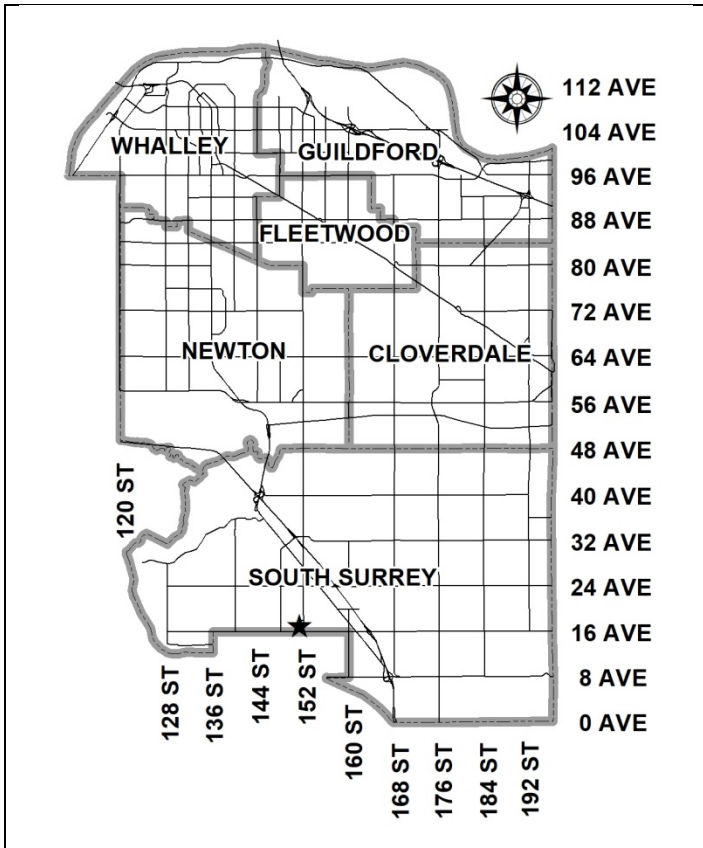


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7918-0140-00

Planning Report Date: July 9, 2018



**PROPOSAL:**

- **Development Permit**

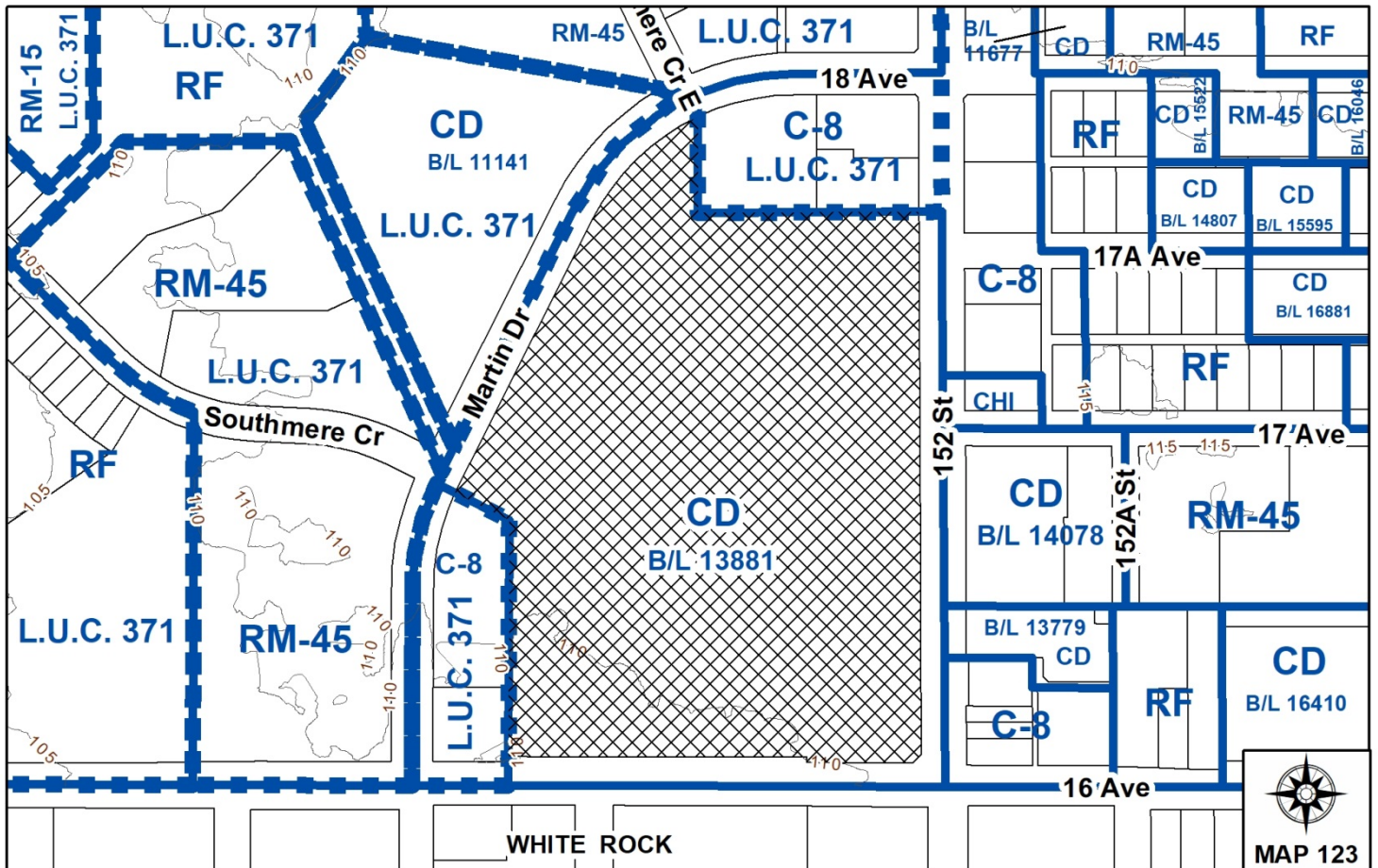
to permit interior and exterior renovations to a portion of the Semiahmoo Shopping Centre, including a sign design package with variances.

**LOCATION:** 1715 - 152 Street

**ZONING:** CD (By-law No. 13881)

**OCP DESIGNATION:** Town Centre

**TCP DESIGNATION (Stage 1):** Mixed-Use / Commercial Encouraged at Grade and Mixed-Use / Commercial Required at Grade



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing to vary the Sign By-law to permit additional fascia signs through a comprehensive sign design package.

RATIONALE OF RECOMMENDATION

- The renovations to the existing shopping centre and landscaping will modernize and enhance the overall appearance and usability of the site.

RECOMMENDATION

The Planning & Development Department recommends that Council authorize staff to draft Development Permit No. 7918-0140-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix III).

REFERRALS

**Engineering:** The Engineering Department has no requirements associated with the issuance of the proposed Development Permit.

SITE CHARACTERISTICS

**Existing Land Use:** Multi-tenant indoor shopping mall, multi-tenant commercial buildings, gas station.

Adjacent Area:

Direction	Existing Use	TCP Designation	Existing Zone
North (Across Martin Drive):	Multi-residential buildings, multi-tenant commercial buildings, and fast-food restaurant.	Multiple Residential and Town Centre / Multi-Family Residential and Mixed Use	LUC No. 371 (underlying CD Zone By-law No. 11141 and C-8 Zone)
East (Across 152 Street):	Commercial retail and service, office uses, and restaurants	Mixed Use	C-8, CHI, CD (By-law Nos. 14078 and 13779)
South (Across 16 Avenue):	Commercial buildings and multi-residential buildings (City of White Rock)	N/A	N/A
West (Across Martin Drive):	Multi-residential buildings, and commercial buildings.	Multi-Family Residential	LUC No. 371 (Underlying CD Zone By-law No. 11141 and C-8 Zone)

DEVELOPMENT CONSIDERATIONSBackground

- The subject site is designated "Town Centre" in the Official Community Plan (OCP), "Mixed Use" in the Semiahmoo Town Centre Plan, and is zoned "Comprehensive Development Zone (CD)" (By-law No. 13881), which permits commercial uses.

- The property contains the Semiahmoo Shopping Centre and multiple ground-oriented commercial buildings.
- The subject application is limited to the northern portion of Semiahmoo Shopping Centre.
- In 2014, the property owners proposed a Development Permit to renovate the northern portion of the Semiahmoo Shopping Centre (Development Application No. 7914-0136-00). The proposed renovations were for façade upgrades and the construction of roof parking above the northern portion of the building.
- At the July 28, 2014 Regular Council – Land Use meeting, Council passed Resolution R14-1513 approving the issuance of Development Permit 7914-0136-00.
- However, the proposed renovations were ultimately not pursued by the property owners after the issuance of Development Permit 7914-0136-00. The property owners indicate that they did not have all the leases secured for the tenant spaces at that time to justify the initiation of the proposed renovations. Development Permit 7914-0136-00 expired on July 28, 2016 since construction was not substantially started within two years of Development Permit issuance.
- The Development Application No. 18-0140-00 is now being pursued in order to proceed with renovations that suit the specific needs of the future tenants with secured leases in this space.

### Proposal

- The applicant is proposing a Development Permit for interior and exterior renovations for the entire northern portion and the north-east elevation of the existing Semiahmoo Shopping Centre. The Development permit includes a sign design package and variances to the Sign Bylaw.
- There is currently no proposal to renovate the remaining areas of the Semiahmoo Shopping Centre. However, in the long-term, the property owner may seek to redevelop the entire site into a comprehensive mixed-use development.
- The proposed exterior renovations include:
  - Upgrades to the north-east, north-west, and south-west building facades;
  - Improved landscaping in the walkways around the building;
  - Providing new tenant entries from the outside of the building;
  - Relocating the loading bay and garbage enclosures on the north-west elevation;
  - Constructing an uncovered outdoor play area on the roof of the building for a proposed day care centre; and
  - New identification and tenant signage.
- The proposed interior renovations include creating four CRUs and a new corridor leading to the relocated loading bay and garbage enclosure. No additional floor area is proposed under this application.

## PRE-NOTIFICATION

The property owners installed a Development Proposal sign at the 152 Street, 16 Avenue, and Martin Drive entrances to the site.

To date, staff have received correspondence from one member of the public seeking clarification for what is being proposed.

## DESIGN PROPOSAL AND REVIEW

### Building

- The existing Semiahmoo Shopping Centre building is proposed to be renovated by providing new entries on two of the facades, incorporating street edge enhancements including landscaping, lighting, benches, signage and weather protection, and adding a layering of building materials. The intent is to transform the building from its current simple and unarticulated form of blank walls into an interesting and inviting streetscape.
- The building materials and articulation are of a contemporary design. The design modernizes this portion of the building to a form and character that is more desirable in current shopping centre that utilizes outward facing store fronts rather than the inward facing malls popular at time of Semiahmoo Shopping Centre's inception.
- The proposal includes clear glazing through the provision of a storefront window system along the tenant's premise frontages which allows for sight lines from the interior to the exterior of the building. In addition to the visual aspect, this is an improvement to the existing blank brick facade with regards to Crime Prevention through Environmental Design (CPTED).
- The renovation will utilize high quality materials, which include a mixture of pre-finished metal panels painted alabaster, cadet gray, and deep back, and new and existing brick for the facades. The applicants are providing 1.8 metre (6 ft.) high fencing for mechanical screening on the roof and an additional 2.4 metre (8 ft.) high sound attenuation fence along the inside of the roof play area for the daycare.
- The design of the renovation utilizes partitions, parapets, awnings and a mixture of building materials at various heights and length that results in a visual effect of breaking up the long building elevations into smaller sections. Further, the new entries, windows, and signage provide visual focal points along the elevation.

### Landscaping

- The renovation plans includes new landscaping around the perimeter of the building and upgrades in reconfigured parking landscape islands in the northern-most portion of the parking lot.
- The landscaping plan includes a total of eight (8) 0.3 metre (1 ft.) height raised planters, five (5) along the north-east elevation and three (3) along the south-west elevation. Plantings include a variety of hardy shrubs and grasses which will be installed the new planters and the reconfigured parking landscape islands.

- Alternating bike racks, three (3) total, and benches, four (4) total, are provided between each planter. Additionally, three (3) bollards are proposed between each planter along the north-east elevation.

### Signage

- The applicant is proposing to utilize illuminated channel letters and logo fascia signs for those elevations subject to proposed Development Permit. The height of the tenant fascia signage varies from 0.6 metres (2 ft.) to 1.2 metres (4 ft.) depending on the size and location of the unit. The channel letters are to be mounted on the base building signage framework, which includes a knife plate sign frame support attached at metal panel joints. No box type signs or alterations to the existing free-standing signs on site are proposed in conjunction with this sign design package.
- The applicant proposes to vary the Sign By-law by way of a comprehensive sign package and Development Permit, to permit additional fascia signs, as described in Appendix II. The Sign By-law allows Council to vary the Sign By-law through approval of a Development Permit that contains a comprehensive sign design package.
- In addition to tenant signage for each CRU, the applicant is proposing a "Semiahmoo Shopping Centre" identification fascia sign on the north-west elevation. The sign is approximately 2.5 metres (8 ft.) high and 9.8 metres (32 ft.) wide for a total area of 24.8 square metres (267 sq. ft.).
- The applicant, through the comprehensive sign package, is proposing four stacked fascia signs in the southern-most extent of the north-west elevation for the purposes of providing exterior signage for tenants inside the mall that do not have exterior storefronts. The purpose of these signs is to help generate increased activity within the building. The signs are directed to an internal road off the 152 Street entrance of the site but do not directly interface onto 152 Street.
- The applicant advises that CRU#4, which is located on the north-east building elevation, may be demised into two tenant units in the future. If this occurs, each tenant space will be afforded a fascia sign above their premise in accordance with the Sign By-law.

