

City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7918-0159-00

Planning Report Date: December 17, 2018

**PROPOSAL:**

- **Temporary Use Permit**

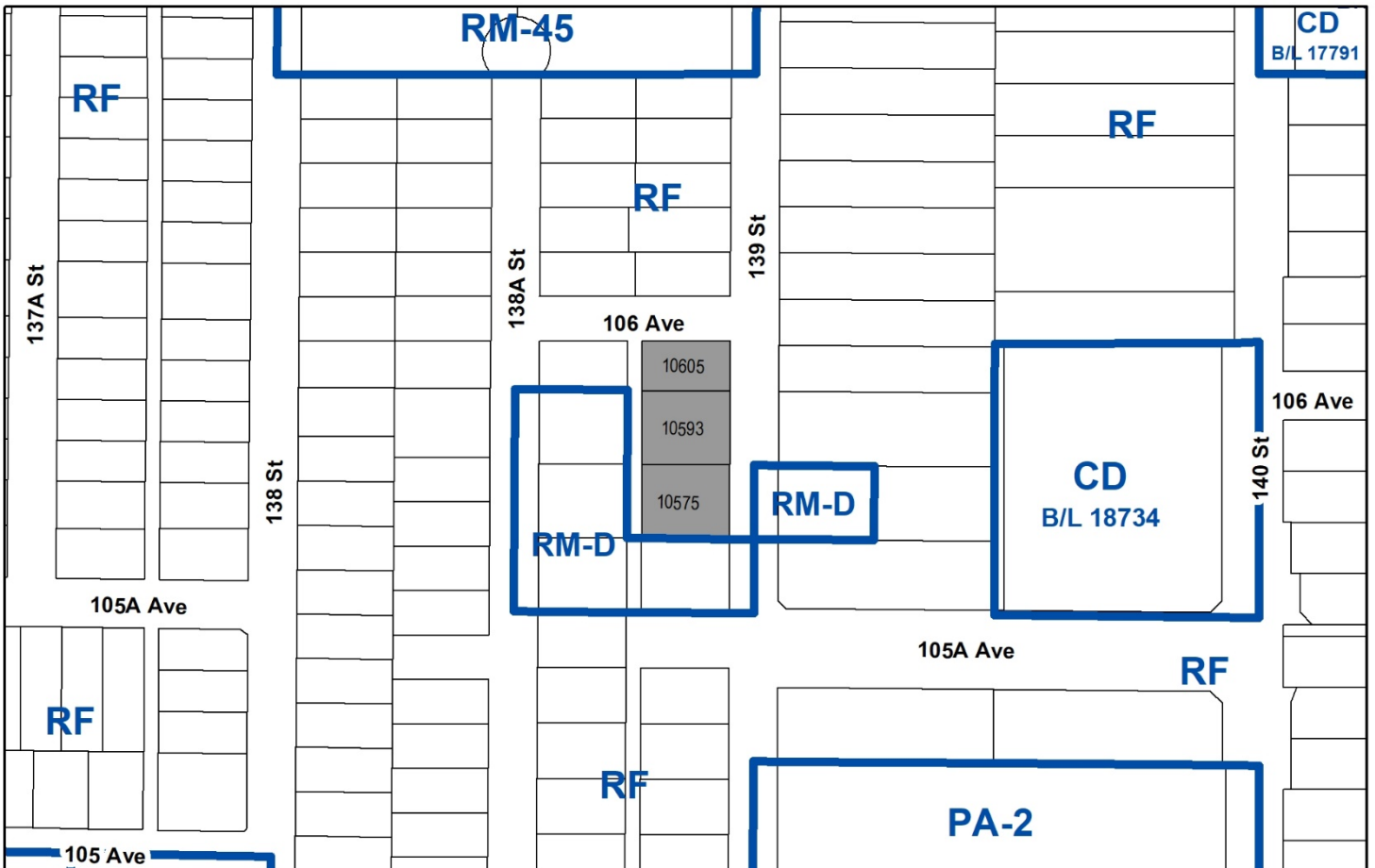
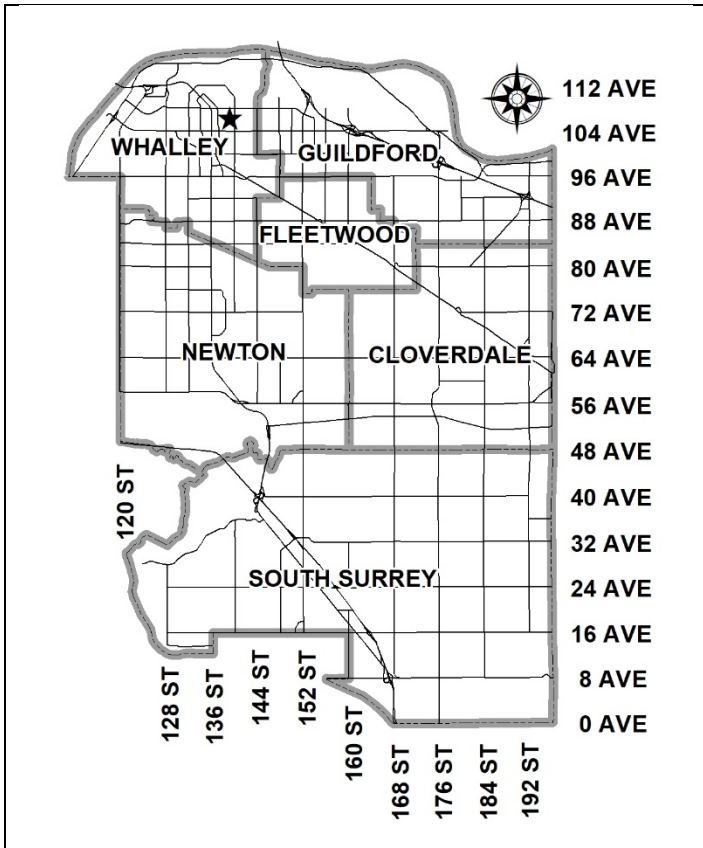
to permit the development of a temporary real estate sales centre for three proposed 4-storey apartment buildings on the adjacent properties.

**LOCATION:** 10575, 10593 and 10605 - 139 Street

**ZONING:** RF

**OCP DESIGNATION:** Multiple Residential

**CITY CENTRE PLAN DESIGNATION:** Residential Low to Mid Rise up to 2.5 FAR



RECOMMENDATION SUMMARY

- Approval for Temporary Use Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposed Temporary Use Permit (TUP) will allow for the construction of a temporary sales centre from which the applicant (Mosaic Homes) will be able to market residential units for a proposed development located directly across the street at 10558, 10576, 10596 and 10604-- 139 Street.
- The subject application is associated with Development Application No. 7917-0599-00 which proposes to construct 218 apartment units within three 4-storey buildings. The proposal was granted Third Reading by Council on December 3, 2018.
- The applicant will post \$5,000.00 bond to ensure the removal of the temporary building in the future.

### RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Temporary Use Permit No. 7918-0159-00 (Appendix V) to proceed to Public Notification.
2. Council instruct staff to resolve the following issues prior to final approval:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a landscaping plan to the specifications and satisfaction of the Planning and Development Department;
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (d) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department;
  - (e) submission of security to ensure the building is removed and the site is brought into compliance with the Zoning By-law following the expiration of the Temporary Use Permit; and
  - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department.

### REFERRALS

- Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
- Surrey Fire Department: No Concerns.

### SITE CHARACTERISTICS

- Existing Land Use: Single family residential and vacant parcels.

Adjacent Area:

Direction	Existing Use	City Centre Plan Designation	Existing Zone
North (Across 106 Avenue):	Single family dwellings	Residential Low to Mid Rise up to 2.5 FAR	RF
East (Across 139 Street ):	Single family dwellings and vacant parcel. Development Application No. 7917-0599-00 proposes to construct three 4-storey apartment buildings with 218 residential units. The application was granted Third Reading on December 3, 2018.	Residential Low to Mid Rise up to 2.5 FAR	RF and RM-D
South:	Duplex	Residential Low to Mid Rise up to 2.5 FAR	RM-D
West (Across unconstructed lane):	Single family dwelling and Duplexes	Residential Low to Mid Rise up to 2.5 FAR	RF and RM-D

DEVELOPMENT CONSIDERATIONSBackground

- The subject properties are located at 10575, 10593 and 10605 – 139 Street. The site is designated "Multiple Residential" in the Official Community Plan (OCP), "Residential Low to Mid Rise up to 2.5 FAR" in the Surrey City Centre Plan and zoned "Single Family Residential Zone (RF)".
- Mosaic Homes has submitted an application at 10558, 10576, 10596 and 10604 – 139 Street (Development Application No. 7917-0599-00) in order to construct three 4-storey apartment buildings with a total of 218 dwelling units. The application received Third Reading at the Regular Council – Public Hearing Meeting on December 3, 2018.

Current Proposal

- The applicant (Mosaic Homes) is requesting a Temporary Use Permit (TUP) on the subject site in order to allow a sales centre from which to market their multi-family residential project on the east side of 139 Street called "Parker" (Development Application No. 7917-0599-00).
- The TUP is proposed to be in effect for three years, which should be sufficient time for the applicant to complete the sales of the proposed apartments.
- The applicant will post a bond of \$5,000 to ensure the removal of the temporary building after marketing of the project is complete.

DESIGN PROPOSAL AND REVIEW

- The proposed sales centre will be a single-storey building with a total floor area of 238.8 square metres (2,571 sq. ft.) and a footprint of approximately 11.6 metres (38 ft.) by 20.4 metres (67 ft.).
- The sales centre will contain an office/reception area with a small kitchen, accessible washroom and a mock-up of a 2-bedroom apartment.
- The proposed building will have a 7.6 metre (25 ft.) setback from the east lot line. A minimum 1.2 metre (4 ft.) wide landscape strip is proposed around the building and on-site parking with a small portion of the landscape strip being located within the minimum building setback.
- The proposed building includes a cast-in-place concrete foundation, wood siding with a black pine tar finish, a standing seam metal roof that matches the wood cladding, prefinished metal flashing and cantilevered canopies. The building proposes a combination of gable and flat roofs with a vaulted main entry.
- An asphalt surface parking lot, with space for 12 vehicles, will be constructed directly south of the proposed building with access from 139 Street. A concrete paver sidewalk will connect the parking lot to the entrance of the building. A concrete paver sidewalk connection is also proposed from the entrance of the building to 139 Street.
- The building will be landscaped with grasses, low-lying shrubs as well as Japanese Stewartia, Serbian Spruce and Osakazuki Japanese Maple trees.

TREES

- Connor Corbett, ISA Certified Arborist of Diamond Head Consulting Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder/Cottonwood	2	1	1
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Apple	1	1	0
Cherry	1	0	1
Holly	1	1	0
<b>Coniferous Trees</b>			
Pine	1	0	1
Spruce	35	2	33
Douglas-fir	3	0	3
Cedar	2	0	2
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>44</b>	<b>4</b>	<b>40</b>

<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>	<b>3</b>
<b>Total Retained and Replacement Trees</b>	<b>43</b>
<b>Contribution to the Green City Fund</b>	<b>\$2,400</b>

- The Arborist Assessment states that there are a total of 44 protected trees on the site, excluding Alder and Cottonwood trees. 2 existing trees, approximately 4% of the total trees on the site, are Alder and Cottonwood trees. It was determined that 40 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 9 replacement trees on the site. Since only 3 replacement trees can be accommodated on the site, the deficit of 6 replacement trees will require a cash-in-lieu payment of \$2,400, representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.
- In summary, a total of 41 trees are proposed to be retained on the site with a contribution of \$2,400 to the Green City Fund.

#### PRE-NOTIFICATION

- In accordance with Council policy, a development proposal sign was erected on June 26, 2018 and a pre-notification letter was sent on June 13, 2018. Staff have not received any responses from adjacent property owners with respect to the proposed Temporary Use Permit (TUP).

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INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary (Confidential)
- Appendix II. Site Plan, Building Elevation Drawings and Landscape Plans
- Appendix III. Engineering Summary
- Appendix IV. Tree Preservation Summary
- Appendix V. Temporary Use Permit No. 7918-0159-00

*original signed by Ron Gill*

Jean Lamontagne  
General Manager  
Planning and Development

MRJ/cm

APPENDIX I HAS BEEN  
REMOVED AS IT CONTAINS  
CONFIDENTIAL INFORMATION



ABBREVIATIONS

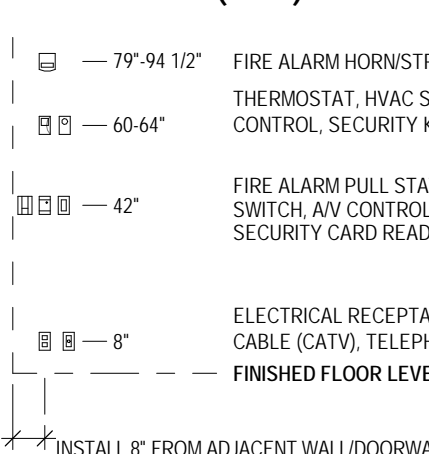
AB AIR BARRIER	EA EXHAUST AIR	LB POUND	SA SUPPLY AIR
ABC ALBERTA BUILDING CODE	EF LINEAR FAN	LF LINEAR FOOT	SAM SELF-ADHERED MEMBRANE
ABV ABOVE	EJ EXPANSION JOINT	LH LEFT HAND	SAN SANITARY
AD AREA DRAIN	ELEC ELECTRICAL	LHR LEFT HAND REVERSE	SD SOAP DISPENSER
AFF ABOVE FINISHED FLOOR	ELEV ELEVATION	LVL LAMINATED VENEER LUMBER	SF SQUARE FOOT
AHU AIR HANDLING UNIT	EPS EXPANDED POLYSTYRENE	M METERS	SHD SANITARY NAPKIN DISPENSER
ALUM ALUMINIUM	ERV ENERGY RECOVERY VENTILATOR	MAX MAXIMUM	SIF SPRAY APPLIED POLYURETHANE FOAM
ANN ANNUNCIATOR	EXT EXTERIOR	MECH MECHANICAL	SST STAINLESS STEEL
ARCH ARCHITECTURAL	FCP FIBER CEMENT PANEL	MEZZ MEZZANINE	STC SOUND TRANSMISSION CLASS
AW ARCHITECTURAL WOOD WORK	FE FIRE EXTINGUISHER	MDF MEDIUM DENSITY FIBERBOARD	STL STEEL
AWP ACOUSTIC WALL PANEL	FFE FINISH FLOOR ELEVATION	MIL THOUSANDTH OF AN INCH (0.001")	STRC STRUCTURAL
BB BULLETIN BOARD	FDN FOUNDATION	MIN MINIMUM	TAG TONGUE & GROOVE
BBH BASEBOARD HEATER	FOC FACE OF CONCRETE	MIR MIRROR	TBC TO BE CONFIRMED
BCBC BRITISH COLUMBIA BUILDING CODE	FOP FACE OF FINISH	MM MILLIMETERS	TBD TO BE DETERMINED
BLDG BUILDING	FR FROGE / REFRIGERATOR	MTL METAL	TEL TELEPHONE
BLW BELOW	FRR FIRE RESISTANCE RATING	MW MICROWAVE	TCC TOP OF CONCRETE / TOP OF CURB
BOC BOTTOM OF CURB	FT FOOT / FEET	MWP METAL WALL PANEL	TOS TOP OF STEEL
BOS BOTTOM OF STEEL	FTG FOOTING	NA / N/A NOT APPLICABLE	TOW TOP OF WALL
BOW BOTTOM OF WALL	FUR FURNITURE	NI NOT IN CONTRACT	TPD TOILET PAPER DISPENSER
BSMT BASEMENT	GA GALVANIZED	NO NOT IN CONTRACT	TR TREAD
BTWN BETWEEN	GC GENERAL CONTRACTOR	NOM NOMINAL	TRM TRIM TYPE NUMBER #
CG CORNER GUARD	GFI GROUND FAULT INTERRUPTER	NTS NOT TO SCALE	TRM TRIM TYPE NUMBER #
CP CAST IN PLACE	GL GLASS / GLAZING / GLAZED	O/A O.C. ON CENTER	UNO UNLESS NOTED OTHERWISE
CJ CONTROL LINE	GRD GROUND	OD OUTSIDE DIAMETER	UR URINAL
CLG CEILING	GWB GYPSUM (WALL) BOARD	OPNG OPENING	UTIL UTILITY
CLR CLEAR	HB HOSE BIB (WALL HYDRANT)	OSB ORIENTED STRAND BOARD	VB VAPOUR BARRIER
CM CONSTRUCTION MANAGER	HM HOLLOW METAL	PL PROPERTY LINE	VCT VINYL COMPOSITION TILE
CO CLEANOUT	HRZ HORIZONTAL	PLATE (STEEL)	VERT VERTICAL
CONC CONCRETE	HRV HEAT RECOVERY VENTILATOR	PLAM PLASTIC LAMINATE	VIF VERIFY FIELD
CONT CONTINUOUS	HSS HOLLOW STEEL SECTION	PNT PAINT	VR VAPOUR BARRIER
CPT CARPET	HW HOT WATER	PREFAB PREFABRICATED	W WITH
CT CERAMIC TILE	HWH HOT WATER HEATER	PTD PAPER TOWEL DISPENSER	WO WITHOUT
CUST CUSTOMAL	HWR HOT WATER RETURN	R RISER	WB WHITEBOARD
CW COLD WATER	HWS HOT WATER SUPPLY	RIA RETURN AIR	WC WATERCLOSET
CW COMPLETE WITH	HWT HOT WATER TANK	RB RUBBER BASE	WO WOOD
DB DECEBEL	ID INSIDER DIAMETER	RB ROLLER BLIND	WF WIDE FLANGE
DA DIAMETER	IN INCHES	RCF REFLECTED CEILING PLAN	WP WORK POINT
DM DIMENSION(S)	INT INFORMATION	REF REFER TO	XPS EXTRUDED POLYSTYRENE
DCW DOMESTIC COLD WATER	INSUL INSULATE / INSULATED	REQD REQUIRED	& AND
DHW DOMESTIC HOT WATER	INV INVERT	REV REVISION	@ AT
DHWT DOMESTIC HOT WATER TANK	JAN JANITOR / JANITORIAL	RD ROOF DRAIN	± PLUSMINUS
DN DOWN	LAM LAMINATED	RM ROOM	
DS DOWNSPOUT	LAV LAVATORY	RO ROUGH OPENING	
DW DISHWASHER		ROW RIGHT OF WAY	
DWG DRAWING		RWL RAINWATER LEADER	

ARCHITECTURAL GRAPHIC SYMBOL LEGEND

22 DRAWING NAME

1:2000	VIEW TITLE DRAWING NUMBER DRAWING SCALE
	BUILDING SECTION DRAWING NUMBER SHEET NUMBER
	WALL SECTION DRAWING NUMBER SHEET NUMBER
	DETAIL REFERENCE DRAWING NUMBER SHEET NUMBER
	GRID LINE
	BUILDING ELEVATION DRAWING NUMBER SHEET NUMBER
	INTERIOR ELEVATION DRAWING NUMBER SHEET NUMBER
	MATCH LINE ADJACENT SHEET NUMBER
	ASSEMBLY TAG FLOOR WALL ROOF
	DOOR TAG
	GLAZING OPENING WINDOW NUMBER
	CASEWORK/MILLWORK TAG
	MATERIAL KEYNOTE
	KEYNOTE
	SIGNAGE INDICATOR
	STAIR TAG NUMBER OF TREADS AND SIZE NUMBER OF RISERS AND SIZE
	LEVEL DATUM LEVEL NAME PRIMARY UNITS (ALL UNITS)
	ROOM TAG ROOM NAME ROOM NUMBER ROOM AREA
	WORK POINT
	SPOT ELEVATION (PROPOSED)
	SPOT ELEVATION (EXISTING)
	NORTH ARROW PROJECT NORTH
	REVISION INDICATOR CLOUD AROUND REVISION REVISION NUMBER
	CENTER LINE
	PROPERTY LINE
	FIRE-RATED PARTITION 1 HOUR 2 HOURS
	EXISTING CONSTRUCTION
	NEW CONSTRUCTION
	TO BE DEMOLISHED

TYPICAL DEVICE MOUNTING ELEVATIONS (UNO)



DEVICE MOUNTING NOTES

1. CONFIRM LOCATIONS OF ALL EXPOSED TO VIEW MECHANICAL, FIRE PROTECTION, ELECTRICAL, LIGHTING, AND SECURITY DEVICES WITH ARCHITECT PRIOR TO INSTALLATION.
2. WHERE MULTIPLE ADJACENT DEVICES ARE INSTALLED AT A COMMON ELEVATION, GANG TOGETHER UNDER A SINGLE COVERPLATE.
3. CENTER MULTIPLE DEVICES IN A VERTICALLY ALIGNED MANNER WHEREVER POSSIBLE.
4. UNLESS NOTED OTHERWISE, PROVIDE LEVITON "RECORDA PLUS" SERIES SCREENLESS COVERPLATES. COLOUR: WHITE DEVICES + WHITE COVERPLATES IN WHITE WALLS; BLACK DEVICES + BLACK COVERPLATES IN BLACK/GREY WALLS.

GENERAL NOTES

1. ALL WORK TO COMPLY WITH BRITISH COLUMBIA BUILDING CODE 2012 VOLUME 1 AND VOLUME 2, AND OTHER APPLICABLE CODES AND ORDINANCES.
2. VERIFY AND COORDINATE SITE CONDITIONS AND DIMENSIONS. BRING INCONSISTENCIES TO ATTENTION OF ARCHITECT BEFORE PROCEEDING WITH WORK.
3. PROVIDE EXCAVATION AND FOUNDATION WORK IN CONFORMANCE WITH THE REQUIREMENTS OF THE GEOTECHNICAL ASSESSMENT AND CONSTRUCTION DOCUMENTS.
4. PROVIDE BUILDING SURFACE DRAINAGE SYSTEM IN ACCORDANCE WITH THE GEOTECHNICAL ASSESSMENT.
5. IMMEDIATELY BRING ERRORS AND OMISSIONS FOUND IN THESE DRAWINGS TO ATTENTION OF ARCHITECT.
6. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS SHOWN ON DRAWINGS AND ACTUAL FIELD MEASUREMENTS. NOTIFY ARCHITECT OF DISCREPANCIES.
7. ALL DIMENSIONS ARE TO FINISH FACE OF PARTITION OR CEILING, FACE OF CONCRETE OR MASONRY, AND CENTERLINE OF COLUMNS, UNLESS NOTED OTHERWISE. DIMENSIONS IN ALTERNATE UNITS (E.G. METRIC VS IMPERIAL) ARE IN BRACKETS; ADJUST LOCATION OF GYPSUM BOARD ASSEMBLY TYPES TO ALLOW FOR SCHEDULED APPLICATION OF SKIM AND FEATHER COATS, TAPE AND SPACKLE, VENEER PLASTERS, AND TRIM SHAPES AS REQUIRED IN ORDER TO MAINTAIN DIMENSIONS AND CRITICAL ALIGNMENTS INDICATED AT DRAWINGS.
8. DRAWINGS AND SPECIFICATIONS. EXAMINE AND BRING ANY DISCREPANCIES BETWEEN ARCHITECT AND CONSULTANT WORK TO THE ATTENTION OF THE ARCHITECT BY WRITTEN NOTICE OR CLARIFICATION WORK INSTALLED IN CONFLICT WITH CONSTRUCTION DOCUMENTS WILL BE CONSIDERED IN NON-COMFORMANCE, AND ASSEMBLY SHALL HAVE FIRE RATING LESS THAN SUPPORTED ASSEMBLY.
9. COORDINATION: COORDINATE WORK TO COMPLY WITH DRAWINGS AND SPECIFICATIONS AND TO ACCURATELY LOCATE OPENINGS FOR MECHANICAL, ELECTRICAL AND OTHER EQUIPMENT SO AS TO NOT INTERFERE WITH STRUCTURAL FRAMING.
10. FOLLOW MANUFACTURER'S INSTRUCTIONS, EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE INDICATED OR REQUIRED BY CODE.
11. PROVIDE AND INSTALL SOLID BLOCKING AND BACKING FOR WALL- AND CEILING-MOUNTED ITEMS.
12. INSTALL GYPSUM BOARD ON BOTH SIDES OF WALL FRAMING, UNINTERRUPTED FROM FLOOR TO UNDERSIDE OF ROOF DECK, UNLESS NOTED OTHERWISE.
13. ATTACH PIPING IN ACOUSTICALLY SEPARATED WALLS WITH VIBRATION ISOLATORS. ISOLATE PIPING IN CONTACT WITH CONSTRUCTION.
14. MOUNT SWITCHES 42" (1060) ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE. VERIFY SWITCH AND OUTLET HEIGHTS ABOVE CASEWORK TO CLEAR BACKSPASH.
15. ISOLATE AND OFFSET OUTLETS ONE STUD SPACE MINIMUM AT SOUND WALLS TO PREVENT SOUND TRANSMISSION.
16. COORDINATE SIZES AND LOCATIONS OF OPENINGS AND ROUGHINS FOR MECHANICAL EQUIPMENT WITH MECHANICAL CONTRACTOR, AND SHOP DRAWINGS REVIEWED BY ARCHITECT, BEFORE PROCEEDING WITH THE WORK.
17. VERIFY SIZES AND LOCATIONS OF MECHANICAL EQUIPMENT PADS, BASES, POWER, WATER AND DRAIN INSTALLATION WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. PROVIDE AND INSTALL SEISMIC BRACING AND FASTENING IN ACCORDANCE WITH CODE REQUIREMENTS.
18. COORDINATE EXACT LOCATION OF PLUMBING AND PIPING WORK INTERFACING OTHER BUILDING SYSTEMS AND ASSEMBLIES WITH PLUMBING SUBCONTRACTOR.
19. FINISHES: IN FINISHED INTERIOR AREAS, NO EXPOSED PIPE, CONDUITS, DUCTS, ETC. CONCEAL UTILITY LINES BEHIND FINISHED CONSTRUCTION UNLESS NOTED AS EXPOSED TO VIEW CONSTRUCTION ON DRAWINGS OR APPROVED BY ARCHITECT. IF WORK CANNOT BE CONCEALED WITHIN FINISHED CONSTRUCTION OF THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PROVIDE & INSTALL FURRED & FINISHED HORIZONTAL & VERTICAL CHASES TO MATCH ADJACENT FINISH TO CONCEAL WORK. COORDINATE WITH ARCHITECT.
20. OFFSET AND ADJUST FRAMING TO MAKE FINISHED SURFACES FLUSH AND TRUE TO LINE.
21. PROVIDE GALVANIC ISOLATION BETWEEN DISSIMILAR METALS.
22. LOCATE FIRE EXTINGUISHER CABINETS AS SHOWN ON PLANS; PROVIDE EXTINGUISHER TYPE AND ADDITIONAL FIRE EXTINGUISHERS AS REQUIRED BY BUILDING CODE AND NFPA 10. STANDARD FOR PORTABLE FIRE EXTINGUISHERS. COORDINATE EXACT LOCATION OF SUPPLEMENTAL FIRE EXTINGUISHERS AND FIRE EXTINGUISHER CABINETS WITH ARCHITECT.
23. COORDINATE INSTALLATION OF FIRE PROTECTION SYSTEM WITH STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL WORK TO ENSURE NO CONFLICT AS A RESULT OF FIRE PROTECTION SYSTEM INSTALLATION.
24. REFER TO FINISH SYMBOLS LEGEND WHERE APPLICABLE FOR ADDITIONAL ABBREVIATIONS AND FINISH MATERIAL ACRONYMS INDICATED AT DRAWINGS AND SPECIFICATIONS.
25. REFER TO ENLARGED TOILET ROOM PLANS AND ELEVATIONS FOR TOILET ROOM ACCESSORIES ABBREVIATIONS AND ACRONYMS.
26. PROMPTLY BRING CONFLICTS AND OMISSIONS IN FINISH MATERIALS LISTS AND OTHER GRAPHIC INDICATORS TO ARCHITECT'S ATTENTION FOR INTERPRETATION AND DIRECTION.
27. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF ALL EXPOSED TO VIEW DEVICES AND EQUIPMENT PROVIDED UNDER WORK OF OTHER DISCIPLINES INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL, SECURITY, AND AUDIO VISUAL.
28. ALL EXISTING AND NEW SERVICE PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES TO BE FIRE STOPPED, INCLUDING BUT NOT LIMITED TO CUSTOMAL ROOMS, MECHANICAL ROOMS, AND FIRE-RATED FLOOR ASSEMBLIES.

