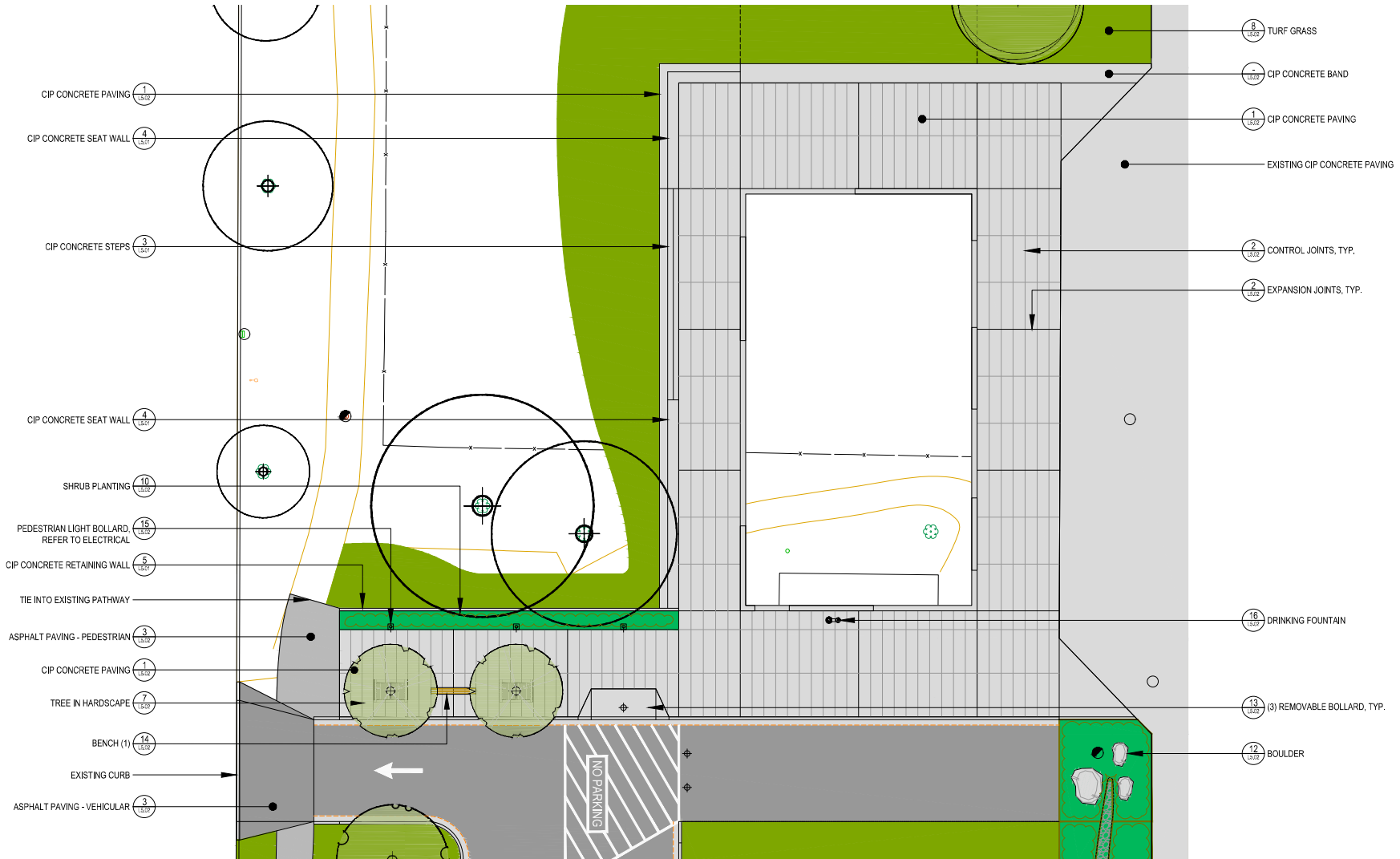
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Cloverdale Athletic
Park Fieldhouse

6410 168 St, Surrey, BC

PROJECT CODE	STATUS
1808	90% Detail Design
SCALE	DATE
-	-

Landscape
Notes
SHEET
L0.01



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ISSUES & REVISIONS	NO.	DATE	DESCRIPTION
1	Nov 13/18	90% Detail Design	