**SUSTAINABLE DEVELOPMENT CHECKLIST**

The applicant prepared and submitted a sustainable development checklist for the subject site on April 12, 2018. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>• The application is located within the Semiahmoo Town Centre Plan and is consistent with the character of the surrounding areas.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>• No changes to the commercial use, density, or floor area are proposed under the subject application.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>• Recycling of a variety of material is provided for on the site.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>• The application improves upon pedestrian linkages on site, and provides for an increased number of bike racks and outdoor public seating areas.</li> <li>• The site is well served by transit.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>• The proposal implements aspects of Crime Prevention through Environmental Design (CPTED) by having exterior glazing which improves sight lines from the interior to the exterior of the building.</li> <li>• A day care centre is proposed for one of the tenant spaces.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>• No green certification being sought.</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>• No education and awareness provided with this application.</li> </ul>

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary (Confidential) and Project Data Sheets
- Appendix II. Proposed Sign By-law Variances Tables
- Appendix III. Development Permit Drawings

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Wensley Architecture Ltd. and PMG Landscape Architects, respectively, dated June 18, 2018

*original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

ARR/cm



APPENDIX I HAS BEEN  
REMOVED AS IT CONTAINS  
CONFIDENTIAL INFORMATION

## PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow a fascia sign above the roof line of CRU #1	A fascia sign shall not extend beyond the end of the building face nor above the roof line of the building face to which it is attached (Part 1, Section 6(1.3))	The sign is proportionate to the architectural wall feature at the entrance of CRU#1 which denotes the prominence of the incoming anchor tenant.
2	To allow two fascia signs to be installed on the same north-east building façade for CRU #3	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a))	CRU#3 has a premise frontage that is approximately 66 metres (216 ft.) long. The second fascia sign proposed along the north-east façade breaks up a large stretch of empty space and does not result in visual clutter.

# SEMAIHMUO MALL RENOVATION

PROJECT #18009

ISSUED FOR DEVELOPMENT PERMIT - MAY 18, 2018

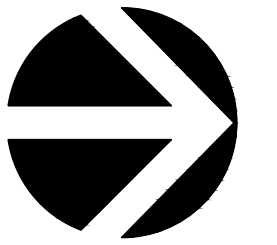
CIVIC ADDRESS: 1715 152ND STREET, SURREY BC V4A 4N3

Appendix III

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SEAL

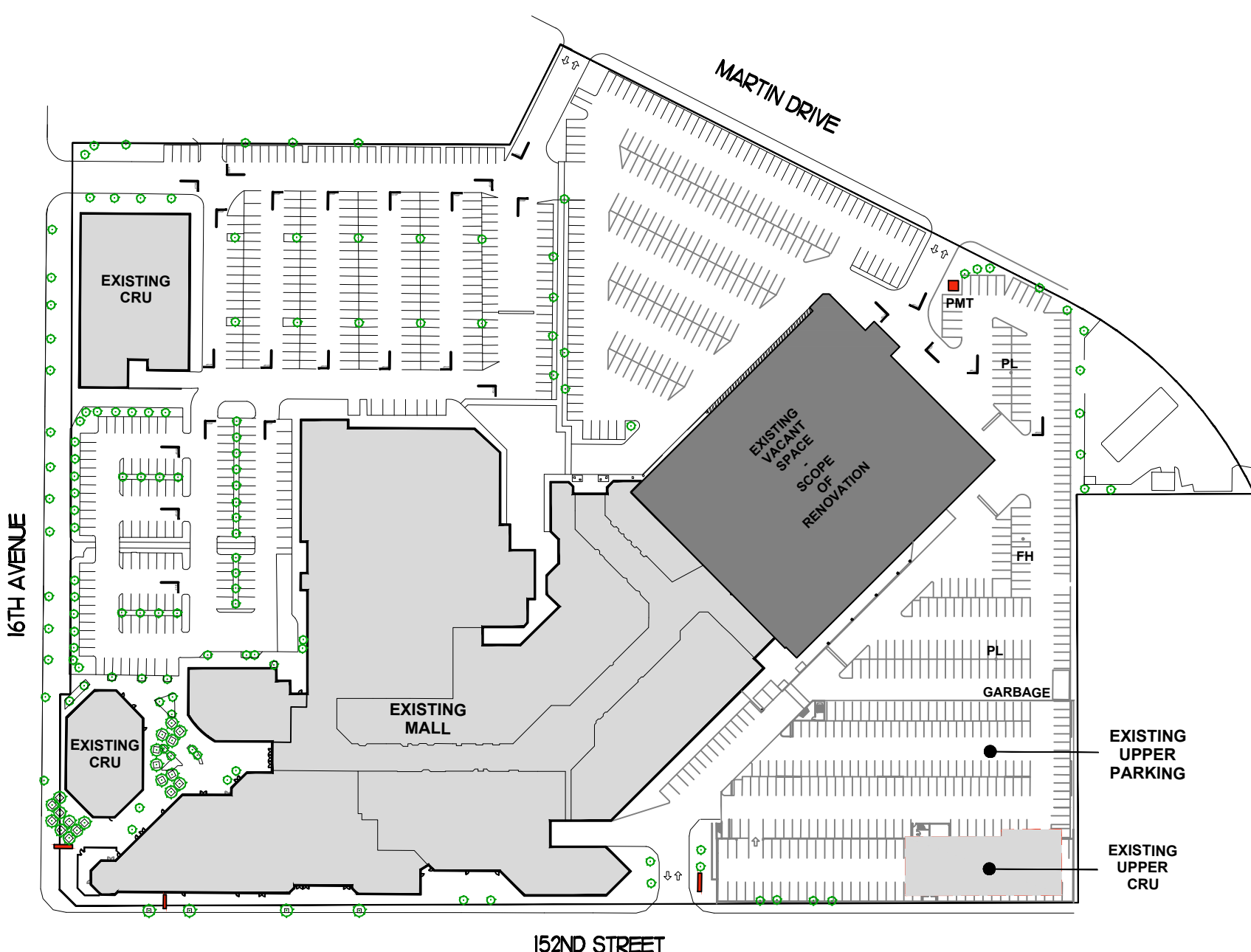
NORTH ARROW



OWNER/CLIENT



No.	Revision	M/D/Y
4	ISSUED FOR DP REVISION	5/18/18
3	ISSUED FOR DP REVISION	5/4/18
2	ISSUED FOR PRICING	4/12/18
1	ISSUED FOR DP	4/12/18
NO.	REVISION	M/D/Y



KEY PLAN  
N.T.S

### CONTACT LIST:

<b>CLIENT:</b> <b>FIRST CAPITAL REALTY</b> 85 HANNA AVENUE, SUITE 400 TORONTO, ON, M6K 3S3 TEL: 416-504-4114 FAX: 416-941-1655	<b>ELECTRICAL CONSULTANT</b> <b>KD ELECTRICAL</b> 110-2920 VIRTUAL WAY VANCOUVER, BC V5M 0C4 TEL: 604-853-8831 FAX: 604-853-1580	<b>SURVEY CONSULTANT</b> <b>MCELHANNAY</b> SUITE 2300 CENTRAL CITY TOWER 13450 -102 AVENUE SURREY, BC V3T 5X3 TEL: 604-596-0391
<b>ARCHITECT</b> <b>WENSLEY ARCHITECTURE LTD.</b> SUITE 301, 1444 ALBERNI STREET VANCOUVER, BC V6G 2Z4 TEL: 604-685-3529 FAX: 604-685-4574	<b>CIVIL CONSULTANT</b> <b>KRAHN</b> 110-2920 VIRTUAL WAY VANCOUVER, BC V5M 0C4 TEL: 604-294-6662 FAX: 604-294-6665	<b>HAZMAT CONSULTANT</b> <b>PINCHIN LTD.</b> 13775 COMMERCE PKWY SUITE 200 RICHMOND, BC V6V 2V4 TEL: 604-244-8101 FAX:
<b>STRUCTURAL CONSULTANT</b> <b>WEILER SMITH BOWERS</b> 118-3855 HENNING DRIVE BURNABY, BC V5C 6N3 TEL: 604-294-3753 FAX: 604-294-3754	<b>LANDSCAPE ARCHITECT</b> <b>PMG LANDSCAPE ARCHITECTS</b> C100 4185 STILL CREEK DRIVE BURNABY, BC V5C 6G9 TEL: 604-294-0011 FAX: 604-294-0022	
<b>MECHANICAL CONSULTANT</b> <b>KD MECHANICAL</b> 400-34077 GLADYS AVE. ABBOTSFORDS, BC V2S 2E8 TEL: 604-853-8831 FAX: 604-853-1580	<b>ENVELOPE CONSULTANT</b> <b>IREDALE ARCHITECTURE</b> 220-12 WATER ST. VANCOUVER, BC V6B 4K7 TEL: 604-736-5581 FAX:	

### DRAWING LIST:

<b>ARCHITECTURAL</b> A000 COVER SHEET A100 EXISTING SITE PLAN A101 PROPOSED SITE PLAN A102 ENLARGED SITE PLAN A103 TRUCK ROUTES A200 EXISTING FLOOR PLAN A201 EXISTING ROOF PLAN A204 PROPOSED FLOOR PLAN A205 PROPOSED ROOF PLAN A300 ELEVATIONS EXISTING A301 ELEVATIONS PROPOSED A302 ELEVATIONS PROPOSED A303 PROPOSED RENDERINGS A400 PROPOSED SECTIONS A500 BUILDING SIGNAGE	<b>LANDSCAPE</b> L1 LANDSCAPE PLAN L2 LANDSCAPE SHRUB PLAN	<b>CIVIL</b> 1 LOCATION PLAN & GENERAL NOTES 2 PRELIMINARY GRADING PLAN
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## SEMAIHMUO MALL RENOVATION

1715 152nd Street  
SURREY, B.C V4A 4N3

Vancouver + Victoria  
301 - 1444 Alberni Street, Vancouver V6G 2Z4  
T: 604 685 3529  
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**WA**  
WENSLEY ARCHITECTURE LTD

### CONSULTANTS

**STRUCTURAL:** WEILER SMITH BOWERS  
**MECHANICAL:** KRAHN MECHANICAL  
**ELECTRICAL:** KRAHN ELECTRICAL  
**CIVIL:** KRAHN CIVIL  
**LANDSCAPE:** PMG

### DRAWING TITLE:

COVER SHEET

<b>DRAWN BY:</b> RG	<b>PROJECT NO:</b> 18009
<b>CHECKED BY:</b> BW	<b>SCALE:</b>
<b>DATE:</b> MAY 2018	<b>A000</b>

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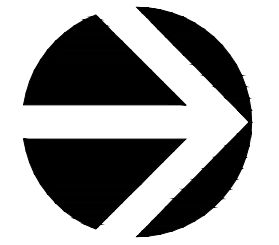
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1715 152nd STREET  
SURREY, BC V4A 4N3

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SECTION 15, TOWNSHIP 1,  
PLAN 56401, N.W.D.

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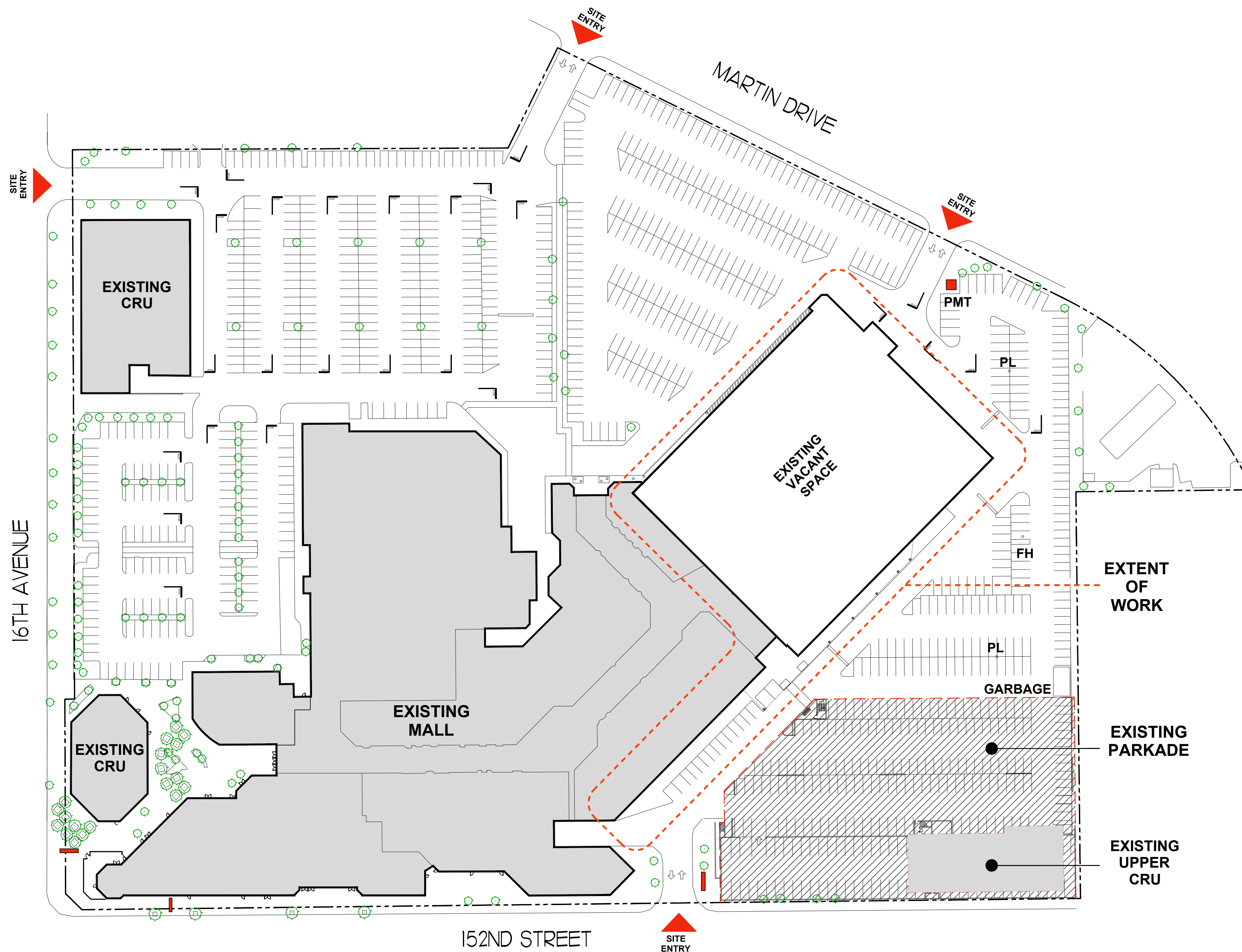
CONSULTANTS

