

**INTER-OFFICE MEMO**  
**Regular Council - Land Use**  
**B.1 7918-0235-00**  
**Monday, June 10, 2024**

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**TO:** City Clerk, Legislative Services Division

**FROM:** Director, Development Planning, Planning & Development Department

**DATE:** June 10, 2024 **FILE:** 7918-0235-00

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**RE:** **Agenda Item B.1, June 10, 2024 Regular Council – Land Use Meeting**  
**Development Application No. 7918-0235-00**  
**Replacement Pages for the Planning Report**

Development Application No. 7918-0235-00 is on the agenda for consideration by Council at the June 10, 2024, Regular Council – Land Use Meeting under Item B.1.

After finalizing the Planning Report for the June 10, 2024 Regular Council – Land Use Agenda, it was noted that the requirements to be completed prior to consideration of Final Adoption for the associated rezoning by-law should be clarified for Council. In this regard, Pages 4 and 5 of the Planning Report have been updated to reflect this change.

The replacement pages for the Planning Report detailing these changes are attached to this memorandum.



Shawn Low  
Director, Development Planning  
Planning & Development Department

Attachment - 7918-0235-00- Replacement Page 4 and Page 5

c.c. - City Manager

## RECOMMENDATION

The Planning & Development Department recommends that:

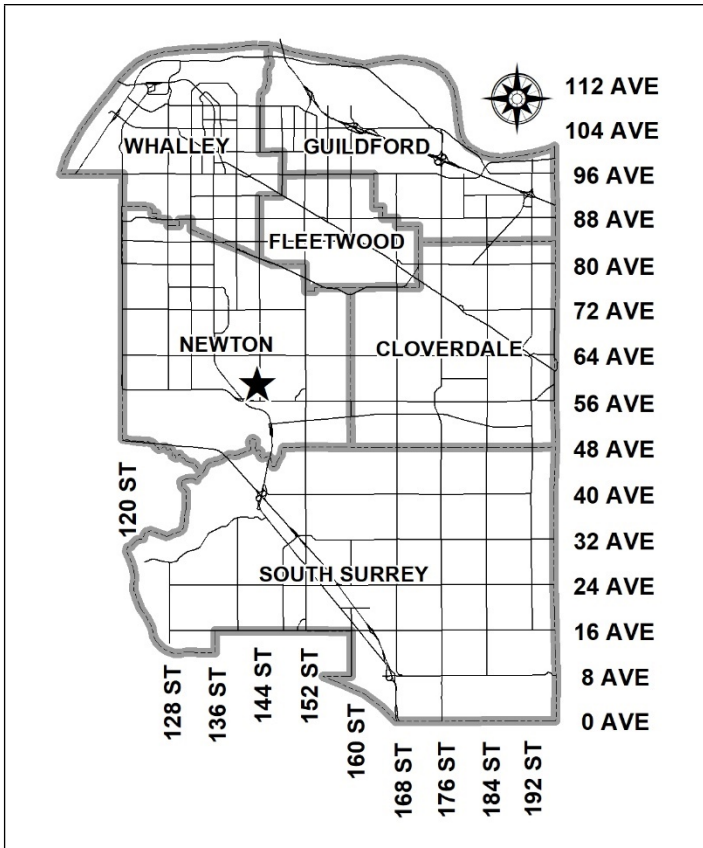
1. Council file Rezoning By-law No. 19993.
2. Council endorse the Public Notification to proceed for a Bylaw to rezone the subject site from “One Acre Residential Zone (RA)” to “Comprehensive Development Zone (CD)” (based on “Multiple Residential 70 Zone (RM-70) and “Neighbourhood Commercial Zone (C-5)”.
3. Council rescind Resolution No. R21-1762 granting Third Reading and Resolution No. R21-1761 granting Second Reading to Housing Agreement By-law No. 20456 at the September 27, 2021 Regular Council – Land Use meeting.
4. Council amend Housing Agreement By-law No. 20456. If, after the Public Notification of the rezoning bylaw is supported, and that bylaw is granted First, Second and Third Reading, then Council is to also consider granting Second Reading as amended, and Third Reading of Housing Agreement By-law No. 20456.
5. Council authorize staff to draft the amended Development Permit No. 7918-0235-00, generally in accordance with the attached drawings (Appendix I).
6. Council file Development Variance Permit No. 7918-0235-00.
7. Council instruct staff to resolve **the following issues prior to final adoption: all issues identified in Additional Planning Comments Report No. 7918-0235-00, dated September 27, 2021 (Appendix III).**
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
  - (c) Approval from the Ministry of Transportation & Infrastructure;
  - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (g) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;

- (h) the applicant enter into a Housing Agreement with the City to restrict all 52 dwelling units in Building C on the subject site to rental housing for a period of 25 years;
  - (i) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (j) submission of an acoustical report for the units adjacent to 144 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
  - (k) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to Public Art, Affordable Housing, and/or Capital Projects Community Amenity Contributions, to the satisfaction of the General Manager, Planning & Development Services; and
  - (l) registration of a Section 219 Restrictive Covenant requiring the applicant to pay all deferred financial contributions for Public Art, Affordable Housing, and/or Capital Projects Community Amenity Contributions for the market rental units should the project be converted from rental housing to market condo units at any point in the future, after expiry of the Housing Agreement.
8. Council pass a resolution to amend the South Newton Neighbourhood Concept Plan (NCP) to amend the local road network when the project is considered for final adoption.

City of Surrey  
**ADDITIONAL PLANNING COMMENTS**

Application No.: 7918-0235-00

Planning Report Date: June 10, 2024



**PROPOSAL:**

- Rezoning from RA to CD (based on RM-70 and C-5)
- Revised Development Permit
- Housing Agreement Amendment

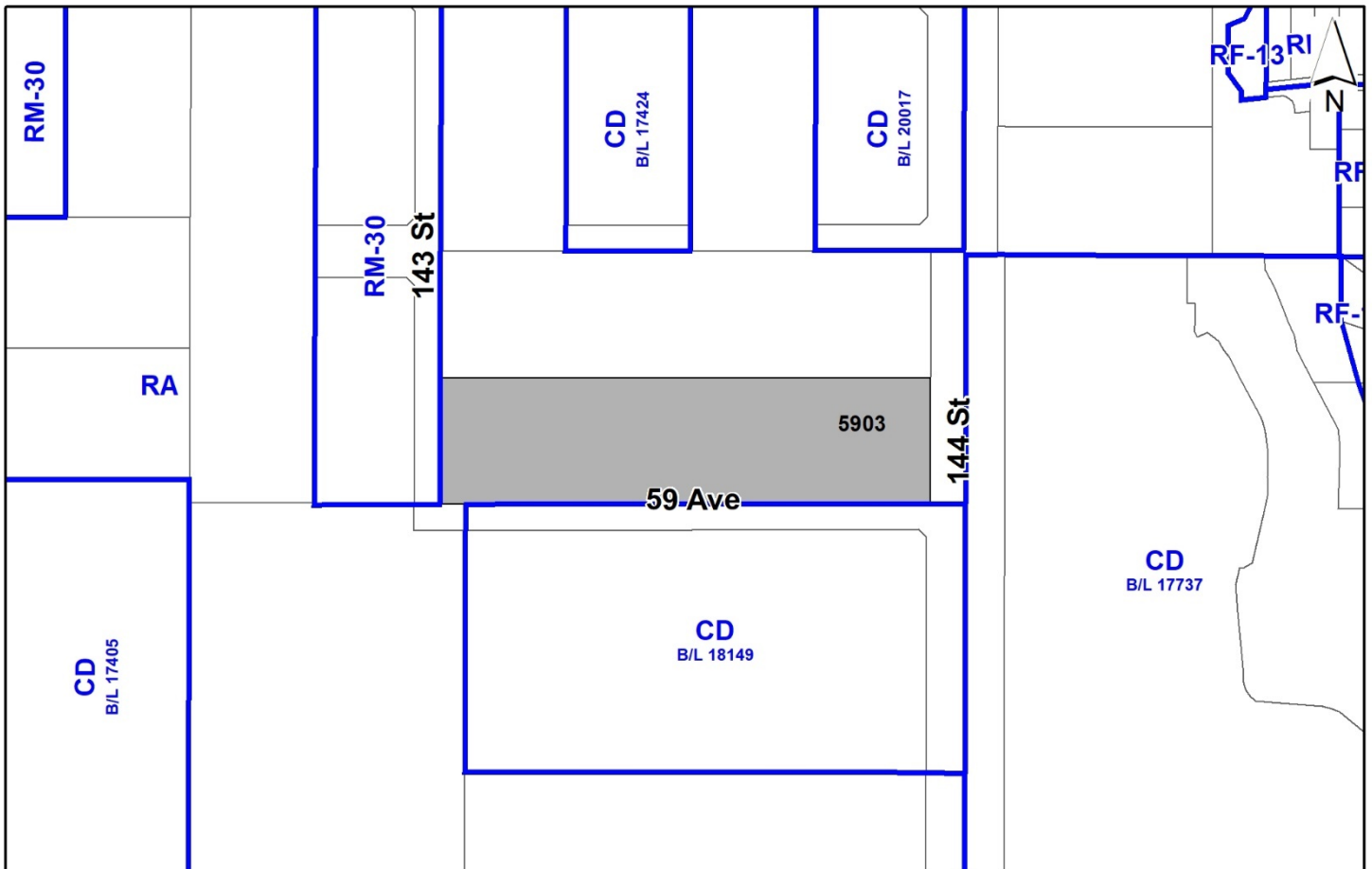
to allow the conversion of the affordable rental units to market rental units and for changes to the proposed design

**LOCATION:** 5903 - 144 Street

**ZONING:** RA

**OCP DESIGNATION:** Multiple Residential

**NCP DESIGNATION:** "Mixed Commercial-Residential (Apartments)" and "Proposed Parks and Walkways"



## RECOMMENDATION SUMMARY

- Council file Rezoning Bylaw No. 19993.
- Rezoning Bylaw to proceed to Public Notification. If supported the Bylaw will be brought forward for consideration for First, Second, and Third Reading.
- Council rescind Resolution No. R21-1762 granting Third Reading and Resolution No. R21-1761 granting Second Reading to Housing Agreement By-law No. 20456 at the September 27, 2021 Regular Council – Land Use meeting.
- Council amend Housing Agreement By-law No. 20456. If, after the Public Notification for the Rezoning Bylaw, that bylaw is granted First, Second and Third Reading, Council is to also consider granting Second and Third Reading to the amended Housing Agreement By-law.
- Approval to draft amended Development Permit for Form and Character.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The proposed development is generally consistent with what was supported by Council at the October 18, 2021 Regular Council – Public Hearing meeting, except that the initial proposal for 29 below-market residential rental units as part of a 53 unit market rental and below-market rental building, has been changed. The applicant now proposes 100% market rental for all 52 units within Building C as a result of current market conditions and financing constraints.

## RATIONALE OF RECOMMENDATION

- In accordance with changes to the Local Government Act, Section 464, under Bill 44 (2023) a Public Hearing is not required for the subject rezoning application as the proposed rezoning is consistent with the Official Community Plan (OCP). As such, Council is requested to endorse the Public Notification to proceed for the proposed Rezoning Bylaw. The bylaw will be presented to Council for consideration of First, Second and Third Reading, after the required Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the Bylaw readings.
- The Planning and Development Report for Development Application No. 7918-0235-00 was originally considered by Council at the Regular Council – Land Use Meeting on November 18, 2019. The NCP Amendment was supported by Council and the Rezoning Bylaw (CD Bylaw No. 19993) was granted Third Reading by Council at the Regular Council - Public Hearing meeting on December 2, 2019.
- The applicant subsequently revised the proposal in 2021 to include a fifth storey on Building C, add additional density, and convert Building C to a rental building with 53 rental units, 29 of which were to be below-market rental units. The rental units (market and below-market) in Building C were to be secured by a Housing Agreement, which was granted Third Reading at the September 27, 2021 Regular Council – Land Use meeting. The amended proposal was

granted Third Reading (Conditional Approval) at the October 18, 2021, Regular Council – Public Hearing meeting.

- Due to current economic conditions and financing constraints, the applicant stated it is no longer feasible to deliver the below-market units. Instead, the applicant proposes to generally maintain the original proposal that was supported by Council in October 2021, but convert the previously proposed below-market rental units to market rental units, to be secured by the previously supported 25-year Housing Agreement, which is proposed to be amended accordingly.
- The applicant proposes minor design changes to the draft Development Permit, including removing the proposed child care from Building B. Instead, the applicant proposes a commercial retail unit for a potential eating establishment and patio.
- The proposed addition of the commercial retail unit designated for a potential eating establishment necessitates changes to the CD By-law No. 19993, that was originally granted Third Reading at the October 18, 2021, Regular Council – Public Hearing meeting. The previously supported CD By-law No. 19993 restricted eating establishments to 150 square metres to ensure parking requirements for future business remained consistent with the available commercial parking.
- A new rezoning bylaw is being brought forward to capture the requested amendments to eating establishments. The new “Comprehensive Development Zone (CD)” that is being brought forward retains the same provisions as those within the previously supported Rezoning By-law No. 19993, with the allowance for one eating establishment that is permitted up to 445 square metres. Minor changes are also proposed to reflect the current base zones (“Multiple Residential 70 Zone (RM-70)” and “Neighbourhood Commercial Zone (C-5)”) and to update the formatting based on the current Zoning By-law.

## RECOMMENDATION

The Planning & Development Department recommends that:

1. Council file Rezoning By-law No. 19993.
2. Council endorse the Public Notification to proceed for a Bylaw to rezone the subject site from “One Acre Residential Zone (RA)” to “Comprehensive Development Zone (CD)” (based on “Multiple Residential 70 Zone (RM-70) and “Neighbourhood Commercial Zone (C-5)”.
3. Council rescind Resolution No. R21-1762 granting Third Reading and Resolution No. R21-1761 granting Second Reading to Housing Agreement By-law No. 20456 at the September 27, 2021 Regular Council – Land Use meeting.
4. Council amend Housing Agreement By-law No. 20456. If, after the Public Notification of the rezoning bylaw is supported, and that bylaw is granted First, Second and Third Reading, then Council is to also consider granting Second Reading as amended, and Third Reading of Housing Agreement By-law No. 20456.
5. Council authorize staff to draft the amended Development Permit No. 7918-0235-00, generally in accordance with the attached drawings (Appendix I).
6. Council file Development Variance Permit No. 7918-0235-00.
7. Council instruct staff to resolve all issues identified in Additional Planning Comments Report No. 7918-0235-00, dated September 27, 2021 (Appendix III).

**SITE CONTEXT & BACKGROUND**

Direction	Existing Use	OCP/NCP Designation	Existing Zone
Subject Site	Residential acreage lot with an existing house that is to be demolished	"Mixed Commercial-Residential (Apartments)" and "Proposed Parks and Walkways"	RA
North:	Single Family Residential (Currently being reviewed under Development Application No. 7918-0081-00 to allow for one 4 storey mixed-use commercial / residential building and one 5 storey residential apartment building, which received Conditional Approval at the April 3, 2023 Regular Council – Public Hearing meeting)	Apartments (45 upa max), Mixed Commercial-Residential (Apartments), and Proposed Parks & Walkways	RA
East (Across 144 St.):	Multiple Family Residential	Townhouses (20 upa max)	CD (Bylaw No. 17737)
South:	City owned park with private tennis facilities	Existing & Future Parks	CD (Bylaw No. 18149)
West:	Single Family Residential (Development Application No. 7917-0069-00 to permit 39 townhouses received Third Reading on April 15, 2019).	Townhouses (15 upa max), Proposed Parks and Walkways	RA

**Context & Background**

- The subject development application was considered by Council at the Regular Council – Land Use meeting on November 18, 2019, where First and Second readings were granted to the proposed Rezoning Bylaw (No. 19993).
- At the December 2, 2019 Regular Council – Public Hearing meeting, Council granted Third Reading to Comprehensive Development Zone (CD) (Bylaw No. 19993) (Resolution No. R19-2095).
- The applicant subsequently revised the proposal in 2021 to include a fifth storey on Building C, add additional density, and convert Building C to a rental building with 53 rental units, 29 of which were to be below-market rental units. The rental units (market and below-market) in Building C were to be secured by a Housing Agreement, which was granted Third Reading at the September 27, Regular Council – Land Use meeting. The amended proposal was granted Third Reading (Conditional Approval) at the October 18, 2021, Regular Council – Public Hearing meeting.



- The applicant has expressed that the below-market rental units are no longer viable as part of the proposed development due to current market conditions that have resulted in increased interest rates, construction costs and financing rates that significantly impact the applicant's ability to deliver the development as originally proposed.
- Instead, the applicant proposes to generally maintain the original proposal that was supported by Council in October 2021, but convert the previously proposed below-market rental units to market rental units, to be secured by the previously supported 25-year Housing Agreement, which is proposed to be amended accordingly. A total of 52 market rental units within Building C are now proposed instead of the originally proposed 53 total units.
- The applicant proposes minor design changes to the draft Development Permit, including removing the proposed child care from Building B. Instead, the applicant proposes a commercial retail unit for a potential eating establishment and patio.
- The proposed addition of the commercial retail unit designated for a potential eating establishment necessitates a change to the CD By-law No. 19993. The previously supported CD By-law No. 19993 restricted eating establishments to 150 square metres to ensure parking requirements for future business remained consistent with the available commercial parking. The proposed addition of the eating establishment in place of the child care requires an amendment to the CD By-law to allow one eating establishment on the lot that exceeds 150 square metres, but no greater than 445 square metres.
- Rather than rescinding Third, Second, and First Readings of Rezoning By-law No. 19993 to initiate an amendment to that by-law, the by-law is requested to be filed and a new rezoning bylaw brought forward to capture the requested amendments to eating establishments. The new "Comprehensive Development Zone (CD)" that is being brought forward retains the same provisions as those within the previously supported Rezoning By-law No. 19993, with the allowance for one eating establishment that is permitted up to 445 square metres. Minor changes are also proposed to reflect the current base zones ("Multiple Residential 70 Zone (RM-70)" and "Neighbourhood Commercial Zone (C-5)") and to update the formatting based on the current Zoning By-law.
- Staff have requested the applicant complete minor design changes to improve the interface between the proposed eating establishment patio and the residences of Building A. The requested changes will also improve the streetside activation of the eating establishment. The applicant has been provided a list of requested revisions, which the applicant has agreed to completing prior to issuance of the Development Permit.
- Aside from the conversion of the below-market rental units to market rental, including a slight reduction in the number of overall rental units from 53 to 52 and the addition of space for an eating establishment instead of a child care, the application remains consistent with what was previously supported by Council.
- In accordance with changes to the Local Government Act, Section 464, under Bill 44 (2023) a Public Hearing is not required for the subject rezoning application as the proposed rezoning is consistent with the Official Community Plan (OCP). As such, Council is requested to endorse the Public Notification to proceed for the proposed rezoning bylaw. The bylaw will be presented to Council for consideration of First, Second and Third Reading, after the required

Public Notification is complete, with all comments received from the Public Notification presented to Council prior to consideration of the By-law readings.

## DEVELOPMENT PROPOSAL

### Planning Considerations

- The applicant is proposing the following to permit the development of one four-storey residential apartment building, one four-storey mixed-use commercial-residential apartment building, and one five-storey mixed-use commercial residential apartment building that contains 100% rental units:
  - NCP Amendment for changes to the local road network;
  - Rezoning from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)"; and
  - Development Permit for Form and Character.
- Staff support the development as currently proposed, with the proposed conversion of below-market rental units to market rental units. The overall density and building heights are appropriate for this part of South Newton and conform to goal of achieving a neighbourhood commercial node with higher densities at this location.
- The child care component was not required as part of the original application, but was proposed to form part of the commercial uses. The applicant has expressed that the child care component is not economically viable as part of this development and therefore, proposes the revision to an eating establishment. The adjacent application No. 7918-0081-00 proposes a large child care at ground level of the building proposed along 144 Street, which will help provide child care spaces for this neighbourhood.

	Proposed
<b>Lot Area</b>	
Gross Site Area:	9,187 square metres
Road Dedication:	2,342 square metres
Undevelopable Area:	n/a
Net Site Area:	6,845 square metres
<b>Number of Lots:</b>	1
<b>Building Height:</b>	Building A: 14.9 metres Building B: 14.8 metres Building C: 18.9 metres
<b>Floor Area Ratio (FAR):</b>	1.74
<b>Floor Area</b>	
Residential:	10,604 square metres
Commercial:	1,306 square metres
Total:	11,910 square metres
<b>Residential Units:</b>	
Studio:	
1-Bedroom:	80
2-Bedroom:	52
3-Bedroom:	10

	Proposed
Total:	142

## Referrals

Advisory Design Panel: The revised proposal was not referred to the ADP due to the relatively minor revisions to the overall proposal, but was reviewed by staff, including the City Architect, and found satisfactory.

## POLICY & BY-LAW CONSIDERATIONS

### CD By-law

- The applicant proposes a new “Comprehensive Development Zone (CD)” by replicating the originally supported Rezoning By-law No. 19993 and allowing one eating establishment to exceed the maximum 150 square metre threshold, up to a maximum of 445 square metres.
- Staff request that the originally supported Rezoning By-law No. 19993 be filed and a new “Comprehensive Development Zone (CD)” bylaw be brought forward, based on the originally supported By-law No. 19993. The new bylaw will be updated to reflect the current formatting of the Zoning By-law and the provisions within the “Multiple Residential 70 Zone (RM-70)” and the “Neighbourhood Commercial Zone (C-5)”. The amended provisions for uses, building setbacks, building height, and lot coverage can be found in Appendix III.

## INFORMATION ATTACHED TO THIS REPORT

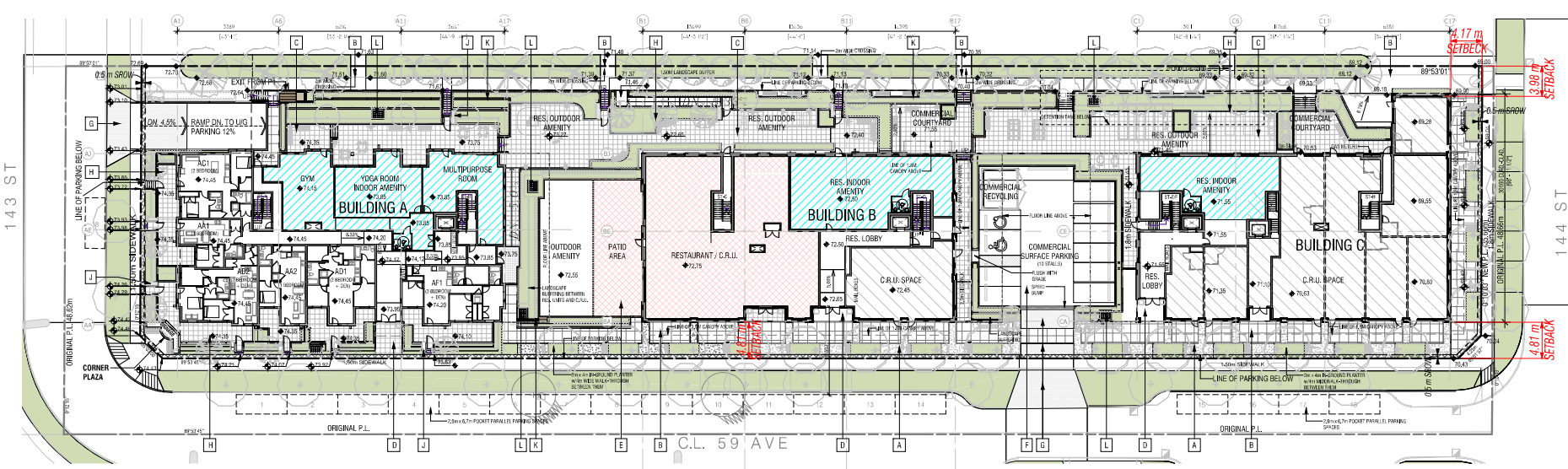
The following information is attached to this Report:

- Appendix I. Amended Site Plan, Building Elevations, Landscape Plans and Perspective  
 Appendix II. Amended Redlined Housing Agreement By-law No. 20456 and Housing Agreement  
 Appendix III. Additional Planning Comments Report No. 7918-0235-00, dated September 27, 2021, which includes Initial Planning Report No. 7918-0235-00, dated November 18, 2019

*approved by Shawn Low*

Don Luymes  
 General Manager  
 Planning and Development

KS/ar



**1 SITE PLAN**  
SCALE: 1 : 250

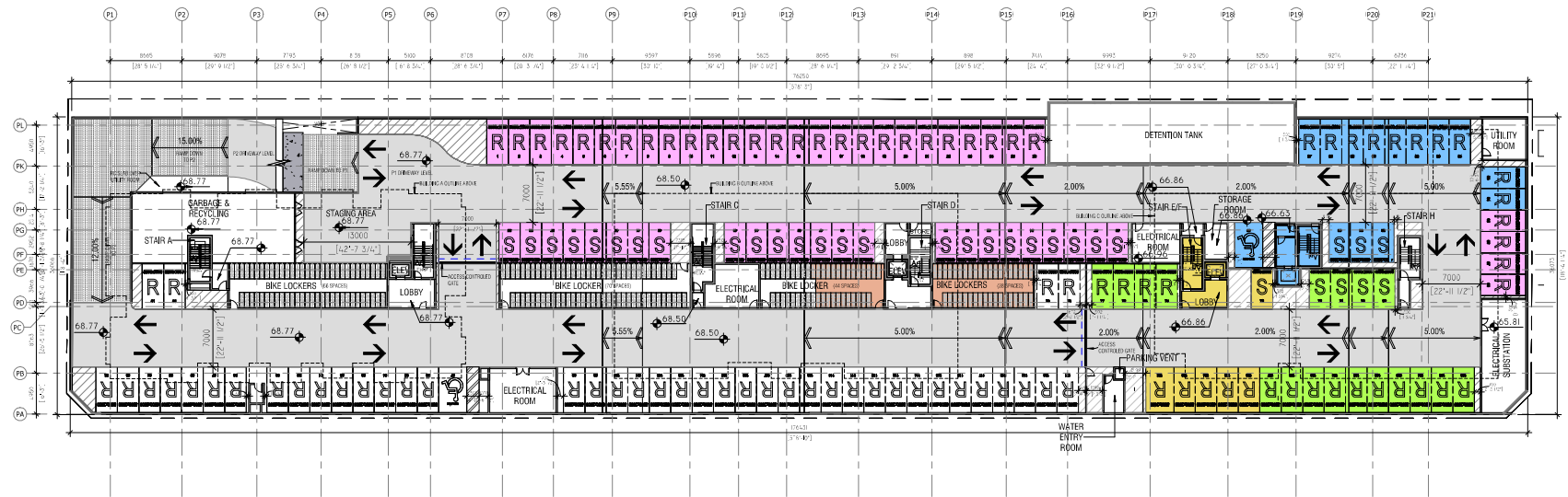
- LEGEND**
- [A] EXPOSED AGGREGATE
  - [C] CONCRETE PAVERS
  - [E] CONCRETE SLAB FOR SURFACE PARKING
  - [G] SPECIALTY PAVERS FOR PARKING ENTRANCE
  - [I] ZENWALL CONCRETE BLOCK WALL
  - [K] PARKING VENT GRATING AT GRADE 1.2m x 0.9m
  - [B] SAW-CUT CONCRETE
  - [D] SPECIALTY PAVERS FOR RESIDENTIAL ENTRANCE
  - [F] RUBBER TILE PATIO AREA
  - [H] CONCRETE WALL FLUSH WITH GRADE
  - [J] DECORATIVE ENTREN-ARCHITECTURAL CONCRETE WALL
- AMENITY AREA**
- [Blue Hatched] RESIDENTIAL AMENITY AREA
  - [Red Hatched] RESTAURANT/C.R.U.



DATE	31/05/2024
PROJECT NO.	20-245
DRAWN BY:	A.R.C.
CHECKED BY:	R.W.
SCALE:	As Indicated

SITE PLAN

A1.0



**1 P1 PARKING PLAN**  
SCALE: 1 : 250

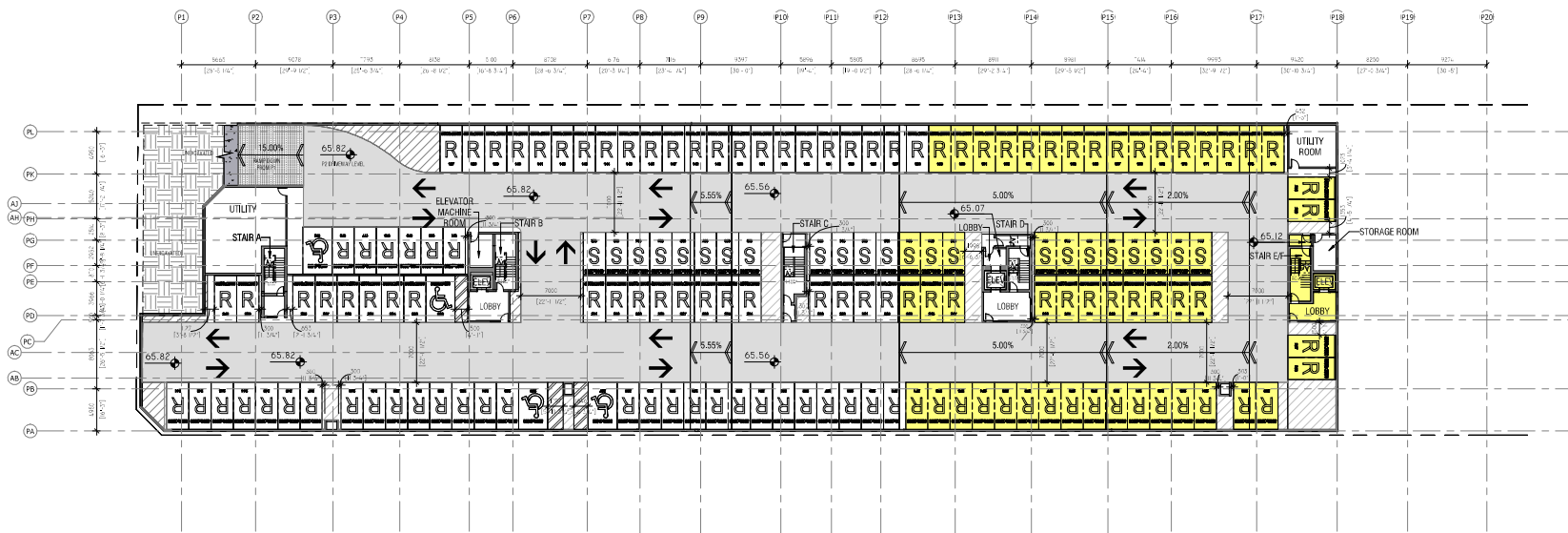
**COLOR CODE LEGEND**

- RESIDENTIAL VISITOR STALLS (18 STALLS)
- RENTAL BUILDING C - VISITOR STALLS (8 STALLS)
- RESTAURANT (54 STALLS)
- COMMERCIAL STALLS (14 STALLS)
- BIKE LOCKERS - BUILDING C (64 STALLS)
- RESIDENTIAL STALLS (44 STALLS)

NO.	DATE	DESCRIPTION



DATE	31/05/2024
PROJECT NO.	20-245
DRAWN BY:	A.R.C.
CHECKED BY:	R.W.
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**1 P2 PARKING PLAN**  
SCALE: 1 : 250

- COLOR CODE LEGEND**
- RENTAL STALLS - BUILDING C (69 STALLS)
  - RESIDENTIAL STALLS (92 STALLS)



Unit 209, 6321 King George Blvd  
Surrey BC V2X 1G1  
www.flatarchitecture.ca  
sullivan@flatarchitecture.ca  
Ph: 604-555-4484

PROJECT INFO:  
SULLIVAN TOWN CENTRE  
14535, 14557, 14889 59 AVENUE, SURREY B.C.

CLIENT:  
Jaswinder Singh Parmar

NO.	DESCRIPTION	DATE



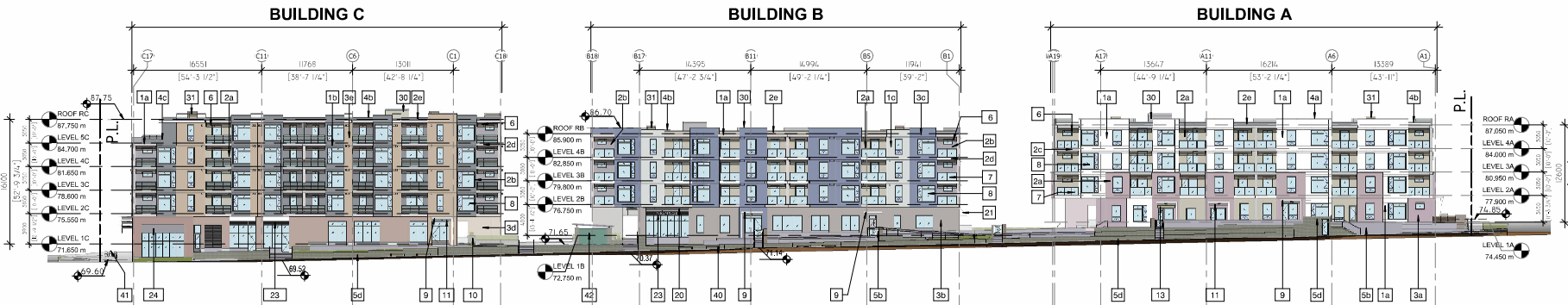
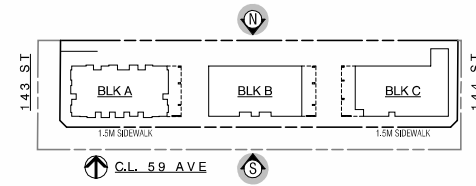
DATE	31/05/2024
PROJECT NO.	20-245
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CHECKED BY:	R.W.
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P2 PARKING PLAN

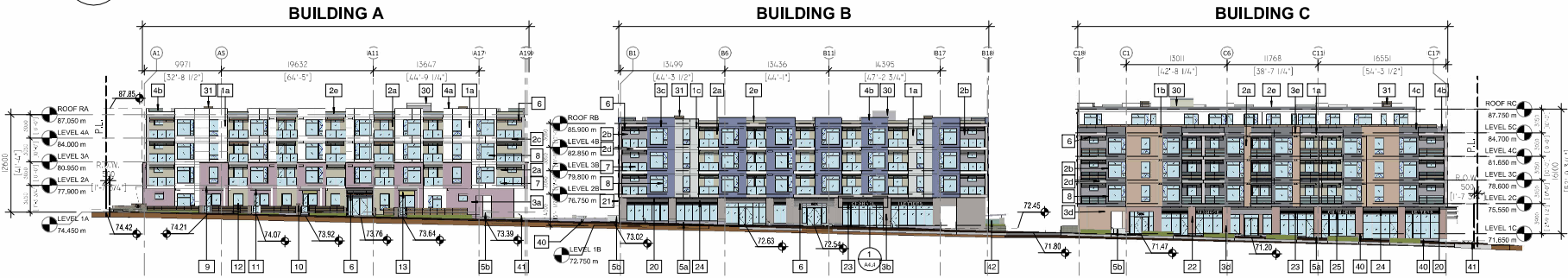
AP.2

**MATERIAL FINISH SCHEDULE**

- |  |  |  |                                     |  |
|--|--|--|-------------------------------------|--|
| 1a ALUMINUM PANEL W/ REVEAL POLAR WHITE, EGG SHELL FINISH                        | 3a FACE BRICK, REDDISH BROWN-VINTAGE     | 5a PAINTED CONCRETE, LIGHT GREY              | 11 ENTRANCE SIGN, BLACK             | 25 COMMERCIAL SIGN, CHANNEL LETTERING ONLY |
| 1b ALUMINUM PANEL W/ REVEAL, BLACK, EGG SHELL FINISH                             | 3b FACE BRICK, MEDIUM GREY-REDONDO       | 5b EXPOSED CONCRETE W/ REVEALS               | 12 ALUMINUM FENCE, SIMULATED WOOD   |  |
| 1c ALUMINUM PANEL W/ REVEAL, WEATHERED ZINC, EGG SHELL FINISH                    | 3c FACE BRICK, BLUSH CHARCOAL-COAL CREEK | 5c CONCRETE BLOCK WALL, ZENALL, GREY         | 13 FROSTED GLASS, GOLDEN YELLOW     | 36 ELEVATOR SHAFT DOG-HOUSE                |
| 2a HARDE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, BEIGE                     | 3d FACE BRICK, DARK BROWN-EBONY          | 6 SUN SHADE LOUVERS, SIMULATED WOOD ALUMINUM | 20 METAL & GLASS AWNINGS            | 31 AIR HANDLING UNITS                      |
| 2b HARDE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, CHARCOAL                  | 3e FACE BRICK, CREAM BROWN-TAN TERRA     | 7 GLASS RAILING                              | 21 FABRIC AWNINGS                   | 40 Benches                                 |
| 2c HARDE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, LIGHT GREY, MATTE FINISH  | 4a ROOF FLASHING, WHITE                  | 8 VINYL WINDOWS, CHARCOAL GREY               | 22 CYLINDRICAL UP & DOWN WALL LIGHT | 41 BIKE RACKS                              |
| 2d HARDE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, IVORY WHITE, MATTE FINISH | 4b ROOF FLASHING, LIGHT GREY             | 9 ENTRANCE FRAME, WHITE                      | 23 INTEGRATED COMMERCIAL LOUVERS    | 42 COMMERCIAL DUMPSTER SHED                |
| 2e ROOFING MEMBRANE SCOPREMA SOPRASTAR WITH HIGH ALBEDO SRI VALUE.82             | 4c ROOF FLASHING, CHARCOAL               | 10 ENTRANCE POST, SIMULATED LEUCGESTONE      | 24 PANELS W/ REVEAL, CHARCOAL       | 43 ALUMINUM GAS METRES SCREENING, CHARCOAL |



**N OVERALL NORTH ELEVATION**  
SCALE: 1 : 250



**S OVERALL SOUTH ELEVATION (FROM 59 AVE)**  
SCALE: 1 : 250



Unit 209-021 King George Blvd  
Surrey BC V0N 1G1  
www.flat7architecture.ca  
central@flat7architecture.ca  
PH: 604-555-4484

PROJECT INFO:  
SULLIVAN TOWN CENTRE  
14535, 14557, 14589 59 AVENUE, SURREY B.C.  
CLIENT: Jaswinder Singh Parmar

NO.	DATE	DESCRIPTION
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DATE: 31/05/2024  
PROJECT NO: 22-245  
DRAWN BY: A.R.C.  
CHECKED BY: R.W.  
SCALE: As indicated  
REV NO:

KEY ELEVATIONS

A3.0

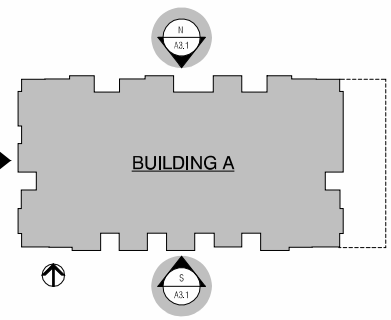
NO.	DESCRIPTION	DATE



DATE	31/05/2024
PROJECT NO.	22-245
DRAWN BY:	A.R.C.
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R.W.	SCALE:
As indicated	REV NO.

**NORTH & SOUTH ELEVATIONS BUILDING A**

A3.1



**KEY PLAN**  
SCALE: 1 : 300



**N NORTH ELEVATION BUILDING A**  
SCALE: 1 : 100



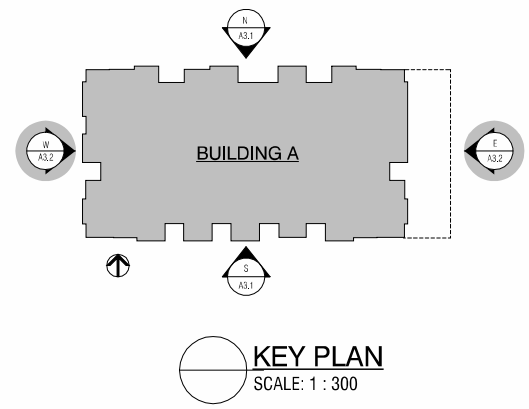
**S SOUTH ELEVATION BUILDING A (FROM 59TH AVE)**  
SCALE: 1 : 100

MATERIAL FINISH SCHEDULE	
1a	ALUMINUM PANEL W/ REVEAL, POLAR WHITE, EGG SHELL FINISH
1b	ALUMINUM PANEL W/ REVEAL, BLACK, EGG SHELL FINISH
1c	ALUMINUM PANEL W/ REVEAL, WEATHERED ZINC, EGG SHELL FINISH
2a	HARDE PANEL REVEAL 2.0 # W/ COLOUR MATCHED REVEALS, BRIDE
2b	HARDE PANEL REVEAL 2.0 # W/ COLOUR MATCHED REVEALS, CHARCOAL
2c	HARDE PANEL REVEAL 2.0 # W/ COLOUR MATCHED REVEALS, LIGHT GREY, MATTE FINISH
2d	HARDE PANEL REVEAL 2.0 # W/ COLOUR MATCHED REVEALS, BIVORY WHITE, MATTE FINISH
2e	ROOFING MEMBRANE 'SUPREMA SOPRASTAR' WITH HIGH ALBEDO SFR VALUES/2
3a	FACE BRICK, REDDISH BROWN-MITAGE
3b	FACE BRICK, MEDIUM GREY-REDONDO
3c	FACE BRICK, BLURISH CHARCOAL-ZODAL CREEK
3d	FACE BRICK, DARK BROWN-BONY
3e	FACE BRICK, CREAM BROWN-TAU TERRA
4a	ROOF FLASHING, WHITE
4b	ROOF FLASHING, LIGHT GREY
4c	ROOF FLASHING, CHARCOAL
5a	PAINTED CONCRETE, LIGHT GREY
5b	EXPOSED CONCRETE W/ REVEALS
5d	CONCRETE BLOCK WALL, ZEMALL, GREY
6	SUN SHADE LOUVERS, SIMULATED WOOD ALUMINUM
7	GLASS RAILING
8	VINYL WINDOWS, CHARCOAL, GREY
9	ENTRANCE FRAME, WHITE
10	ENTRANCE POST, SIMULATED LEDGESTONE
11	ENTRANCE SIGN, BLACK
12	ALUMINUM FENCE, SIMULATED WOOD
13	FROSTED GLASS, GOLDEN YELLOW
20	METAL & GLASS AWNINGS
21	FABRIC AWNINGS
22	CYLINDRICAL UP & DOWN WALL LIGHT
23	MITERATED COMMERCIAL LOUVERS
24	PANELS W/ REVEAL, CHARCOAL
25	COMMERCIAL SIGN, CHANNEL LETTERING ONLY
30	ELEVATOR SHAFT DOG HOUSE
31	AIR HANDLING UNITS
40	BENCHES
41	BIKE RACKS
42	COMMERCIAL GUM PASTER SHEED
43	ALUMINUM GAS METRES, SCREENING, CHARCOAL





**E EAST ELEVATION BUILDING A**  
SCALE: 1 : 100



**KEY PLAN**  
SCALE: 1 : 300



**W WEST ELEVATION BUILDING A (143 ST)**  
SCALE: 1 : 100

MATERIAL FINISH SCHEDULE	
1a ALUMINUM PANEL W/ REVEAL, POLAR WHITE, EGG SHELL FINISH	7 GLASS RAILING
1b ALUMINUM PANEL W/ REVEAL, BLACK, EGG SHELL FINISH	8 VINYL WINDOWS, CHARCOAL GREY
1c ALUMINUM PANEL W/ REVEAL, WEATHERED DMC, EGG SHELL FINISH	9 ENTRANCE FRAME, WHITE
2a HARDIE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, BRIDE	10 ENTRANCE POST SIMULATED LEDGESTONE
2b HARDIE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, CHARCOAL	11 ENTRANCE SIGN, BLACK
2c HARDIE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, LIGHT GREY, MATTE FINISH	12 ALUMINUM FENCE SIMULATED WOOD
2d HARDIE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, BURY WHITE, MATTE FINISH	13 FROSTED GLASS, COLDEV YELLOW
2e ROOFING MEMBRANE 'SOPREMA SUPRASTAR' WITH HIGH ALBEDO SFI VALUE 92	14 METAL & GLASS SWINGS
3a FACE BRICK, REDDISH BROWN-MITAGE	15 FABRIC AWNINGS
3b FACE BRICK, MEDIUM GREY-REDONDO	16 CYLINDRICAL UP & DOWN WALL LIGHT
3c FACE BRICK, BLUSH CHARCOAL-CODAL CREEK	17 INTEGRATED COMMERCIAL LOUISERS
3d FACE BRICK, DARK BROWN-EBONY	18 PANELS W/ REVEAL, CHARCOAL
3e FACE BRICK, CREAM BROWN-TAN TERRA	19 COMMERCIAL SIGN CHANNEL LETTERING ONLY
4a ROOF FLASHING, WHITE	20 ELEVATOR SHAFT DOG HOUSE
4b ROOF FLASHING, LIGHT GREY	21 AIR HANDLING UNITS
4c ROOF FLASHING, CHARCOAL	22 BENCHES
5a PAINTED CONCRETE, LIGHT GREY	23 ONE PACKS
5b EXPOSED CONCRETE W/ REVEALS	24 COMMERCIAL SIGN DUMPMSTER SHED
5c CONCRETE BLOCK WALL, ZEMALL GREY	25 ALUMINUM GAS METERS SCREENING, CHARCOAL
6 SUN SHADE LOUISERS, SIMULATED WOOD ALUMINUM	



Unit 209-0221 King George Blvd  
Surrey BC V3V 1C7  
www.flat7architecture.ca  
info@flat7architecture.ca  
PH: 604-555-4484

PROJECT INFO:  
SULLIVAN TOWN CENTRE  
14355, 14357, 14389 59 AVENUE, SURREY B.C.

CLIENT:  
Jaswinder Singh Parmar

NO.	DATE	DESCRIPTION



DATE	31/05/2024
PROJECT NO.	20-245
DRAWN BY:	A.R.C.
CHECKED BY:	R.W.
SCALE:	As indicated
REV NO.	

**EAST & WEST ELEVATIONS BUILDING A**

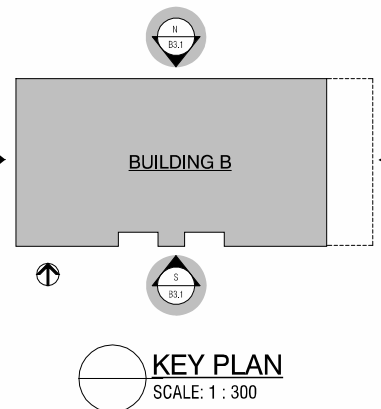
A3.2

NO.	REVISION	DATE



DATE	31/05/2024
PROJECT NO.	22-245
DRAWN BY:	A.R.C.
CHECKED BY:	R.W.
SCALE	As indicated

**B3.1**



**1 NORTH ELEVATION BUILDING B\_DP**  
SCALE: 1 : 100



**2 SOUTH ELEVATION BUILDING B (FROM 59TH AVE)\_DP**  
SCALE: 1 : 100

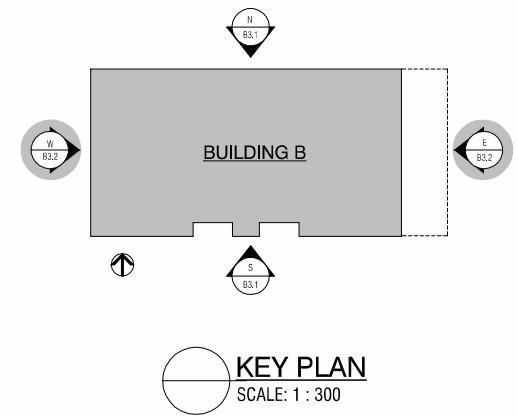
MATERIAL FINISH SCHEDULE	
1a ALUMINUM PANEL W/ REVEAL POLAR WHITE, EGG SHELL FINISH	7 GLASS RAILING
1b ALUMINUM PANEL W/ REVEAL BLACK, EGG SHELL FINISH	8 VINYL WINDOWS, CHARCOAL GREY
1c ALUMINUM PANEL W/ REVEAL WEATHERED ZINC, EGG SHELL FINISH	9 ENTRANCE FRAME, WHITE
2a HARDIE PANEL REVEAL 2.0 W/V COLOUR MATCHED REVEALS, BRIDE	10 ENTRANCE POST SIMULATED LEDGESTONE
2b HARDIE PANEL REVEAL 2.0 W/V COLOUR MATCHED REVEALS, CHARCOAL	11 ENTRANCE SIGN, BLACK
2c HARDIE PANEL REVEAL 2.0 W/V COLOUR MATCHED REVEALS, LIGHT GREY, MATTE FINISH	12 ALUMINUM FENCE SIMULATED WOOD
2d HARDIE PANEL REVEAL 2.0 W/V COLOUR MATCHED REVEALS, IVORY WHITE, MATTE FINISH	13 ROSTED GLASS, GOLDEN YELLOW
2e ROOFING MEMBRANE 'SUPREMA SOPHISTAR' WITH HIGH ALBEDO SRI VALUE 92	20 METAL & GLASS SWINGS
3a FACE BRICK REDDISH BROWN-MITAGE	21 FABRIC AWNINGS
3b FACE BRICK MEDIUM GREY-REDONDO	22 CYLINDRICAL LIP & DOWN WALL LIGHT
3c FACE BRICK BLUSH CHARCOAL-ODAL CREEK	23 INTEGRATED COMMERCIAL LOUISERS
4a ROOF FLASHING, WHITE	24 PANELS W/ REVEAL, CHARCOAL
4b ROOF FLASHING, LIGHT GREY	25 COMMERCIAL SIGN CHANNEL LETTERING ONLY
4c ROOF FLASHING, CHARCOAL	30 ELEVATOR SHAFT DOG HOUSE
5a PAINTED CONCRETE, LIGHT GREY	31 AIR HANDLING UNITS
5b EXPOSED CONCRETE W/ REVEALS	40 BENCHES
5c CONCRETE BLOCK WALL, ZEMALL, GREY	41 BINE PACKS
6 SUN SHADE LOUISERS, SIMULATED WOOD ALUMINUM	42 COMMERCIAL SIGN ALUMINUM SHED
	43 ALUMINUM GAS METERS SCREENING, CHARCOAL



**1 EAST ELEVATION BUILDING B**  
SCALE: 1 : 100



**2 WEST ELEVATION BUILDING B**  
SCALE: 1 : 100



MATERIAL FINISH SCHEDULE	
1a ALUMINUM PANEL W/ REVEAL POLAR WHITE, EGG SHELL FINISH	7 GLASS RAILING
1b ALUMINUM PANEL W/ REVEAL BLACK, EGG SHELL FINISH	8 VINYL WINDOWS, CHARCOAL GREY
1c ALUMINUM PANEL W/ REVEAL WEATHERED ZINC, EGG SHELL FINISH	9 ENTRANCE FRAME, WHITE
2a HARDFE PANEL REVEAL 2.0 W/ W/ COLOUR MATCHED REVEALS, BRIDE	10 ENTRANCE POST SIMULATED LEGGISTONE
2b HARDFE PANEL REVEAL 2.0 W/ W/ COLOUR MATCHED REVEALS, CHARCOAL	11 ENTRANCE SIGN, BLACK
2c HARDFE PANEL REVEAL 2.0 W/ W/ COLOUR MATCHED REVEALS, LIGHT GREY, MATTE FINISH	12 ALUMINUM FENCE SIMULATED WOOD
2d HARDFE PANEL REVEAL 2.0 W/ W/ COLOUR MATCHED REVEALS, IVORY WHITE, MATTE FINISH	13 ROSTED GLASS, COLDEY YELLOW
2e ROOFING MEMBRANE 'SOPREMA SOPRASTAR' WITH HIGH ALBEDO SPF VALUE 32	20 METAL & GLASS AWNINGS
3a FACE BRICK REDDISH BROWN-MITAGE	21 FABRIC AWNINGS
3b FACE BRICK MEDIUM GREY-REDDOON	22 CYLINDRICAL LIP & DOWN WALL LIGHT
3c FACE BRICK BLURSH CHARCOAL-ODAL CREEK	23 INTEGRATED COMMERCIAL LOUISERS
3d FACE BRICK DARK BROWN-BOBOY	24 PANELS W/ REVEAL CHARCOAL
3e FACE BRICK CREAM BROWN-TAN TERRA	25 COMMERCIAL SIGN CHANNEL LETTERING ONLY
4a ROOF FLASHING, WHITE	
4b ROOF FLASHING, LIGHT GREY	30 ELEVATOR SHAFT DOG HOUSE
4c ROOF FLASHING, CHARCOAL	31 AIR HANDLING UNITS
5a PAINTED CONCRETE, LIGHT GREY	40 BENCHES
5b EXPOSED CONCRETE W/ REVEALS	41 ONE PACKS
5d CONCRETE BLOCK WALL, ZEMALL GREY	42 COMMERCIAL DUMPSTER SHED
6 SUN SHADE LOUISERS, SIMULATED WOOD ALUMINIUM	43 ALUMINIUM GAS METERS SCREENING CHARCOAL

Unit 209-0221 King George Blvd  
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central@flat7architecture.ca  
PH: 604-553-4484

PROJECT INFO:  
SULLIVAN TOWN CENTRE  
14535, 14537, 14589 59 AVENUE, SURREY B.C.