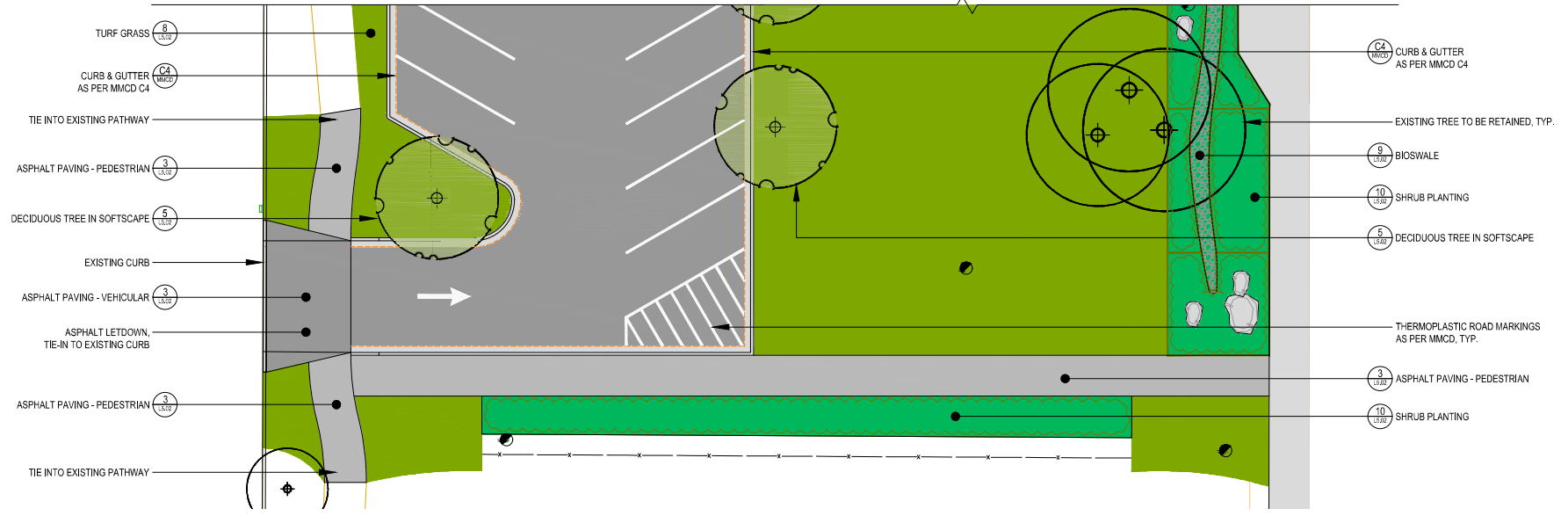
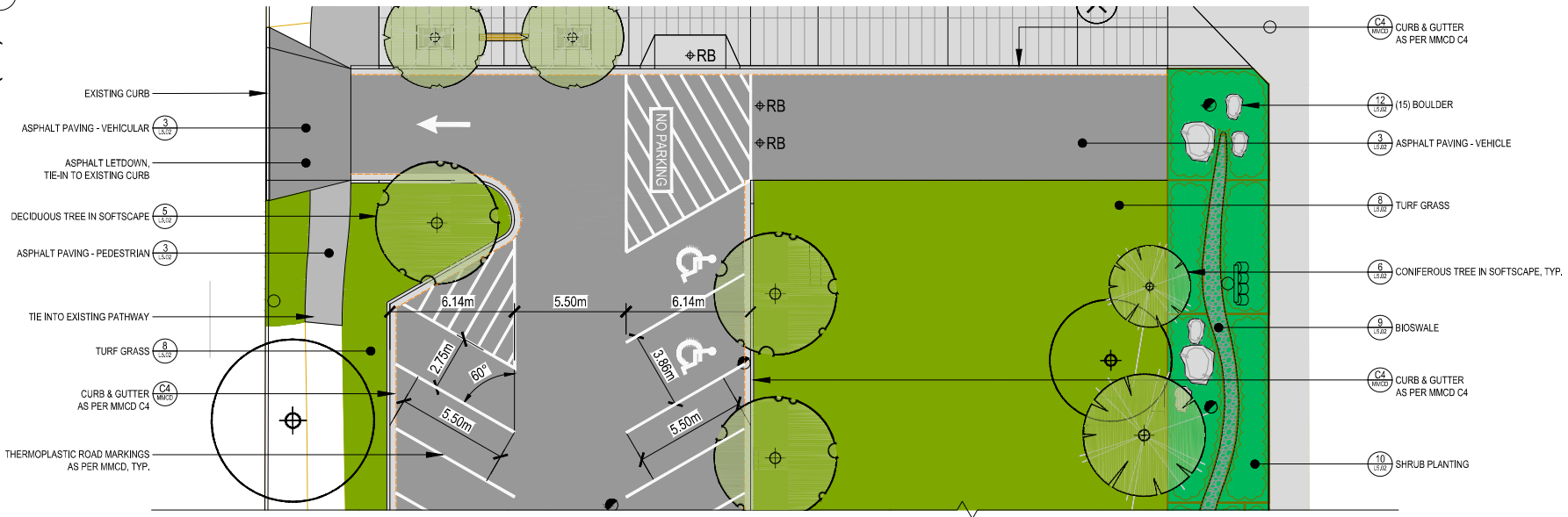
public **15L** **Engineering**
 1480 RT - 104 ST.
 VAN COV, BC V9A 1K1
 TEL: 604-273-1111
 FAX: 604-273-1112
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Landscape
 Detail Key 1
 SHEET
 L2.01

7918-0282-00(14)