BUILDING CODE SUMMARY

<b>BUILDING CODE</b>	BC BUILDING CODE 2012
<b>BUILDING AREA</b>	238.8m <sup>2</sup> [2571 SF]
<b>BUILDING HEIGHT</b>	1 STOREY
<b>CODE APPLICATION PART 9</b>	PRIVATE
<b>OCCUPANT LOAD [9.9.1.3]</b>	• REAL ESTATE PRE-SALES CENTRE (MERCANTILE) • OFFICE • 42.1 M <sup>2</sup> @ 9.30 M <sup>2</sup> /PERSON = 5 PERSONS
<b>TOTAL 56 PERSONS</b>	
<b>DIMENSIONS OF MEANS OF EGRESS [9.9.3]</b>	MIN 1100 FOR PUBLIC CORRIDORS (SERVING MORE THAN 1 SUITE); 900 OTHERWISE — MIN CLEAR HEIGHT: 2100 TYP
<b>OCCUPANCY CLASSIFICATION [9.10.2]</b>	GROUP E: MERCANTILE (GROUND FLOOR)
<b>SECONDARY OCCUPANCY</b>	GROUP D: OFFICE (GROUND FLOOR)
<b>PERMITTED OPENINGS IN WALL AND CEILING MEMBRANES [9.10.5]</b>	MEMBRANES FOR ASSEMBLIES W/ FIRE RESISTANCE RATINGS SHALL NOT BE PIERCED BY OPENINGS, EXCEPT: — ELECTRICAL OUTLET BOXES (OR SIMILAR) PROVIDED THEY ARE TIGHTLY FITTED (OFFSET BY MIN. ONE STUD CAVITY AND BLOCK ABOVE/BELOW WHERE 2 DEVICES ARE ON OPPOSITE SIDES OF THE ASSEMBLY) — WHERE FRR IS ASSIGNED PER TABLE A.9.10.3.1.B OR APPENDIX D, OPENINGS TO DUCTS WIN CEILING SPACE PERMITTED PER APPENDIX D
<b>CONSTRUCTION PERMITTED</b>	COMBUSTIBLE AND/OR NONCOMBUSTIBLE ASSEMBLIES [3.2.2.60] GROUP D UP TO 2 STOREYS [3.2.2.66] GROUP E UP TO 2 STOREYS
<b>REQUIRED ASSEMBLY RATINGS [9.10.8]</b>	ROOFS: NOT RATED FLOORS: 45 MIN (N/A IN PROJECT) EXTERIOR WALLS: 1 HOUR [9.10.14.5.A]
<b>NOTE: LOADBEARING WALLS/COLUMNS IN STOREY IMMEDIATELY BELOW A RATED FLOOR/ROOF ASSEMBLY SHALL HAVE FIRE RATING LESS THAN THE SUPPORTED ASSEMBLY.</b>	
<b>FIRE SEPARATIONS [9.10.9]</b>	NONE IN PROJECT
<b>SEPARATION OF OCCUPANCIES [9.10.9.11]</b>	NONE IN PROJECT
<b>FIRE SUPPRESSION SYSTEM</b>	NOT REQUIRED [3.2.2.62, 3.2.2.66.]
<b>FIRE ALARM SYSTEM</b>	NOT REQUIRED [9.10.18.2.(2)]
<b>CLOSURES IN FIRE SEPARATIONS [9.10.13.1]</b>	FRR OF FIRE SEPARATION MIN FRR OF CLOSURE 45 MIN 45 MIN 1 HR 1 HR 1.5 HR 1 HR 2 HR 1.5 HR NOTE: NO FIRE SEPARATIONS IN PROJECT
<b>NUMBER OF REQUIRED EXITS [9.9.8.2]</b>	2 EXITS REQUIRED FROM FLOOR AREA, SPACED 50 TRAVEL DISTANCE TO NEAREST EXIST IS NOT MORE THAN 30M [9.9.8.2.(1)(c)]

<b>DOORS, INC. EXIT DOORS [9.9.2, 9.9.6.3]</b>	MIN HEIGHT 2030mm (80" ± 9") MIN WIDTH 800mm [31.5"] CLEAR WIDTH		
<b>STAIRS</b>	PRIVATE: MIN (mm) MAX (mm) RISER 125 200 RUN 210 355 TREAD 230 355		
<b>PUBLIC:</b>	MIN (mm) MAX (mm) RISER 125 180 RUN 280 NO LIMIT TREAD 280 NO LIMIT		
<b>MINIMUM STAIR WIDTH - 800mm</b>	MINIMUM EXIT STAIR WIDTH - 900mm		
<b>HANDRAILS</b>	MIN 50mm CLEARANCE BETWEEN GRASPABLE RAIL AND SURFACE BEHIND [9.9.7.5.(1)]		
<b>SMOKE ALARMS [9.10.19]</b>	TO BE INSTALLED AT OR NEAR THE CEILING, REQUIRED LOCATIONS: — MIN 1 ON EACH STOREY [9.10.19.3.1.(a)] — IN EACH DWELLING UNIT AND IN EACH SLEEPING ROOM [9.10.19.3.1.(b)] SMOKE ALARMS WITH DWELLING UNITS TO BE INTERCONNECTED [9.10.19.5]		
<b>LIGHTING &amp; EMERGENCY POWER</b>	— PROVIDE EMERGENCY LIGHTING IN EXIT CORRIDORS AT AN AVERAGE OF 1 LX AT FLOOR AND/OR TREAD LEVEL [9.9.12.3.(4)] — ALL EMERGENCY LIGHTING TO BE POWERED BY A SUPPLY SEPARATE FROM THE BUILDING POWER SUPPLY — AUTOMATICALLY ACTUATED BACKUP BATTERY POWER TO BE PROVIDED TO EMERGENCY LIGHTING FOR A MINIMUM OF 30 MINS IN THE CASE OF A POWER INTERRUPTION [9.9.12.3.(3)]		
<b>FIRE EXTINGUISHERS</b>	PROVIDE FIRE EXTINGUISHERS IN OR ADJACENT TO CORRIDORS THAT PROVIDE ACCESS TO EXIT		
<b>ACCESSIBILITY REQUIREMENTS</b>	GROUP E — ACCESSIBLE WASHROOM TO BE PROVIDED [3.8.2.3.(1) AND (2)]		
<b>SPATIAL SEPARATION SUMMARY</b>	[9.10.14.4.]		
<b>ELEV. / AREA OF EXPOSING BUILDING FACE</b>	LIMITING DISTANCE	PERMITTED AREA OF UNPROTECTED OPENINGS	ACTUAL AREA
NORTH 358m (33m2)	140' 0" (43m)	100%	26%
EAST 880m (82m2)	65' 0" (20m)	100%	29%
SOUTH 437m (41m2)	90' 0" (27m)	100%	28%
WEST 825m (77m2)	62' 0" (19m)	100%	2%

PROJECT NOTES

REFER TO SURVEY PLAN PREPARED BY OLSEN & ASSOCIATES FOR PROPERTY LINES AND NATURAL GRADE TOPOGRAPHY

REFER TO GEOTECHNICAL REPORT FROM GEOPACIFIC CONSULTANTS LTD. FOR GEOTECHNICAL INFORMATION

REFER TO ARBORCULTURAL INVENTORY AND REPORT PREPARED BY DIAMOND HEAD CONSULTING

LEGAL DESCRIPTION

LOT 58 PLAN 27955, LOT 44 PLAN 17345 AND LOT 45 PLAN 20317  
ALL OF SECTION 23 BLOCK 5 NORTH RANGE 2 WEST NEAR 1 SUITE; 900 OTHERWISE  
— MIN CLEAR HEIGHT: 2100 TYP

CIVIC ADDRESS  
10575 / 10593 / 10605 - 139 ST. SURREY, BC, V3T 4L8

DEVELOPMENT STATISTICS

LOTS 10575 / 10593 / 10605  
2951 TYP [13772 SF]  
SETBACKS  
FRONT YARD: 7.5m [25ft]  
REAR YARD: 7.5m [25ft]  
SIDE YARD: 1.8m [6ft]  
HEIGHT: MAX 9m [30ft], MAX 7.3m [24ft] FOR ANY ROOF WITH SLOPE <14

**CURRENT ZONING**  
R1 (SINGLE FAMILY RESIDENTIAL ZONE) BY-LAW 12000, SECTION 16.1

GROSS BUILDING AREA: 238.8m<sup>2</sup> [2571 SF]  
PARKING PROVIDED: 12 STALLS TOTAL (1 HC)

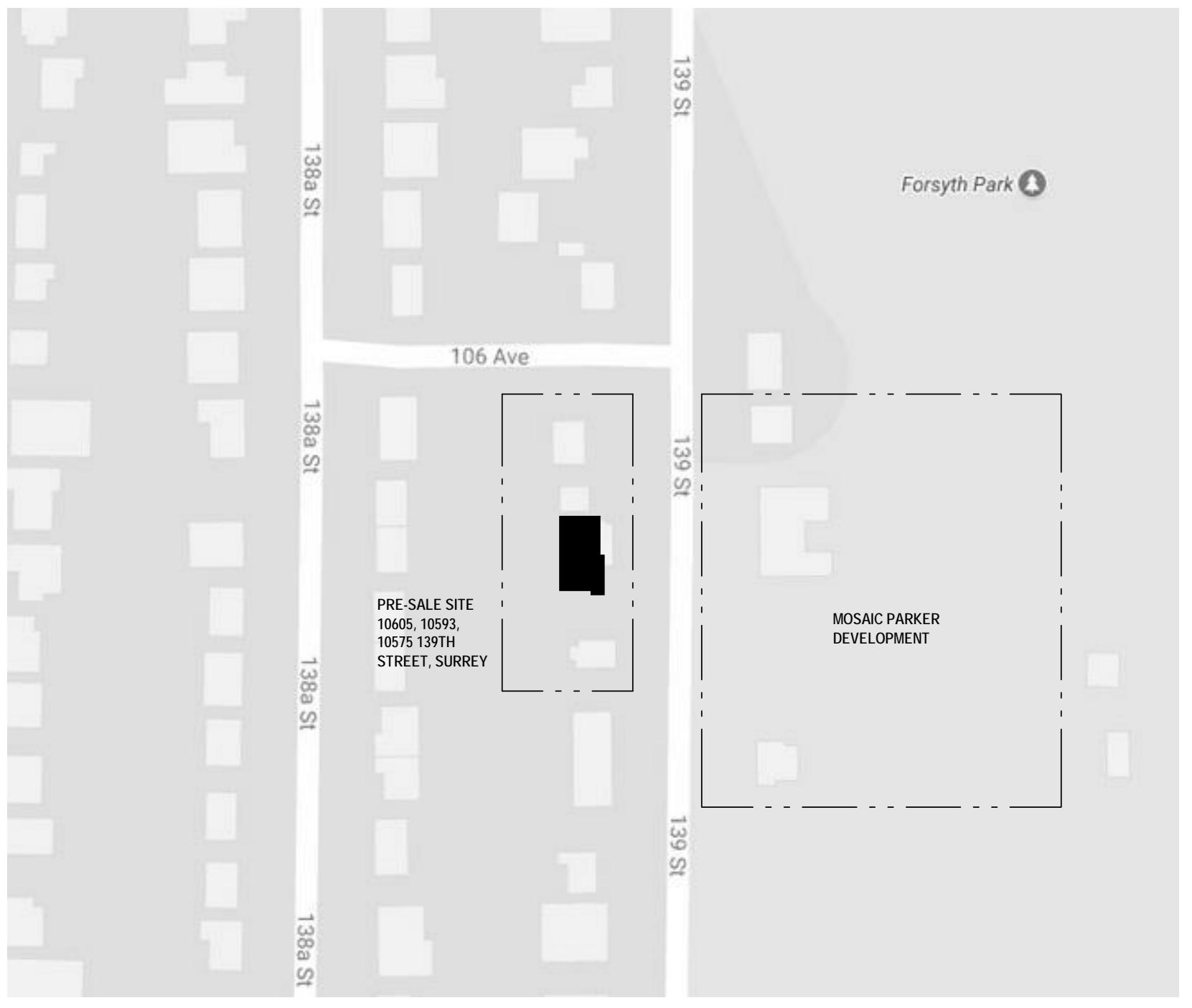
PROJECT DIRECTORY

<b>CLIENT</b>	MOSAIC 500-269 GRANVILLE ST. VANCOUVER, BC V6H 3H3 T: 604-485-3888 E: STEPHANIE.DA SILVA E: STEPHANIE.DASILVA@MOSAICHOMES.COM M: 604-220-8608
<b>ARCHITECT</b>	MIZA ARCHITECTS INC 303 - 2425 QUEBEC ST. VANCOUVER, BC V5T 4L6 T: 604-602-4147 DAVID ZEIBIN, ARCHITECT ABC MRAC LEED AP BD-C E: DZEIBIN@MIZAARCHITECTS.COM M: 604-220-8621
<b>STRUCTURAL</b>	CHRIS LEE TLSE STRUCTURAL ENGINEERING 121 WEST 4TH AVENUE, VANCOUVER, BC V5Y 1K3 T: 604-673-1768 CHRIS.LEE@TLSE.CA
<b>MECHANICAL</b>	RICHARD CORRA ROCKY POINT ENGINEERING LTD 208-2071 62A AVENUE, LANGLEY, BC V1M 3A5 T: 604-888-7779 RICHARD.CORRA@RPENG.CA
<b>ELECTRICAL</b>	MARC GAGER GAGER 20689 56TH AVENUE, LANGLEY, BC V3A 3Y9 T: 778-217-2225 MARC.GAGER@GAGERELECTRICAL.COM
<b>CIVIL</b>	CORIAN NOLAN CORE GROUP CONSULTANTS 220 - 8980 FRASERTON COURT, BURNABY, BC V5J 5H8 T: 604-299-0605 CNOLAN@COREGROUPCONSULTANTS.COM
<b>LANDSCAPE ARCHITECT</b>	JUDY TOYKO CONNECT LANDSCAPE ARCHITECTURE 2335 HEMLOCK ST, VANCOUVER, BC V6H 2V1 T: 604-681-3303 JUDY@CONNECT.LA.CA
<b>ARBORIST</b>	COROR CORBETT DIAMOND HEAD CONSULTING 3559 COMMERCIAL ST, VANCOUVER BC V5N 4E8 T: 604-733-8886 COROR@DIAMONDDHEADCONSULTING.COM
<b>INTERIOR DESIGNER</b>	KRISTA CALERO INSIGHT DESIGN GROUP STUDIO 200 - 1737 W 3 AVENUE, VANCOUVER, BC, V6J 1K7 T: 604-602-1750 D: 778-945-6316 E: KRISTA@INSIGHTDESIGNINC.COM

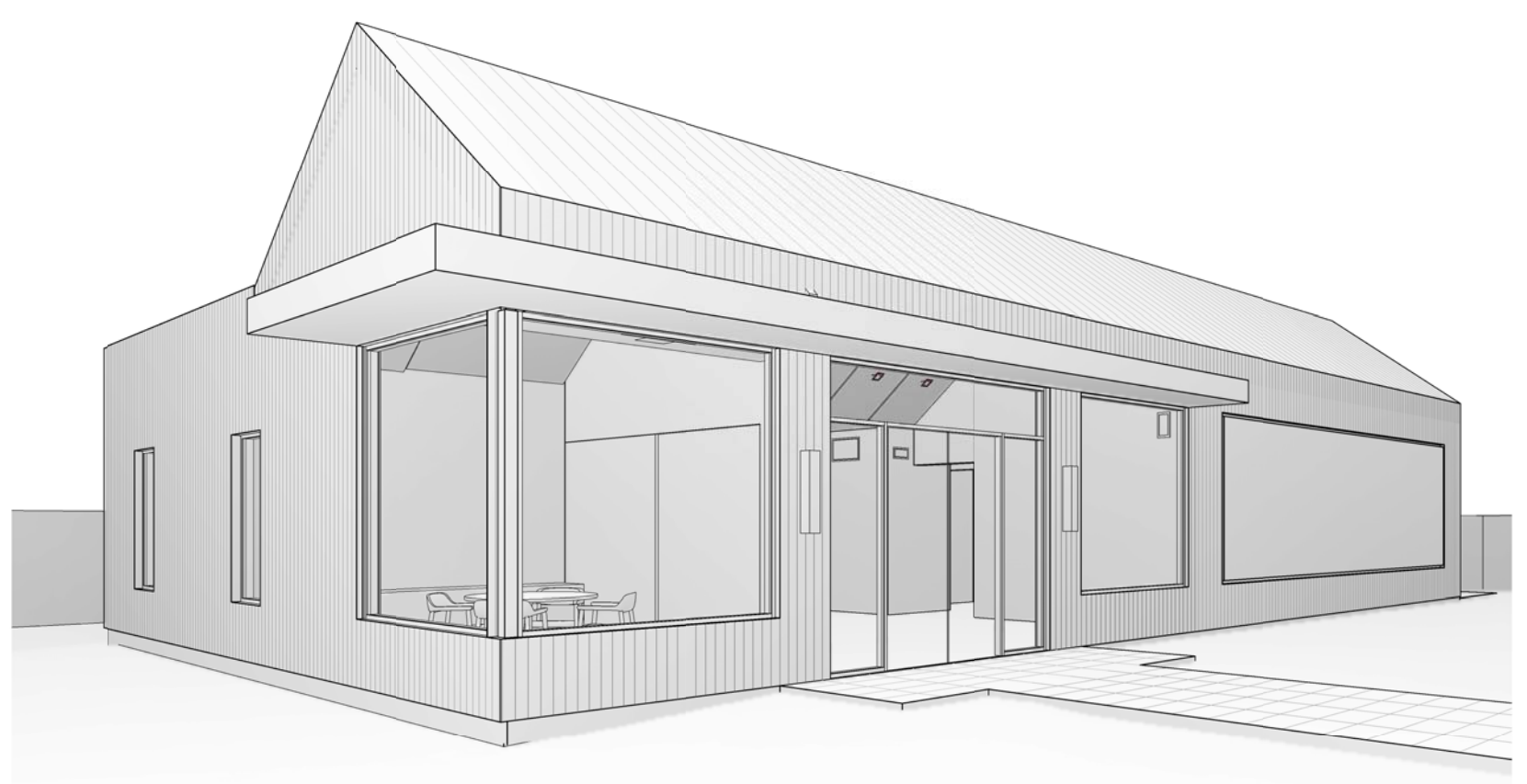
DRAWING INDEX

A0 GENERAL	COVER SHEET
A1 SITE	SITE PLAN
A2 FLOOR PLANS	FLOOR PLAN
A4 ELEVATIONS	ELEVATIONS

STRUCTURAL	REFER TO DRAWING SET - S SERIES
MECHANICAL	REFER TO DRAWING SET - M SERIES
ELECTRICAL	REFER TO DRAWING SET - E SERIES
CIVIL	REFER TO DRAWING SET - C SERIES
LANDSCAPE ARCHITECT	REFER TO DRAWING SET - L SERIES
INTERIOR DESIGNER	REFER TO DRAWING SET - ID SERIES



1 CONTEXT PLAN NOT TO SCALE



2 PERSPECTIVE VIEW

ISSUED FOR TUP APPLICATION NO. 18-0159

17 SEP 2018

13	17 SEP 2018	TUP RE-SUBMISSION
12	31 AUG 2018	TENDER
11	30 JULY 2018	COORDINATION
10	26 JUNE 2018	BUILDING PERMIT
9	11 JUNE 2018	COORDINATION
8	08 JUNE 2018	TUP RE-SUBMISSION
7	04 JUNE 2018	COORDINATION
5	23 MAY 2018	COORDINATION
4	04 MAY 2018	COORDINATION
NO DATE		DESCRIPTION
ISSUES + REVISIONS		

SEAL

**MIZA architects**  
303 - 2425 QUEBEC ST. VANCOUVER BC V5T 4L6  
TEL 604 602 4147 EMAIL INFO@MIZAARCHITECTS.COM

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PARKER PRE-SALES CENTRE

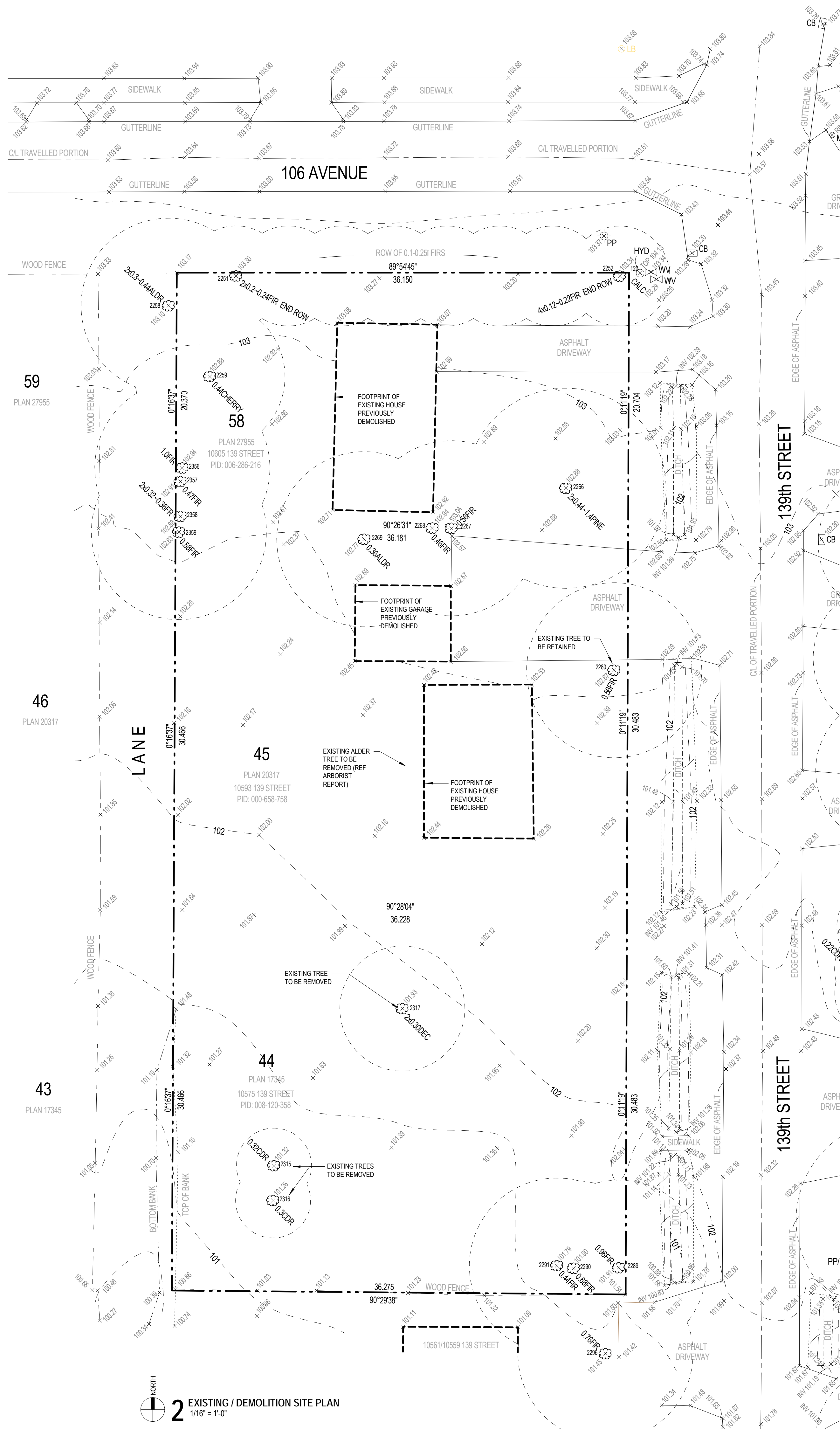
CIVIC ADDRESS  
10575 / 10593 / 10605 - 139 ST. SURREY, BC, V3T 4L8

PROJECT CODE	STATUS
007	CD
SCALE	DATE
As Indicated	17 SEP 2018

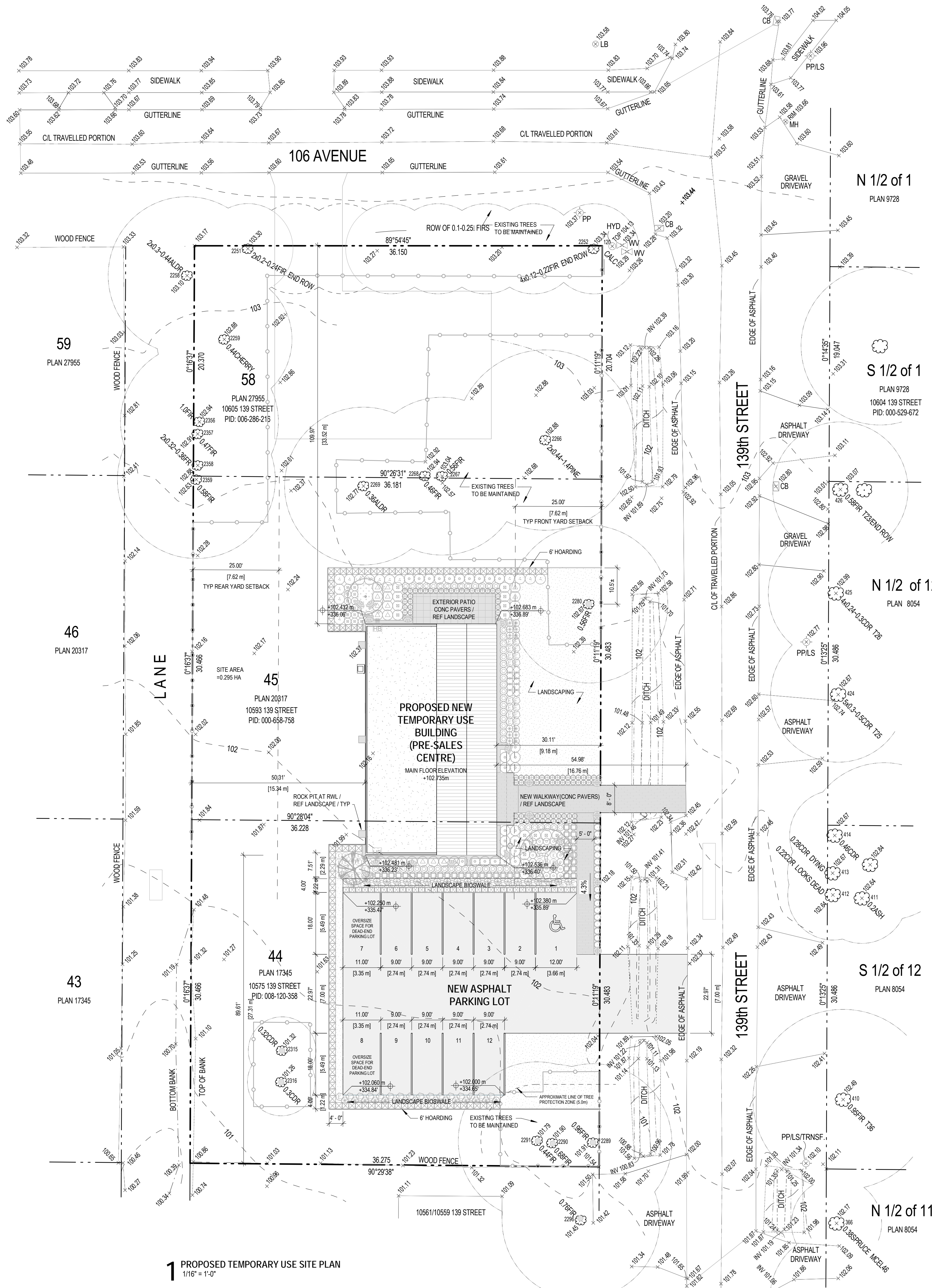
COVER SHEET

SHEET  
**A001**





**2** EXISTING / DEMOLITION SITE PLAN  
1/16" = 1'-0"



**1** PROPOSED TEMPORARY USE SITE PLAN  
1/16" = 1'-0"

**SITE PLAN LEGEND**

	EXISTING GEODETIC ELEVATION (m)
	PROPOSED GRADE
	PROPERTY LINE
	GAS SERVICE
	WATER SERVICE
	HYDRO SERVICE
	EXISTING TREE W/ APPROX CANOPY
	APPROXIMATE LOCATION OF TREE PROTECTION FENCING / REF ARBORIST REPORT

13	17 SEP 2018	TIP RE-SUBMISSION
12	31 AUG 2018	TENDER
11	30 JULY 2018	COORDINATION
10	26 JUNE 2018	BUILDING PERMIT
9	13 JUNE 2018	COORDINATION
8	08 JUNE 2018	TIP RE-SUBMISSION
7	06 JUNE 2018	COORDINATION
6	23 MAY 2018	COORDINATION
5	04 MAY 2018	COORDINATION
4	24 APR 2018	TIP APPLICATION
3	13 APR 2018	REVIEW / COORDINATION
2	6 APR 2018	REVIEW / COORDINATION
NO DATE		DESCRIPTION
ISSUES - REVIEWS		

**MIZA architects**  
303-2425 QUEBEC ST. VANCOUVER BC V5T 4L6  
TEL: 604 600-6147 EMAIL: INFO@MIZAARCHITECTS.COM

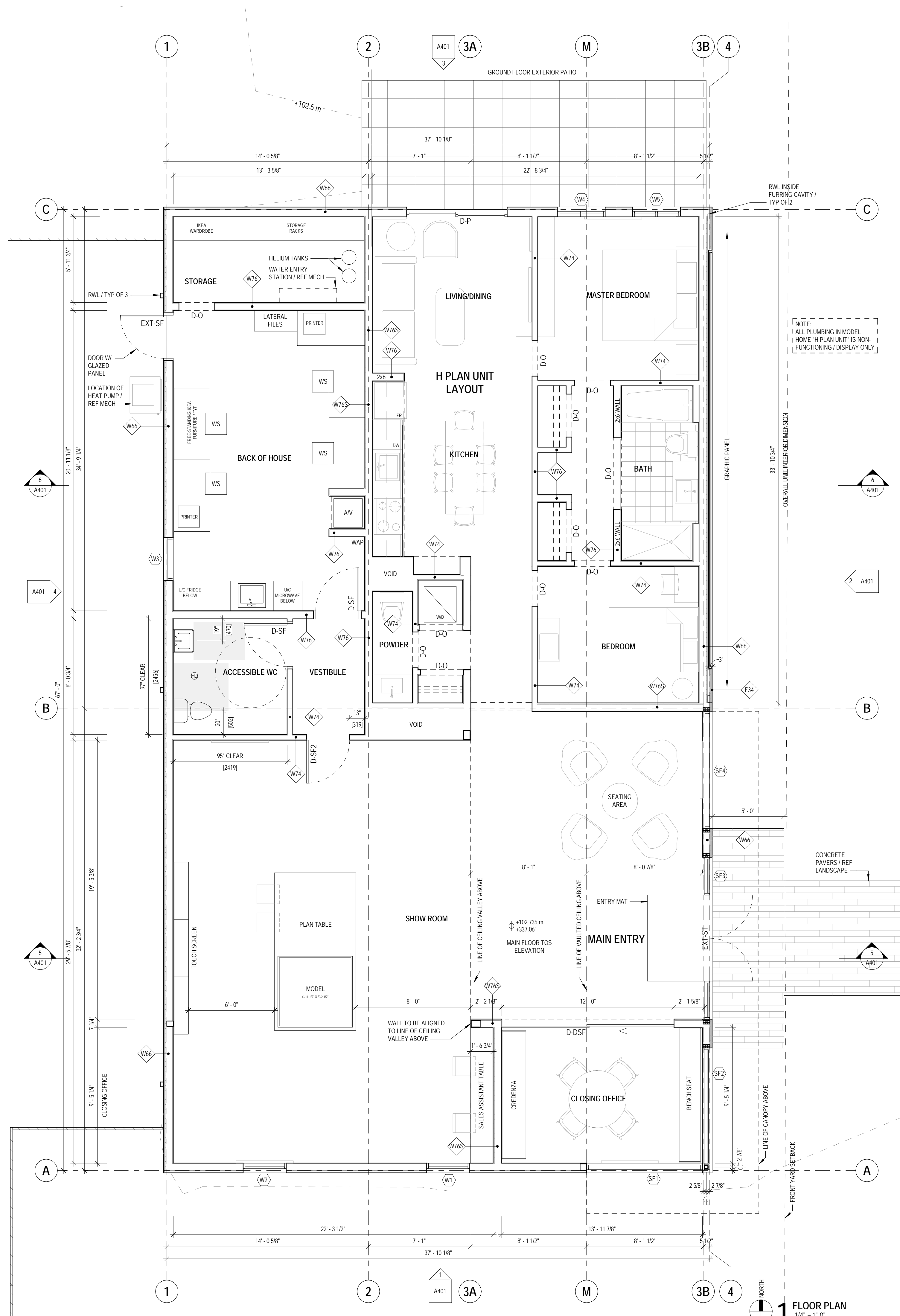
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**PARKER PRE-SALES CENTRE**  
Civic Address: 10575 / 10553 / 10605 - 139 ST. SURREY, BC, V3T 4L8