CLIENT:  
Jaswinder Singh Parmar

NO.	REVISION	DATE

DATE	31/05/2024
PROJECT NO.	22-245
DRAWN BY:	A.R.C.
CHECKED BY:	R.W.
SCALE:	As indicated

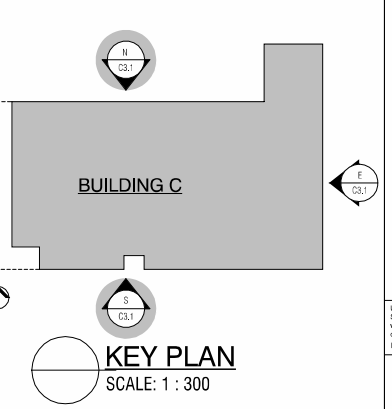
**EAST & WEST ELEVATIONS BUILDING B**

**B3.2**

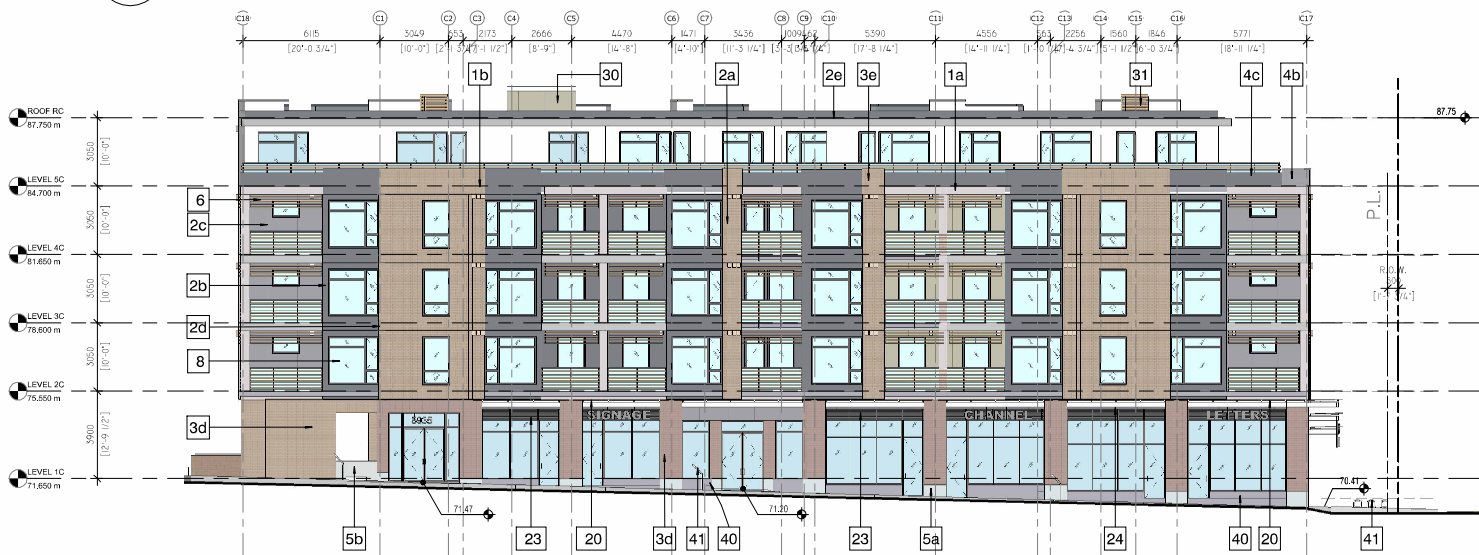
NO.	REVISION	DATE



DATE 31/05/2024	NORTH & SOUTH ELEVATIONS BUILDING C
PROJECT NO: 20-245	
DRAWN BY: A.R.C.	
CHECKED BY:	
R.V. SCALE As indicated	



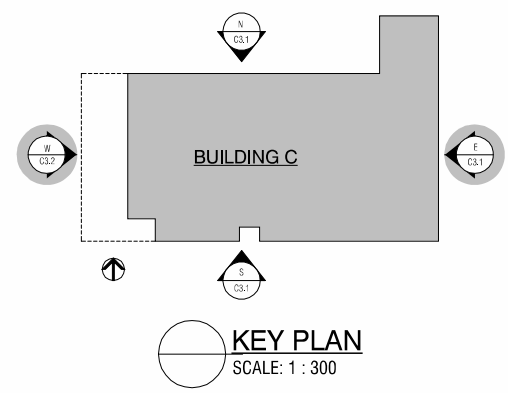
1 NORTH ELEVATION BUILDING C\_DP  
SCALE: 1 : 100



2 SOUTH ELEVATION BUILDING C (FROM 59TH AVE)  
SCALE: 1 : 100

**MATERIAL FINISH SCHEDULE**

1a ALUMINUM PANEL W/ REVEAL, POLAR WHITE, EGG SHELL FINISH	7 GLASS RAILING
1b ALUMINUM PANEL W/ REVEAL, BLACK, EGG SHELL FINISH	8 W/WS, WINDOWS, CHARCOAL GREY
1c ALUMINUM PANEL W/ REVEAL, WEATHERED ZINC, EGG SHELL FINISH	9 ENTRANCE FRAME, WHITE
2a HARDE PANEL REVEAL 2.0 W W/ COLOUR MATCHED REVEALS, BRIDE	10 ENTRANCE POST, SPOLIATED LEOGISTONE
2b HARDE PANEL REVEAL 2.0 W W/ COLOUR MATCHED REVEALS, CHARCOAL	11 ENTRANCE SIGL, BLACK
2c HARDE PANEL REVEAL 2.0 W W/ COLOUR MATCHED REVEALS, LIGHT GREY, MATTE FINISH	12 ALUMINUM FENCE, SPOLIATED WOOD
2d HARDE PANEL REVEAL 2.0 W W/ COLOUR MATCHED REVEALS, IVORY WHITE, MATTE FINISH	13 ROSTED GLASS, GOLDEN YELLOW
2e ROOFING MEMBRANE "SOPREMA SOPRACSTAR" WITH HIGH ALBEDO SPR VALVES	20 METAL & GLASS SWIMINGS
3a FACE BRICK, REDDISH BROWN-AMFAGE	21 FABRIC SWINGS
3b FACE BRICK, MEDIUM GREY-REDONDO	22 CYLINDRICAL LIP & DOWN WALL LIGHT
3c FACE BRICK, BLUSH CHARCOAL-DODAL CREEK	23 INTEGRATED COMMERCIAL LOWERS
3d FACE BRICK, DARK BROWN-BONY	24 PANELS W/ REVEAL, CHARCOAL
3e FACE BRICK, CREAM BROWN-TAN TERRA	25 COMMERCIAL SIGN, CHANNEL LETTERING ONLY
4a ROOF FLASHING, WHITE	
4b ROOF FLASHING, LIGHT GREY	30 ELEVATOR SHAFT DOG HOUSE
4c ROOF FLASHING, CHARCOAL	31 AIR HANDLING UNITS
5a PAINTED CONCRETE, LIGHT GREY	40 BENCHES
5b EXPOSED CONCRETE W/ REVEALS	41 ONE PACKS
5d CONCRETE BLOCK WALL, ZEWALL, GREY	42 COMMERCIAL DUMPSTER SHED
6 SUN SHADE LOWERS, SIMULATED WOOD ALUMINUM	43 ALUMINUM GAS METER, SCREENING CHARCOAL



**1 EAST ELEVATION BUILDING C (144 ST)**  
SCALE: 1 : 100



**2 WEST ELEVATION BUILDING C**  
SCALE: 1 : 100

MATERIAL FINISH SCHEDULE	
1a ALUMINUM PANEL W/ REVEAL, POLAR WHITE, EGG SHELL FINISH	7 GLASS RAILING
1b ALUMINUM PANEL W/ REVEAL, BLACK, EGG SHELL FINISH	8 VINYL WINDOWS, CHARCOAL GREY
1c ALUMINUM PANEL W/ REVEAL, WEATHERED ZINC, EGG SHELL FINISH	9 ENTRANCE FRAME, WHITE
2a HARDIE PANEL REVEAL 2.0 R/W COLOUR MATCHED REVEALS, BRIDE	10 ENTRANCE POST SIMULATED LEGGISTONE
2b HARDIE PANEL REVEAL 2.0 R/W COLOUR MATCHED REVEALS, CHARCOAL	11 ENTRANCE SIGN, BLACK
2c HARDIE PANEL REVEAL 2.0 R/W COLOUR MATCHED REVEALS, LIGHT GREY, MATTE FINISH	12 ALUMINUM FENCE SIMULATED WOOD
2d HARDIE PANEL REVEAL 2.0 R/W COLOUR MATCHED REVEALS, IVORY WHITE, MATTE FINISH	13 FROSTED GLASS, GOLDEN YELLOW
2e ROOFING MEMBRANE 'SUPREMA SOPRASTAR' WITH HIGH ALBEDO SRI VALUE 92	14 METAL & GLASS AWNINGS
3a FACE BRICK, REDDISH BROWN-MITAGE	15 FABRIC AWNINGS
3b FACE BRICK, MEDIUM GREY-REDDO	16 CYLINDRICAL LIP & DOWN WALL LIGHT
3c FACE BRICK, BLUSH CHARCOAL-ODAL CREEK	17 INTEGRATED COMMERCIAL LOUVERS
3d FACE BRICK, DARK BROWN-BOBOY	18 PANELS W/ REVEAL, CHARCOAL
3e FACE BRICK, CREAM BROWN-TAN TERRA	19 COMMERCIAL SIGN CHANNEL LETTERING ONLY
4a ROOF FLASHING, WHITE	20 ELEVATOR SHAFT DOG HOUSE
4b ROOF FLASHING, LIGHT GREY	21 AIR HANDLING UNITS
4c ROOF FLASHING, CHARCOAL	22 BENCHES
5a PAINTED CONCRETE, LIGHT GREY	23 BINE PACKS
5b EXPOSED CONCRETE W/ REVEALS	24 COMMERCIAL DUMPSTER SHED
5c CONCRETE BLOCK WALL, ZEMALL, GREY	25 ALUMINUM GAS METERS SCREENING, CHARCOAL
6 SUN SHADE LOUVERS, SIMULATED WOOD ALUMINUM	

**FLAT7** ARCHITECTURE

Unit 209-0221 King George Blvd  
Surrey BC V3N 1C7  
www.flat7architecture.ca  
central@flat7architecture.ca  
PH: 604-555-4484

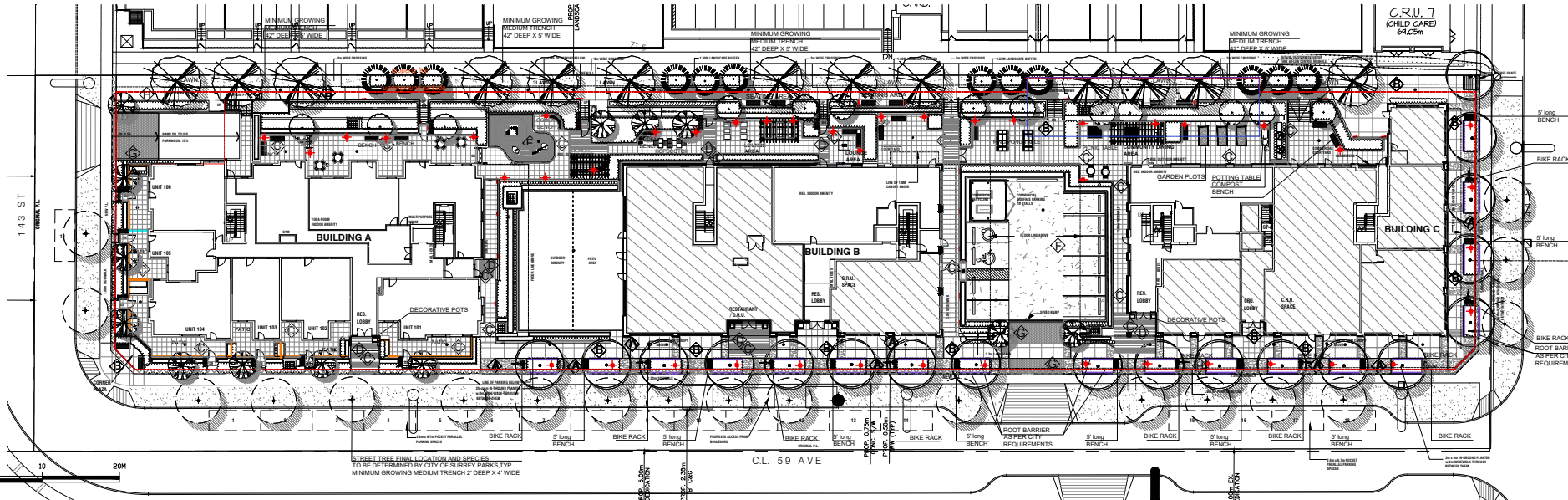
PROJECT INFO:  
SULLIVAN TOWN CENTRE  
14535, 14537, 14589 59 AVENUE, SURREY B.C.

CLIENT:  
Jaswinder Singh Parmar

NO.	DATE	DESCRIPTION

DATE	31/05/2024
PROJECT NO.	20-245
DRAWN BY:	A.R.C.
CHECKED BY:	R.W.
SCALE:	As indicated
REV NO.	

C3.2



**PLANT SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	PMG PROJECT NUMBER: 21-154
TREE	2	CHAMAECYPARIS N. 'VAN DEN AKKER'	WEeping Nootka Cypress	3M HT. B&B	
	13	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MADDENHAIR TREE	6CM CAL. 2M STD. B&B	
	12	MAGNOLIA ROBUSTA STELLATA PINK STAR	PINK STAR MAGNOLIA (LIGHT PINK)	5CM CAL B&B	
	13	PICEA OMORICA	SERBIAN SPRUCE	3CM HT. B&B	
	13	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	5CM CAL 1.5M STD. B&B	
	19	STYRAX JAPONICUS	JAPANESE SNOWBELL	6CM CAL B&B	

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW. MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY: \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE:  
 \* All soft landscape areas to be irrigated with automatic installation to I.I.A.B.C. Standards, latest edition.  
 \* Contractor to provide designed/installed high efficiency automatic irrigation systems to B&S2 standards, latest edition for all soft landscape areas.  
 Provide shop drawings for review by LA prior installation. Provide as built drawings at completion.

**PLANT SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	PMG PROJECT NUMBER: 21-154
	19	STREET TREE	TYPE AND LOCATION BY CITY	6CM CAL B&B	

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW. MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY: \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

**PAVER LEGEND**

	EXPOSED AGGREGATE
	SAW-CUT CONCRETE
	2x2' x 2' Vancouver Bay Architectural Slabs COLOR: GREY; BY MUTUAL MATERIALS
	2' x 1' Vancouver Bay Architectural Slabs COLOR: CHARCOAL; BY MUTUAL MATERIALS
	RUBBER TILE SAFETY ZONE SURFACE FOR PLAY AREA
	B.F. CONCRETE
	HOLLAND PAVERS HERRINGBONE PATTERN; CASCADE BLEND; BY MUTUAL MATERIALS

**SITE FURNITURE LEGEND**

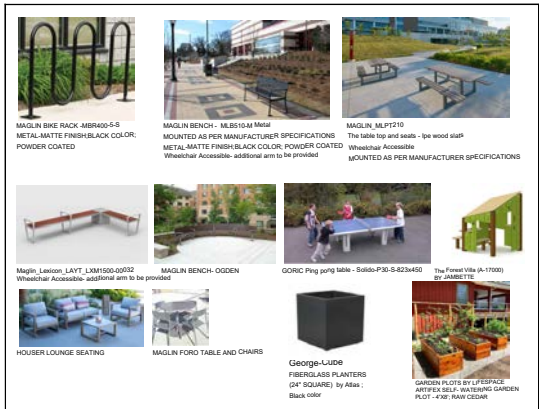
Symbol	Model
	BIKE RACK
	BENCH
	BOULDERS, BURY 1/8RD MIN 24" x MAX 48" DIAMETER
	LOG BALANCE STEPPER (ON END)
	PICNIC TABLE
	PING PONG TABLE
	FIBERGLASS DECORATIVE PLANTER

**LIGHTING LEGEND**

	BOLLARD LIGHT
	STEPLIGHT

\*CONCEPTUAL PLAN ONLY. REFER TO ELECTRICAL ENGINEERS FOR FINAL LAYOUT AND DETAIL.

	BOLLARD LIGHT, KOLLER Master200K LED Ballast B&T
	STEPLIGHT, KOLLER Step 241 12V



CLIENT: AMC INSURANCE SERVICES LTD.  
 WITH: FLAT ARCHITECTURE INC.

NO.	DATE	REVISION DESCRIPTION	DR.
1	24 MAR 23	0P RESUBMISSION	DD
11	24 MAR 23	NEW SITE PLAN	DD
10	24 APR 23	NEW SITE PLAN	DD
9	23 FEB 23	NEW SITE PLAN	DD
8	23 FEB 23	NEW SITE PLAN	DD
7	23 JAN 23	REVISION AS PER CITY COMMENTS	DD
6	23 NOV 22	REVISION AS PER ARCHITECT COMMENTS	DD
5	22 NOV 22	DETAIL FOR GARAGE ENCLOSURE	DD
4	22 MAR 22	ISSUED FOR BP	DD
3	22 FEB 22	PROJ REVISION	DD
2	22 JAN 23	NEW SITE PLAN	DD
1	21 DEC 22	REVISION SOUTH-WEST CORNER PLAZA	DD
3	21 SEP 23	REVISION AS PER CITY COMMENTS	DD

PROJECT: RESIDENTIAL / COMMERCIAL DEVELOPMENT  
 14335, 14357 & 14389 – 59 Avenue  
 SURREY  
 City file: 7818-0235-00

SCALE: DRAWING TITLE: DATE: August 12, 2021 DRAWING NUMBER: 21154-9 DP RESUBMISSION.ZIP

**LANDSCAPE PLAN**

DATE: August 12, 2021  
 SCALE: 1:250  
 DRAWN: DD  
 DESIGN: DD  
 CHK'D: PCM  
 DRAWING NUMBER: L1  
 PMG PROJECT NUMBER: 21-154

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**CITY OF SURREY**  
**HOUSING AGREEMENT**  
**Mixed-Use**

THIS HOUSING AGREEMENT made the \_\_\_\_\_ day of ~~May, 2024~~~~September,~~  
~~2024~~. BETWEEN:

**CITY OF SURREY**, a municipal corporation having its  
offices at 13450 – 104 Avenue, Surrey, B.C. V3T 1V8

(the “**City**”)

OF THE FIRST PART

AND:

**1259412 B.C. LTD.**, a corporation having its offices at 120-12888 80<sup>th</sup>  
Avenue, Surrey, BC V3W 3A8

WHEREAS:

- A. The Owner is the legal and beneficial owner of those certain lands and premises  
located in the City of Surrey, in the Province of British Columbia, legally described  
as:

Parcel Identifier: 010-206-175  
South Half Lot “C” Except: Firstly: the East 7 Feet and Secondly: Parcel Two  
(Bylaw Plan NWP87473) Section 9 Township 2 New Westminster District Plan  
16821

(the “**Lands**”);

- B. The Owner proposes to use a portion of the Lands for 3 buildings:

- 1) a four-storey apartment building;
- 2) a four-storey mixed-use apartment building; and
- 3) a five-storey mixed-use apartment building;

with approximately 1,306860 square meters of commercial space ~~and~~  
~~approximately 445 square meters of childcare space~~, 142160 Dwelling Units, with  
5258 of the Dwelling Units ~~being~~~~will be~~ Rental Units ~~and 31 of the Rental Units~~  
~~will be classified as Affordable~~

~~Rental Units with 20% below Market Rental Rates~~ (the “Development”) as proposed in Appendix I – Site Plan;

- C. The Developer has voluntarily agreed to enter into a housing agreement pursuant to Section 483 of the *Local Government Act*, R.S.B.C. 2015, Chapter 1, as amended, to ensure that the Rental Units are rented in accordance with this Agreement.

NOW THEREFORE in consideration of the premises herein and of the mutual covenants and agreements hereinafter set forth and contained herein and \$1.00 now paid by the City to the Developer (the receipt of which is hereby acknowledged), the parties hereto covenant and agree each with the other as follows:

## 1. **DEFINED TERMS**

1.1 In and for the purpose of this Agreement, in addition to the definitions on the first page of this document, the following terms shall have the following meanings:

- (a) **“Agreement”** means this housing agreement and any amendments to or modifications of the same;
- ~~(b) **“Affordable Rental Unit”** means 31 Dwelling Units located in Building C, which will be made available for rent at 20% below Market Rental Rates within the Development that are to be used and occupied in accordance with Sections 2.1 and 2.2 of this Agreement;~~
- (b) **“City”** means the City of Surrey and any person authorized by the City of Surrey, including assigns of whole or partial interest in this Agreement or of any of the rights conferred upon the City of Surrey by this Agreement;
- (c) **“City Personnel”** means all of the City’s elected and appointed officials, officers, employees, agents, nominees, delegates, permittees, contractors, subcontractors, invitees and the Approving Officer;
- (d) **“Claims and Expenses”** means all actions, causes of actions, suits, judgments, proceedings, demands, and claims, whether at law or in equity, losses, damages, expenses and costs (including legal fees and disbursements on an indemnity basis) of any kind or nature whatsoever, at law or in equity, for any damages, losses, injuries or death;
- (e) **“Development”** means as defined in Recital B;
- (f) **“Dwelling Unit”** means each of the ~~142460~~ dwelling units to be constructed within the Development;
- (g) **“Lands”** means the parcel of land situated in the City of Surrey, British Columbia and legally described in Recital A, and includes any parcel into which such land is consolidated or further subdivided (including a subdivision pursuant to the *Land Title Act* and a subdivision pursuant to the *Strata Property Act* of British Columbia);



- (h) ~~“Market Rental Rate” means the average rental rate per square foot for the Market Rental Units, as determined from time to time by the Owner;~~
- (i) ~~“Market Rental Unit” means the 27 Rental Units that are rented at Market Rental Rates, as may be determined from time to time by the Owner and which is not an Affordable Rental Unit.~~
- (h) “Owner” means the company named on the first page of this Agreement and the legal and beneficial owner at any given time and any successors in title of the Lands and, without limitation, if the Lands are subdivided by way of a strata plan under the *Strata Property Act* of British Columbia, then “Owner” includes the strata corporation thereby created;
- (i) “Rental Units” means the 5258 Dwelling Units within Building C as identified on Appendix I, ~~of which 31 are Affordable Rental Units and 27 are Market Rental Units,~~ which must be made available by the Owner to the general public at arms’ length for use as residential rental accommodation on a month-to-month or longer basis in accordance with all applicable laws including, without limitation, the *Residential Tenancy Act*, S.B.C. 2002, Chapter 78, as amended, and any regulations pursuant thereto; and
- (j) “Term” means 25 years, commencing on the first day of the month after the City issues an occupancy permit for the Development.

## 2. RESTRICTION ON OCCUPANCY OF DWELLING UNITS

- 2.1 During the Term the Rental Units must be made available for rent in accordance with this Agreement.
- ~~2.2 Each Affordable Rental Unit shall be rented at a rate that is a minimum of 20% below the average Market Rental Rate.”~~
- 2.2 The City may, from time to time, during the Term request the Owner to provide written proof of compliance with section 2.1 and the Owner agrees to provide, or cause an operator of the Lands to provide, the City with such proof in a form reasonably satisfactory to the City.
- 2.3 Throughout the Term, the Owner shall not sell or transfer the beneficial or registered title or any interest in and to the Rental Units, unless the Owner obtains from the transferee an agreement in writing from the transferee to assume and perform all of the obligations of the Owner arising under this Agreement.
- 2.4 This Agreement shall automatically terminate at the end of the Term and the City shall remove notice of this Agreement from title to the Lands at such time.
- 2.5 The City and the Owner agree that the restrictions on occupancy of the Dwelling Units set out in this Agreement shall not apply to other buildings located on the Lands.

**3. LIABILITY**

- 3.1 **Indemnity.** The Owner shall indemnify and save harmless the City and City Personnel from all Claims and Expenses which the City and City Personnel may suffer, or incur, or be put to, arising out of or in connection with any breach or default of any covenants or agreements on the part of the Owner contained in this Agreement, or arising out of, or in connection with the Development or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.2 **Release.** The Owner does hereby remise, release and forever discharge the City and City Personnel from all Claims and Expenses which the Owner may have against the City and City Personnel, which the Owner now has or hereafter may have with respect to or by reasons of or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.3 **Obligations Continue.** The Owner covenants and agrees that the indemnity and release in Sections 3.1 and 3.2 will remain effective and survive the expiration or termination of this Agreement whether by fulfilment of the covenants contained in this Agreement or otherwise.

**4. NOTICE**

- 4.1 Any notices or other documents to be given or delivered pursuant to this Agreement will be addressed to the proper party as follows:

- (a) As to the City:

City of Surrey  
13450 – 104 Avenue  
Surrey, BC V3T 1V8

Attention: General Manager, Planning and Development Department

- (b) As to the Owner:

1259412 B.C. LTD.  
120 – 12888 80<sup>th</sup> Avenue  
Surrey, BC V3W 3A8

Attention: Jaswinder Singh Parmar

or such other address as such party may direct. Any notice or other documents to be given or delivered pursuant to this Agreement will be sufficiently given or delivered if delivered to the particular party as its address set out or determined in accordance with this section and shall be deemed complete two (2) days after the day of delivery.

- 4.2 It is specifically agreed that for any notice or document to be validly given or delivered pursuant to this Agreement, such notice or document must be delivered

and not mailed.

## 5. **GENERAL**

- 5.1 **Joint and Several.** Where the Owner consists of more than one person, each such person will be jointly and severally liable to perform the Owner's obligations under this Agreement.
- 5.2 **Assignment by City.** This Agreement or any of the rights conferred by this Agreement upon the City may be assigned in whole or in part by the City with the prior written consent of the Owner.
- 5.3 **City's Other Rights Unaffected.** Nothing contained or implied herein will derogate from the obligations of the Owner under any other agreement with the City or, if the City so elects, prejudice or affect the City's rights, powers, duties or obligations in the exercise of its functions pursuant to the *Local Government Act* and the *Community Charter*, as amended from time to time and the rights, powers, duties and obligations of the City under all public and private statutes, by-laws, orders and regulations, which may be, if the City so elects, as fully and effectively exercised in relation to the Lands as if this Agreement had not been executed and delivered by the Owner and the City.
- 5.4 **Agreement for Benefit of City.** The Owner and the City hereby acknowledge, agree and declare that this Agreement is entered into for the sole purpose of benefitting the City and, in particular, acknowledge, agree and declare that this Agreement is not designed to protect or promote the interests of the Owner or any mortgagee of the Owner, or any future owner or occupier of the Lands and any improvements on the Lands or any other person and the City may, at its sole option, execute a release of this Agreement at any time without liability to any person for so doing.
- 5.5 **No Waiver.** The Owner acknowledges and agrees that no failure on the part of the City to exercise and no delay in exercising any right under this Agreement will operate as a waiver thereof, nor will any single or partial exercise by the City of any right under this Agreement preclude any other or future exercise thereof of the exercise of any other right.
- 5.6 **City Not Required to Prosecute.** The Owner agrees that the City is not required or is under no obligation in law or equity to prosecute or enforce this Agreement in any way whatsoever.
- 5.7 **Remedies.** The remedies provided for in this Agreement will be cumulative and not exclusive of any other remedies provided by law or in equity. In addition to any remedies which are available under this Agreement or at law, the City will be entitled to all equitable remedies, including, without limitation, specific performance, injunction and declaratory relief, or any combination thereof, to enforce its rights under this Agreement. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy for a default by the Owner under this Agreement.

- 5.8 **Severability.** All the obligations and covenants in this Agreement are severable, so that if any one or more of the obligations or covenants are declared by a court of competent jurisdiction to be void and unenforceable, the balance of the obligations and covenants will remain and be binding.
- 5.9 **City Court Costs.** In an action to enforce this Agreement in respect of which the court determines that the position of the City will prevail, the City will be entitled to court costs on at the discretion of the Court on a solicitor-client basis.
- 5.10 **Subdivision/Consolidation.** If the Lands are subdivided or consolidated at any time hereafter either under the provisions of the *Land Title Act* or under the *Strata Property Act*, then upon the deposit of a plan of subdivision, strata plan, consolidation plan or similar plan or application as the case may be the rights, benefits, burdens, obligations, and covenants contained in this Agreement will continue to charge each of the new parcels, lots, or other subdivided or consolidated parcels and areas so created.
- 5.11 **Subdivision by Strata Plan.** If the Lands, or any portion thereof, are subdivided by a strata plan, this Agreement will charge title to the strata lots and the common property comprising such strata plan and:
- (a) this Agreement will be registered against each individual strata lot and noted on the common property sheet;
  - (b) the strata corporation or the strata corporations created will perform and observe the Owner's covenants in this Agreement, solely at the expense of the strata lot owners; and
  - (c) the liability of each strata lot owner for the performance and observance of the Owner's covenants herein will be in proportion to the unit entitlement of his, her or its strata lot as established by the strata plan.
- 5.12 **Personal Representatives and Successors.** This Agreement shall enure to the benefit of and be binding upon the parties hereto and their personal representatives, respective heirs, executors, administrators, successors, and assigns.
- 5.13 **Governing Law.** This Agreement will be governed by and construed in accordance with the laws of the Province of British Columbia and the laws of Canada applicable in British Columbia.
- 5.14 **Priority.** The Owner shall at the sole expense of the Owner, do or cause to be done all acts reasonably necessary to grant priority to this Agreement over all charges and encumbrances which may have been registered against the title to the Lands at the Land Title Office save and except those specifically approved in writing by the City.
- 5.15 **Further Assurances.** The Owner shall do, or cause to be done, all things and execute or cause to be executed all documents and give such further and other assurances which may be reasonably necessary to give proper effect to the intent

of this Agreement.

- 5.16 **Counterparts.** This Agreement may be executed in any number of counterparts and delivered via facsimile or e-mail, each of which will be deemed to be an original and all of which taken together will be deemed to constitute one and the same instrument, provided that any party delivering this Agreement via facsimile or e-mail will deliver to the other party any originally executed copy of this Agreement forthwith upon request by the other party.
- 5.17 **Entire Agreement.** This Agreement represents the entire agreement between the City and the Owner regarding the matters set out in this Agreement and supersedes all prior agreements, letters of intent or understandings about these matters.

IN WITNESS WHEREOF the City of Surrey and the Owner have executed this Agreement under seal of their duly authorized officers as of the references of this Agreement.

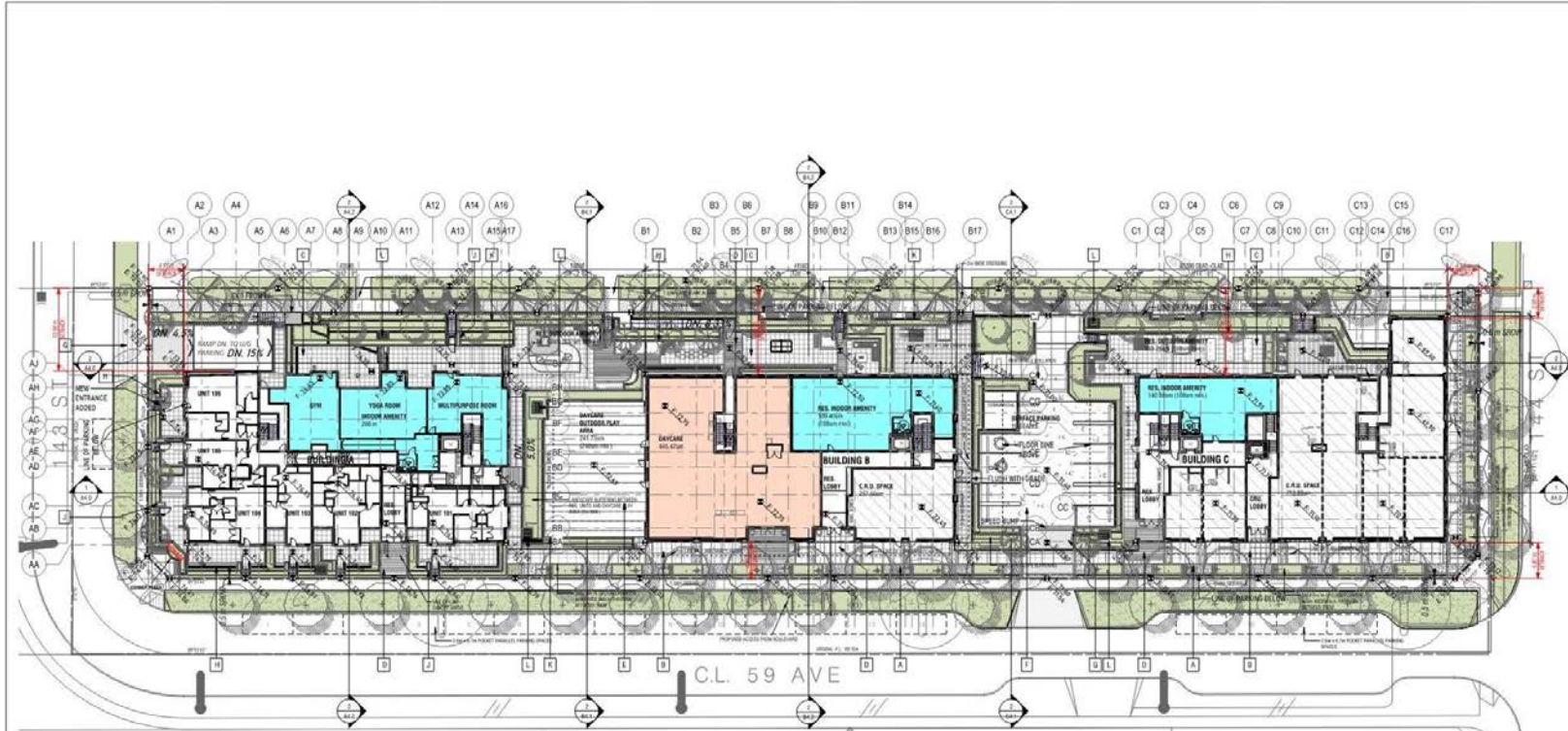
**CITY OF SURREY**

By: \_\_\_\_\_  
 Authorized Signatory  
 Brenda Locke,  
 Mayor  
 City of Surrey

By: \_\_\_\_\_  
 Authorized Signatory  
 Jennifer Ficocelli, City Clerk and Director  
 of Legislative Services  
 City of Surrey

**1259412 B.C. LTD.**

By: \_\_\_\_\_  
 Authorized Signatory  
 Name: Jaswinder Singh Parmar  
 Title: President



**1 SITE PLAN**  
SCALE: 1:250



**LEGEND**

- A EXPOSED AGGREGATE
- C CONCRETE PAVERS
- D CONCRETE SLAB FOR SURFACE PARKING
- E SPECIALTY PAVERS FOR PARKING ENTRANCE
- F ZENWALL CONCRETE BLOCK WALL
- G PARKING VENT GRATING AT GRADE 1.2m x 0.9m
- H SAW-CUT CONCRETE
- I SPECIALTY PAVERS FOR RESIDENTIAL ENTRANCE
- J RUBBER TILE SAFETY ZONE FOR PLAY AREA
- K CONCRETE WALL FLUSH WITH GRADE
- L DECORATIVE ENTRY-ARCHITECTURAL CONCRETE WALL

**AMENITY AREA**

- RESIDENTIAL AMENITY AREA
- DAY CARE AMENITY



Unit 210, 401 King George Road  
Surrey, BC V3R 4G7  
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info@flatiarchitecture.ca  
PH: 604-553-8434

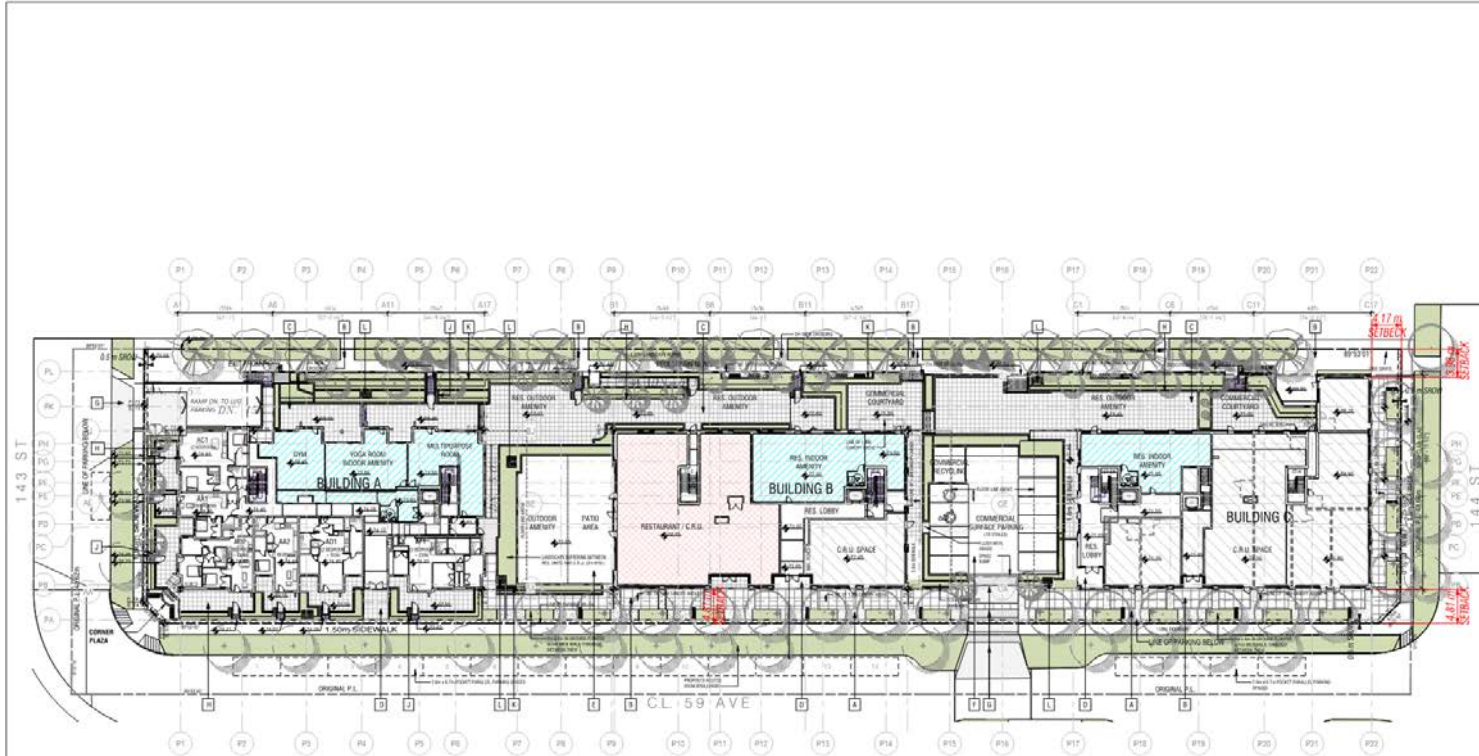
PROJECT INFO:  
SULLIVAN TOWN CENTRE  
14336, 14337, 14339 59 AVENUE, SURREY, B.C.

CLIENT:

NO.	DESCRIPTION	DATE	BY



DATE	10/02/2023
PROJECT NO	20-245
DRAWN BY	Author
CHECKED BY	
TITLE	SITE PLAN
SCALE	1:250
REV NO	



**1 SITE PLAN**  
SCALE: 1 : 250

- LEGEND**
- EXPOSED AGGREGATE
  - CONCRETE PAVERS
  - CONCRETE SLAB FOR SURFACE PARKING
  - SPECIALTY PAVERS FOR PARKING ENTRANCE
  - SMALL CONCRETE BLOCK WALL
  - PARKING VENT GRATING AT GRADE 1.3m x 0.8m
  - SAWN CUT CONCRETE
  - SPECIALTY PAVERS FOR RESIDENTIAL ENTRANCE
  - RUBBER TILE SAFETY ZONE FOR PLAY AREA
  - DECORATIVE ENTRY ARCHITECTURAL CONCRETE WALL
  - CONCRETE WALL FINISH WITH GRADE
- AMENITY AREA**
- RESIDENTIAL AMENITY AREA
  - RESTAURANT C.U.I.



Unit 208-202 King George Blvd  
Burnaby BC V5H 1S1  
www.flatarchitecture.ca  
info@flatarchitecture.com  
Ph: 604-553-4884

PROJECT INFO:  
SULLIVAN TOWN CENTRE  
1433, 1437, 1439 59 AVENUE, SURREY B.C.

CLIENT:  
Jasvinder Singh Parmar

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITS	2024	JSP

DATE: 2/24/2024	SITE PLAN
PROJECT NO: 202401	
DESIGNED BY: JSP	REV NO:
CHECKED BY: JSP	
SCALE: As indicated	

**City of Surrey  
ADDITIONAL PLANNING COMMENTS**

Application No.: 7918-0235-00

Planning Report Date: September 27, 2021

**PROPOSAL:**

- **NCP Amendment** for changes to the Local road network
- **Rezoning** from RA to CD (based on RM-70 and C-5)
- **Development Permit**
- **Development Variance Permit**
- **Housing Agreement**

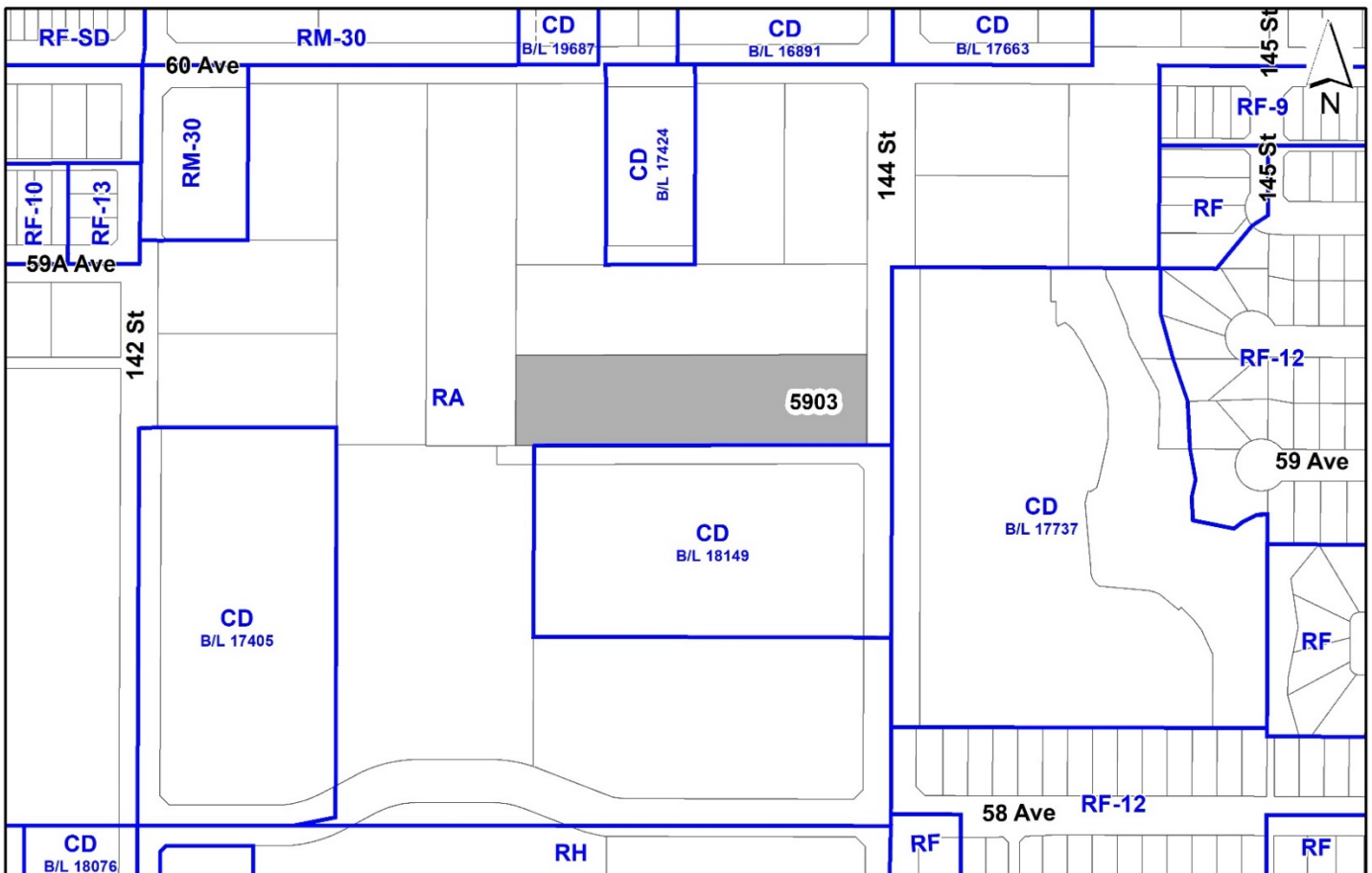
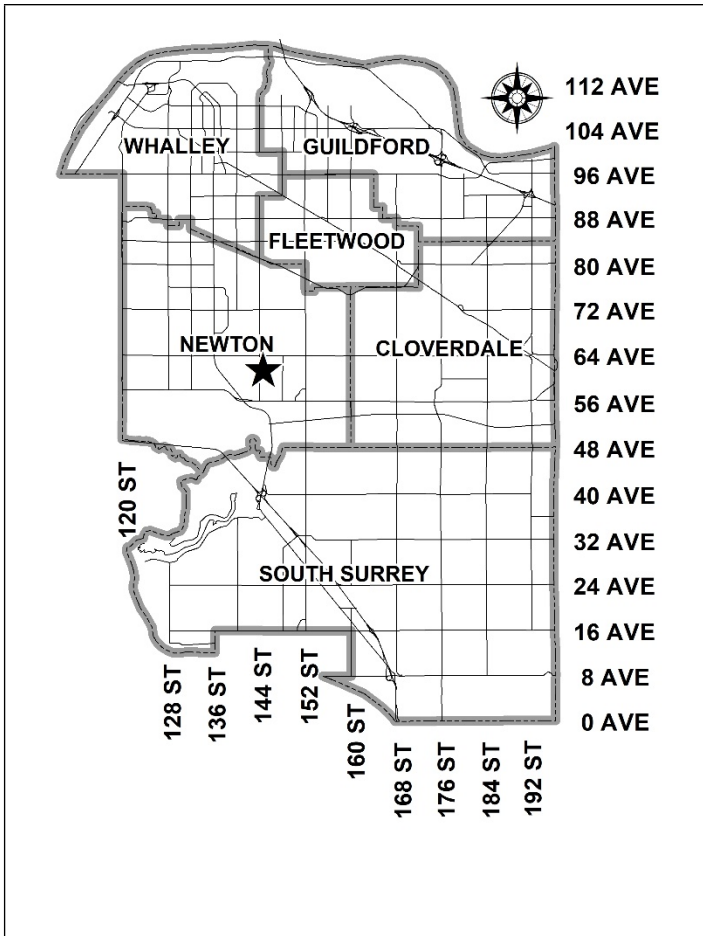
to permit the development of one 4-storey apartment building, one 4-storey mixed-use residential-commercial apartment building, and one 5-storey mixed-use residential-commercial rental apartment building with a non-market component.

**LOCATION:** 5903 - 144 Street

**ZONING:** RA

**OCP DESIGNATION:** Multiple Residential

**NCP DESIGNATION:** "Mixed Commercial-Residential (Apartments)" and "Proposed Parks and Walkways"





## RECOMMENDATION SUMMARY

- Council rescind Resolution No. R19-2095 granting Third Reading and Resolution No. R19-1964 giving Second Reading to Rezoning Bylaw No. 19993 at the December 2, 2019, Regular Council - Public Hearing meeting and the November 18, 2019, Regular Council – Land Use meeting, respectively.
- Council amend Rezoning Bylaw No. 19993 by amending Section D, Density, Section E, Lot Coverage, and Section G, Height of Buildings.
- Council consider Second Reading of Rezoning Bylaw No. 19993, as amended, and if granted, set a date for Public Hearing.
- By-law Introduction, First, Second and Third Reading for a Housing Agreement.
- Approval for Development Variance Permit to proceed to Public Notification.
- Approval to draft amended Development Permit for Form and Character.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing an amendment to the South Newton Neighbourhood Concept Plan (NCP) for changes to the Local road network.
- The applicant is proposing to reduce the required parking rate for the residential units.

## RATIONALE OF RECOMMENDATION

- The Planning and Development Report for Development Application No. 7907-0127-00 was considered by Council at the Regular Council – Land Use Meeting on November 18, 2019. The NCP Amendment was supported by Council and the Rezoning Bylaw (CD Bylaw No. 19993) was granted Third Reading by Council at the Regular Council - Public Hearing meeting on December 2, 2019.
- The applicant has subsequently revised the proposal and is seeking an amendment to the proposed "Comprehensive Development Zone (CD) (Bylaw No. 19993)" in order to increase the proposed density, building height, and lot coverage.
- In order to facilitate the requested revisions, an amendment to "Comprehensive Development Zone (CD) (Bylaw No. 19993)" is required.
- An amendment to the draft Development Permit drawings is also proposed in order to accommodate changes to the floor plans and resulting exterior modifications. The proposed changes are generally reflective of the previous draft Detailed Development Permit drawings that were supported by Council on November 18, 2019.