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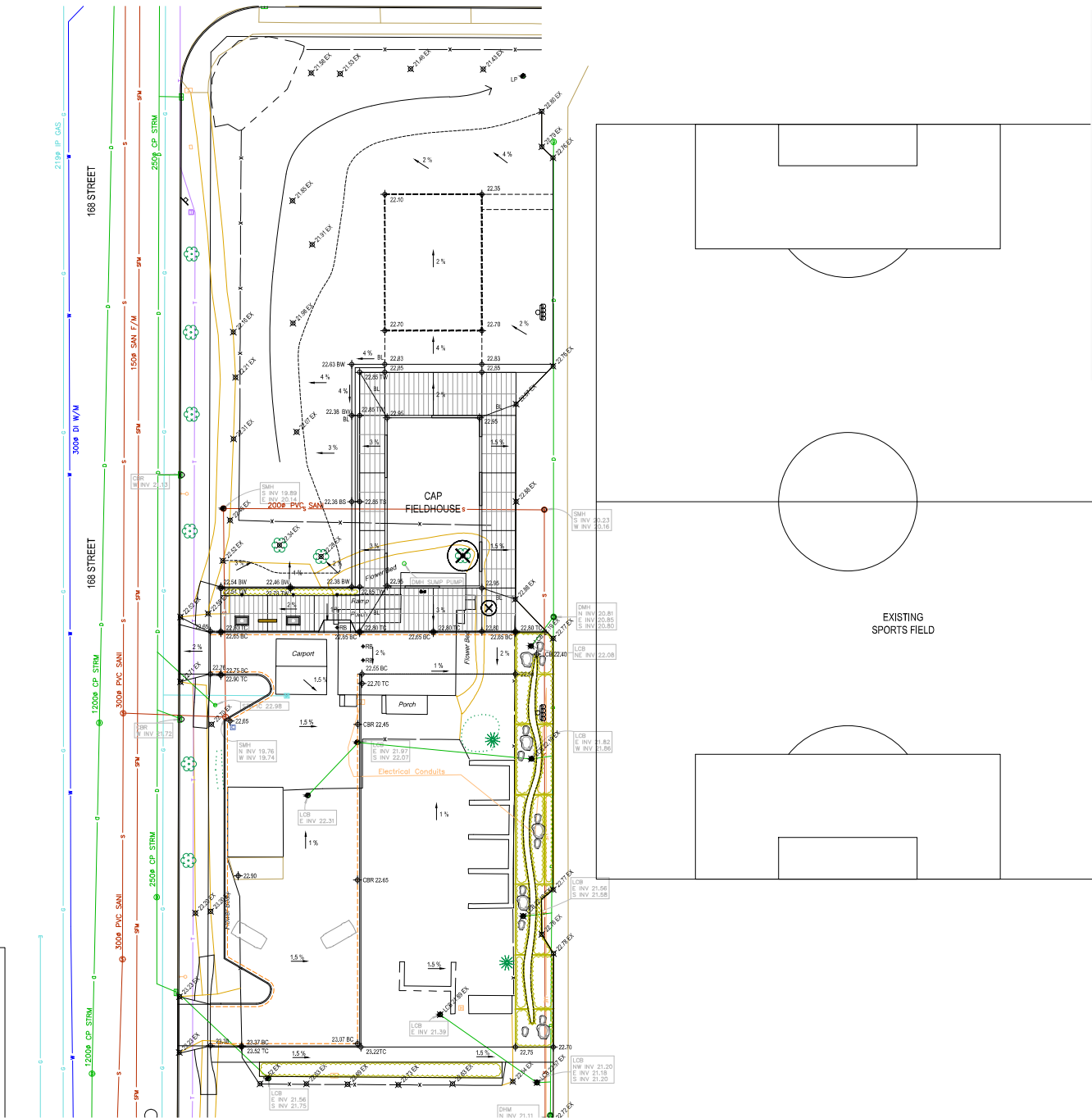
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	DATE

Landscape Detail Key 2
SHEET
L2.02



LEGEND

SYMBOL	DESCRIPTION
---	BREAK LINE
↘	SLOPE
◆XXXX	SPOT ELEVATION
◆XXXX	EXISTING SPOT ELEVATION
+XXXXBS	BOTTOM STEPS ELEVATION
+XXXXTS	TOP STEPS ELEVATION
+XXXXBR	BOTTOM RAMP ELEVATION
+XXXXTR	TOP RAMP ELEVATION
+XXXXBW	BOTTOM WALL ELEVATION
+XXXXTW	TOP WALL ELEVATION