- STRUCTURAL: WEILER SMITH BOWERS
- MECHANICAL: KRAHN MECHANICAL
- ELECTRICAL: KRAHN ELECTRICAL
- CIVIL: KRAHN CIVIL
- LANDSCAPE: PMG

DRAWING TITLE:

**EXISTING  
SITE PLAN**

DRAWN BY: RG	PROJECT NO: 18009
CHECKED BY: BW	SCALE: 1'-0"=1/64"
DATE: MAY 2018	<b>A100</b>



**1** EXISTING SITE PLAN  
1'-0"=1/64"

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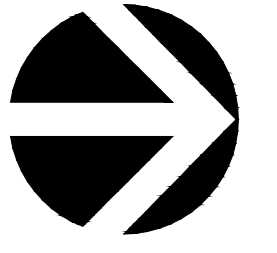
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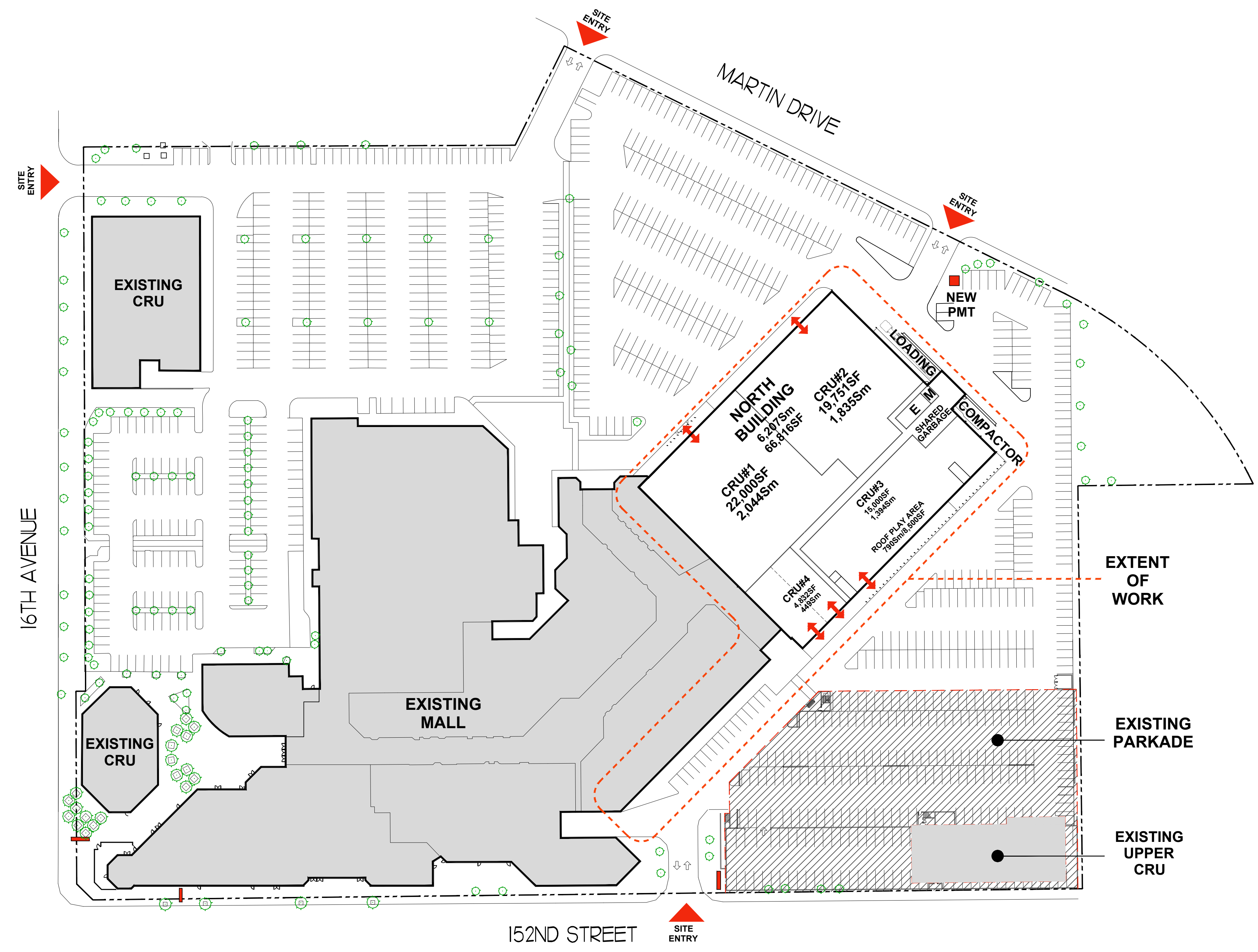
CONSULTANTS

STRUCTURAL: WEILER SMITH BOWERS  
MECHANICAL: KRAHN MECHANICAL  
ELECTRICAL: KRAHN ELECTRICAL  
CIVIL: KRAHN CIVIL  
LANDSCAPE: PMG

DRAWING TITLE:

**PROPOSED  
SITE PLAN**

DRAWN BY: RG	PROJECT NO: 18009
CHECKED BY: BW	SCALE: 1'-0"=1/64"
DATE: MAY 2018	<b>A101</b>



**1 PROPOSED SITE PLAN**  
1'-0"=1/64"

**GENERAL CONSTRUCTION NOTES**

1. ALL WORK SHALL CONFORM WITH THE BRITISH COLUMBIA BUILDING CODE 2012.
2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION.
3. DISCREPANCIES FOUND ON THESE PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO WORK COMMENCING.
4. REFER TO CODE DRAWINGS FOR ALL RATINGS.
5. WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE CODE REQUIREMENTS AND HANDICAPPED ACCESSIBILITY REQUIREMENTS IN EFFECT AT THE TIME OF SUBMITTAL FOR BUILDING PERMITS.
6. CONTRACTOR(S) ARE RESPONSIBLE FOR OBTAINING EACH REQUIRED PERMIT. ITEMS SHOWN AS N.I.C. ON PLANS MAY REQUIRE SEPARATE SUBMITTALS TO BUILDING DEPT. FOR APPROVALS AND PERMITS.
7. ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS, ETC. LOCATED IN RATED PARTITIONS SHALL BE BACKED WITH DRYWALL AS REQUIRED TO MAINTAIN RATING.
8. CONTRACTOR TO VERIFY WALL THICKNESS REQUIRED FOR ALL ELECTRICAL PANELS, FIRE EXTINGUISHER CABINETS, ETC.
9. PROVIDE 1 LAYER OF CONTINUOUS BUILDING PAPER DAMP PROOFING COURSE TO U/S OF ALL INTERIOR METAL STUD PARTITIONS AND METAL STUD WALLS (TYPICAL).
10. ALL COLUMN LINES SHOWN ON FLOOR PLANS WILL HAVE COLUMN LINE INDICATOR BUBBLES SHOWN ON THEM. THESE BUBBLES ARE FOR REFERENCE ONLY. THE COLUMNS ARE NUMBERED ON THE STRUCTURAL DRAWINGS.
11. CONTRACTOR SHALL VERIFY ALL EQUIPMENT LOCATIONS AND DIMENSIONS AND REQUIRED CLEARANCES OF ALL EQUIPMENT.
12. ALL SYMBOLS, ABBREVIATIONS, AND NOTES MARKED "TYPICAL" OR "TYP." SHALL APPLY IN ALL SIMILAR CIRCUMSTANCES, UNLESS OTHERWISE NOTED. THESE DRAWINGS DO NOT CONTAIN INFORMATION WITH REGARD TO CONSTRUCTION SAFETY PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION SAFETY AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH PROVINCE AND/OR NATIONAL CONSTRUCTION SAFETY GUIDELINES.
13. NO CHANGES TO THESE DOCUMENTS EITHER IN WHOLE OR IN PART, MAY BE MADE WITHOUT THE KNOWLEDGE AND WRITTEN CONSENT OF THE ARCHITECT.
14. SOME WORK SHALL BE DONE IN OCCUPIED SPACE. CONTRACTOR SHALL TAKE EVERY PRECAUTION TO MINIMIZE THE TRAVEL OF DUST AND DIRT FROM THE CONSTRUCTION AREA TO ADJACENT SPACES.
15. TEMPORARY DUST PROTECTION SHALL BE COORDINATED.
16. CONTRACTOR SHALL TAKE EVERY PRECAUTION TO MINIMIZE DISRUPTION IN OCCUPIED SPACES. SEQUENCING OF SCHEDULES SHALL BE REVIEWED WITH OWNER PRIOR TO BEGINNING WORK.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND CONTINUOUS MAINTENANCE OF ALL WORK FROM DAMAGE AND SHALL PROTECT THE OWNER'S PROPERTY FROM DAMAGE OR LOSS BY DUST, DIRT, WATER, FIRE, THEFT OR ANY OTHER PHYSICAL DAMAGE IN CONNECTION WITH THE CONTRACT.
18. ALL MATERIAL AND ITEMS REMOVED BY THE CONTRACTOR BECOME HIS PROPERTY AND ARE TO BE REMOVED FROM THE SITE IN CLOSED CONTAINERS ON A DAILY BASIS OR IN A MANNER ACCEPTABLE TO THE OWNER.
19. MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN, KEEP IN SERVICE AND PROTECT AGAINST DAMAGE DURING ALL WORK.
20. CONTRACTOR SHALL COORDINATE CONSTRUCTION AROUND EXISTING EQUIPMENT TO REMAIN WITH OWNER.
21. KEEP CLEAN ALL AREAS AND SPACES USED TO ACCESS WORK AREAS WITHIN CONTRACT LIMITS AND BROOM CLEAN TWICE DAILY AT A MINIMUM.
22. CONTRACTOR SHALL PROVIDE FIRE RETARDANT DUST MATES AT ALL EXITS AND ENTRANCES TO SPACES UNDER CONSTRUCTION AND COORDINATE WITH OWNER.
23. THE ARCHITECT SHALL HAVE NO RESPONSIBILITY OF THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, DISPOSAL, OR EXPOSURE OF PEOPLE TO HAZARDOUS MATERIALS IN ANY FORM, INCLUDING BUT NOT LIMITED TO, ASBESTOS PRODUCTS.
24. ALL PENETRATIONS IN RATED ASSEMBLIES, WHETHER NEW OR EXISTING SHALL BE SEALED WITH ULC APPROVED MATERIALS AND PROCEDURES.
25. DOOR, WINDOW AND STOREFRONT OPENINGS IN PLAN ARE ROUGH/MASONRY OPENINGS. REFER TO DOOR, WINDOW AND STOREFRONT SCHEDULES FOR ACTUAL FRAME DIMENSIONS.
26. ALL TENANT SIGNAGE SHOWN IS NOT A PART OF THIS WORK (N.I.C.) AND REQUIRES A SEPARATE PERMIT AND APPROVAL PRIOR TO CONSTRUCTION.
27. ALL BUILDING HEIGHTS AND ELEVATIONS SHALL BE MEASURED FROM FINISH FLOOR UNLESS OTHERWISE NOTED.
28. PROVIDE AND INSTALL BACKING AS REQUIRED AT ALL INDICATED FIXTURE, SIGN, HAND RAILING, ETC.
29. GC TO READ THESE PLANS IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS.
30. ALL DIMENSIONS ARE TO FACE OF STEEL STUDS U.N.O.

**GENERAL DEMOLITION NOTES**

1. EXAMINE ADJACENT STRUCTURES AND THEIR INSTALLATIONS PRIOR TO COMMENCEMENT OF DEMOLITION AND REMOVALS WORK.
2. PAY PARTICULAR ATTENTION TO PREVENTION OF FIRE AND ELIMINATION OF FIRE HAZARDS WHICH WOULD ENDANGER WORK OR ADJACENT STRUCTURES AND PREMISES.
3. SUPPLY, INSTALL AND MAINTAIN LEGAL AND NECESSARY BARRICADES, GUARDS, RAILINGS, LIGHTS, WARNING SIGNS, SECURITY PERSONNEL AND OTHER SAFETY MEASURES, AND FULLY PROTECT PERSONS AND PROPERTY.
4. PERFORM DEMOLITION WITH EXTREME CARE - CONFINE EFFECTS OF DEMOLITION TO THOSE PARTS WHICH ARE TO BE DEMOLISHED.
5. PERFORM WORK AND PREVENT INCONVENIENCE TO PERSONS OUTSIDE THOSE PARTS WHICH ARE TO BE DEMOLISHED.
6. CARRY OUT DEMOLITION IN ACCORDANCE WITH THE REQUIREMENTS OF CSA 5150-M.
7. DO NOT OVERLOAD FLOOR OR WALL WITH ACCUMULATIONS OF MATERIAL OR DEBRIS OR OTHER LOADS.
8. AT END OF DAY'S WORK, LEAVE WORK IN SAFE CONDITION WITH NO PART IN DANGER OF TOPPLING OR FALLING.
9. DISCREPANCIES FOUND ON THESE PLANS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO WORK COMMENCING.

**DISPOSAL OF MATERIALS**

1. REMOVE FROM SITE, RUBBLE, DEBRIS, AND OTHER MATERIALS RESULTING FROM DEMOLITION AND REMOVALS WORK IN ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION, EXCEPT WHERE SPECIFIED OR INDICATED ON CONTRACT DRAWINGS TO BE REUSED.
2. CONFORM TO REQUIREMENTS OF MUNICIPALITY'S WORKS DEPARTMENT REGARDING DISPOSAL OF WASTE MATERIALS.
3. MATERIALS PROHIBITED FROM MUNICIPALITY WASTE MANAGEMENT FACILITIES SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT RECYCLING COMPANIES SPECIALIZING IN RECYCLABLE MATERIALS.