- 
- The proposed changes include the increase in density and increase in building height to Building C, which is proposed to add an additional storey (5 storeys in total). The additional density and building height will facilitate the provision of 24 market rental and 29 non-market rental units for Building C which will be regulated by a Housing Agreement that guarantees the form and tenure of the 53 rental units proposed, for a period of twenty-five (25) years.
  - The proposed increase to the FAR from 1.5 to 1.74 exceeds the maximum density in the Multiple Residential land use designation in the Official Community Plan of 1.5; however, this land use designation allows for bonus density above the Plan in exchange for sufficient community amenities. In this regard, the applicant is proposing approximately 0.56 of the 1.74 FAR as rental units, with 55% of the rental units being allocated as "non-market" rental with rates set at 20% below market rental rate. The rental units will be administered under a Housing Agreement.
  - The provision of community amenities is sufficient to allow the increase in density in accordance with the provisions of the Multiple Residential land use designation.
  - The building design, orientation, and material selection are of high quality and complementary to the other existing and approved buildings in the surrounding area.
  - The proposed street-fronting setbacks achieve a more urban, pedestrian-oriented streetscape that will enhance the public realm. The reduced setbacks are consistent with existing or recently approved applications in South Newton.
  - The proposed reduced parking rate is reflective of recent changes to the Zoning Bylaw that were brought forward at the June 14, 2021, Regular Council – Public Hearing meeting under Corporate Report R115. The proposed changes have not been formally adopted into the Zoning Bylaw and therefore, the proposed reduced parking rate for the residential units in the subject application requires a Development Variance Permit.

**RECOMMENDATION**

The Planning & Development Department recommends that:

1. Council rescind Resolution No. R19-2095 granting Third Reading of Rezoning By-law No. 19993 at the December 2, 2019, Regular Council – Public Hearing meeting.
2. Council rescind Resolution No. R19-1964 granting Second Reading to Rezoning Bylaw No. 19993 at the November 18, 2019, Regular Council – Land Use meeting.
3. Council amend By-law No. 19993 to incorporate the following revised density, height, lot coverage, land use, and DCC By-law provisions:
  - (a) Maximum floor area ratio amended from 1.50 to 1.74;
  - (b) Maximum building height amended from 14.6 metres to 18.9 metres;
  - (c) Maximum lot coverage increased from 45% to 48%;
  - (d) Inclusion of small-scale drug store as a permitted use; and
  - (e) Amend the Development Cost Charge (DCC) By-law referenced to the most recent DCC By-law, 2020, No. 20129.
4. Council approve Development Variance Permit No. 7918-0235-00 (Appendix VIII) varying the following, to proceed to Public Notification:
  - (a) The parking rate for the residential units is reduced for 1-bedroom units from 1.3 spaces per dwelling unit to 1.28 spaces per dwelling unit; from 1.5 spaces per dwelling unit to 1.28 spaces per dwelling unit with 2 or more bedrooms; and from 0.2 spaces per dwelling unit for visitor parking to 0.16 spaces per dwelling unit for visitor parking.
5. Council consider Second Reading of Comprehensive Development Zone (CD) (Bylaw No. 19993), as amended, and if granted, set a date for Public Hearing.
6. Council authorize staff to draft the amended Development Permit No. 7918-0235-00 generally in accordance with the attached drawings (Appendix I).
7. A By-law be introduced to enter into a Housing Agreement and be given First, Second and Third Reading.
8. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
  - (c) Approval from the Ministry of Transportation & Infrastructure;

- (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (g) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
  - (h) the applicant enter into a Housing Agreement with the City to restrict all 53 dwelling units in Building C on the subject site to rental housing, 29 of which are to be restricted to affordable rental units, for a period of 25 years;
  - (i) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (j) submission of an acoustical report for the units adjacent to 144 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
  - (k) registration of a Section 219 Restrictive Covenant to adequately address the City’s needs with respect to Public Art, Affordable Housing, and/or Capital Projects Community Amenity Contributions, to the satisfaction of the General Manager, Planning & Development Services; and
  - (l) registration of a Section 219 Restrictive Covenant requiring the applicant to pay all deferred financial contributions for Public Art, Affordable Housing, and/or Capital Projects Community Amenity Contributions for the development should the project be converted from rental and affordable rental housing to market units at any point in the future, after expiry of the Housing Agreement.
9. Council pass a resolution to amend the South Newton Neighbourhood Concept Plan (NCP) to amend the local road network when the project is considered for final adoption.

**SITE CONTEXT & BACKGROUND**

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Residential acreage lot with an existing house that is to be demolished	"Mixed Commercial-Residential (Apartments)" and "Proposed Parks and Walkways"	RA

Direction	Existing Use	NCP Designation	Existing Zone
North:	Single Family Residential (Currently being reviewed under Development Application No. 7918-0081-00 to allow for two 4 storey mixed-use commercial / residential building which is pre-Council)	Apartments (45 upa max), Mixed Commercial-Residential (Apartments), and Proposed Parks & Walkways	RA
East (Across 144 St.):	Multiple Family Residential	Townhouses (20 upa max)	CD (Bylaw No. 17737)
South:	City owned park with private tennis facilities	Existing & Future Parks	CD (Bylaw No. 18149)
West:	Single Family Residential (Development Application No. 7917-0069-00 to permit 39 townhouses received Third Reading on April 15, 2019).	Townhouses (15 upa max), Proposed Parks and Walkways	RA

### Context & Background

- The subject development application was considered by Council at the Regular Council – Land Use meeting on November 18, 2019, where First and Second readings were granted to the proposed Rezoning Bylaw (No. 19993).
- At the December 2, Regular Council – Public Hearing meeting, Council granted Third Reading to Comprehensive Development Zone (CD) (Bylaw No. 19993) (Resolution No. R19-2095).
- The applicant has subsequently revised the proposal and is seeking amendments to the Rezoning Bylaw (No. 19993) to increase the proposed density, the maximum building height, and the maximum lot coverage; and to the draft Development Permit drawings in order to accommodate changes to the floor plans and resulting exterior modifications. The proposed changes are generally reflective of the previous draft Detailed Development Permit drawings that were supported by Council on November 18, 2019.

### DEVELOPMENT PROPOSAL

#### Planning Considerations

- The revised proposal includes an NCP Amendment for changes to the local road network and to rezone the site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" and a Form and Character Development Permit to facilitate the development of one four-storey residential apartment building, one four-storey mixed-use commercial-residential apartment building, and one five-storey mixed-use commercial residential apartment building that contains 100% rental units with an affordable housing component.

- The proposed development consists of 144 residential dwelling units, 860 square metres of commercial space, which includes approximately 10 commercial/retail units, and a 445 square daycare facility.
- The original proposal that was granted Third Reading at the December 2, 2019, Regular Council – Public Hearing meeting proposed a net density of 1.50 with all residential units provided as market condos. The new proposal adds an additional 1,971 square metres of residential floor area to Building C and instead allocates the entirety of the 53 units in Building C as rental, 29 of which will be offered as affordable rental units. The affordable rental units will be offered at 20% below market rates. The average market rent rate is determined from time to time by the owner.
- The proposed increase in density from 1.5 FAR to 1.74 FAR is considered reasonable given that the increase in density will support the provision of both market rental and affordable rental units which are a community benefit.
- The proposed increase to the FAR from 1.5 to 1.74 exceeds the maximum density in the Multiple Residential land use designation in the Official Community Plan of 1.5; however, this land use designation allows for bonus density above the Plan in exchange for sufficient community amenities. In this regard, the applicant is proposing approximately 0.56 of the 1.74 FAR as rental units, with 55% of the rental units being allocated as "non-market" rental with rates set at 20% below market rental rate. The rental units will be administered under a Housing Agreement.
- The provision of community amenities is sufficient to allow the increase in density in accordance with the provisions of the Multiple Residential land use designation.
- The proposed use, density and building massing are appropriate for this part of South Newton and are consistent with the form of development that has been constructed or which are proposed on the lands on the southwest corner of 60 Avenue and 144 Street intersection.

	Proposed
<b>Lot Area</b>	
Gross Site Area:	9,187 square metres
Road Dedication:	2,342 square metres
Undevelopable Area:	n/a
Net Site Area:	6,845 square metres
<b>Number of Lots:</b>	1
<b>Building Height:</b>	Building A: 14.9 metres Building B: 14.8 metres Building C: 18.9 metres
<b>Unit Density:</b>	n/a
<b>Floor Area Ratio (FAR):</b>	1.74
<b>Floor Area</b>	
Residential:	11,279 square metres
Commercial:	860 square metres
Daycare:	445 square metres
Total:	12,584 square metres

	Proposed
<b>Residential Units:</b>	
Studio:	0
1-Bedroom/1-Bedroom + Den:	76
2-Bedroom/2-Bedroom + Den:	66
3-Bedroom:	2
Total:	144

**Referrals**

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 56 of school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

- 22 Elementary students at Goldstone Park Elementary School
- 23 Secondary students at Sullivan Heights School

(Appendix III)

**Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.**

Parks, Recreation & Culture: No concerns.

Ministry of Transportation & Infrastructure (MOTI): No concerns.

Surrey Fire Department: No concerns.

Advisory Design Panel: The revised proposal was not referred to the ADP due to the relatively minor revisions to the overall proposal, but was reviewed by staff, including the City Architect, and found satisfactory.

The revised proposal maintains a similar character to the original proposal that was previously supported by the ADP when this project was presented on August 8, 2019.

The previous proposal was considered at the ADP meeting on August 8, 2019. The comments received were primarily related to site, form and character, landscaping, sustainability, and accessibility. The applicant has resolved the outstanding items from the ADP review to the satisfaction of the City Architect.

### Transportation Considerations

- The Engineering Department – Transportation Division requested the amendment to the local road network as part of Development Application No. 7917-0069-00 (west of the subject site) by extending 143 Street through to the south property line, in place of the "Proposed Parks and Walkways" strip shown in the NCP. 143 Street will be constructed to a local standard with sidewalks and street trees, which will meet the intent of the walkway by providing a desirable pedestrian connection. The proposed amendment is intended to improve the local road network by improving street connectivity.
- The proposed reduced parking rate is reflective of recent changes to the Zoning Bylaw that were brought forward at the June 14, 2021, Regular Council – Public Hearing meeting under Corporate Report R115. The proposed changes have not been formally adopted into the Zoning Bylaw and therefore, the proposed reduced parking rate for the residential units in the subject application requires a Development Variance Permit.
- The parking for the commercial/daycare floor space within Building B and C conform to the minimum parking requirements in the Zoning Bylaw.

### Housing Agreement

- The proposed Housing Agreement will regulate the 53 dwelling units in the proposed 5-storey mixed-use rental apartment building (Building C).
- Section 483 of the *Local Government Act* authorizes Local Governments to enter into Housing Agreements for rental and affordable housing.
- Typically, Housing Agreements include the terms and conditions agreed to by the Local Government and the owner regarding:
  - The form and tenure of the housing units;
  - The occupancy of the housing units identified in the agreement (including their form of tenure and their availability to the classes of persons identified in the agreement);



- The administration of the units (including the means by which the units will be made available to intended occupants); and
- The rents and lease prices of units that may be charged and the rates at which these can be increased over time.
- The attached Housing Agreement (Appendix VI) will be adopted by Bylaw and registered on title of the property. The agreement will restrict 29 of the proposed 53 units within Building C to affordable rental units and the remaining 24 units will be restricted to market rental, for a period of twenty-five (25) years.
- The affordable rental units will be offered at 20% below market rates. The average market rent rate is determined from time to time by the owner.
- The City may from time to time require that the owner of the building provide written proof of compliance with the Housing Agreement.
- The Housing Agreement Bylaw will be brought forward for final adoption concurrently with the issuance of the Development Permit, once all the outstanding conditions associated with the application are fulfilled.

## **POLICY & BY-LAW CONSIDERATIONS**

### **Official Community Plan**

- The proposed increase to the FAR from 1.5 to 1.74 exceeds the maximum density in the Multiple Residential land use designation of 1.5; however, this land use designation allows for bonus density above the Plan in exchange for sufficient community amenities. In this regard, the applicant is proposing approximately 0.56 of the 1.74 FAR as rental units, with 55% of the rental units being allocated as "non-market" rental with rates set at 20% below market rental rate. The rental units will be administered under a Housing Agreement.
- The provision of community amenities is sufficient to allow the increase in density and therefore, no Official Community Plan Amendment is required.

### **CD By-law Amendment**

- The applicant is proposing to amend "Comprehensive Development Zone (CD Bylaw No. 19993)" to accommodate one 4-storey residential apartment building, one 4-storey mixed commercial-residential apartment building, and one 5-storey mixed commercial-residential rental apartment building that contains 100% rental units with an affordable housing component on the subject site. The amended CD By-law for the proposed development site identifies the uses, densities and setbacks proposed. The CD By-law will have provisions based on the "Multiple Residential 70 Zone (RM-70)" and the "Neighbourhood Commercial Zone (C-5)".

- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone, C-5 Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	C-5 Zone (Part 35)	Proposed CD Zone
<b>Floor Area Ratio:</b>	1.50	0.50	1.74
<b>Lot Coverage:</b>	33%	50%	48%
<b>Yards and Setbacks (principal buildings)</b>	7.5 m to all lot lines		North: 3.7 m East: 4.0 m South: 4.3 m West: 4.6 m
<b>Principal Building Height:</b>	50 m	9.0 m	18.9 m
<b>Permitted Uses:</b>	<ul style="list-style-type: none"> <li>• Multiple unit residential buildings</li> <li>• Ground-oriented multiple unit residential buildings</li> <li>• Child care centres</li> </ul>	<ul style="list-style-type: none"> <li>• Neighbourhood scale commercial uses (list in details in Section B.1 and B.2 of the C-5 Zone)</li> </ul>	<ul style="list-style-type: none"> <li>• Multiple unit residential buildings, ground-oriented multiple unit residential buildings, and all uses permitted under Section B.1 of the C-5 Zone with the exception of Neighbourhood Pub and Gymnasium.</li> <li>• The CD By-law will also restrict eating establishment to a maximum floor area of 150 square metres and the childcare facility to a maximum floor area of 445 square metres</li> <li>• CD Bylaw also adds "small-scale drug store" as a permitted used.</li> </ul>

<b>Amenity Space</b>			
Indoor Amenity:	432 square metres	432 square metres	The proposed 440.5 m <sup>2</sup> + 216 m <sup>2</sup> of daycare space meets the Zoning By-law requirement.
Outdoor Amenity:	432 square metres	432 square metres	The proposed 447m <sup>2</sup> meets the Zoning By-law requirement.
<b>Parking (Part 5)</b>		<b>Required</b>	<b>Proposed</b>
<b>Number of Stalls</b>			
Commercial (Commercial-Retail Units/Daycare):		45	45
Residential:		185	194
Residential Visitor:		23	23
Total:		253	262
<b>Bicycle Spaces</b>			
Residential Secure Parking:		173	176
Residential Visitor:		18	18

- The proposed amendments to CD Bylaw (No. 19993) include an increase to the permitted floor area from 1.50 to 1.74, an increase in building height from 14.6 metres to 18.9 metres, and an increase in lot coverage from 45% to 48%. The increase in density above 1.50 is needed to achieve the additional affordable rental units in Building C.
- The proposed CD Bylaw reduces the building setbacks along all lot lines. The proposed setbacks for the mixed-use buildings encourages a more urban streetscape consistent with similar developments in the City.
- The RM-70 has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The 48% lot coverage that is proposed is appropriate for the 4 and 5-storey buildings.
- The proposed height of 18.9 is less than the maximum building height of 50 metres of the RM-70 Zone.
- The proposed CD Bylaw will permit all uses under Section B.1 of the C-5 Zone, with the exception of Neighbourhood Pub and Gymnasium. The CD Bylaw will also restrict eating establishment to a maximum floor area of 150 square metres, and a childcare facility to a maximum floor area of 445 square metres in order to ensure that the parking requirements in the Zoning Bylaw can be met.
- In addition, the applicant proposes to add small-scale drug store as a permitted use. The CD Bylaw will restrict the small-scale drug store with the following provisions:
  - The small-scale drug store shall not exceed a total gross floor area of 372 square metres;
  - The small-scale drug store is an accessory use only to offices of medical doctors;

- There is not more than one small-scale drug store on the lot; and
- The small-scale drug store is contained in the same principal building as the medical doctors' offices.

### **Capital Projects Community Amenity Contributions (CACs)**

- On December 16, 2019, Council approved the City's Community Amenity Contribution and Density Bonus Program Update (Corporate Report No. R224; 2019). The intent of that report was to introduce a new City-wide Community Amenity Contribution (CAC) and updated Density Bonus Policy to offset the impacts of growth from development and to provide additional funding for community capital projects identified in the City's Annual Five-Year Capital Financial Plan.
- The proposed development, other than the proposed rental units, will be subject to the Tier 1 Capital Plan Project CACs. The contribution will be payable at the rate applicable at the time of Building Permit.
- The proposed development will not be subject to the Tier 2 Capital Plan Project CACs as the proposal complies with the provisions of the sites OCP designation and the South Newton Neighbourhood Concept Plan designation.

### **Affordable Housing Strategy**

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- The applicant will be required to register a Section 219 Restrictive Covenant to address the City's needs with respect to the City's Affordable Housing Strategy.
- 53 of the proposed 144 units are proposed as purpose-built rental and will not be subject to the Affordable Housing Strategy contribution.

### **Public Art Policy**

- The applicant will be required to provide public art or register a Restrictive Covenant agreeing to provide cash-in-lieu, at a rate of 0.5% of construction value, to adequately address the City's needs with respect to public art, in accordance with the City's Public Art Policy requirements. The applicant will be required to resolve this requirement prior to consideration of Final Adoption.
- Since 53 of the proposed 144 units are proposed as purpose-built rental, only a portion of the proposal (all of Building A and Building B) will be subject to the Public Art contribution.

## **PUBLIC ENGAGEMENT**

- Pre-notification letters were sent again on September 10, 2021, and the Development Proposal Sign was installed on September 13. Staff did not receive any additional feedback.
- Pre-notification letters were originally sent out on August 18, 2019, and the Development Proposal Sign was originally installed on March 13, 2019. At that time, staff received one response from a neighbouring resident (see Appendix IX) for Previous Planning Report No. 7918-0235-00).

## **DEVELOPMENT PERMITS**

### **Form and Character Development Permit Requirement**

- The proposed development is subject to a Development Permit for Form and Character and is also subject to the urban design guidelines in the South Newton Neighbourhood Concept Plan (NCP).
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP and the design guidelines in the South Newton Neighbourhood Concept Plan (NCP).
- The buildings are organized on the site to make pedestrian linkages safe and interesting while accommodating convenient parking for the proposed retail units within Buildings B and C.
- The frontages of the mixed-use buildings will consist of approximately 10 ground floor commercial retail units (CRU) oriented towards 144 Street and the future 59 Avenue. The CRUs are anticipated to range in size from 50 square metres to 257 square metres. The units can be combined to create larger commercial/retail units at the time of a tenant improvement/building permit application.
- The proposed residential dwelling units range from 52 square metres for a 1-bedroom unit to 102 square metres for a three-bedroom unit and are comprised of 76 1-bedroom/1-bedroom plus den units, 66 2-bedroom/2-bedroom plus den units, and 2 3-bedroom plus den units.
- All three buildings share similar character traits but are expressed differently to reflect its programming and context. The westernmost residential-only building carries a strong 2-storey emphasis at grade, sympathetic to a townhouse expression of details and scale. The middle and easternmost mixed-use buildings' ground floor commercial is visually connected to the street with ample transparency, while the residential storeys above are pronounced with a deeper modularity of solid walls and fenestration. The overall expression is consistent with other existing and approved development applications in South Newton.
- The buildings have a modest form with a modulated arrangement of window bays and recessed balconies, delineated through alternating materials to create visual interest with smaller building proportions. The buildings are capped with a flat roof with varying parapet heights to highlight the window bays.

- The uppermost storey added to Building C is stepped back significantly from the floor below (approximately 4 metres) along both street frontages. The building massing therefore maintains the appearance of a four-storey building from the street as the uppermost storey is set back from view.
- The primary building materials include fibre-cement and aluminum panels in neutral colours. High quality brick veneer accent is featured in the proposal. The commercial retail unit fronts are comprised of store-front glazing, accented and divided with brick veneer pilasters for a substantial and durable appearance.

### Landscaping

- The landscape plan proposes a total of 75 trees to be planted throughout the subject site including coniferous and deciduous trees.
- A significant number of shrubs and ground cover species are proposed throughout the subject site.
- The 144 Street and 59 Avenue commercial frontages will have a split sidewalk design, comprised of alternating in-ground tree planters with shrubs and paving walk-throughs, equal width to the planters.
- A corner plaza is located at the future intersection of 59 Avenue and 143 Street and provides benches for seating and in-ground planters. The character of the plaza will comply with the public realm guidelines for South Newton.
- The applicant is proposing a 1.5 metre landscape buffer along the entire length of the north property line, which will consist of a pedestrian mews comprised of a 1.5 metre-wide walkway located on the property line. The adjacent development application to the north (Development Application No. 7918-0081-00 which is currently pre-Council) will coordinate with the subject development and provide an additional 1.5 metre-wide landscape buffer along the entire length of their south property line. Once both applications are complete, a combined 6 metre pedestrian mews and landscape buffer will be provided between both sites.

### Indoor Amenity

- The required indoor amenity space is 432 square metres, while the applicant is proposing to provide 440.5 square metres on site, along with 445 square metres of child care space. The Zoning Bylaw permits 1.5 square metres per dwelling unit of child care space being provided to be counted toward the indoor amenity space requirement. As the applicant proposes 144 dwelling units, this results in 216 square metres of floor area that can be counted towards the indoor amenity space requirement. Together, the allowable child care space and the indoor amenity space in each building results in a total of 656 square metres, which meets the minimum requirement.

- Each of the three buildings is proposed to have a central indoor amenity room on the ground floor with space facing an external courtyard. Each of the indoor amenity spaces includes a sitting area, kitchen, and entertainment area with extra room for additional programming.

### Outdoor Amenity

- The required outdoor amenity space is 432 square metres, while the applicant is proposing to provide 447 square metres, which meets the Zoning Bylaw requirement for outdoor amenity space.
- Buildings A and B will share an outdoor amenity space at the rear (north side) of Building B.
- The outdoor amenity area shared between residents of Building A and B includes the following elements:
  - Children's nature play area with rubber tile surface and boulders;
  - Ping pong table; and
  - Multiple seating options.
- The outdoor amenity area for Building C is also located at the rear (north side) of the building. The outdoor amenity area for Building C includes the following elements:
  - Lounge area;
  - BBQ; and
  - Raised garden planters and a potting table.
- Between Buildings B and C, there is a central plaza area that is hardscaped with saw-cut concrete pavers, as it will function as pick-up and drop-off area, as well as an area for the commercial retail units to spill-out onto.

### Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include clarification on building finishes, exterior lighting and signage.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

## CONCLUSION

The revised proposal maintains the same character that was supported by Council at the December 2, 2019, Regular Council – Public Hearing meeting. The addition of a fifth storey to the eastern-most building fronting 144 Street and 59 Avenue (Building C) results in an increase in floor area ratio for the site from the previously supported 1.5 FAR to 1.74 FAR being proposed. The additional storey and increase in FAR is considered supportable under the Multiple Residential land use designation in the OCP given that Building C is now proposed as a rental building with 29 out of 53 units being reserved as "non-market" rental with rates 20% below market rental rates.

The provision of rental units, a significant proportion of which are "non-market" rental, is considered sufficient community benefit to allow for the increase in density under the Multiple Residential land use designation. Therefore, staff support the proposed amendment to the CD Bylaw (No. 19993) and to the proposed design changes.

## INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

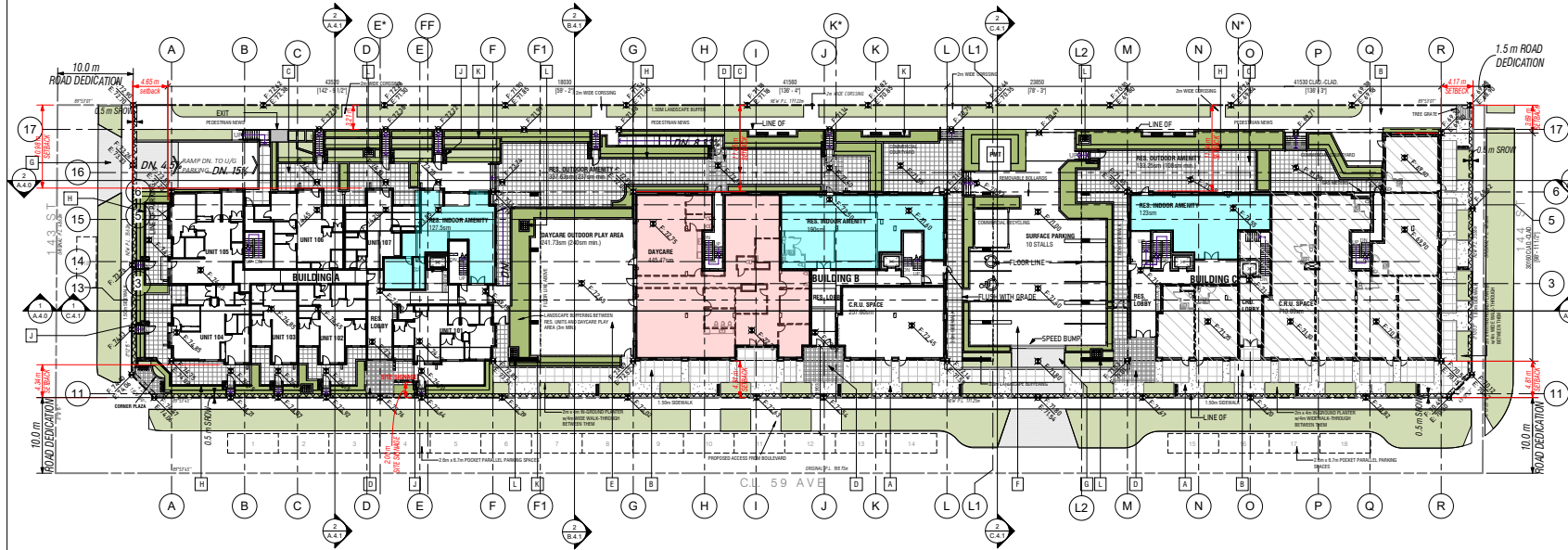
Appendix I.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	NCP Plan
Appendix VI.	Proposed Housing Agreement
Appendix VII.	Amended CD Bylaw (No. 19993)
Appendix VIII.	Development Variance Permit No. 7918-0235-00
Appendix IX.	Initial Planning Report No. 7918-0235-00, dated November 18, 2019

*approved by Shawn Low*

Remi Dube  
Acting General Manager  
Planning and Development

KS/cm





**SITE PLAN**  
SCALE: 1:256



**LEGEND**

- A** EXPOSED AGGREGATE
- B** SAW-CUT CONCRETE
- C** CONCRETE PAVERS
- D** SPECIALTY PAVERS FOR RESIDENTIAL ENTRANCE
- E** RUBBER TILE SAFETY ZONE FOR PLAY AREA
- F** CONCRETE SLAB FOR SURFACE PARKING
- G** CONCRETE WALL FLUSH WITH GRADE
- H** CONCRETE WALL FLUSH WITH GRADE
- I** SPECIALTY PAVERS FOR PARKING ENTRANCE
- J** ZENWALL CONCRETE BLOCK WALL
- K** DECORATIVE ENTRY-ARCHITECTURAL CONCRETE WALL
- L** PARKING VENT GRATING AT GRADE 1.2m x 0.9m

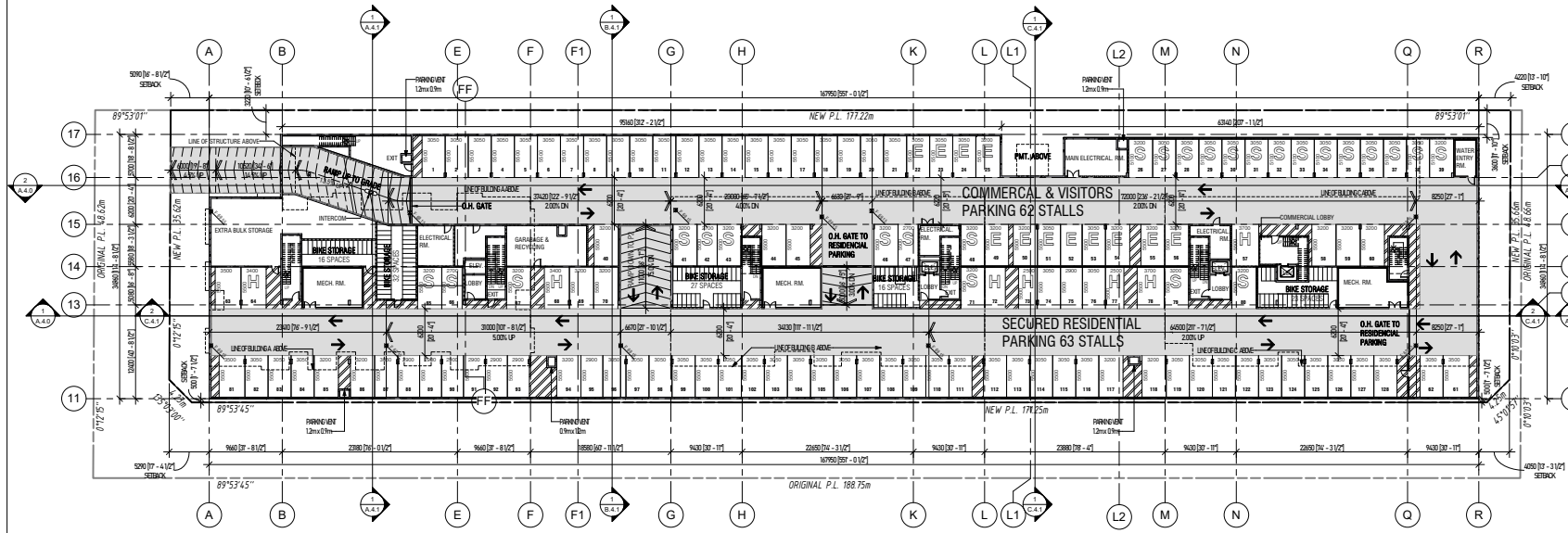
**AMENITY AREA**

- RESIDENTIAL AMENITY AREA
- DAY CARE AMENITY

NO.	DESCRIPTION	DATE	BY

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PROJECT NO.	20-245
DRAWN BY	AI
CHECKED BY	
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REV NO.	





**P1 PARKING PLAN**  
 SCALE: 1:250



PROJECT INFO:  
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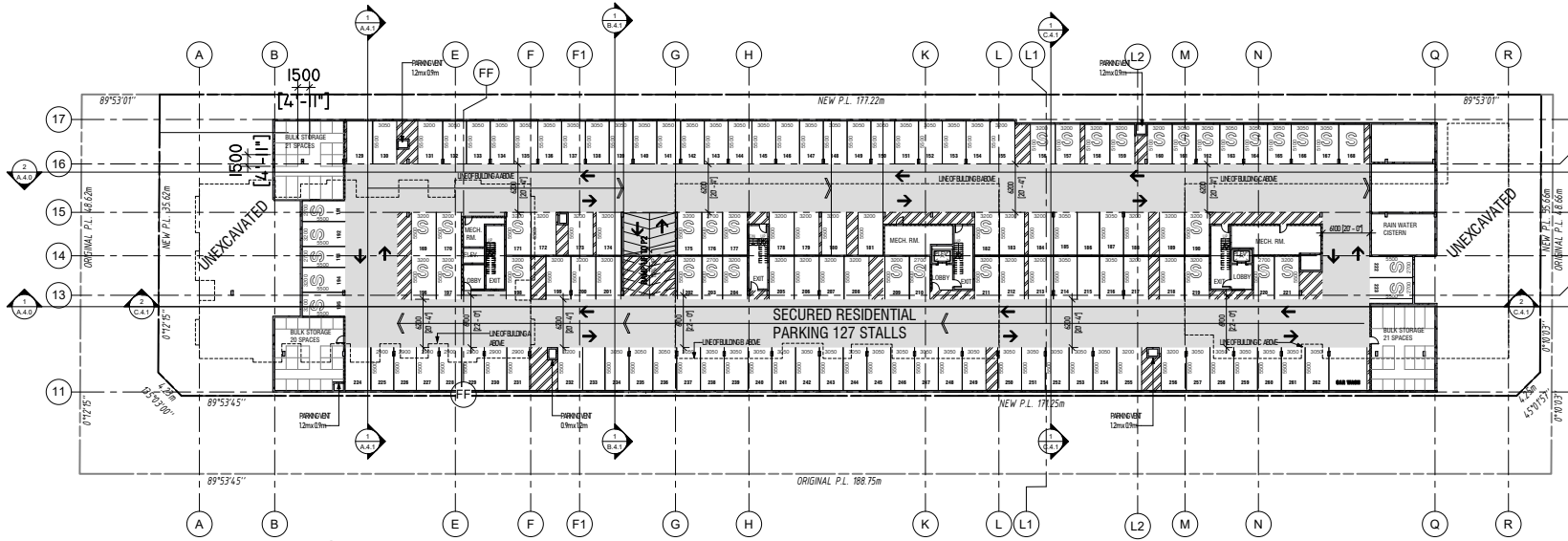
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NO.	REVISION/DATE	BY	DATE

DATE	08/07/21
PROJECT NO.	20-245
DRAWN BY	AJ
CHECKED BY	
SCALE	1:250
PROJECT NAME	P1 PARKING PLAN
REV NO.	REV NO.

P1





**P2 PARKING PLAN**  
SCALE: 1:250



PROJECT INFO:  
SULLIVAN STATION MIXED USE

CLIENT:  
5903 144 STREET

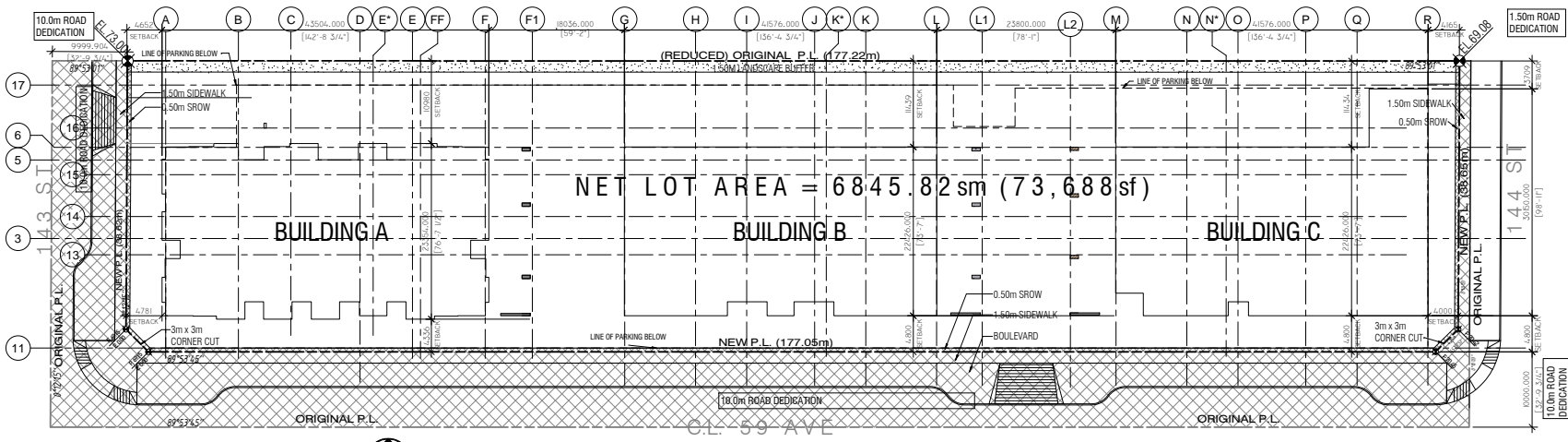
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PROJECT NO.	20-245
DRAWN BY:	Author
CHECKED BY:	

P2 PARKING PLAN	
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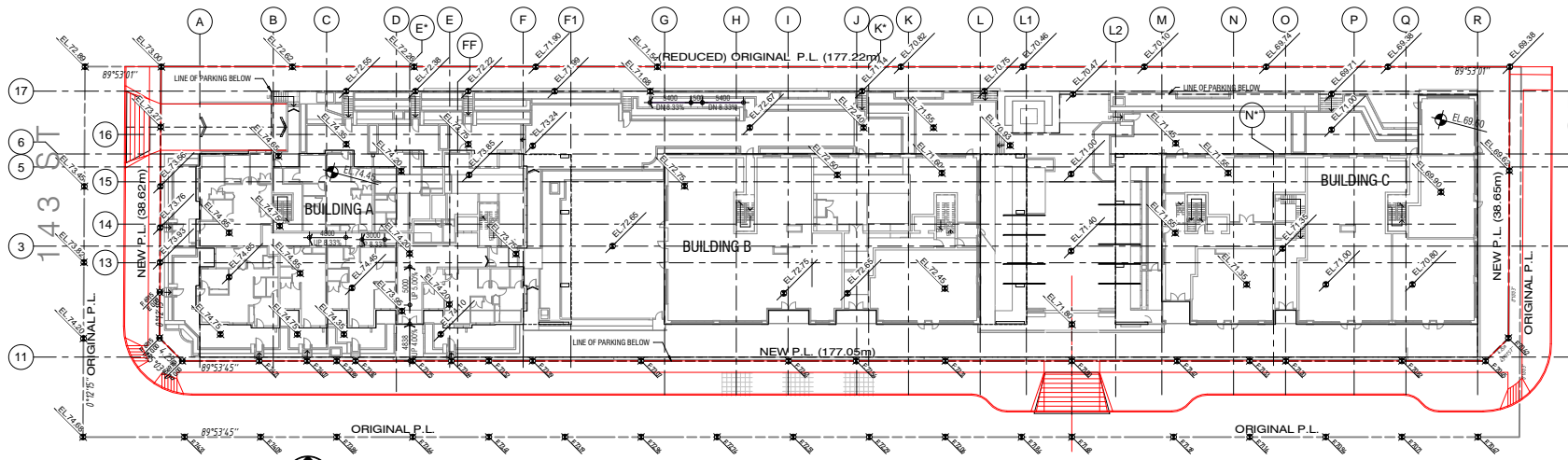
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DATE	08/07/21
PROJECT NO.	20245
DRAWN BY:	AJ
CHECKED BY:	
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LOT PLAN	
REV NO.	



**LOT DETAIL ANALYSIS PLAN**  
SCALE: 1:250





**GRADING PLAN**  
SCALE: 1:250

59TH AVE

PROJECT INFO:  
SULLIVAN STATION MIXED USE

CLIENT:  
5903 144 STREET

NO.	REVISION	DATE	BY
1	DATE	08/20/21	
2	SELECTED FOR THIRD READING	08/27/21	

DATE	08/20/21
PROJECT NO.	20245
DRAWN BY	Author
CHECKED BY	
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GRADING PLAN  
REV NO.

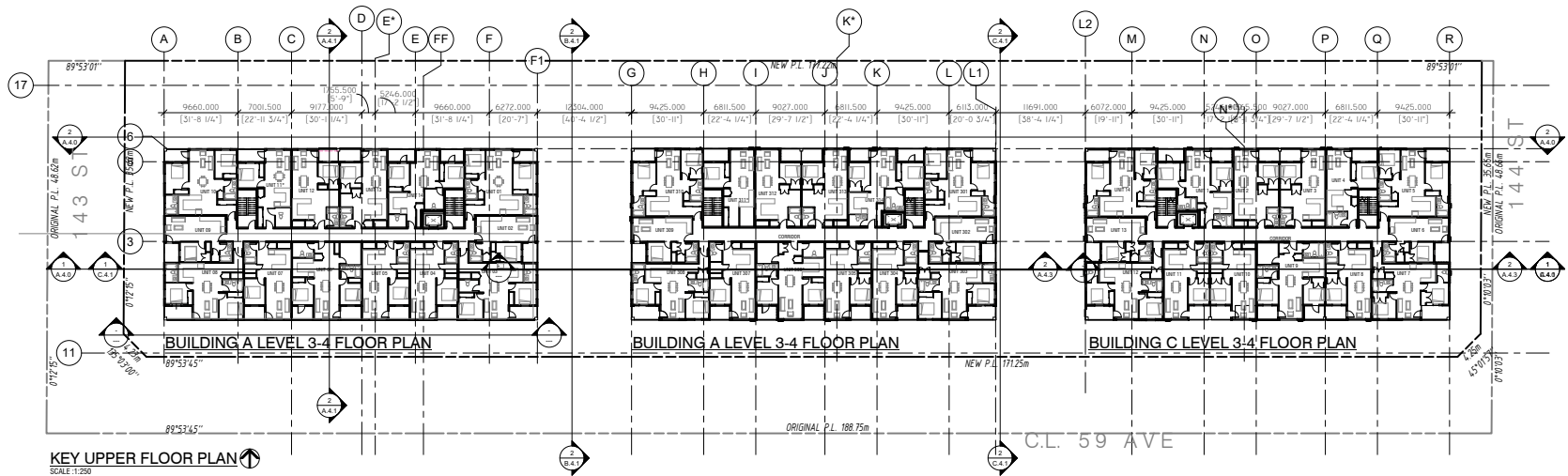


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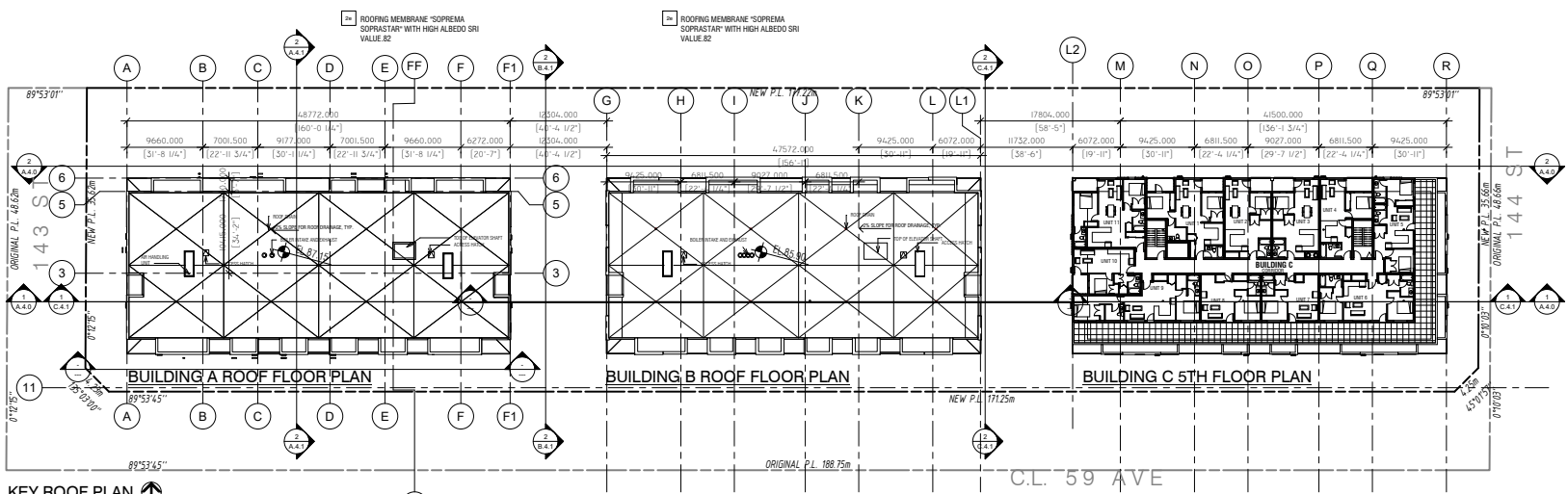
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PROJECT NO.	20-245
DRAWN BY	AI
CHECKED BY	
SCALE	1:250

KEY UPPER FLOOR &  
ROOF PLAN

REV NO



KEY UPPER FLOOR PLAN  
SCALE: 1:250



KEY ROOF PLAN  
SCALE: 1:250

*Revised*

PROJECT INFO:  
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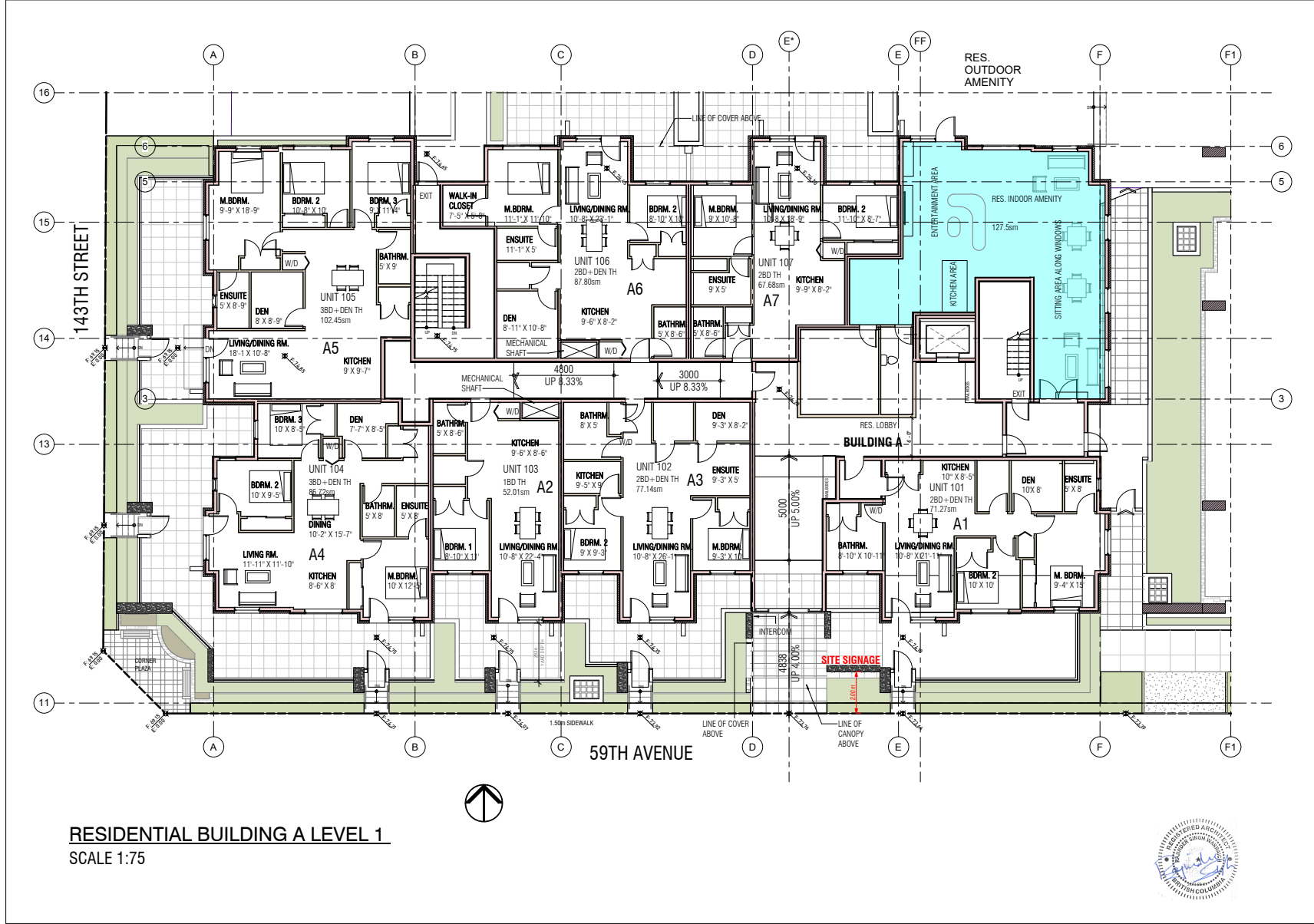
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DRAWN BY	Author
CHECKED BY	
SCALE	1:75
REV NO.	

BUILDING A 1ST LEVEL  
FLOOR PLAN

A.2.1



**RESIDENTIAL BUILDING A LEVEL 1**  
SCALE 1:75



PROJECT INFO  
SULLIVAN STATION MIXED USE

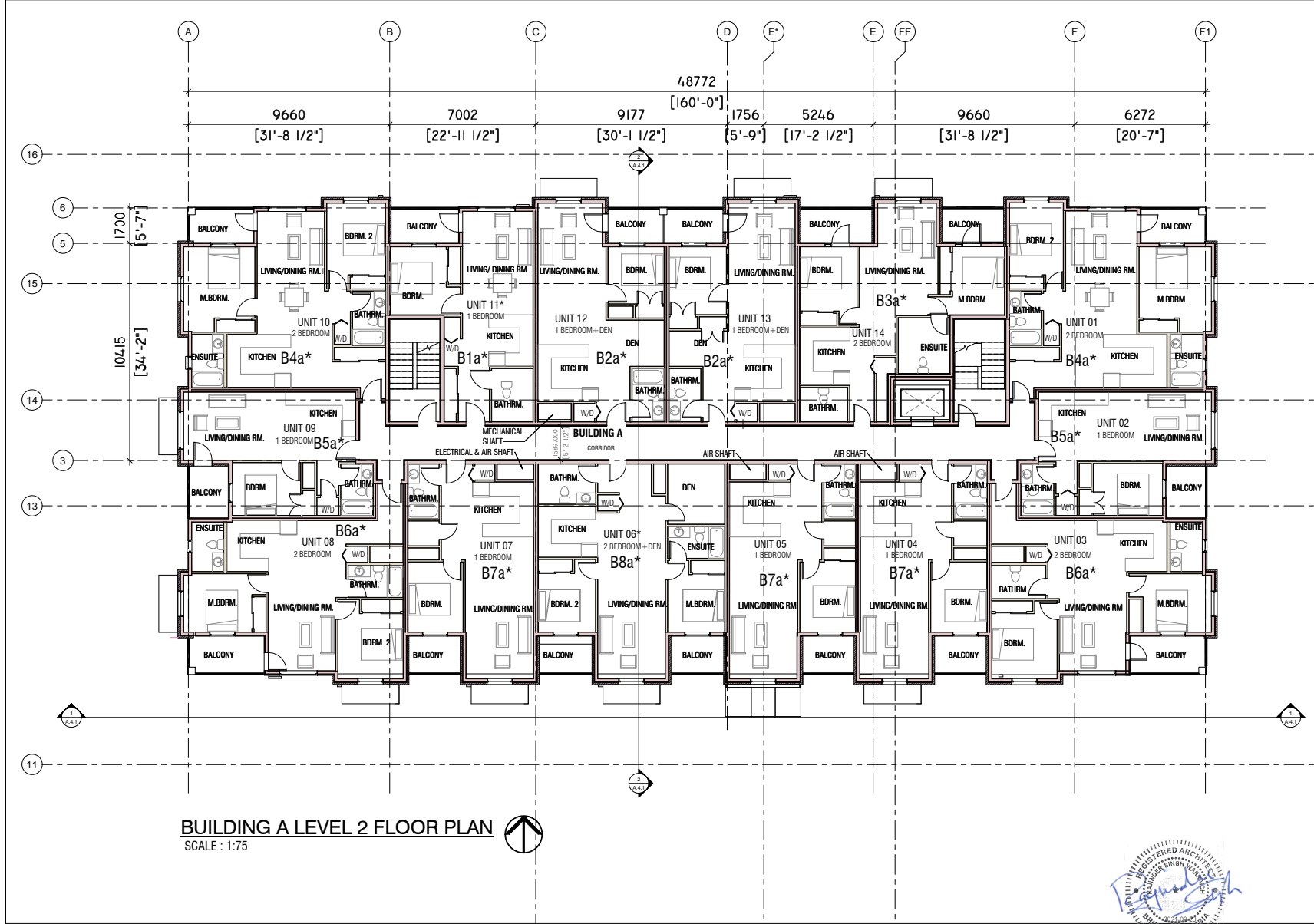
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30	DATE

DATE	08/28/21
PROJECT NO.	20245
DRAWN BY	Author
CHECKED BY	
SCALE	1:75
REV NO.	