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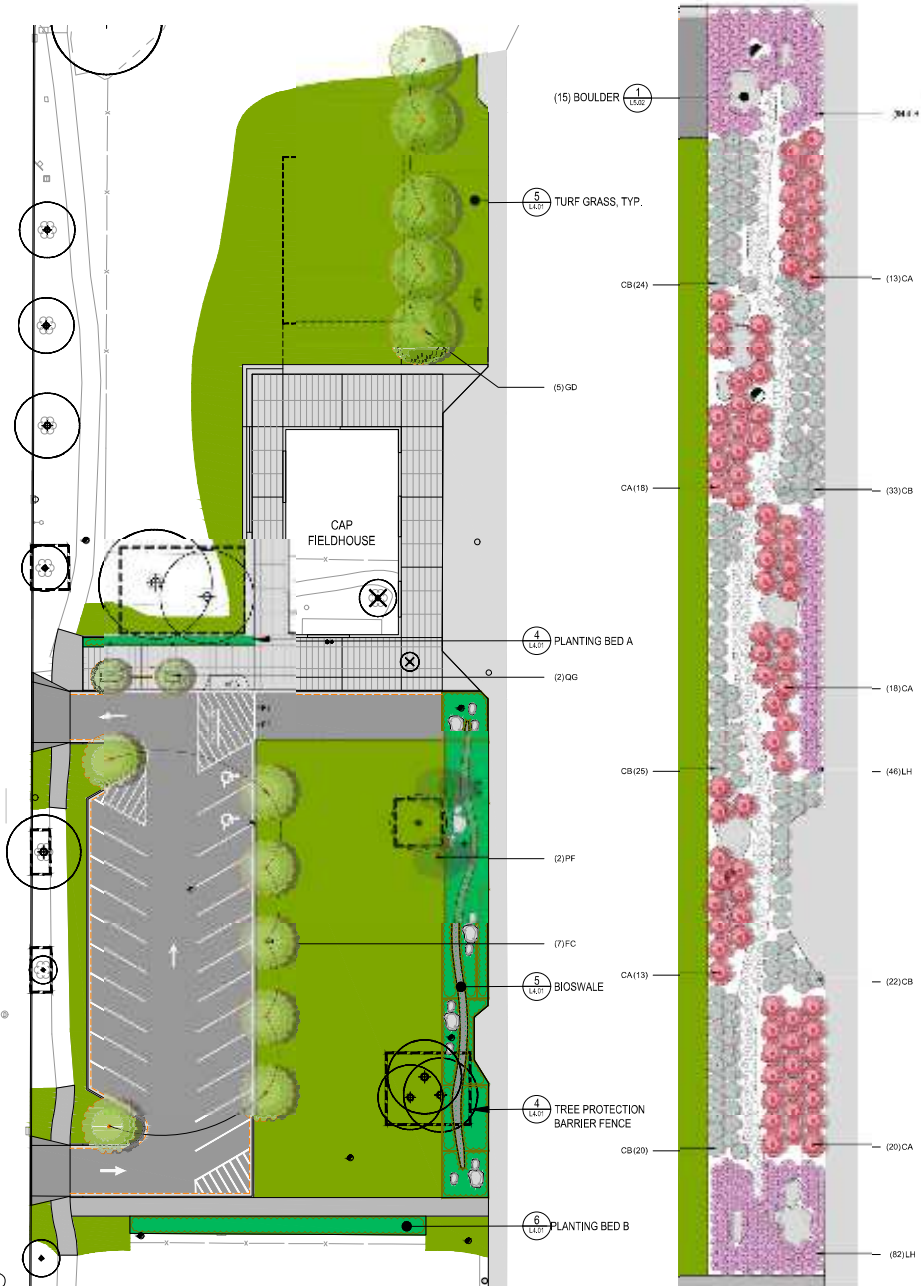
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Landscape Grading
 SHEET
 L3.01



PLANT SCHEDULE

TRUNK	QTY	SY	BOTANICAL NAME	COMMON NAME	REMARKS	SIZE
	14	1	Fraxinus pennsylvanica 'Cimarron'	Green Ash	Ball & Burlap	100mm Cal.
	00	1	Gymnocladia dioica 'Espresso'	Kentucky Coffeetree	Ball & Burlap	100mm Cal.
	1	1	Pinus lexilis 'Vanderwolf's Pyramid'	Vanderwolf's Pyramid Pine	Ball & Burlap	3500mm HT.
	00	2	Quercus palustris 'Green Pillar'	Green Pillar Oak	Ball & Burlap	150mm Cal.

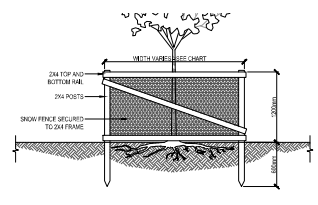
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	REMARKS	SIZE	SPACING
	CB	132	Ceanothus x 'Blue Sapphire'	Blue Sapphire Ceanothus	#2 Container		0.75m
	CA	88	Cornus sericea 'Arctic Fire'	Arctic Fire Dogwood	#5 Container		1m
	LH	236	Lavandula angustifolia 'Hidcote'	Hidcote Lavender	#2 Container		0.5m
	MZ	64	Miscanthus sinensis 'Zebra'	Zebra Grass	#2 Container		1m



3 PLANTING BED A
L4.01 PLAN 1:100

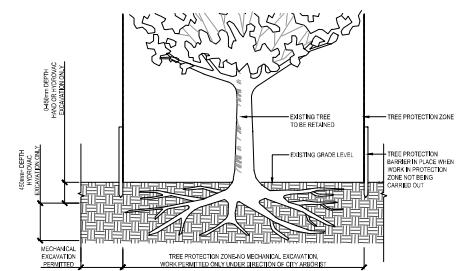


4 PLANTING BED B
L4.01 PLAN 1:100



TREE PROTECTION BARRIER			
TRUNK DIAMETER (DBH)	MINIMUM PROTECTION REQUIRED AROUND TREE	MINIMUM PROTECTION REQUIRED AROUND TREE	TRAIL DIAMETER (mm)
10	1.0	1.0	1.0
15	1.5	1.5	1.5
20	2.0	2.0	2.0
25	2.5	2.5	2.5
30	3.0	3.0	3.0
35	3.5	3.5	3.5
40	4.0	4.0	4.0
45	4.5	4.5	4.5
50	5.0	5.0	5.0
55	5.5	5.5	5.5
60	6.0	6.0	6.0
65	6.5	6.5	6.5
70	7.0	7.0	7.0
75	7.5	7.5	7.5
80	8.0	8.0	8.0
85	8.5	8.5	8.5
90	9.0	9.0	9.0
95	9.5	9.5	9.5