**ARCHITECTURAL DEMOLITION NOTES**

1. INTERIOR COLUMNS TO REMAIN. REMOVE ANY CLADDING.
2. ANY SLAB DEPRESSIONS OR HOLES ARE TO BE FILLED TO FLUSH LEVEL.
3. ALL OSB TO REMAIN ALONG WITH DECKING.
4. EXISTING CRU INTERIOR WALLS, FIXTURES, FINISHES, LIGHTING, CEILING, PLUMBING AND EQUIPMENT TO BE DEMOLISHED U.N.O.
5. ALL EXISTING FLOOR FINISHES AND GUE TO BE REMOVED, MAKE FLOOR LEVEL FOR NEW FLOORING.
6. ALL EXTERIOR LIGHTING, SPRINKLERS AND VENTS ARE TO BE REMOVED.
7. EXTERIOR CANOPIES AND COLUMNS TO BE FULLY REMOVED.
8. CAP EXISTING EXTERIOR SPRINKLER SYSTEM PRIOR TO REMOVAL.
9. EXISTING SIDEWALKS TO REMAIN, PATCH & REPAIR WHERE REQUIRED.
10. ALL EXISTING EXTERIOR DOORS AND ROOF HATCHES TO BE REMOVED.
11. ALL OPENINGS IN EXISTING ROOF DECKING TO BE INFILL AS REQUIRED.

**STRUCTURAL DEMOLITION NOTES**

1. INTERIOR COLUMNS TO REMAIN. REMOVE ANY CLADDING.
2. ALL COLUMNS LOCATED WITHIN DEMISING WALLS OR EXTERIOR WALLS ARE TO REMAIN.
3. ALL OSB TO REMAIN ALONG WITH DECKING.

**MECHANICAL DEMOLITION NOTES**

1. ALL DUCTWORK TO BE REMOVED ALONG WITH ALL R/F'S.
2. ALL INTERIOR PLUMBING TO BE CARPED OFF AT SLAB LEVEL.
3. ALL ITEMS ON ROOF TO BE REMOVED.
4. EXISTING INTERIOR RAIN WATER LEADERS TO REMAIN.

**SPRINKLER DEMOLITION NOTES**

1. ALL EXISTING SPRINKLER LINES ARE TO REMAIN.
2. ALL EXISTING SPRINKLER HEADS ARE TO BE MODIFIED TO SUITE OPEN SHELL SPACE AS PER LOCAL CODE REQUIREMENTS. CRU #1 TO HAVE HEADS TURNED DOWN FOR CLOSED CEILING PLAN OF TL. SPRINKLER LAYOUT TO FOLLOW TL PLANS.

**ELECTRICAL DEMOLITION NOTES**

1. ALL EXISTING INTERIOR ELECTRICAL EQUIPMENT AND LIGHTING TO BE REMOVED.
2. ALL EXISTING ELECTRICAL PANELS ARE TO BE MADE SAFE AFTER REMOVAL.
3. EXISTING FIRE ALARM TO REMAIN.

**SITE DATA**

LEGAL DESCRIPTION:  
LOT 2 OF S.E. QUARTER OF SECTION 15, TOWNSHIP 1, PLAN 56401, N.W.D.

SITE AREA:  
18.03 ACRES  
6,778.65 SM  
72,964.82 SF

SETBACKS:  
EXISTING TO REMAIN

LOT COVERAGE:  
EXISTING 26.60%  
PROPOSED 26.59%

**SITE AREAS**

EXISTING:  
MALL & PADS 19,288 SM/  
207,611 SF

FORMER  
ZELLERS 6,202 SM/  
66,758 SF

TOTAL 25,490 SM/  
274,369 SF

PROPOSED:  
MALL & PADS 19,288 SM/  
207,611 SF

RENOVATED  
CRU 6,207 SM (+5)/  
66,816 SF (+58)

TOTAL 25,495 SM/  
274,427 SF

**PARKING**

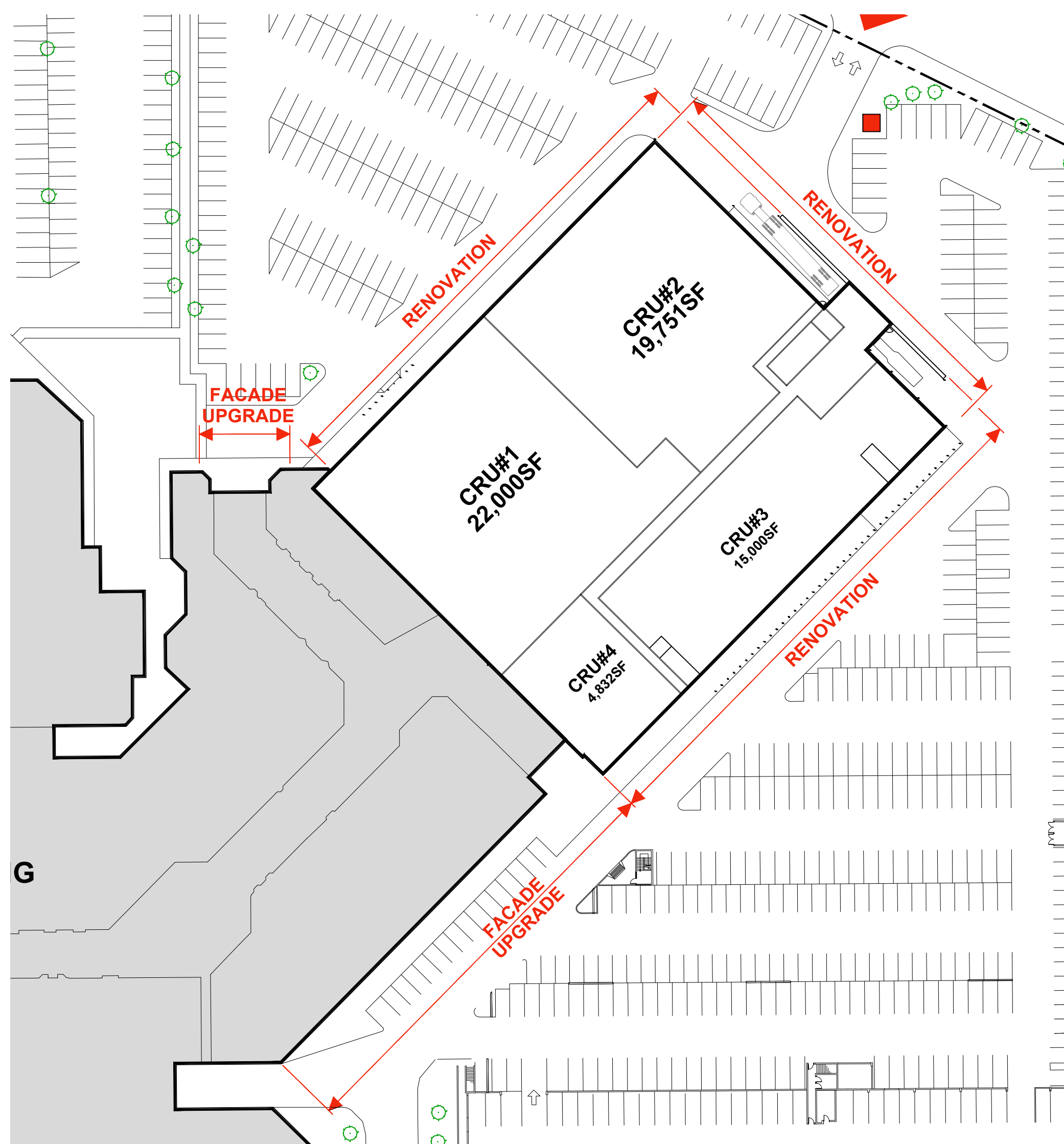
EXISTING:  
1,240 STALLS / REQUIRED 657  
4.52 RATIO

PROPOSED:  
1,238 STALLS / REQUIRED 809  
4.51 RATIO

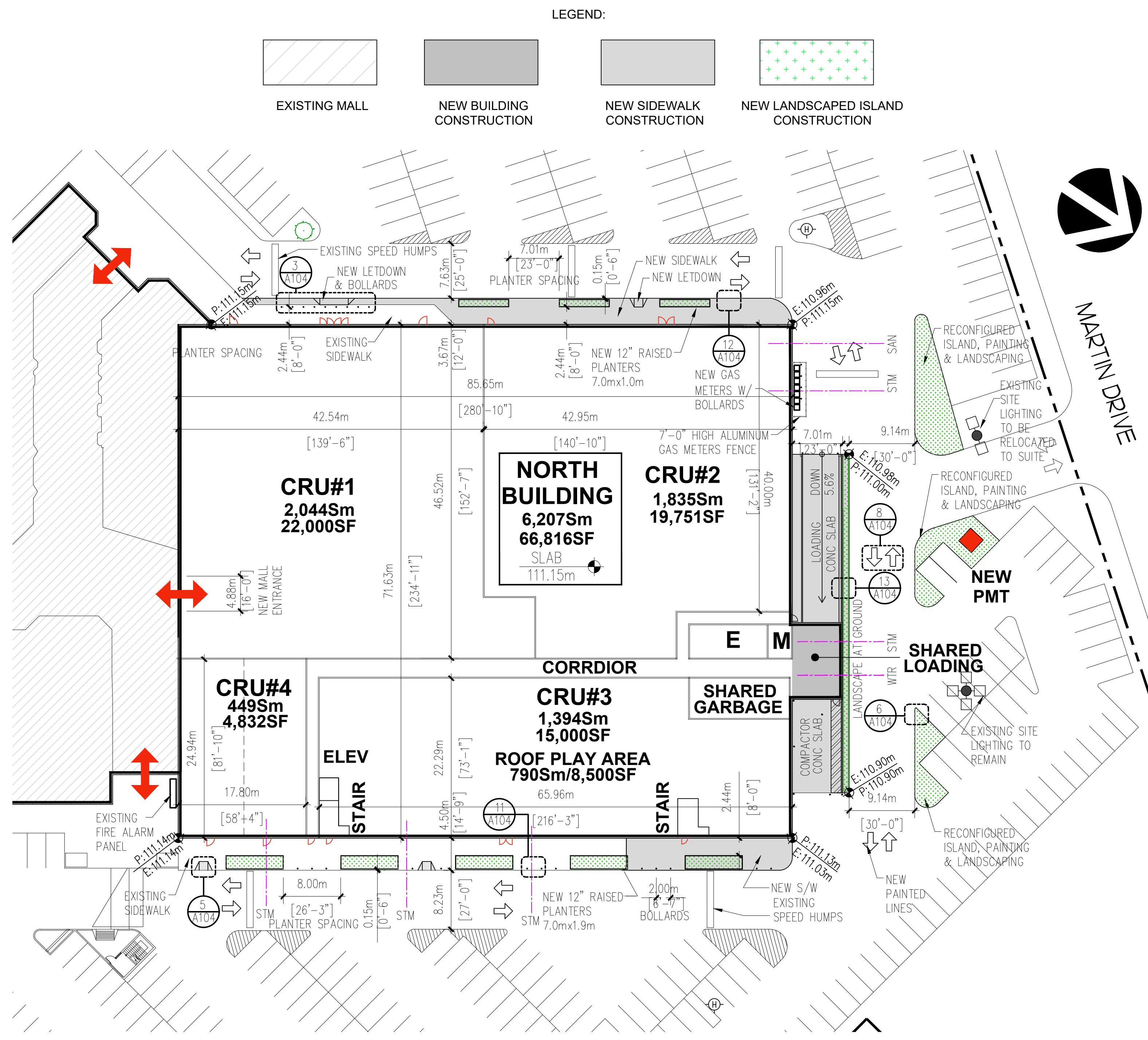
\*SEE PARKING ANALYSIS FOR  
BREAKDOWN  
OF MALL USES AND PARKING  
REQUIREMENTS

**SITE PLAN NOTES:**

1. REFER TO CIVIL DRAWINGS FOR GRADING PLAN
2. REFER TO LANDSCAPE PLANS FOR LANDSCAPING, SITE ITEM DETAILS AND LOCATIONS (SUCH AS BINS, BIKE RACKS & BENCHES) AND IRRIGATION
3. REFER TO CIVIL FOR LINE PAINTING
4. REFER TO ELECTRICAL FOR NEW PMT
5. REFER TO MECHANICAL FOR IRRIGATION AND GAS METERS



WORK DESCRIPTIONS



1 ENLARGED SITE PLAN  
1'-0"=1/32"

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SEAL

NORTH ARROW

OWNER/CLIENT



No.	Revision	M/D/Y
4	ISSUED FOR DP REVISION	5/4/18
3	ISSUED FOR DP REVISION	5/4/18
2	ISSUED FOR PRICING	4/12/18
1	ISSUED FOR DP	4/12/18
NO.	REVISION	M/D/Y

**SEMAIHMUO MALL RENOVATION**  
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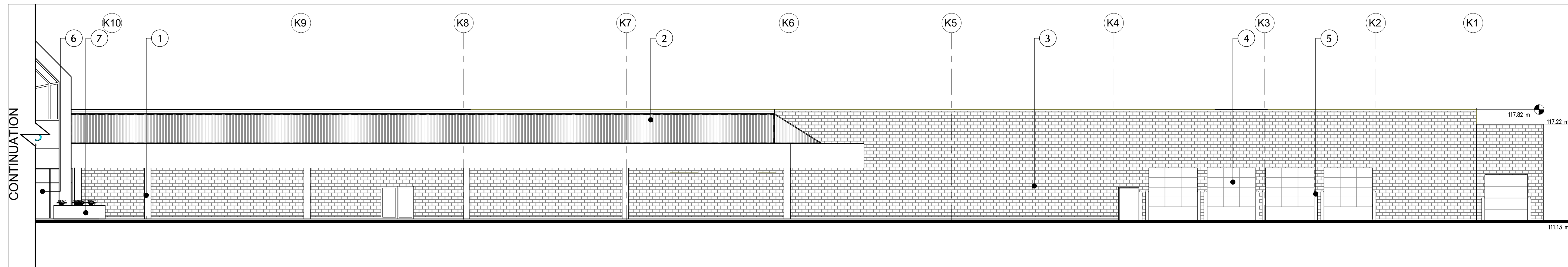
CONSULTANTS

- STRUCTURAL: WEILER SMITH BOWERS  
MECHANICAL: KRAHN MECHANICAL  
ELECTRICAL: KRAHN ELECTRICAL  
CIVIL: KRAHN CIVIL  
LANDSCAPE: PMG