BUILDING A 2nd LEVEL  
FLOOR PLAN

A.2.2



**BUILDING A LEVEL 2 FLOOR PLAN**  
SCALE : 1:75



PROJECT INFO:  
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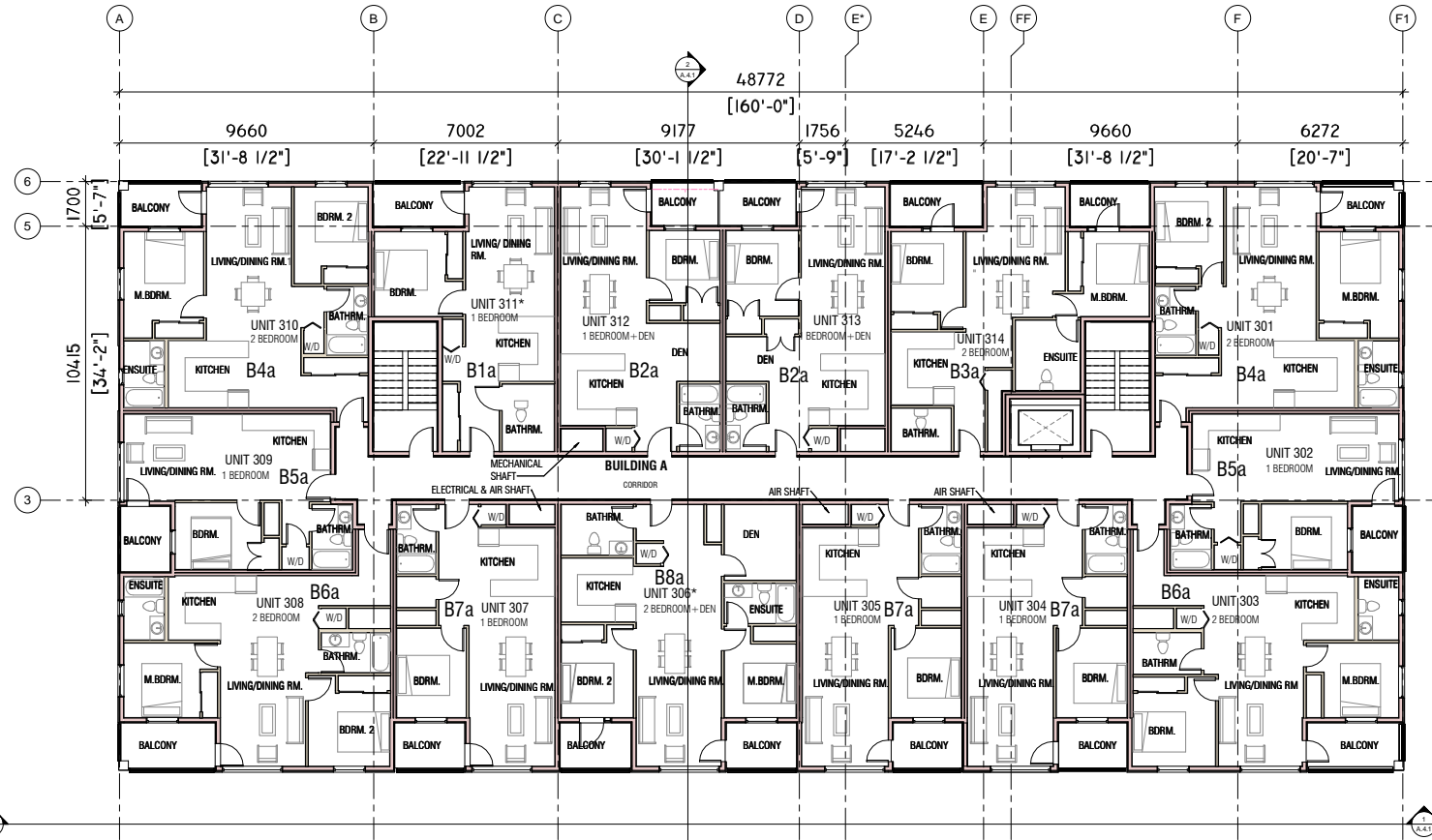
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2	REVISED	

DATE:  
08/20/21  
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20245  
DRAWN BY:  
Author  
CHECKED BY:

BUILDING A 3-4TH  
LEVEL FLOOR PLAN  
REV NO:

SCALE:  
1:75

A.2.3



**BUILDING A LEVEL 3-4 FLOOR PLAN**  
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PROJECT INFO:  
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CLIENT:  
5903 144 STREET

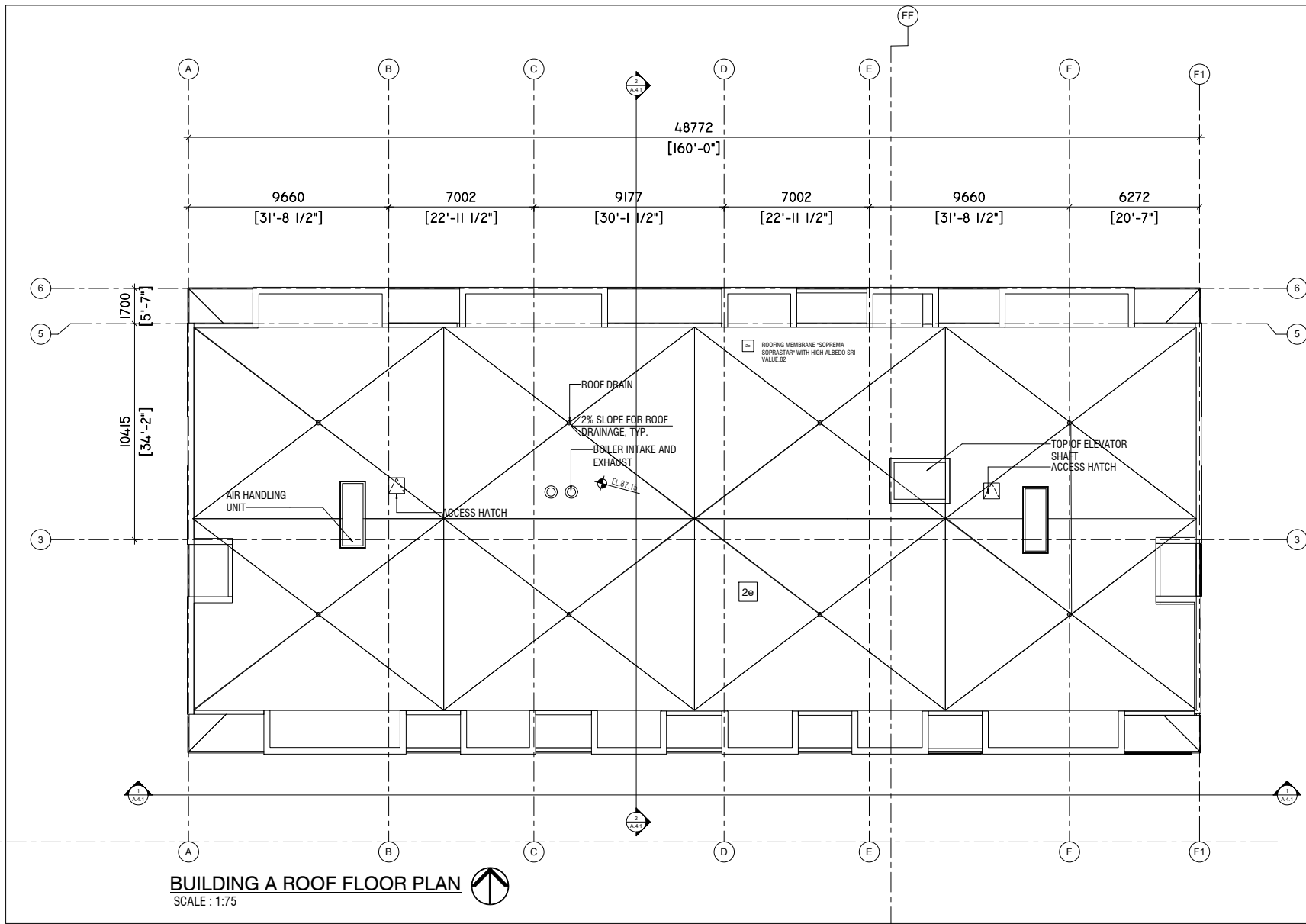
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1	ISSUED FOR THIRD REVISION	08/27/21	FF

DATE: 08/20/21  
PROJECT NO: 20-245  
DRAWN BY: Author  
CHECKED BY:

BUILDING A ROOF  
LEVEL FLOOR PLAN

SCALE: 1:75  
REV NO:

A.2.4

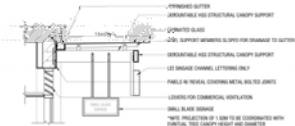


**BUILDING A ROOF FLOOR PLAN**  
SCALE : 1:75





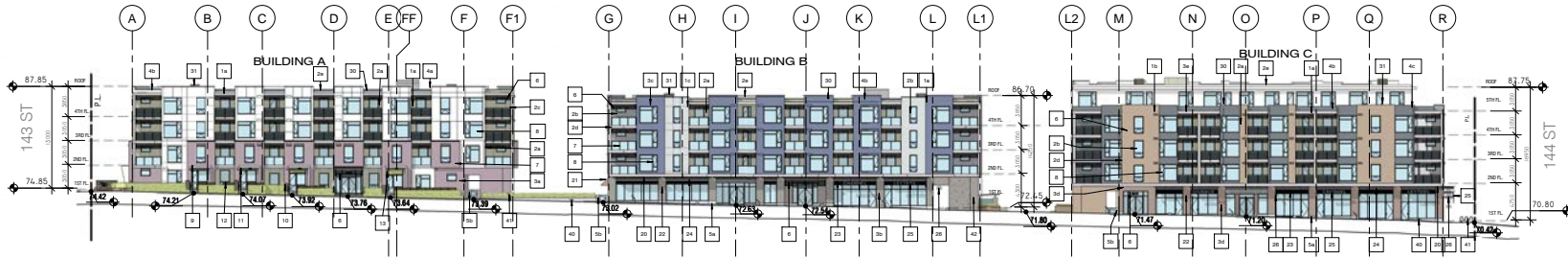
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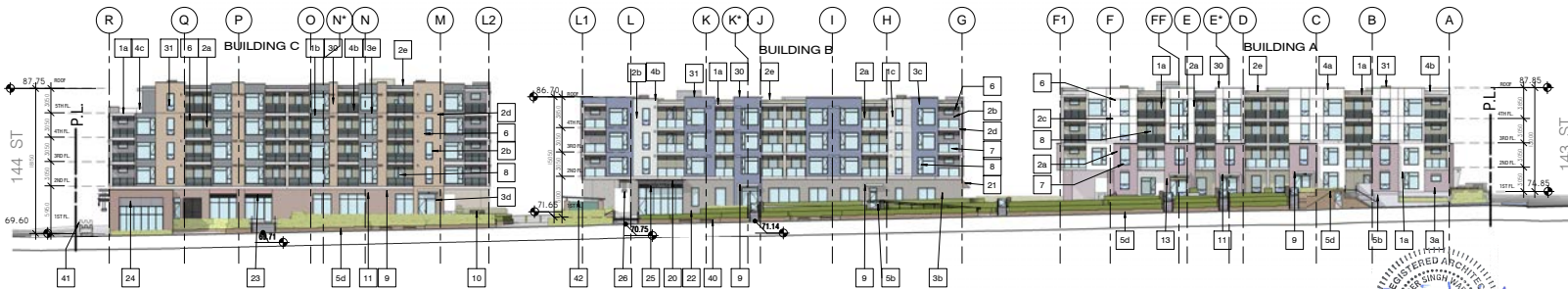
**COMMERCIAL AWNING SECTION**  
SCALE: NTS

**MATERIAL FINISH SCHEDULE**

14	ALUMINUM PANEL W/ REVEAL, POLAR WHITE, EGG SHELL FINISH	34	FACE BRICK, REDDISH BROWN-VINTAGE	64	PAINTED CONCRETE, LIGHT GREY	11	ENTRANCE SIGN, BLACK	29	COMMERCIAL SIGN, CHANNEL LETTERING ONLY
15	ALUMINUM PANEL W/ REVEAL, BLACK, EGG SHELL FINISH	35	FACE BRICK, MEDIUM GREY-REDDO	65	EXPOSED CONCRETE W/ REVEALS	12	ALUMINUM FENCE SIMULATED WOOD	30	SMALL BLADE SIGNAGE
16	ALUMINUM PANEL W/ REVEAL, WEATHERED ZINC, EGG SHELL FINISH	36	FACE BRICK, BLUSH CHARCOAL-COAL CREEK	66	CONCRETE BLOCK WALL, ZENALL, GREY	13	FROSTED GLASS, GOLDEN YELLOW	31	ELEVATOR SHAFT DOG HOUSE
17	HARDIE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, BEIGE	37	FACE BRICK, DARK BROWN-EBONY	67	SUN SHADE LOUVERS, SIMULATED WOOD ALUMINUM	14	METAL & GLASS AWNINGS	32	AIR HANDLING UNITS
18	HARDIE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, CHARCOAL	38	FACE BRICK, CREAM BROWN-TAN TERRA	68	GLASS RAILING	15	FABRIC AWNINGS	33	BENCHES
19	HARDIE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, LIGHT GREY, MATTE FINISH	39	ROOF FLASHING, WHITE	69	VINYL WINDOWS, CHARCOAL, GREY	16	CYLINDRICAL UP & DOWN WALL LIGHT	34	BIKE RACKS
20	HARDIE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, IVORY WHITE, MATTE FINISH	40	ROOF FLASHING, LIGHT GREY	70	ENTRANCE FRAME, WHITE	17	INTEGRATED COMMERCIAL LOUVERS	35	COMMERCIAL DUMPER SHED
21	ROOFING MEMBRANE 'SOPREMA SOPRASTAR' WITH HIGH ALBEDO SRI VALUE 92	41	ROOF FLASHING, CHARCOAL	71	ENTRANCE POST SIMULATED LEDGESTONE	18	PANELS W/ REVEAL, CHARCOAL	36	ALUMINUM GAS METRES SCREENING, CHARCOAL



**SOUTH KEY ELEVATION (59 AVE)**  
SCALE: 1:250



**NORTH KEY ELEVATION**  
SCALE: 1:250



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Burnaby BC, V5N 1C1  
www.flatarchitecture.ca  
contact@flatarchitecture.ca  
Ph: 604-503-4464

PROJECT INFO:  
SULLIVAN STATION MIXED USE

CLIENT:  
5903 144 STREET

NO.	REVISION	DATE

DATE: 08/07/21  
PROJECT NO: 20245  
DRAWN BY: AJ  
CHECKED BY:  
SCALE: 1:250

KEY ELEVATIONS  
REV NO:

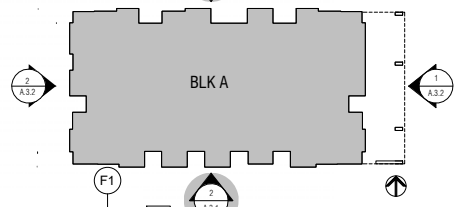
A-3.0

NO.	DATE	REVISION
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DATE	08/06/21
PROJECT NO.	20245
DRAWN BY:	Author
CHECKED BY:	
SCALE	As indicated
REV NO.	

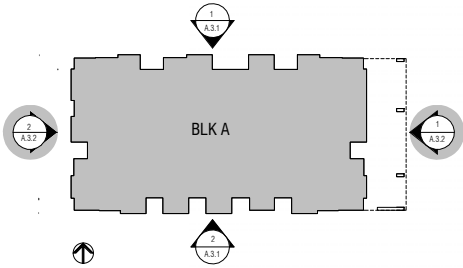


1 NORTH ELEVATION BUILDING A  
SCALE 1:96



2 SOUTH ELEVATION FROM 59TH AVE BUILDING A  
SCALE 1:96





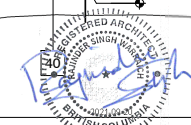
**1 BUILDING A EAST ELEVATION**  
SCALE: 1:96



**MATERIAL FINISH SCHEDULE**

1a	ALUMINUM PANEL W/ REVEAL, POLAR WHITE, EGG SHELL FINISH	2a	FACE BRICK, REDDISH BROWN-VINTAGE	3a	PAINTED CONCRETE, LIGHT GREY
1b	ALUMINUM PANEL W/ REVEAL, BLACK, EGG SHELL FINISH	2b	FACE BRICK, MEDIUM GREY-REDONDO	3b	EXPOSED CONCRETE W/ REVEALS
1c	ALUMINUM PANEL W/ REVEAL, WEATHERED ZINC, EGG SHELL FINISH	2c	FACE BRICK, BLUSH CHARCOAL-COAL CREEK	3c	CONCRETE BLOCK WALL, ZENALL, GREY
2a	HARDie PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, BEIGE	2d	FACE BRICK, DARK BROWN-EBONY	4	SUN SHADE LOUVERS, SIMULATED WOOD ALUMINUM
2b	HARDie PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, CHARCOAL	2e	FACE BRICK, CREAM BROWN-TAN TERRA	7	GLASS RAILING
2c	HARDie PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, LIGHT GREY, MATTE FINISH	4a	ROOF FLASHING, WHITE	8	VINYL WINDOWS, CHARCOAL GREY
2d	HARDie PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, IVORY WHITE, MATTE FINISH	4b	ROOF FLASHING, LIGHT GREY	9	ENTRANCE FRAME, WHITE
2e	ROOFING MEMBRANE "SOPREMA SORPASTAR" WITH HIGH ALBEDO SRI VALUE.82	4c	ROOF FLASHING, CHARCOAL	10	ENTRANCE POST, SIMULATED LEDGESTONE
11	ENTRANCE SIGN, BLACK	5a	INTEGRATED COMMERCIAL LOUVERS	10a	BENCHES
12	ALUMINUM FENCE, SIMULATED WOOD	2f	PANELS W/ REVEAL, CHARCOAL	11	BIKE RACKS
13	FROSTED GLASS, GOLDEN YELLOW	2g	COMMERCIAL SIGN, CHANNEL LETTERING ONLY	12	COMMERCIAL DUMPSTER SHED
20	METAL & GLASS AWNINGS	2h	SMALL BLADE SIGNAGE	13	ALUMINUM GAS METRES SCREENING, CHARCOAL
21	FABRIC AWNINGS	2i	ELEVATOR SHAFT DOG HOUSE		
22	CYLINDRICAL UP & DOWN WALL LIGHT	31	AIR HANDLING UNITS		

**2 BUILDING A WEST ELEVATION (143 ST)**  
SCALE: 1:96



Unit 209-4021 King George Blvd  
Surrey BC V2X 1C1  
www.flatarchitecture.ca  
contact@flatarchitecture.ca  
Ph: 604-503-4464

PROJECT INFO:  
SULLIVAN STATION MIXED USE

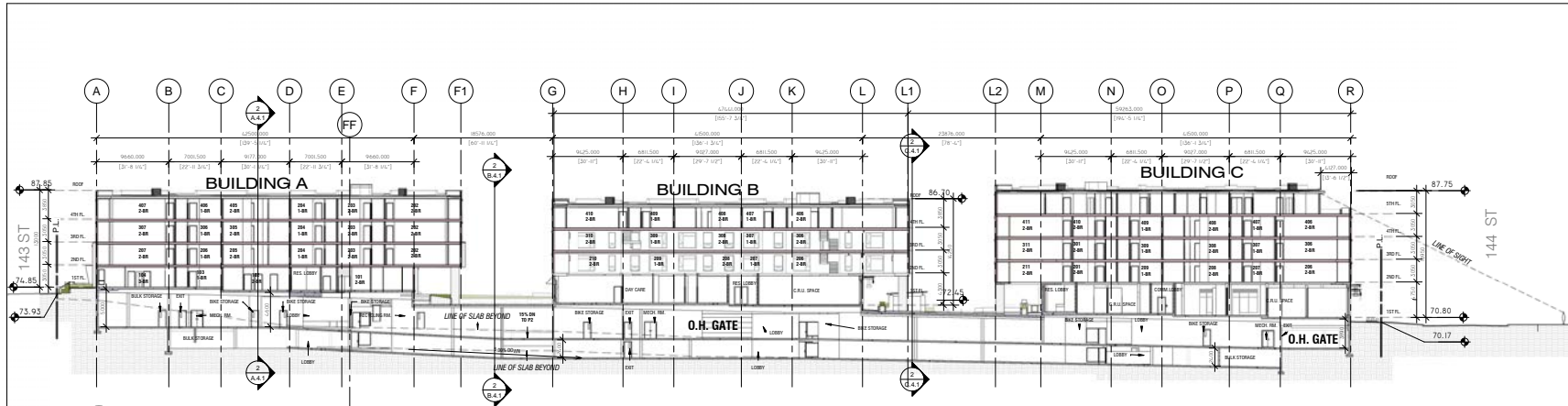
CLIENT:  
5903 144 STREET

NO.	REVISION	DATE	BY

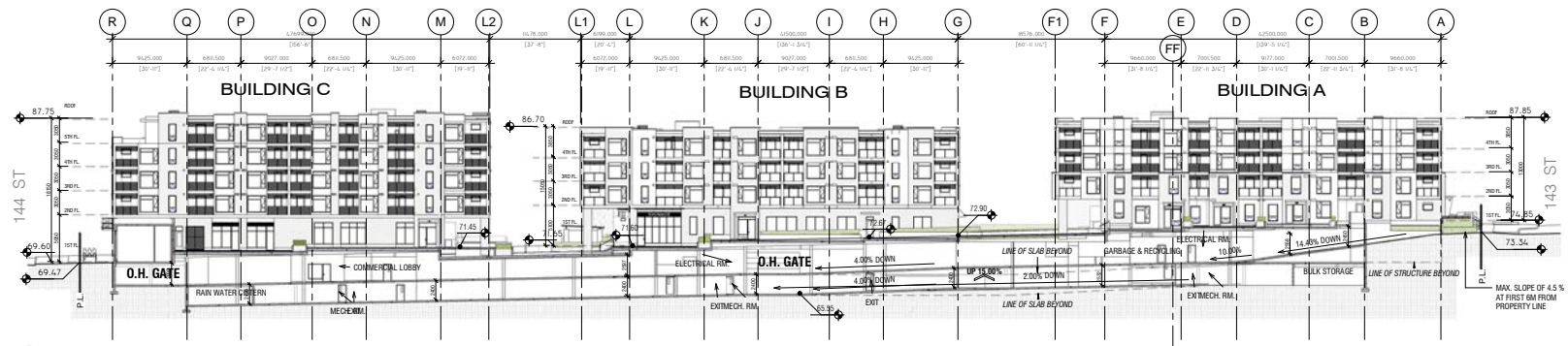
DATE	02/16/21
PROJECT NO.	20245
DRAWN BY:	Author
CHECKED BY:	
SCALE:	As indicated
REV NO.	

W & E ELEVATION  
BUILDING A

A.3.2



**1 LONGITUDINAL SECTION 1**



**2 LONGITUDINAL SECTION 2**



**IMAGE OF SECURITY O.H. PARKING GATE (TYP.)**

HIGH QUALITY STEEL MULTI-SECTIONAL OVERHEAD GATE AT ALL PARKING SECURITY POINTS

NO.	DESCRIPTION	DATE	BY

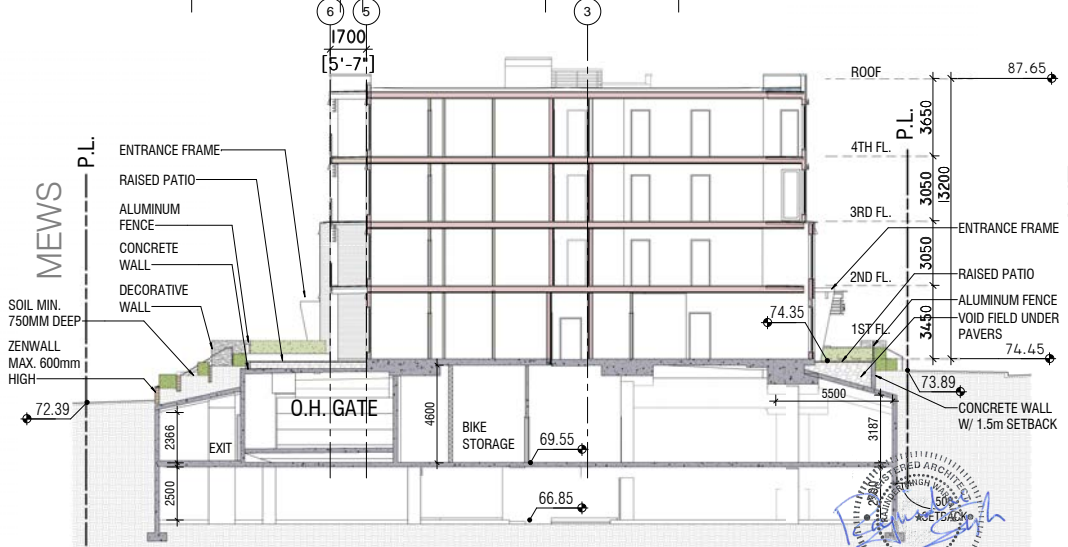
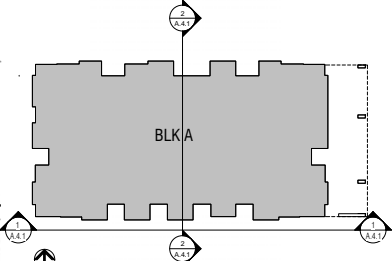
DATE	08/07/21
PROJECT NO.	20245
DRAWN BY:	AJ
CHECKED BY:	
SCALE	1:200

KEYN & S SECTIONS
REVNO





**1 LONGITUDINAL SECTION 3 (BUILDING A)**  
SCALE: 1:96



**2 CROSS SECTION 1 (BUILDING A)**  
SCALE: 1:96



Unit 209-4021 King George Blvd  
Burnaby BC V3N 1C1  
www.flatarchitecture.ca  
contact@flatarchitecture.ca  
Ph: 604-503-4464

PROJECT INFO:  
SULLIVAN STATION MIXED USE

CLIENT:  
5903 144 STREET

NO.	REVISION	DATE	BY

DATE	REVISION
08/30/21	
20245	
Author	
Checked by	
SCALE	
As indicated	

BUILDING A SECTIONS

A.4.1



PROJECT INFO:  
SULLIVAN STATION MIXED USE

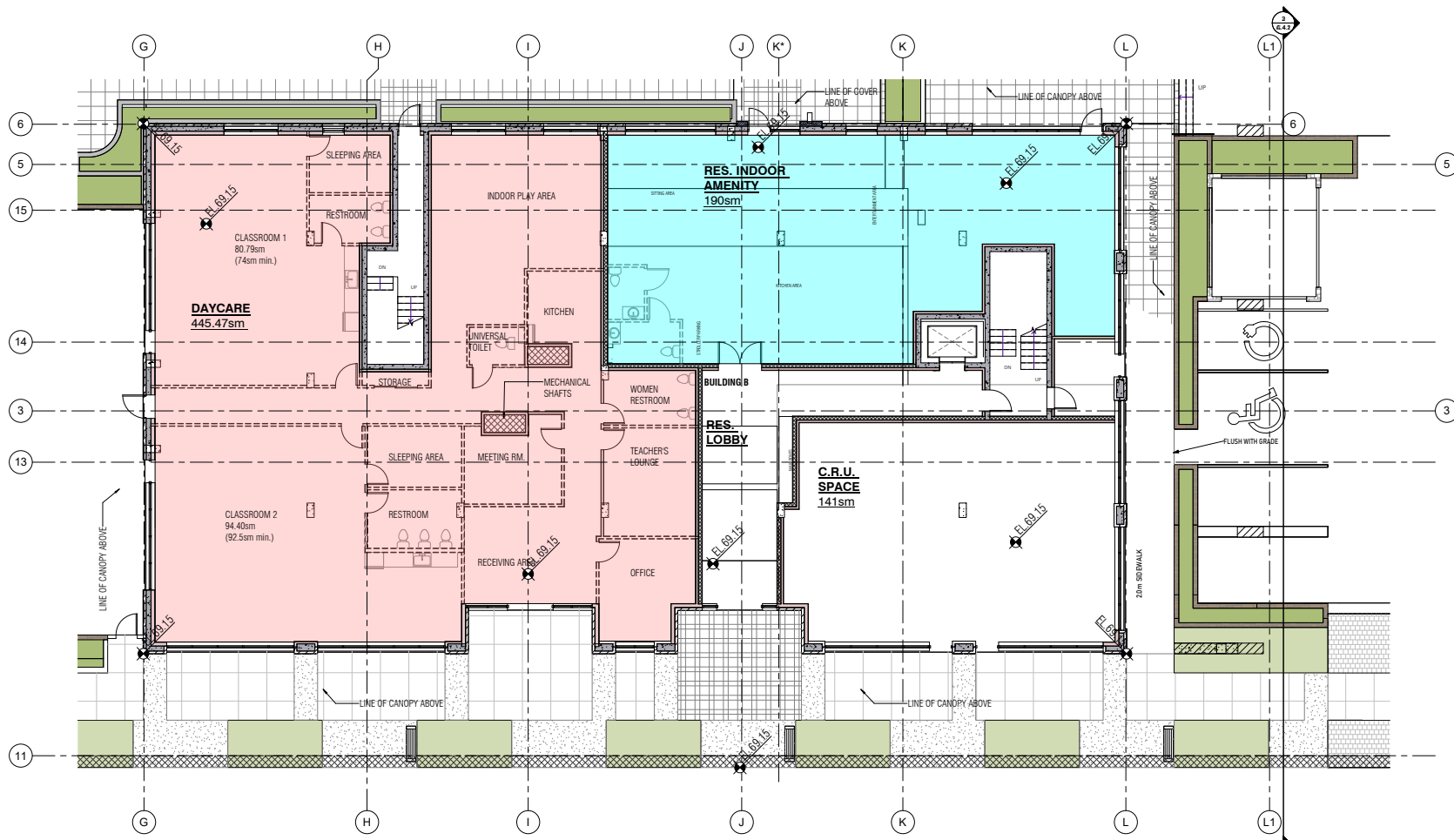
CLIENT:  
5903 144 STREET

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMITS	2021.09.21	Author
2	REVISION		

DATE	02/04/21
PROJECT NO.	20-245
DRAWN BY	Author
CHECKED BY	
SCALE	1:75
REV NO.	

BUILDING B 1ST LEVEL  
FLOOR PLAN

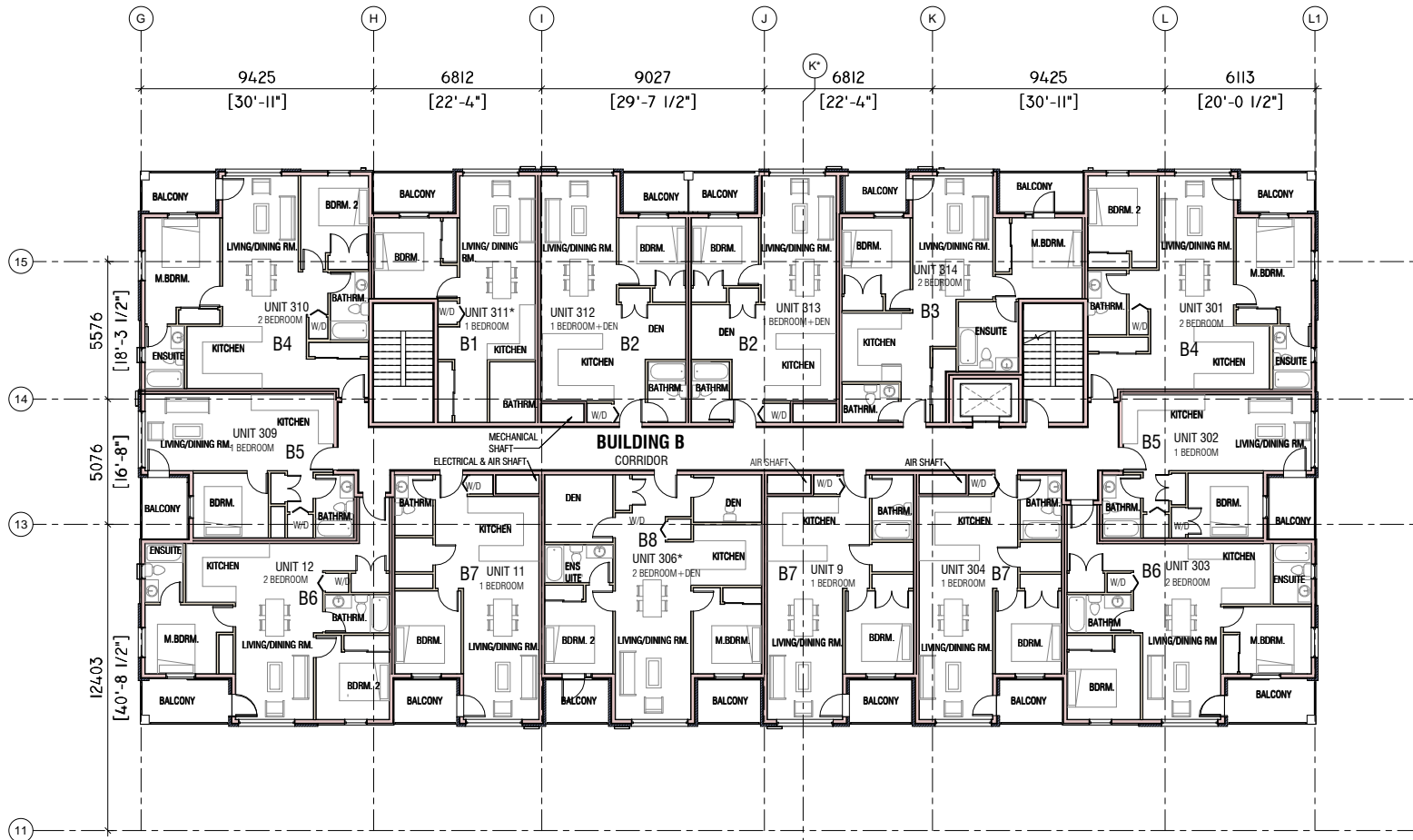
B.2.1



**RESIDENTIAL BUILDING B LEVEL 1**  
SCALE 1:75







**BUILDING B LEVEL 2-4 FLOOR PLAN**  
 SCALE: 1:75



PROJECT INFO:  
 SULLIVAN STATION MIXED USE

CLIENT:  
 5903 144 STREET

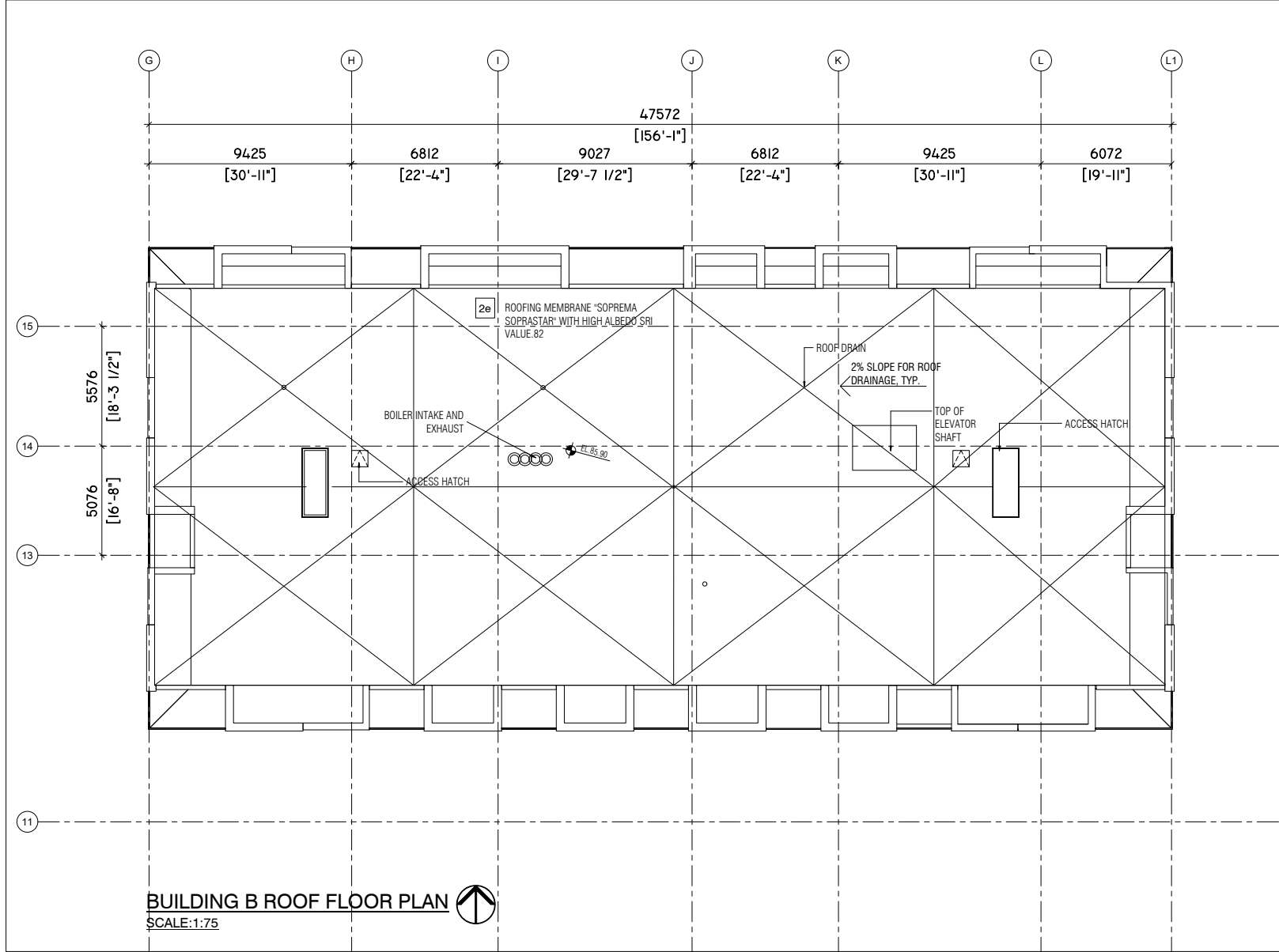
NO.	REVISION/DATE	DATE

DATE:  
 02/16/21  
 PROJECT NO:  
 20245  
 DRAWN BY:  
 Author  
 CHECKED BY:

BUILDING B 2-4TH  
 LEVEL FLOOR PLAN  
 REV NO:

SCALE:  
 1:75





PROJECT INFO:  
 SULLIVAN STATION MIXED USE

CLIENT:  
 5903 144 STREET

NO.	DESCRIPTION	DATE	BY	DATE

DATE: 02/16/21	BUILDING B ROOF LEVEL FLOOR PLAN
PROJECT NO: 20-245	
DESIGN BY: Author	
CHECKED BY:	
SCALE: 1:75	REV NO:



1 NORTH ELEVATION BUILDING B  
SCALE 1:96

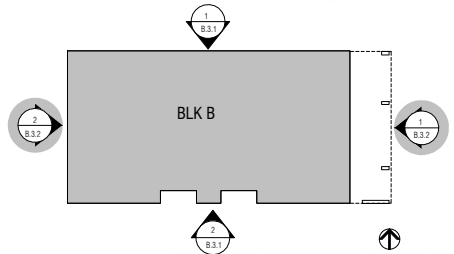


2 SOUTH ELEVATION FROM 59TH AVE BUILDING B  
SCALE 1:96

NO.	DATE	REVISION

DATE	02/24/21
PROJECT NO.	20245
DRAWN BY:	Author
CHECKED BY:	
SCALE	As indicated
REV NO.	





**1 BUILDING B EAST ELEVATION**  
SCALE: 1:96



**MATERIAL FINISH SCHEDULE**

14	ALUMINUM PANEL W/ REVEAL, POLAR WHITE, EGG SHELL FINISH	24	FACE BRICK, REDDISH BROWN-VINTAGE	34	PAINTED CONCRETE, LIGHT GREY
15	ALUMINUM PANEL W/ REVEAL, BLACK, EGG SHELL FINISH	25	FACE BRICK, MEDIUM GREY-REDONDO	35	EXPOSED CONCRETE W/ REVEALS
16	ALUMINUM PANEL W/ REVEAL, WEATHERED ZINC, EGG SHELL FINISH	26	FACE BRICK, BLUSH CHARCOAL-COAL CREEK	36	CONCRETE BLOCK WALL, ZENALL, GREY
21	HARDE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, BEIGE	27	FACE BRICK, DARK, BROWN-EBONY	4	SUN SHADE LOUVERS, SIMULATED WOOD ALUMINUM
23	HARDE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, CHARCOAL	28	FACE BRICK, CREAM BROWN-TAN TERRA	7	GLASS RAILING
24	HARDE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, LIGHT GREY, MATTE FINISH	42	ROOF FLASHING, WHITE	8	VINYL WINDOWS, CHARCOAL GREY
25	HARDE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, IVORY WHITE MATTE FINISH	43	ROOF FLASHING, LIGHT GREY	9	ENTRANCE FRAME, WHITE
26	ROOFING MEMBRANE "SOPREMA COMPACT" WITH HIGH ALBEDO SRI VALUE 82	44	ROOF FLASHING, CHARCOAL	10	ENTRANCE POST SIMULATED LEDGESTONE
11	ENTRANCE SIGN, BLACK	37	INTEGRATED COMMERCIAL LOUVERS	40	BENCHES
12	ALUMINUM FENCE SIMULATED WOOD	24	PANELS W/ REVEAL, CHARCOAL	41	BIKE RACKS
13	FROSTED GLASS, GOLDEN YELLOW	22	COMMERCIAL SIGN, CHANNEL LETTERING ONLY	42	COMMERCIAL DUMPSTER SHED
20	METAL & GLASS AWNINGS	28	SMALL BLADE SIGNAGE	43	ALUMINUM GAS METRES SCREENING, CHARCOAL
27	FABRIC AWNINGS	20	ELEVATOR SHAFT DOG HOUSE		
22	CYLINDRICAL UP & DOWN WALL LIGHT	31	AIR HANDLING UNITS		

**2 BUILDING B WEST ELEVATION**  
SCALE: 1:96

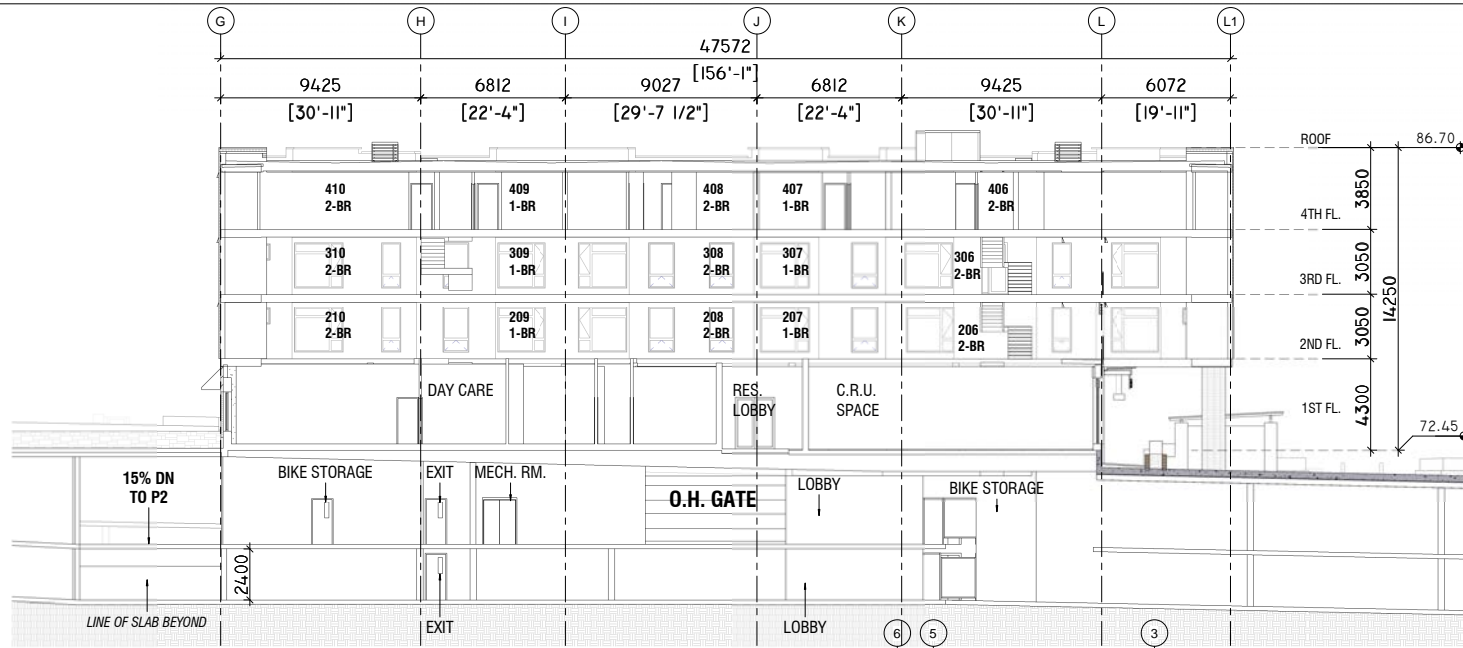


PROJECT INFO:  
SULLIVAN STATION MIXED USE

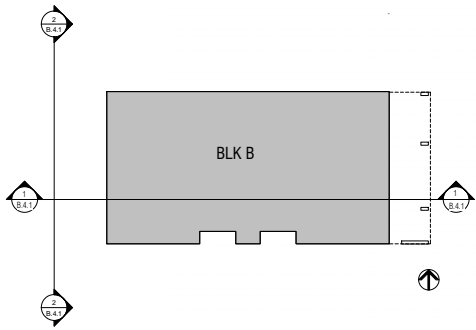
CLIENT:  
5903, 144 STREET

NO.	REVISION	DATE	BY

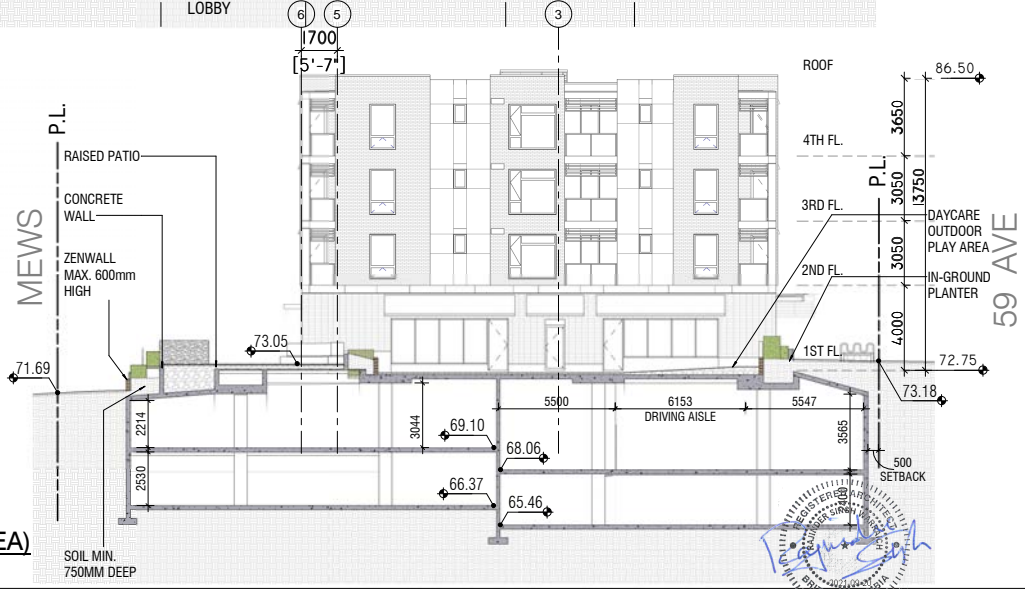
DATE	02/16/21
PROJECT NO.	20-245
DRAWN BY:	Author
CHECKED BY:	
SCALE	As Indicated
REV NO.	