- NOTES:**
- NO DUMPING OR STOCKING WITHIN TREE PROTECTION BARRIER.
 - INSPECT BARRIER REGULARLY AND REPAIR AS NEEDED.
 - CUT BACK ROOTS OUTSIDE THE TREE PROTECTION BARRIER CLEANLY WITH SHARP LOOPERS OR PRUNING SAW.
 - MINIMUM DISTANCE OF TREE PROTECTION FROM TREE TRUNK TO BE SET AT DBH LINE UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE DRAWING TO BE USED IN CONJUNCTION WITH THE CITY OF SURREY'S SPECIFICATION E.



- NOTES:**
- MAKE GOOD ANY DAMAGES WITHIN LIMIT OF CONSTRUCTION.
 - SCAFFRY DISTURBED LAWN AREAS AND AMEND WITH SOAM IMPORTED GROWING MEDIUM, BLENDED TO EXISTING GRADE, HYDROSEED TO COMPLETE (TYP).
 - CONTRACTOR RESPONSIBLE FOR PROTECTING SITES FROM PUBLIC ACCESS (TYP). PROVIDE 6" MODULOC FENCE OR APPROVED EQUAL AROUND AREA OF CONSTRUCTION.
 - TREE PROTECTION FENCING AND EROSION & SEDIMENT CONTROL MEASURES TO BE PROVIDED BEFORE DEMOLITION WORK COMMENCES.
 - REFER TO CIVIL DRAWINGS FOR ADDITIONAL DEMOLITION REQUIREMENTS.
 - WORK IN ROOTS TO BE AS PER DETAIL ABOVE.

1 PLANTING PLAN
L4.01 PLAN 1:250

2 BIOSWALE PLANTING
L4.01 PLAN 1:100

5 TREE PROTECTION BARRIER FENCE
L4.01 SECTION - REFER TO SSD-PK5005 NTS

6 TREE PROTECTION AT SURROUNDING DEMOLITION WORKS
L4.01 SECTION NTS

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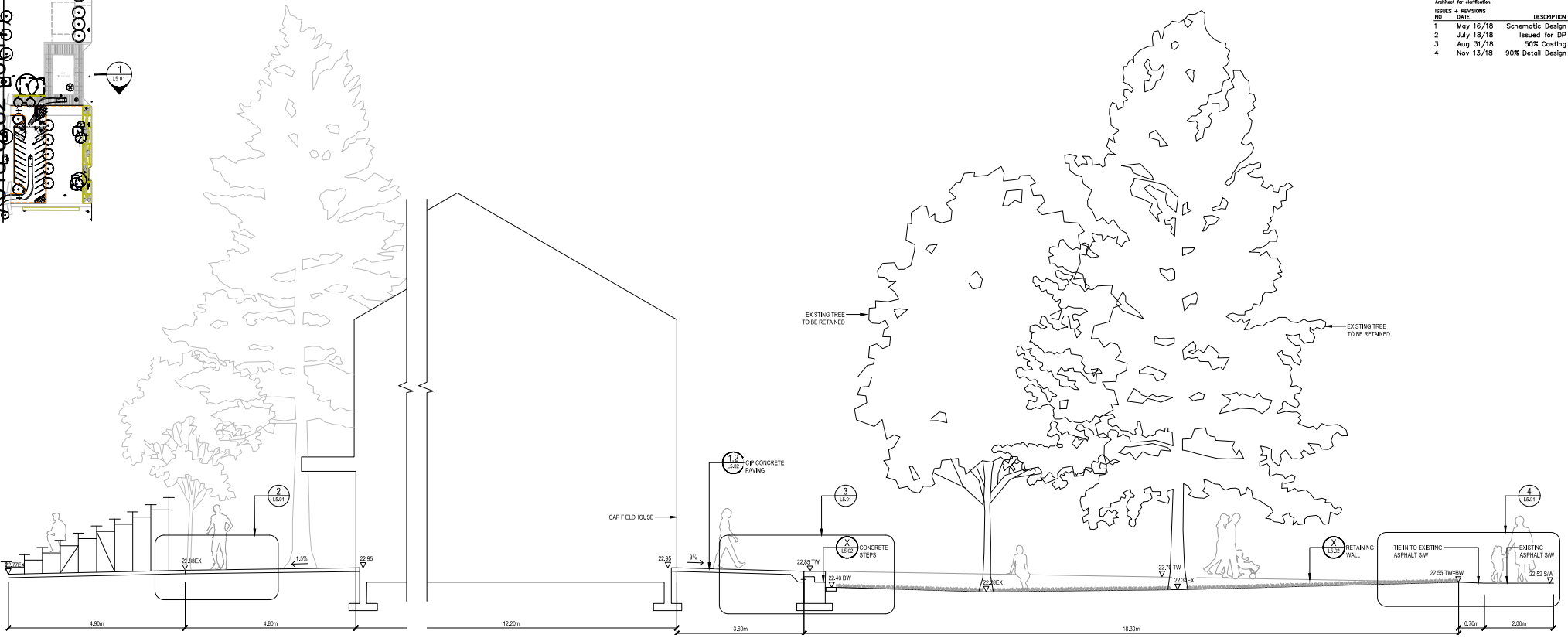
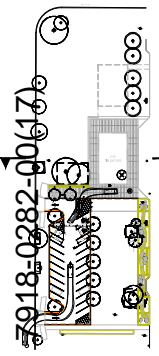