PROJECT CODE: 047 STATUS: CD  
SCALE: 1/16" = 1'-0" DATE: 17 SEP 2018

**SITE PLAN**  
SHEET **A101**





NO	DATE	DESCRIPTION
13	17 SEP 2018	TIP RE-SUBMISSION
12	31 AUG 2018	TENDER
11	30 JULY 2018	COORDINATION
10	26 JUNE 2018	BUILDING PERMIT
9	13 JUNE 2018	COORDINATION
8	08 JUNE 2018	TIP RE-SUBMISSION
7	06 JUNE 2018	COORDINATION
5	23 MAY 2018	COORDINATION
4	04 MAY 2018	COORDINATION
3	24 APR 2018	TIP APPLICATION
2	13 APR 2018	REVIEW / COORDINATION
1	6 APR 2018	REVIEW / COORDINATION

NO DATE DESCRIPTION  
ISSUES + REVIEWS  
SAL

**MIZA architects**  
 303-1425 QUEBEC ST. VANCOUVER BC V5T 4E4  
 TEL 604 600 6147 EMAIL INFO@MIZAARCHITECTS.COM

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**PARKER  
PRE-SALES CENTRE**

Civic Address  
10575 / 10593 / 10605 - 139 ST. SURREY, BC, V3T 4L8

PROJECT CODE STATUS  
047 CD

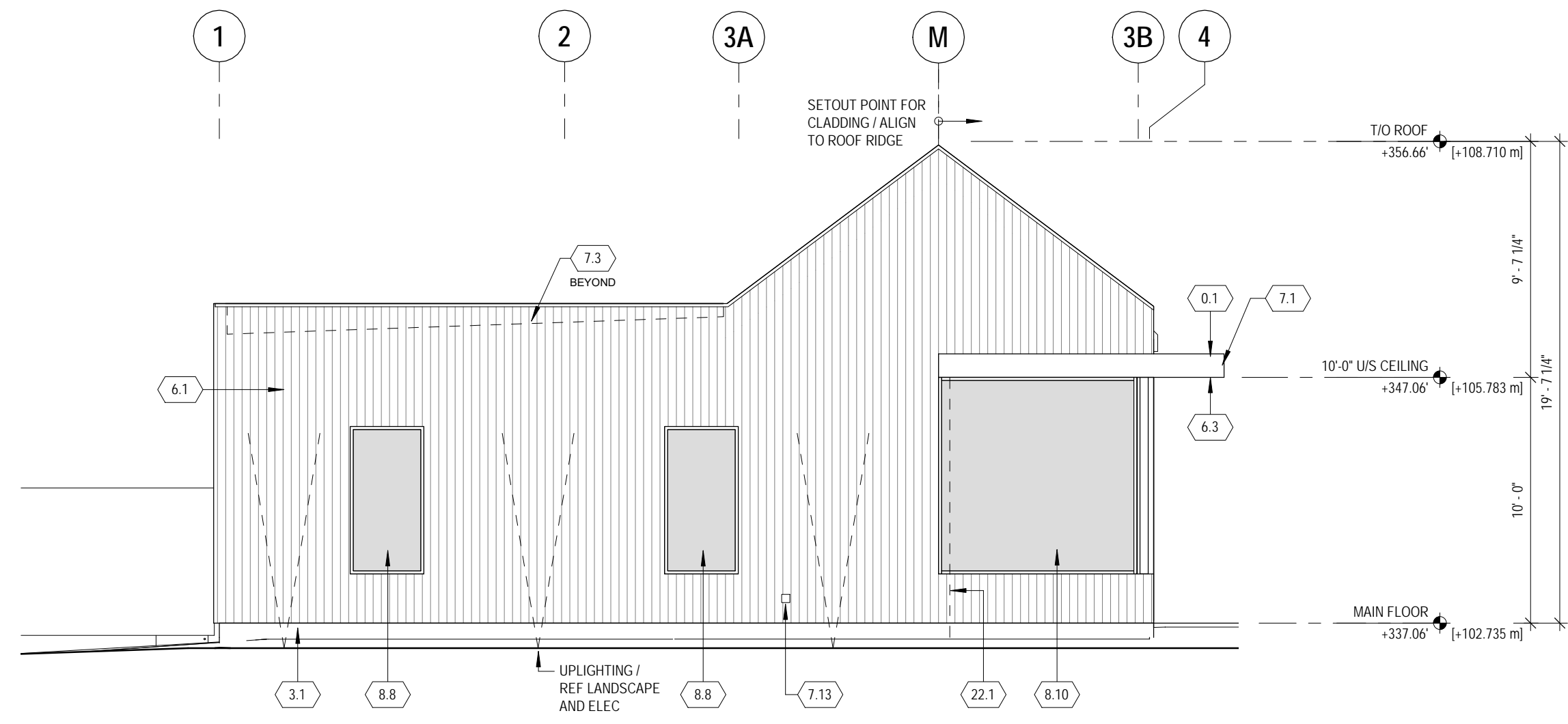
SCALE DATE  
1/4" = 1'-0" 17 SEP 2018

**FLOOR PLAN**  
SHEET  
**A210**

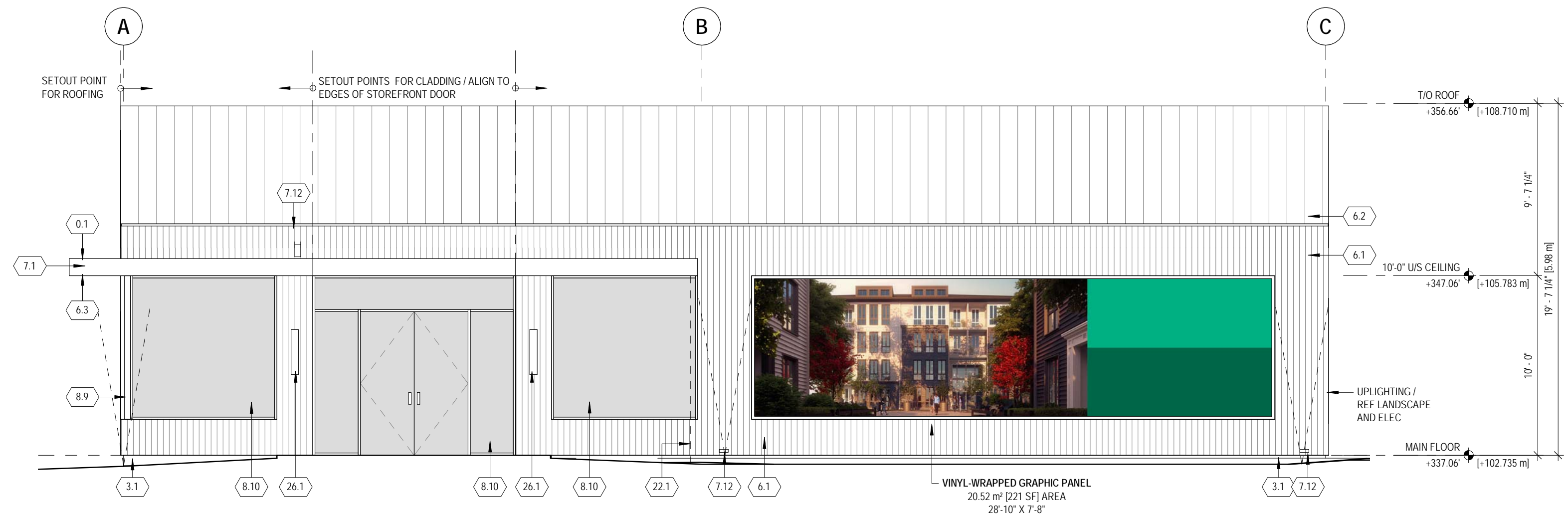
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KEYNOTES — ELEVATIONS

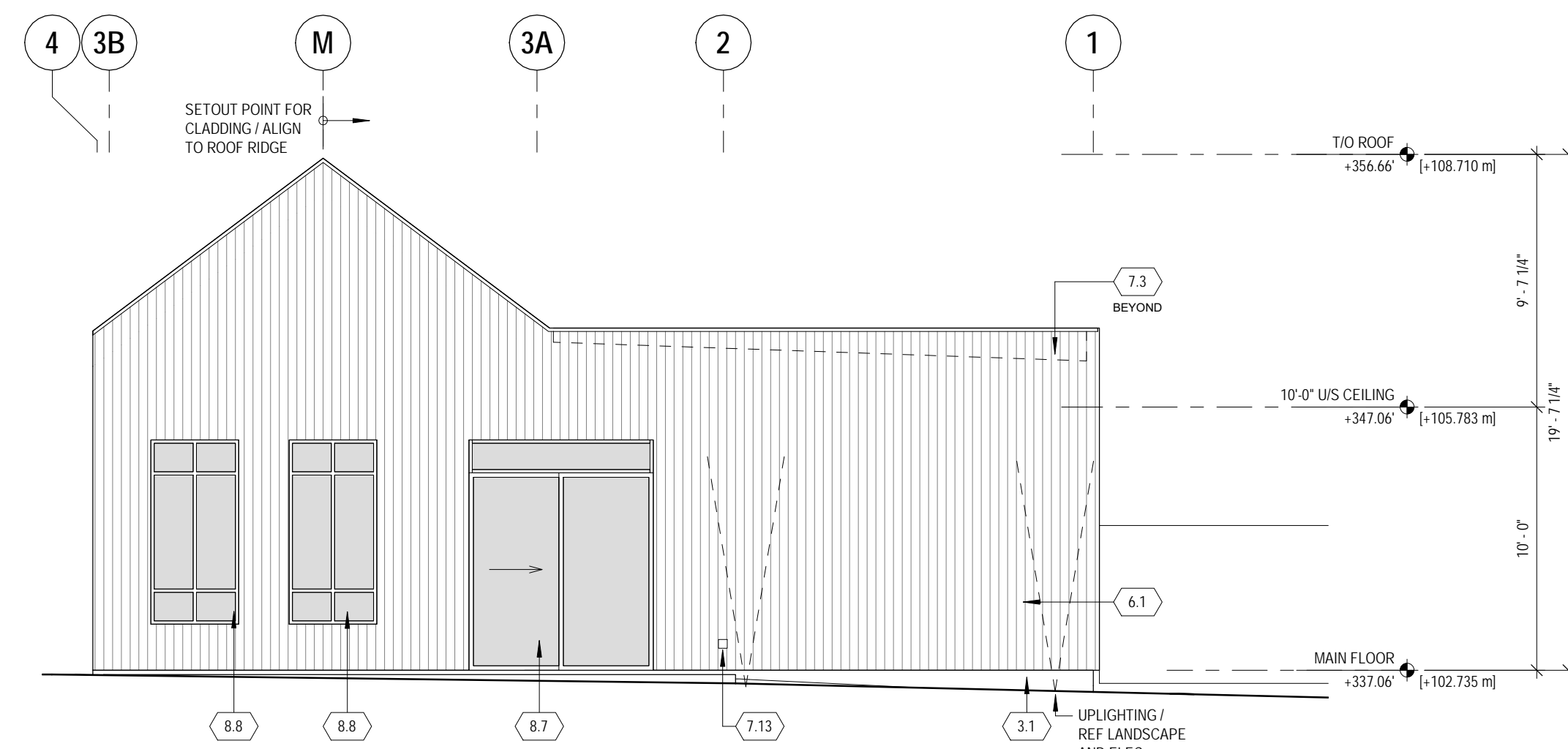
0.1	CANTILEVERED CANOPY
2.1	6" HIGH HOARDING FENCE
3.1	CAST-IN-PLACE CONC FOUNDATION / PAINT EXPOSED SURFACES BLACK
3.2	ANCHOR BOLT WITH SILL GASKET / REF STRC
6.1	1/4" NOMINAL T&G WOOD SIDING ON 1x3 STRAPPING W/ BLACK PAINT FINISH / REF SPEC
6.2	STANDING SEAM METAL ROOFING AT NOMINAL 12" O.C. / SEAMS TO ALIGN WITH WOOD CLADDING MODULE / COLOUR TO BE CLOSEST MATCH TO WOOD CLADDING (TO BE CONFIRMED BY ARCHITECT AND OWNER)
6.3	CANOPY SOFFIT / NATURAL CEDAR WITH CLEAR COAT FINISH
7.1	PREFINISHED METAL FLASHING
7.12	2x6" RAIN WATER LEADER / REF LANDSCAPE
7.13	HOSE BIB
8.1	PAINTED METAL DOOR
8.7	VINYL SLIDING DOOR
8.8	VINYL WINDOW W/ DOUBLE GLAZING / PROVIDE OPERABLE SECTIONS OF GLAZING WHERE INDICATED
8.9	ANODIZED ALUMINUM BRAKE SHAPE
8.10	ALUMINUM STOREFRONT WINDOW/DOOR CW DOUBLE-GLAZED INSULATED UNITS
22.1	CHAIN DRAIN
23.1	HEAT PUMP / REF MECH
26.1	EXTERIOR LIGHT FIXTURE / REF ELEC
33.1	GRAVEL DRAIN STRIP / REF LANDSCAPE



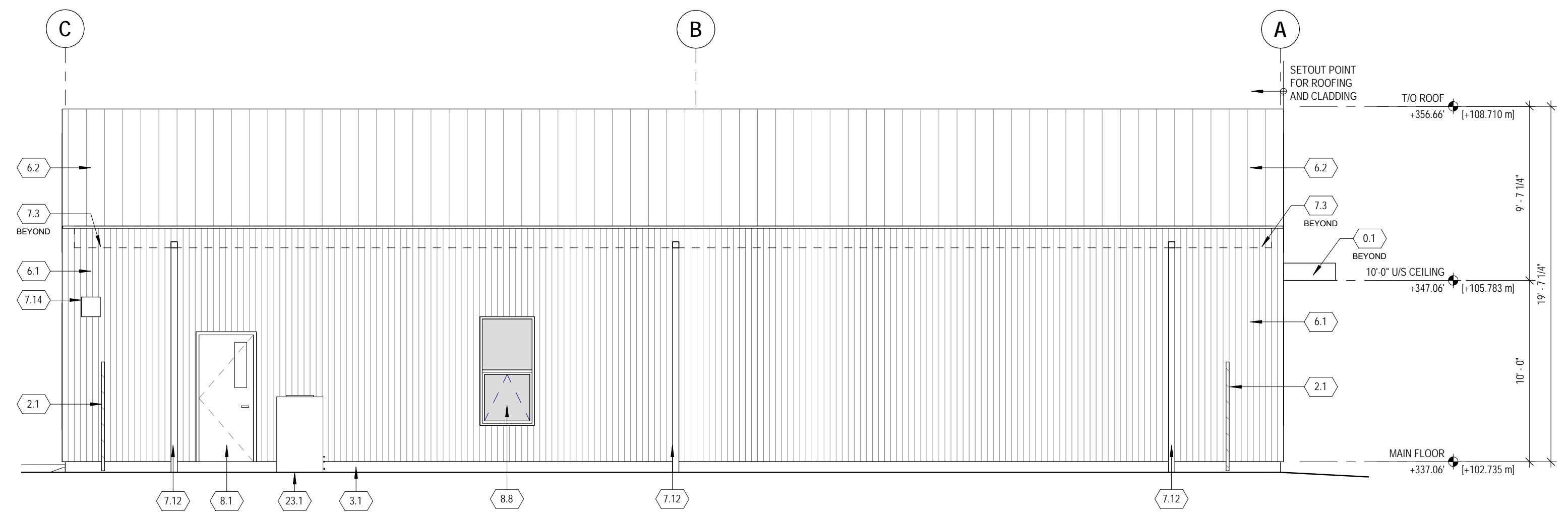
1 BUILDING ELEVATION / SOUTH  
3/16" = 1'-0"



2 BUILDING ELEVATION / EAST  
3/16" = 1'-0"



3 BUILDING ELEVATION / NORTH  
3/16" = 1'-0"



4 BUILDING ELEVATION / WEST  
3/16" = 1'-0"

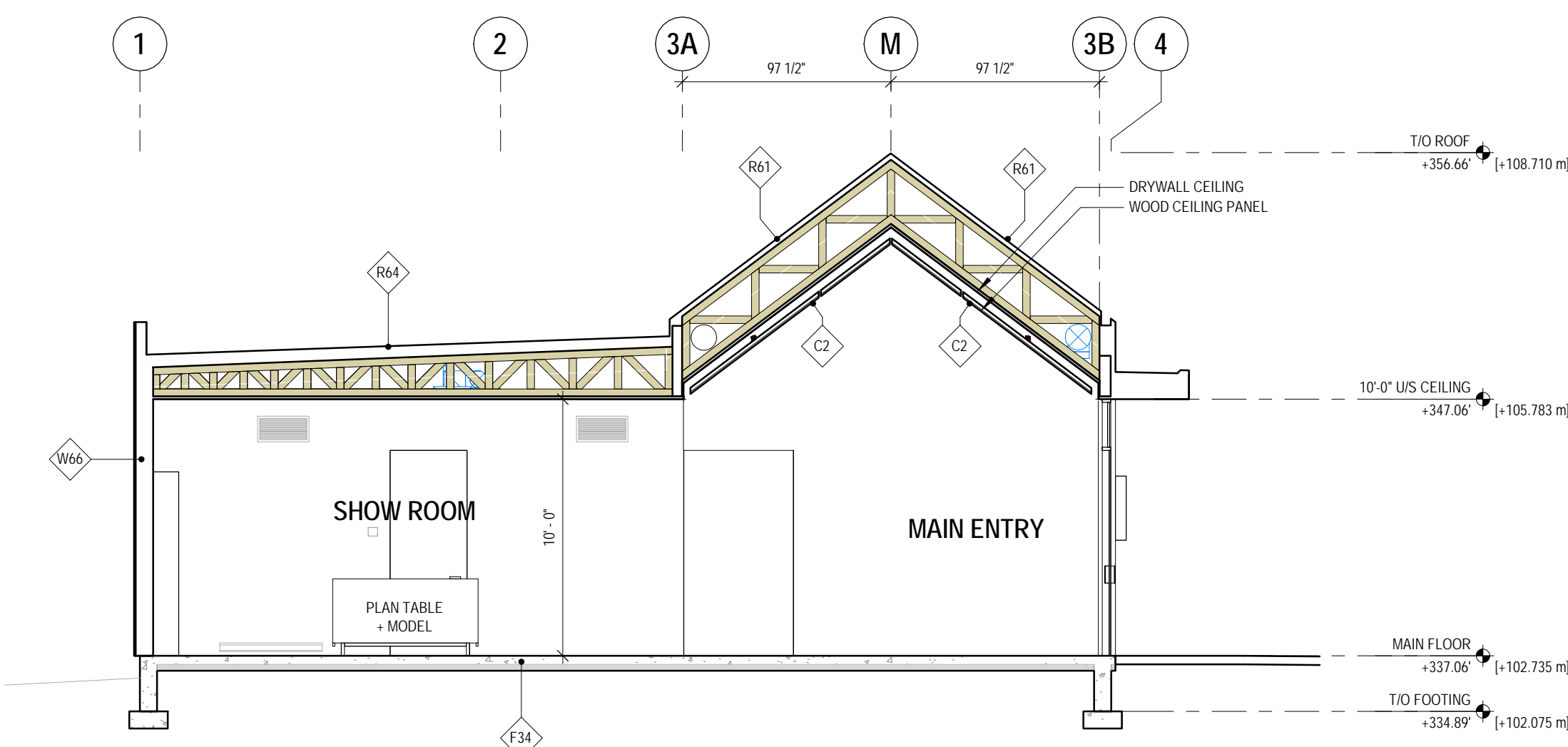
SPATIAL SEPARATION SUMMARY  
[9.10.14.4 A.]

ELEVATION	AREA OF EXPOSING BUILDING FACE	LIMITING DISTANCE	PERMITTED AREA OF UNPROTECTED OPENINGS	ACTUAL AREA
NORTH	358sf (33m²)	140'-0" (43m)	100%	26%
EAST	880sf (82m²)	65'-0" (20m)	100%	29%
SOUTH	437sf (41m²)	90'-0" (27m)	100%	28%
WEST	625sf (58m²)	62'-0" (19m)	100%	2%

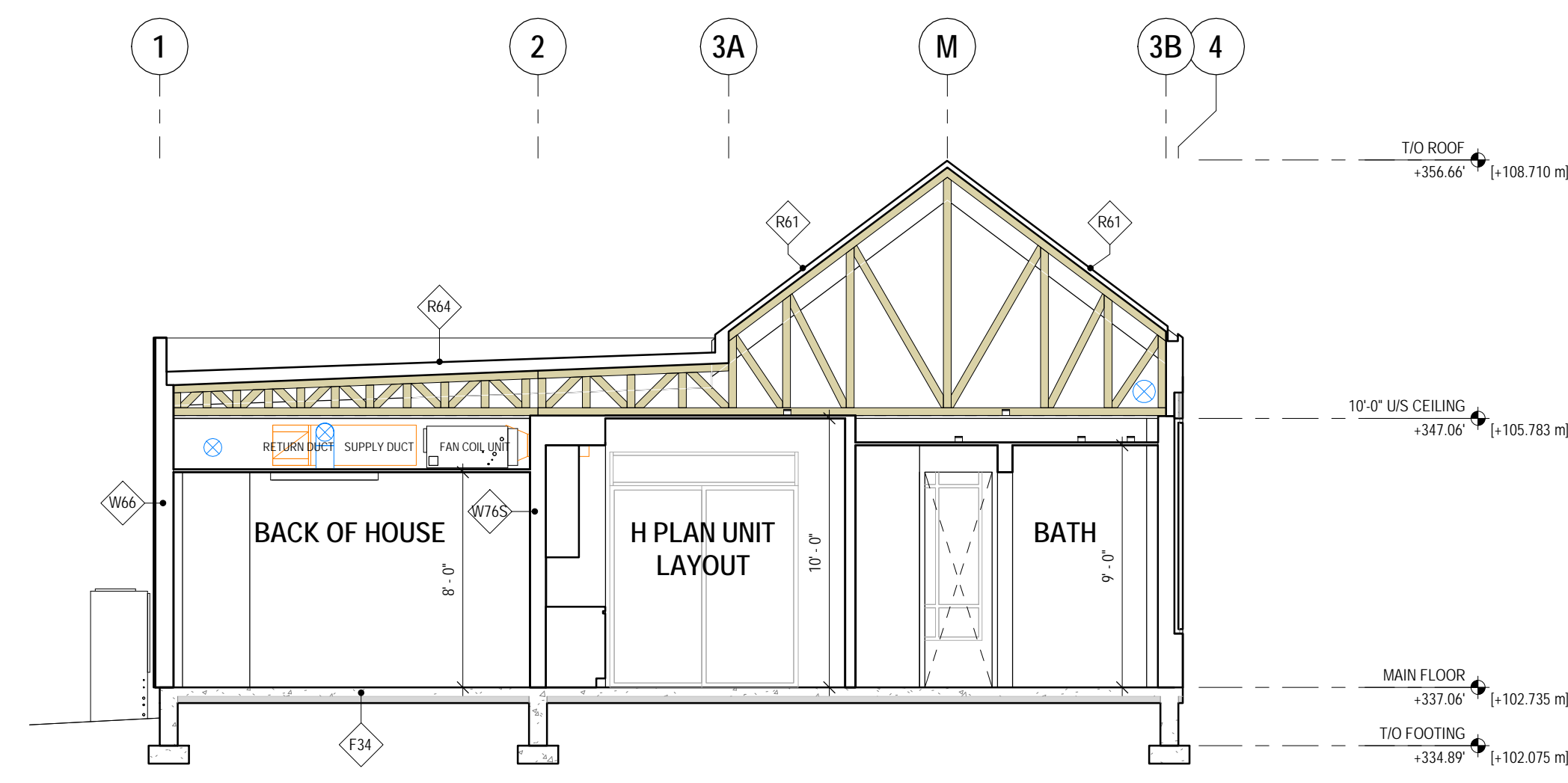
13	17 SEP 2018	TUP RE-SUBMISSION
12	31 AUG 2018	TENDER
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3	24 APR 2018	TUP APPLICATION
2	13 APR 2018	REVIEW / COORDINATION
1	6 APR 2018	REVIEW / COORDINATION

NO DATE DESCRIPTION  
ISSUES + REVISIONS

SEAL



5 CROSS SECTION AT MAIN ENTRY  
3/16" = 1'-0"



6 CROSS SECTION AT UNIT LAYOUT  
3/16" = 1'-0"

MIZA architects

303 - 2425 QUEBEC ST. VANCOUVER BC V5T 4E4  
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PARKER  
PRE-SALES CENTRE

Civic Address:  
10575 / 10593 / 10605 - 139 ST. SURREY, BC, V3T 4L8

PROJECT CODE: STATUS:  
047 C23  
SCALE: DATE:  
As indicated 17 SEP 2018

ELEVATIONS

SHEET  
A401

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

# PARKER PRE-SALES CENTRE

RE-ISSUED FOR TUP  
NOVEMBER 23, 2018

## LANDSCAPE DRAWING INDEX

DRAWING INDEX	
SHEET No.	SHEET NAME
L0.0	COVER SHEET AND DRAWING LIST
L1.0	LAYOUT AND MATERIALS PLAN
L2.0	PLANT LIST
L2.1	PLANTING PLAN
L3.0	IRRIGATION PLAN
L4.0	DETAILS - SOFTSCAPE
L4.1	DETAILS - HARDSCAPE

## GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER LANDSCAPE ARCHITECTURAL DRAWINGS, DETAILS, SPECIFICATIONS, AND OTHER CORRESPONDANCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION, AND CANADIAN LANDSCAPE STANDRAD, LATEST EDITION.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES OR CONCEALED STRUCTURES AT THE PROJECT SITE.

FINAL SELECTION AND APPROVAL OF ALL STREET TREES TO BE DONE BY THE CITY OF SURREY.

ALL PUBLIC REALM DETAILS TO THE SATISFACTION OF THE CITY OF SURREY.

7	RE-ISSUED FOR TUP	18-11-23
6	RE-ISSUED FOR TUP	18-09-14
5	ISSUED FOR TENDER	18-08-31
4	ISSUED FOR DRAFT IFT REVIEW	18-08-03
3	ISSUED FOR BP	18-06-26
2	ISSUED FOR TUP	18-06-11
1	ISSUED FOR REVIEW	18-05-11

## REVISIONS

## PARKER PRE-SALES CENTRE

10593 - 139 ST.  
Surrey, BC, V3T 4L8

Scale: 1:100

Drawn: KW

Reviewed: DS

Project No. 06-577

## COVER SHEET AND DRAWING LIST

L0.0

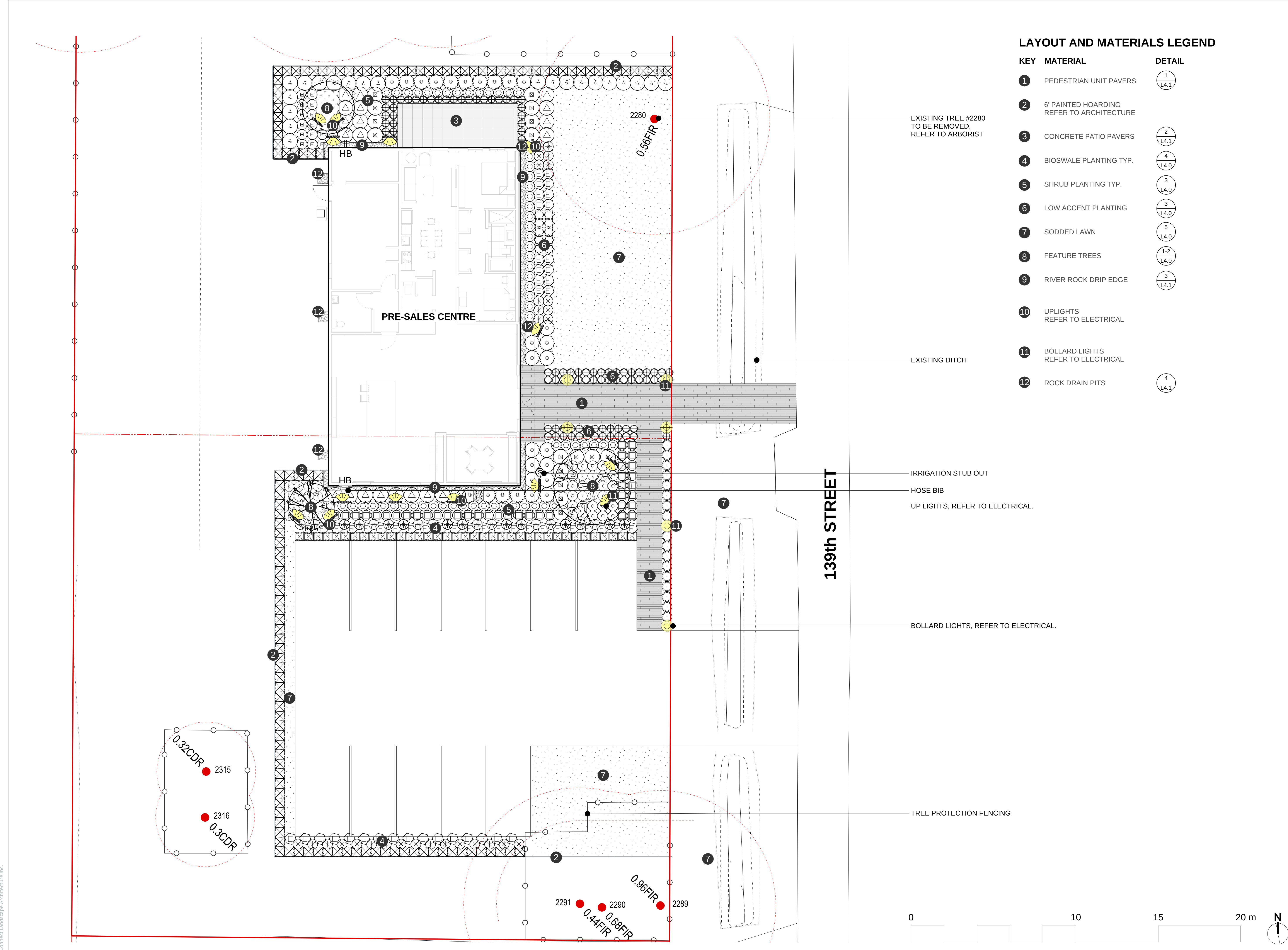


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PERSON(S) OF ITS INTENTION TO CARRY OUT ITS  
OPERATIONS.