**1 LONGITUDINAL SECTION (BUILDING B)**  
SCALE: 1:96

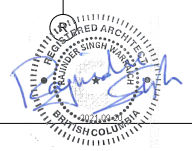
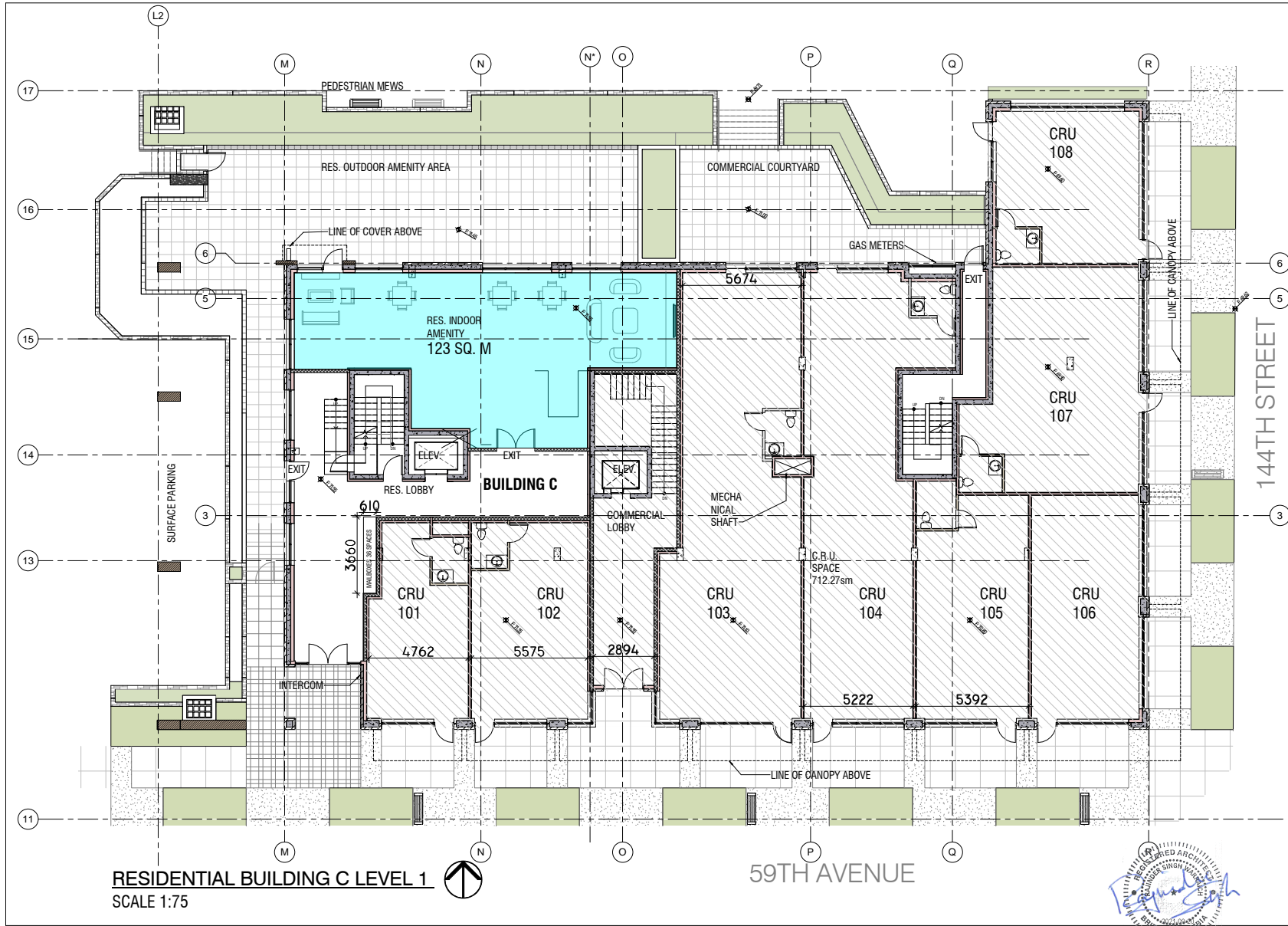


**2 CROSS SECTION 2 (DAYCARE OUTDOOR PLAY AREA)**  
SCALE: 1:96



NO.	REVISION	DATE	BY

DATE	PROJECT NO.	DRAWN BY	CHECKED BY	SCALE
08/30/21	20245	Author		As indicated



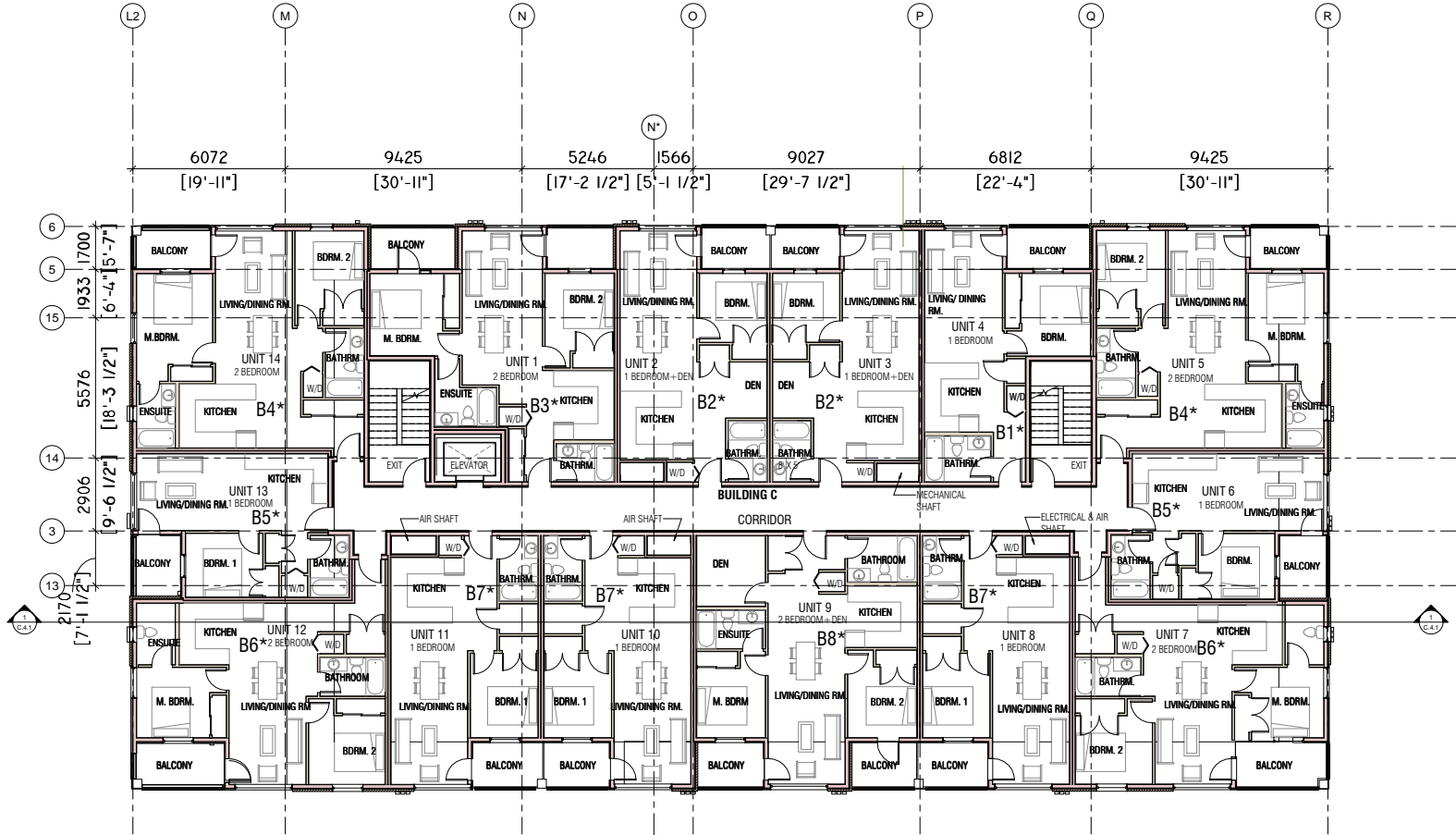
PROJECT INFO:  
SULLIVAN STATION MIXED USE

CLIENT:  
5903, 144 STREET

NO.	DESCRIPTION	DATE	BY

DATE	02/16/21
PROJECT NO.	20245
DRAWN BY	Author
CHECKED BY	
SCALE	1:75

BUILDING C 1ST LEVEL  
FLOOR PLAN



**BUILDING C LEVEL 2-4 FLOOR PLAN**  
 SCALE: 1:75

Unit 209 - 6201 King George Blvd  
 Surrey BC V2X 1C1  
 www.flatarchitecture.ca  
 contact@flatarchitecture.ca  
 Ph: 604-503-4464

PROJECT INFO:  
 SULLIVAN STATION MIXED USE

CLIENT:  
 55003 144 STREET

NO.	REVISION/DATE	BY	DATE

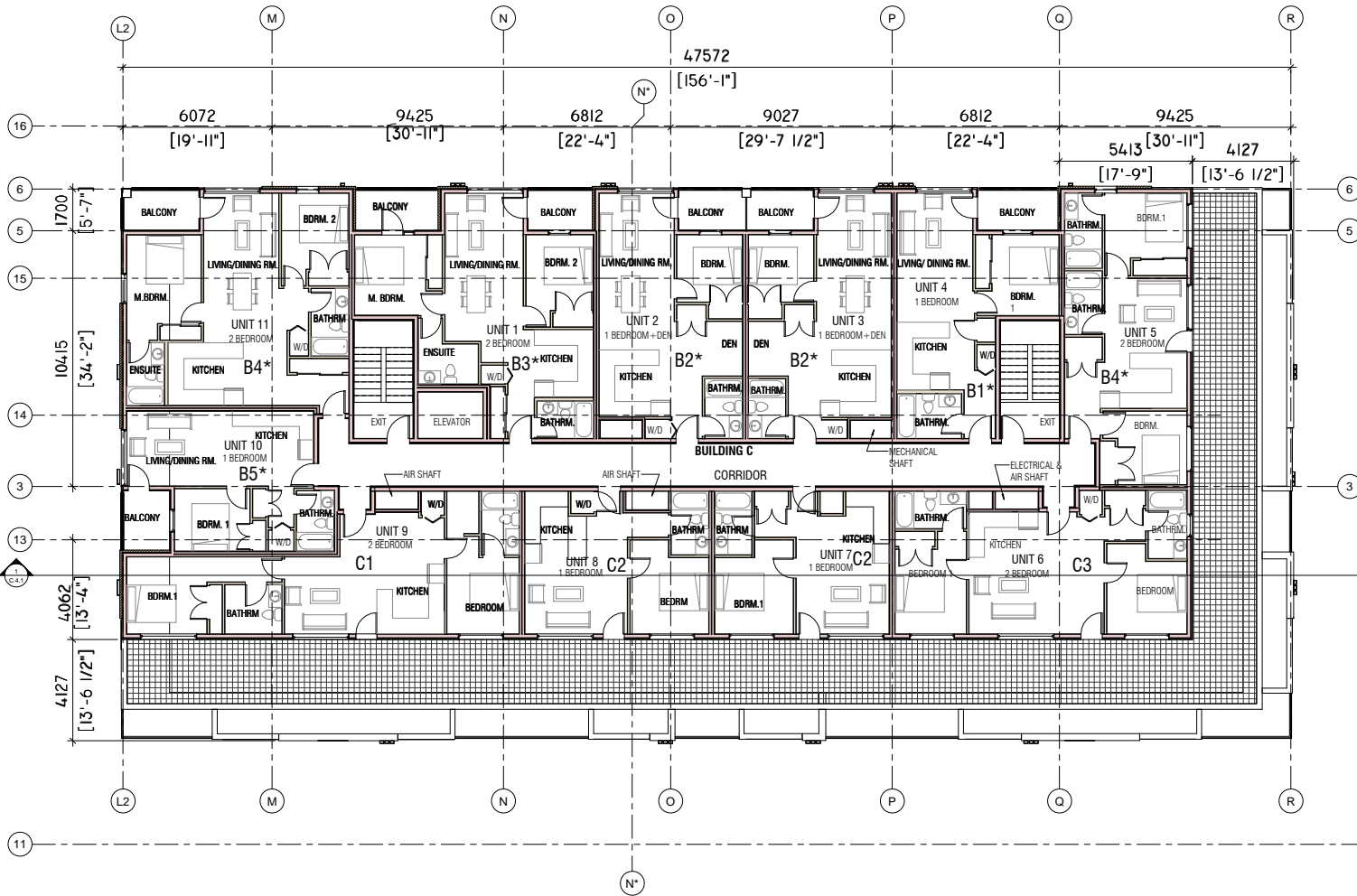
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 02/24/21  
 PROJECT NO:  
 20245  
 DRAWN BY:  
 Author  
 CHECKED BY:

BUILDING C 2-4TH  
 LEVEL FLOOR PLAN  
 REV NO.    REV NO.

SCALE:  
 1:75

C.2.2





**BUILDING C LEVEL 5 FLOOR PLAN**  
SCALE: 1:75



PROJECT INFO:  
SULLIVAN STATION MIXED USE

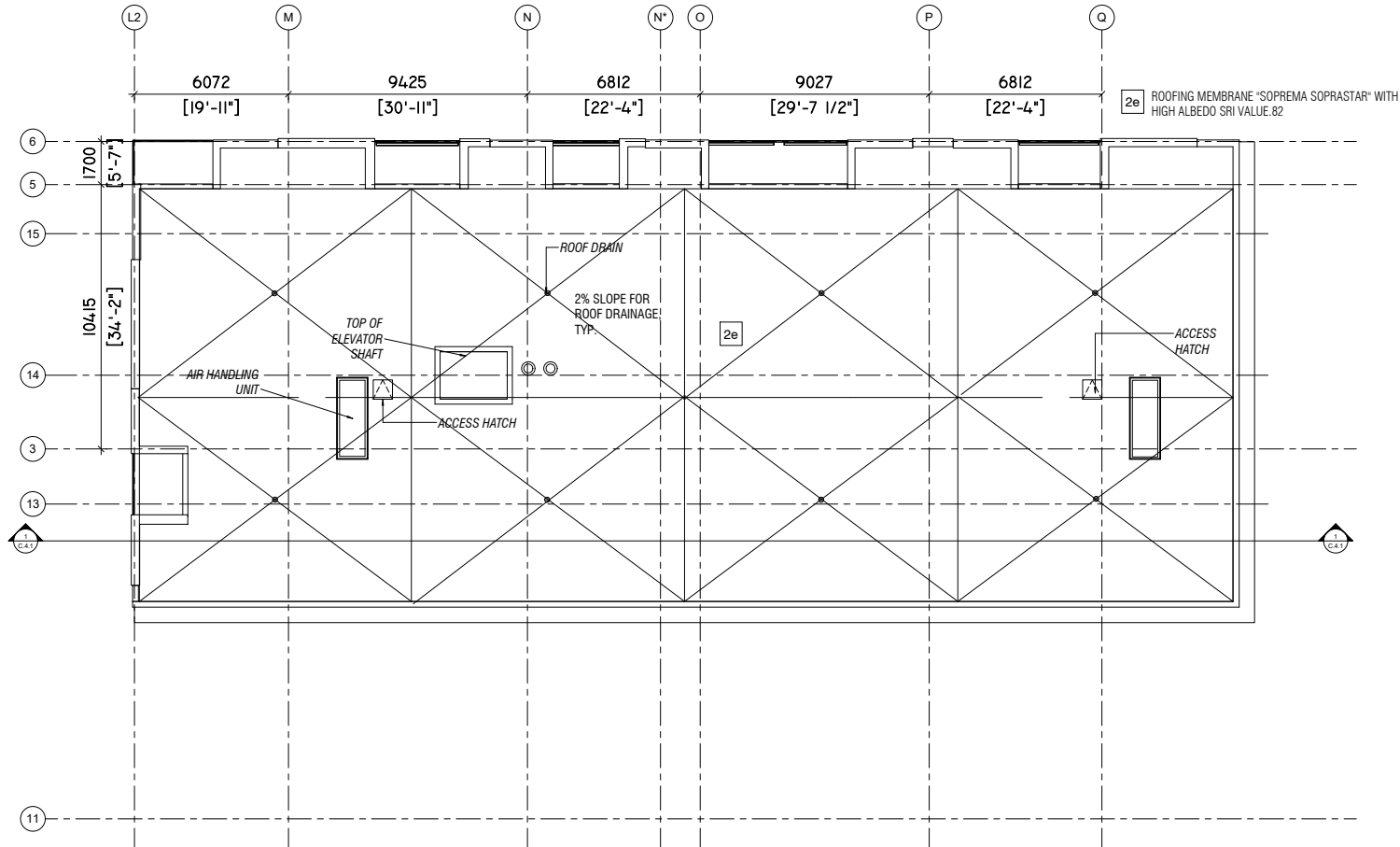
CLIENT:  
55003 144 STREET

NO.	REVISION	DATE

DATE	02/20/21
PROJECT NO.	20-245
DRAWN BY:	Author
CHECKED BY:	
SCALE	1:75

BUILDING C 5TH LEVEL  
FLOOR PLAN





**BUILDING C ROOF PLAN**  
 SCALE: 1:75



2e ROOFING MEMBRANE 'SOPREMA SOPRASTAR' WITH HIGH ALBEDO SRI VALUE.82

PROJECT INFO:  
 SULLIVAN STATION MIXED USE

CLIENT:  
 5903 144 STREET

NO.	DESCRIPTION	DATE	BY

DATE: 02/20/21  
 PROJECT NO: 20-245  
 DRAWN BY: Author  
 CHECKED BY:

BUILDING C ROOF  
 LEVEL FLOOR PLAN

SCALE: 1:75  
 REV NO:

PROJECT INFO:  
SULLIVAN STATION MIXED USE

CLIENT:  
5903, 144 STREET

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DATE	08/21/21
PROJECT NO.	20245
DRAWN BY:	Author
CHECKED BY:	
SCALE	As indicated
REV NO.	

C.3.1

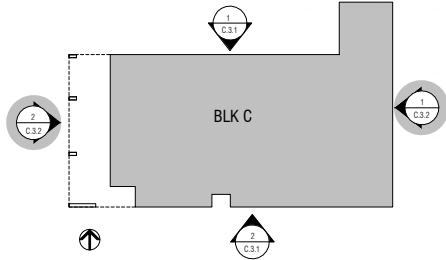


1 NORTH ELEVATION BUILDING C  
SCALE 1:96



2 SOUTH ELEVATION FROM 59TH AVE BUILDING C  
SCALE 1:96



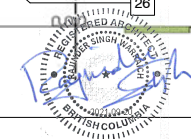
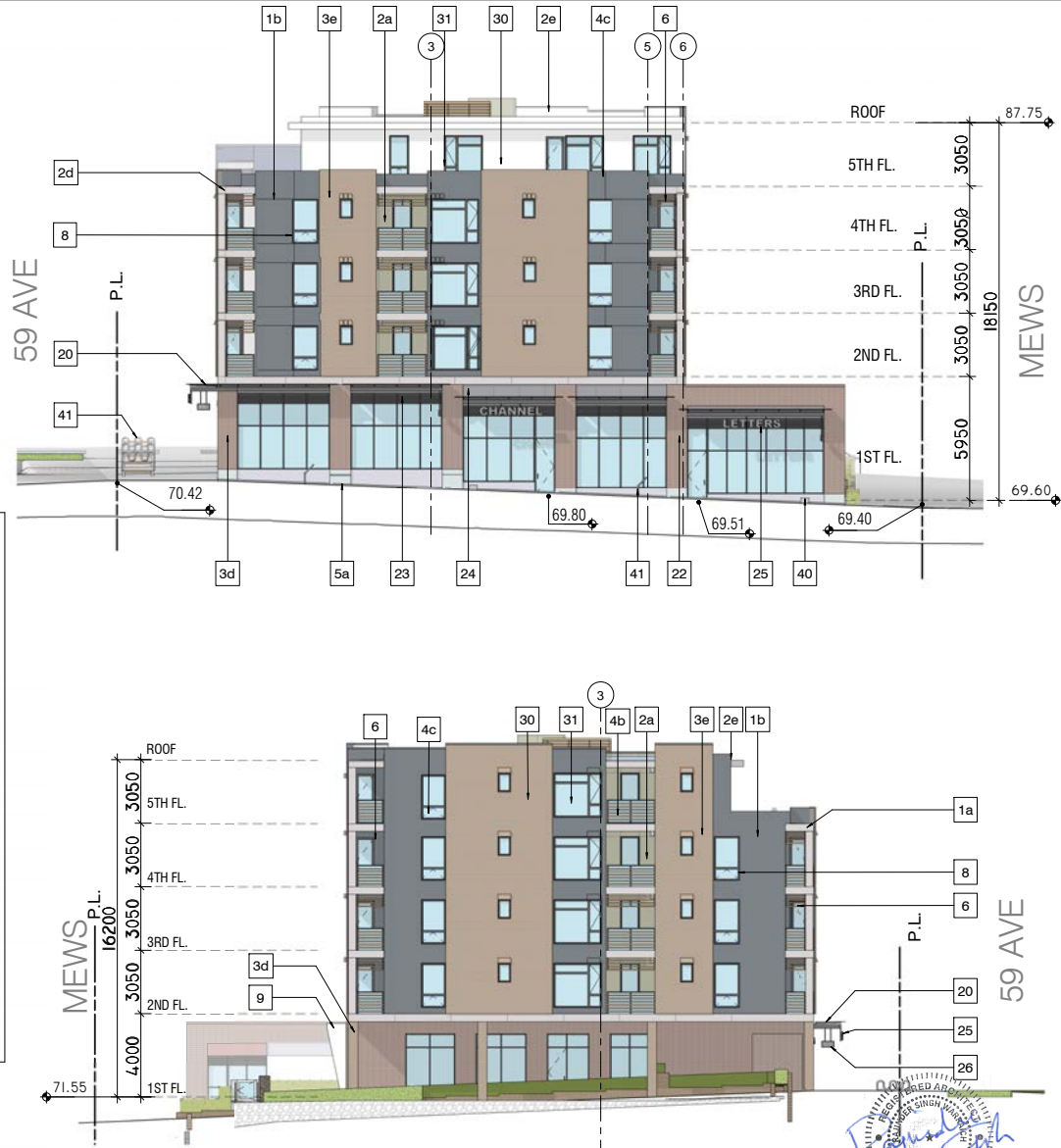


**1 BUILDING C EAST ELEVATION (144 ST)**  
SCALE: 1:96

**MATERIAL FINISH SCHEDULE**

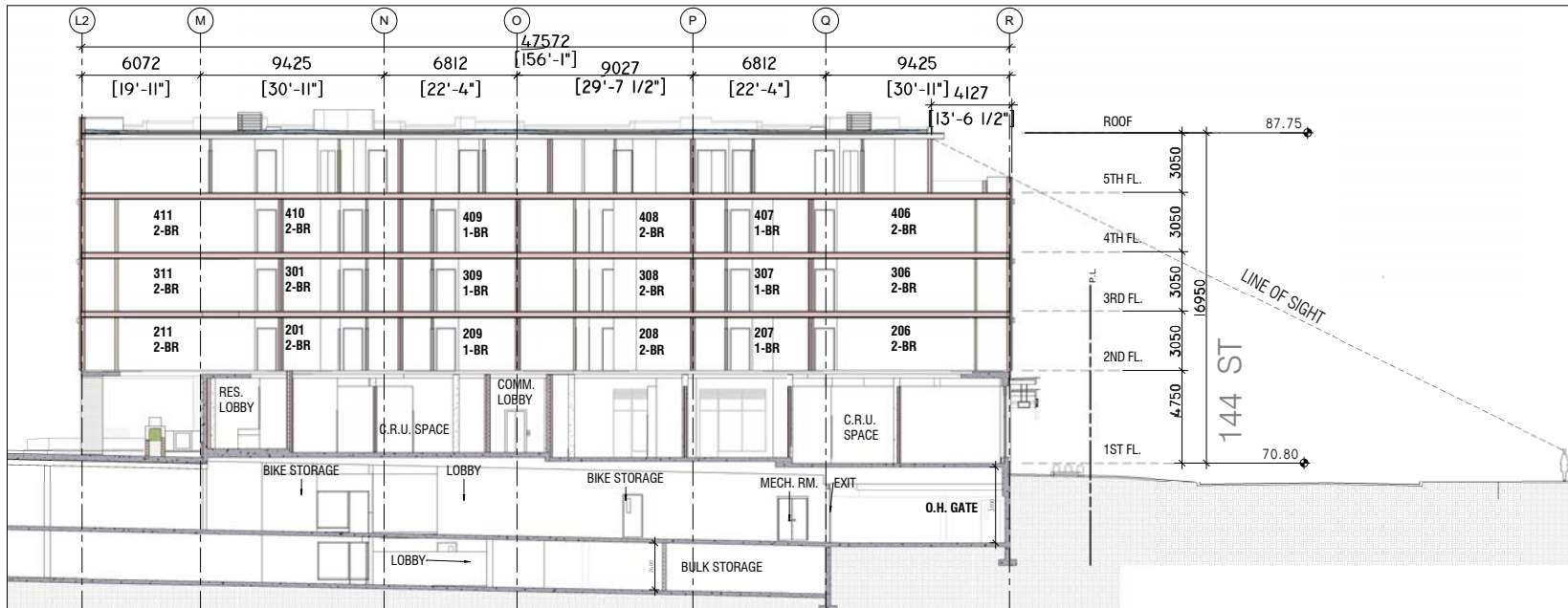
1a	ALUMINUM PANEL, W/ REVEAL, POLAR WHITE, EGG SHELL FINISH	3a	FACE BRICK, REDDISH BROWN-VINTAGE	5a	PAINTED CONCRETE, LIGHT GREY
1b	ALUMINUM PANEL, W/ REVEAL, BLACK, EGG SHELL FINISH	3b	FACE BRICK, MEDIUM GREY-REDONDO	5b	EXPOSED CONCRETE W/ REVEALS
1c	ALUMINUM PANEL, W/ REVEAL, WEATHERED ZINC, EGG SHELL FINISH	3c	FACE BRICK, BLUSH CHARCOAL-COAL CREEK	5c	CONCRETE BLOCK WALL, ZENKALL, GREY
2a	HARDE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, BEIGE	3d	FACE BRICK, DARK BROWN-EBONY	6	SUN SHADE LOUVERS, SIMULATED WOOD ALUMINUM
2b	HARDE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, CHARCOAL	3e	FACE BRICK, CREAM BROWN-TAN TERRA	7	GLASS RAILING
2c	HARDE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, LIGHT GREY, MATTE FINISH	4a	ROOF FLASHING, WHITE	8	VINYL WINDOWS, CHARCOAL GREY
2d	HARDE PANEL REVEAL 2.0 @ W/ COLOUR MATCHED REVEALS, IVORY WHITE, MATTE FINISH	4b	ROOF FLASHING, LIGHT GREY	9	ENTRANCE FRAME, WHITE
2e	ROOFING MEMBRANE "SOPREMA SOPRASTAR" WITH HIGH ALBEDO SR1 VALUE R2	4c	ROOF FLASHING, CHARCOAL	10	ENTRANCE POST, SIMULATED LEDGESTONE
11	ENTRANCE SIGN, BLACK	23	INTEGRATED COMMERCIAL LOUVERS	40	BENCHES
12	ALUMINUM FENCE, SIMULATED WOOD	24	PANELS W/ REVEAL, CHARCOAL	41	BIKE RACKS
13	FROSTED GLASS, GOLDEN YELLOW	25	COMMERCIAL SIGN, CHANNEL LETTERING ONLY	42	COMMERCIAL DUMPSTER SHED
20	METAL & GLASS AWNINGS	26	SMALL BLADE SIGNAGE	43	ALUMINUM GAS METRES SCREENING, CHARCOAL
21	FABRIC AWNINGS	20	ELEVATOR SHAFT DOG HOUSE		
22	CYLINDRICAL UP & DOWN WALL LIGHT	11	AIR HANDLING UNITS		

**2 BUILDING C WEST ELEVATION**  
SCALE: 1:96

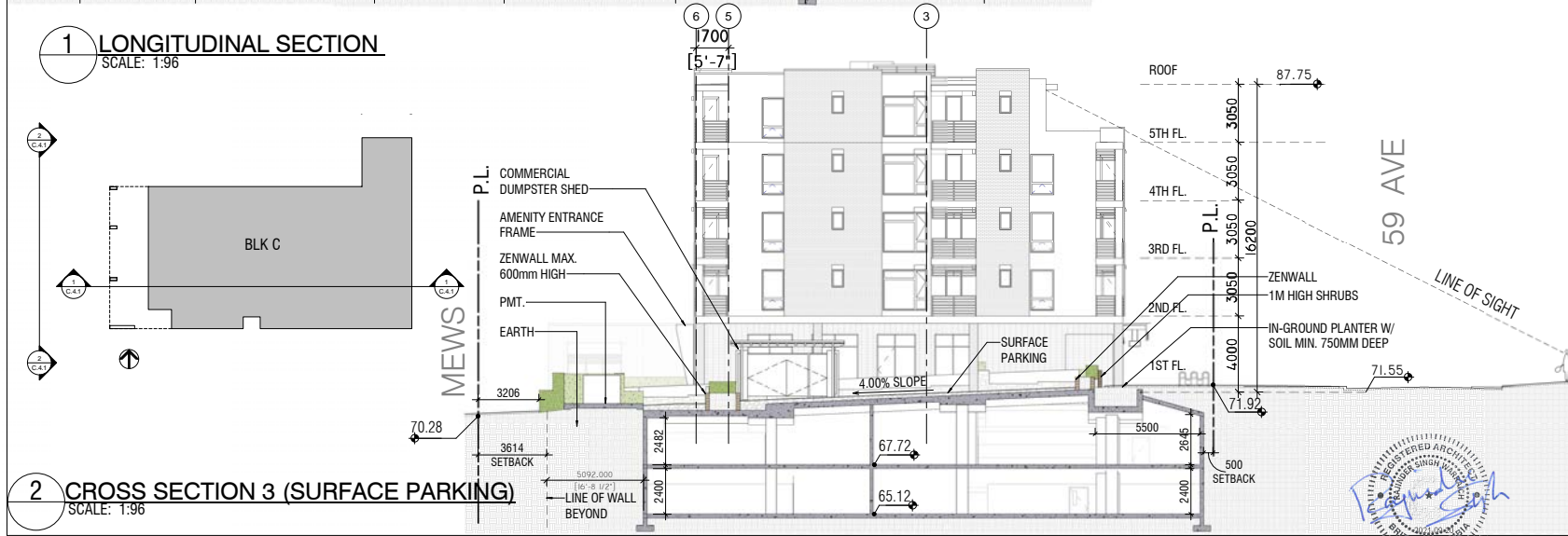


NO.	DATE	REVISION
1	08/24/21	ISSUED FOR PERMITS

DATE	08/24/21
PROJECT NO.	20245
DRAWN BY	Author
CHECKED BY	
SCALE	As indicated
REV NO.	



1 LONGITUDINAL SECTION  
SCALE: 1:96



2 CROSS SECTION 3 (SURFACE PARKING)  
SCALE: 1:96

NO.	REVISION	DATE	BY
1	DATE	08/07/21	
2	DATE	08/07/21	
3	DATE	08/07/21	
4	DATE	08/07/21	
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10	DATE	08/07/21	

DATE	PROJECT NO.	DESIGN BY	CHECKED BY	SCALE	REV NO.
08/20/21	20245	Author		As indicated	

BUILDING C  
SECTIONS/SIGHTLINE  
ANALYSIS





**PROJECT INFO:**  
5 STORY APARTMENT BUILDING  
5093 144 ST  
SURREY BC  
CLIENT:

DATE: 01-09-2021  
PROJECT NO:

SCALE: DRAWN  
As Noted R.W



VIEW FROM NORTH WEST



VIEWS

A 5.0

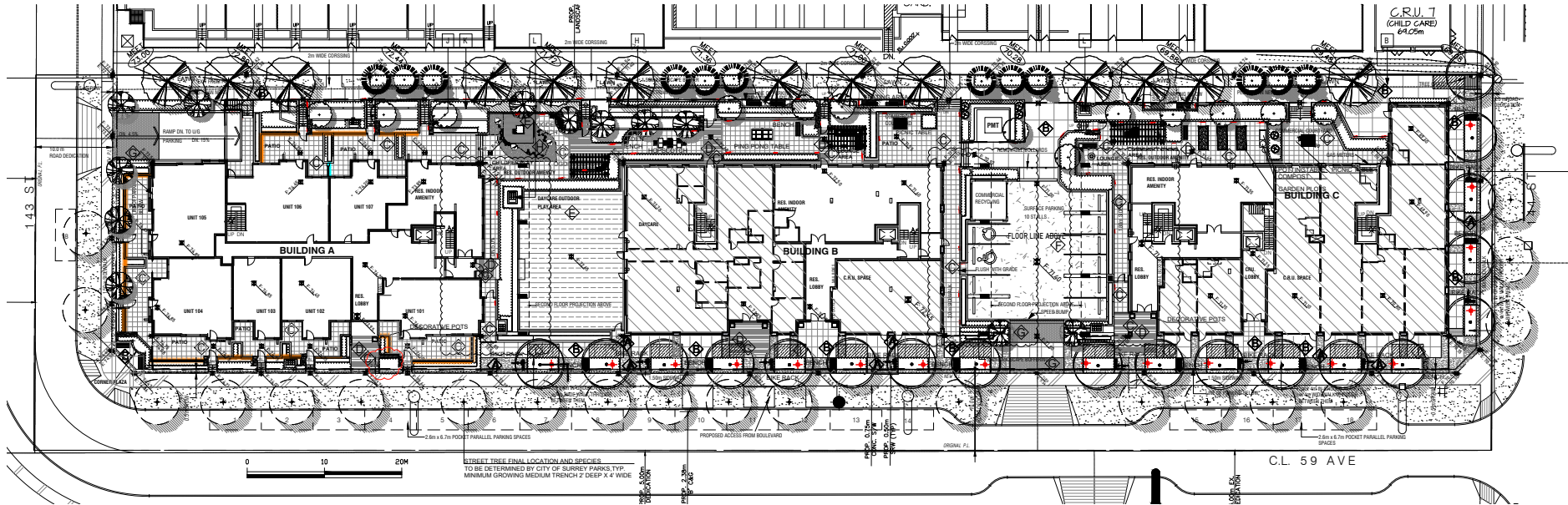




BIRDS VIEW FROM SOUTH

VIEWS

A 5.2



**PLANT SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	PMG PROJECT NUMBER: 21-154
TREE					
6		CHAMAECYPARIS N. 'VAN DEN AKKER'	WEeping Nootka CYPRESS	3M HT. B&B	
13		GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MADDENHAIR TREE	6CM CAL. 2M STD. B&B	
12		MAGNOLIA ROBUSTA 'STELLATA PINK STAR'	PINK STAR MAGNOLIA (LIGHT PINK)	5CM CAL. B&B	
12		PICEA OMORICA	SERBIAN SPRUCE	3M HT. B&B	
13		STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	5CM CAL. 1.5M STD. B&B	
19		STYRAX JAPONICUS	JAPANESE SNOWBELL	6CM CAL. B&B	

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW. MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE:  
- All soft landscape areas to be irrigated with automatically installation to I.A.B.C. Standards, latest edition.

**PLANT SCHEDULE**

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	PMG PROJECT NUMBER: 21-154
20		STREET TREE	TYPE AND LOCATION BY CITY	6CM CAL. B&B	

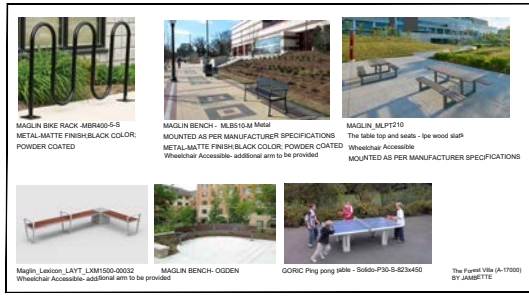
NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW. MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

**PAVER LEGEND**

	EXPOSED AGGREGATE
	SAW-CUT CONCRETE
	2x2' 2x1' Vancouver Bay Architectural Slabs COLOR: GREY, BY MUTUAL MATERIALS
	2x1' Vancouver Bay Architectural Slabs COLOR: CHARCOAL, BY MUTUAL MATERIALS
	RUBBER TILE SAFETY ZONE SURFACE FOR PLAY AREA
	CONCRETE SLAB BY OTHER
	HOLLAND PAVERS HERRINGBONE PATTERN, CASCADE BLEND, BY MUTUAL MATERIALS
	FIBERGLASS DECORATIVE PLANTER
	FIBERGLASS DECORATIVE PLANTER
	STRUCTURAL SOIL

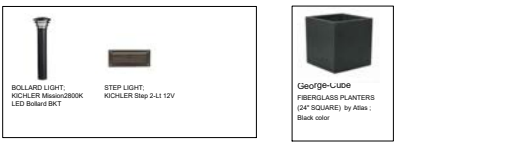
**SITE FURNITURE LEGEND**

Symbol	Model
	BIKE RACK
	BENCH
	BOULDERS, BURY 1/8RD MIN. 24" x MAX. 48" DIAMETER
	LOG BALANCE STEPPER (ON END)
	LOG BALANCE BEAM
	PICNIC TABLE
	PING PONG TABLE
	FIBERGLASS DECORATIVE PLANTER



**LIGHTING LEGEND**

	BOLLARD LIGHT
	STEP LIGHT



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Burnaby, British Columbia, V5C 6G9  
p: 604 294-0011 | f: 604 294-0022

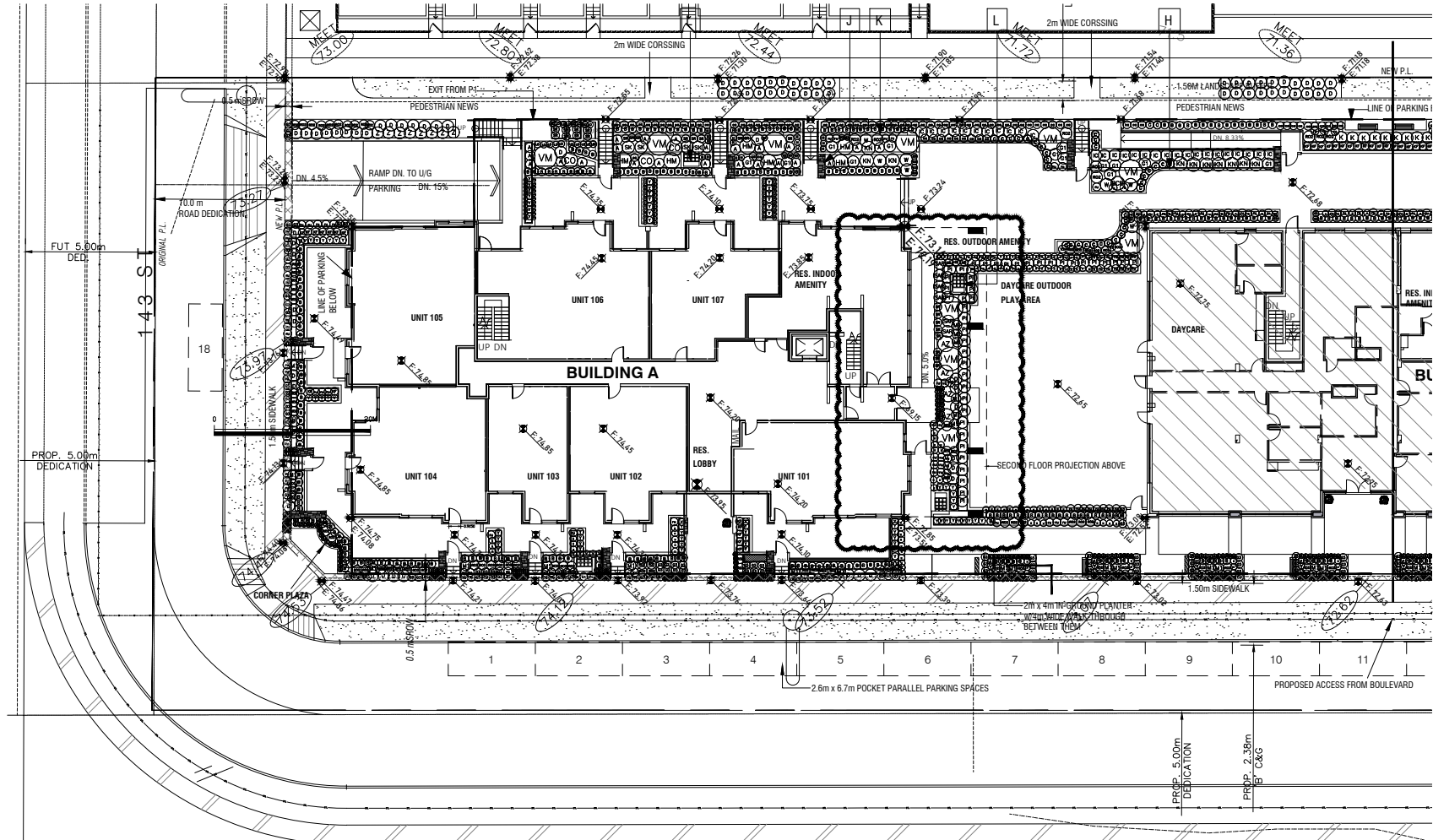
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WITH:	_____		
PROJECT:	_____		
RESIDENTIAL / COMMERCIAL DEVELOPMENT	_____		
5903 - 144TH STREET SURREY	_____		
City file:	_____		
NO.	DATE	REVISION DESCRIPTION	DR.
3	21.07.21	REVISION AS PER CITY COMMENTS	SP

PROJECT: \_\_\_\_\_  
SEAL: \_\_\_\_\_  
DRAWING TITLE: \_\_\_\_\_  
DATE: August 12, 2021  
SCALE: 1:250  
DRAWN: DD  
DESIGN: DD  
CHK'D: PCM

DRAWING NUMBER: \_\_\_\_\_  
DATE: August 12, 2021  
SCALE: 1:250  
DRAWN: DD  
DESIGN: DD  
CHK'D: PCM  
DRAWING NUMBER: \_\_\_\_\_  
**L1**  
PMG PROJECT NUMBER: \_\_\_\_\_  
OF 9  
21-154

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2154-1.2P



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PROJECT:

RESIDENTIAL / COMMERCIAL  
DEVELOPMENT  
5903 - 144TH STREET  
SURREY

City file:

SEAL:

DRAWING TITLE:

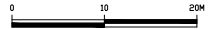
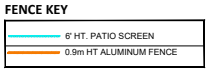
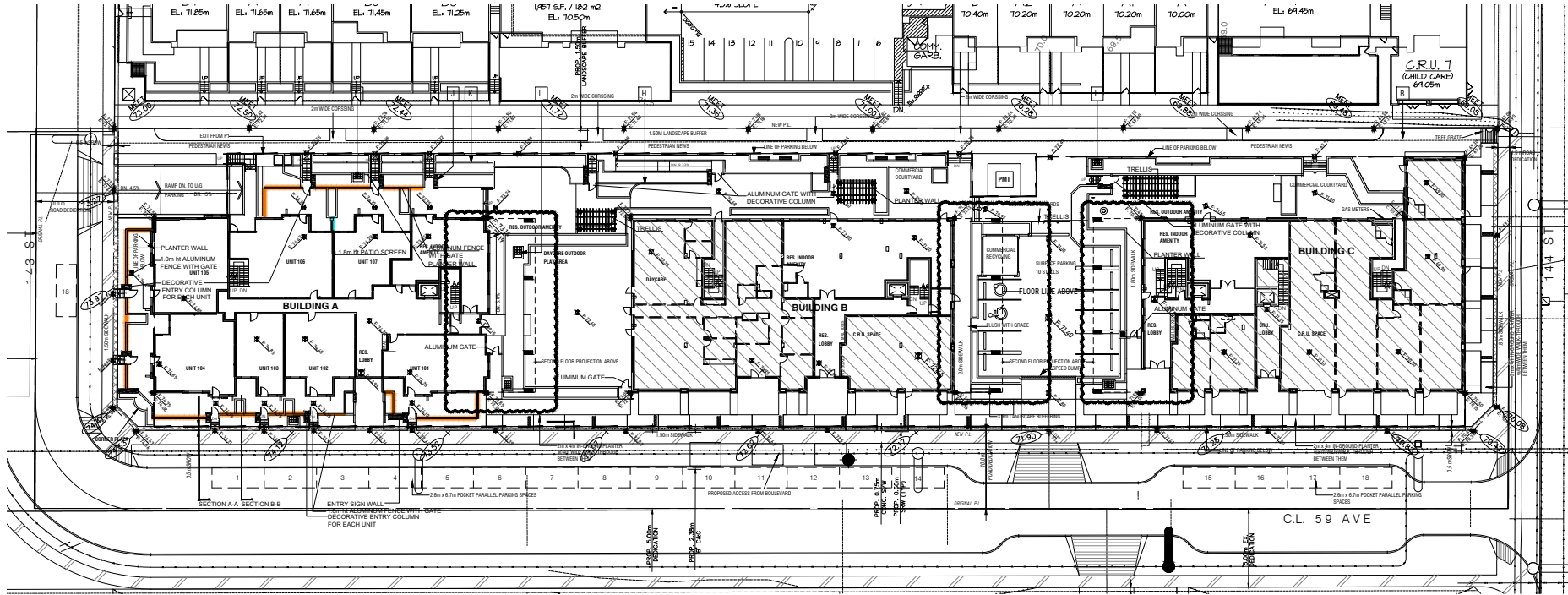
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DATE: August 12, 2021  
SCALE: 1:150  
DRAWN: DD  
DESIGN: DD  
CHKD: PCM

DRAWING NUMBER:  
**L2**  
PMG PROJECT NUMBER:  
21-154

OF 9





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p: 604 294-0011 | f: 604 294-0022

NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT: \_\_\_\_\_  
WITH: \_\_\_\_\_

**PROJECT:**  
  
**RESIDENTIAL / COMMERCIAL DEVELOPMENT  
5903 – 144TH STREET  
SURREY**  
  
City file: \_\_\_\_\_

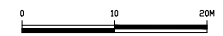
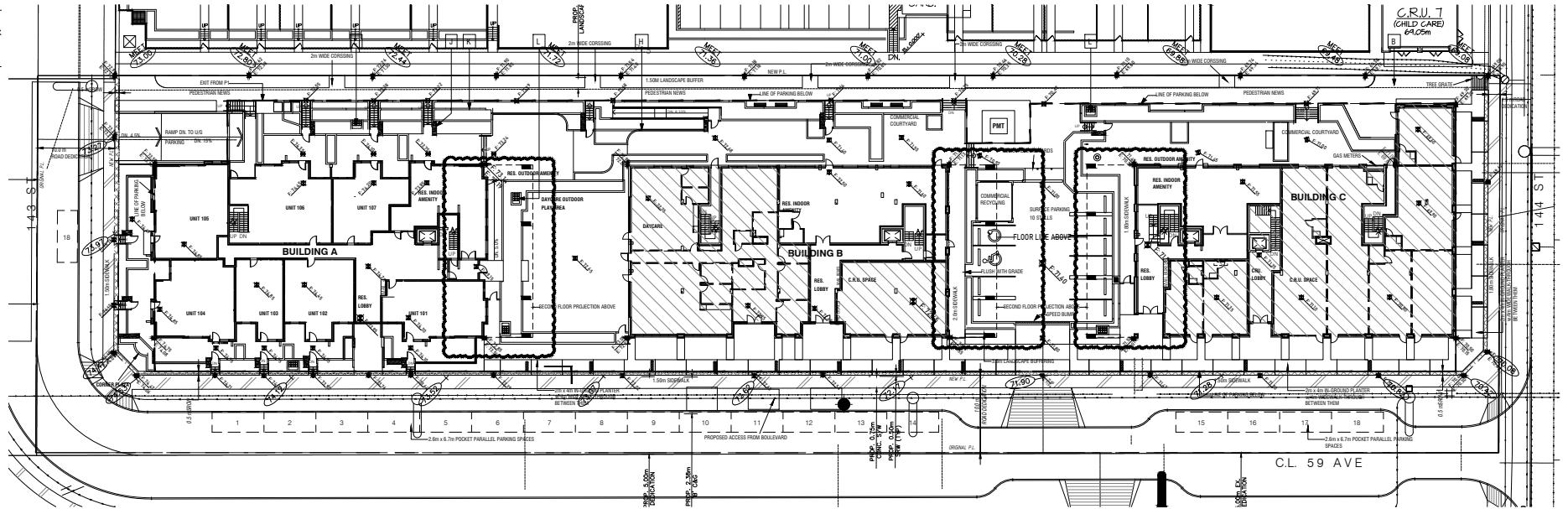
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DESIGN: DD  
CHKD: PCM

PROJECT: \_\_\_\_\_  
TITLE: \_\_\_\_\_

**FENCE PLAN**

DATE: August 12, 2021  
SCALE: 1:250  
DRAWN: DD  
DESIGN: DD  
CHKD: PCM  
  
DRAWING NUMBER:  
**L4**  
PMG PROJECT NUMBER:

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PROJECT:

RESIDENTIAL / COMMERCIAL  
DEVELOPMENT  
5903 - 144TH STREET  
SURREY

City file:

SEAL: \_\_\_\_\_

DRAWING TITLE:

**GRADING  
PLAN**

DATE: August 12, 2021

SCALE: 1:250

DRAWN: DD

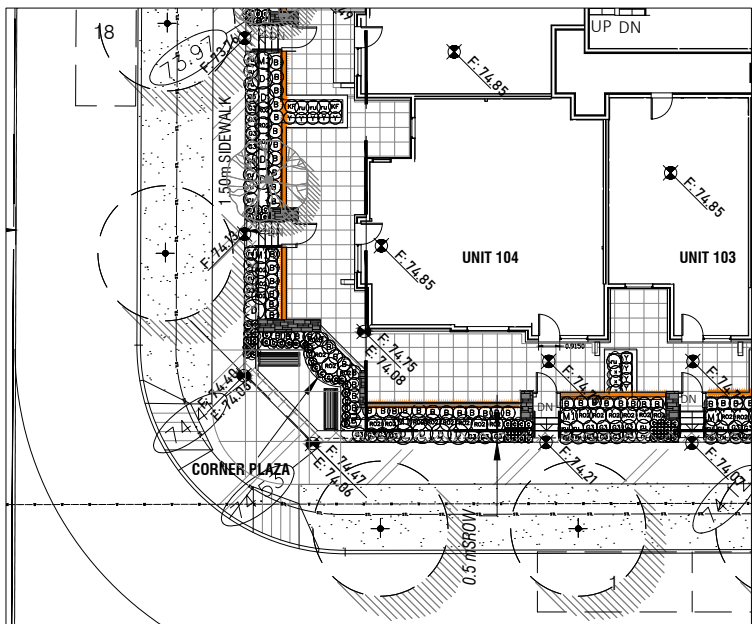
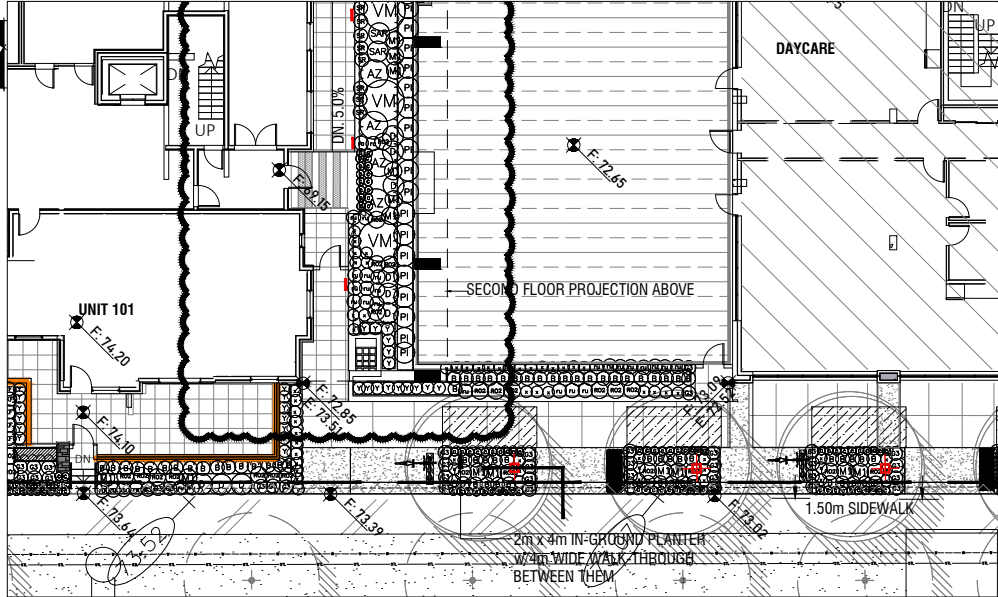
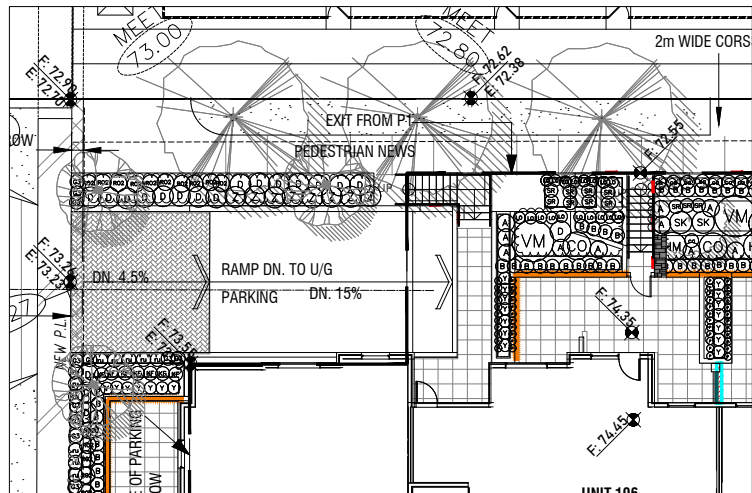
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CHKD: PCM

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PMG PROJECT NUMBER:



PLANT SCHEDULE	PMG PROJECT NUMBER: 21-154		
QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
23	AZALEA JAPONICA 'INDO CRIMSON'	AZALEA (SINGLE DEEP CRIMSON)	#2 POT
4	AZALEA 'INDUS VIRENS'	SECURIDEX AZALEA'S VARIETIES	#3 POT: 40CM
7	BERRBERIS THUNBERGII 'MONDAMB'	CHERRY BOMB BARBERRY	#2 POT
479	BULBUS MICROPHYLLA 'WINTER GEM'	LITTLE LEAF BOX	#3 POT: 40CM
6	CHERRYA TERNATA	MEXICAN MOON ORANGE	#3 POT: 30CM
3	CORNUS ALBA 'KELSEY'	KELSEY DWARF DOGWOOD	#2 POT
6	HYDRANGEA MACROPHYLLA 'NINKO BLUE'	BIGLEAF HYDRANGEA (BLUE)	#3 POT: 30CM
20	ILEX CRENATA 'CONVEYA'	JAPANESE HOLLY	#3 POT: 50CM
19	KALIMA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	#3 POT: 50CM
71	PIRENE JAPONICA 'FOREST FLAME'	PIRENE WHITE BLOOM	#3 POT: 30CM
8	PRUNUS LAUROCESTRIBUS 'ZABELIANA'	ZABEL'S LAUREL	#2 POT: 30CM
144	RHODODENDRON 'SABIN MIDDY'	RHODODENDRON RED	#3 POT: 30CM
141	ROSIA 'KNOCKOUT RADRAZZ'	RADRAZZ KNOCKOUT ROSE	#2 POT
148	RUBUS 'PENTALDORUS'	CREeping RAspBerry	#1 POT
6	SARGOCEDRA HONOLULUANA 'NUSPICIFOLIA'	FRAGRANT SARGOCEDRA	#2 POT
4	SKIMMIA JAPONICA (90% MALE)	JAPANESE SKIMMIA	#2 POT: 30CM
25	SKIMMIA 'REYESIANA'	DWARF SKIMMIA	#1 POT
140	TAXUS X MEDIA 'HICKSF'	HICKS YEW	1.0M BAB
20	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	1.5M HT: BAB
17	VEIBURNUM P.T. 'WAKESPF'	WAKES' DOUBLE FILE VEIBURNUM	1.0M HT: BAB
28	WEIGELA FLORIDA 'PURPUREA'	PURPLE WEIGELA	#3 POT: 50CM
80	CALAMAGROSTIS X A. 'KARL FOERSTER'	KARL FOERSTER FEATHERED GRASS	#2 POT: HEAVY
203	CAREX 'ICE DANCE'	FROSTED REDGE	#1 POT
599	CAREX CORNIBENSIS 'EVERGOLD'	GOLDEN VARIATED BEDGE	#1 POT
225	HAKONCHIDA MACRA 'ALL GOLD'	GOLDEN JAPANESE FOREST GRASS	#1 POT
63	HELICTIS TROCHON SEMPERVIRENS	BLUE DART GRASS	#1 POT
50	MISCANTHUS SINENSIS 'LITTLE KITTEN'	COMPACT MAIDEN GRASS	#1 POT
27	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAP SILVER GRASS	#2 POT
233	FERNISTEM ALPICOIDES 'YAMUN'	DWARF FOUNTAIN GRASS	#1 POT
8	CLEMATIS 'TANGUTICA AUREOLIN'	TANGUTICA CLEMATIS	#2 POT: 60CM: STAKED
36	HEUCHERA MACRANTHA 'CRIMSON CURLS'	FANCY LEAVED CORAL BELLS: DEEP CRIMSON	10 CM POT
17	HOZIA 'WATKIN'	HOZIA: GREEN AND WHITE VARIETATED	10 CM POT
36	LIRIOPE MUSCARI	BLUE LILY TURF	10 CM POT
72	SEDUM ALBUM VAR. 'MICRANTHUM'	'CORAL CARPET' CORAL CARPET STONECROP	10 CM POT
120	DRYOPTERIS ERYTHROSORA 'BRILLIANCE'	BRILLIANCE AUTUMN FERN	#2 POT: 45CM
49	LOUISIERIA GATEA	PRIVET KONEBULO	#1 POT: 30CM
68	PACHYSANDRA TERMINALIS	JAPANESE SPRIGUE	#1 POT: 15CM

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NOTE: \* All soft landscape areas to be irrigated with automatic installation to I.I.A.B.C. Standards, latest edition.