Cloverdale Athletic Park Fieldhouse

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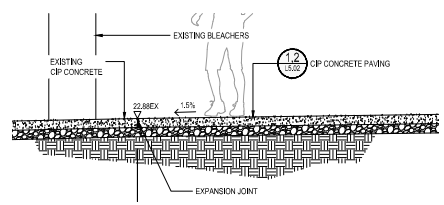
PROJECT CODE: 1808 STATUS: 90% Detail Design
SCALE: DATE:

Landscape Planting
SHEET L4.01

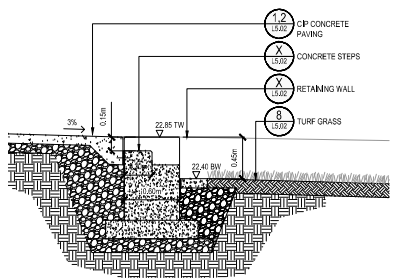


1 SECTION
LS.01

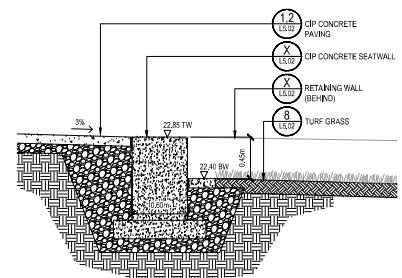
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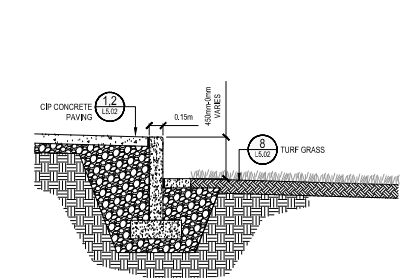
2 CONCRETE PAVING AT BLEACHERS ZONE
LS.01 SECTION 1:25



3 CIP CONCRETE STEPS
LS.01 SECTION 1:25



4 CIP CONCRETE SEAT WALL
LS.01 SECTION 1:25



5 CIP CONCRETE RETAINING WALL
LS.01 SECTION 1:25

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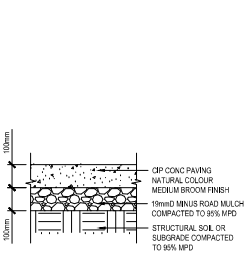
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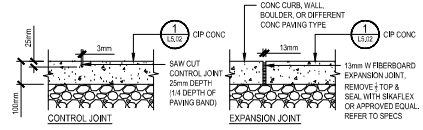
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SCALE: DATE:

Landscape Section

SHEET LS.01

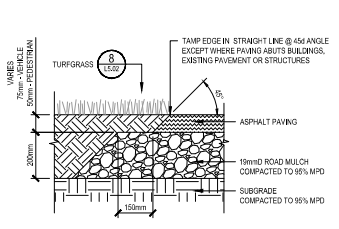


1 CIP CONCRETE PAVING
SECTION
1:20

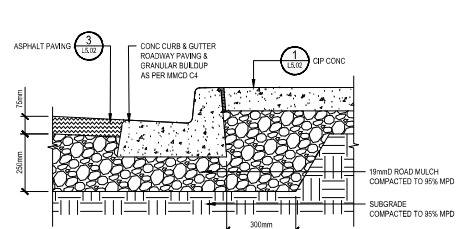


NOTES:
 1. REFER TO SHEET L2.02 FOR EXPANSION AND CONTROL JOINTS LAYOUT
 2. LAYOUT THE PATTERN ON THE CONCRETE USING CHALK LINE, LAYOUT TO BE CONFIRMED BY OWNERS REPRESENTATIVE
 3. CONTROL JOINTS EVERY 1.2m APPROXIMATE C.C.
 4. CONTROL JOINTS EQUIVALENT FROM EACH OTHER BETWEEN STIPULATED JOINT LOCATIONS
 5. EXPANSION JOINT EVERY 8m MAX. C.C BOTH WAYS
 6. EXPANSION JOINTS MAY DOUBLE AS CONTROL JOINTS.