**LAYOUT AND MATERIALS LEGEND**

KEY	MATERIAL	DETAIL
1	PEDESTRIAN UNIT PAVERS	1 L4.1
2	6' PAINTED HOARDING REFER TO ARCHITECTURE	
3	CONCRETE PATIO PAVERS	2 L4.1
4	BIOSWALE PLANTING TYP.	4 L4.0
5	SHRUB PLANTING TYP.	3 L4.0
6	LOW ACCENT PLANTING	3 L4.0
7	SODDED LAWN	5 L4.0
8	FEATURE TREES	1-2 L4.0
9	RIVER ROCK DRIP EDGE	3 L4.1
10	UPLIGHTS REFER TO ELECTRICAL	
11	BOLLARD LIGHTS REFER TO ELECTRICAL	
12	ROCK DRAIN PITS	4 L4.1



NO.	REVISIONS	DATE
7	RE-ISSUED FOR TUP	18-11-23
6	RE-ISSUED FOR TUP	18-09-14
5	ISSUED FOR TENDER	18-08-31
4	ISSUED FOR DRAFT IFT REVIEW	18-08-03
3	ISSUED FOR BP	18-06-26
2	ISSUED FOR TUP	18-06-11
1	ISSUED FOR REVIEW	18-05-11

**PARKER  
PRE-SALES CENTRE**

10593 - 139 ST.  
Surrey, BC, V3T 4L8

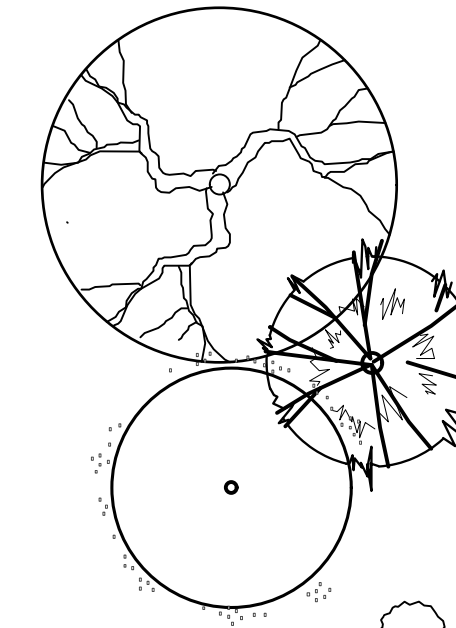
Scale:	1:100
Drawn:	KW
Reviewed:	DS
Project No.	06-577

**LAYOUT AND  
MATERIALS PLAN**

CONNECT LANDSCAPE ARCHITECTURE INC.  
DOES NOT GUARANTEE THE EXISTENCE,  
LOCATION, AND ELEVATION OF UTILITIES AND /  
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OPERATIONS.

## PLANT LIST



### TREES

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
1	Acer palmatum 'Osakazuki'	Osakazuki Japanese Maple	3M ht., B&B	as shown
1	Picea omorika	Serbian Spruce	3M ht., B&B	as shown
1	Stewartia pseudocamellia	Japanese Stewartia	5cm cal., B&B	as shown

### SHRUBS

27	Hydrangea macrophylla	Bigleaf Hydrangea	#5 pot	36" o.c
21	Pieris japonica 'Mountain Fire'	Lily-of-the-Valley Shrub	#5 pot	36" o.c
16	Prunus laurocerasus 'Zabeliana'	Zabel's Cherry Laurel	#3 pot	24" o.c
23	Rhododendron 'Crete'	Pink Rhododendron	#5 pot	36" o.c
16	Rhododendron 'Hotel'	Yellow Rhododendron	#5 pot	36" o.c
60	Rhododendron 'Ken Janeck'	Pink Yaku Rhododendron	#3 pot	24" o.c
17	Sarcococca hookerana 'Humilis'	Himalayan Sweet Box	#3 pot	24" o.c
38	Skimmia japonica	Japanese Skimmia	#3 pot	24" o.c
37	Thuja occidentalis 'smaragd'	4' Emerald Cedar	#5 pot	24" o.c
128	Thuja occidentalis 'smaragd'	6' Emerald Cedar	#5 pot	24" o.c
21	Weigela florida 'Bokraspiwi'	Spilled Wine Weigela	#5 pot	36" o.c

### GROUND COVERS AND VINES

24	Arctostaphylos uva ursi	Kinnikinnick	#1 pot	15" o.c
24	Pachysandra terminalis	Japanese Spurge	4"(10cm) pot	15" o.c

### PERENNIALS, GRASSES, BULBS, AND ANNUALS

55	Echinacea purpurea	Purple Coneflower	#1 pot	18" o.c
10	Hemerocallis 'Stella D'Oro'	Day Lily	#1 pot	18" o.c
93	Lavandula angustifolia	English Lavender	#1 pot	18" o.c
61	Rudbeckia hirta	Black-Eyed Susan	#1 pot	24" o.c
205	Sodded lawn area (m2)			

### PLANTING NOTES

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, AND CANADIAN LANDSCAPE STANDARDS LATEST EDITION.
2. ALL TREE AND SHRUB BEDS ARE TO BE MULCHED WITH 50mm OF 2 MEDIUM FINE MULCH, LESS THAN 50mm DIAMETER.
3. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH HIGH EFFICIENCY IRRIGATION SYSTEM.

7	RE-ISSUED FOR TUP	18-11-23
6	RE-ISSUED FOR TUP	18-09-14
5	ISSUED FOR TENDER	18-08-31
4	ISSUED FOR DRAFT IFT REVIEW	18-08-03
3	ISSUED FOR BP	18-06-26
2	ISSUED FOR TUP	18-06-11
1	ISSUED FOR REVIEW	18-05-11

### REVISIONS

## PARKER PRE-SALES CENTRE

10593 - 139 ST.  
Surrey, BC, V3T 4L8

Scale: 1:100

Drawn: KW

Reviewed: DS

Project No. 06-577

### PLANT LIST



CONNECT LANDSCAPE ARCHITECTURE INC.  
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PERSON(S) OF ITS INTENTION TO CARRY OUT ITS  
OPERATIONS.

**PLANTING NOTES**

1. ALL PLANTING SHALL MEET OR EXCEED THE REQUIREMENTS AS OUTLINED IN THE BC LANDSCAPE STANDARD, LATEST EDITION. IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS THIS LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
2. ALL PLANTING PLANS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE DETAILS.
3. ALL 'SOFT LANDSCAPE AREAS' ARE TO BE IRRIGATED WITH HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM, TO IIABC STANDARDS.
4. ALL IRRIGATION VALVE BOXES EQUIPPED WITH QUICK-COUPERS.

EXISTING TREE #2280  
TO BE REMOVED,  
REFER TO ARBORIST

SODDED LAWN

LAYERED PLANTING

EXISTING TREES TO BE PROTECTED AND RETAINED

**139th STREET**

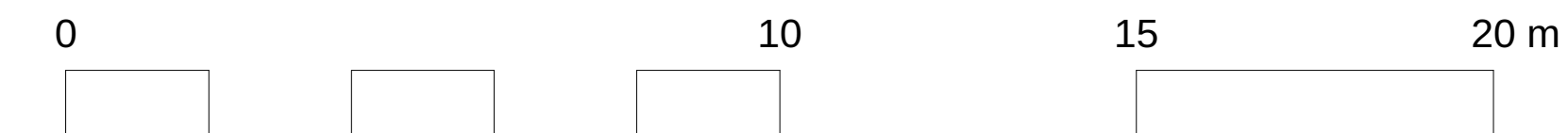
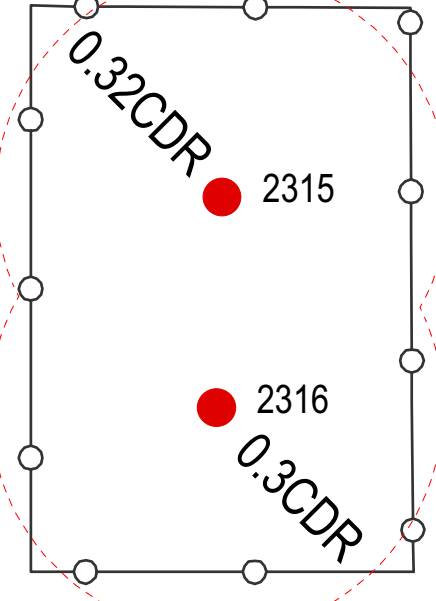
PRE-SALES CENTRE

HB

HB

2280  
0.56FIR

2291 2290 2289  
0.44FIR 0.68FIR 0.96FIR



7	RE-ISSUED FOR TUP	18-11-23
6	RE-ISSUED FOR TUP	18-09-14
5	ISSUED FOR TENDER	18-08-31
4	ISSUED FOR DRAFT IFT REVIEW	18-08-03
3	ISSUED FOR BP	18-06-26
2	ISSUED FOR TUP	18-06-11
1	ISSUED FOR REVIEW	18-05-11

REVISIONS

**PARKER  
PRE-SALES CENTRE**

10593 - 139 ST.  
Surrey, BC, V3T 4L8

Scale: 1:100

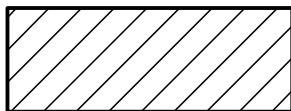
Drawn: KW

Reviewed: DS

Project No. 06-577

**PLANTING PLAN**



 AREA TO BE IRRIGATED

**DESIGN BUILD IRRIGATION NOTES:**

1. LANDSCAPE CONTRACTOR TO PROVIDE COMPLETE DESIGN-BUILD SERVICES FOR ALL AUTOMATIC SITE IRRIGATION WORKS.
2. IRRIGATION CONTRACTOR PERFORMING THE WORK MUST HAVE MINIMUM (5) FIVE YEARS DOCUMENTED EXPERIENCE, AND A MEMBER IN GOOD STANDING OF THE IIABC (IRRIGATION INDUSTRY ASSOCIATION OF BC).
3. IRRIGATION TO CONFORM TO ALL LOCAL PLUMBING AND ELECTRICAL CODE REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH MECHANICAL AND ELECTRICAL CONSULTANTS AND TRADES.
4. IRRIGATION TO CONFORM TO ALL IIABC STANDARDS WITH THE FOLLOWING EXCEPTIONS:
  - a. MATERIALS SECTION 8B: ALL PIPE TO BE MINIMUM CLASS 200
  - b. MATERIALS SECTION 5G: NO WIRE SMALLER THAN 14 GAUGE DIRECT BURIAL
5. COORDINATE WITH CIVIL CONTRACTOR TO PROVIDE PVC SLEEVING WHERE REQUIRED.
6. IRRIGATION STUB-OUTS AND HOSE BIBS PER MECHANICAL PLANS.
7. PROVIDE SHOP DRAWINGS FOR IRRIGATION LAYOUT TO CONSULTANT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION. INCLUDE SLEEVING, DRIP LINE, PIPE SIZE, VALVE BOXES, ETC., AND ALL IRRIGATION COMPONENT SPECIFICATIONS. VALVE BOXES TO BE LOCATED IN LOW-VISIBLE, PLANTED AREAS ONLY AND LOCATIONS TO BE APPROVED.
8. HIGH EFFICIENCY IRRIGATION TECHNOLOGY TO BE EMPLOYED INCLUDE, BUT ARE NOT LIMITED TO: CENTRAL SHUT-OFF VALVE, HIGH EFFICIENCY DRIP IRRIGATION LINES
9. TEST SYSTEM PRIOR TO COMPLETION OF LANDSCAPE WORKS TO ENSURE NO LEAKAGE AND SPECIFIED PSI IS MET. PROVIDE WRITTEN NOTICE THAT PRESSURE TESTING HAS MET STANDARDS (LEAKS SHALL NOT BE REPAIRED BY PATCHING).
10. PROVIDE COVERAGE AND CONTROLLER TEST WHEN SYSTEM IS COMPLETE AND MAKE ADJUSTMENTS AS REQUIRED.
11. PROVIDE AS-BUILT RECORD DRAWINGS TO SCALE SHOWING LOCATIONS OF ALL CONCEALED COMPONENTS, PIPING SYSTEM AND CONDUIT.
12. MAINTAIN AND OPERATE IRRIGATION PER MANUFACTURER'S RECOMMENDATIONS THROUGHOUT WARRANTY PERIOD - WINTERIZE AS REQUIRED.
13. PROVIDE (3) COPIES OF INSTRUCTIONS MANUALS FOR OPERATION AND MAINTENANCE OF SYSTEM AND CONTROLS, SEASONAL ACTIVITY AND SHUTDOWN AND MANUFACTURER'S PARTS CATALOGUE.
14. INSTRUCT OWNER'S PERSONNEL IN THE OPERATION AND MAINTENANCE OF SYSTEM, INCLUDING ADJUSTING OF SPRINKLER HEADS. USE OPERATION AND MAINTENANCE MATERIAL AS BASIS FOR DEMONSTRATION.
15. IRRIGATION PIPE SIZE TO BE 2" WITH 50 USGPM AND 55PSI.

7	RE-ISSUED FOR TUP	18-11-23
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5	ISSUED FOR TENDER	18-08-31
4	ISSUED FOR DRAFT IFT REVIEW	18-08-03
3	ISSUED FOR BP	18-06-26
2	ISSUED FOR TUP	18-06-11
1	ISSUED FOR REVIEW	18-05-11

REVISIONS

**PARKER  
PRE-SALES CENTRE**

10593 - 139 ST.  
Surrey, BC, V3T 4L8

Scale: 1:100

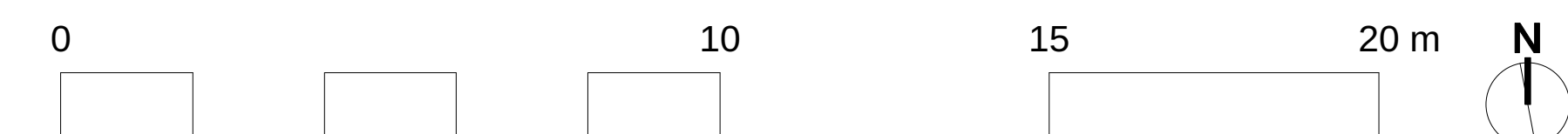
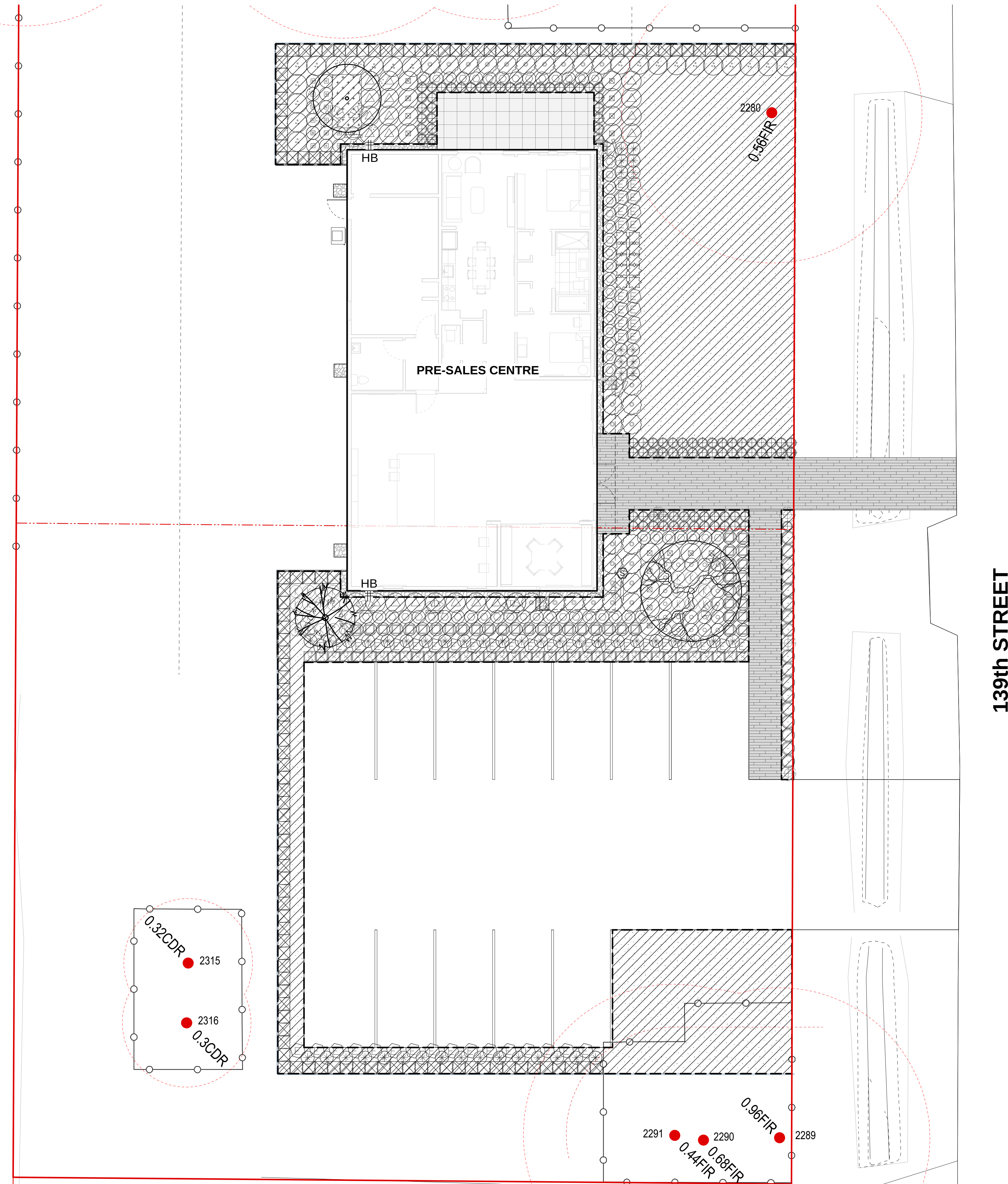
Drawn: KW

Reviewed: DS

Project No. 06-577

**IRRIGATION PLAN**

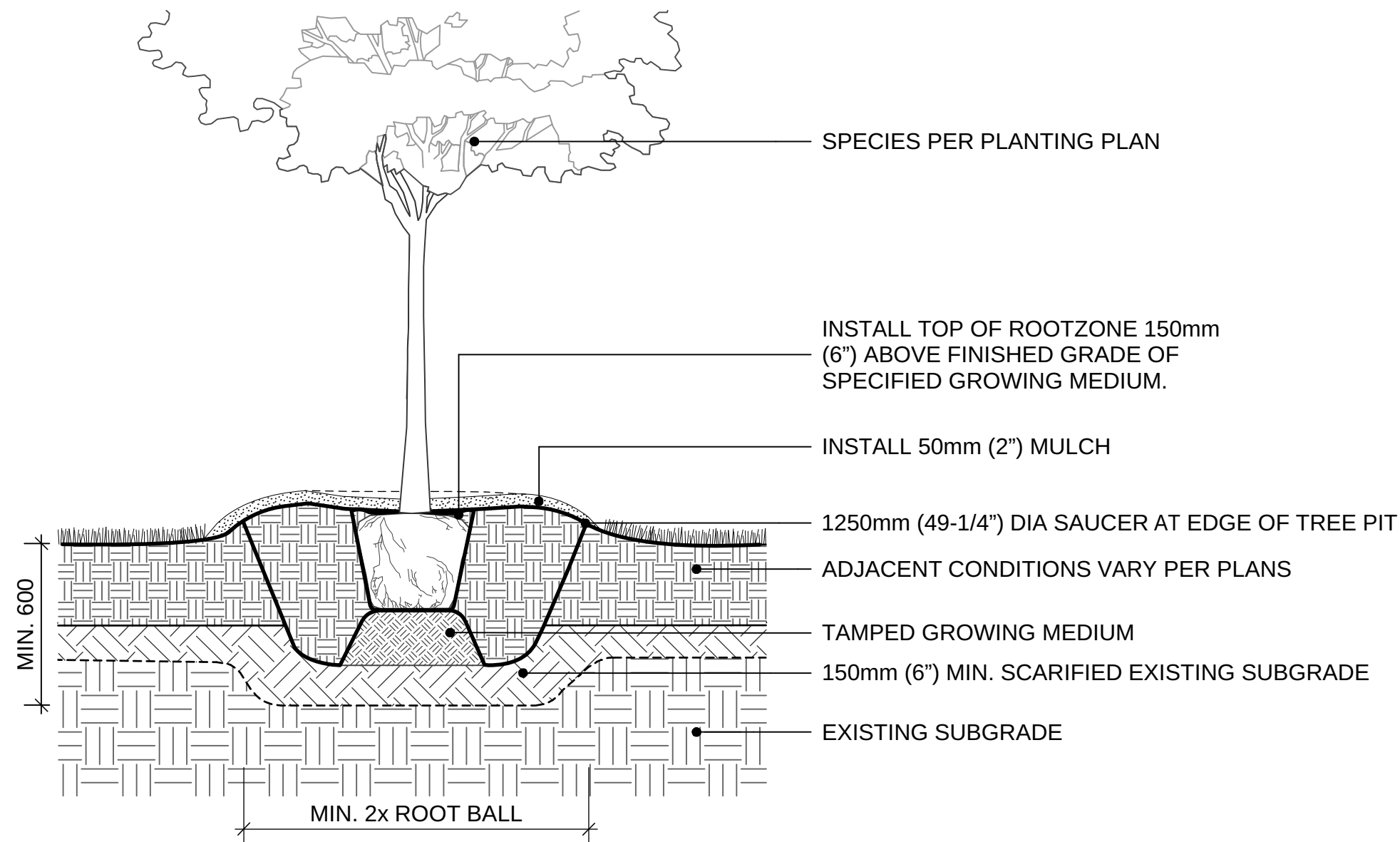
**L3.0**



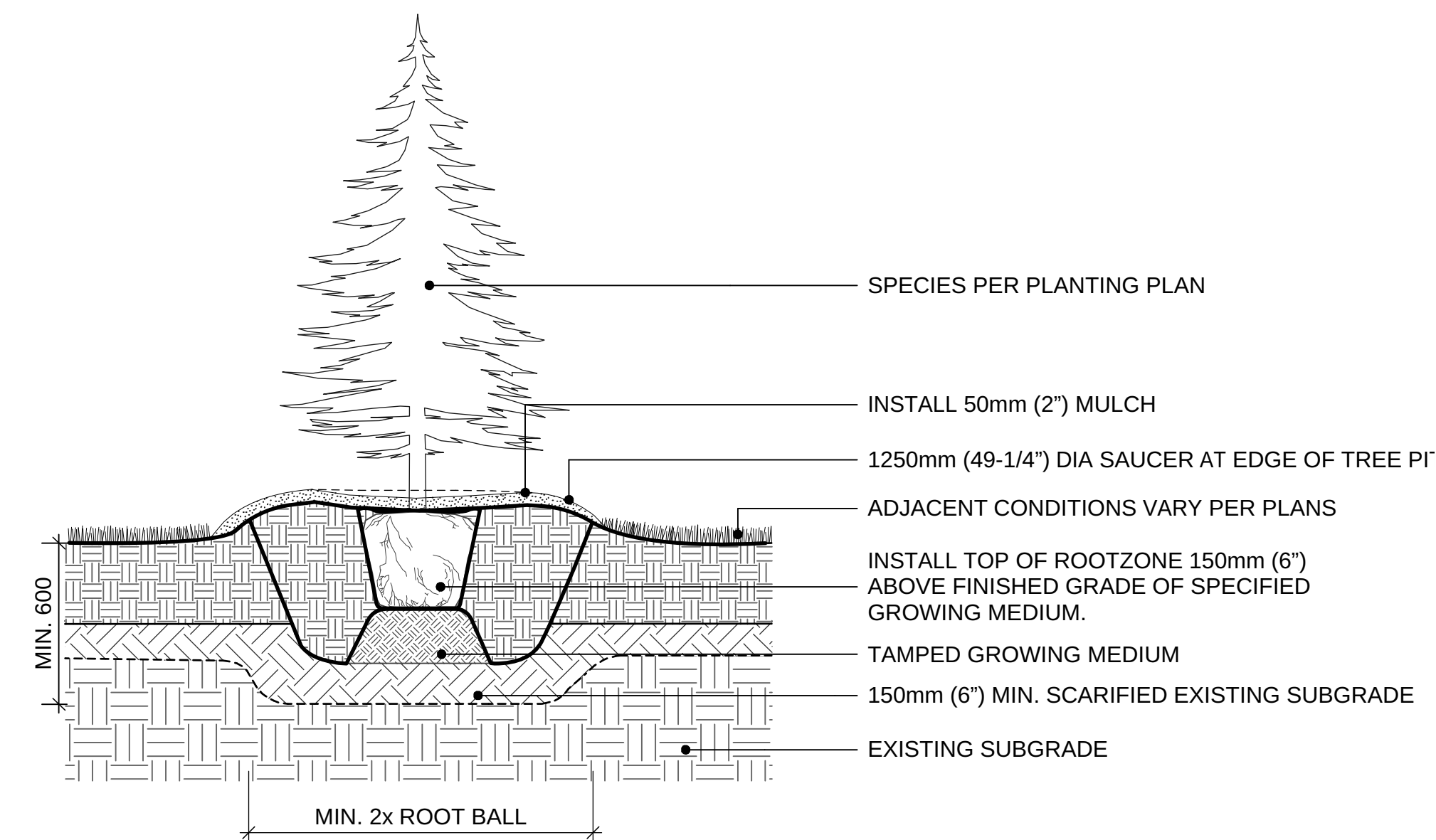


CONNECT LANDSCAPE ARCHITECTURE INC.  
DOES NOT GUARANTEE THE EXISTENCE,  
LOCATION, AND ELEVATION OF UTILITIES AND /  
OR CONCEALED STRUCTURES AT THE PROJECT  
SITE.

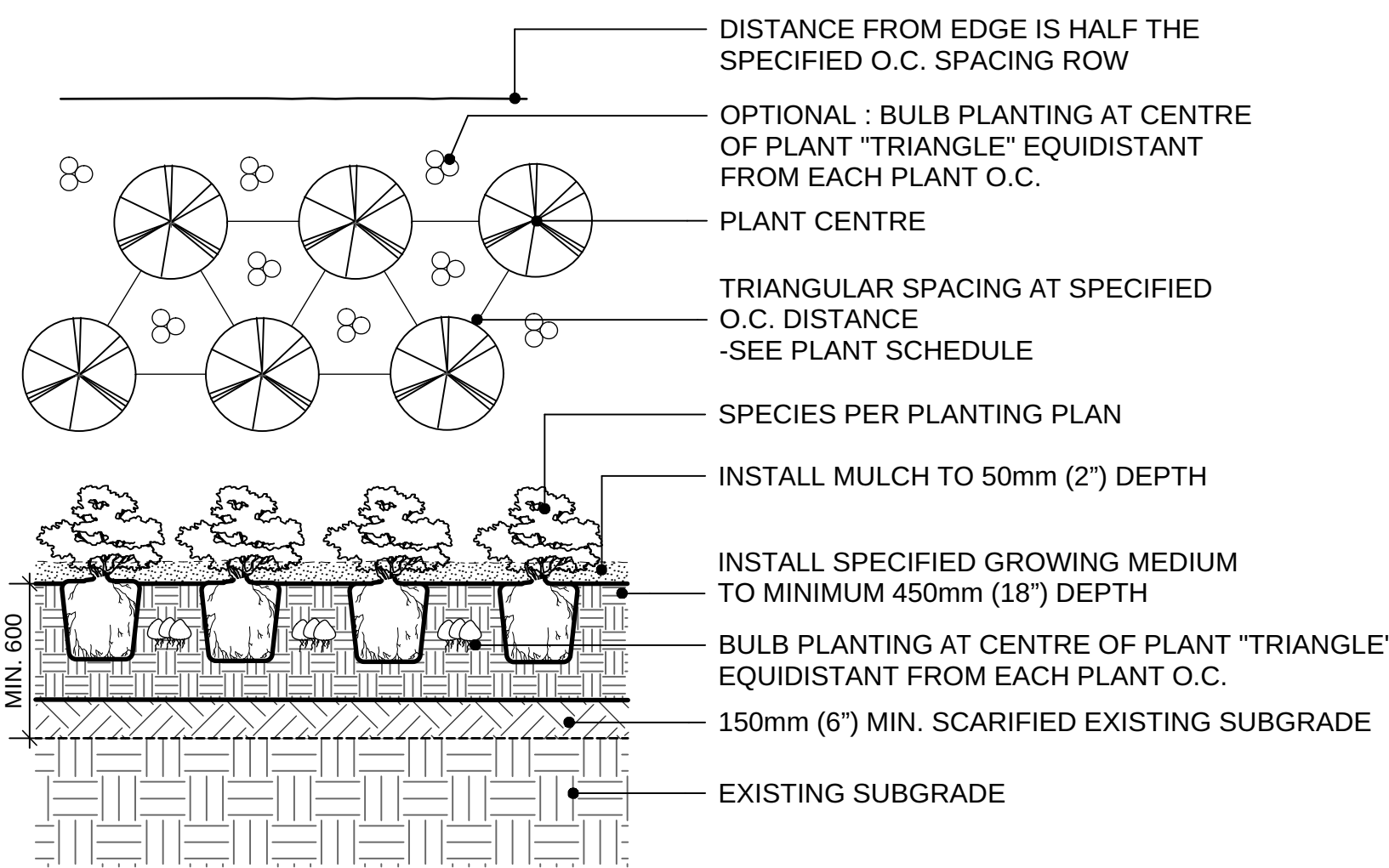
THE CONTRACTOR IS RESPONSIBLE FOR  
DETERMINING THE EXISTENCE, LOCATION, AND  
ELEVATION OF ALL UTILITIES AND / OR  
CONCEALED STRUCTURES, AND IS  
RESPONSIBLE FOR NOTIFYING THE  
APPROPRIATE COMPANY, DEPARTMENT OR  
PERSON(S) OF ITS INTENTION TO CARRY OUT ITS  
OPERATIONS.