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 WITH: \_\_\_\_\_

SCALE: \_\_\_\_\_ SEAL: \_\_\_\_\_ DRAWING TITLE: \_\_\_\_\_ DATE: August 12, 2021 DRAWING NUMBER: \_\_\_\_\_  
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 CHK'D: PCM

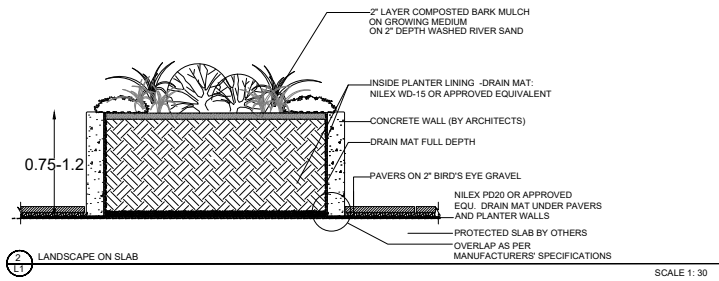
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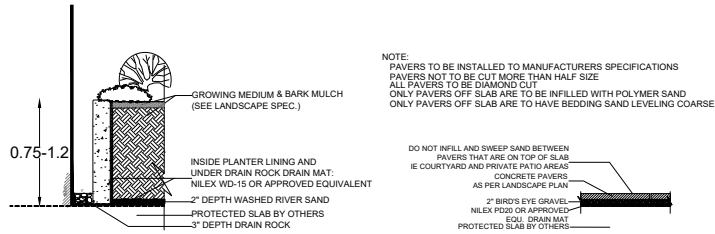
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 DEVELOPMENT  
 5903 - 144TH STREET  
 SURREY  
 City file:

LANDSCAPE  
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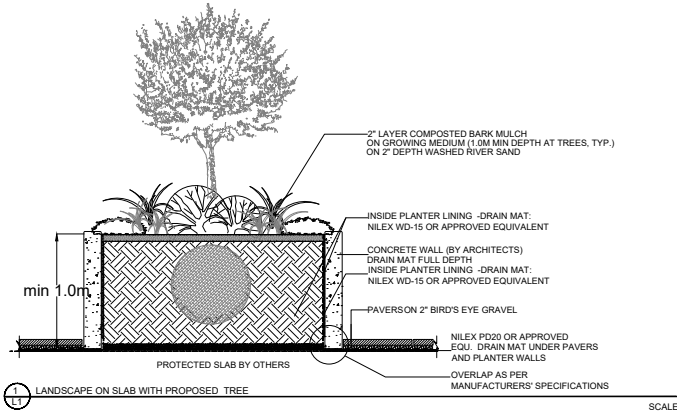
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**L6**  
 PMG PROJECT NUMBER: \_\_\_\_\_  
**OF 9**  
 21-154



2 LANDSCAPE ON SLAB SCALE 1: 30



3 DRAIN STRIP ON SLAB SCALE 1: 30

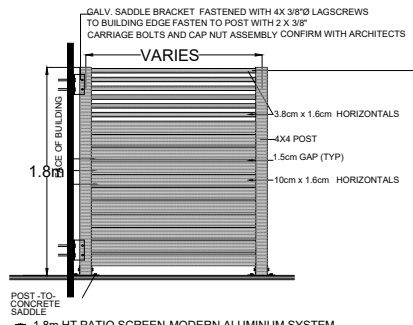


1 LANDSCAPE ON SLAB WITH PROPOSED TREE SCALE 1: 30

NOTE:  
PAVERS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS  
PAVERS NOT TO BE CUT MORE THAN HALF SIZE  
ALL PAVERS TO BE DIAMOND CUT  
ONLY PAVERS OFF SLAB ARE TO BE INFILLED WITH POLYMER SAND  
ONLY PAVERS OFF SLAB ARE TO HAVE BEDDING SAND LEVELING COARSE

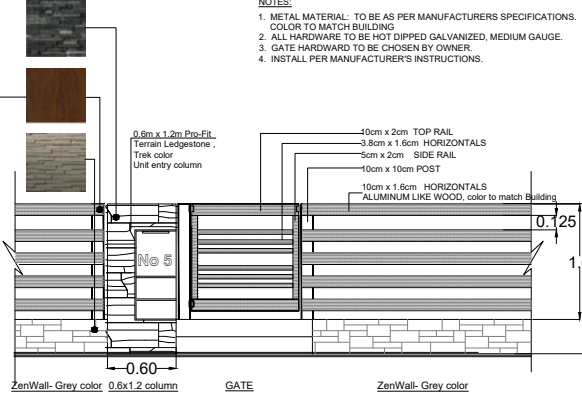
DO NOT INFILL AND SNEEP SAND BETWEEN PAVERS THAT ARE ON TOP OF SLAB IE COURTYARD AND PRIVATE PATIO AREAS  
CONCRETE PAVERS AS PER LANDSCAPE PLAN  
2\"/>

NOTES:  
1. METAL MATERIAL. TO BE AS PER MANUFACTURERS SPECIFICATIONS. COLOR TO MATCH BUILDING  
2. ALL HARDWARE TO BE HOT DIPPED GALVANIZED, MEDIUM GAUGE.  
3. GATE HARDWARE TO BE CHOSEN BY OWNER  
4. INSTALL PER MANUFACTURER'S INSTRUCTIONS.

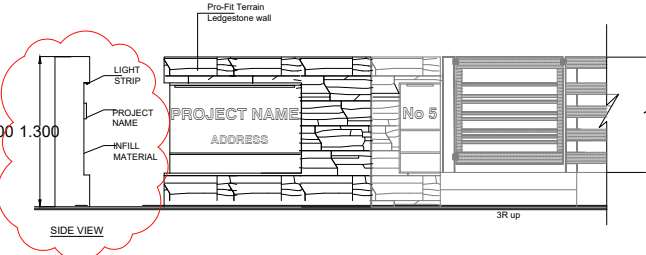


5 1.8m HT PATIO SCREEN-MODERN ALUMINUM SYSTEM SCALE 1: 30

NOTES:  
1. METAL MATERIAL. TO BE AS PER MANUFACTURERS SPECIFICATIONS. COLOR TO MATCH BUILDING  
2. ALL HARDWARE TO BE HOT DIPPED GALVANIZED, MEDIUM GAUGE.  
3. GATE HARDWARE TO BE CHOSEN BY OWNER  
4. INSTALL PER MANUFACTURER'S INSTRUCTIONS.



6 STREET FRONTAGE - LOW PLANTER WALL WITH MODERN ALUMINUM SYSTEM THAT LOOK LIKE WOOD FENCE WITH GATE AND ENTRY DECORATIVE COLUMN SCALE 1: 30



7 SIGN WALL - BUILDING A SCALE 1: 30



CLIENT:  
WITH:

PROJECT:

RESIDENTIAL / COMMERCIAL DEVELOPMENT  
5903 - 144TH STREET  
SURREY

City file:

SCALE:

DRAWING TITLE:

DATE: August 12, 2021  
SCALE: :  
DRAWN: DD  
DESIGN: DD  
CHKD: PCM

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21-154-2.P  
21-154-21 REVISION NO. PER CITY COMMENTS  
NO. DATE REVISION DESCRIPTION DR.

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TO: **Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **Mar 27, 2019** PROJECT FILE: **7818-0235-00**

---

RE: **Engineering Requirements (Commercial/Industrial)  
Location: 5903 144 St**

### REZONE/SUBDIVISION

#### *Property and Right-of-Way Requirements*

- Dedicate 1.5m on 144 Street for ultimate 15.0m from center-line (Arterial Road allowance).
- Dedicate 3.0 X 3.0m corner cut at 59 Avenue and 144 Street.
- Dedicate as road (without compensation):
  - Bylaw Road (City Bylaw Number 10715) for Parcel 2 South Half of Lot C Section 9 Township 2, as shown on Plan 87473 on a road dedication or subdivision plan.
  - City Owned Road for East 7 feet of Lot C (PID 012-206-167), Section 9 Township 2, on a road dedication or subdivision plan.
- Dedicate 10.0m on 59 Avenue (half road) for ultimate 20.0m Local Road standard.
- Dedicate 3.0 X 3.0m corner cuts at 144 Street and 143 Street.
- Dedicate 10.0m on 143 Street for ultimate 20.0 m road allowance (coordinate with 17-0069 to split 20.0m at 10.0m/10.0m), or secure 1.5m SRW to achieve the 11.5m half road.
- Register 0.5m SRW along all frontage roads.

#### *Works and Services*

- Construct 1.8m concrete sidewalk on the west side of 144 Street from City funding (DCW).
- Construct 59 Avenue with ultimate 11.0m pavement width (Commercial standards).
- Construct south half of 59 Avenue from Parks funding (DCW), including driveway letdown for the Tennis Court at 5891-144 Street.
- Construct east side of 143 Street with ultimate 10.5m pavement width.
- Confirm storm drainage system downstream capacity, upgrade if required.
- Construct storm system to service the proposed development and all frontage roads.
- Provide on-site sustainable drainage works to meet the Hyland Creek Integrated Stormwater Management Plan requirements.
- Install water quality/sediment control inlet chamber as part of the on-site drainage system.
- Construct new 200mm diameter water mains along 59 Avenue and 143 Street frontages.
- Provide cash-in-lieu for future upgrading the sanitary sewer on 144 Street to a 250mm sewer main.
- Pay Sanitary Latecomers charge relative to project 5811-0044-00-1

A Servicing Agreement is required prior to Rezone/Subdivision.

### DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit, except for the requirements listed above.



Tommy Buchmann, P.Eng.  
Acting Development Services Manager  
IK1

NOTE: Detailed Land Development Engineering Review available on file



**School Enrolment Projections and Planning Update:**

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Goldstone Park elementary was opened February 2014 to relieve the enrolment pressure at both Woodward Hill and Cambridge Elementary. As of September 2021, all three schools are severely overcrowded. To meet in-catchment demand, portables are in use as enrolling spaces.

June 2020, the Ministry approved design and construction funding to build a new 612-capacity elementary school; located next to the existing Goldstone Park. The new school targeted to open in 2024 will provide enrolment relief to the two neighbouring schools: Goldstone Park and Cambridge.

In June 2018, the Ministry of Education has approved funding for design and construction of a 700-capacity addition at Sullivan Heights. The addition is currently in construction and targeted to open March 2022.

**THE IMPACT ON SCHOOLS**

APPLICATION #: 18 0235 00

**SUMMARY**

The proposed 144 lowrise units are estimated to have the following impact on the following schools:

**Projected enrolment at Surrey School District for this development:**

Elementary Students:	22
Secondary Students:	23

September 2020 Enrolment/School Capacity

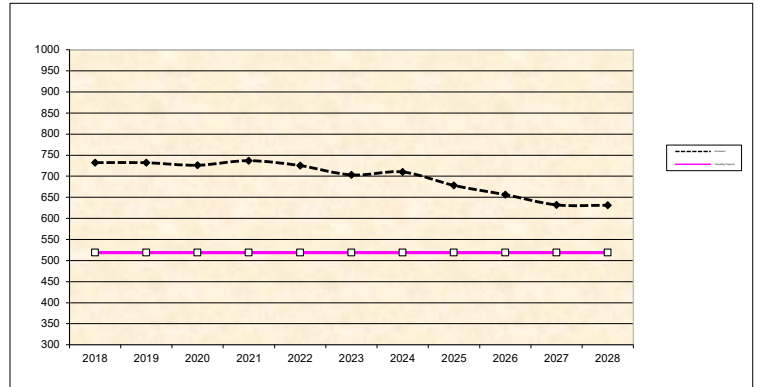
<b>Goldstone Park Elementary</b>	
Enrolment (K/1-7):	75 K + 651
Operating Capacity (K/1-7)	76 K + 443
<b>Sullivan Heights Secondary</b>	
Enrolment (8-12):	1604
Capacity (8-12):	1000
Addition Capacity (8-12) 2022:	1700

<b>Projected population of school-age children for this development:</b>	56
--	----

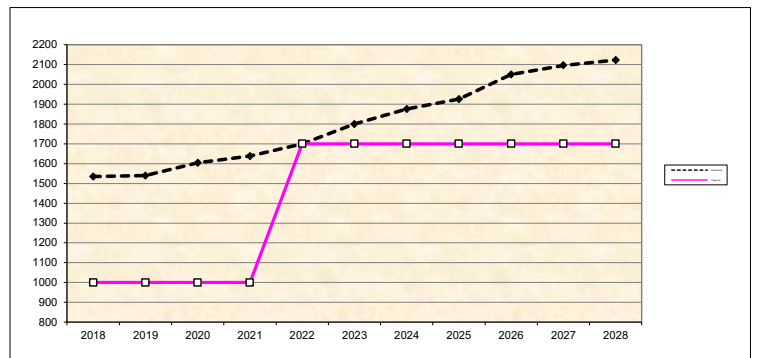
*Population:* The projected population of children aged 0-19 Impacted by the development.

*Enrolment:* The number of students projected to attend the Surrey School District ONLY.

**Goldstone Park Elementary**



**Sullivan Heights Secondary**



\* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.  
Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.



**TREE PRESERVATION SUMMARY**

**APPENDIX IV**

**TREE PRESERVATION SUMMARY**

Surrey Project No.: \_\_\_\_\_  
Project Address: **5903 144<sup>th</sup> St Surrey, BC**  
Consulting Arborist: **Norm Hol**

<b>ON-SITE TREES:</b>	<b>QUANTITY OF TREES</b>
<b>Total Bylaw Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, excluding Park and ESA dedications)	<b>174</b>
<b>Bylaw Protected Trees to be Removed</b>	<b>174</b>
<b>Bylaw Protected Trees to be Retained</b> (excludes trees in Park dedication areas and ESA's)	<b>0</b>
<b>Replacement Trees Required:</b> (excludes 17 city trees in road frontages) Alder and Cottonwood at 1:1 ratio:                         79 times 1 =   79 All Other Bylaw Protected Trees at 2:1 ratio:           78 times 2 =   156 TOTAL:	<b>235</b>
<b>Replacement Trees Proposed</b>	<b>75</b>
<b>Replacement Trees in Deficit</b>	<b>160</b>
<b>Protected Trees Retained in Proposed Open Space/ Riparian Areas</b>	<b>0</b>

<b>OFF-SITE TREES:</b>	<b>QUANTITY OF TREES</b>
<b>Bylaw Protected Off-Site Trees to be Removed</b>	<b>2</b>
Replacement Trees Required: Alder and Cottonwood at 1:1 ratio:                         1 times 1 =   1 All Other Bylaw Protected Trees at 2:1 ratio:           1 times 2 =   2 TOTAL:	<b>3</b>
<b>Replacement Trees Proposed</b>	<b>0</b>
<b>Replacement Trees in Deficit</b>	<b>3</b>

N/A denotes information "Not Available" at this time.

This summary and the referenced documents are prepared and submitted by:

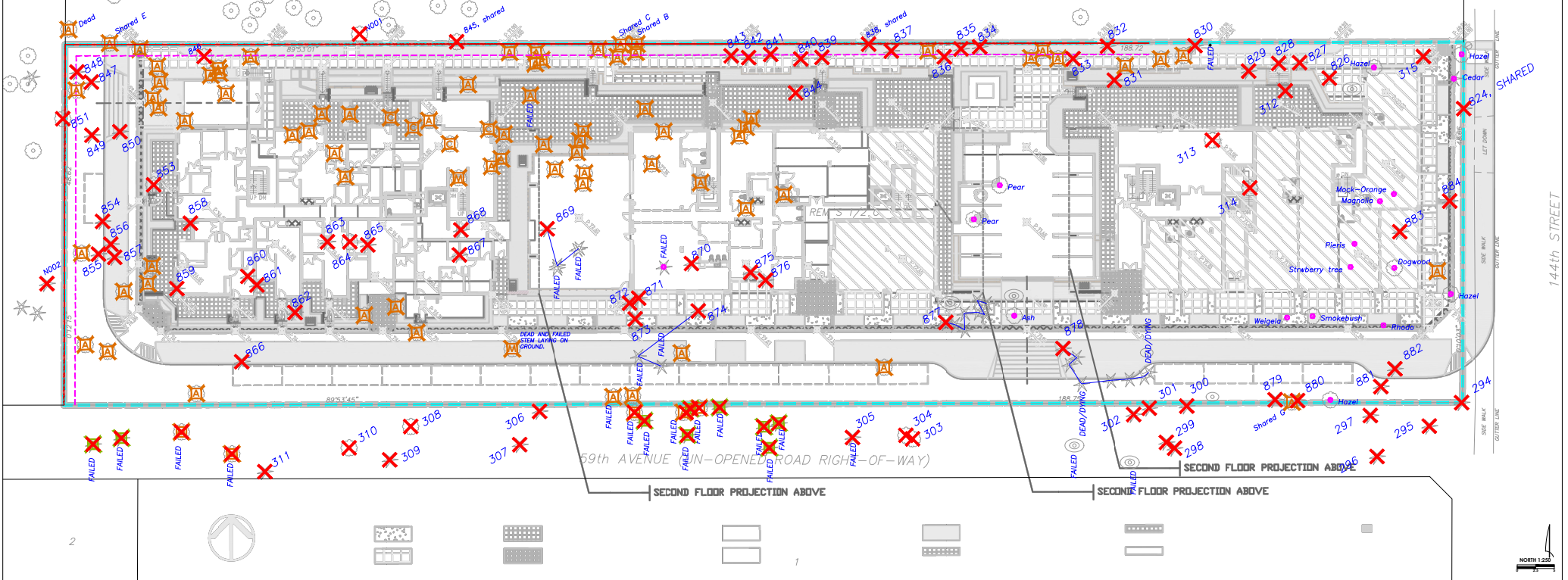
**Norman Hol, Consulting Arborist**

**Dated:   September 14, 2021**

Direct: **604 813 9194**  
Email: **norm@aclgroup.ca**

REM N 1/2 C

NOTE:  
IN ADDITION TO THE NOTED OFFSITE TREES #001 AND #002, CERTAIN ADDITIONAL TREES WITHIN THE NORTH AND WEST ADJACENT PROPERTIES ALONG THE INTERFACE WITH THE PROPOSED DEVELOPMENT MAY BE IMPACTED BY THE CONSTRUCTION, AND/OR MAY POSE A RISK OF FAILURE TOWARD THE SUBJECT SITE DUE TO PRE-EXISTING DEFECTS. THIS NEIGHBOUR WILL NEED TO BE CONTACTED TO MAKE ARRANGEMENTS FOR THOSE EDGE TREES TO BE ASSESSED BY STAFF FROM THIS OFFICE SO THAT WE CAN IDENTIFY ANY TREES (IF ANY) THAT WILL NEED TO BE REMOVED OR TREATED, AND TO OBTAIN AUTHORIZATION FOR THOSE REMOVALS.



TREE MANAGEMENT DETAIL

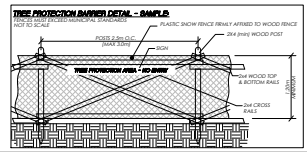


Table with 2 columns: Symbol and Description. Lists various tree management symbols and their corresponding actions.

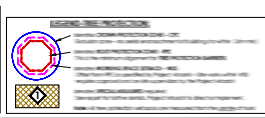
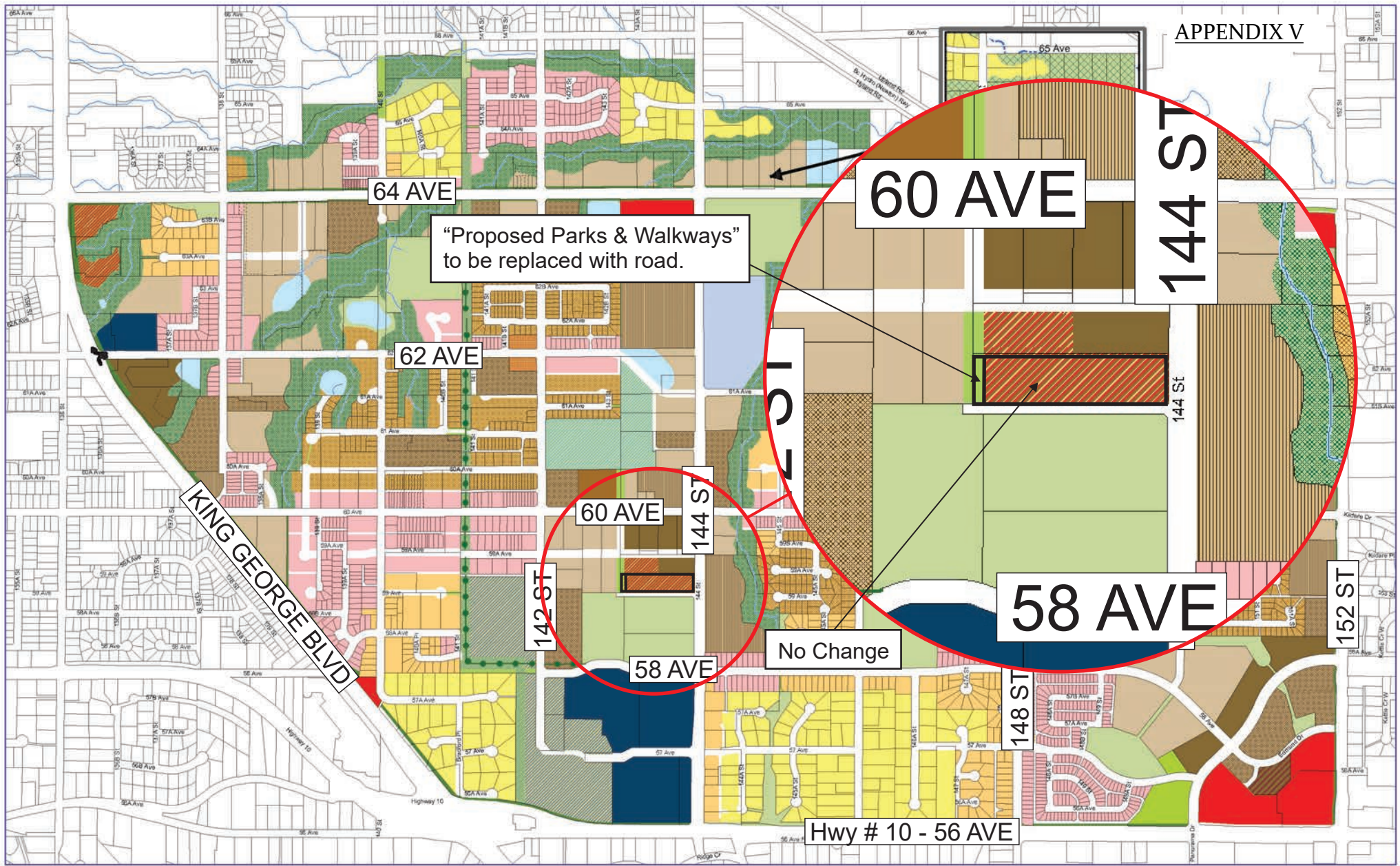


Table titled 'LEGEND - TREE MANAGEMENT IN DEVELOPMENT AREA' with 2 columns: Symbol and Description. Details specific management actions for trees in the development area.

Table with 2 columns: Item and Description. Lists various items and their descriptions related to the tree management plan.

APPENDIX C: TREE MANAGEMENT DRAWING - SHEET 2  
ARBORETECH CONSULTING  
PROJECT: MIXED USE DEVELOPMENT  
ADDRESS: 5903 144TH ST SURREY BC  
CLIENT: 1289412 BC LTD - FLAT ARCHITECTURE  
CITY REF: [blank] IACIL FILE: 17385  
PLOT SIZE: 22'x34' REV: #13 DATE: SEP 14, 2021



### SOUTH NEWTON

NEIGHBOURHOOD CONCEPT PLAN  
City of Surrey Planning & Development Department

- |                       |  |                 |                              |                              |
|-----------------------|--|-----------------|------------------------------|------------------------------|
| Apartments 45 upa max | Single Family Small Lots                 | Commercial      | Proposed School and Park     | Buffers                      |
| Apartments 45 upa max | Row Housing                              | Institutional   | Parks                        | Detention Ponds              |
| Townhouses 30 upa max | Single Family Residential Flex 6 to 14.5 | Office Park     | Proposed Park and Walkway    | Utility R/W Greenway         |
| Townhouses 25 upa max | Single Family Residential                | Industrial      | Recreational                 | Creeks and Riparian Set-back |
| Townhouses 20 upa max | Suburban Residential 1/2 Acre            | Schools         | Creeks and Riparian Set-back | WALKWAY                      |
| Townhouses 15 upa max | Mixed Com/Res Apartments                 | Proposed School |                              |                              |
|                       | Mixed Com/Res Townhouse                  |                 |                              |                              |



This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

**CITY OF SURREY**  
**HOUSING AGREEMENT**  
**Mixed-Use**

THIS HOUSING AGREEMENT made the \_\_\_\_\_ day of September, 2021.

BETWEEN:

**CITY OF SURREY**, a municipal corporation having its offices at 13450 – 104 Avenue, Surrey, B.C. V3T 1V8

(the “**City**”)

OF THE FIRST PART

AND:

**1259412 B.C. LTD.**, a corporation having its offices at 120-12888 80<sup>th</sup> Avenue, Surrey, BC V3W 3A8

(the “**Owner**”)

OF THE SECOND PART

WHEREAS:

- A. The Owner is the legal and beneficial owner of those certain lands and premises located in the City of Surrey, in the Province of British Columbia, legally described as:

Parcel Identifier: 010-206-175  
South Half Lot “C” Except: Firstly: the East 7 Feet and Secondly: Parcel Two (Bylaw Plan NWP87473) Section 9 Township 2 New Westminster District Plan 16821

(the “**Lands**”);

- B. The Owner proposes to use a portion of the Lands for 3 buildings:

- 1) a four-storey apartment building;
- 2) a four-storey mixed-use apartment building; and
- 3) a five-storey mixed-use apartment building;

with approximately 860 square meters of commercial space and approximately 445 square meters of childcare space, 144 Dwelling Units, 53 of the Dwelling Units will be Rental Units and 29 of the Rental Units will be classified as Affordable

Rental Units with 20% below Market Rental Rates (the “Development”) as proposed in Appendix I – Site Plan;

- C. The Developer has voluntarily agreed to enter into a housing agreement pursuant to Section 483 of the *Local Government Act*, R.S.B.C. 2015, Chapter 1, as amended, to ensure that the Rental Units are rented in accordance with this Agreement.

NOW THEREFORE in consideration of the premises herein and of the mutual covenants and agreements hereinafter set forth and contained herein and \$1.00 now paid by the City to the Developer (the receipt of which is hereby acknowledged), the parties hereto covenant and agree each with the other as follows:

## 1. **DEFINED TERMS**

- 1.1 In and for the purpose of this Agreement, in addition to the definitions on the first page of this document, the following terms shall have the following meanings:
- (a) “**Agreement**” means this housing agreement and any amendments to or modifications of the same;
  - (b) “**Affordable Rental Unit**” means 29 Dwelling Units located in Building C, which will be made available for rent at 20% below Market Rental Rates within the Development that are to be used and occupied in accordance with Sections 2.1 and 2.2 of this Agreement;
  - (c) “**City**” means the City of Surrey and any person authorized by the City of Surrey, including assigns of whole or partial interest in this Agreement or of any of the rights conferred upon the City of Surrey by this Agreement;
  - (d) “**City Personnel**” means all of the City’s elected and appointed officials, officers, employees, agents, nominees, delegates, permittees, contractors, subcontractors, invitees and the Approving Officer;
  - (e) “**Claims and Expenses**” means all actions, causes of actions, suits, judgments, proceedings, demands, and claims, whether at law or in equity, losses, damages, expenses and costs (including legal fees and disbursements on an indemnity basis) of any kind or nature whatsoever, at law or in equity, for any damages, losses, injuries or death;
  - (f) “**Development**” means as defined in Recital B;
  - (g) “**Dwelling Unit**” means each of the 144 dwelling units to be constructed within the Development;
  - (h) “**Lands**” means the parcel of land situated in the City of Surrey, British Columbia and legally described in Recital A, and includes any parcel into which such land is consolidated or further subdivided (including a subdivision pursuant to the *Land Title Act* and a subdivision pursuant to the *Strata Property Act* of British Columbia);

- (i) “**Market Rental Rate**” means the average rental rate per square foot for the Market Rental Units, as determined from time to time by the Owner;
- (j) “**Market Rental Unit**” means the 24 Rental Units that are rented at Market Rental Rates, as may be determined from time to time by the Owner and which is not an Affordable Rental Unit.
- (k) “**Owner**” means the company named on the first page of this Agreement and the legal and beneficial owner at any given time and any successors in title of the Lands and, without limitation, if the Lands are subdivided by way of a strata plan under the *Strata Property Act* of British Columbia, then “Owner” includes the strata corporation thereby created;
- (l) “**Rental Units**” means the 53 Dwelling Units within Building C as identified on Appendix I, of which 29 are Affordable Rental Units and 24 are Market Rental Units, which must be made available by the Owner to the general public at arms’ length for use as residential rental accommodation on a month-to-month or longer basis in accordance with all applicable laws including, without limitation, the *Residential Tenancy Act*, S.B.C. 2002, Chapter 78, as amended, and any regulations pursuant thereto; and
- (m) “**Term**” means 25 years, commencing on the first day of the month after the City issues an occupancy permit for the Development.

## **2. RESTRICTION ON OCCUPANCY OF DWELLING UNITS**

- 2.1 During the Term the Rental Units must be made available for rent in accordance with this Agreement.
- 2.2 Each Affordable Rental Unit shall be rented at a rate that is a minimum of 20% below the average Market Rental Rate.”
- 2.3 The City may, from time to time, during the Term request the Owner to provide written proof of compliance with section 2.1 and the Owner agrees to provide, or cause an operator of the Lands to provide, the City with such proof in a form reasonably satisfactory to the City.
- 2.4 Throughout the Term, the Owner shall not sell or transfer the beneficial or registered title or any interest in and to the Rental Units, unless the Owner obtains from the transferee an agreement in writing from the transferee to assume and perform all of the obligations of the Owner arising under this Agreement.
- 2.5 This Agreement shall automatically terminate at the end of the Term and the City shall remove notice of this Agreement from title to the Lands at such time.
- 2.6 The City and the Owner agree that the restrictions on occupancy of the Dwelling Units set out in this Agreement shall not apply to other buildings located on the Lands.

3. **LIABILITY**

- 3.1 **Indemnity.** The Owner shall indemnify and save harmless the City and City Personnel from all Claims and Expenses which the City and City Personnel may suffer, or incur, or be put to, arising out of or in connection with any breach or default of any covenants or agreements on the part of the Owner contained in this Agreement, or arising out of, or in connection with the Development or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.2 **Release.** The Owner does hereby remise, release and forever discharge the City and City Personnel from all Claims and Expenses which the Owner may have against the City and City Personnel, which the Owner now has or hereafter may have with respect to or by reasons of or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.3 **Obligations Continue.** The Owner covenants and agrees that the indemnity and release in Sections 3.1 and 3.2 will remain effective and survive the expiration or termination of this Agreement whether by fulfilment of the covenants contained in this Agreement or otherwise.

4. **NOTICE**

- 4.1 Any notices or other documents to be given or delivered pursuant to this Agreement will be addressed to the proper party as follows:

- (a) As to the City:

City of Surrey  
13450 – 104 Avenue  
Surrey, BC V3T 1V8

Attention: General Manager, Planning and Development Department

- (b) As to the Owner:

1259412 B.C. LTD.  
120 – 12888 80<sup>th</sup> Avenue  
Surrey, BC V3W 3A8

Attention: Jaswinder Singh Parmar

or such other address as such party may direct. Any notice or other documents to be given or delivered pursuant to this Agreement will be sufficiently given or delivered if delivered to the particular party as its address set out or determined in accordance with this section and shall be deemed complete two (2) days after the day of delivery.

- 4.2 It is specifically agreed that for any notice or document to be validly given or delivered pursuant to this Agreement, such notice or document must be delivered



and not mailed.

## 5. **GENERAL**

- 5.1 **Joint and Several.** Where the Owner consists of more than one person, each such person will be jointly and severally liable to perform the Owner's obligations under this Agreement.
- 5.2 **Assignment by City.** This Agreement or any of the rights conferred by this Agreement upon the City may be assigned in whole or in part by the City with the prior written consent of the Owner.
- 5.3 **City's Other Rights Unaffected.** Nothing contained or implied herein will derogate from the obligations of the Owner under any other agreement with the City or, if the City so elects, prejudice or affect the City's rights, powers, duties or obligations in the exercise of its functions pursuant to the *Local Government Act* and the *Community Charter*, as amended from time to time and the rights, powers, duties and obligations of the City under all public and private statutes, by-laws, orders and regulations, which may be, if the City so elects, as fully and effectively exercised in relation to the Lands as if this Agreement had not been executed and delivered by the Owner and the City.
- 5.4 **Agreement for Benefit of City.** The Owner and the City hereby acknowledge, agree and declare that this Agreement is entered into for the sole purpose of benefitting the City and, in particular, acknowledge, agree and declare that this Agreement is not designed to protect or promote the interests of the Owner or any mortgagee of the Owner, or any future owner or occupier of the Lands and any improvements on the Lands or any other person and the City may, at its sole option, execute a release of this Agreement at any time without liability to any person for so doing.
- 5.5 **No Waiver.** The Owner acknowledges and agrees that no failure on the part of the City to exercise and no delay in exercising any right under this Agreement will operate as a waiver thereof, nor will any single or partial exercise by the City of any right under this Agreement preclude any other or future exercise thereof of the exercise of any other right.
- 5.6 **City Not Required to Prosecute.** The Owner agrees that the City is not required or is under no obligation in law or equity to prosecute or enforce this Agreement in any way whatsoever.
- 5.7 **Remedies.** The remedies provided for in this Agreement will be cumulative and not exclusive of any other remedies provided by law or in equity. In addition to any remedies which are available under this Agreement or at law, the City will be entitled to all equitable remedies, including, without limitation, specific performance, injunction and declaratory relief, or any combination thereof, to enforce its rights under this Agreement. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy for a default by the Owner under this Agreement.

- 5.8 **Severability.** All the obligations and covenants in this Agreement are severable, so that if any one or more of the obligations or covenants are declared by a court of competent jurisdiction to be void and unenforceable, the balance of the obligations and covenants will remain and be binding.
- 5.9 **City Court Costs.** In an action to enforce this Agreement in respect of which the court determines that the position of the City will prevail, the City will be entitled to court costs on at the discretion of the Court on a solicitor-client basis.
- 5.10 **Subdivision/Consolidation.** If the Lands are subdivided or consolidated at any time hereafter either under the provisions of the *Land Title Act* or under the *Strata Property Act*, then upon the deposit of a plan of subdivision, strata plan, consolidation plan or similar plan or application as the case may be the rights, benefits, burdens, obligations, and covenants contained in this Agreement will continue to charge each of the new parcels, lots, or other subdivided or consolidated parcels and areas so created.
- 5.11 **Subdivision by Strata Plan.** If the Lands, or any portion thereof, are subdivided by a strata plan, this Agreement will charge title to the strata lots and the common property comprising such strata plan and:
- (a) this Agreement will be registered against each individual strata lot and noted on the common property sheet;
  - (b) the strata corporation or the strata corporations created will perform and observe the Owner's covenants in this Agreement, solely at the expense of the strata lot owners; and
  - (c) the liability of each strata lot owner for the performance and observance of the Owner's covenants herein will be in proportion to the unit entitlement of his, her or its strata lot as established by the strata plan.
- 5.12 **Personal Representatives and Successors.** This Agreement shall enure to the benefit of and be binding upon the parties hereto and their personal representatives, respective heirs, executors, administrators, successors, and assigns.
- 5.13 **Governing Law.** This Agreement will be governed by and construed in accordance with the laws of the Province of British Columbia and the laws of Canada applicable in British Columbia.
- 5.14 **Priority.** The Owner shall at the sole expense of the Owner, do or cause to be done all acts reasonably necessary to grant priority to this Agreement over all charges and encumbrances which may have been registered against the title to the Lands at the Land Title Office save and except those specifically approved in writing by the City.
- 5.15 **Further Assurances.** The Owner shall do, or cause to be done, all things and execute or cause to be executed all documents and give such further and other assurances which may be reasonably necessary to give proper effect to the intent

of this Agreement.

- 5.16 **Counterparts.** This Agreement may be executed in any number of counterparts and delivered via facsimile or e-mail, each of which will be deemed to be an original and all of which taken together will be deemed to constitute one and the same instrument, provided that any party delivering this Agreement via facsimile or e-mail will deliver to the other party any originally executed copy of this Agreement forthwith upon request by the other party.
- 5.17 **Entire Agreement.** This Agreement represents the entire agreement between the City and the Owner regarding the matters set out in this Agreement and supersedes all prior agreements, letters of intent or understandings about these matters.

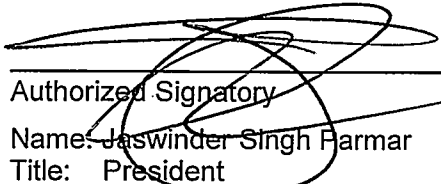
IN WITNESS WHEREOF the City of Surrey and the Owner have executed this Agreement under seal of their duly authorized officers as of the references of this Agreement.

**CITY OF SURREY**

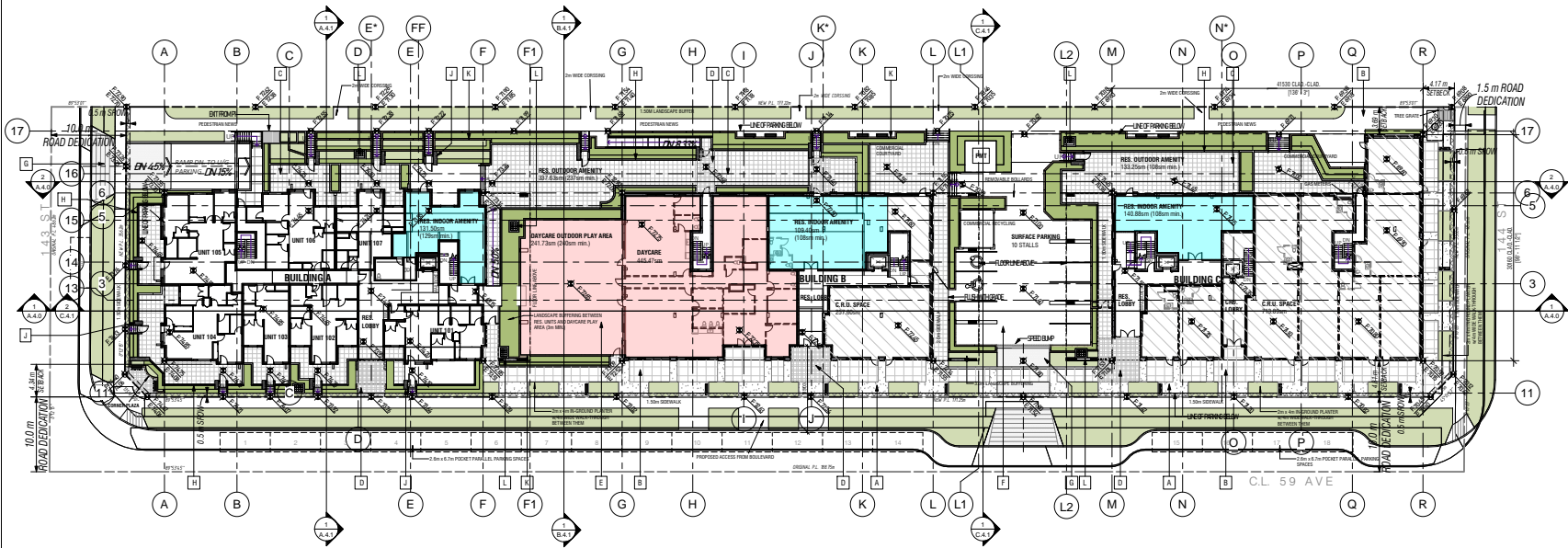
By: \_\_\_\_\_  
Authorized Signatory  
Doug McCallum,  
Mayor  
City of Surrey

By: \_\_\_\_\_  
Authorized Signatory  
Jennifer Ficocelli,  
City Clerk  
City of Surrey

**1259412 B.C. LTD.**

By:   
\_\_\_\_\_  
Authorized Signatory  
Name: Jaswinder Singh Parmar  
Title: President

# Appendix I - Site Plan



**SITE PLAN**  
SCALE: 1:256



**LEGEND**

- A** EXPOSED AGGREGATE
- B** SAW-CUT CONCRETE
- C** CONCRETE PAVERS
- D** SPECIALTY PAVERS FOR RESIDENTIAL ENTRANCE
- E** RUBBER TILE SAFETY ZONE FOR PLAY AREA
- F** CONCRETE SLAB FOR SURFACE PARKING
- G** CONCRETE WALL FLUSH WITH GRADE
- H** CONCRETE WALL FLUSH WITH GRADE
- I** SPECIALTY PAVERS FOR PARKING ENTRANCE
- J** ZENWALL CONCRETE BLOCK WALL
- K** DECORATIVE ENTRY-ARCHITECTURAL CONCRETE WALL
- L** PARKING VENT GRATING AT GRADE 1.2m x 0.9m

**AMENITY AREA**

- RESIDENTIAL AMENITY AREA
- DAY CARE AMENITY



Unit 209- 4021 King George Blvd  
Burnaby BC V2N 1C1  
www.flat1architecture.ca  
contact@flat1architecture.ca  
Ph: 604-503-4464

PROJECT INFO:  
SULLIVAN STATION MIXED USE

CLIENT:  
5903 144 STREET

NO.	DESCRIPTION	DATE	BY

DATE	08/07/21
PROJECT NO.	20245
DRAWN BY	AJ
CHECKED BY	
SCALE	1:250

**A.1.0**

CITY OF SURREY

BYLAW NO. 19993

A bylaw to amend "Surrey Zoning By-law, 1993, No. 12000", as amended  
.....

THE COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. "Surrey Zoning By-law, 1993, No. 12000", as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of "Surrey Zoning By-law, 1993, No. 12000", as amended as follows:

FROM: ONE ACRE RESIDENTIAL (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 010-206-175  
South Half Lot C Except: Firstly: The East 7 Feet; and Secondly: Parcel Two (Bylaw Plan NWP87473) Section 9 Township 2 New Westminster District Plan 1682

(5903 - 144 Street)

(hereinafter referred to as the "Lands")

- 2. The following regulations shall apply to the *Lands*:

**A. Intent**

This Comprehensive Development Zone is intended to accommodate and regulate the development of *multiple unit residential buildings and ground-oriented multiple unit residential buildings*, and related *amenity spaces*, and neighbourhood commercial uses, which are to be developed in accordance with a *comprehensive design*.

**B. Permitted Uses**

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

- 1. *Multiple Unit Residential Buildings and Ground-Oriented Multiple Unit Residential Buildings.*
- 2. The following uses are permitted, provided that they are restricted to the ground floor of a *multiple unit residential building* and that the maximum gross floor

area of each individual business does not exceed 370 square metres [4,000 sq. ft.]:

- (a) *Retail stores* excluding *adult entertainment stores*, auction houses, *second-hand stores* and *pawnshops*;
- (b) *Personal service uses*, limited to barbershops, beauty parlours, cleaning and repair of clothing and shoe repair shops;
- (c) Office uses excluding *social escort services* and *methadone clinics*;
- (d) *General service uses* excluding funeral parlours, *drive-through banks* and *vehicle rentals*;
- (e) *Indoor recreational facilities*, excluding a gymnasium;
- (f) *Community service*;
- (g) *Eating establishments* excluding *drive-through restaurants*, provided that the maximum *gross floor area* of the business does not exceed 150 square metres (1,615 sq. ft.);
- (h) *Child care centres*, restricted to a maximum *gross floor area* of 445 square metres (4,790 sq. ft.); and
- (i) *Small-scale drug store provided:*
  - i. The *small-scale drug store* does not exceed a total gross floor area of 370 square metres;
  - ii. The *small-scale drug store* is an *accessory use* only to offices of medical doctors;
  - iii. There is not more than one *small-scale drug store* on the lot; and
  - iv. The *small-scale drug store* is contained in the same principal building as the medical doctors' offices.

**C. Lot Area**

Not applicable to this Zone.

**D. Density**

1. The maximum *density* shall not exceed a floor area ratio of 0.1 or a building area of 300 square metres (3,230 square feet), whichever is smaller.
2. The maximum *density* may be increased to a floor area ratio of ~~1.50~~1.74 if amenities are provided in accordance with Schedule G of "Surrey Zoning By-law, 1993, No. 12000", as amended.

3. Notwithstanding the definition of *floor area ratio*, for an air space subdivision, the air space parcels and the remainder lot of the air space subdivision shall be considered as one lot for the purpose of application of Section D of this Zone, and further provided that the floor area ratio calculated from the cumulative floor areas of the buildings within all of the air space parcels and the remainder lot of the air space subdivision shall not exceed the maximum specified in Sub-section D.2(a) of this Zone.
4. The indoor *amenity space* required in Sub-section J.1(b) is excluded from the calculation of *floor area ratio*.

**E. Lot Coverage**

1. The *lot coverage* shall not exceed ~~45%~~ **48%**.
2. Notwithstanding the definition of *lot coverage*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section E of this Zone, and further provided that the *lot coverage* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section E.1 of this Zone.

**F. Yards and Setbacks**

1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

<b>Use</b>	<b>Setback</b>	<i>Front Yard</i>	<i>Rear Yard</i>	<i>Side Yard</i>	<i>Side Yard on Flanking Street</i>
<i>Principal Buildings</i>		4.0 m	4.6 m	3.7 m	4.3 m
<i>Accessory Buildings and Structures</i>		[13 ft.]	[15 ft.]	[12 ft.]	[14 ft.]

Measurements to be determined as per Part 1 Definitions of "Surrey Zoning By-law, 1993, No. 12000", as amended.

3. Notwithstanding Section F.1 of this Zone, the minimum *setbacks* of *principal buildings* and *accessory buildings and structures* for interior *lot lines* for *lots* created by an air space subdivision may be 0.0 metre [0 ft.].
4. Not withstanding Sub-section A.3(d) of Part 5 Off-Street Parking and Loading/Unloading of "Surrey Zoning By-law, 1993, No. 12000", as amended, *underground parking* may be located up to 0 metres [0 ft.] from any lot line.

**G. Height of Buildings**

Measurements to be determined as per Part 1 Definitions of "Surrey Zoning By-law, 1993, No. 12000", as amended.

1. Principal buildings: The *building height* shall not exceed ~~14.6~~ 18.9 metres [~~48~~ ft.].
2. Accessory buildings and structures: The *building height* shall not exceed 4.5 metres [ 15 ft.].

## H. Off-Street Parking

1. Resident and visitor *parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of "Surrey Zoning By-law, 1993, No. 12000", as amended.
2. All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.

## I. Landscaping

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Loading areas, garbage containers and *passive recycling containers* shall be located within the principle building for residential use and screened to a height of at least 2.5 metres [8 ft.] by *buildings, a landscaping screen, a solid decorative fence, or a combination thereof* for the commercial use.

## J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
  - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
  - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq. ft.] per *dwelling unit*.



2. *Child care centres* shall be located on the *lot* such that these centres:
  - (a) Are accessed from a *highway*, independent from the access to the residential uses permitted in Section B of this Zone; and
  - (b) Have direct access to an *open space* and play area within the *lot*.
3. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq.ft.] per *dwelling unit*, whichever is greater.
4. The outdoor storage or display of goods, materials, supplies is specifically prohibited, notwithstanding any other provision in this Part.