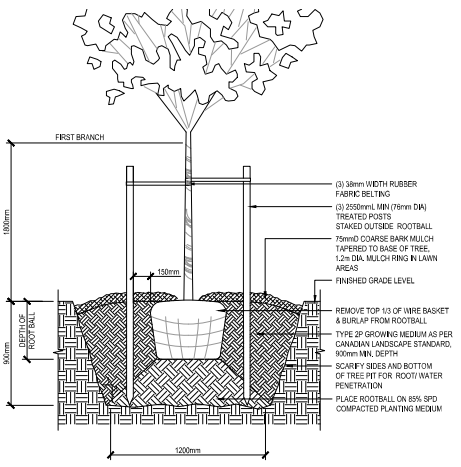
2 SAW CUT AND EXPANSION JOINTS
SECTION
1:20



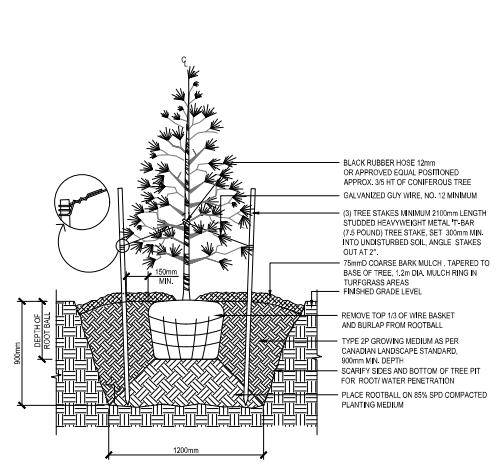
3 ASPHALT PAVING
SECTION
1:20



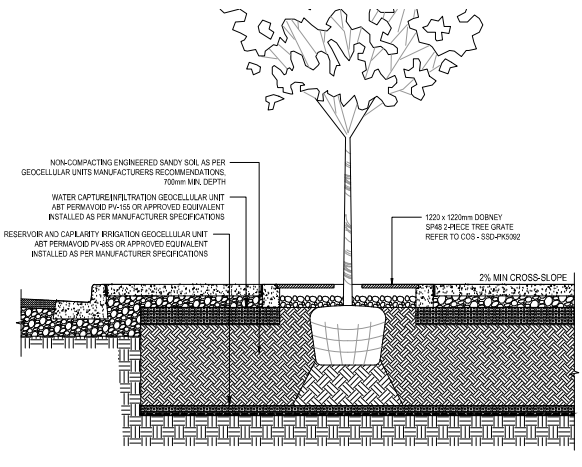
4 CONCRETE CURB & GUTTER
SECTION
1:20



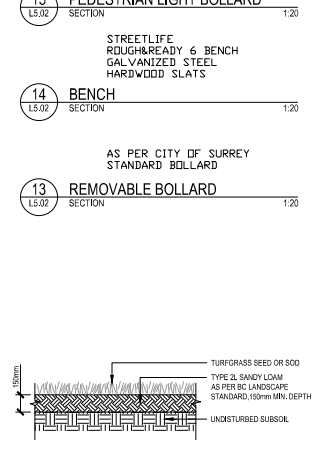
5 DECIDUOUS TREE IN SOFTSCAPE
SECTION
1:20



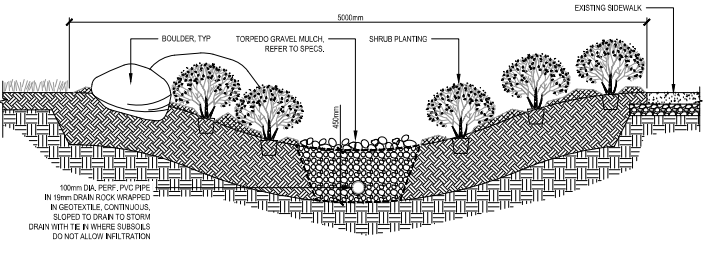
6 CONIFEROUS TREE IN SOFTSCAPE
SECTION
1:20



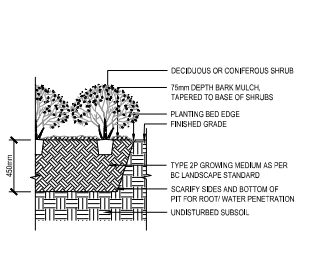
7 DECIDUOUS TREE IN HARDSCAPE
SECTION
1:20



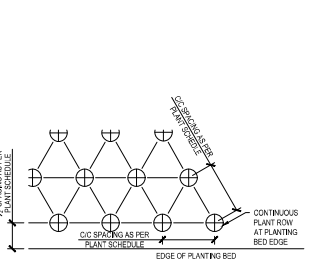
8 TURF GRASS
SECTION
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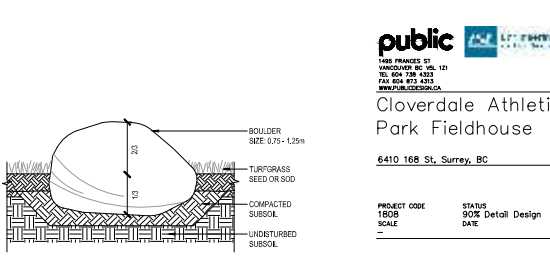
9 BIOSWALE
SECTION
1:20



10 SHRUB PLANTING
SECTION
1:20



11 SHRUB PLANTING SPACING
PLAN
1:20



12 BOULDER
SECTION
1:20

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ELKAY OUTDOOR E2H2D BOTTLE FILLING STATION BI-LEVEL PEDESTAL, NDN-FILTERED NDN-REFRIGERATED FREEZE RESISTANT GRAY