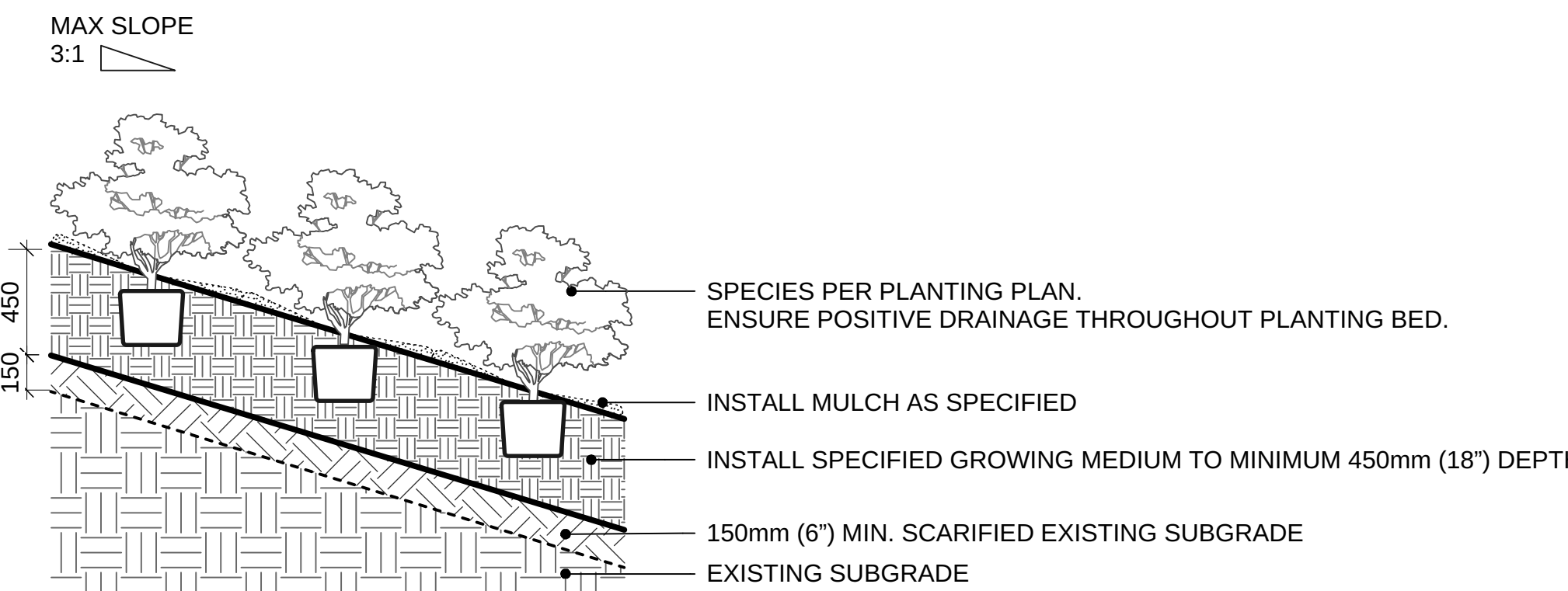
**1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)**  
Scale: 1:20



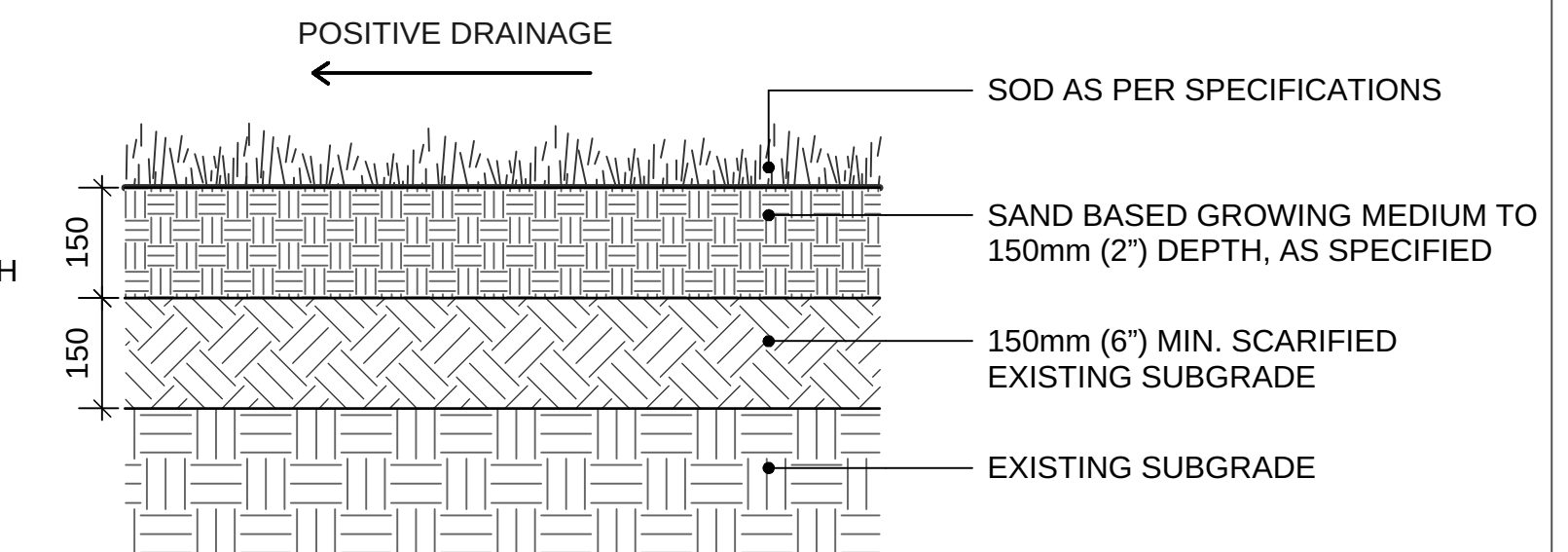
**2 CONIFEROUS TREE PLANTING ON GRADE (TYPICAL)**  
Scale: 1:20



**3 SHRUB AND GROUNDCOVER PLANTING (TYPICAL)**  
Scale: 1:25



**4 PLANTING ON SLOPE (TYPICAL)**  
Scale: 1:25



**5 SODDED LAWN**  
Scale: 1:10

7	RE-ISSUED FOR TUP	18-11-23
6	RE-ISSUED FOR TUP	18-09-17
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1	ISSUED FOR REVIEW	18-05-11

REVISIONS

**PARKER  
PRESENTATION  
CENTRE**

10593 - 139 ST.  
Surrey, British Columbia

Scale: AS SHOWN

Drawn: KW

Reviewed: DS

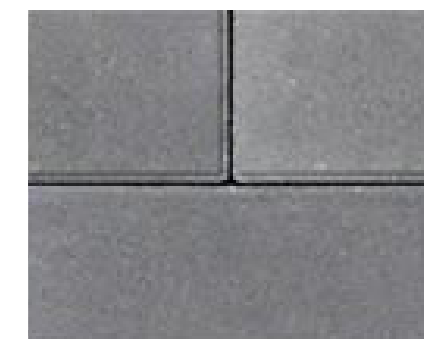
Project No. 06-577

**SOFTSCAPE DETAILS**

CONNECT LANDSCAPE ARCHITECTURE INC.  
DOES NOT GUARANTEE THE EXISTENCE,  
LOCATION, AND ELEVATION OF UTILITIES AND /  
OR CONCEALED STRUCTURES AT THE PROJECT  
SITE.

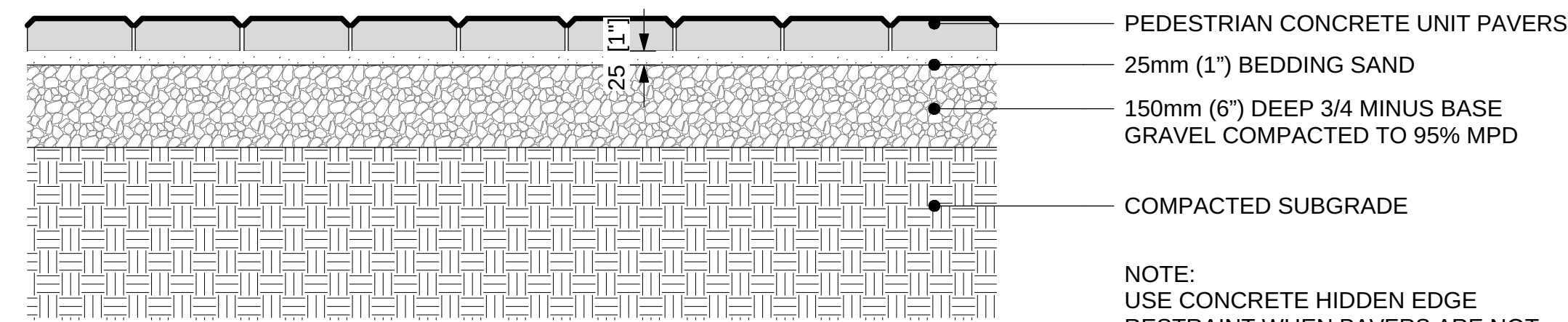
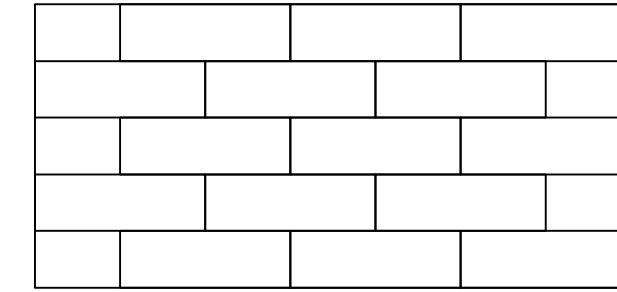
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CONCEALED STRUCTURES, AND IS  
RESPONSIBLE FOR NOTIFYING THE  
APPROPRIATE COMPANY, DEPARTMENT OR  
PERSON(S) OF ITS INTENTION TO CARRY OUT ITS  
OPERATIONS.

**UNIT PAVING CLASSIC STANDARD SERIES**  
SIZE: 3-1 225mm x 75mm x 60mm (8-7/8" X 3" X 2-3/8")  
BY: ABBOTSFORD CONCRETE PRODUCTS  
(1.800.663.4091)



COLOUR:  
CHARCOAL  
& NATURAL

PATTERN: RUNNING BOND



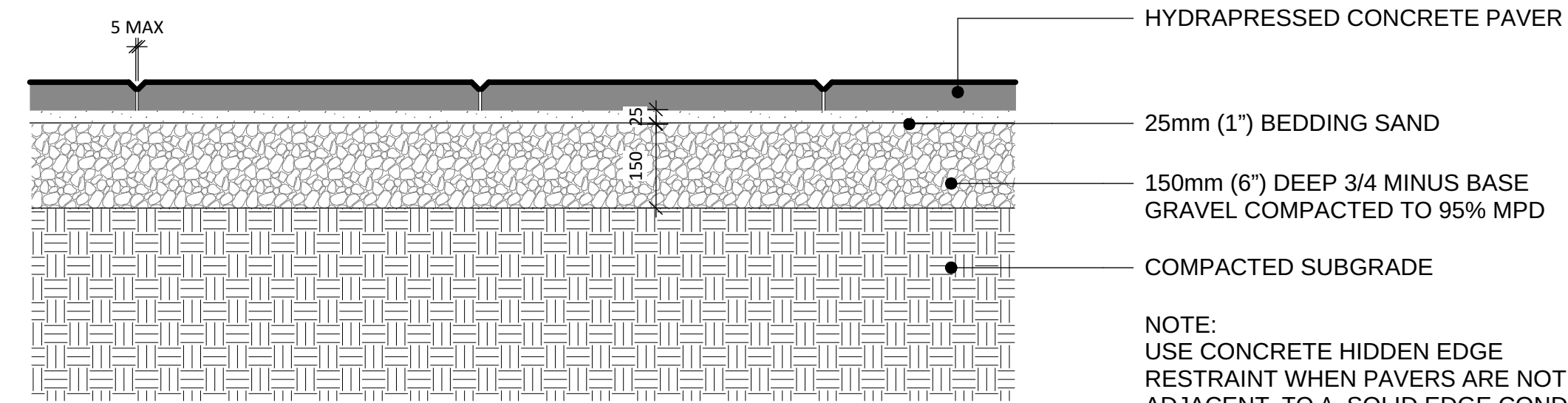
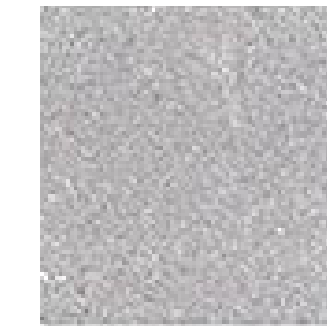
ON GRADE

NOTE:  
USE CONCRETE HIDDEN EDGE  
RESTRAINT WHEN PAVERS ARE NOT  
ADJACENT TO A SOLID EDGE CONDITION.

**1 PEDESTRIAN UNIT PAVING ON GRADE**  
Scale: 1:10

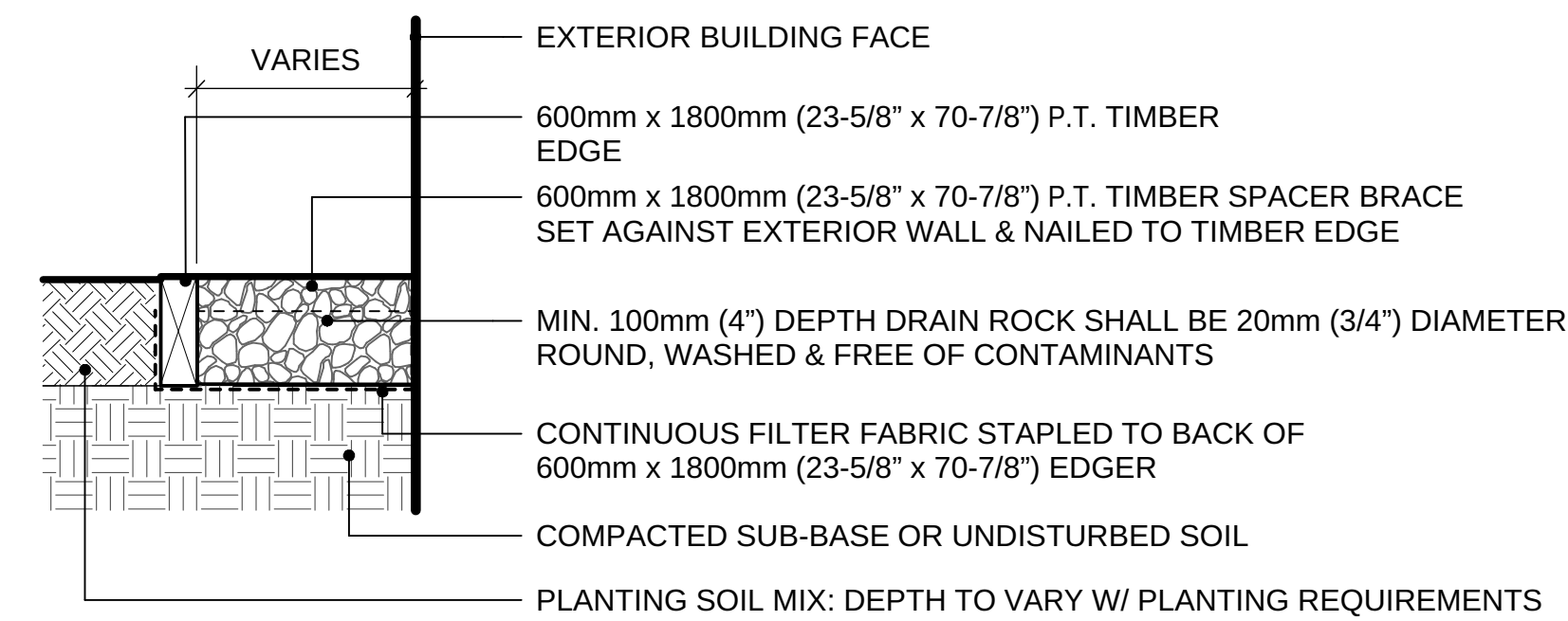
**TEXADA HYDRAPRESSED SLABS**  
SIZE : STANDARD SIZE 24"X24" (610MM X 610MM X 50MM)  
COLOUR : NATURAL  
PATTERN : GRID  
SUPPLIED BY ABBOTSFORD CONCRETE PRODUCTS  
1.800.663.4091

COLOR: NATURAL



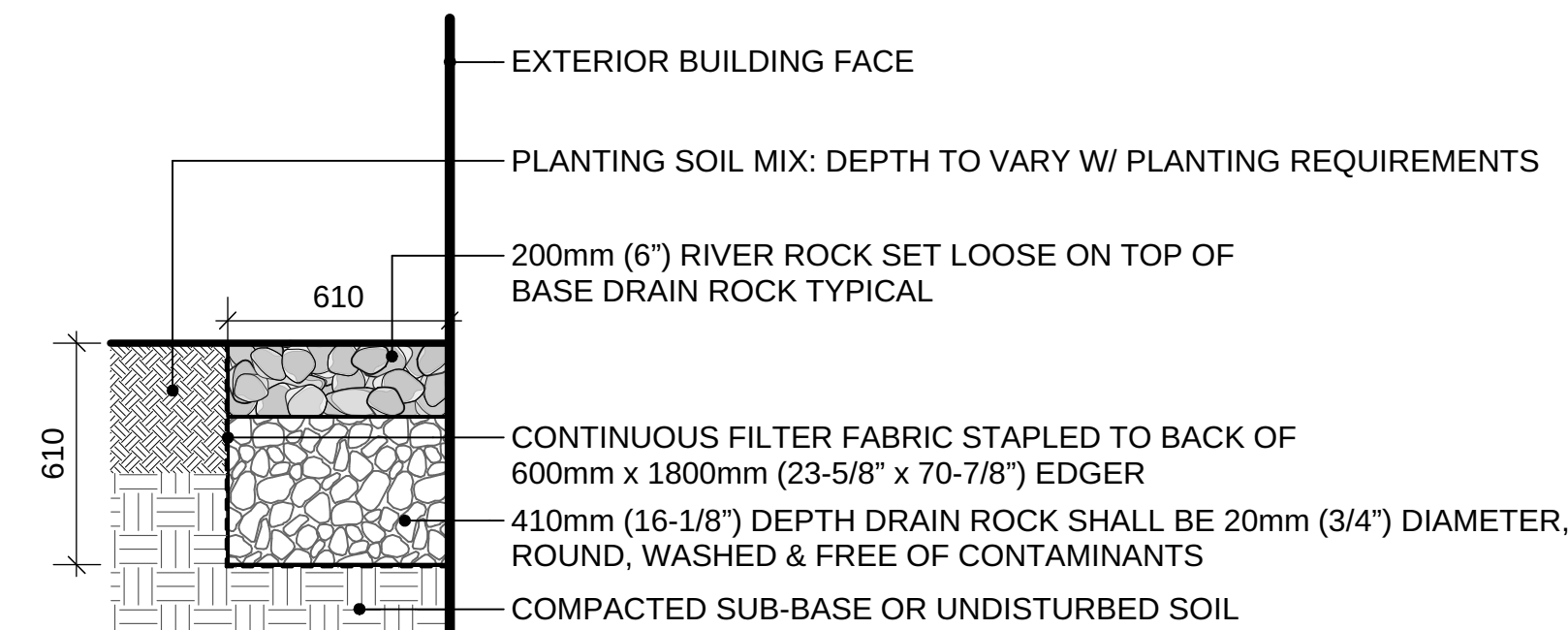
NOTE:  
USE CONCRETE HIDDEN EDGE  
RESTRAINT WHEN PAVERS ARE NOT  
ADJACENT TO A SOLID EDGE CONDITION.

**2 HYDRAPRESSED CONCRETE PAVERS ON GRADE (TYPICAL)**  
Scale: 1:10



NOTE: ALL LUMBER SIZES ARE SHOWN AS NOMINAL

**3 GRAVEL DRAIN STRIP - ON GRADE**  
Scale: 1:10



**4 ROCK DRAIN PIT - ON GRADE**  
Scale: 1:20

7	RE-ISSUED FOR TUP	18-11-23
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1	ISSUED FOR REVIEW	18-05-11

REVISIONS

**PARKER  
PRESENTATION  
CENTRE**

10593 - 139 ST.  
Surrey, British Columbia

Scale: AS SHOWN

Drawn: KW

Reviewed: DS

Project No. 06-577

**HARDSCAPE DETAILS**



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**TO: Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

**FROM: Development Services Manager, Engineering Department**

**DATE: Aug 3, 2018** PROJECT FILE: **7818-0159-00**

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**RE: Engineering Requirements (Temporary Use Permit)  
Location: 10575/93 – 139 Street & 10605 139 Street**

### TEMPORARY USE PERMIT

The following are to be addressed as a condition of the issuance of this Temporary Use Permit for a temporary sales centre to market the apartment units proposed under project 7917-0599-00.

- Construct a 7.3m wide driveway letdown. Locate driveway outside of Tree Protection Zone.
- Construct on-site water quality treatment features for surface runoff from on-site parking and drive aisle areas, as determined through review of key plan. Register restrictive covenant for water quality/sediment control, if applicable.
- Provide metered water, storm and sanitary service connections to the lot.
- Provide temporary Hydro servicing strategy.
- Submit an updated key plan and storm water control plan. The storm water control plan and key plan will be reviewed through the building permit review process.

A Servicing Agreement is not required for this proposed Temporary Use Permit. The above noted works can be constructed subject to issuance of a City Road and Right-of-Way Permit obtainable at the Engineering front counter upon payment of securities and permit fees.



Tommy Buchmann, P.Eng.  
Acting Development Services Manager  
HB4

### 4.0 Tree Preservation Summary

Table 3: City of Surrey tree preservation summary table for on-site and off-site trees, including the number of replacement trees proposed.

Surrey Project Number      Unknown  
 Site Address                      10605, 10596, 10575 139<sup>th</sup> Street Surrey BC  
 Registered Arborist              Conor Corbett (PN-8429A)

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (On-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	<b>46</b>
<b>Protected Trees to be Removed</b>	<b>5</b>
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	<b>41</b>
<b>Total Replacement Trees Required:</b> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 1      X    one (1)    =    1 - All other Trees Requiring 2 to 1 Replacement Ratio 4      X    two (2)    =    8	<b>9</b>
<b>Replacement Trees Proposed</b>	<b>3</b>
<b>Replacement Trees in Deficit</b>	<b>6</b>
<b>Protected Trees to be Retained in Proposed Open Space / Riparian Areas</b>	<b>0</b>

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	<b>0</b>
<b>Total Replacement Trees Required:</b> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio X    one (1)    =    0 - All other Trees Requiring 2 to 1 Replacement Ratio X    two (2)    =    0	<b>0</b>
<b>Replacement Trees Proposed</b>	<b>0</b>
<b>Replacement Trees in Deficit</b>	<b>0</b>

Summary, report and plan prepared and submitted by



Signature of Arborist

December 13, 2018

Date

(the "City")

**TEMPORARY USE PERMIT**

NO.: 7918-0159-00

Issued To:

(the "Owner")

Address of Owner:

1. This temporary use permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this temporary use permit.
2. This temporary use permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 006-286-216

Lot 58 Section 23 Block 5 North Range 2 West New Westminster District Plan 27955

10605 – 139 Street

Parcel Identifier: 008-120-358

Lot 44 Section 23 Block 5 North Range 2 West New Westminster District Plan 17345

10575 – 139 Street

Parcel Identifier: 000-658-758

Lot 45 Section 23 Block 5 North Range 2 West New Westminster District Plan 20317

10593 – 139 Street

(the "Land")

3. The authority to issue Temporary Use Permits is granted to municipalities under Sections 492 and 493 of the *Local Government Act* R.S.B.C. 2015, c.1. Pursuant to Implementation, II(c) Implementation Instruments, Temporary Use Permits of Surrey Official Community Plan, 2013, No. 18020, as amended, the entire City of Surrey is designated a Temporary Use Permit area.
4. The temporary use permitted on the Land shall be for a real estate sales centre and associated surface parking lot.

5. The temporary use permitted on the Land shall be in accordance with:
  - (a) The appearance and location of the buildings, access and parking as shown on Schedule A and numbered 7918-0159-00(A) through to and including 7918-0159-00 (K) (the "Drawings") which is attached hereto and forms part of this permit;
  - (b) Parking is restricted to vehicles less than 5,000 kilograms (11,023 lbs.) G.V.W.; and
  - (c) Upon termination of this Temporary Use Permit, the real estate sales centre shall be removed.
  
6. As a condition of the issuance of this temporary use permit, Council is holding security set out below (the "Security") to ensure that the temporary use is carried out in accordance with the terms and conditions of this temporary use permit. Should the Owner fail to comply with the terms and conditions of this temporary use permit within the time provided, the amount of the Security shall be forfeited to the City. The City has the option of using the Security to enter upon the Land and perform such works as is necessary to eliminate the temporary use and bring the use and occupancy of the Land into compliance with Surrey Zoning By-law, 1993, No. 12000, as amended (the "Works"). The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Works. There is submitted accordingly:

Cash or Irrevocable Letter of Credit, in a form acceptable to the City, in the amount of \$5,000.
  
7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this temporary use permit. This temporary use permit is not a building permit.
  
8. An undertaking submitted by the Owner is attached hereto as Appendix I and forms part of this temporary use permit.
  
9. This temporary use permit is not transferable.

10. This temporary use permit shall lapse on or before three years from date of issuance.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .

ISSUED THIS DAY OF , 20 .

\_\_\_\_\_  
Mayor – Doug McCallum

\_\_\_\_\_  
City Clerk

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS TEMPORARY USE PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS TEMPORARY USE PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

\_\_\_\_\_  
Authorized Agent: Signature

\_\_\_\_\_  
Name (Please Print)

OR

\_\_\_\_\_  
Owner: Signature

\_\_\_\_\_  
Name: (Please Print)



TO THE CITY OF SURREY:

I, \_\_\_\_\_ (Name of Owner)

being the owner of \_\_\_\_\_  
(Legal Description)

known as \_\_\_\_\_  
(Civic Address)

hereby undertake as a condition of issuance of my temporary use permit to:

- (a) demolish or remove all buildings and/or structures that are permitted to be constructed pursuant to the temporary use permit issued to me; and
- (b) restore the land described on the temporary use permit to a condition specified in that permit;

all of which shall be done not later than the termination date set out on the temporary use permit.

I further understand that should I not fulfill the undertaking described herein, the City or its agents may enter upon the land described on the temporary use permit and perform such work as is necessary to eliminate the temporary use and bring the use and occupancy of the land in compliance with Surrey Zoning By-law, 1993, No. 12000, as amended, and that any securities submitted by me to the City pursuant to the temporary use permit shall be forfeited and applied to the cost of restoration of my land as herein set out.

This undertaking is attached hereto and forms part of the temporary use permit.

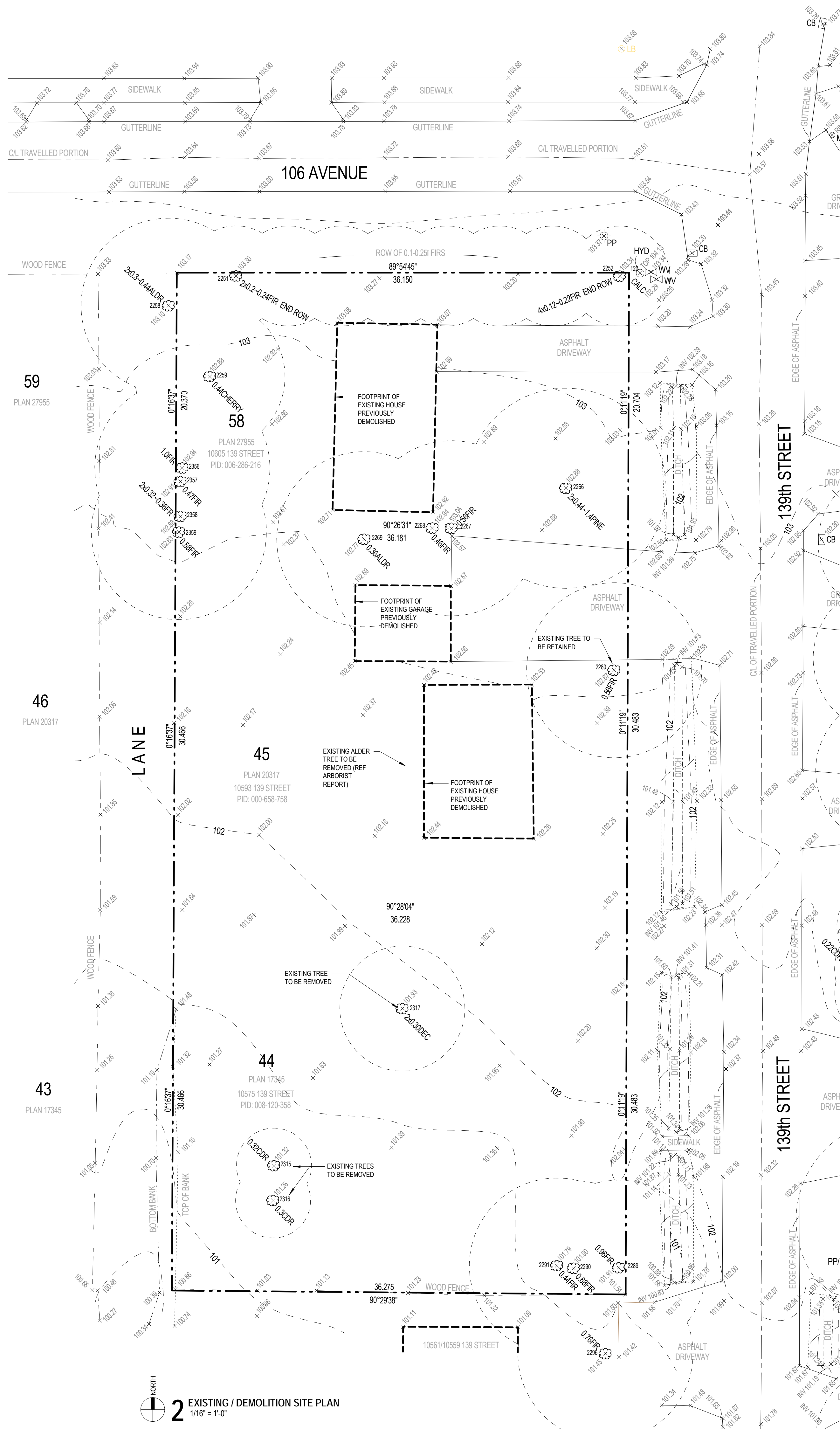
\_\_\_\_\_  
(Owner)

\_\_\_\_\_  
(Witness)