**K. Subdivision**

1. *Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<b><i>Lot Size</i></b>	<b><i>Lot Width</i></b>	<b><i>Lot Depth</i></b>
2,000 sq.m. [0.5 acre]	30 metres [100 ft.]	30 metres [100 ft.]

---

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of "Surrey Zoning By-law, 1993, No. 12000", as amended.

2. Air space parcels and the remainder *lot* created through an air space subdivision in this Zone are not subject to Section K.1.

## L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in "Surrey Zoning By-law, 1993, No. 12000", as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of "Surrey Zoning By-law, 1993, No. 12000", as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-70 Zone as set forth in the "Surrey Subdivision and Development By-law, 1986, No. 8830", as amended.
3. General provisions are as set out in Part 4 General Provisions of "Surrey Zoning By-law, 1993, No. 12000", as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of "Surrey Zoning By-law, 1993, No. 12000", as amended.
5. Sign regulations are as set out in "Surrey Sign By-law, 1999, No. 13656", as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of "Surrey Zoning By-law, 1993, No. 12000", as amended.
7. *Building* permits shall be subject to the "Surrey Building Bylaw, 2012, No. 17850", as amended.
8. *Building* permits shall be subject to "Surrey Development Cost Charge Bylaw, ~~2018~~2021, No. ~~19478~~20291", as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-70 for the residential portion and C-5 Zone for the commercial portion.
9. Tree regulations are set out in "Surrey Tree Protection Bylaw, 2006, No. 16100", as amended.
10. Development permits may be required in accordance with the "Surrey Official Community Plan By-law, 2013, No. 18020", as amended.
11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations

pursuant thereto including without limitation B.C. Reg 319/89/213.

12. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, c. 267, as amended.
  
3. This Bylaw shall be cited for all purposes as "Surrey Zoning Bylaw, 1993, No. 12000, Amendment Bylaw, 2019, No. 19993"

PASSED FIRST READING on the 18th day of November, 2019.

PASSED SECOND READING on the 18th day of November, 2019.

PUBLIC HEARING HELD thereon on the 2nd day of December, 2019.

PASSED THIRD READING on the 2nd day of December, 2019.

RECEIVED APPROVAL FROM THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE on the 10th day of December, 2019.

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the            th day of            , 20 .

\_\_\_\_\_ MAYOR

\_\_\_\_\_ CLERK

(the "City")

**DEVELOPMENT VARIANCE PERMIT**

NO.: 7918-0235-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations, or agreements, except as specifically varied by this development variance permit.
  
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-206-175

South Half Lot "C" Except: Firstly: The East 7 Feet; and Secondly; Parcel Two (Bylaw Plan NWP87473) Section 9 Township 2 New Westminster District Plan 16821

5903 - 144 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

\_\_\_\_\_

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

\_\_\_\_\_

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

- (a) *Multiple Unit Residential Dwelling* in Table C.1 “Number of Off-Street Parking Spaces” of Part 5 “Off-Street Parking and Loading/Unloading” is varied by reducing the parking rate for 1-bedroom units from 1.3 spaces per dwelling unit to 1.28 spaces per dwelling unit; from 1.5 spaces per dwelling unit to 1.28 spaces per dwelling unit with 2 or more bedrooms; and from 0.2 spaces per dwelling unit for visitor parking to 0.16 spaces per dwelling unit for visitor parking.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20   .  
ISSUED THIS      DAY OF      , 20   .

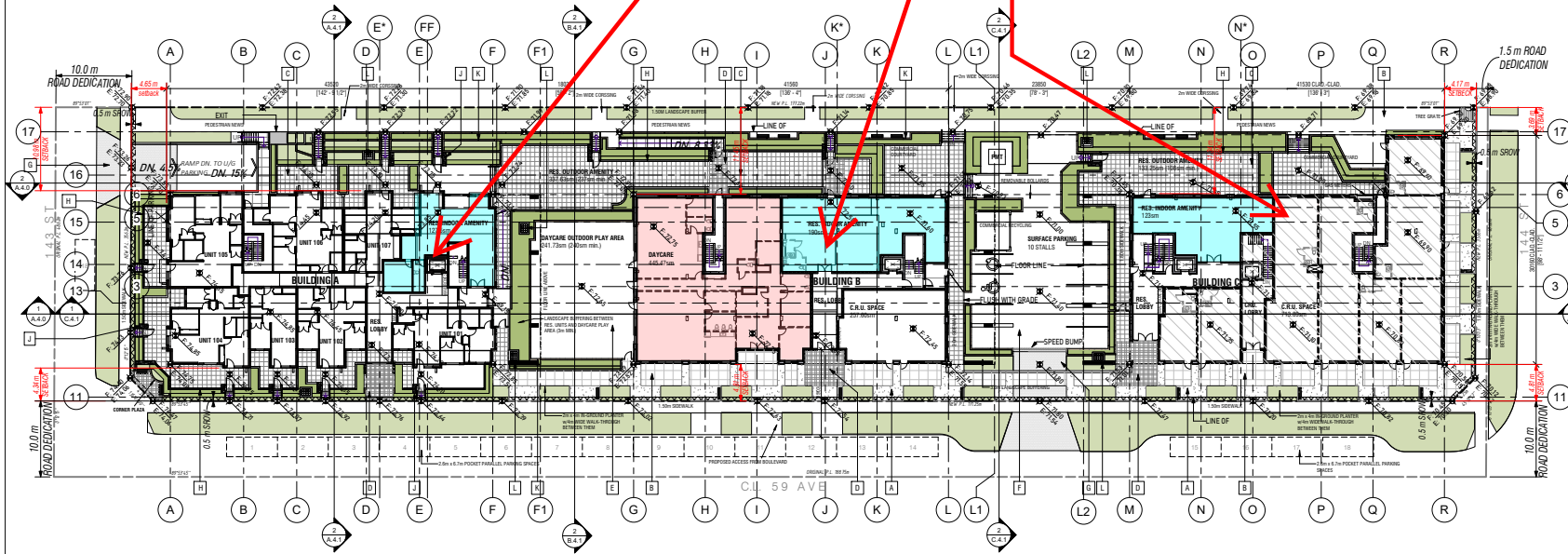
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Mayor – Doug McCallum

---

City Clerk – Jennifer Ficocelli

Proposed variance to reduce the parking rate for 1-bedroom units from 1.3 spaces per dwelling unit to 1.28 spaces per dwelling unit; from 1.5 spaces per dwelling unit to 1.28 spaces per dwelling with 2 or more bedrooms; and from 0.2 spaces per dwelling unit for visitor parking to 0.16 spaces per dwelling unit for visitor parking.



**SITE PLAN**  
SCALE: 1:256



**LEGEND**

- A** EXPOSED AGGREGATE
- B** SAW-CUT CONCRETE
- C** CONCRETE PAVERS
- D** SPECIALTY PAVERS FOR RESIDENTIAL ENTRANCE
- E** RUBBER TILE SAFETY ZONE FOR PLAY AREA
- F** CONCRETE SLAB FOR SURFACE PARKING
- G** CONCRETE WALL FLUSH WITH GRADE
- H** CONCRETE WALL FLUSH WITH GRADE
- I** CONCRETE WALL FLUSH WITH GRADE
- J** ZENWALL CONCRETE BLOCK WALL
- K** DECORATIVE ENTRY-ARCHITECTURAL CONCRETE WALL
- L** PARKING VENT GRATING AT GRADE 1.2m x 0.9m

**AMENITY AREA**

- RESIDENTIAL AMENITY AREA
- DAY CARE AMENITY



Unit 206- 4321 King George Blvd  
Burnaby BC, V5N 1C1  
www.flatarchitecture.ca  
contact@flatarchitecture.ca  
Ph: 604-503-4464

PROJECT INFO:  
SULLIVAN STATION MIXED USE

CLIENT:  
5903 144 STREET

NO.	DESCRIPTION	DATE	BY

DATE: 08/07/21

PROJECT NO: 20-245

DRAWN BY: AI

CHECKED BY:

SCALE: 1:250

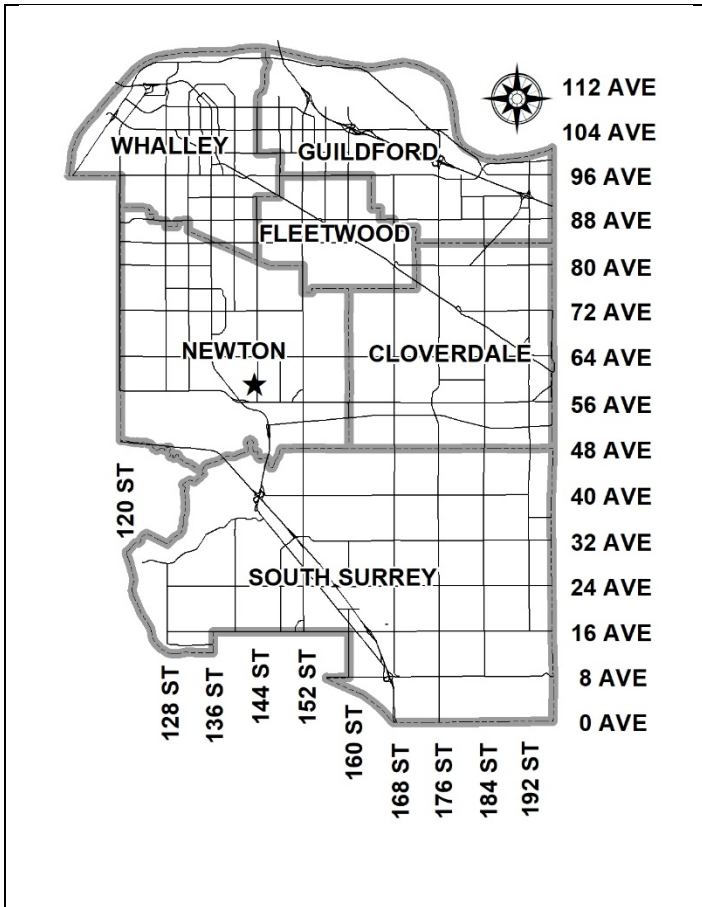
REV NO:

SITE PLAN

REV NO:



Planning Report Date: November 18, 2019



**PROPOSAL:**

- **NCP Amendment** for changes to the local road network.
- **Rezoning** from RA to CD (based on RM-70 and C-5)
- **Development Permit**

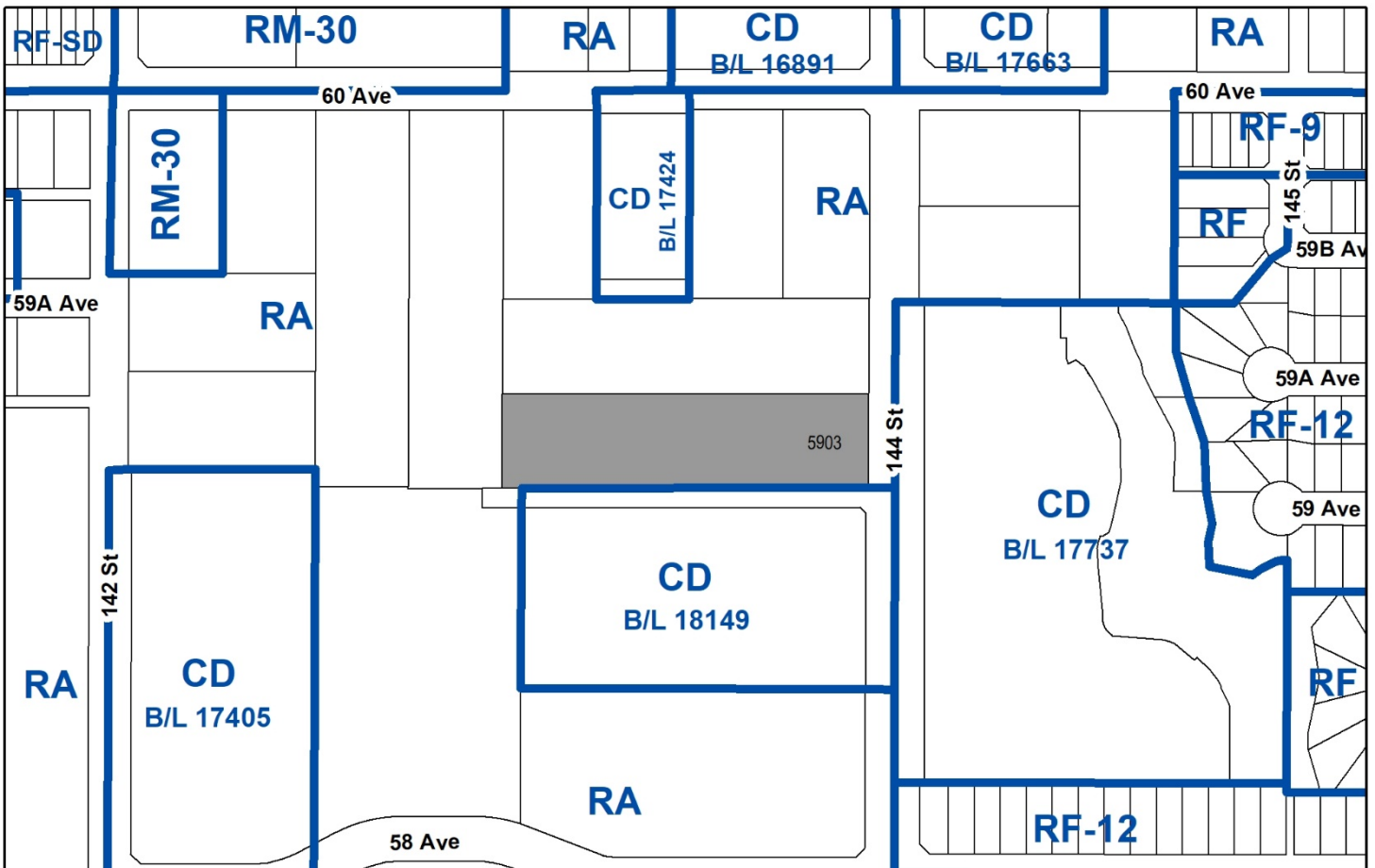
to permit the development of two 4-storey mixed-use buildings and one 4-storey apartment building consisting of 115 residential units, and 1,359 square metres (14,628 sq.ft.) of ground-floor commercial space.

**LOCATION:** 5903 - 144 Street

**ZONING:** RA

**OCP DESIGNATION:** Multiple Residential

**NCP DESIGNATION:** Mixed-Commercial Residential (Apartments) and Proposed Parks & Walkways



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning; and
- Approval to draft Development Permit for Form and Character.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing an amendment to the South Newton Neighbourhood Concept Plan (NCP) to amend the local road network in the NCP.

### RATIONALE OF RECOMMENDATION

- The proposal complies with the site's Multiple Residential designation in the Official Community Plan (OCP) designation and the sites "Mixed Use Commercial-Residential (Apartment)" designation in the South Newton NCP.
- The proposal is consistent with the intent of the South Newton NCP, which envisioned five mixed-use (residential/commercial) nodes to serve pockets of this neighbourhood with local services and a variety of housing options, with this location being one of the nodes.
- The proposal provides a significant public benefit with the delivery of a public road (143 Street) that connects 59A Avenue to 59 Avenue. Currently, the NCP shows this road to the north between 60 Avenue and 59A Avenue, however, this is shown as Proposed Parks and Walkways on the adjacent site. The proposed amendment is intended to improve the local road network by improving the street connectivity.
- The two mixed-use buildings and the associated commercial uses will provide amenity for local residents and for users of the adjacent park space and tennis facility.
- The building design, orientation, and material selection are of high quality and complementary to the other existing and approved buildings in the surrounding area.
- The proposed street-fronting setbacks achieve a more urban, pedestrian-oriented streetscape that will enhance the public realm. The reduced setbacks are consistent with existing or recently approved applications in South Newton.



RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7918-0235-00 generally in accordance with the attached drawings (Appendix II).
3. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a road dedication plan to the satisfaction of the Approving Officer;
  - (c) approval from the Ministry of Transportation & Infrastructure;
  - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (h) submission of an acoustical report for the units adjacent to 144 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
  - (i) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
  - (j) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to the City's Affordable Housing Strategy, to the satisfaction of the General Manager, Planning & Development Services.
4. Council pass a resolution to amend South Newton Neighbourhood Concept Plan to amend the local road network when the project is considered for final adoption.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

6 Elementary students at Goldstone Park Elementary School  
6 Secondary students at Sullivan Heights Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by July 2022.

Parks, Recreation & Culture: No concerns.

Surrey Fire Department: No concerns.

Ministry of Transportation and Infrastructure: Conditional approval granted.

SITE CHARACTERISTICS

Existing Land Use: Residential acreage lot with an existing house that is to be demolished.

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North:	Single Family Residential (Currently being reviewed under Development Application No. 7918-0081-00 to allow for a 4 storey mixed-use commercial / residential building which is pre-Council)	Apartments (45 upa max), Mixed Commercial-Residential (Apartments), and Proposed Parks & Walkways	RA

Direction	Existing Use	NCP Designation	Existing Zone
East (Across 144 Street):	Multiple Family Residential	Townhouses (20 upa max)	CD (Bylaw No. 17737)
South:	City owned park with private tennis facilities	Existing & Future Parks	CD (Bylaw No. 18149)
West:	Single Family Residential (Development Application No. 7917-0069-00 to permit 39 townhouses received Third Reading on April 15, 2019).	Townhouses (15 upa max), Proposed Parks and Walkways	RA

### JUSTIFICATION FOR PLAN AMENDMENT

- The application proposes an amendment to the South Newton Neighbourhood Concept Plan (NCP) to amend the local road network by replacing the portion of the site designated as "Proposed Parks and Walkways" with a new north-south road (143 Street, connecting 59A Avenue with 59 Avenue.)
- The Engineering Department – Transportation Division requested the amendment to the local road network as part of Development Application No. 7917-0069-00 (west of the subject site) by extending 143 Street through to the south property line, in place of the "Proposed Parks and Walkways" strip shown in the NCP. 143 Street will be constructed to a local standard with sidewalks and street trees, which will meet the intent of the walkway by providing a desirable connection. The proposed amendment is intended to improve the local road network by improving street connectivity.

### DEVELOPMENT CONSIDERATIONS

#### Background & Context

- The 2.27 acres (0.92 hectares) subject site is located on the west side of 144 Street, south of 60 Avenue in South Newton.
- The site is designated Multiple Residential in the Official Community Plan (OCP), designated "Mixed-Use Commercial / Residential (Apartments)" and "Proposed Parks and walkways" in the South Newton NCP, and is zoned "One-Acre Residential Zone (RA)".

#### Current Proposal

- The applicant is proposing an NCP amendment for changes to the local road network and to rezone the site from "One-Acre Residential Zone (RA)" to "Comprehensive Development (CD)" and a Form and Character Development Permit to facilitate the development of two four-storey mixed-use buildings (Buildings B and C), and one four-storey apartment building (Building A).

- The proposed development consists of 115 residential dwelling units and 1,359 square metres (14,628 sq.ft.) of ground floor commercial space, which includes approximately 12 commercial/retail units and a 445 square metre (4,790 sq.ft.) daycare facility.
- The proposed net density for the development is 1.50 Floor Area Ratio (FAR), which complies with the maximum FAR permitted for Multiple Residential designated sites in the OCP.
- The proposed use, density, and building massing area appropriate for this part of South Newton and are consistent with the form of development that has been constructed or which are proposed on the lands on the southwest corner of the 60 Avenue and 144 Street intersection.

#### Proposed CD Zone (Appendix VIII)

- The applicant is proposing a "Comprehensive Development Zone (CD)" to accommodate two proposed mixed-use buildings and one four-storey apartment building on the subject site. The proposed CD By-law is based on the "Neighbourhood Commercial Zone (C-5)" and the "Multiple Residential 70 Zone (RM-70)" with changes to the maximum FAR, lot coverage, setbacks, building height and permitted uses.
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the C-5 and RM-70 Zones, and the proposed CD By-law is illustrated in the following table:

	<b>C-5</b>	<b>RM-70</b>	<b>CD Zone</b>
<b>Net FAR</b>	0.50	1.50	1.50
<b>Lot Coverage</b>	50%	33%	45%
<b>Setbacks (principle buildings)</b>	7.5 metres (25 ft) to all lot lines		North: 3.7 metres (12 ft.) East: 4.0 metres (13 ft.) South: 4.3 metres (14 ft.) West: 4.6 metres (15 ft.)
<b>Principal Building Height</b>	9.0 metres (30 ft.)	50 metres (164 ft.)	14.6 metres (48 ft.)
<b>Permitted Uses</b>	Neighbourhood scale commercial uses (list in details in Section B.1 and B.2 of the C-5 Zone)	Multiple unit residential buildings, ground-oriented multiple unit residential buildings and childcare centres.	Multiple unit residential buildings, ground-oriented multiple unit residential buildings, and all uses permitted under Section B.1 of the C-5 Zone with the exception of Neighbourhood Pub and Gymnasium. The CD By-law will also restrict eating establishment to a maximum floor area of 150 square metres (1,615 sq.ft.), and the childcare facility to a maximum floor area of 445 square metres (4,790 sq.ft.)

- The proposed CD By-law reduces the building setbacks along all lot lines. The proposed setbacks for the mixed-use buildings encourages a more urban streetscape consistent with other similar developments in the City.

- The RM-70 Zone has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The 45% lot coverage that is proposed is appropriate for a 4-storey building.
- The proposed height of 14.6 metres (48 ft.) is less than the maximum building height of 50 metres (164 ft.) of the RM-70 Zone.
- The proposed CD By-law will permit all uses under Section B.1 of the C-5 Zone, with the exception of Neighbourhood Pub and Gymnasium. The CD By-law will also restrict eating establishment to a maximum floor area of 150 square metres (1,615 sq.ft.), and a childcare facility to a maximum floor area of 445 square metres (4,790 sq.ft.) in order to ensure that the parking requirements in the Zoning By-law can be met.

### PRE-NOTIFICATION

- Pre-notification letters were sent out on August 18, 2019, and the Development Proposal Signs were installed on March 13, 2019. Staff received one response from a neighbouring resident as noted below, with the staff comments provided in italics:

The resident commented that the density should not be supported since it will result in a low-quality development which will not fit the character of the neighbourhood.

*(The proposed building has been reviewed by the City Architect in conjunction with the Official Community Plan Development Permit Guidelines for Form and Character, the urban design guidelines within the South Newton Neighbourhood Concept Plan, and has been reviewed by the Advisory Design Panel. The applicants have addressed staff comments and ADP comments adequately).*

The area resident also expressed concern about the impacts related to school capacity.

*(The proposed development has projected 6 elementary school students and 6 secondary school students. On the 2020/2021 5-year Capital Plan, the School District is requesting a new 655 capacity elementary school to address the overcrowding in the South Newton area. Furthermore, the Ministry of Education has approved funding for design and construction of a 700-capacity addition at Sullivan Heights which is targeted to open September 2021.)*

### Public Art Policy

- The applicant will be required to provide Public Art in accordance with the City's Public Art Policy requirements. To facilitate this the applicant will be required to register a Restrictive Covenant on the title of the property requiring this requirement to be resolved prior to a Building Permit being issued on the property.

### Affordable Housing Strategy

- On April 9, 2018 Council approved the City's Affordable Housing Strategy (Corporate Report No. R066; 2018) requiring that all new rezoning applications for residential development contribute \$1,000 per unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing project.
- As a condition of Final Adoption of the Rezoning By-law, the applicant will be required to provide a \$115,000 contribution to the Affordable Housing Reserve Fund.

### DESIGN PROPOSAL AND REVIEW

- The proposed development consists of two 4-storey mixed-use buildings (Building B and C) and one 4-storey apartment building (Building A) comprised of 115 residential dwelling units and 1,359 square metres (14,628 sq.ft.) of ground floor commercial space, which includes a 445 square metre (4,790 sq.ft.) daycare facility.
- The buildings are organized on the site to make pedestrian access safe and interesting while accommodating convenient parking for the proposed retail units within Buildings B and C.
- The frontages of the mixed-use buildings will consist of approximately 12 ground floor commercial retail units (CRU) oriented towards 144 Street and the future 59 Avenue. The CRUs are anticipated to range in size from 46 square metres (495 sq.ft.) to 143 square metres (1,539 sq.ft.). The units can be combined to create larger commercial/retail units at the time of a tenant improvement/building permit application.
- The proposed residential dwelling units range from 44 square metres (474 sq.ft.) to 102 square metres (1,098 sq.ft.), and are comprised of forty-six 1-bedroom, nine 1-bedroom plus den, forty-six 2 bedroom and twelve 2-bedroom plus den and two 3-bedroom units.
- The buildings have a simple form with a variety of window arrangement and material pattern to create interest. Its expression is consistent with other existing and approved development applications in South Newton.
- The building materials includes fibre-cement hardie panels (in flat, ivory white, light grey and charcoal colours), aluminum panels (in eggshell white), and accent brick (in grey, brown and charcoal colours). The commercial retail unit fronts are mostly store-front glazing, accent with opaque brickwork and highlight columns and/or walls between the glazing.

### *Vehicle Access & Parking*

- Vehicle access is provided from the future 143 Street west of Building A and from the future 59 Avenue along the south property line between Building B and C.
- The majority of the required parking spaces for the buildings are located within the proposed self-contained, underground parking garage, which is accessed via the parking ramp on future 143 Street. An additional 10 commercial parking spaces are provided at grade between Building B and C.

- The Zoning By-law requires a total of 185 residential parking spaces (162 residents, 23 visitors), and 74 commercial parking spaces in the proposed mixed-use buildings, respectively. The applicant proposes a total of 190 residential parking spaces (167 residential parking spaces, 23 visitor spaces) and 74 commercial parking spaces, respectively, exceeding the Zoning By-law requirement.
- In addition, the development will provide a total of 158 bicycle parking spaces, including 140 secure residential bicycle parking spaces and 18 visitor bicycle parking spaces. This meets the minimum required in the Zoning By-law.

#### *Amenity Space*

- Based upon the standard Zoning By-law requirement of 3.0 metres (32 sq.ft.) per dwelling unit for indoor and outdoor amenity space, the proposed development requires 345 square metres (3,714 sq.ft.) of indoor and outdoor amenity space.
- The proposed 385 square metres (4,144 sq.ft.) of indoor amenity exceeds the requirements of the Zoning By-law. The indoor amenity spaces, which will serve the residents of the mixed-use buildings, are located on the main floor of Buildings A, B and C. The indoor amenity space consists of a kitchen and recreation rooms which can be programmed in a variety of ways to meet the needs of the residents.
- The proposed 447 square metres (4,811 sq.ft.) of outdoor amenity exceeds the requirement of the Zoning By-law. The outdoor amenity spaces are located adjacent to the indoor amenity rooms, and include outdoor seating areas, a ping-pong table and a children's play area.

#### *Landscaping*

- The landscape plan proposes a total of 117 trees to be planted throughout the subject site including coniferous and deciduous trees.
- A significant number of shrubs and ground cover species are proposed throughout the subject site.
- A corner plaza is located at the future intersection of 59 Avenue and 143 Street and provides benches for seating and in-ground planters. The character of the plaza will comply with the public realm guidelines for South Newton.
- The applicant is proposing a 1.5 metre (5 ft.) wide landscape buffer along the entire length of the north property line, which will consist of a pedestrian mews comprised of a 1.5 metre wide walkway located on the property line. The adjacent development application to the north (Development Application No. 7918-0081-00 which is currently pre-Council) will coordinate with the subject development and provide an additional 1.5 metre (5 ft.) wide landscape buffer along the entire length of their south property line. Once both applications are complete, a combined 4.5 metre pedestrian mews and landscape buffer will be provided between both sites.

TREES

- Norman Hol, ISA Certified Arborist of Arbortech Consulting prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder	75	75	0
Cottonwood	4	4	0
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Bigleaf Maple	6	6	0
European Birch	1	1	0
Bitter Cherry	1	1	0
Cherry	2	2	0
Zelkova	1	1	0
<b>Coniferous Trees</b>			
Douglas Fir	7	7	0
Western Red Cedar	77	77	0
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>95</b>	<b>95</b>	<b>0</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>117</b>	
<b>Total Retained and Replacement Trees</b>		<b>117</b>	
<b>Contribution to the Green City Fund</b>		<b>\$47,200</b>	

- The Arborist Assessment states that there is a total of 95 protected trees on the site, excluding Alder and Cottonwood trees. 79 existing trees, approximately 45% of the total trees on the site, are Alder and Cottonwood trees. It was determined that none of the existing trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, underground parking, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 269 replacement trees on the site. Since only 117 replacement trees can be accommodated on the site, the deficit of 152 replacement trees will require a cash-in-lieu payment of \$60,800, representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.



- The new trees on the site will consist of a variety of trees including Japanese Maple, Weeping Nootka Cypress, Pink Kousa Dogwood, Autumn Gold Maidenhair, Pink Star Magnolia, Serbian Spruce, Japanese Stewartia and Japanese Snowbell.
- In summary, a total of 117 trees are proposed to be replaced on the site with a contribution of \$60,800 to the Green City Fund.

### ADVISORY DESIGN PANEL

The application was considered by the Advisory Design Panel (ADP) at their meeting on August 8, 2019. The comments received were primarily related to site, form and character, landscaping, sustainability and accessibility. The applicant has resolved the outstanding items from the ADP review to the satisfaction of the City Architect (Appendix VI).

### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	ADP Comments
Appendix VII.	NCP Plan
Appendix VIII.	Proposed CD By-law

*original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

HS/cm

## DEVELOPMENT DATA SHEET

Proposed/Existing Zoning: CD

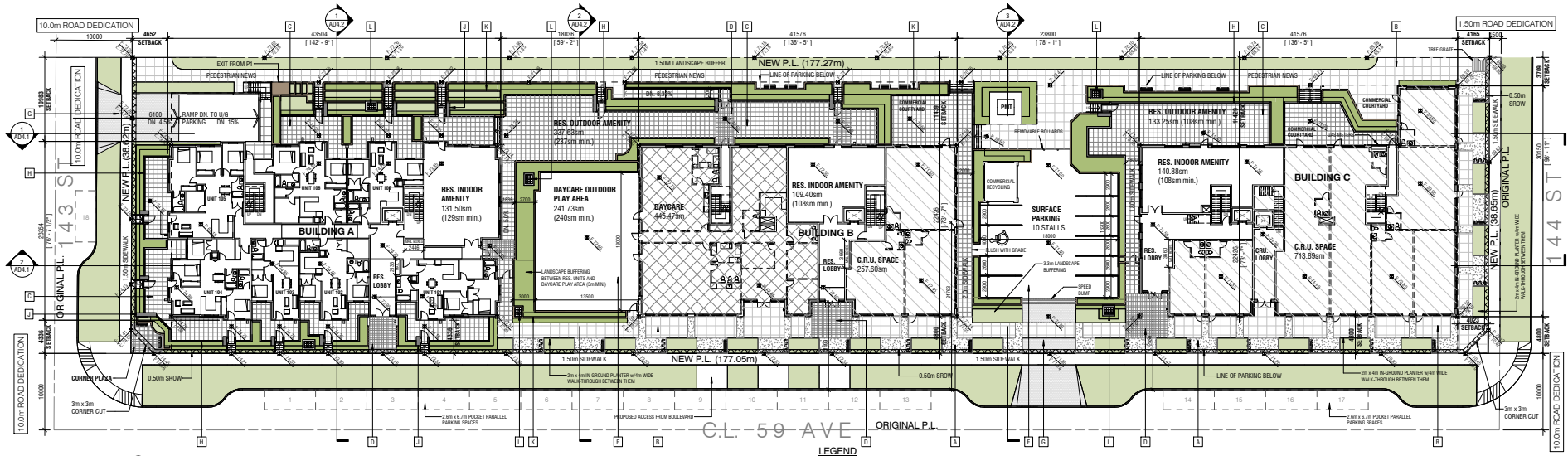
Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		9,188
Road Widening area		2,342
Undevelopable area		6,846
Net Total		
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage	33%	45%
SETBACKS ( in metres)		
North	7.5 m	3.7 m
South	7.5 m	4.3 m
East	7.5 m	4.0 m
West	7.5 m	4.6 m
BUILDING HEIGHT (in metres/storeys)		
Principal	50.0 m	14.6 m
Accessory		
NUMBER OF RESIDENTIAL UNITS		
Bachelor		
One Bed		55
Two Bedroom		58
Three Bedroom +		2
Total		115
FLOOR AREA: Residential		9,092
FLOOR AREA: Commercial		
Retail		913
Daycare		445
Total		1,413
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		10,268

\* If the development site consists of more than one lot, lot dimensions pertain to the entire site.

**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)	1.5	1.5
FAR (net)	1.5	1.5
AMENITY SPACE (area in square metres)		
Indoor	345	385
Outdoor	345	447
PARKING (number of stalls)		
Commercial	74	74
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed	72	77
3-Bed	90	90
Residential Visitors	23	23
Institutional		
Total Number of Parking Spaces	259	264
Number of accessible stalls		8
Number of small cars		69
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----



**SITE PLAN**

**LEGEND**

- A** EXPOSED AGGREGATE
- B** SAW-CUT CONCRETE
- C** CONCRETE PAVERS
- D** SPECIALTY PAVERS FOR RESIDENTIAL ENTRANCE
- E** CONCRETE SLAB FOR SURFACE PARKING
- F** RUBBER TILE SAFETY ZONE FOR PLAY AREA
- G** SPECIALTY PAVERS FOR PARKING ENTRANCE
- H** CONCRETE WALL FLUSH WITH GRADE
- I** ZENWALL CONCRETE BLOCK WALL
- J** CONCRETE WALL WITH GRASS
- K** RECREATIVE ENTRY-ARCHITECTURAL CONCRETE WALL
- L** PARKING VENT GRATING AT GRADE 1.2m x 0.9m

**Kenneth Kim Architecture Inc.**  
 1: 778-379-8918 / 1: 604-800-0775  
 k@kennethkim.ca  
 211-2233 West Broadway  
 Vancouver, B.C. V6K 2E4

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No.	Date	Revision
4	2019-9-12	ADP Revision
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2	2019-5-31	DP Revision
1	2019-1-10	DP Submission

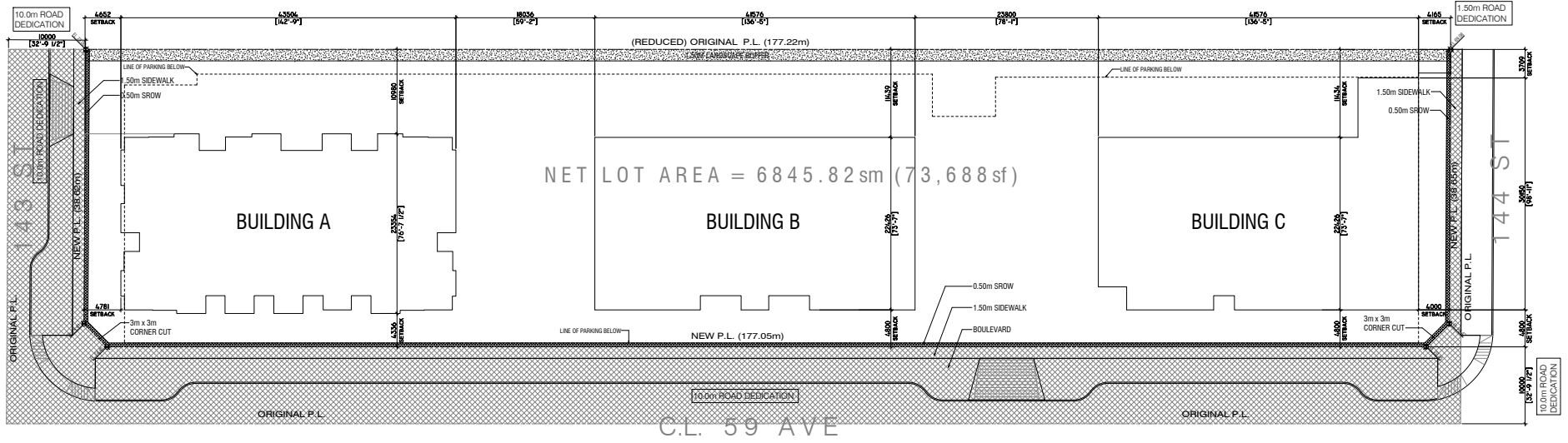
Consultants	Project Title
<b>Landscape</b> PMO Landscape architects #150-4185 888 Cook Drive Burnaby, BC V5G 0G9 Tel: 604-294-0011 Email: Pats@pmlandscape.com	<b>Structural</b> P&B Structural Engineering Min Park, P. Eng. #214-6440 Oakley Ave West Vancouver, BC V7V 1C5 Tel: 778-878-7221 Email: mp@pbeng.com
<b>Electrical</b> Zylatic Inc. George Fan, P. Eng. #230-3771 Jaconita Rd Richmond, BC V6V 0L9 Tel: 778-704-8628 Email: george.fan@zylatic.com	<b>Mechanical</b> XT Engineering Ltd. Tai, Xiangyang, P. Eng. #230-3771 Jaconita Rd Richmond, BC V6V 0L9 Tel: 778-704-8628 Email: tai@xtengineering.com
<b>Acoustical</b> Akonacoust Consulting Ltd. #146-13051 Huxfordway Way Richmond, BC V6V 1M4 Tel: 604-275-3484 Email: tess@akonacoust.com	<b>Civil</b> H Y Engineering Ltd. #500-9128 150th St Surrey, BC V3R 4E7 Tel: 604-565-1737 Email: inquiry@hyengineering.com

Project Title  
**SULLIVAN STATION MIXED USE**  
 5903 144 STREET

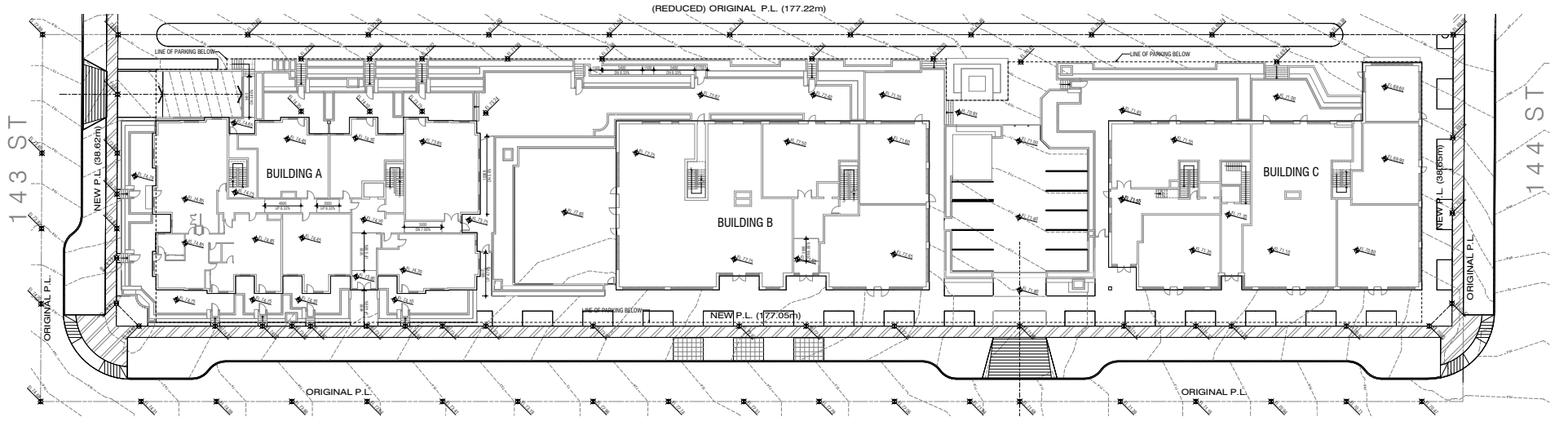
Sheet Title  
**SITE PLAN**

File number: 18-1235-00  
 Drawn: KL  
 Checked: CK  
 Print date: 2019-9-12

Scale: 1:250  
 Dep. no.:  
**A-2.1**



LOT DETAIL ANALYSIS PLAN



CONCEPT GRADING PLAN



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1	2019-1-10	DP Submission

**Consultants**

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 P&L Landscape Architects  
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**Architectural:**  
 Architect Consulting Ltd.  
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 Tel: 604-275-3484  
 Email: helen@acgroup.ca

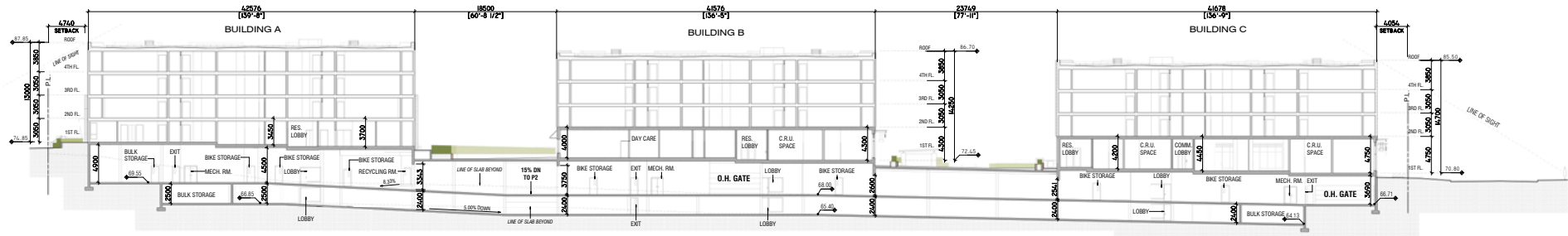
**Civil:**  
 H+I Engineering Ltd.  
 #200-928 152nd St  
 Surrey, BC V3R 4E7  
 Tel: 604-563-1737  
 Email: enquiries@hyengineering.com

**Project Title**  
 SULLIVAN STATION MIXED USE  
 5903 144 STREET

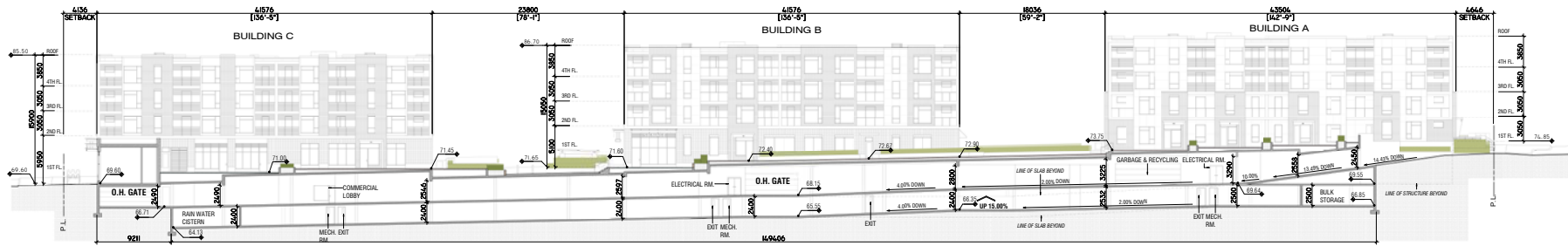
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**File number:** 18-1226-00  
**Drawn:** CL  
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**Print date:** 2019-9-12

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**A-1.3**



**LONGITUDINAL SECTION 1**



**LONGITUDINAL SECTION 2**



**IMAGE OF SECURITY O.H. PARKING GATE (TYP.)**

HIGH QUALITY STEEL MULTI-SECTIONAL OVERHEAD GATE AT ALL PARKING SECURITY POINTS



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No.	Date	Revision
4	2019-9-12	ADP Revision
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2	2019-5-31	DP Revision
1	2019-1-10	DP Submission

**Consultants**  
 Landscape:  
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**Architectural**  
 Architect Consulting Ltd  
 #145-12011 Homalut Way  
 Richmond, BC, V7A 4H4  
 Tel: 604-275-3484  
 Email: tve@acgroup.ca

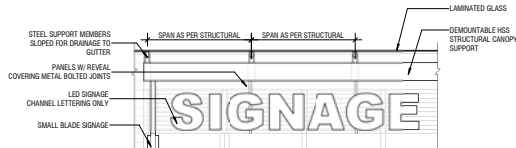
**Civil**  
 H-Y Engineering Ltd  
 #200-928 152nd St  
 Surrey, BC, V3R 4E7  
 Tel: 604-563-1737  
 Email: inquiries@hyengineering.com

**Project Title**  
**SULLIVAN STATION MIXED USE**  
 5903 144 STREET

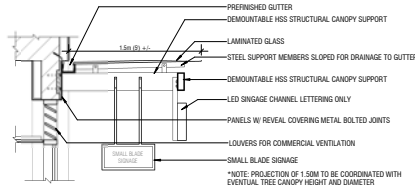
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**Checked:** KK  
**Print date:** 2019-9-12

**Sheet no.:** **A-4.1**



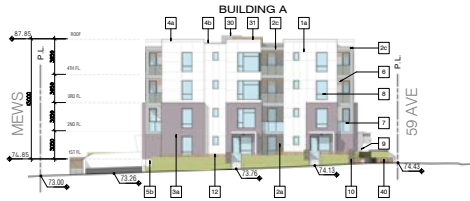
**COMMERCIAL AWNING ELEVATION**  
SCALE: NTS



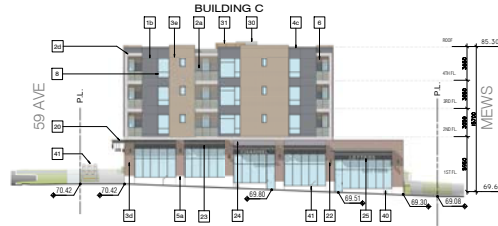
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**ELEVATION NOTES**

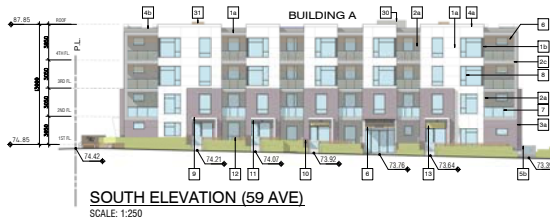
- |   |  |  |                                     |  |
|---|--|--|-------------------------------------|--|
| 1A ALUMINUM PANEL W/ REVEAL, POLAR WHITE, EGG SHELL FINISH                      | 2A FACE BRICK, REDDISH BROWN-VINTAGE     | 3A PAINTED CONCRETE, LIGHT GREY              | 11 ENTRANCE SIGNAL, BLACK           | 23 COMMERCIAL SIGNAL, CHANNEL LETTERING ONLY |
| 1B ALUMINUM PANEL W/ REVEAL, BLACK, EGG SHELL FINISH                            | 2B FACE BRICK, MEDIUM GREY-REDONDO       | 3B EXPOSED CONCRETE W/ REVEALS               | 12 ALUMINUM FENCE, SIMULATED WOOD   | 24 SMALL BLADE SIGNAGE                       |
| 1C ALUMINUM PANEL W/ REVEAL, WEATHERED ZINC, EGG SHELL FINISH                   | 2C FACE BRICK, BUSHY CHARCOAL-COAL CREEK | 4 CONCRETE BLOCK WALL, ZENITH, GREY          | 13 FROSTED GLASS, GOLDEN YELLOW     | 25 ELEVATOR SHAFT DOG HOUSE                  |
| 2A HARDE PANEL REVEAL 2.0 * W/ COLOUR MATCHED REVEALS, BEISE                    | 2B FACE BRICK, DARK BROWN-EBONY          | 5 SUN SHADE LOUVERS, SIMULATED WOOD ALUMINUM | 14 METAL & GLASS AWNINGS            | 26 AIR HANDLING UNITS                        |
| 2B HARDE PANEL REVEAL 2.0 * W/ COLOUR MATCHED REVEALS, BEISE                    | 2C FACE BRICK, CREAM BROWN-TAN TERRA     | 6 GLASS RAILING                              | 15 FABRIC AWNINGS                   | 27 BENCHES                                   |
| 2C HARDE PANEL REVEAL 2.0 * W/ COLOUR MATCHED REVEALS, LIGHT GREY, MATTE FINISH | 2D ROOF FLASHING, WHITE                  | 7 VINYL WINDOWS, CHARCOAL GREY               | 16 CYLINDRICAL LP & DOWN WALL LIGHT | 28 BIKE RACKS                                |
| 2D HARDE PANEL REVEAL 2.0 * W/ COLOUR MATCHED REVEALS, MOBY WHITE, MATTE FINISH | 2E ROOF FLASHING, LIGHT GREY             | 8 ENTRANCE FRAME, WHITE                      | 17 INTEGRATED COMMERCIAL LOUVERS    | 29 COMMERCIAL DUMPSTER SHED                  |
|   | 2F ROOF FLASHING, CHARCOAL               | 9 ENTRANCE POST, SIMULATED LEDGESTONE        | 18 PANELS W/ REVEAL, CHARCOAL       | 30 ALUMINUM GAS METRES SCREENING, CHARCOAL   |



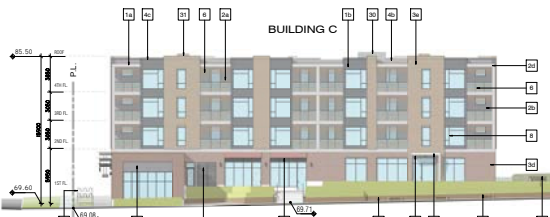
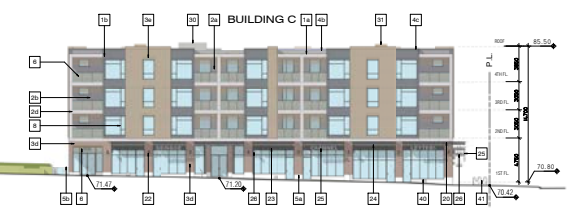
**BUILDING A WEST ELEVATION (143 ST)**  
SCALE: 1:250



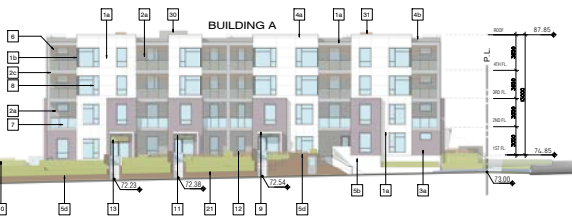
**BUILDING C EAST ELEVATION (144 ST)**  
SCALE: 1:250



**SOUTH ELEVATION (59 AVE)**  
SCALE: 1:250



**NORTH ELEVATION**  
SCALE: 1:250



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No.	Date	Revision
4	2019-9-12	ADP Revision
3	2019-8-8	Submission to ADP
2	2019-5-31	DP Revision
1	2019-1-10	DP Submission

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**Mechanical:** PMS Engineering Ltd.  
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**Architectural:** Architect Consulting Ltd.  
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Email: tan@acgroup.com