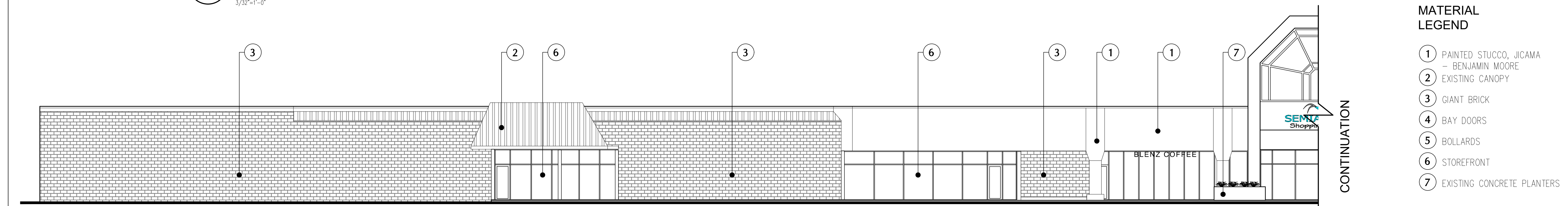
DRAWING TITLE:

**ENLARGED SITE PLAN**

DRAWN BY: RG	PROJECT NO: 18009
CHECKED BY: BW	SCALE: 1'-0"=1/32"
DATE: JUNE 2018	<b>A102</b>



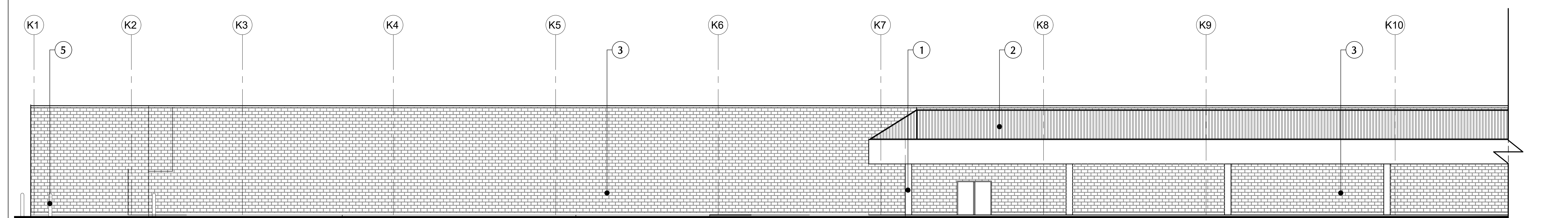
1 EXISTING NORTH EAST ELEVATION  
3/32"=1'-0"



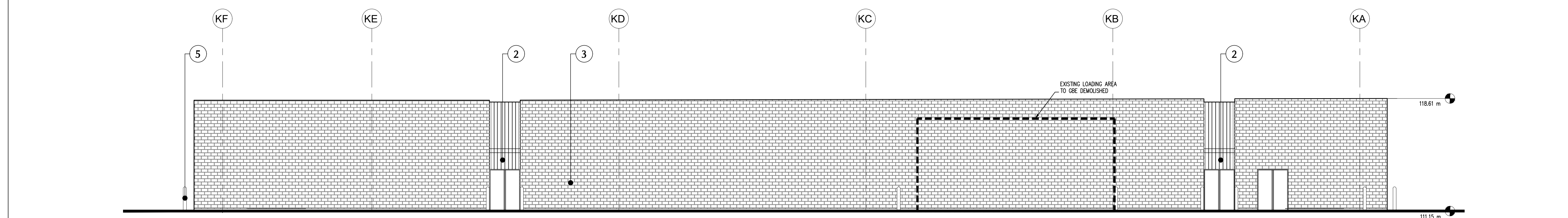
2 EXISTING NORTH EAST ELEVATION  
3/32"=1'-0"

**MATERIAL LEGEND**

- 1 PAINTED STUCCO, JICAMA - BENJAMIN MOORE
- 2 EXISTING CANOPY
- 3 GIANT BRICK
- 4 BAY DOORS
- 5 BOLLARDS
- 6 STOREFRONT
- 7 EXISTING CONCRETE PLANTERS



3 EXISTING SOUTH WEST ELEVATION  
3/32"=1'-0"



4 EXISTING NORTH WEST ELEVATION  
3/32"=1'-0"

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No.	Revision	M/D/Y
1	ISSUED FOR DP REVISION	5/18/18
NO.	REVISION	M/D/Y

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CONSULTANTS

STRUCTURAL: WEILER SMITH BOWERS

MECHANICAL: KRAHN MECHANICAL

ELECTRICAL: KRAHN ELECTRICAL

CIVIL: KRAHN CIVIL

LANDSCAPE: PMG

DRAWING TITLE:

**ELEVATIONS EXISTING**

DRAWN BY: HS	PROJECT NO: 18009
CHECKED BY: BW	SCALE: 3/32" = 1'-0"
DATE: MAY 2018	<b>A300</b>

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No.	Revision	M/D/Y
3	ISSUED FOR DP REVISION	5/4/18
2	ISSUED FOR PRICING	4/12/18
1	ISSUED FOR DP	4/12/18
NO.	REVISION	M/D/Y

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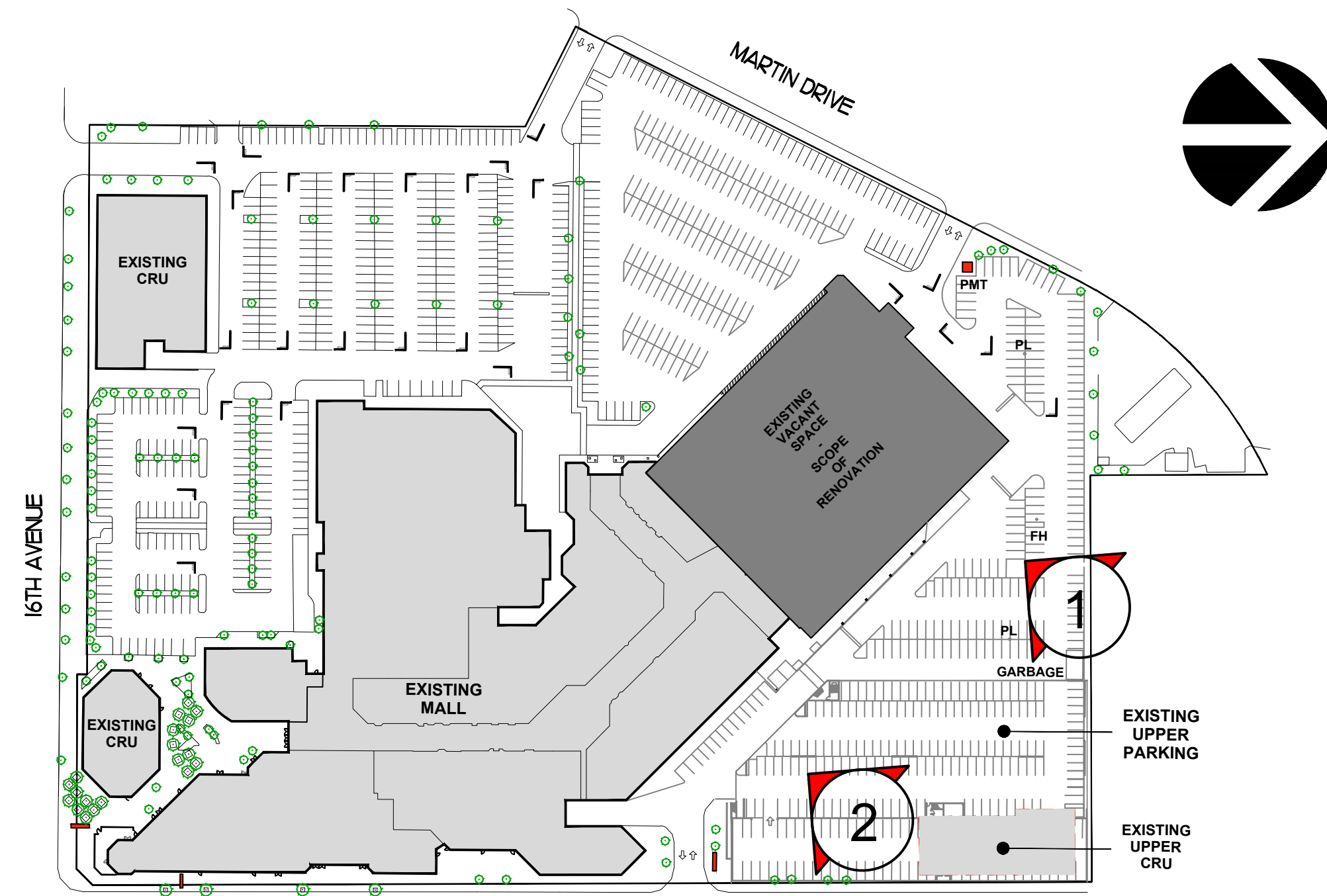


**CONSULTANTS**  
**STRUCTURAL:** WEILER SMITH BOWERS  
**MECHANICAL:** KRAHN MECHANICAL  
**ELECTRICAL:** KRAHN ELECTRICAL  
**CIVIL:** KRAHN CIVIL  
**LANDSCAPE:** PMG

**DRAWING TITLE:**  
**ELEVATIONS**  
**PROPOSED**  
**COLOUR**

DRAWN BY: HS	PROJECT NO: 18009
CHECKED BY: BW	SCALE: 3/32" = 1'-0"
DATE: JUNE 2018	<b>A302</b>

NOTE: REFER TO SHEET A304 FOR SIGN DRAWING AND DETAILS.

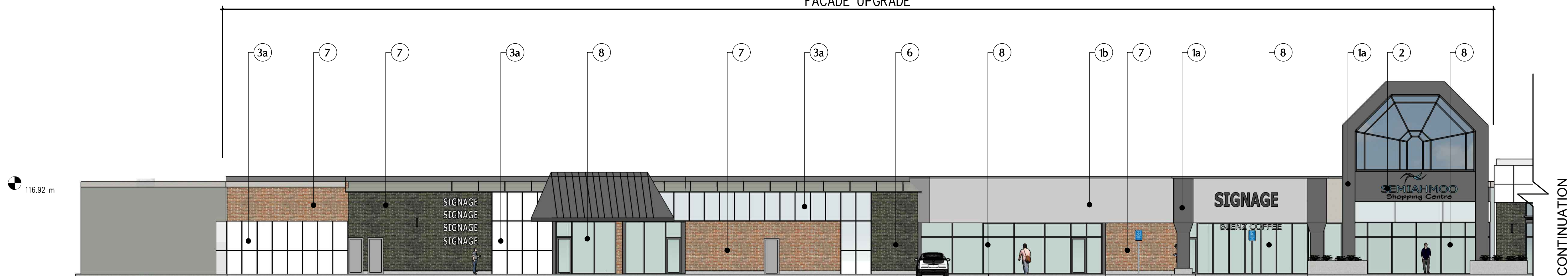


**A KEY PLAN**  
 N.T.S.

**MATERIAL LEGEND**

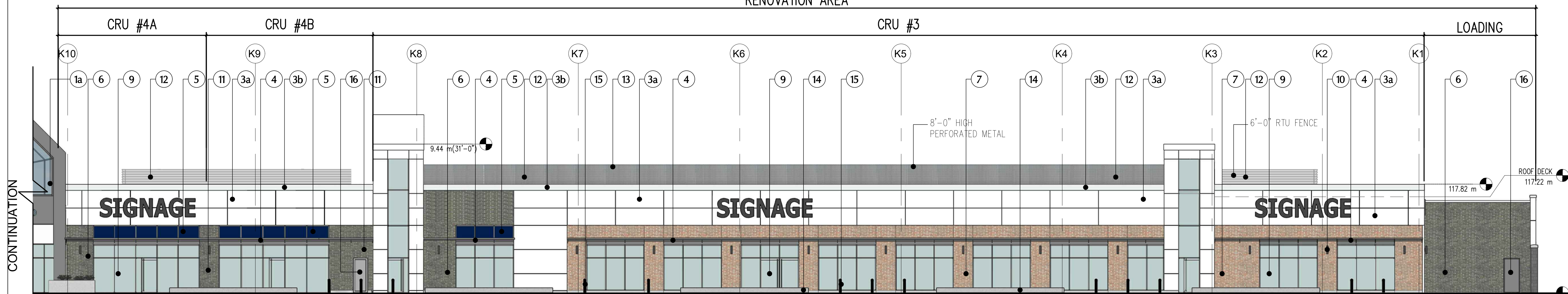
- 1a NEW PAINT ON EXISTING STUCCO - SILHOUETTE, BENJAMIN MOORE
- 1b NEW PAINT ON EXISTING STUCCO - WISH, BENJAMIN MOORE
- 2 EXISTING SIGNAGE
- 3a PREFINISHED METAL PANEL NEW - ALABASTER, ALUCOBOND
- 3b PREFINISHED METAL PANEL NEW - CADET GRAY, ALUCOBOND
- 3c PREFINISHED METAL PANEL NEW - CADET GRAY, ALUCOBOND
- 4a PREFINISHED METAL PANEL NEW - GREY - M-115 PPG SILVERSMITH
- 4b PREFINISHED METAL PANEL NEW - DEEP BLACK - REYNOBOND, COLORWELD 500 SERIES ONE
- 5 SPANDREL NEW
- 6 EXISTING PAINTED - SHARKSKIN, BENJAMIN MOORE
- 7 EXISTING BRICK PAINTED - CLEAR COAT, BENJAMIN MOORE
- 8 STOREFRONT- EXISTING
- 9 STOREFRONT- NEW, DOUBLE GLAZED, THERMALLY BROKEN WITH ANODIZED ALUM FRAMES
- 10 EXTERIOR LIGHTS- NEW
- 11 NEW BRICK
- 12 NEW RTU FENCE, PAINTED HORIZONTAL STEEL FENCE BY TENANT
- 13 12" HIGH CONCRETE PLANTERS
- 14 12" HIGH CONCRETE PLANTERS
- 15 PROTECTIVE BOLLARDS, ARCHITECTURAL BLACK METAL EXIT DOORS, PAINTED TO MATCH ADJACENT COLOR
- 16 NEW CONCRETE BLOCK WALL, GRAPHITE, BENJAMIN MOORE