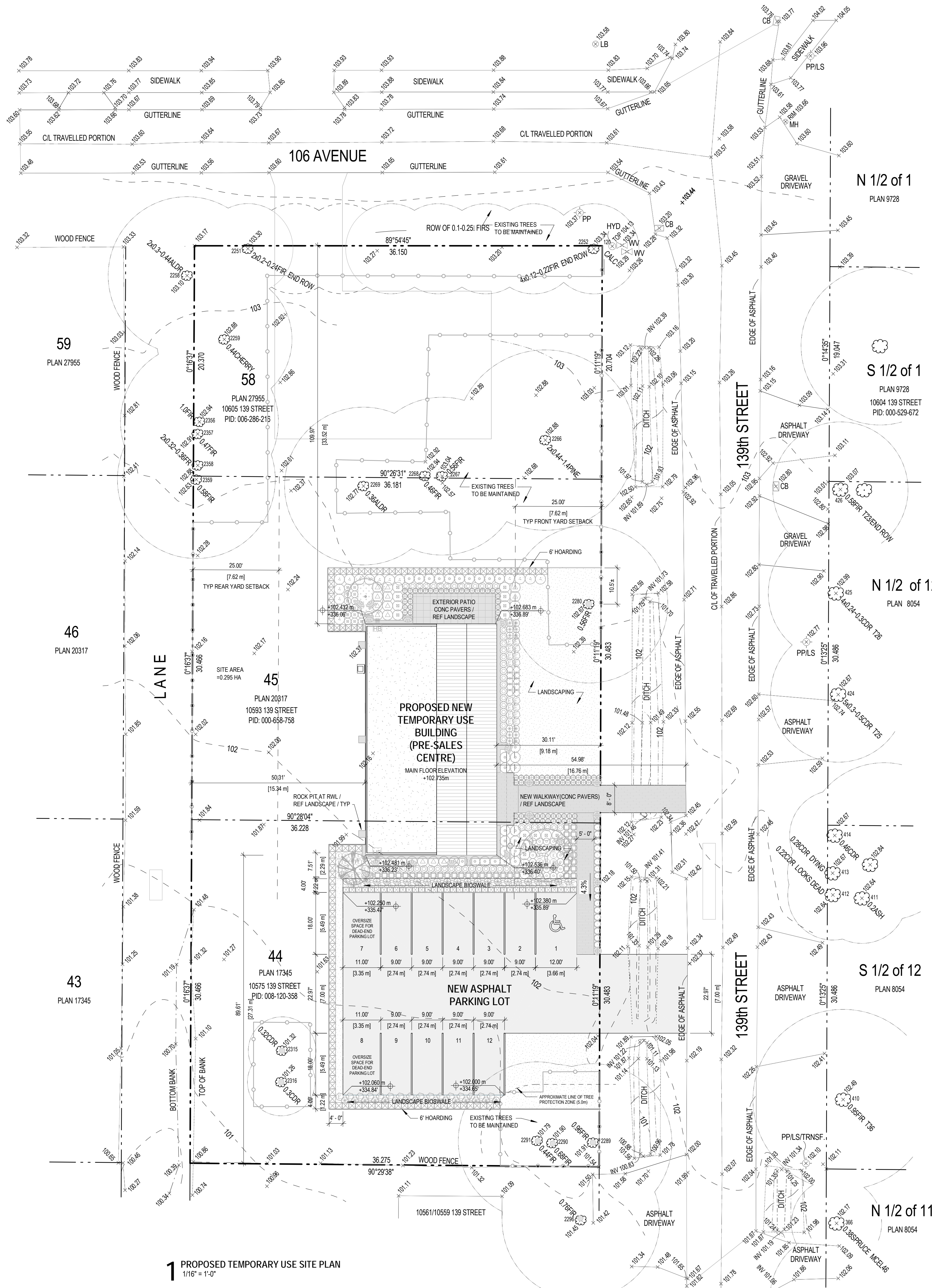
**ABBREVIATIONS**

AB AIR BARRIER	EA EXHAUST AIR	LB POUND	SA SUPPLY AIR
ABC ALBERTA BUILDING CODE	EF EXHAUST FAN	LF LINEAR FOOT	SAM SELF-ADHERED MEMBRANE
ABV ABOVE	EJ EXPANSION JOINT	LH LEFT HAND	SAN SANITARY
AD AREA DRAIN	ELEC ELECTRICAL	LHR LEFT HAND REVERSE	SD SOAP DISPENSER
AFF ABOVE FINISHED FLOOR	ELEV ELEVATION	LVL LAMINATED VENEER LUMBER	SF SQUARE FOOT
AHU AIR HANDLING UNIT	EPS EXPANDED POLYSTYRENE	M METERS	SND SANITARY NAPKIN DISPENSER
ALUM ALUMINUM	ERV ENERGY RECOVERY VENTILATOR	MAX MAXIMUM	SNT SPRAY APPLIED POLYURETHANE FOAM
ANN ANNUNCIATOR	EXT EXTERIOR	MECH MECHANICAL	SST STAINLESS STEEL
ARCH ARCHITECTURAL	FCP FIBER CEMENT PANEL	MEZZ MEZZANINE	STC SOUND TRANSMISSION CLASS
AW ARCHITECTURAL WOOD WORK	FE FIRE EXTINGUISHER	MDF MEDIUM DENSITY FIBERBOARD	STL STEEL
AWP ACOUSTIC WALL PANEL	FIE FINISH FLOOR ELEVATION	MIL THOUSANDTH OF AN INCH (0.001")	STRC STRUCTURAL
BB BULLETIN BOARD	FDN FOUNDATION	MIN MINIMUM	T&G TONGUE & GROOVE
BBH BASEBOARD HEATER	FOC FACE OF CONCRETE	MIR MIRROR	TBC TO BE CONFIRMED
BCBC BRITISH COLUMBIA BUILDING CODE	FOP FACE OF FINISH	MM MILLIMETERS	TBD TO BE DETERMINED
BLDG BUILDING	FR Fridge / REFRIGERATOR	MW MICROWAVE	TEL TELEPHONE
BLW BELOW	FRR FIRE RESISTANCE RATING	MWP METAL WALL PANEL	TCC TOP OF CONCRETE / TOP OF CURB
BOC BOTTOM OF CURB	FT FOOT / FEET	NA / N/A NOT APPLICABLE	TOS TOP OF STEEL
BOS BOTTOM OF STEEL	FTG FOOTING	NIC NOT IN CONTRACT	TOW TOP OF WALL
BOW BOTTOM OF WALL	FURN FURNITURE	NOM NOMINAL	TPD TOILET PAPER DISPENSER
BSMT BASEMENT	GA/GV GALVANIZED GENERAL CONTRACTOR	NTS NOT TO SCALE	TR TREAD
BTWN BETWEEN	GC/GC/GF GENERAL CONTRACTOR GROUND FAULT INTERRUPTER	O/A O.C. ON CENTER	TRM TRIM TYPE NUMBER #
CG CORNER GUARD	GL CL GLASS / GLAZING / GLAZED	OD O.D. OUTSIDE DIAMETER	TYP TYPICAL
CP CAST IN PLACE	CONTR. JOINT	OPNG OPENING	UNO UNLESS NOTED OTHERWISE
CJ CENTERLINE	CLG CEILING	OSB ORIENTED STRAND BOARD	UR URINAL
CLR CLEAR	CM CONSTRUCTION MANAGER	CO CLEANOUT	UTIL UTILITY
CONC CONCRETE	CONT CONTINUOUS	CPT CARPET	VB VAPOUR BARRIER
CT CERAMIC TILE	CUST CUSTOMAL	CW COLD WATER	VCT VINYL COMPOSITION TILE
CW COMPLETE WITH	DB DECEBEL	DA DIAMETER	VERT VERTICAL
DB DECEBEL	DM DIMENSIONS(S)	DM DIMENSIONS(S)	VIF VERIFY FIELD
DCW DOMESTIC COLD WATER	DHW DOMESTIC HOT WATER	DHW DOMESTIC HOT WATER	VR VAPOUR RETARDER
DHW DOMESTIC HOT WATER	DHWT DOMESTIC HOT WATER TANK	DN DOWN	W WITH
DS DOWNSPOUT	DW DISHWASHER	DWG DRAWING	WO WITHOUT
EA EXHAUST AIR	EF EXHAUST FAN	EJ EXPANSION JOINT	WC WATERCLOSET
EF EXHAUST FAN	ELEC ELECTRICAL	ELEV ELEVATION	WD WOOD
EJ EXPANSION JOINT	ELEV ELEVATION	EPS EXPANDED POLYSTYRENE	WF WIDE FLANGE
ELEV ELEVATION	ERV ENERGY RECOVERY VENTILATOR	EXT EXTERIOR	WP WORK POINT
EXPANDED POLYSTYRENE	ENERGY RECOVERY VENTILATOR	EXT EXTERIOR	XPS EXTRUDED POLYSTYRENE
ENERGY RECOVERY VENTILATOR	EXTERIOR	FCP FIBER CEMENT PANEL	& AND
EXTERIOR	FCP FIBER CEMENT PANEL	FE FIRE EXTINGUISHER	@ AT
FIBER CEMENT PANEL	FE FIRE EXTINGUISHER	FIE FINISH FLOOR ELEVATION	± PLUSMINUS
FINISH FLOOR ELEVATION	FIE FINISH FLOOR ELEVATION	FDN FOUNDATION	
FACE OF CONCRETE	FOP FACE OF FINISH	FR Fridge / REFRIGERATOR	
FACE OF FINISH	FR Fridge / REFRIGERATOR	FRR FIRE RESISTANCE RATING	
FACE OF FINISH	FR Fridge / REFRIGERATOR	FT FOOT / FEET	
FACE OF FINISH	FR Fridge / REFRIGERATOR	FTG FOOTING	
FACE OF FINISH	FR Fridge / REFRIGERATOR	FURN FURNITURE	
FACE OF FINISH	FR Fridge / REFRIGERATOR	GA/GV GALVANIZED GENERAL CONTRACTOR	
FACE OF FINISH	FR Fridge / REFRIGERATOR	GC/GC/GF GENERAL CONTRACTOR GROUND FAULT INTERRUPTER	
FACE OF FINISH	FR Fridge / REFRIGERATOR	GL CL GLASS / GLAZING / GLAZED	
FACE OF FINISH	FR Fridge / REFRIGERATOR	CONTR. JOINT	
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**2** EXISTING / DEMOLITION SITE PLAN  
1/16" = 1'-0"



**1** PROPOSED TEMPORARY USE SITE PLAN  
1/16" = 1'-0"

**SITE PLAN LEGEND**

— 98.50	EXISTING GEODETIC ELEVATION (m)
— 100.000 m	PROPOSED GRADE
---	PROPERTY LINE
---	GAS SERVICE
---	WATER SERVICE
---	HYDRO SERVICE
(Symbol)	EXISTING TREE W/ APPROX CANOPY
(Symbol)	APPROXIMATE LOCATION OF TREE PROTECTION FENCING / REF ARBORIST REPORT

13	17 SEP 2018	TIP RE-SUBMISSION
12	31 AUG 2018	TENDER
11	30 JULY 2018	COORDINATION
10	26 JUNE 2018	BUILDING PERMIT
9	11 JUNE 2018	COORDINATION
8	08 JUNE 2018	TIP RE-SUBMISSION
7	06 JUNE 2018	COORDINATION
6	23 MAY 2018	COORDINATION
5	04 MAY 2018	COORDINATION
4	24 APR 2018	TIP APPLICATION
3	13 APR 2018	REVIEW / COORDINATION
2	6 APR 2018	REVIEW / COORDINATION
NO DATE		DESCRIPTION
		ISSUES / REVISIONS

**MIZA**  
303-2425 QUEBEC ST. V.  
TEL. 604-600-6147

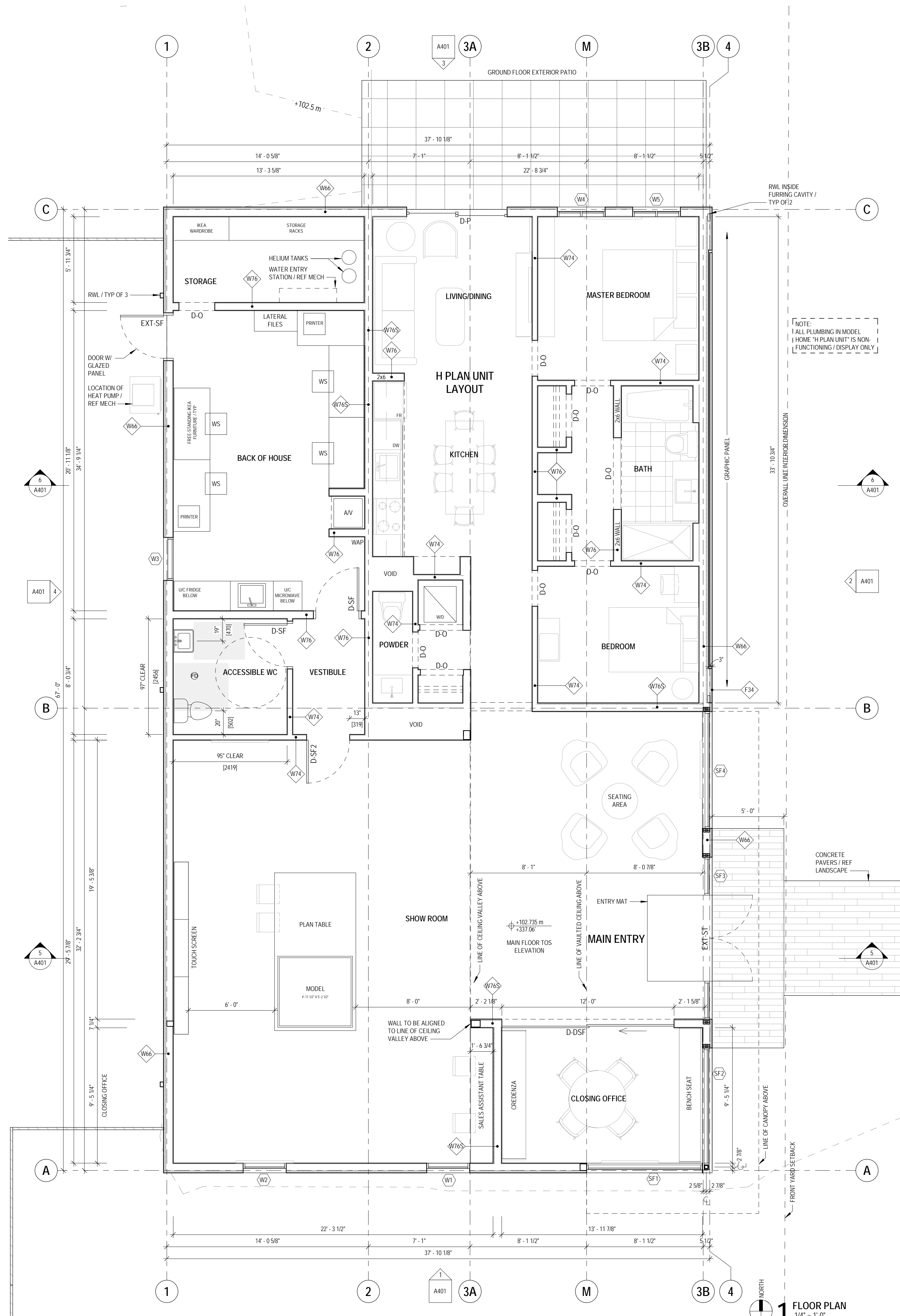
**7918-0159-00(B)**

**PARKE PRE-SALE**

**7918-0159-00(B)**

**SITE PLAN**  
SHEET  
**A101**





NOTE:  
 ALL PLUMBING IN MODEL  
 HOME "H PLAN UNIT" IS NON-  
 FUNCTIONING / DISPLAY ONLY

NO	DATE	DESCRIPTION
13	17 SEP 2018	TUP RE-SUBMISSION
12	31 AUG 2018	TENDER
11	30 JULY 2018	COORDINATION
10	26 JUNE 2018	BUILDING PERMIT
9	11 JUNE 2018	COORDINATION
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3	24 APR 2018	TUP APPLICATION
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1	6 APR 2018	REVIEW / COORDINATION

NO DATE DESCRIPTION  
 ISSUES / REVISIONS  
 SEAL

**MIZA**  
 303-2425 QUEBEC ST. VAN  
 TEL: 604 600 6147  
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**PARKER PRE-SALE**  
 CMC ADDRESS:  
 10575 / 10593 / 10605  
 DKT  
 PROJECT CODE:  
 SCALE:  
 1/4" = 1'-0"

7918-0159-00(C)

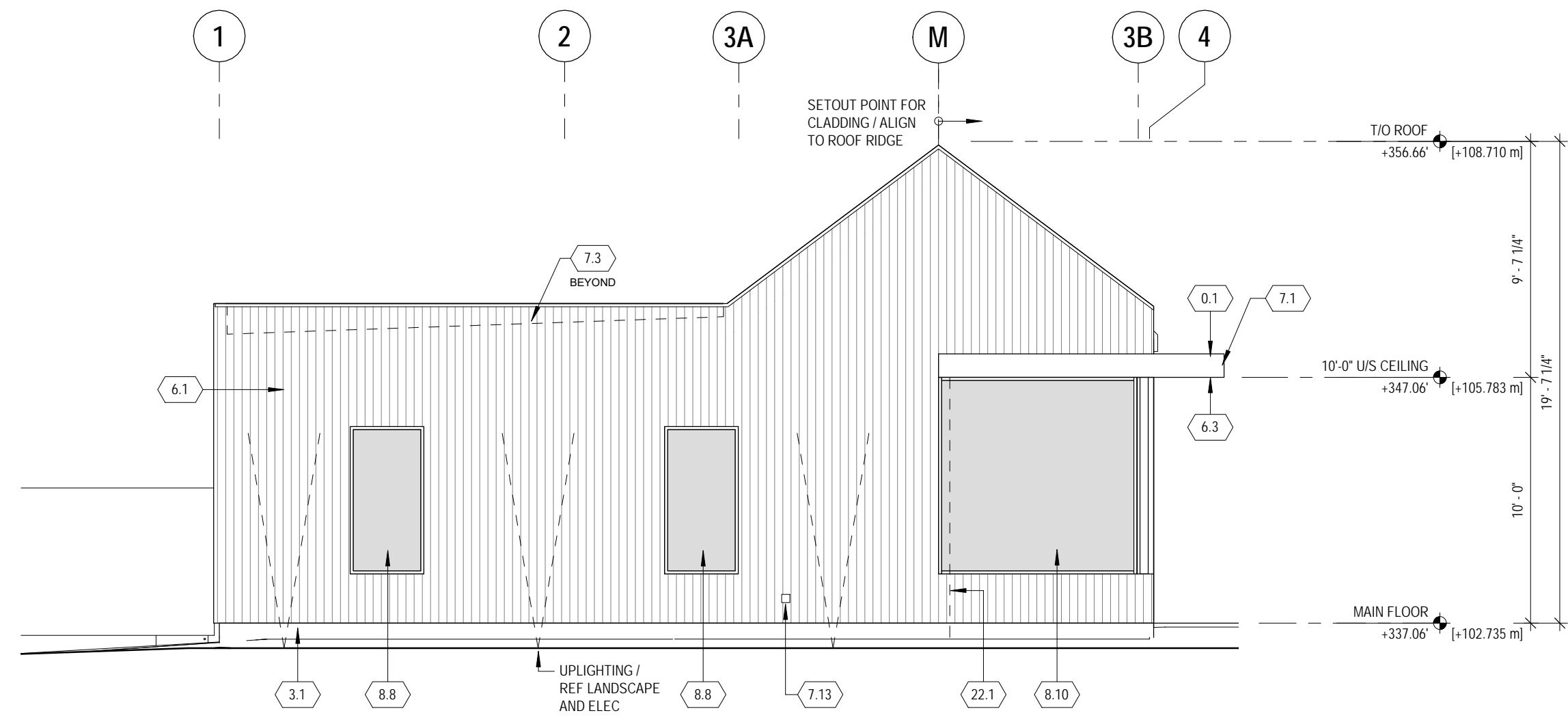
FLOOR PLAN  
 SHEET  
**A210**

1 FLOOR PLAN  
 1/4" = 1'-0"

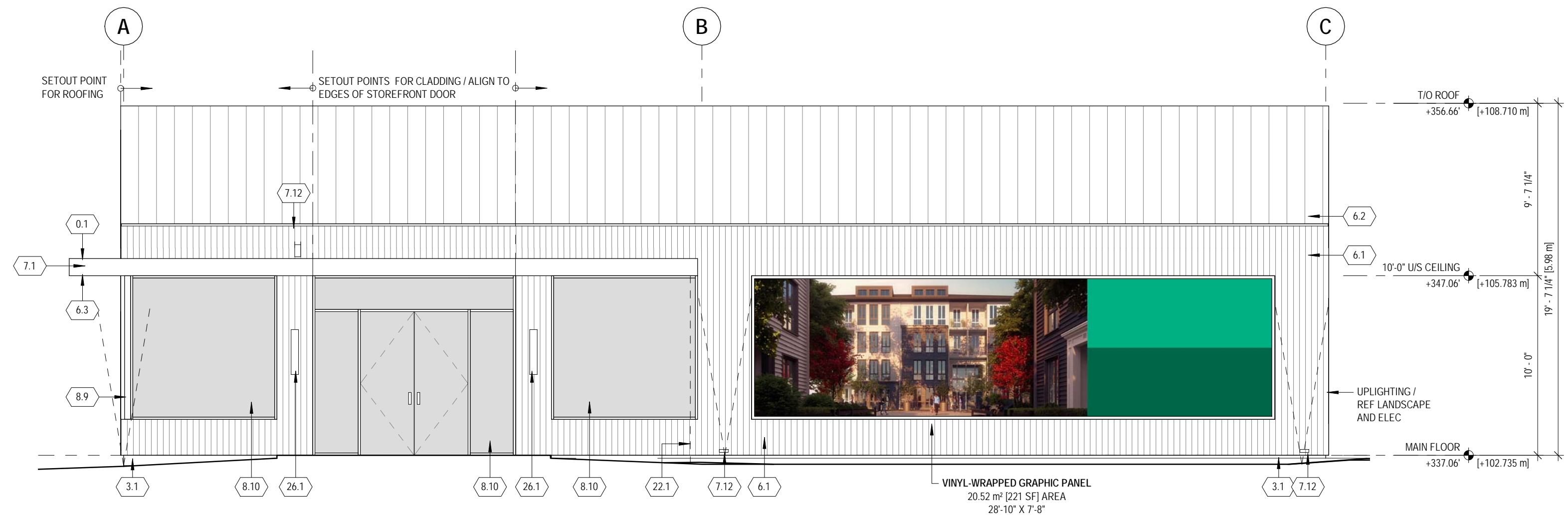
20180919 12:02:37 PM

KEYNOTES — ELEVATIONS

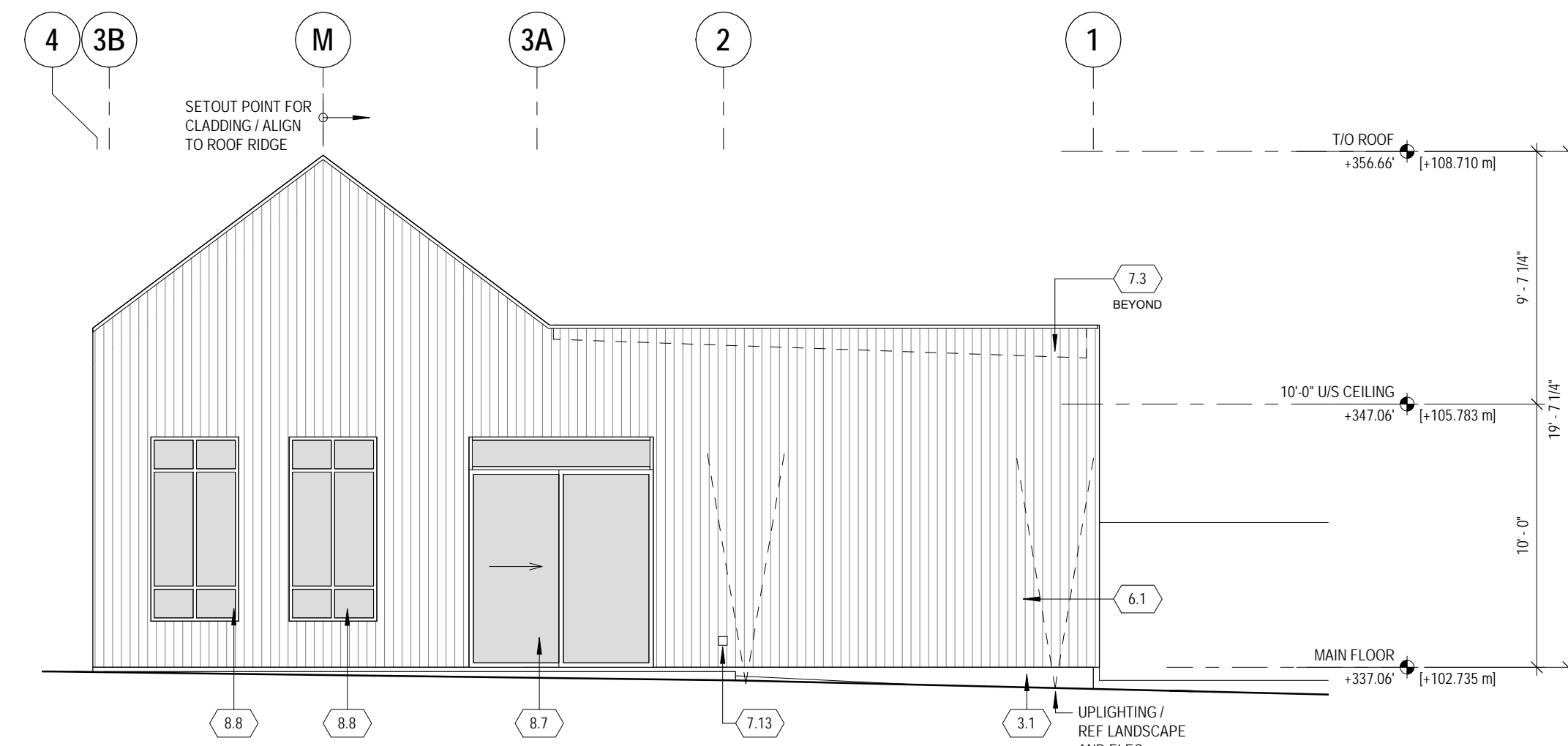
- 0.1 CANTILEVERED CANOPY
- 2.1 6' HIGH HOARDING/FENCE
- 3.1 CAST-IN-PLACE CONC FOUNDATION / PAINT EXPOSED SURFACES BLACK
- 3.2 ANCHOR BOLT WITH SILL GASKET / REF STRC
- 6.1 1/4" NOMINAL TAG WOOD SIDING ON 1x3 STRAPPING W/ BLACK PAINT FINISH / REF SPEC
- 6.2 STANDING SEAM METAL ROOFING AT NOMINAL 12" O.C. / SEAMS TO ALIGN WITH WOOD CLADDING MODULE / COLOUR TO BE CLOSEST MATCH TO WOOD CLADDING (TO BE CONFIRMED BY ARCHITECT AND OWNER)
- 6.3 CANOPY SOFFIT / NATURAL CEDAR WITH CLEAR COAT FINISH
- 7.1 PREFINISHED METAL FLASHING
- 7.12 2x6" RAIN WATER LEADER / REF LANDSCAPE
- 7.13 HOSE BIB
- 7.14 WALL CAP FOR HRV INTAKE / REF MECH
- 8.1 PAINTED METAL DOOR
- 8.7 VINYL SLIDING DOOR
- 8.8 VINYL WINDOW W/ DOUBLE GLAZING / PROVIDE OPERABLE SECTIONS OF GLAZING WHERE INDICATED
- 8.9 ANODIZED ALUMINUM BRAKE SHAPE
- 8.10 ALUMINUM STOREFRONT WINDOW/DOOR CW DOUBLE-GLAZED INSULATED UNITS
- 22.1 CHAIN DRAIN
- 23.1 HEAT PUMP / REF MECH
- 26.1 EXTERIOR LIGHT FIXTURE / REF ELEC
- 33.1 GRAVEL DRAIN STRIP / REF LANDSCAPE



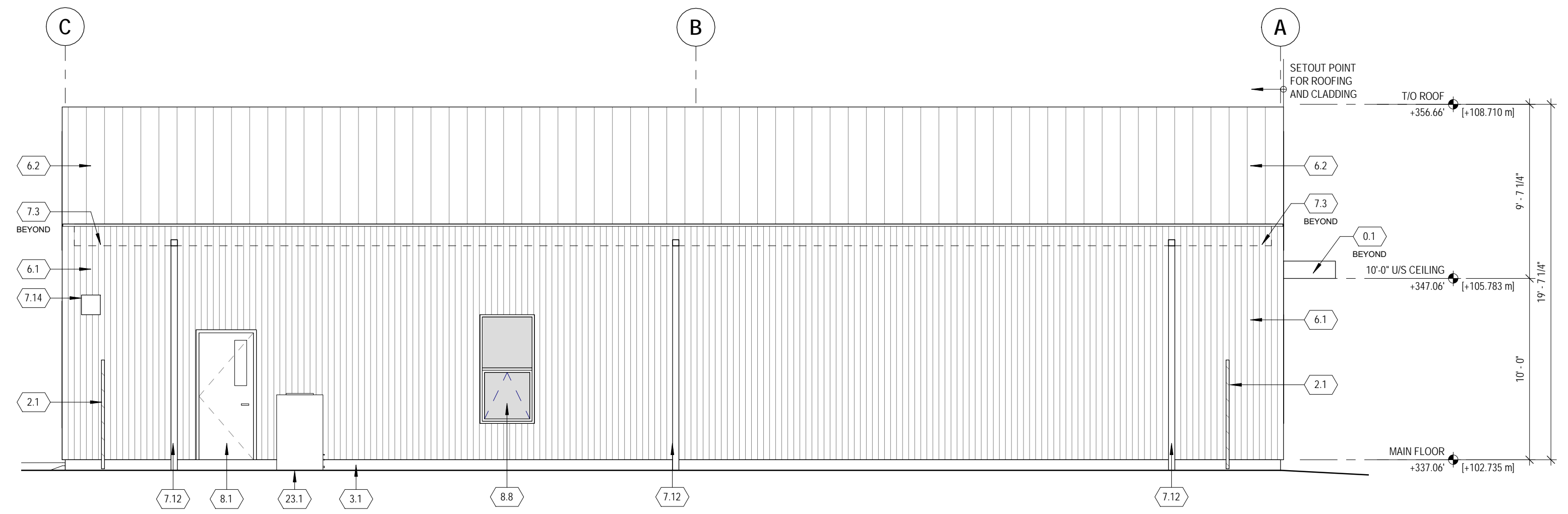
1 BUILDING ELEVATION / SOUTH  
3/16" = 1'-0"



2 BUILDING ELEVATION / EAST  
3/16" = 1'-0"



3 BUILDING ELEVATION / NORTH  
3/16" = 1'-0"



4 BUILDING ELEVATION / WEST  
3/16" = 1'-0"

SPATIAL SEPARATION SUMMARY  
[9.10.14.4 A]