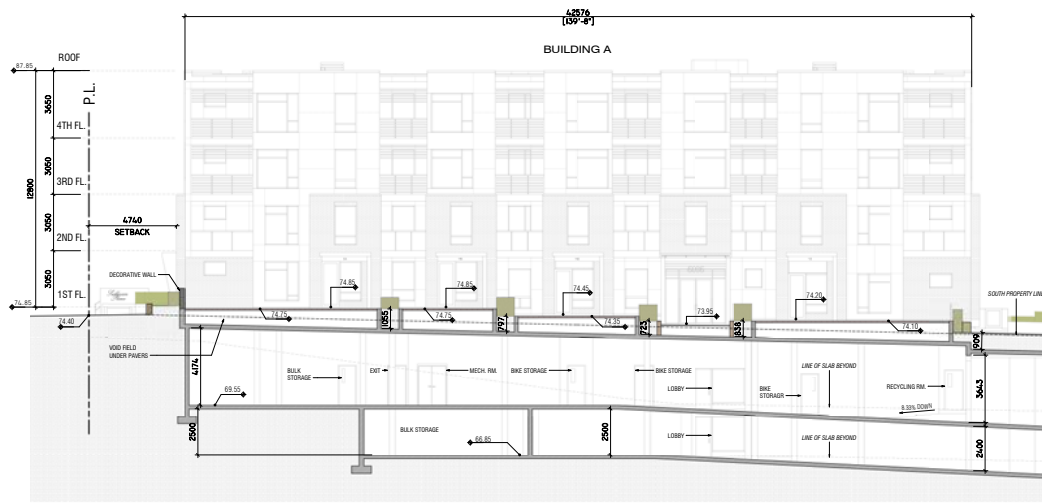
**Client:** H Y Engineering Ltd.  
#200-928 1524 St St  
Surrey, BC V4A 4E7  
Tel: 604-563-1737  
Email: inquiries@hyeng.com

**Project Title**  
**SULLIVAN STATION MIXED USE**  
5903 144 STREET

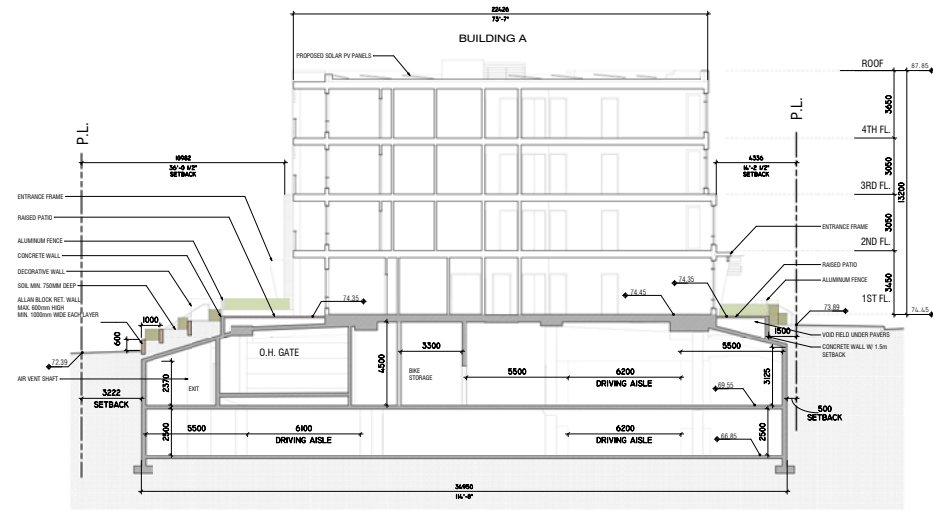
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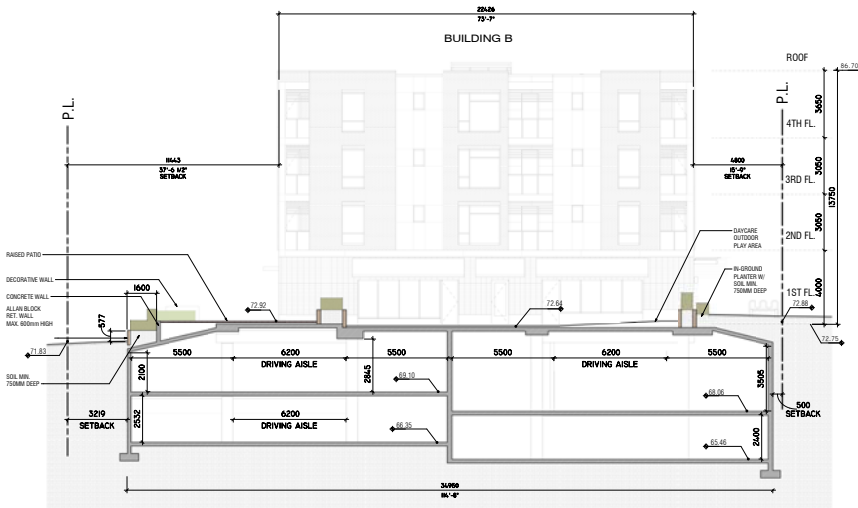
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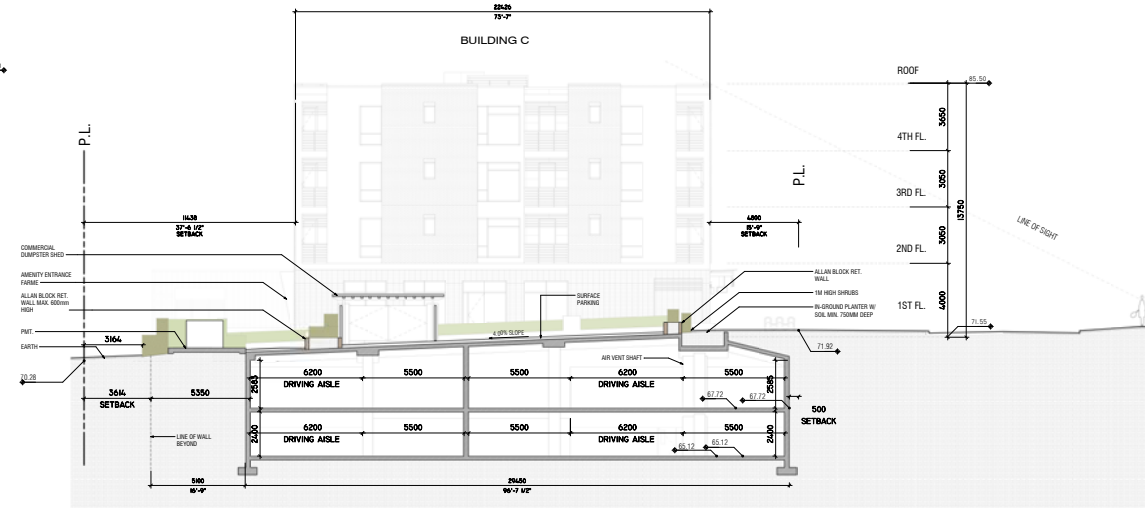
LONGITUDINAL SECTION 3 (BUILDING A)



CROSS SECTION A



CROSS SECTION B



CROSS SECTION C



**Kenneth Kim Architecture Inc.**  
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No.	date	revision
4	2019-9-7	P-Revision
3	2019-8-8	Submission to ADP
2	2019-5-3	P-Revision
1	2019-1-7	P-Submission

**Consultants**  
 Landscape: PA&L Landscape Architects  
 #110-4180 Still Creek Drive  
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**Structural:** P&B Structural Engineering  
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 Email: inquiries@h2eng.com

**Project Title:** SULLIVAN STATION MIXED USE  
 5903 144 STREET

**Sheet Title:** SECTION

**File number:** 18-1226-00  
 Drawn: CL  
 Checked: KK  
 Print date: 2019-9-12

**Scale:** 1:125  
 Chg. no.  
**A-4.2**





FRONT ELEVATION ALONG 59TH AVENUE



REAR ELEVATION AND PEDESTRIAN MEWS

 <b>Kenneth Kim Architecture Inc.</b> 1: 778-379-8918 / 604-800-0775 2: 403-978-9344 211-2523 West Broadway Vancouver, B.C. V6B 2E4	THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.  COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND SHALL REMAIN AT ALL TIMES THE EXCLUSIVE PROPERTY OF KENNETH KIM ARCHITECTURE INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.	No. Date Revision 4 2019-9-12 ADP Revision 3 2019-8-8 Submission to ADP 2 2019-5-31 DP Revision 1 2019-1-10 DP Submission	Consultants Project Title Landscape P&O Landscape architects #C100-4185 888 Cook Drive Burnaby, BC V5C 0G9 Tel: 604-294-0011 Email: P&O@panddesign.com Structural M&B Structural Engineering Min Park, P. Eng. #214-544 Cook Ave West Vancouver, BC V7V1C5 Tel: 778-856-7201 Email: mpark@pmbeng.ca Electrical Zuko Inc. George Fan, P. Eng. #230-3771 Jaconita Rd Richmond, BC V6V2L9 Tel: 778-798-8669 Email: george.fan@zuko.com Mechanical XT Engineering Ltd. Tai, Xinyang, P. Eng. #226-3771 Jaconita Rd Richmond, BC V6V2L9 Tel: 778-798-8669 Email: tai@xtengineering.com Acoustical Akonobus Consulting Ltd. #146-12051 Hopedale Way Richmond, BC V6V4W4 Tel: 604-275-3484 Email: tees@akonobus.ca Civil H Y Engineering Ltd. #500-9128 150th St Surrey, BC V3R4E7 Tel: 604-565-1732 Email: inquiry@hyengineering.com	Project Title <b>SULLIVAN STATION MIXED USE</b> 5903 144 STREET	Sheet Title <b>PERSPECTIVES</b>	File number: 18-1235-00 Drawn: CL Checked: KK Print date: 2019-9-12	Scale: NTS Dwg. no. <h1 style="font-size: 2em;">A-1.1</h1>
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LOOKING NORTH-EASTWARD FROM 59 AVENUE  
(AT SOUTHWEST OF BUILDING B)



LOOKING NORTH-WESTWARD FROM 144 STREET & 59 AVENUE INTERSECTION



SURFACE PARKING AND PEDESTRIAN MEWS  
(BETWEEN BUILDING B AND C)



PEDESTRIAN MEWS (AT THE BACK OF BUILDING A)



PARKING ENTRANCE AT 143 ST



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2	2019-5-31	DP Revision
1	2019-1-10	DP Submission

**Consultants**  
Landscape  
P&O Landscape architects  
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**Project Title**  
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#500-928 150th St  
Surrey, BC V3R 4E7  
Tel: 604-665-1732  
Email: inquiries@hyengineering.com

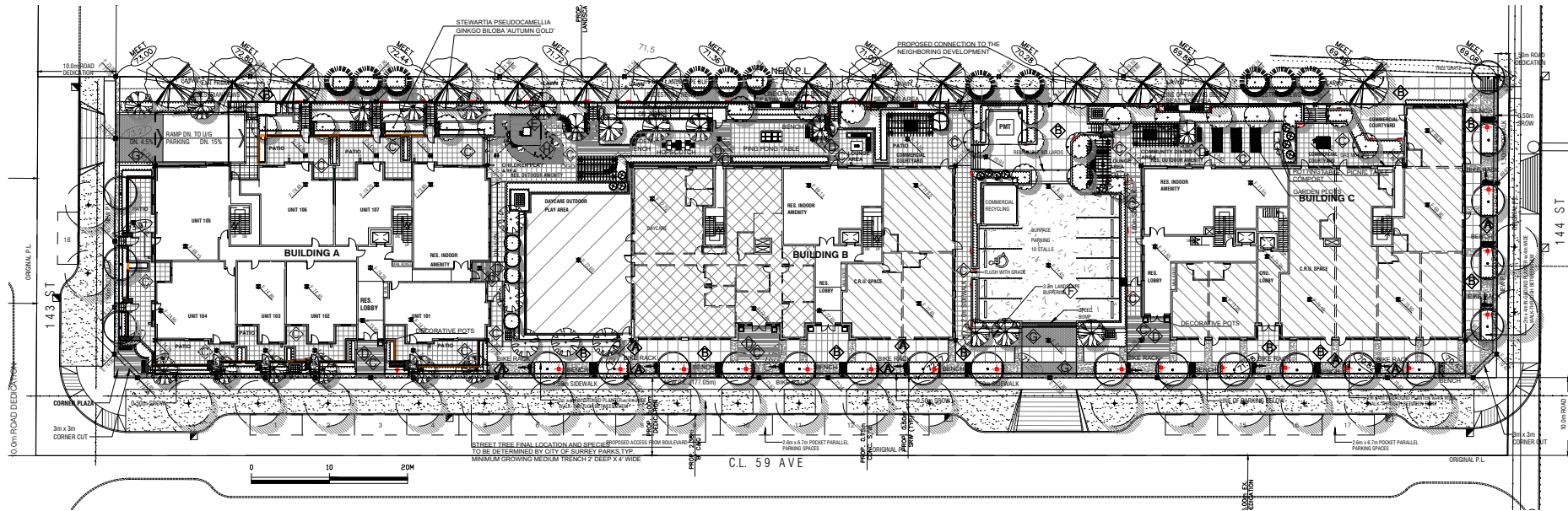
**Project Title**  
**SULLIVAN STATION MIXED  
USE**  
5903 144 STREET

**Sheet Title**  
**PERSPECTIVES**

File number: 18-1235-00  
Drawn: CL  
Checked: KK  
Print date: 2019-9-12

Scale: NTS  
Dwg. no.

**A-1.2**



**PLANT SCHEDULE**

PMG PROJECT NUMBER: 18-212				
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	6	ACER PALMATUM	JAPANESE MAPLE	5CM CAL. B&B
	16	CHAMAECYPARIS N. "VAN DEN AKKER"	WEeping NOOTKA CYPRESS	3M HT. B&B
	6	CORNUS KOUSA "SATOMI"	PINK KOUSA DOGWOOD	5CM CAL. B&B
	14	GINKGO BILOBA "AUTUMN GOLD"	AUTUMN GOLD MAIDENHAIR TREE	5CM CAL. 2M STD. B&B
	20	MAGNOLIA KOBUS STELLATA "PINK STAR"	PINK STAR MAGNOLIA (LIGHT PINK)	5CM CAL. B&B
	4	PICEA ABIES 'CUPRESSINA'	COLUMBIAN NORWAY SPRUCE	3M HT. B&B
	11	PICEA OMORIKA	SERBIAN SPRUCE	3M HT. B&B
	18	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	5CM CAL. 1.5M STD. B&B
	22	STYRAX JAPONICUS	JAPANESE SNOWBELL	5CM CAL. B&B

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE:  
- All soft landscape areas to be irrigated with automatic installation to I.L.A.B.C. Standards, latest edition.

**PLANT SCHEDULE**

PMG PROJECT NUMBER: 18-212				
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
	22	STREET TREE	TYPE AND LOCATION BY CITY	6CM CAL. B&B

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

**PAVER LEGEND**

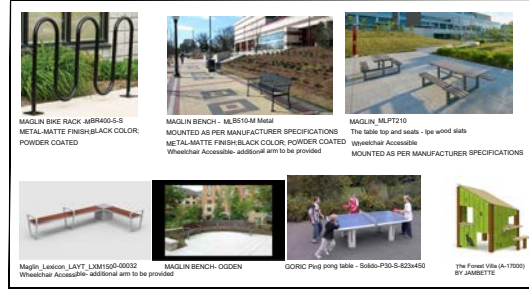
	EXPOSED AGGREGATE
	SAW-CUT CONCRETE
	2x2' 2x1' Vancouver Bay Architectural Slabs COLOR: GREY; BY MUTUAL MATERIALS
	2x1' Vancouver Bay Architectural Slabs COLOR: CHARCOAL; BY MUTUAL MATERIALS
	RUBBER TILE SAFETY ZONE SURFACE FOR PLAY AREA
	CONCRETE SLAB BY OTHER
	HOLLAND PAVERS HERRINGBONE PATTERN; CASCADE BLEND; BY MUTUAL MATERIALS
	FIBER

**SITE FURNITURE LEGEND**

Symbol	Model
	BIKE RACK
	BENCH
	BOULDERS, BURY 1/3RD MIN. 24" & MAX. 48" DIAMETER
	LOG BALANCE STEPPER (ON END)
	LOG BALANCE BEAM
	PICNIC TABLE
	PING PONG TABLE
	FIBERGLASS DECORATIVE PLANTER

**LIGHTING LEGEND**

	UPLIGHTING
	BOLLARD LIGHT
	STEP LIGHT



CLIENT: HARZAND DEVELOPERS INC. (BC 1806564)  
WITH: KENNETH KM ARCHITECTURE INC.

PROJECT:

SCALE:

DRAWING TITLE:

DATE: November 30, 2018 DRAWING NUMBER:

SCALE: 1:259  
DRAWN: DD  
DESIGN: DD  
CHK'D: PCM

DRAWING NUMBER:



Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 6G9  
p: 604 294-0011 f: 604 294-0022

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NO.	DATE	REVISION DESCRIPTION	DR.
6	15 SEP 09	NEW SITE PLAN	DD
5	19 JUL 06	SUBMISSION TO ADP	DD
4	29 JUL 07	REVISION AS PER CITY COMMENTS	DD
3	15 MAR 09	NEW SITE PLAN	DD
2	15 MAR 09	NEW SITE PLAN	DD
1	19 FEB 09	REVISION AS PER CITY REQUEST	DD

RESIDENTIAL / COMMERCIAL  
DEVELOPMENT  
5903 - 144TH STREET  
SURREY

City file: 18-1235-00

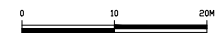
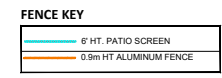
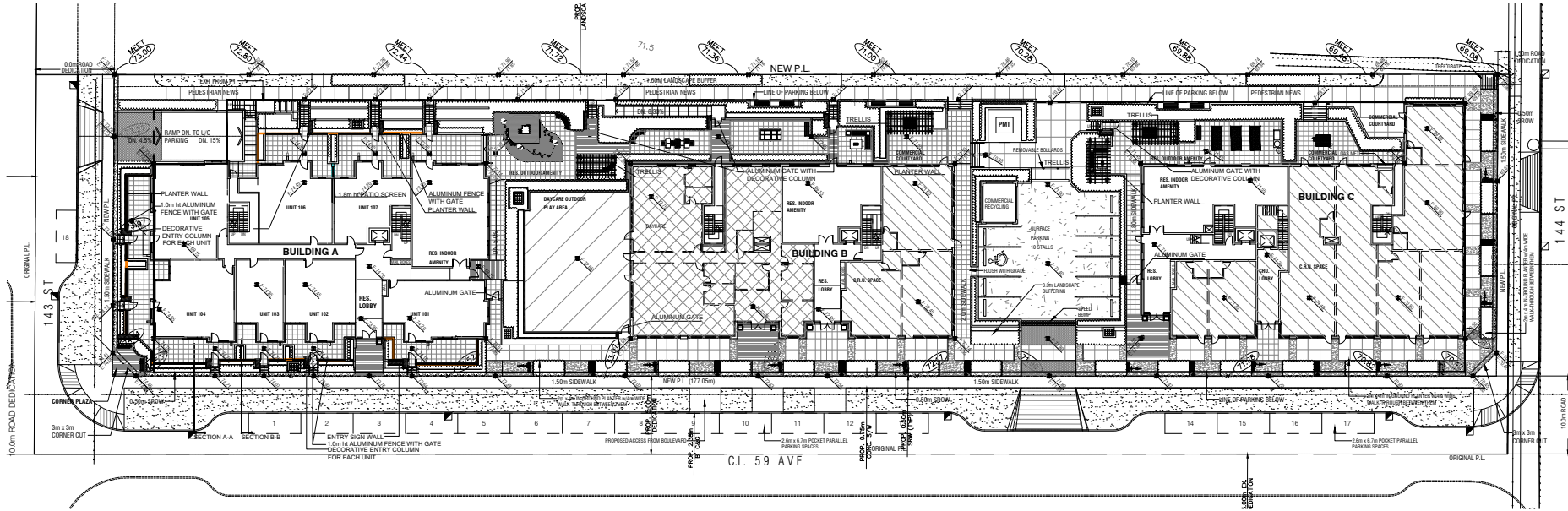
**STREET TREE  
PLAN**

**L1**  
PMG PROJECT NUMBER:

18-212-SJP

OF 6

18-212



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CLIENT: HARZAND DEVELOPERS INC. (BC 1080564)  
WITH: KENNETH KM ARCHITECTURE INC.

NO.	DATE	REVISION DESCRIPTION	DR.
6	10 SEP 09	NEW SITE PLAN	DD
5	18 JUL 08	SUBMISSION TO ASP	DD
4	22 JUN 07	REVISION AS PER CITY COMMENTS	DD
3	19 MAY 07	NEW SITE PLAN	DD
2	18 MAY 07	NEW SITE PLAN	DD
1	19 FEB 07	REVISION AS PER CITY REQUEST	DD

PROJECT:

**RESIDENTIAL / COMMERCIAL  
DEVELOPMENT  
5903 - 144TH STREET  
SURREY**

City file: 18-1235-00

SCALE:

DRAWING TITLE:

**FENCE AND GRADING  
PLAN**

DATE: November 30, 2018  
SCALE: 1:250  
DRAWN: DD  
DESIGN: DD  
CHKD: PCM

DRAWING NUMBER:

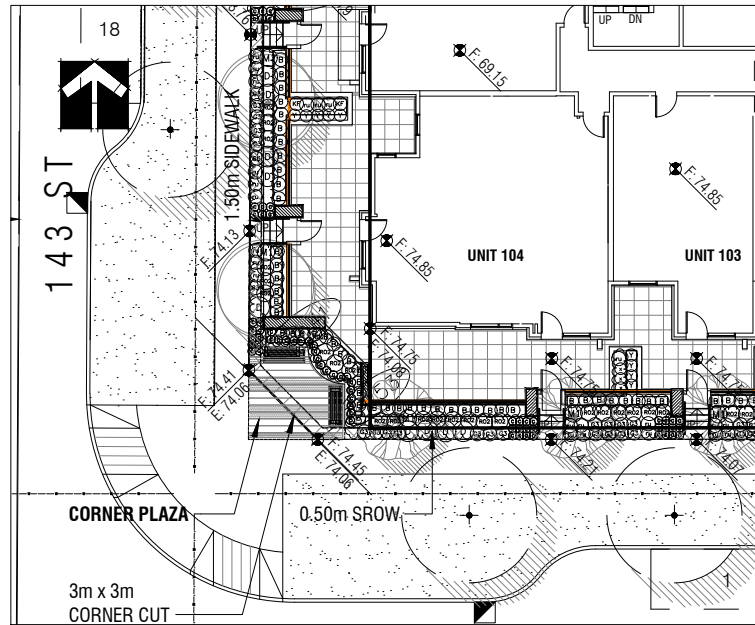
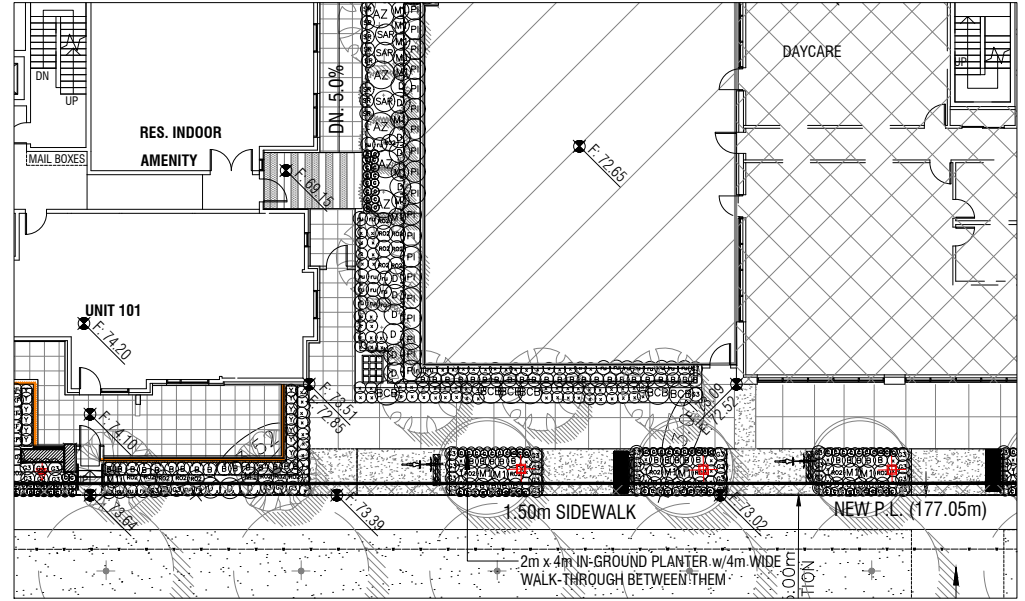
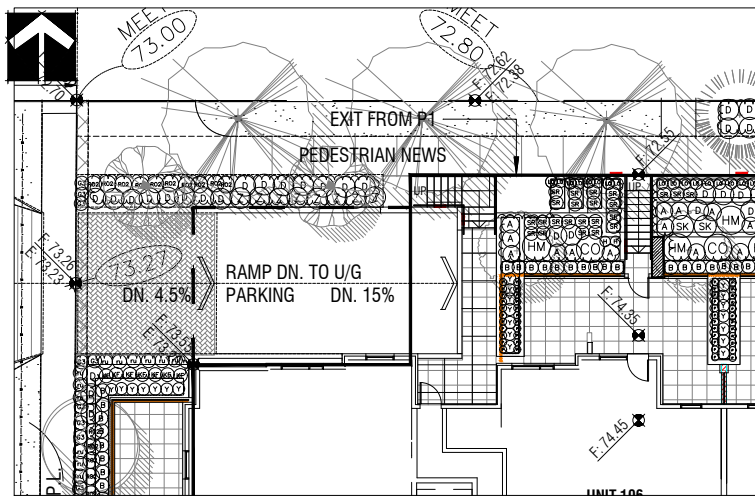
**L2**

PMG PROJECT NUMBER:

18212-5-2P

OF 6

18-212



### PLANT SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
<b>SHRUB</b>			
(B)	BERBERIS THUNBERGII 'MONOMB'	CHERRY BOMB BARBERRY	#2 POT
(B)	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 40CM
(B)	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 40CM
(B)	PIERIS JAPONICA 'FOREST FLAME'	PIERIS, WHITE BLOOMS	#3 POT; 50CM
(B)	PRUNUS LAUROCERASUS 'ZABELIANA'	ZABLE'S LAUREL	#2 POT; 30CM
(B)	RHODODENDRON 'BADEN BADEN'	RHODODENDRON; RED	#3 POT; 30CM
(B)	RUBUS PENTALBOUS	CREeping RASPBERRY	#1 POT
(B)	TAXUS X MEDIA 'HICKSII'	HICK'S YEW	1.0M HT; 80CM
(B)	VIBURNUM X 'BURKWOODII'	BURKWOOD VIBURNUM	1.0M HT; 80CM; TREE FORM
<b>GRASS</b>			
(G)	CALAMAGROSTIS X A. 'KARL FOERSTER'	KARL FOERSTER FEATHERED GRASS	#2 POT; HEAVY
(G)	CAREX OSHIMENSIS 'EVERGOLD'	GOLDEN VARIGATED SEDGE	#1 POT
(G)	HAKONECHLOA MACRA 'ALL GOLD'	GOLDEN JAPANESE FOREST GRASS	#1 POT
(G)	HAKONECHLOA MACRA 'AUREOLA'	GOLD VARIEGATED JAPANESE FOREST GRASS	#1 POT
(G)	MISCANTHUS SINENSIS 'LITTLE KITTEN'	COMPACT MAIDEN GRASS	#1 POT
(G)	OPHIPOGON PLANISCAPUS 'NIGRESCENS'	BLACK MONDO GRASS	#1 POT
(G)	PENNISETUM ALOPECUROIDES 'HAMLIN'	DWARF FOUNTAIN GRASS	#1 POT
<b>PERENNIAL</b>			
(H)	HEUCHERA MACRANTHA 'CRIMSON CURLS'	FANCY-LEAVED CORAL BELLS; DEEP CRIMSON	15 CM POT
(H)	LIROPE MUSCARI	BLUE LILY-TURF	15CM POT
(H)	SEDUM ALBUM VAR. MICRANTHUM 'CORAL CARPET'	CORAL CARPET STONECROP	9CM POT
<b>GC</b>			
(D)	DRYOPTERIS ERYTHROSORA 'BRILLIANCE'	BRILLIANCE AUTUMN FERN	#2 POT; 45CM
(D)	EUONYMUS JAPONICA 'EMERALD GAJET'	EUONYMUS; SILVER VARIEGATED	#1 POT; 25CM

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18212-5.2P



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p: 604 294-0011 f: 604 294-0022

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CLIENT: HARZAND DEVELOPERS INC. (BC 1808564)  
WITH: KENNETH KM ARCHITECTURE INC.

NO.	DATE	REVISION DESCRIPTION	DR.
6	10 SEP 09	NEW SITE PLAN	DD
5	19 JUL 04	SUBMISSION TO ASP	DD
4	20 JUN 07	REVISION AS PER CITY COMMENTS	DD
3	30 MAR 20	NEW SITE PLAN	DD
2	20 MAR 21	NEW SITE PLAN	DD
1	19 FEB 21	REVISION AS PER CITY REQUEST	DD

PROJECT:

RESIDENTIAL / COMMERCIAL  
DEVELOPMENT  
5903 - 144TH STREET  
SURREY

City file: 18-1235-00

SEAL:

DRAWING TITLE:

LANDSCAPE  
ENLARGEMENT

DATE: November 30, 2018 DRAWING NUMBER:

SCALE: 1:100

DRAWN: DD

DESIGN: DD

CHK'D: PCM

DRAWING NUMBER:

L3

PMG PROJECT NUMBER:

OF 6

18-212

---

TO: **Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **Mar 27, 2019** PROJECT FILE: **7818-0235-00**

---

RE: **Engineering Requirements (Commercial/Industrial)  
Location: 5903 144 St**

### REZONE/SUBDIVISION

#### *Property and Right-of-Way Requirements*

- Dedicate 1.5m on 144 Street for ultimate 15.0m from center-line (Arterial Road allowance).
- Dedicate 3.0 X 3.0m corner cut at 59 Avenue and 144 Street.
- Dedicate as road (without compensation):
  - Bylaw Road (City Bylaw Number 10715) for Parcel 2 South Half of Lot C Section 9 Township 2, as shown on Plan 87473 on a road dedication or subdivision plan.
  - City Owned Road for East 7 feet of Lot C (PID 012-206-167), Section 9 Township 2, on a road dedication or subdivision plan.
- Dedicate 10.0m on 59 Avenue (half road) for ultimate 20.0m Local Road standard.
- Dedicate 3.0 X 3.0m corner cuts at 144 Street and 143 Street.
- Dedicate 10.0m on 143 Street for ultimate 20.0 m road allowance (coordinate with 17-0069 to split 20.0m at 10.0m/10.0m), or secure 1.5m SRW to achieve the 11.5m half road.
- Register 0.5m SRW along all frontage roads.

#### *Works and Services*

- Construct 1.8m concrete sidewalk on the west side of 144 Street from City funding (DCW).
- Construct 59 Avenue with ultimate 11.0m pavement width (Commercial standards).
- Construct south half of 59 Avenue from Parks funding (DCW), including driveway letdown for the Tennis Court at 5891-144 Street.
- Construct east side of 143 Street with ultimate 10.5m pavement width.
- Confirm storm drainage system downstream capacity, upgrade if required.
- Construct storm system to service the proposed development and all frontage roads.
- Provide on-site sustainable drainage works to meet the Hyland Creek Integrated Stormwater Management Plan requirements.
- Install water quality/sediment control inlet chamber as part of the on-site drainage system.
- Construct new 200mm diameter water mains along 59 Avenue and 143 Street frontages.
- Provide cash-in-lieu for future upgrading the sanitary sewer on 144 Street to a 250mm sewer main.
- Pay Sanitary Latecomers charge relative to project 5811-0044-00-1

A Servicing Agreement is required prior to Rezone/Subdivision.

### DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit, except for the requirements listed above.



Tommy Buchmann, P.Eng.  
Acting Development Services Manager  
IK1

NOTE: Detailed Land Development Engineering Review available on file



Planning

November 13, 2019

**THE IMPACT ON SCHOOLS**

APPLICATION #: 18 0235 00

**SUMMARY**

The proposed 115 lowrise units are estimated to have the following impact on the following schools:

**Projected # of students for this development:**

Elementary Students:	6
Secondary Students:	6

**September 2019 Enrolment/School Capacity**

<b>Goldstone Park Elementary</b>	
Enrolment (K/1-7):	77 K + 655
Operating Capacity (K/1-7)	76 K + 442
<b>Sullivan Heights Secondary</b>	
Enrolment (8-12):	1540
Capacity (8-12):	1000
Addition Capacity (8-12) 2021:	1700

**School Enrolment Projections and Planning Update:**

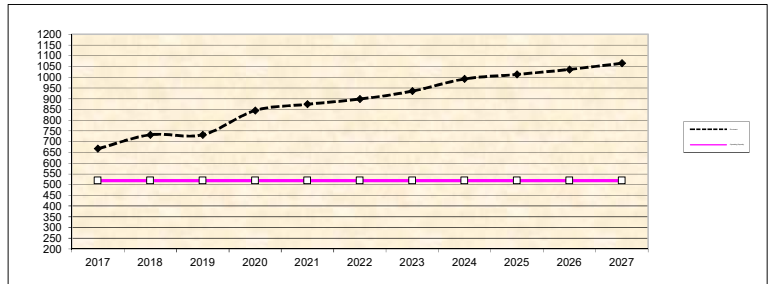
The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Goldstone Park elementary was opened February 2014 to relieve the enrolment pressure at both Woodward Hill and Cambridge Elementary. As of September 2019, all three schools are severely overcrowded. To meet in-catchment demand, 3 new portables were added September 2019 to Goldstone Park to deal with enrolment growth.

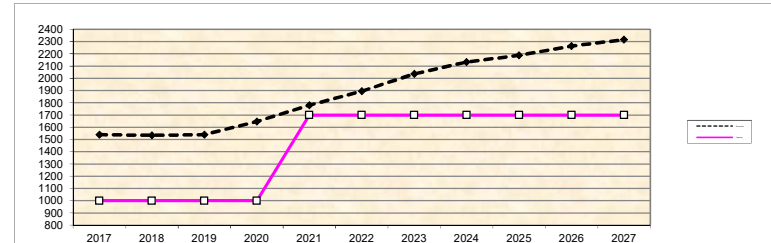
On the 2020/2021 5 year Capital Plan, the District is requesting as Priority 2 and 3 a new site and a new 655 capacity elementary to address the overcrowding in the South Newton area. The Ministry of Education has not approved these projects.

In June 2018, the Ministry of Education has approved funding for design and construction of a 700 capacity addition at Sullivan Heights. The addition is currently in construction and is targeted to open September 2021. This is one of 3 projects that are planned to address the overcrowding at the secondary level in the Newton area. The two other projects are on the 2020/2021 Five Year Capital Plan waiting for approval from the Ministry are an addition to Frank Hurt Secondary and building a new 1200 capacity secondary school in the area.

**Goldstone Park Elementary**



**Sullivan Heights Secondary**



\* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students. Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

**APPENDIX F****TREE PRESERVATION SUMMARY****TREE PRESERVATION SUMMARY**

Surrey Project No.: 7918-0235-00  
 Project Address: 5903 144<sup>th</sup> St Surrey, BC  
 Consulting Arborist: Norm Hol

ON-SITE TREES:	QUANTITY OF TREES
<b>Total Bylaw Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, excluding Park and ESA dedications)	<b>174</b>
<b>Bylaw Protected Trees to be Removed</b>	<b>174</b>
<b>Bylaw Protected Trees to be Retained</b> (excludes trees in Park dedication areas and ESA's)	<b>0</b>
<b>Replacement Trees Required:</b> (excludes 17 city trees in road frontages)	
Alder and Cottonwood at 1:1 ratio: 79 times 1 = 79	
All Other Bylaw Protected Trees at 2:1 ratio: 95 times 2 = 190	
TOTAL:	<b>269</b>
<b>Replacement Trees Proposed</b>	<b>117</b>
<b>Replacement Trees in Deficit</b>	<b>152</b>
<b>Protected Trees Retained in Proposed Open Space/ Riparian Areas</b>	<b>0</b>

OFF-SITE TREES:	QUANTITY OF TREES
<b>Bylaw Protected Off-Site Trees to be Removed</b>	<b>2</b>
<b>Replacement Trees Required:</b>	
Alder and Cottonwood at 1:1 ratio: 1 times 1 = 1	
All Other Bylaw Protected Trees at 2:1 ratio: 1 times 2 = 2	
TOTAL:	<b>3</b>
<b>Replacement Trees Proposed</b>	<b>N/A</b>
<b>Replacement Trees in Deficit</b>	<b>N/A</b>

N/A denotes information "Not Available" at this time.

This summary and the referenced documents are prepared and submitted by:



Norman Hol, Consulting Arborist

Dated: September 24, 2018

Direct: 604 813 9194  
 Email: norm@aclgroup.ca



File No.: 7918-0235-00  
Address: 5903 144 Street in South Newton  
New or Resubmit: New  
Last Submission Date: N/A  
Description: Rezoning and detailed DP - to permit 3 mixed-use buildings containing approximately 115 residential dwelling units and 1,417 square metres of ground floor commercial  
Developer: Muiz Anandji & Sullivan Plaza Ltd.  
Architect: Kenneth Kim, Architect AIBC, Kenneth Kim Architecture  
Landscape Architect: Pat Campbell, BCSLA, PMG Landscape Architects  
Planner: Harpreet Sondh  
Urban Design Planner: Nathan Chow

The City Architect advised that staff have no specific issues, except a preference to have green space rather than surface parking between buildings B and C.

The Project Architect presented an overview of the site and building plans, streetscapes and elevations.

The Landscape Architect presented an overview of the general concept for the Landscape plans.

#### ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by A. Callison  
Seconded by B. Howard  
That the Advisory Design Panel (ADP) is in  
CONDITIONAL SUPPORT of the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department and, at the discretion of Planning staff, resubmit the project to the ADP for review.

Carried

#### Key Points:

- Consider incorporating more articulation into the buildings, particularly at the roof and more relief to the façade. *The roof has been slightly revised with more articulation (See elevations and perspectives).*
- Consider larger mail/parcel room. *The mailbox areas were enlarged to provide each unit with a 1'w x 2'h x 2'd parcel compartment as per Canada post standards.*
- Consider viability of CRU in Building B. *Yes, they are viable. In addition the walkway was widened for smoother access. Refer to the precedents below.*



Left: Carmel, California, a successful tourist town with many Secret Courtyards & Passageways that contain access to stores.

Right: A commercial alley with similar style of storefront, sidewalk and furniture.

- Review climbability of horizontal guards. They are non-climbable due to glass lining on the inside face of guardrail.
- Consider more urban paving along the street adjacent to daycare. Addressed (see site plan).
- Consider more generous width for north/south walkways between buildings and at ramps. Addressed, they all have adequate width (see site plan).
- Consider placing accessible parking stalls adjacent to elevators. Addressed, all accessible parking stalls are adjacent to elevator lobbies as per latest parking by-law (see P1 plan).
- Consider accessible requirements for site furnishings. Addressed by Landscape architect

#### Site

- Consider viability of the CRU located on 59 Avenue as it likely will not be a busy street. Same as previous comments
- Suggest a generously sized mail room to accommodate large parcel deliveries. Same as previous comments
- Suggest more access through the surface parking lot. It is given by city engineer.
- Consider incorporating stair access into the ramp north of the outdoor amenity space. Addressed (see site plan).
- Suggest implementing a door between the elevator and Unit 101 in Building A, similar to other units. There was a door there as per BCBC Code. Addressed (see site plan).
- Consider re-evaluating the number of stairs that connect the parkade to the rest of the building. The number of stairs was designed accurately based on the determined elevation of each floors (see p1 plan).
- Review location of PMT with regard to BC Hydro requirements. The location of PMT has been confirmed with BC hydro.

#### Form and Character

- Consider introducing character articulation or design elements along roof line at building corners. Addressed, the roof line and corners have been revised (see elevation and perspectives).
- Consider providing relief to the building façade. Addressed, façade have relief based on precise consideration of cladding depth (see perspectives).
- Consider the material and color of the fascia above patios in order to reinforce the building volume. Addressed, the material was revised to reinforce the volume (see elevations and perspectives).
- Ensure guardrails are not climbable. Same as previous comments
- Support the generous use of brick and suggest limiting the amount of hardi-panel. Addressed, Hardi-panels are used strategically, and Hardi 2.0 are high quality (see elevations).
- 

#### Landscape

- **Consider a hard surface connection from boulevard to the CRUs and daycare space for easier drop-off and pick-up.** Same as previous comments
- Suggest making the ramp between Building A and Building B feel more open. Addressed (See site plan).
- Consider the amount of greenspace located behind the amenity space to help with a sense of privacy. Addressed with the considerable amount of landscaping and height difference (see site plan and perspectives)

#### CPTED

- No specific issues were identified.

#### Sustainability

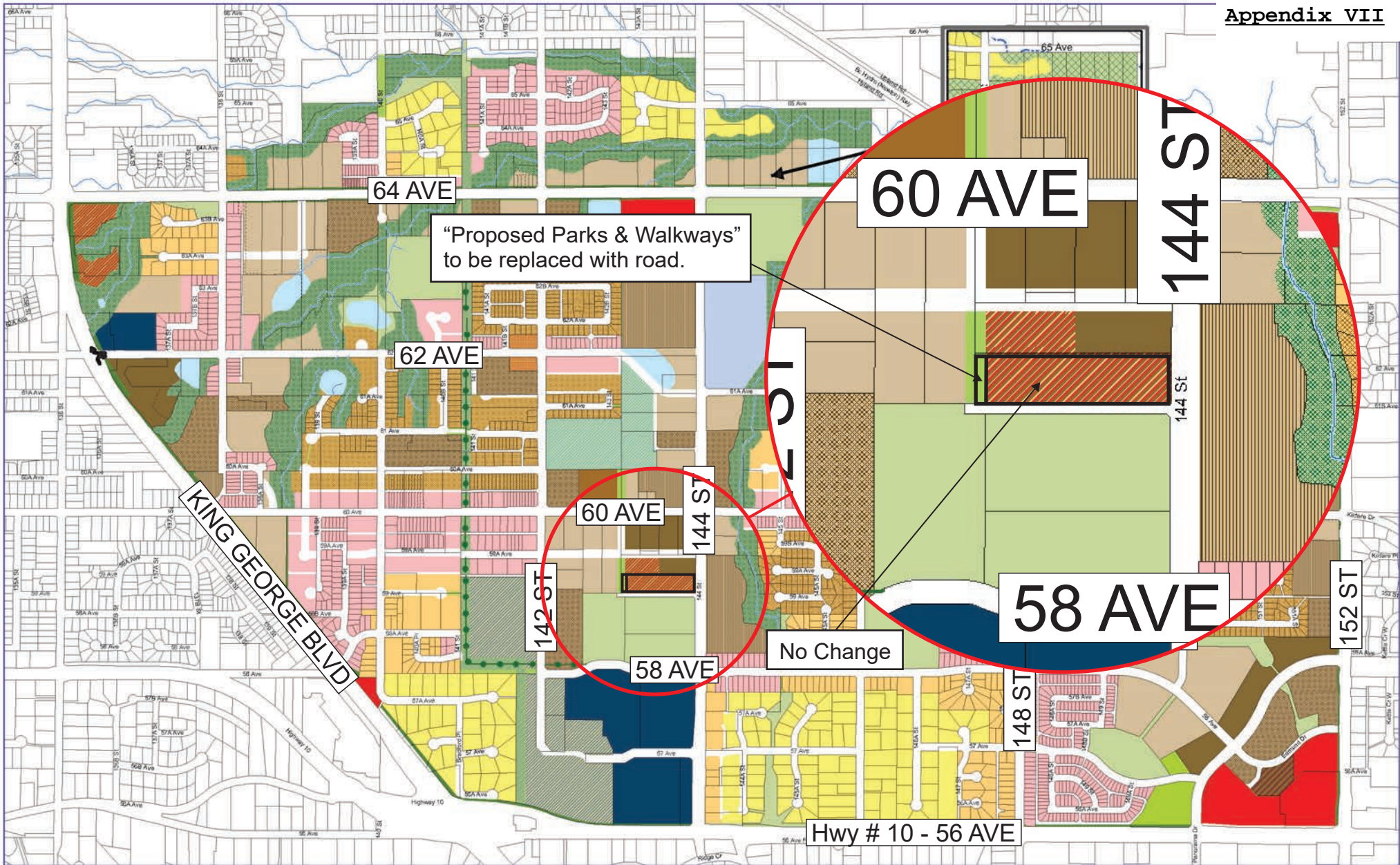
- Consider applying the BC Energy Step Code. Not applicable since the DP was before April 1, 2019.

#### Accessibility

- Recommend that CRU washrooms are accessible. Addressed, CRU washrooms are accessible (see site plan).
- Provide one Accessible parking stall in the surface parking lot. Addressed (see site plan).
- Ensure Accessible parking stalls located in the underground parkade are adjacent to the elevators. Same as previous comments
- Suggest Accessible site furnishings. Same as previous comments
- Provide a more generous ramp from the pedestrian mews. Addressed (see site plan).

3. 5:30 p.m.

File No.: 7918-0403-00



### SOUTH NEWTON

#### NEIGHBOURHOOD CONCEPT PLAN

City of Surrey Planning & Development Department

- Apartments 45 upa max
- Apartments 45 upa max
- Townhouses 30 upa max
- Townhouses 25 upa max
- Townhouses 20 upa max
- Townhouses 15 upa max

- Single Family Small Lots
- Row Housing
- Single Family Residential Flex 6 to 14.5
- Single Family Residential
- Suburban Residential 1/2 Acre
- Mixed Com/Res Apartments
- Mixed Com/Res Townhouse

- Commercial
- Institutional
- Office Park
- Industrial
- Schools
- Proposed School

- Proposed School and Park
- Parks
- Proposed Park and Walkway
- Recreational
- Creeks and Riparian Set-back

- Buffers
- Detention Ponds
- Utility R/W Greenway
- WALKWAY



This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

CITY OF SURREY

BYLAW NO. \_\_\_\_\_

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended  
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THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE ACRE RESIDENTIAL (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 010-206-175  
South Half Lot C Except: Firstly: The East 7 Feet; and Secondly: Parcel Two (Bylaw Plan NWP87473) Section 9 Township 2 New Westminster District Plan 1682

5903 144 Street

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

**A. Intent**

This Comprehensive Development Zone is intended to accommodate and regulate the development of *multiple unit residential buildings* and *ground-oriented multiple unit residential buildings*, and related *amenity spaces*, and neighbourhood commercial uses, which are to be developed in accordance with a *comprehensive design*.

**B. Permitted Uses**

The *Lands* and *structures* shall be used for the following uses only, or for a combination of such uses:

- 1. *Multiple Unit Residential Buildings* and *Ground-Oriented Multiple Unit Residential Buildings*.
- 2. The following uses are permitted, provided that they are restricted to the ground floor of a *multiple unit residential building* and that the maximum gross

floor area of each individual business does not exceed 370 square metres [4,000 sq.ft.):

- (a) *Retail stores* excluding *adult entertainment stores*, auction houses, *second-hand stores* and *pawnshops*;
- (b) *Personal service uses*, limited to barbershops, beauty parlours, cleaning and repair of clothing and shoe repair shops;
- (c) Office uses excluding *social escort services* and *methadone clinics*;
- (d) *General service uses* excluding funeral parlours, *drive-through banks* and *vehicle rentals*;
- (e) *Indoor recreational facilities*, excluding a gymnasium;
- (f) *Community service*;
- (g) *Eating establishments* excluding *drive-through restaurants*, provided that the maximum *gross floor area* of the business does not exceed 150 square metres (1,615 sq.ft.); and
- (h) *Child care centres*, restricted to a maximum *gross floor area* of 445 square metres (4,790 sq.ft.).

**C. Lot Area**

Not applicable to this Zone.

**D. Density**

1. The maximum *density* shall not exceed a *floor area ratio* of 0.1 or a *building area* of 300 square metres (3,230 square feet), whichever is smaller.
2. The maximum *density* may be increased to a floor area ratio of 1.50 if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.
3. Notwithstanding the definition of *floor area ratio*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section D of this Zone, and further provided that the *floor area ratio* calculated from the cumulative floor areas of the *buildings* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Sub-section D.2(a) of this Zone.
4. The indoor *amenity space* required in Sub-section J.1(b) is excluded from the calculation of *floor area ratio*.

**E. Lot Coverage**

1. The *lot coverage* shall not exceed 45%.
2. Notwithstanding the definition of *lot coverage*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section E of this Zone, and further provided that the *lot coverage* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section E.1 of this Zone.

**F. Yards and Setbacks**

1. *Buildings and structures* shall be sited in accordance with the following minimum *setbacks*:

<b>Use</b>	<b>Setback</b>	<b>Front Yard</b>	<b>Rear Yard</b>	<b>Side Yard</b>	<b>Side Yard on Flanking Street</b>
<i>Principal Buildings</i>		4.0 m	4.6 m	3.7 m	4.3 m
<i>Accessory Buildings and Structures</i>		[13 ft.]	[15 ft.]	[12 ft.]	[14 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

3. Notwithstanding Section F.1 of this Zone, the minimum *setbacks* of *principal buildings* and *accessory buildings and structures* for interior *lot lines* for *lots* created by an air space subdivision may be 0.0 metre [0 ft.].
4. Notwithstanding Sub-section A.3(d) of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, *underground parking* may be located up to 0 metres [0 ft.] from any *lot line*.

**G. Height of Buildings**

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 14.6 metres [48 ft.].
2. *Accessory buildings and structures*: The *building height* shall not exceed 4.5 metres [15 ft.].

**H. Off-Street Parking**

1. Resident and visitor *parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.

**I. Landscaping**

1. All developed portions of the *lot* not covered by *buildings, structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. Along the developed sides of the *lot* which abut a *highway*, a continuous *landscaping strip* of not less than 1.5 metres [5 ft.] in width shall be provided within the *lot*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Loading areas, garbage containers and *passive recycling containers* shall be located within the principle building for residential use and screened to a height of at least 2.5 metres [8 ft.] by *buildings, a landscaping screen, a solid decorative fence, or a combination thereof* for the commercial use.

**J. Special Regulations**

1. *Amenity space* shall be provided on the *lot* as follows:
  - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
  - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.
2. *Child care centres* shall be located on the *lot* such that these centres:
  - (a) Are accessed from a *highway*, independent from the access to the residential uses permitted in Section B of this Zone; and
  - (b) Have direct access to an *open space* and play area within the *lot*.
3. *Balconies* are required for all *dwelling units* which are not *ground-oriented* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq.ft.] per *dwelling unit*, whichever is greater.
4. The outdoor storage or display of goods, materials, supplies is specifically prohibited, notwithstanding any other provision in this Part.



**K. Subdivision**

1. *Lots* created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
2,000 sq.m. [0.5 acre]	30 metres [100 ft.]	30 metres [100 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

2. Air space parcels and the remainder *lot* created through an air space subdivision in this Zone are not subject to Section K.1.

**L. Other Regulations**

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-70 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.

- 7. *Building* permits shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
- 8. *Building* permits shall be subject to Surrey Development Cost Charge Bylaw, 2018, No. 19478, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-70 for the residential portion and C-5 Zone for the commercial portion.
- 9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.
- 10. Development permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.
- 11. Provincial licensing of *child care centres* is regulated by the Community Care and Assisted Living Act S.B.C. 2002, c. 75, as amended, and the Regulations pursuant thereto including without limitation B.C. Reg 319/89/213.
- 12. Provincial licensing of *neighbourhood pubs* is regulated by the Liquor Control and Licensing Act, R.S.B.C. 1996, c. 267, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, \_\_\_\_\_, No. \_\_\_\_\_."

PASSED FIRST READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PASSED SECOND READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PUBLIC HEARING HELD thereon on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

PASSED THIRD READING on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the \_\_\_\_\_ th day of \_\_\_\_\_, 20\_\_ .

\_\_\_\_\_ MAYOR

\_\_\_\_\_ CLERK