**FACADE UPGRADE**



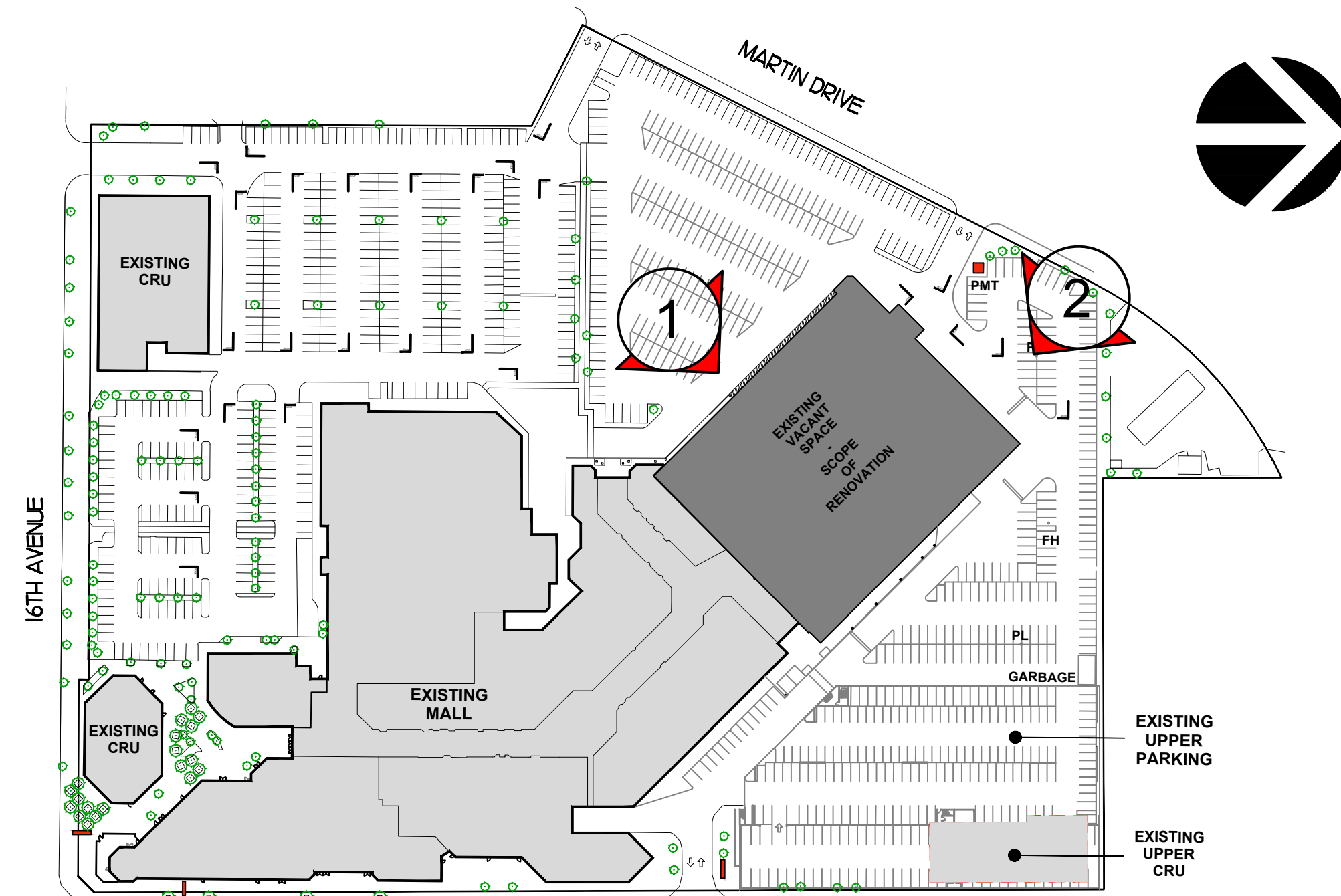
**1 PROPOSED NORTH EAST ELEVATION**  
 1/16"=1'-0"

**RENOVATION AREA**



**2 PROPOSED NORTH EAST ELEVATION**  
 1/16"=1'-0"





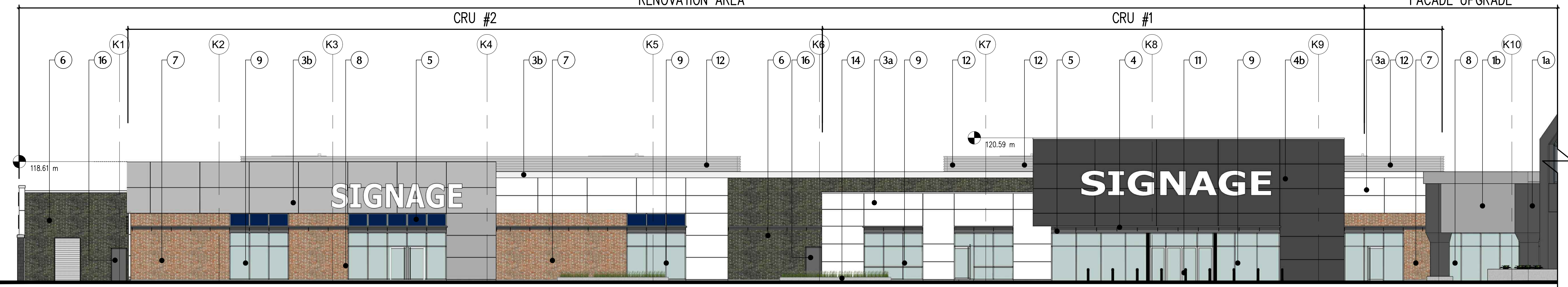
A KEY PLAN  
N.T.S.

NOTE: REFER TO SHEET A304 FOR SIGN DRAWING AND DETAILS.

MATERIAL LEGEND

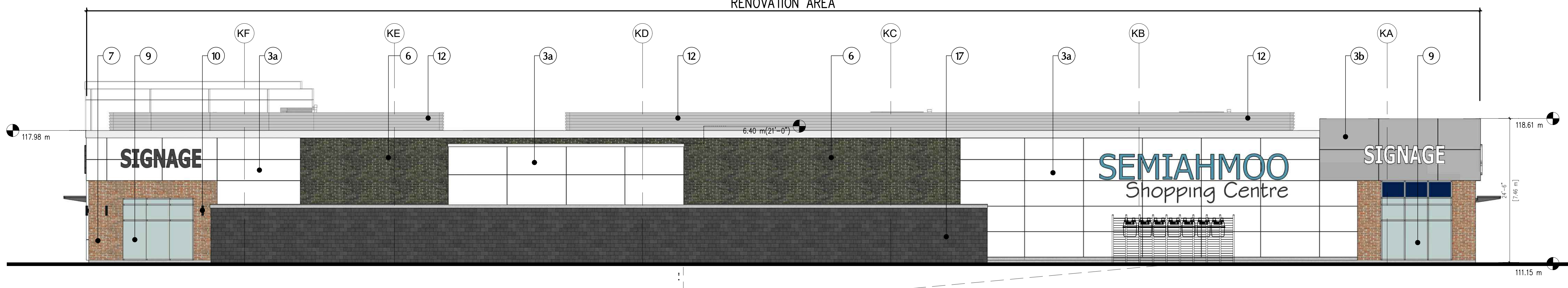
- 1a NEW PAINT ON EXISTING STUCCO – SILHOUETTE, BENJAMIN MOORE
- 1b NEW PAINT ON EXISTING STUCCO – WISH, BENJAMIN MOORE
- 2 EXISTING SIGNAGE
- 3a PREFINISHED METAL PANEL NEW – ALABASTER, ALUCOBOND
- 3b PREFINISHED METAL PANEL NEW – CADET GRAY, ALUCOBOND
- 4a PREFINISHED METAL PANEL NEW – GREY – M-115 PPG SILVERSMITH
- 4b PREFINISHED METAL PANEL NEW – DEEP BLACK – REYNOBOND, COLORWELD 500 SERIES ONE
- 5 SPANDREL NEW
- 6 EXISTING PAINTED – SHARKSKIN, BENJAMIN MOORE
- 7 EXISTING BRICK PAINTED – CLEAR COAT, BENJAMIN MOORE
- 8 STOREFRONT- EXISTING
- 9 STOREFRONT- NEW, DOUBLE GLAZED, THERMALLY BROKEN WITH ANODIZED ALUM FRAMES
- 10 EXTERIOR LIGHTS- NEW
- 11 NEW BRICK
- 12 NEW RTU FENCE, PAINTED HORIZONTAL STEEL FENCE BY TENANT
- 13 12" HIGH CONCRETE PLANTERS
- 15 PROTECTIVE BOLLARDS, ARCHITECTURAL BLACK
- 16 METAL EXIT DOORS, PAINTED TO MATCH ADJACENT COLOR
- 17 NEW CONCRETE BLOCK WALL, GRAPHITE, BENJAMIN MOORE

RENOVATION AREA



1 PROPOSED SOUTH WEST ELEVATION  
1/16"=1'-0"

RENOVATION AREA

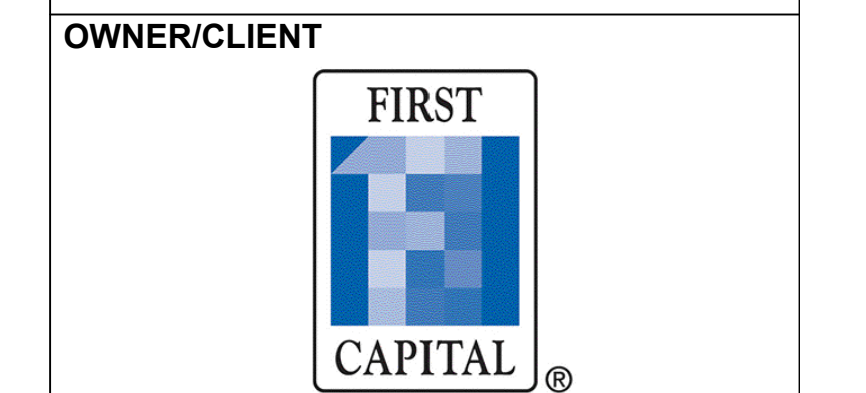


2 PROPOSED NORTH WEST ELEVATION  
1/16"=1'-0"

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SEAL

NORTH ARROW



No.	Revision	M/D/Y
4	ISSUED FOR DP REVISION	5/4/18
3	ISSUED FOR DP REVISION	5/4/18
2	ISSUED FOR PRICING	4/12/18
1	ISSUED FOR DP	4/12/18
NO.	REVISION	M/D/Y

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WENSLEY ARCHITECTURE LTD

CONSULTANTS  
STRUCTURAL: WEILER SMITH BOWERS  
MECHANICAL: KRAHN MECHANICAL  
ELECTRICAL: KRAHN ELECTRICAL  
CIVIL: KRAHN CIVIL  
LANDSCAPE: PMG

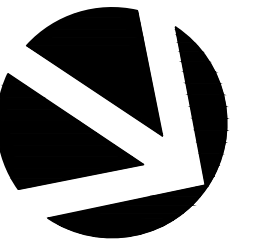
DRAWING TITLE:  
**ELEVATIONS PROPOSED**

DRAWN BY: HS	PROJECT NO: 18009
CHECKED BY: BW	SCALE: 3/32" = 1'-0"
DATE: JUNE 2018	<b>A302</b>

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No.	Revision	M/D/Y
4	ISSUED FOR DP REVISION	5/18/18
3	ISSUED FOR DP REVISION	5/4/18
2	ISSUED FOR PRICING	4/12/18
1	ISSUED FOR DP	4/12/18
NO.	REVISION	M/D/Y

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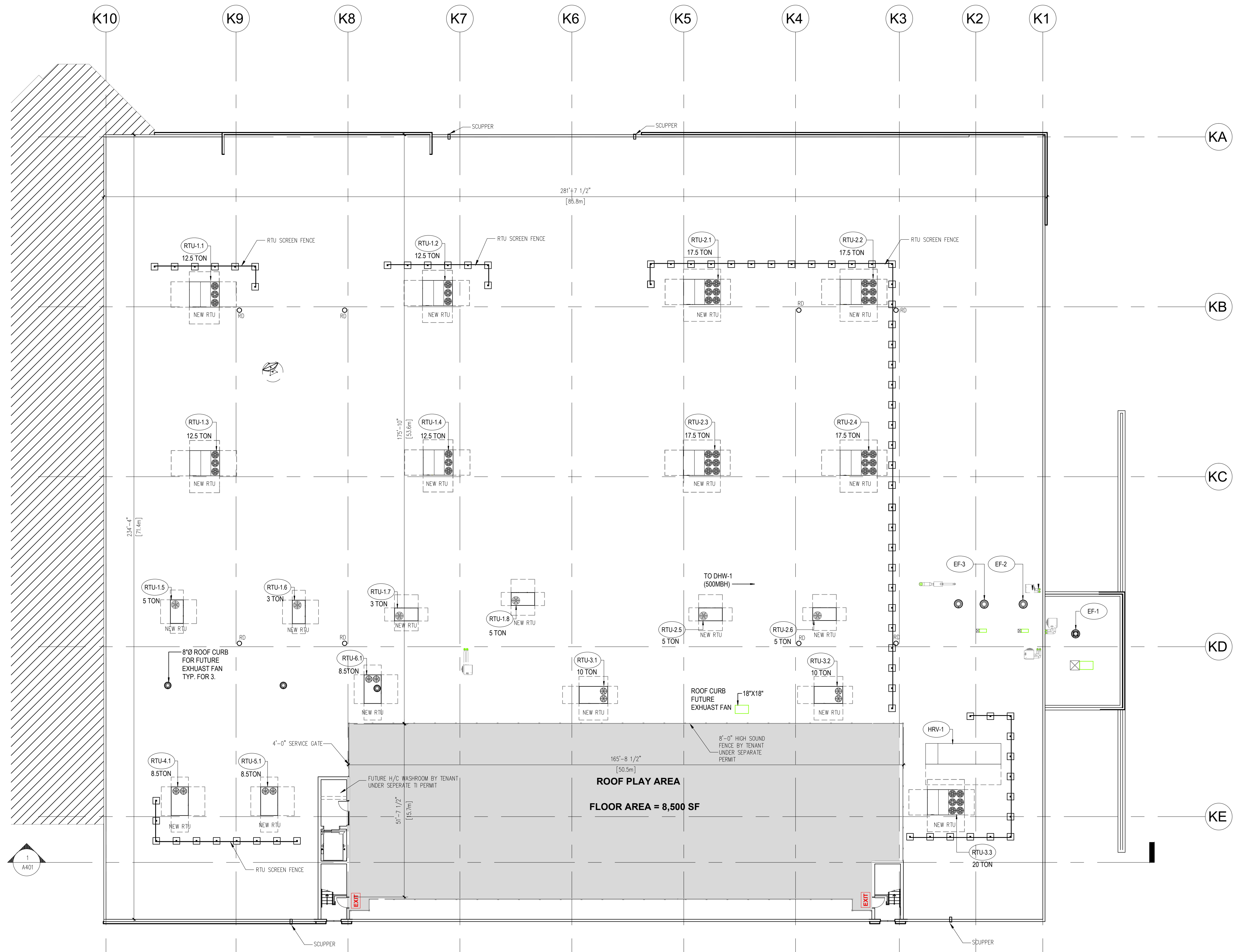
CONSULTANTS