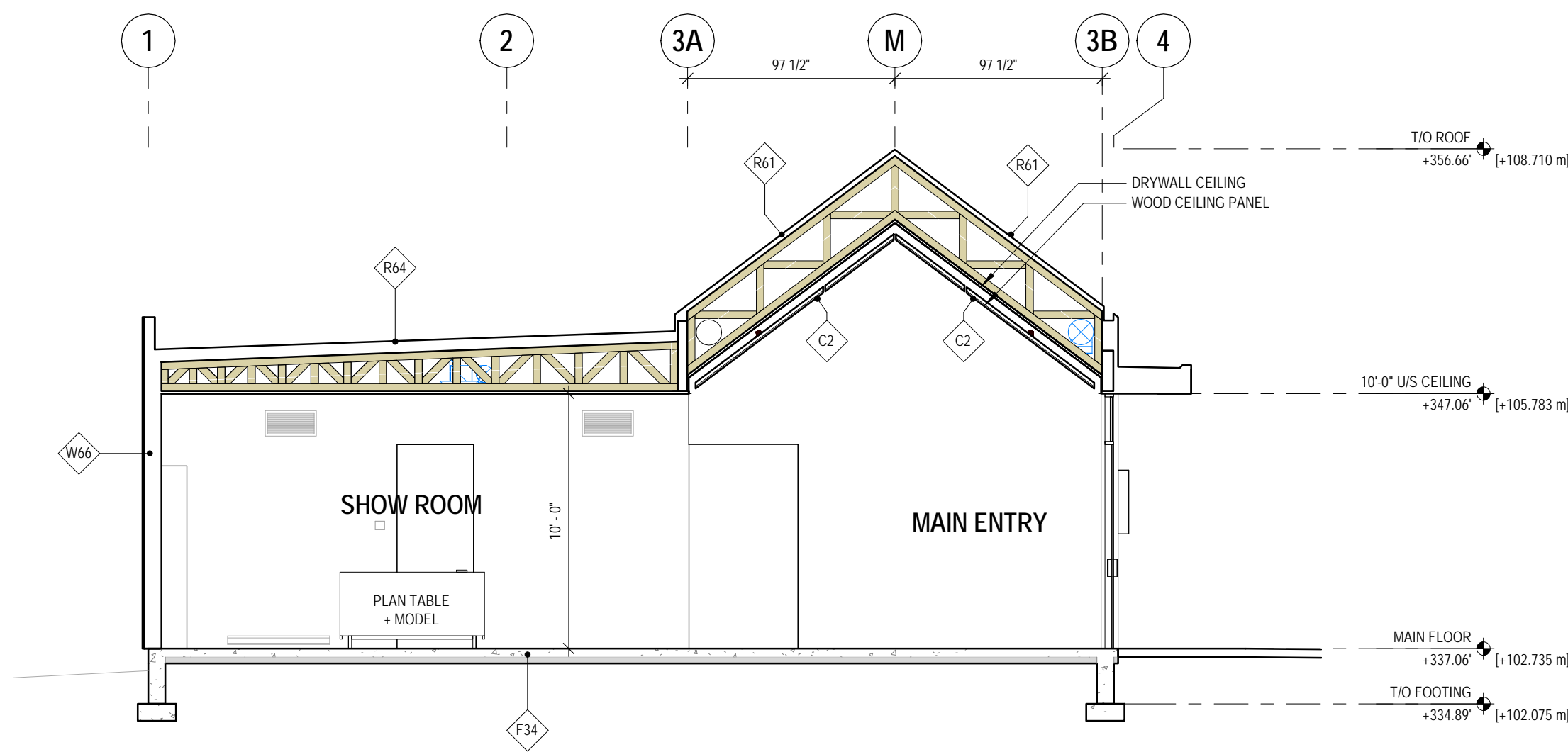
ELEVATION	AREA OF EXPOSING BUILDING FACE	LIMITING DISTANCE	PERMITTED AREA OF UNPROTECTED OPENINGS	ACTUAL AREA
NORTH	358sf (33m <sup>2</sup> )	140'-0" (43m)	100%	26%
EAST	880sf (82m <sup>2</sup> )	65'-0" (20m)	100%	29%
SOUTH	437sf (41m <sup>2</sup> )	90'-0" (27m)	100%	28%
WEST	625sf (58m <sup>2</sup> )	62'-0" (19m)	100%	2%

- 13 17 SEP 2018 T/UP RE-SUBMISSION
- 12 31 AUG 2018 TENDER
- 11 30 JULY 2018 COORDINATION
- 10 26 JUNE 2018 BUILDING PERMIT
- 9 11 JUNE 2018 COORDINATION
- 8 08 JUNE 2018 T/UP RE-SUBMISSION
- 7 06 JUNE 2018 COORDINATION
- 5 23 MAY 2018 COORDINATION
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- 2 13 APR 2018 REVIEW / COORDINATION
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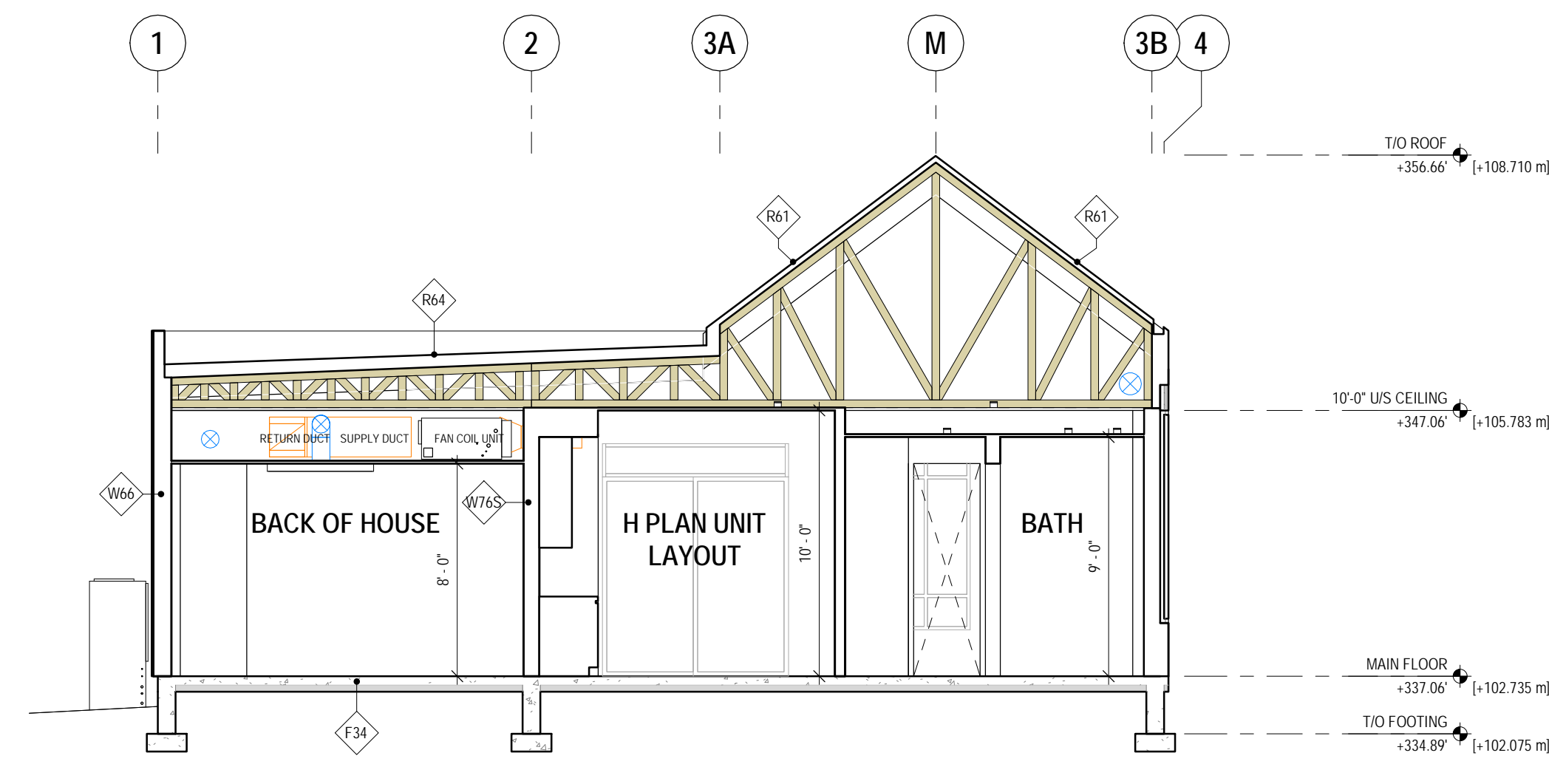
NO DATE DESCRIPTION

ISSUES + REVISIONS

SEAL



5 CROSS SECTION AT MAIN ENTRY  
3/16" = 1'-0"



6 CROSS SECTION AT UNIT LAYOUT  
3/16" = 1'-0"

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TEL: 604 600 6147

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PARKER  
PRE-SALE

CIBC ADDRESS  
10575 / 10593 / 10605

PROJECT CODE  
047

SCALE  
As Indicated

TRE  
V31 4L8

ELEVATIONS

SHEET

A401

7918-0159-00(D)

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES AND / OR CONCEALED STRUCTURES AT THE PROJECT SITE.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND / OR CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

# PARKER PRE-SALES CENTRE

RE-ISSUED FOR TUP  
NOVEMBER 23, 2018

### LANDSCAPE DRAWING INDEX

DRAWING INDEX	
SHEET No.	SHEET NAME
L0.0	COVER SHEET AND DRAWING LIST
L1.0	LAYOUT AND MATERIALS PLAN
L2.0	PLANT LIST
L2.1	PLANTING PLAN
L3.0	IRRIGATION PLAN
L4.0	DETAILS - SOFTSCAPE
L4.1	DETAILS - HARDSCAPE

### GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER LANDSCAPE ARCHITECTURAL DRAWINGS, DETAILS, SPECIFICATIONS, AND OTHER CORRESPONDANCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLER ISSUES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION, AND CANADIAN LANDSCAPE STANDRAD, LATEST EDITION.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

CONNECT LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES OR CONCEALED STRUCTURES AT THE PROJECT SITE.

FINAL SELECTION AND APPROVAL OF ALL STREET TREES TO BE DONE BY THE CITY OF SURREY.

ALL PUBLIC REALM DETAILS TO THE SATISFACTION OF THE CITY OF SURREY.

7	RE-ISSUED FOR TUP	18-11-23
6	RE-ISSUED FOR TUP	18-09-14
5	ISSUED FOR TENDER	18-08-31
4	ISSUED FOR DRAFT IFT REVIEW	18-08-03
3	ISSUED FOR BP	18-06-26
2	ISSUED FOR TUP	18-06-11
1	ISSUED FOR REVIEW	18-05-11

### REVISIONS

PARKER  
PRE-SALES CENTRE

10593 - 139 ST.  
Surrey, BC, V3T 4L8

Scale: 1:100

Drawn: KW

Reviewed: DS

Project No. 6-577

COVER SHEET  
DRAWING LIST

7918-0159-00(E)

L0.0

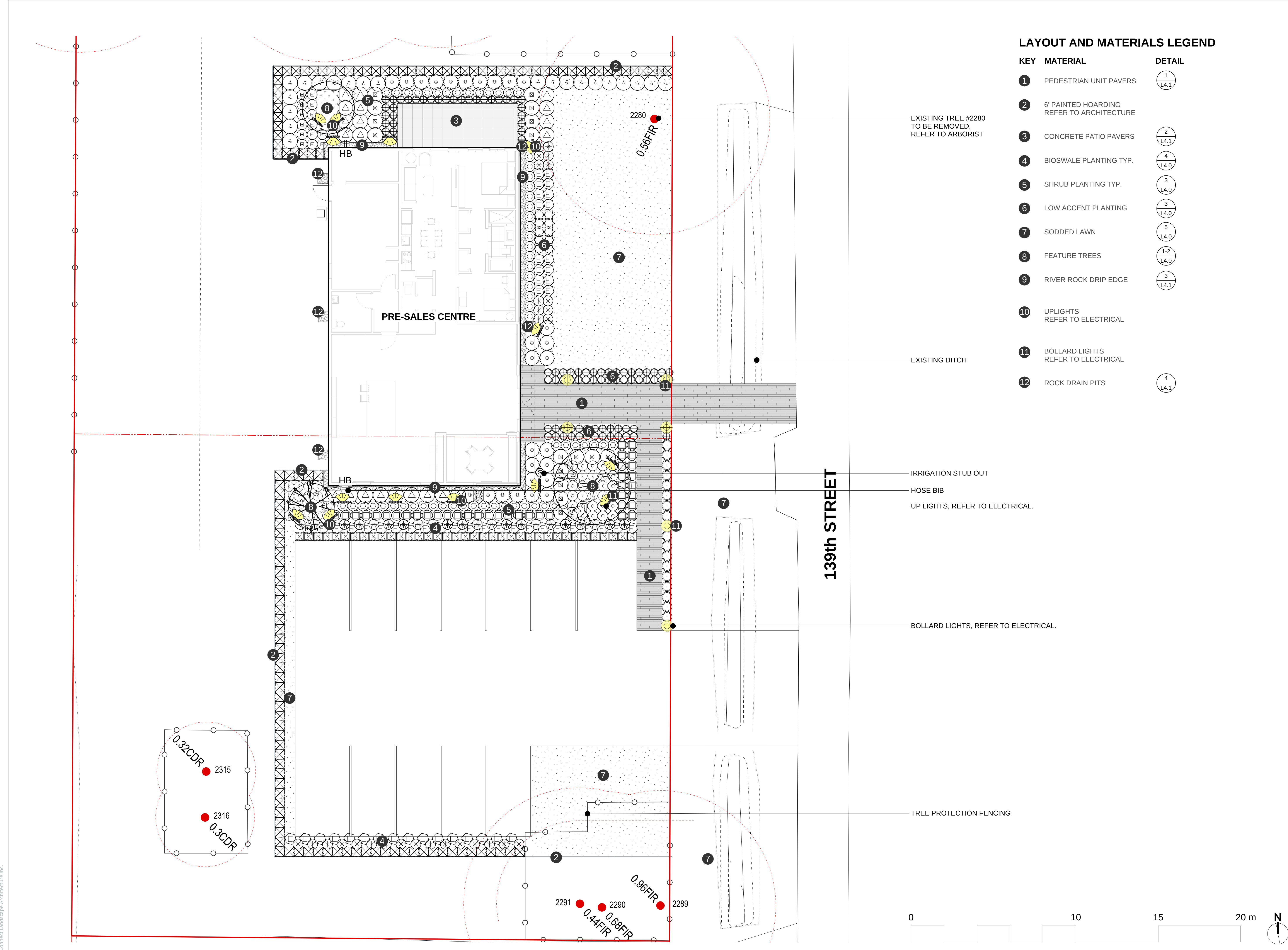


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**LAYOUT AND MATERIALS LEGEND**

KEY	MATERIAL	DETAIL
1	PEDESTRIAN UNIT PAVERS	1 L4.1
2	6' PAINTED HOARDING REFER TO ARCHITECTURE	
3	CONCRETE PATIO PAVERS	2 L4.1
4	BIOSWALE PLANTING TYP.	4 L4.0
5	SHRUB PLANTING TYP.	3 L4.0
6	LOW ACCENT PLANTING	3 L4.0
7	SODDED LAWN	5 L4.0
8	FEATURE TREES	1-2 L4.0
9	RIVER ROCK DRIP EDGE	3 L4.1
10	UPLIGHTS REFER TO ELECTRICAL	
11	BOLLARD LIGHTS REFER TO ELECTRICAL	
12	ROCK DRAIN PITS	4 L4.1



EXISTING TREE #2280  
TO BE REMOVED,  
REFER TO ARBORIST

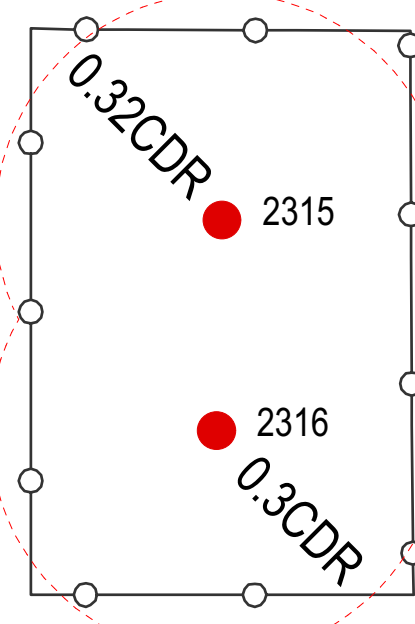
EXISTING DITCH

IRRIGATION STUB OUT  
HOSE BIB  
UP LIGHTS, REFER TO ELECTRICAL.

BOLLARD LIGHTS, REFER TO ELECTRICAL.

TREE PROTECTION FENCING

**139th STREET**



NO.	REVISIONS	DATE
7	RE-ISSUED FOR TUP	18-11-23
6	RE-ISSUED FOR TUP	18-09-14
5	ISSUED FOR TENDER	18-08-31
4	ISSUED FOR DRAFT IFT REVIEW	18-08-03
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**PARKER  
PRE-SALES C**

10593 - 139 ST.  
Surrey, BC, V3T 4L8

Scale:	1:100
Drawn:	KW
Reviewed:	DS
Project No.	06-577

**LAYOUT AND  
MATERIALS P**

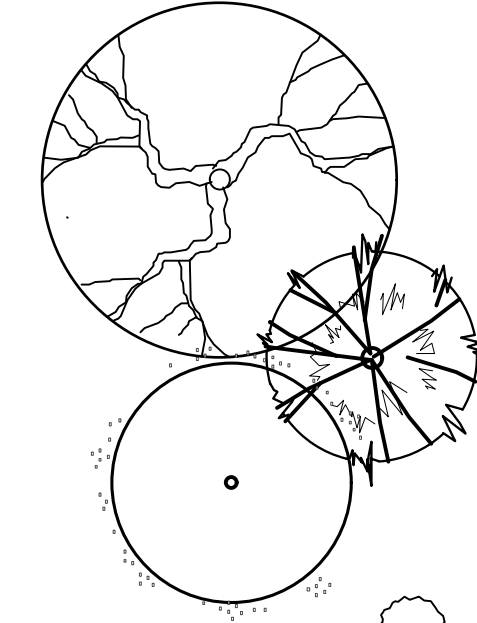
**7918-0159-00(F)**

**L1.0**

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## PLANT LIST



### TREES

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
1	Acer palmatum 'Osakazuki'	Osakazuki Japanese Maple	3M ht., B&B	as shown
1	Picea omorika	Serbian Spruce	3M ht., B&B	as shown
1	Stewartia pseudocamellia	Japanese Stewartia	5cm cal., B&B	as shown

### SHRUBS

27	Hydrangea macrophylla	Bigleaf Hydrangea	#5 pot	36" o.c
21	Pieris japonica 'Mountain Fire'	Lily-of-the-Valley Shrub	#5 pot	36" o.c
16	Prunus laurocerasus 'Zabeliana'	Zabel's Cherry Laurel	#3 pot	24" o.c
23	Rhododendron 'Crete'	Pink Rhododendron	#5 pot	36" o.c
16	Rhododendron 'Hotel'	Yellow Rhododendron	#5 pot	36" o.c
60	Rhododendron 'Ken Janeck'	Pink Yaku Rhododendron	#3 pot	24" o.c
17	Sarcococca hookerana 'Humilis'	Himalayan Sweet Box	#3 pot	24" o.c
38	Skimmia japonica	Japanese Skimmia	#3 pot	24" o.c
37	Thuja occidentalis 'smaragd'	4' Emerald Cedar	#5 pot	24" o.c
128	Thuja occidentalis 'smaragd'	6' Emerald Cedar	#5 pot	24" o.c
21	Weigela florida 'Bokraspiwi'	Spilled Wine Weigela	#5 pot	36" o.c

### GROUND COVERS AND VINES

24	Arctostaphylos uva ursi	Kinnikinnick	#1 pot	15" o.c
24	Pachysandra terminalis	Japanese Spurge	4"(10cm) pot	15" o.c

### PERENNIALS, GRASSES, BULBS, AND ANNUALS

55	Echinacea purpurea	Purple Coneflower	#1 pot	18" o.c
10	Hemerocallis 'Stella D'Oro'	Day Lily	#1 pot	18" o.c
93	Lavandula angustifolia	English Lavender	#1 pot	18" o.c
61	Rudbeckia hirta	Black-Eyed Susan	#1 pot	24" o.c
205	Sodded lawn area (m2)			

### PLANTING NOTES

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, AND CANADIAN LANDSCAPE STANDARDS LATEST EDITION.
2. ALL TREE AND SHRUB BEDS ARE TO BE MULCHED WITH 50mm OF 2 MEDIUM FINE MULCH, LESS THAN 50mm DIAMETER.
3. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH HIGH EFFICIENCY IRRIGATION SYSTEM.

7	RE-ISSUED FOR TUP	18-11-23
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### REVISIONS

PARKER  
PRE-SALES C

10593 - 139 ST.  
Surrey, BC, V3T 4L8

Scale:

Drawn:

Reviewed:

Project No.

PLANT LIST

7918-0159-00(G)

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KW

DS

6-577

L2.0



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**PLANTING NOTES**

1. ALL PLANTING SHALL MEET OR EXCEED THE REQUIREMENTS AS OUTLINED IN THE BC LANDSCAPE STANDARD, LATEST EDITION. IN CASE OF DISCREPANCY BETWEEN PLANT NUMBERS THIS LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
2. ALL PLANTING PLANS TO BE READ IN CONJUNCTION WITH THE LANDSCAPE DETAILS.
3. ALL 'SOFT LANDSCAPE AREAS' ARE TO BE IRRIGATED WITH HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM, TO IIABC STANDARDS.
4. ALL IRRIGATION VALVE BOXES EQUIPPED WITH QUICK-COUPERS.

EXISTING TREE #2280  
TO BE REMOVED,  
REFER TO ARBORIST

SODDED LAWN

LAYERED PLANTING

EXISTING TREES TO BE PROTECTED AND RETAINED

**139th STREET**

PRE-SALES CENTRE

HB

HB

2280

0.56FIR

2291

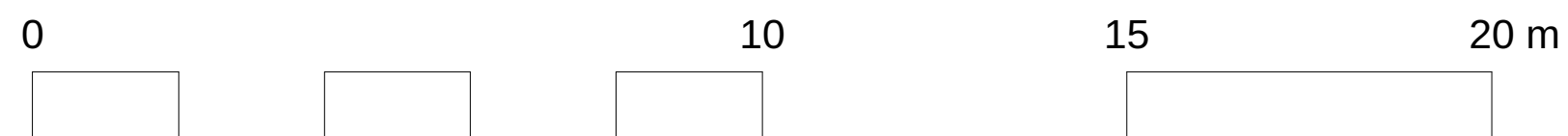
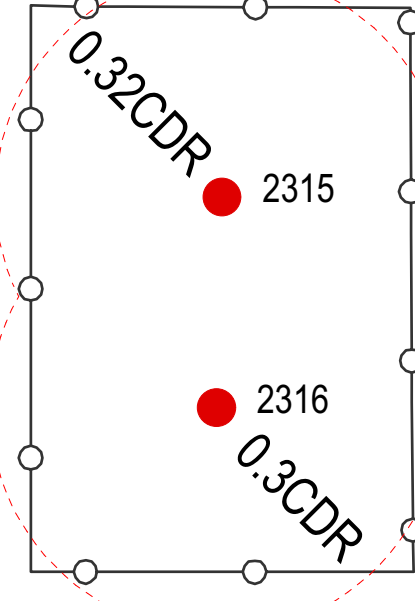
2290

2289

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7	RE-ISSUED FOR TUP	18-11-23
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REVISIONS

PARKER  
PRE-SALES C

10593 - 139 ST.  
Surrey, BC, V3T 4L8

Scale: 1:100  
Drawn: KW  
Reviewed: DS  
Project No. 06-577

PLANTING P

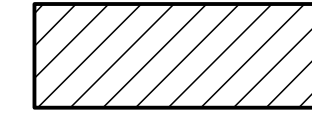
**7918-0159-00(H)**

**L2.1**



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 AREA TO BE IRRIGATED

**DESIGN BUILD IRRIGATION NOTES:**

1. LANDSCAPE CONTRACTOR TO PROVIDE COMPLETE DESIGN-BUILD SERVICES FOR ALL AUTOMATIC SITE IRRIGATION WORKS.
2. IRRIGATION CONTRACTOR PERFORMING THE WORK MUST HAVE MINIMUM (5) FIVE YEARS DOCUMENTED EXPERIENCE, AND A MEMBER IN GOOD STANDING OF THE IIABC (IRRIGATION INDUSTRY ASSOCIATION OF BC).
3. IRRIGATION TO CONFORM TO ALL LOCAL PLUMBING AND ELECTRICAL CODE REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH MECHANICAL AND ELECTRICAL CONSULTANTS AND TRADES.
4. IRRIGATION TO CONFORM TO ALL IIABC STANDARDS WITH THE FOLLOWING EXCEPTIONS:
  - a. MATERIALS SECTION 8B: ALL PIPE TO BE MINIMUM CLASS 200
  - b. MATERIALS SECTION 5G: NO WIRE SMALLER THAN 14 GAUGE DIRECT BURIAL
5. COORDINATE WITH CIVIL CONTRACTOR TO PROVIDE PVC SLEEVING WHERE REQUIRED.
6. IRRIGATION STUB-OUTS AND HOSE BIBS PER MECHANICAL PLANS.
7. PROVIDE SHOP DRAWINGS FOR IRRIGATION LAYOUT TO CONSULTANT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION. INCLUDE SLEEVING, DRIP LINE, PIPE SIZE, VALVE BOXES, ETC., AND ALL IRRIGATION COMPONENT SPECIFICATIONS. VALVE BOXES TO BE LOCATED IN LOW-VISIBLE, PLANTED AREAS ONLY AND LOCATIONS TO BE APPROVED.
8. HIGH EFFICIENCY IRRIGATION TECHNOLOGY TO BE EMPLOYED INCLUDE, BUT ARE NOT LIMITED TO: CENTRAL SHUT-OFF VALVE, HIGH EFFICIENCY DRIP IRRIGATION LINES
9. TEST SYSTEM PRIOR TO COMPLETION OF LANDSCAPE WORKS TO ENSURE NO LEAKAGE AND SPECIFIED PSI IS MET. PROVIDE WRITTEN NOTICE THAT PRESSURE TESTING HAS MET STANDARDS (LEAKS SHALL NOT BE REPAIRED BY PATCHING).
10. PROVIDE COVERAGE AND CONTROLLER TEST WHEN SYSTEM IS COMPLETE AND MAKE ADJUSTMENTS AS REQUIRED.
11. PROVIDE AS-BUILT RECORD DRAWINGS TO SCALE SHOWING LOCATIONS OF ALL CONCEALED COMPONENTS, PIPING SYSTEM AND CONDUIT.
12. MAINTAIN AND OPERATE IRRIGATION PER MANUFACTURER'S RECOMMENDATIONS THROUGHOUT WARRANTY PERIOD - WINTERIZE AS REQUIRED.
13. PROVIDE (3) COPIES OF INSTRUCTIONS MANUALS FOR OPERATION AND MAINTENANCE OF SYSTEM AND CONTROLS, SEASONAL ACTIVITY AND SHUTDOWN AND MANUFACTURER'S PARTS CATALOGUE.
14. INSTRUCT OWNER'S PERSONNEL IN THE OPERATION AND MAINTENANCE OF SYSTEM, INCLUDING ADJUSTING OF SPRINKLER HEADS. USE OPERATION AND MAINTENANCE MATERIAL AS BASIS FOR DEMONSTRATION.
15. IRRIGATION PIPE SIZE TO BE 2" WITH 50 USGPM AND 55PSI.