16 DRINKING FOUNTAIN
SECTION
1:20

FORM+SURFACES RINCEN PATHWAY BOLLARD

15 PEDESTRIAN LIGHT BOLLARD
SECTION
1:20

STREETLIFE ROUGH&READY 6 BENCH GALVANIZED STEEL HARDWOOD SLATS

14 BENCH
SECTION
1:20

AS PER CITY OF SURREY STANDARD BOLLARD

13 REMOVABLE BOLLARD
SECTION
1:20

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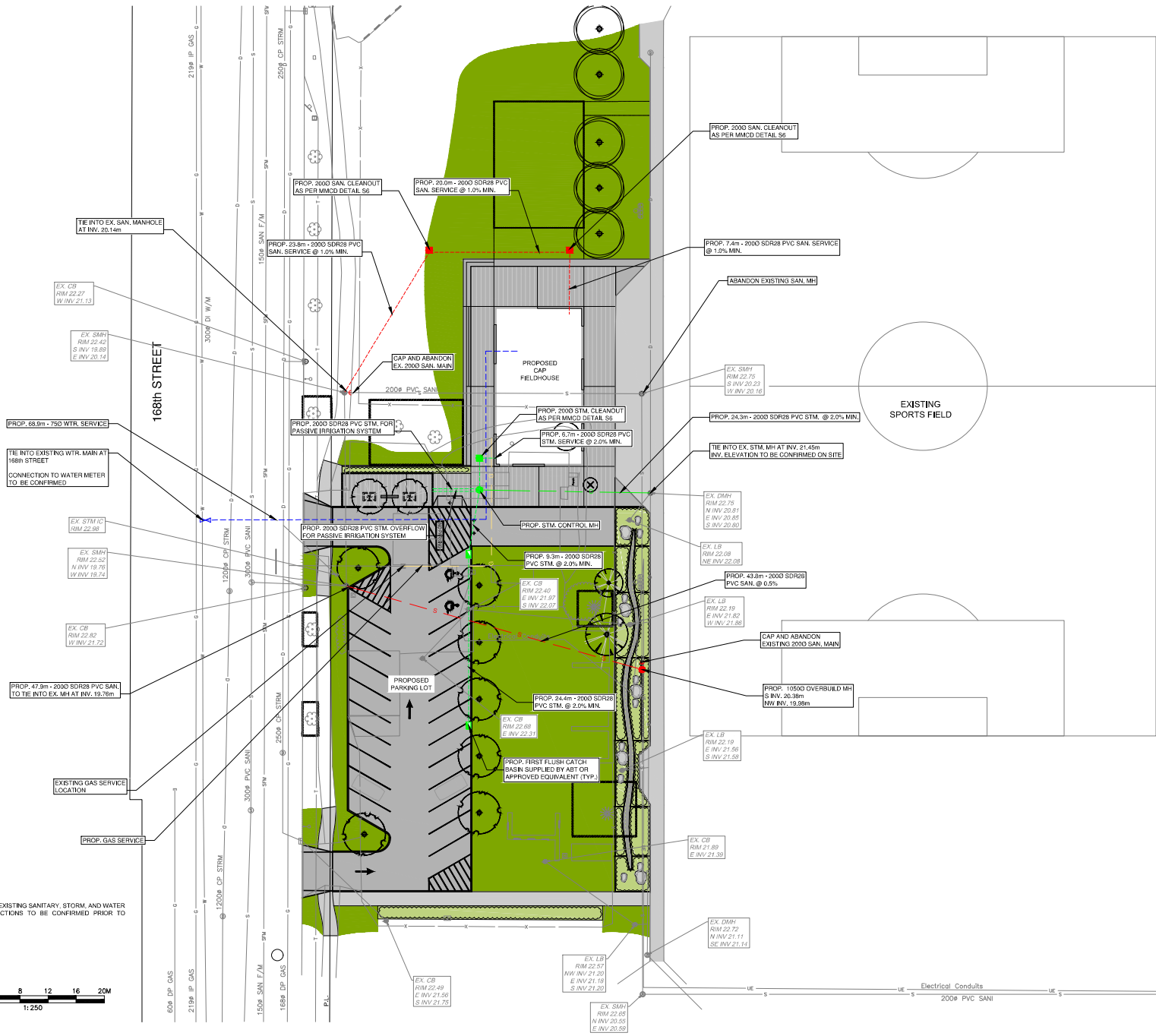
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 SCALE: -
 DATE: -

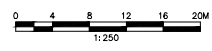
Landscape Details
 SHEET
 L5.02

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ISSUES + REVISIONS	DATE	DESCRIPTION
1	Nov. 13/18	50% Design



NOTE:
 - LOCATIONS OF EXISTING SANITARY, STORM, AND WATER SERVICE CONNECTIONS TO BE CONFIRMED PRIOR TO CONSTRUCTION.



PROJECT CODE: 1808
 STATUS: 50% Design
 SCALE: 1:250
 DATE:

Civil Site Servicing
 SHEET
 C2.01