**STRUCTURAL:** WEILER SMITH BOWERS  
**MECHANICAL:** KRAHN MECHANICAL  
**ELECTRICAL:** KRAHN ELECTRICAL  
**CIVIL:** KRAHN CIVIL  
**LANDSCAPE:** PMG

DRAWING TITLE:

**PROPOSED ROOF PLAN**

DRAWN BY: RG	PROJECT NO: 18009
CHECKED BY: BW	SCALE: 1/16" = 1'-0"
DATE: MAY 2018	<b>A203</b>



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No.	Revision	M/D/Y
4	ISSUED FOR DP REVISION	5/18/18
3	ISSUED FOR DP REVISION	5/4/18
2	ISSUED FOR PRICING	4/12/18
1	ISSUED FOR DP	4/12/18
NO.	REVISION	M/D/Y

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301 - 1444 Alberni Street, Vancouver V6G 2Z4



7918-0140-00(13)

CONSULTANTS

STRUCTURAL: WEILER SMITH BC  
MECHANICAL: KRAHN MECHANICAL  
ELECTRICAL: KRAHN ELECTRIC  
CIVIL: KRAHN CIVIL  
LANDSCAPE: PMG

DRAWING TITLE:

**PROPOSE  
RENDERING**

DRAWN BY: AA	PROJECT NO: 18009
CHECKED BY: BW	SCALE:
DATE: MAY 2018	<b>A303</b>

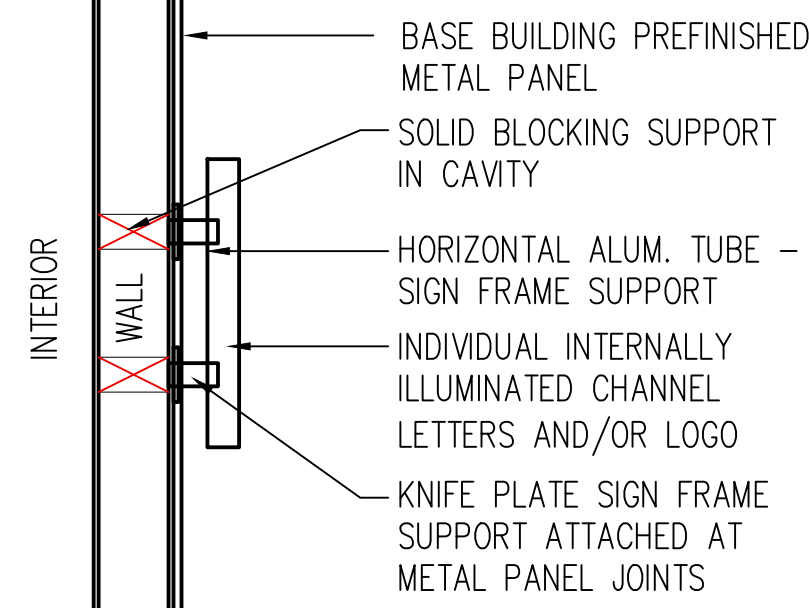
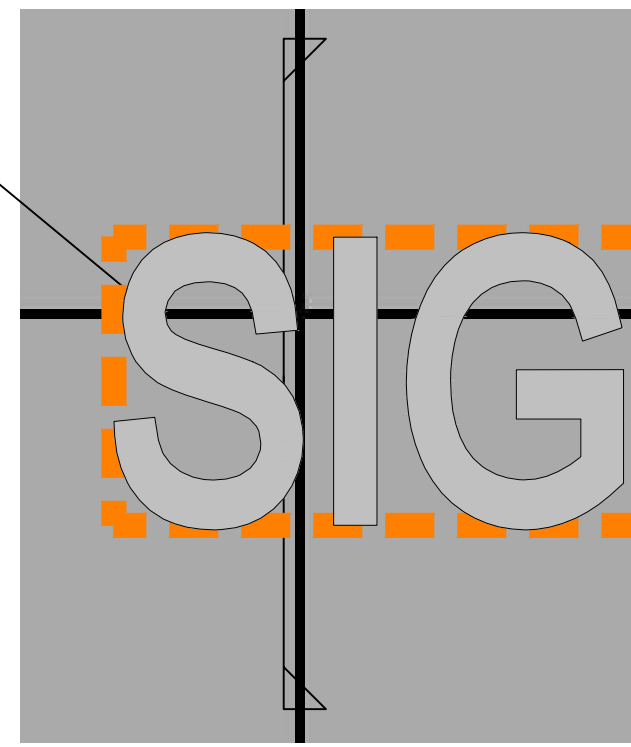


VIEW LOOKING SOUTH-EAST



VIEW LOOKING SOUTH-WEST

1. INDIVIDUAL INTERNALLY ILLUMINATED CHANNEL LETTERS AND/OR LOGOS MOUNTED ON BASE BUILDING SIGNAGE FRAMEWORK
2. ALL CONDUIT/CABLING TO BE CONCEALED.
3. MAXIMUM PROJECTION: 1'6" FROM THE BUILDING FACE IMMEDIATELY BEHIND IT.



TYP. FACE MOUNTED SIGNAGE DETAIL

	FRONTAGE	MAX SIGN AREA	MAX COPY AREA	VARIANCE REQUIRED
CRU #1	140'-1"	459.32 SQFT	229.70 SQFT	SIGN HEIGHT
CRU #2	141'-3"	462.60 SQFT	231.42 SQFT	NUMBER OF SIGNS
CRU #3	216'-5"	710.03 SQFT	355.01 SQFT	
CRU #4	59'-7"	195.48 SQFT	97.74 SQFT	
BUILDING (SIDE)	235'-0"	771.00 SQFT	385.50 SQFT	
BUILDING (FRONT)	218'-0"	715.15 SQFT	357.57 SQFT	NUMBER OF SIGNS

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No.	Revision	M/D/Y
1	SUBMITTED FOR DP.	04/12/2018

NO.	REVISION	M/D/Y
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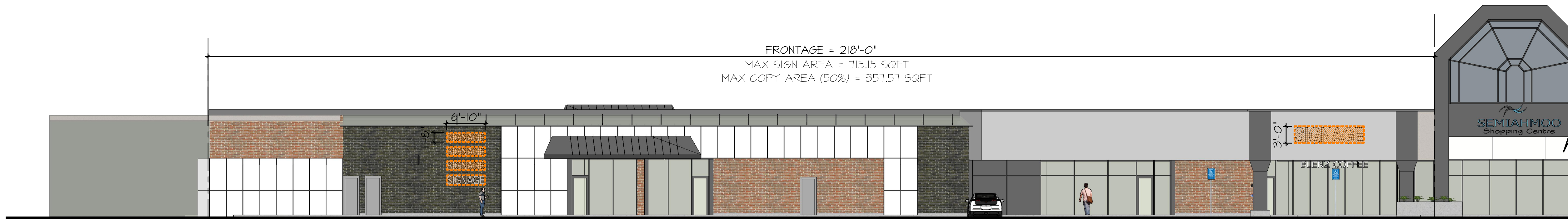
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**CONSULTANTS**  
**STRUCTURAL:** WEILER SMITH BOWERS  
**MECHANICAL:** KRAHN MECHANICAL  
**ELECTRICAL:** KRAHN ELECTRICAL  
**CIVIL:** KRAHN CIVIL  
**LANDSCAPE:** PMG

**DRAWING TITLE:**  
**BUILDING SIGNAGE**

DRAWN BY: AS	PROJECT NO: 18009
CHECKED BY: BW	SCALE: 3/32"=1'-0"
DATE: APRIL 2018	<b>A400</b>

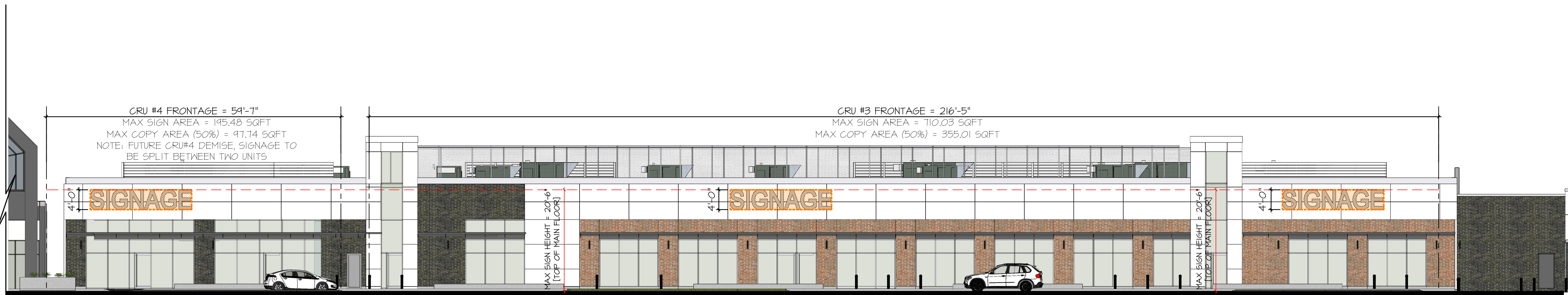


FRONTAGE = 218'-0"  
 MAX SIGN AREA = 715.15 SQFT  
 MAX COPY AREA (50%) = 357.57 SQFT

PROPOSED TENANT FASCIA SIGNS  
 SIGN AREA = 45.60 SQFT  
 COPY AREA (HATCHED) = 45.60 SQFT  
 NOTE: VARIANCE REQUIRED FOR NUMBER OF SIGNS

PROPOSED TENANT FASCIA SIGN  
 SIGN AREA = 37.16 SQFT  
 COPY AREA (HATCHED) = 37.16 SQFT

NORTH-EAST ELEVATION



CRU #4 FRONTAGE = 59'-7"  
 MAX SIGN AREA = 195.48 SQFT  
 MAX COPY AREA (50%) = 97.74 SQFT  
 NOTE: FUTURE CRU#4 DEMISE, SIGNAGE TO BE SPLIT BETWEEN TWO UNITS

CRU #3 FRONTAGE = 216'-5"  
 MAX SIGN AREA = 710.03 SQFT  
 MAX COPY AREA (50%) = 355.01 SQFT

PROPOSED TENANT FASCIA SIGN #4a  
 SIGN AREA = 82.00 SQFT  
 COPY AREA (HATCHED) = 82.00 SQFT

CRU #4

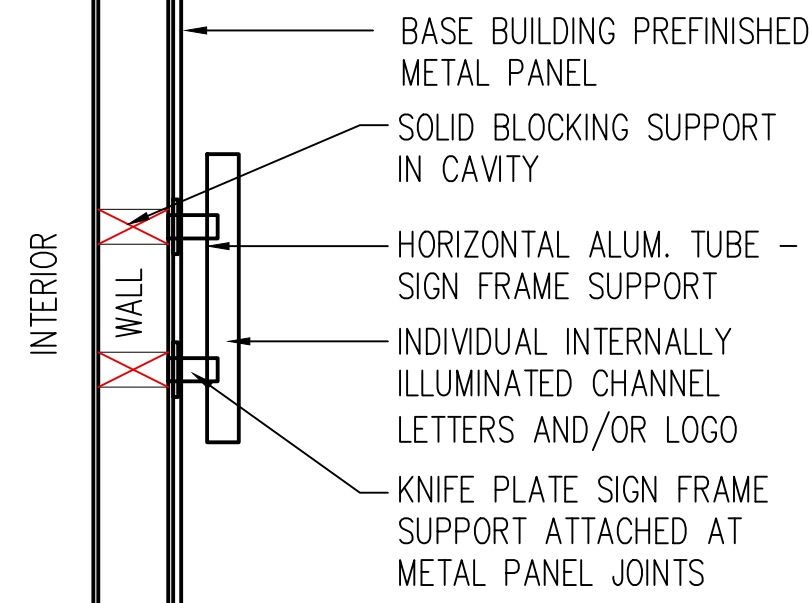
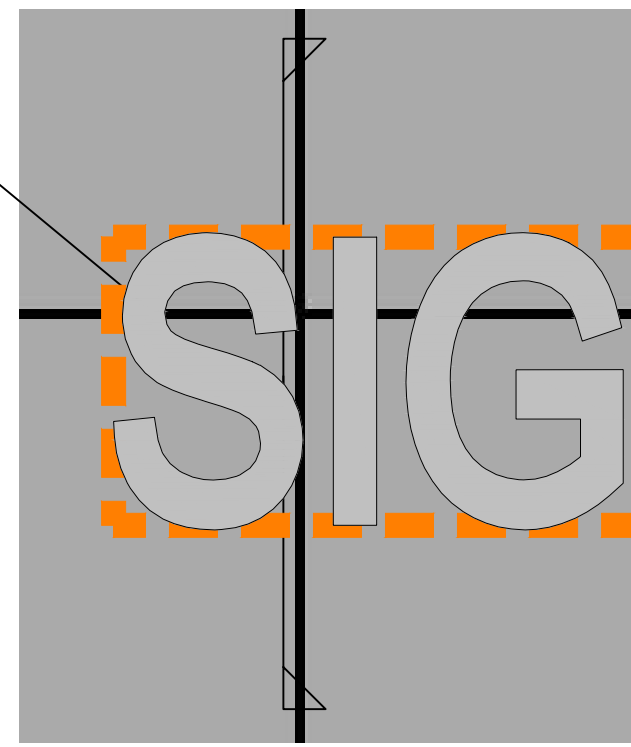
CRU #3