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REVISIONS

PARKER  
PRE-SALES C

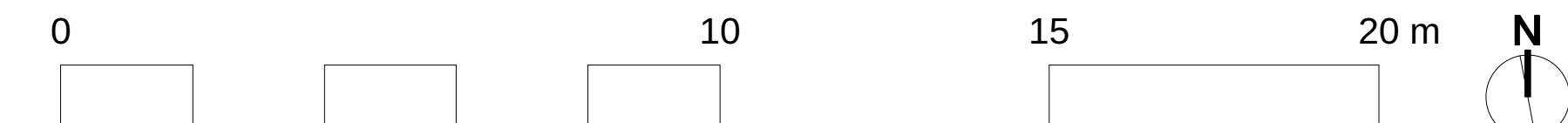
10593 - 139 ST.  
Surrey, BC, V3T 4L8

Scale:	1:100
Drawn:	KW
Reviewed:	DS
Project No.	06-577

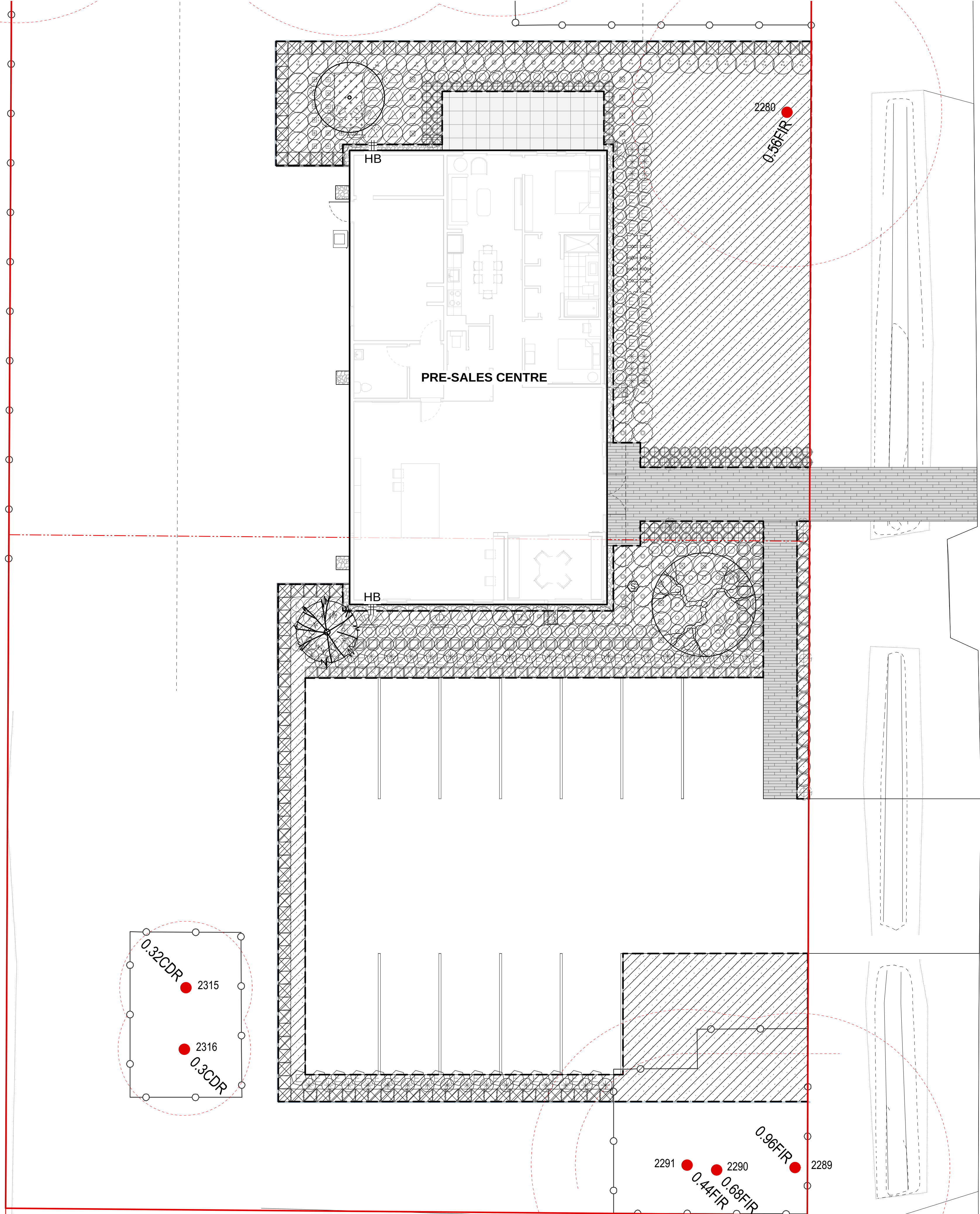
IRRIGATION

**7918-0159-00(1)**

**L3.0**



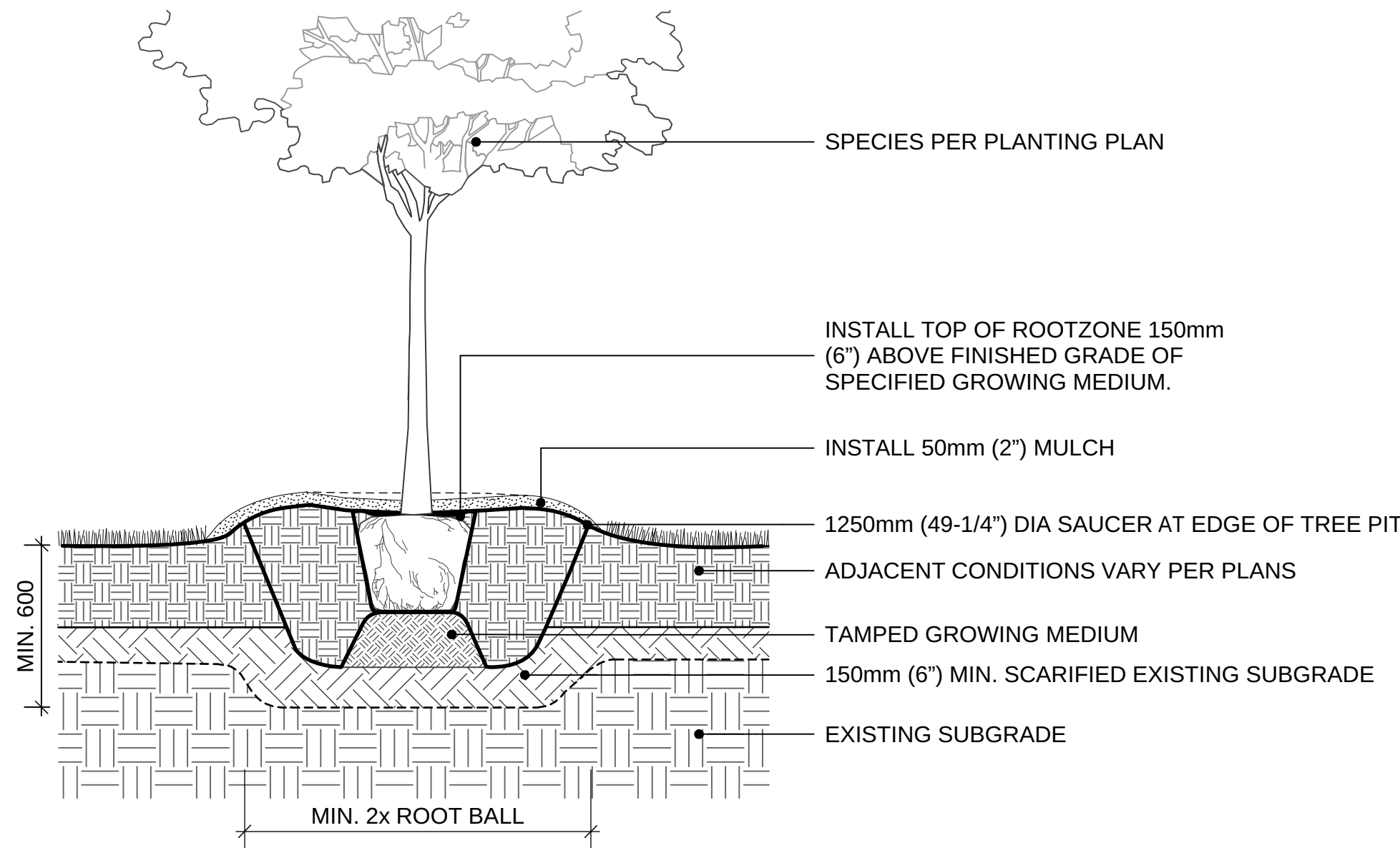
**139th STREET**



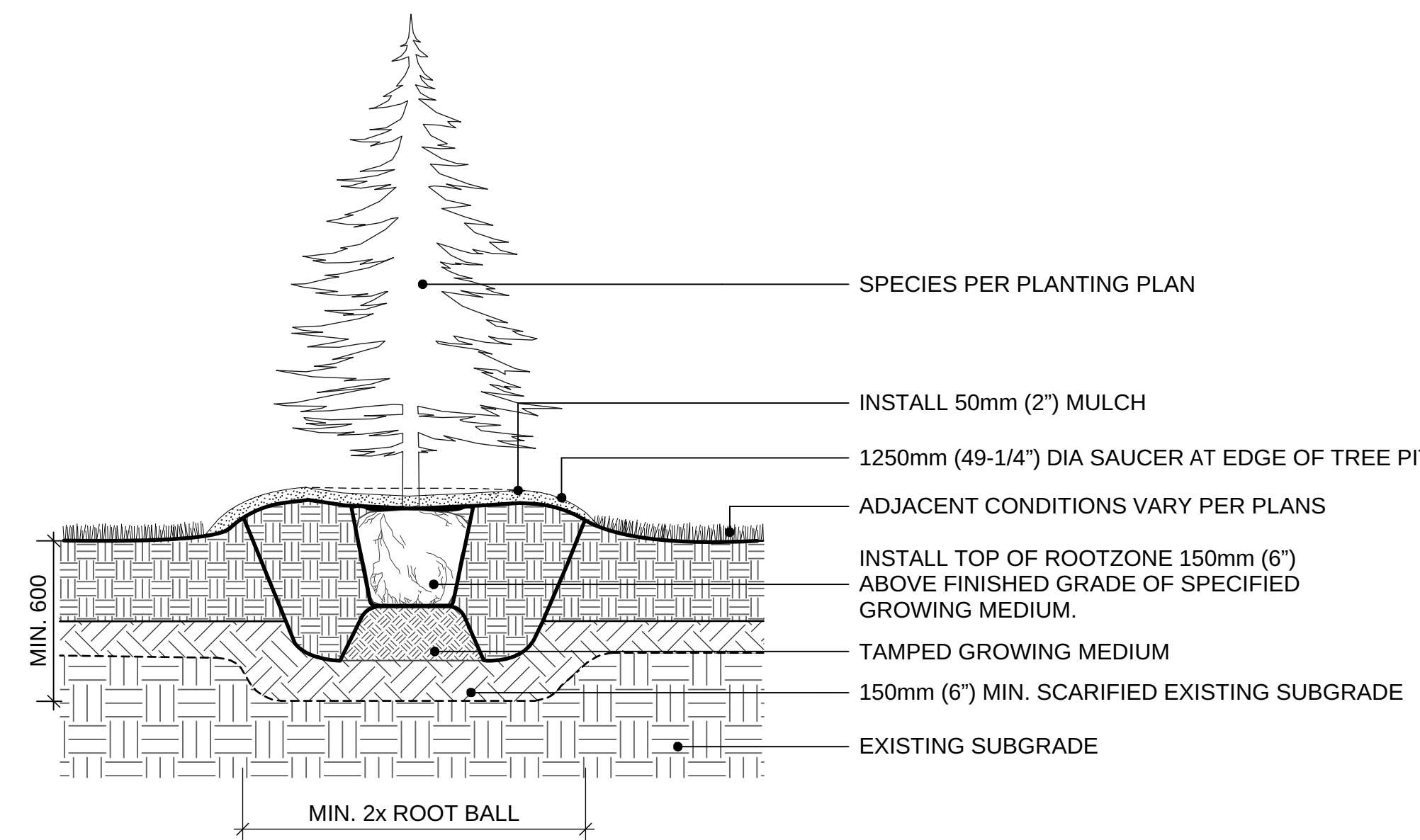


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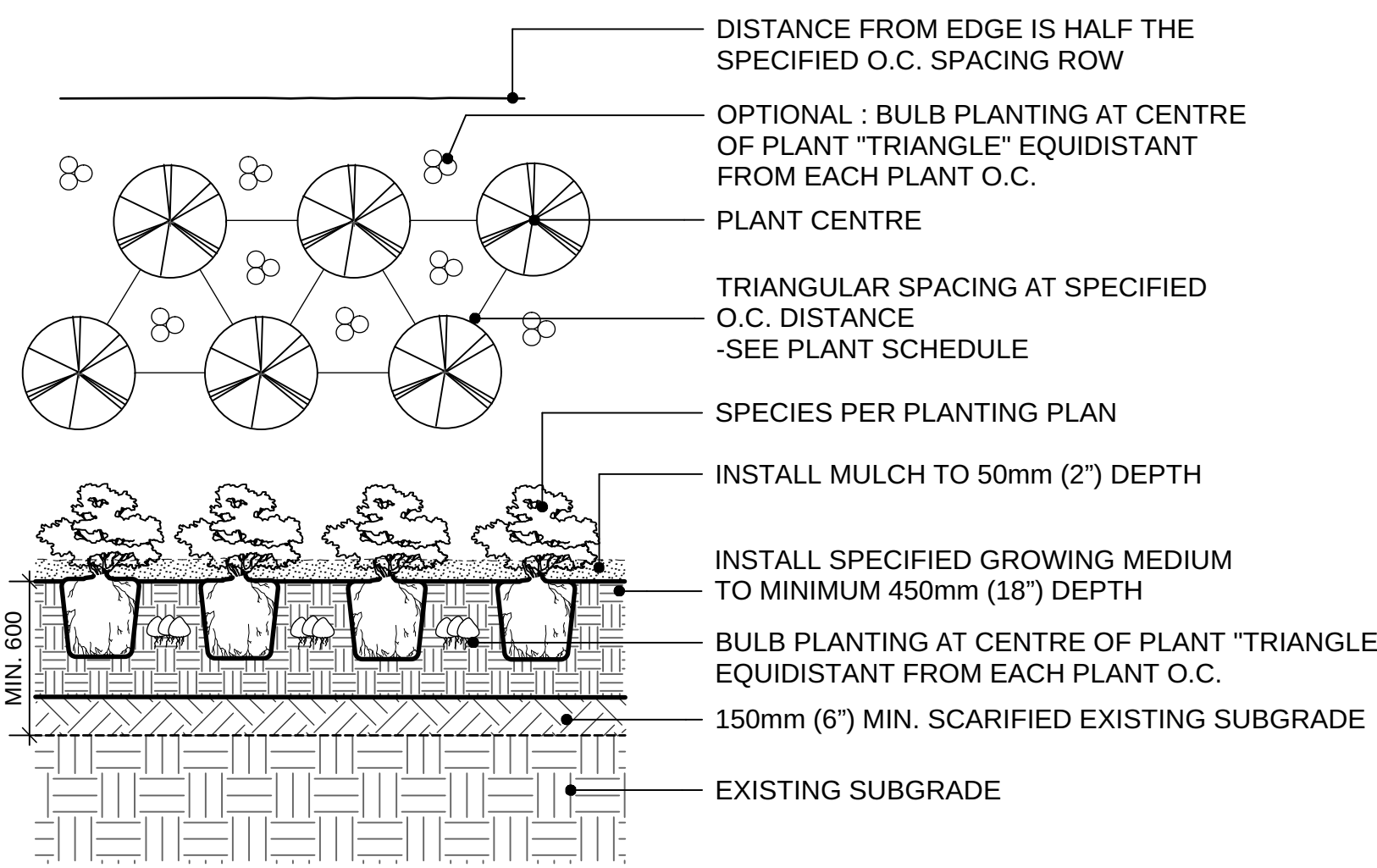
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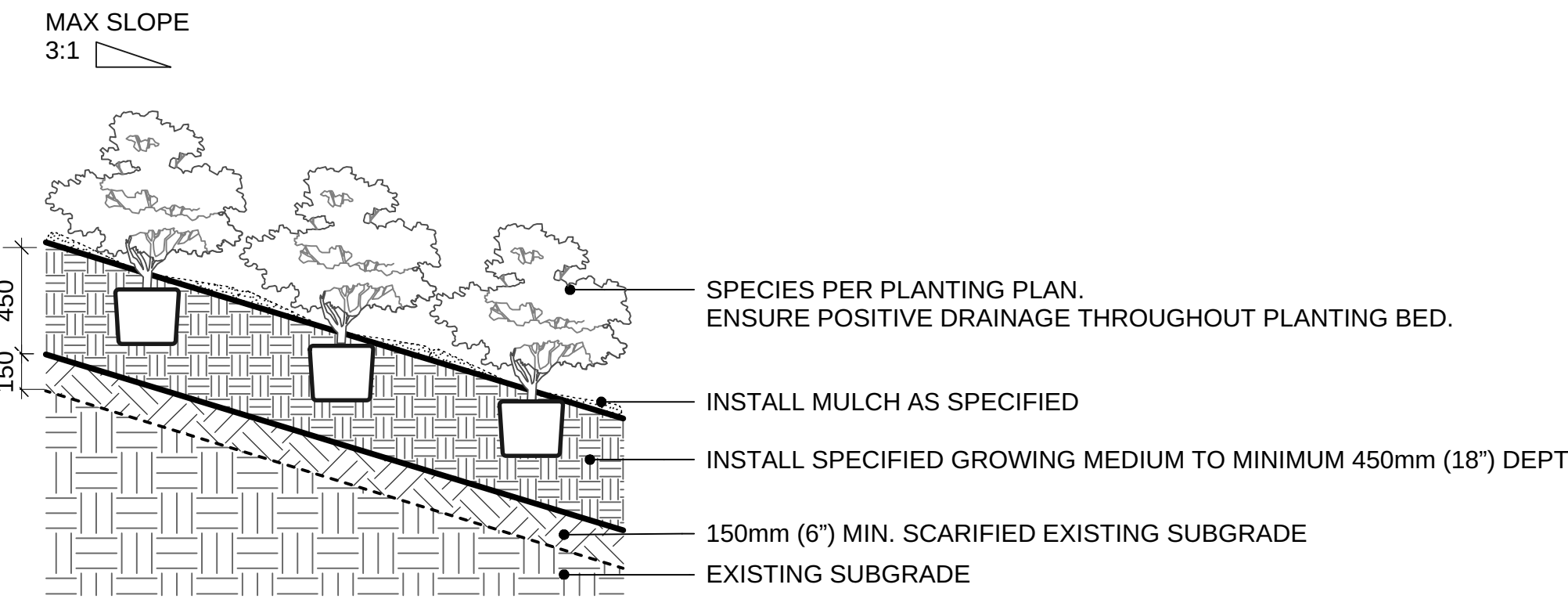
**1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)**  
Scale: 1:20



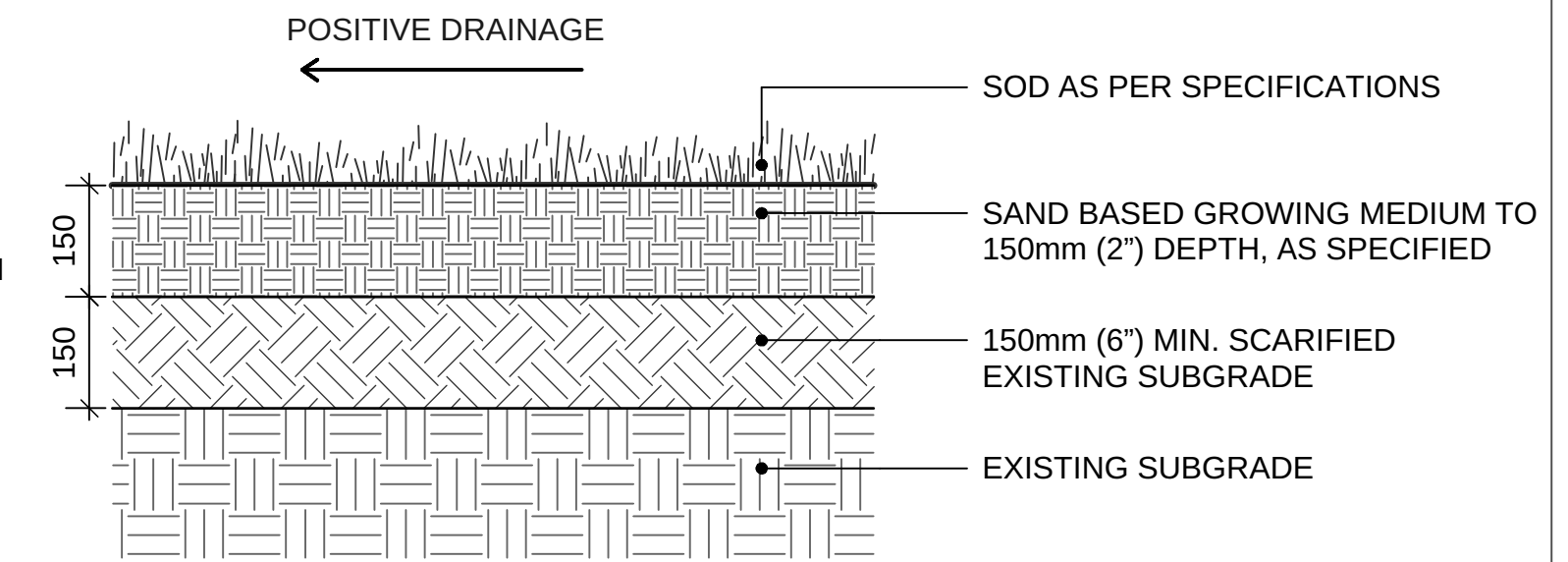
**2 CONIFEROUS TREE PLANTING ON GRADE (TYPICAL)**  
Scale: 1:20



**3 SHRUB AND GROUNDCOVER PLANTING (TYPICAL)**  
Scale: 1:25



**4 PLANTING ON SLOPE (TYPICAL)**  
Scale: 1:25



**5 SODDED LAWN**  
Scale: 1:10

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REVISIONS

PARKER  
PRESENTATION  
CENTRE

10593 - 139 ST.  
Surrey, British Columbia

Scale: HOWN

Drawn: KW

Reviewed: DS

Project No. 06-577

SOFTSCAPE S

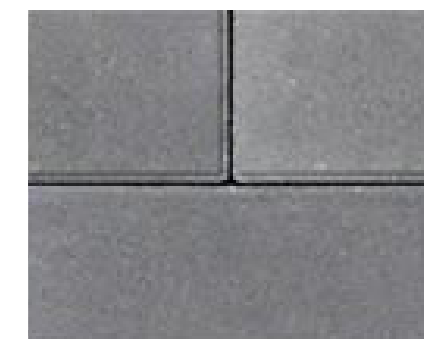
7918-0159-00(J)

L4.0

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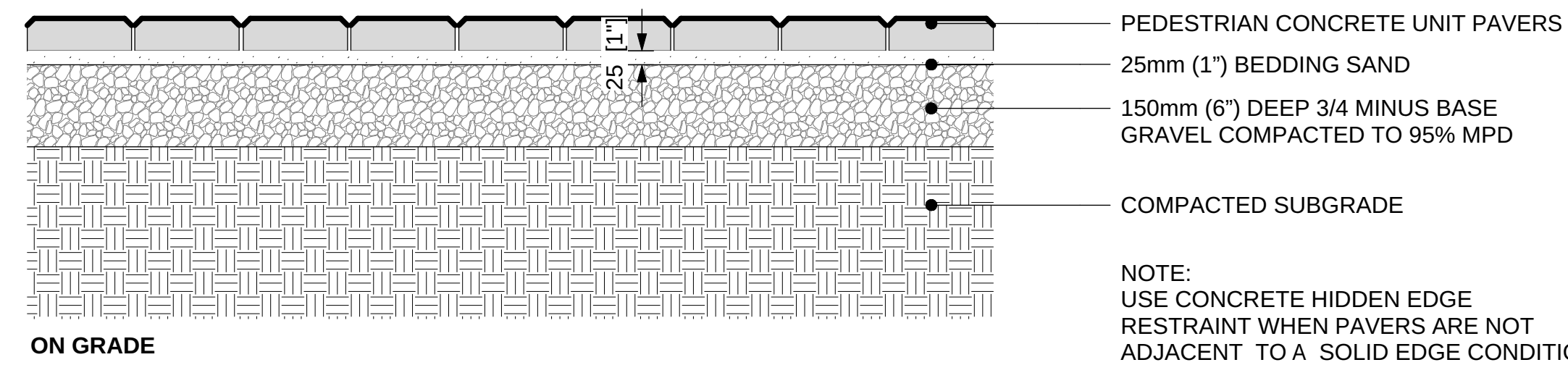
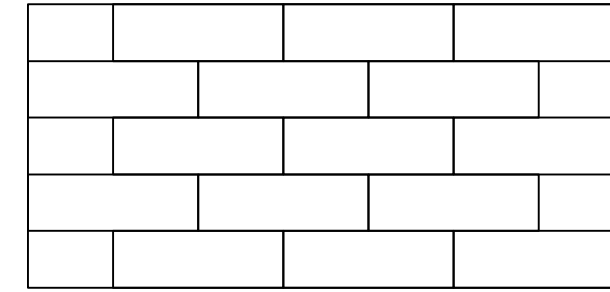
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**UNIT PAVING CLASSIC STANDARD SERIES**  
SIZE: 3-1 225mm x 75mm x 60mm (8-7/8" X 3" X 2-3/8")  
BY: ABBOTSFORD CONCRETE PRODUCTS  
(1.800.663.4091)



COLOUR:  
CHARCOAL  
& NATURAL

PATTERN: RUNNING BOND

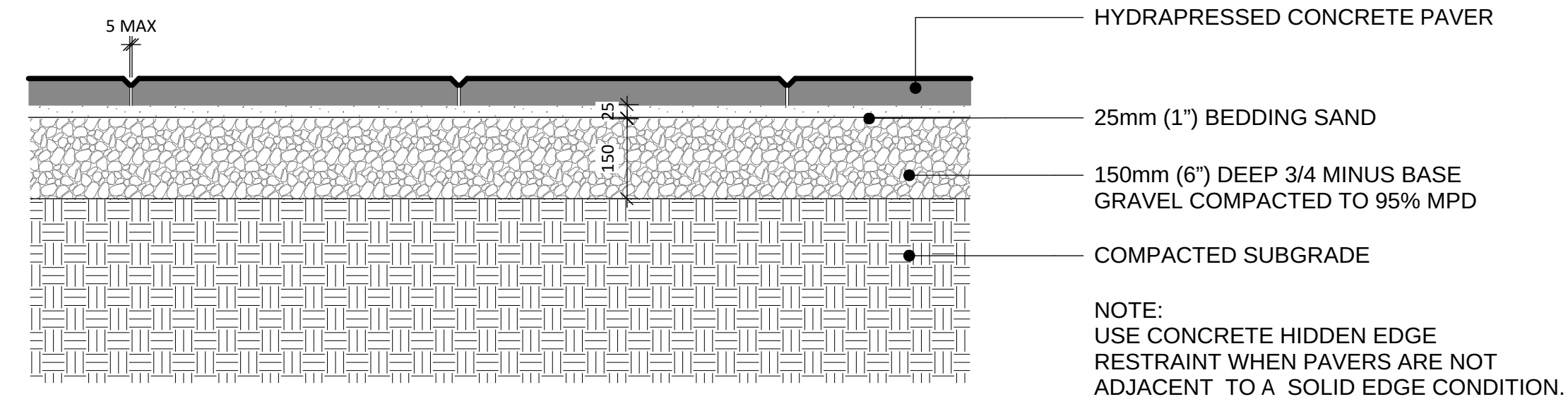
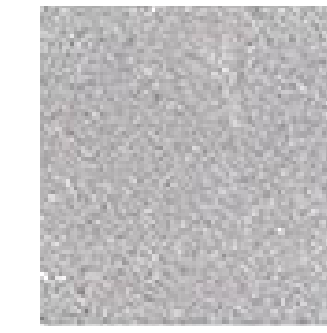


ON GRADE

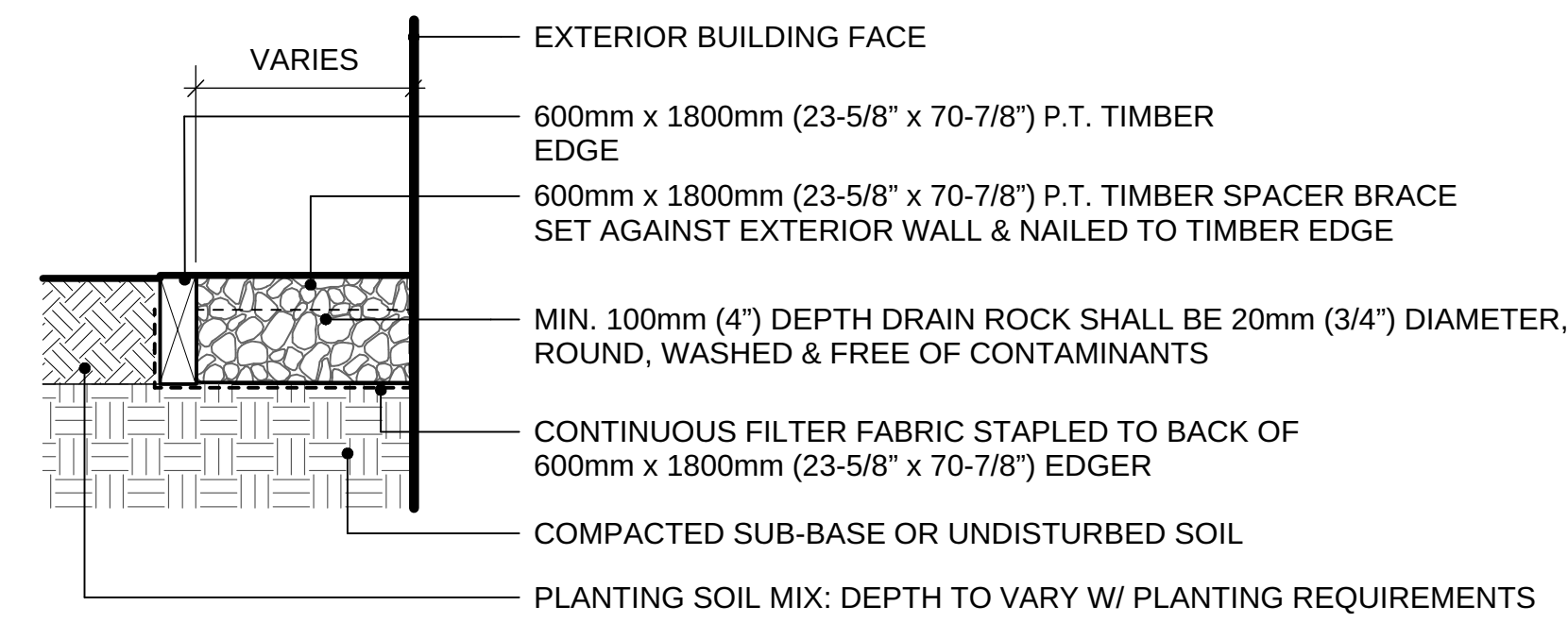
**1 PEDESTRIAN UNIT PAVING ON GRADE**  
Scale: 1:10

**TEXADA HYDRAPRESSED SLABS**  
SIZE : STANDARD SIZE 24"X24" (610MM X 610MM X 50MM)  
COLOUR : NATURAL  
PATTERN : GRID  
SUPPLIED BY ABBOTSFORD CONCRETE PRODUCTS  
1.800.663.4091

COLOR: NATURAL

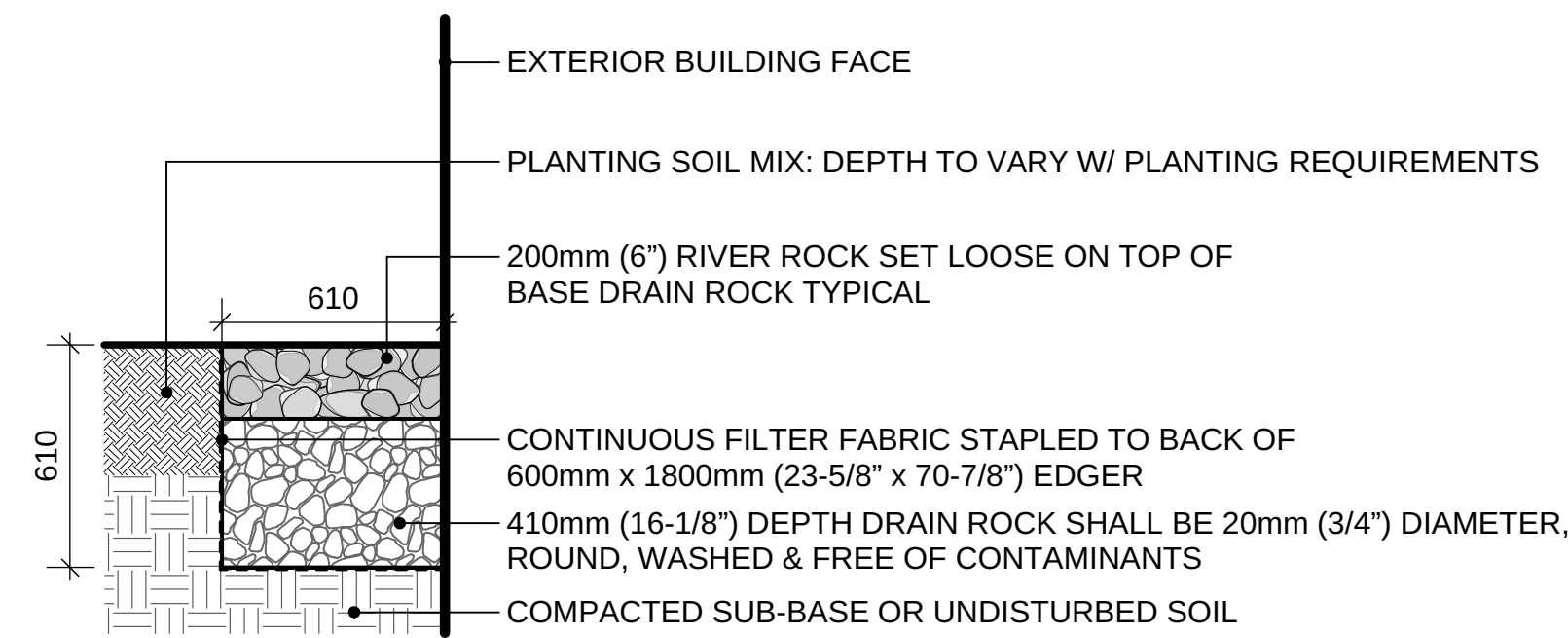


**2 HYDRAPRESSED CONCRETE PAVERS ON GRADE (TYPICAL)**  
Scale: 1:10



NOTE: ALL LUMBER SIZES ARE SHOWN AS NOMINAL

**3 GRAVEL DRAIN STRIP - ON GRADE**  
Scale: 1:10



**4 ROCK DRAIN PIT - ON GRADE**  
Scale: 1:20

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REVISIONS

PARKER  
PRESENTATION  
CENTRE

10593 - 139 ST.  
Surrey, British Columbia

Scale: \_\_\_\_\_ OWN

Drawn: \_\_\_\_\_ KW

Reviewed: \_\_\_\_\_ DS

Project No. \_\_\_\_\_ 5-577

HARDSCAPE DESIGN

7918-0159-00(K)

L4.1