PROPOSED TENANT FASCIA SIGN #3a  
 SIGN AREA = 82.00 SQFT  
 COPY AREA (HATCHED) = 82.00 SQFT

PROPOSED TENANT FASCIA SIGN #3b  
 SIGN AREA = 82.00 SQFT  
 COPY AREA (HATCHED) = 82.00 SQFT  
 NOTE: VARIANCE REQUIRED FOR EXTRA SIGN

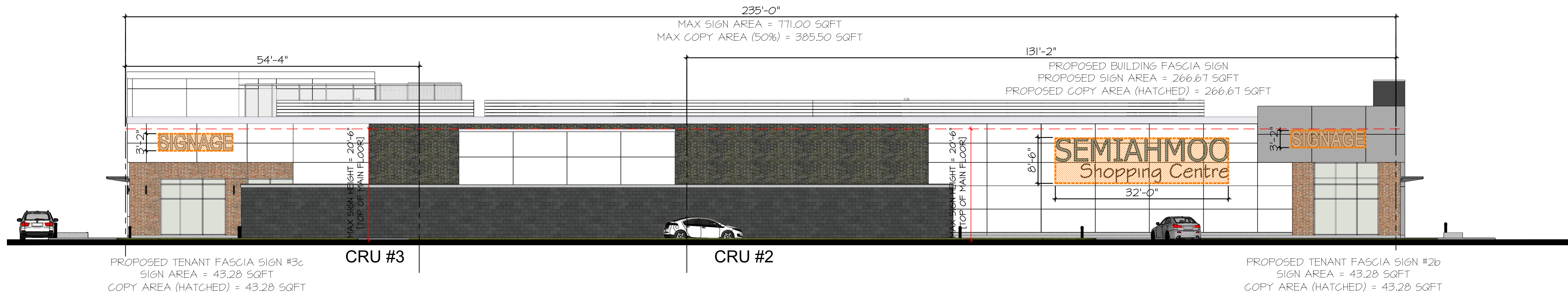
NORTH-EAST ELEVATION

1. INDIVIDUAL INTERNALLY ILLUMINATED CHANNEL LETTERS AND/OR LOGOS MOUNTED ON BASE BUILDING SIGNAGE FRAMEWORK
2. ALL CONDUIT/CABLING TO BE CONCEALED.
3. MAXIMUM PROJECTION: 1'6" FROM THE BUILDING FACE IMMEDIATELY BEHIND IT.

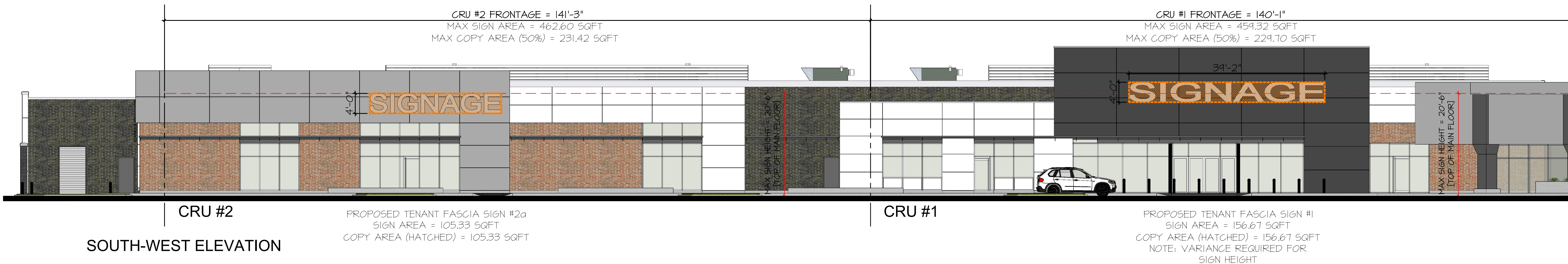


TYP. FACE MOUNTED SIGNAGE DETAIL

	FRONTAGE	MAX SIGN AREA	MAX COPY AREA	VARIANCE REQUIRED
CRU #1	140'-1"	454.32 SQFT	224.70 SQFT	SIGN HEIGHT
CRU #2	141'-3"	462.60 SQFT	231.42 SQFT	
CRU #3	216'-5"	710.03 SQFT	355.01 SQFT	NUMBER OF SIGNS
CRU #4	54'-7"	195.48 SQFT	97.74 SQFT	
BUILDING (SIDE)	235'-0"	771.00 SQFT	385.50 SQFT	
BUILDING (FRONT)	218'-0"	715.15 SQFT	357.57 SQFT	NUMBER OF SIGNS



NORTH-WEST ELEVATION



SOUTH-WEST ELEVATION

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SEAL

NORTH ARROW

OWNER/CLIENT



No.	Revision	M/D/Y
1	SUBMITTED FOR DP.	04/12/2018

NO.	REVISION	M/D/Y
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**SEMIAHMOO MALL RENOVATION**  
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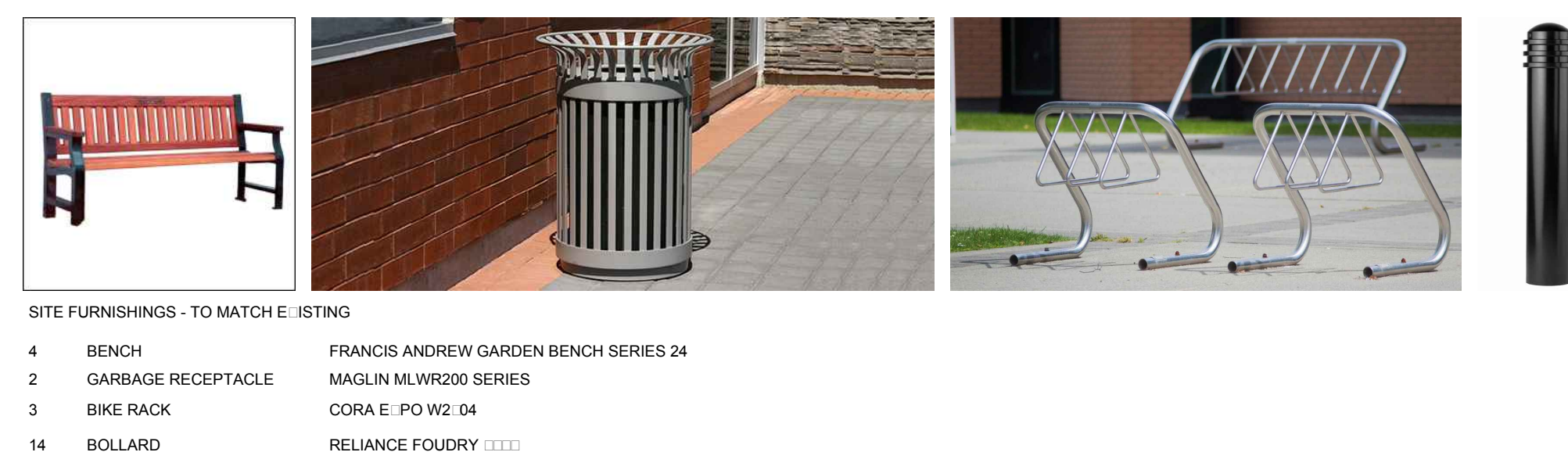
CONSULTANTS

- STRUCTURAL: WEILER SMITH BOWERS
- MECHANICAL: KRAHN MECHANICAL
- ELECTRICAL: KRAHN ELECTRICAL
- CIVIL: KRAHN CIVIL
- LANDSCAPE: PMG

DRAWING TITLE:

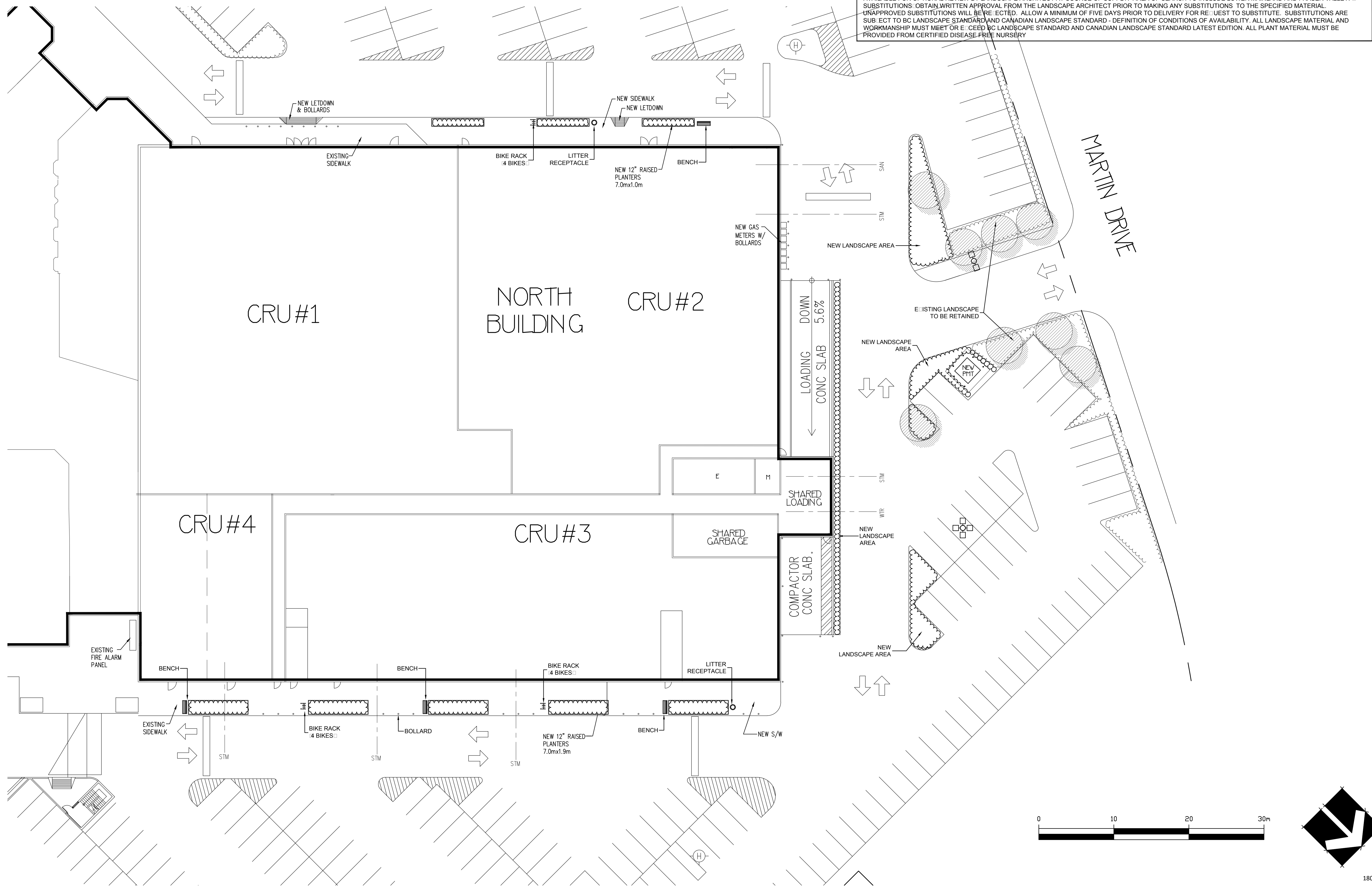
**BUILDING SIGNAGE**

DRAWN BY: AS	PROJECT NO: 18009
CHECKED BY: BW	SCALE: 3/32"=1'-0"
DATE: APRIL 2018	<b>A400</b>



PLANT SCHEDULE				PMG PROJECT NUMBER: 18-062
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
<b>SHRUB</b>				
⊙	12	ARBUTUS UNEDO	STRAWBERRY TREE	#1 POT 1.2 M
⊙	121	BUFFUS SEMPERVIRENS	COMMON BOXWOOD	#3 POT 40CM
⊙	2	PHOTINIA FRASERI	PHOTINIA	#1 POT 10CM
⊙	1	PINUS MUGO 'PUMILIO'	DWARF MUGO PINE	#3 POT 40CM
⊙	10	ROSA 'NOAMEL'	CARPET ROSE 'PINK	#2 POT 40CM
⊙	4	SPIRAEA 'APONICA 'GOLDMOUND'	DWARF GOLDMOUND SPIREA	#2 POT 30CM
⊙	10	THUJA OCCIDENTALIS 'DEGROOT'S SPIRE'	DEGROOT'S SPIRE CEDAR	1.1M HT. B. B
<b>GRASS</b>				
⊙	1	CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT
⊙	1	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAP. SILVER GRASS	#1 POT
⊙	142	PENNISSETUM ALOPECUROIDES	FOUNTAIN GRASS	#1 POT
<b>GC</b>				
⊙	48	EUONYMUS 'APONICA 'EMERALD GAIETY'	EUONYMUS 'SILVER VARIEGATED	#1 POT 2 CM

NOTES: PLANT SPECIES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE-FREE NURSERY.



SEAL

NO.	DATE	REVISION DESCRIPTION	DR.
5	18.JUN.15	REVISE PLANTING PER SURREY COMMENTS	DO
4	18.JUN.05	ADD BENCHES / BIKE RACKS	DO
3	18.MAY.15	NEW SITE PLAN / COMMENTS	DO
2	18.APR.17	ADD BOULDER BARRIERS	DO
1	18.APR.11	NEW SITE PLAN	DO

CLIENT

PROJECT

**SEMAIHMUO MALL RENOVATION**

1715 152ND STREET  
SURREY, BC, V4A 4N3

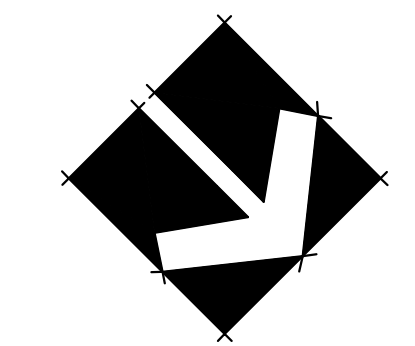
DRAWING TITLE:

**LANDSCAPE PLAN**

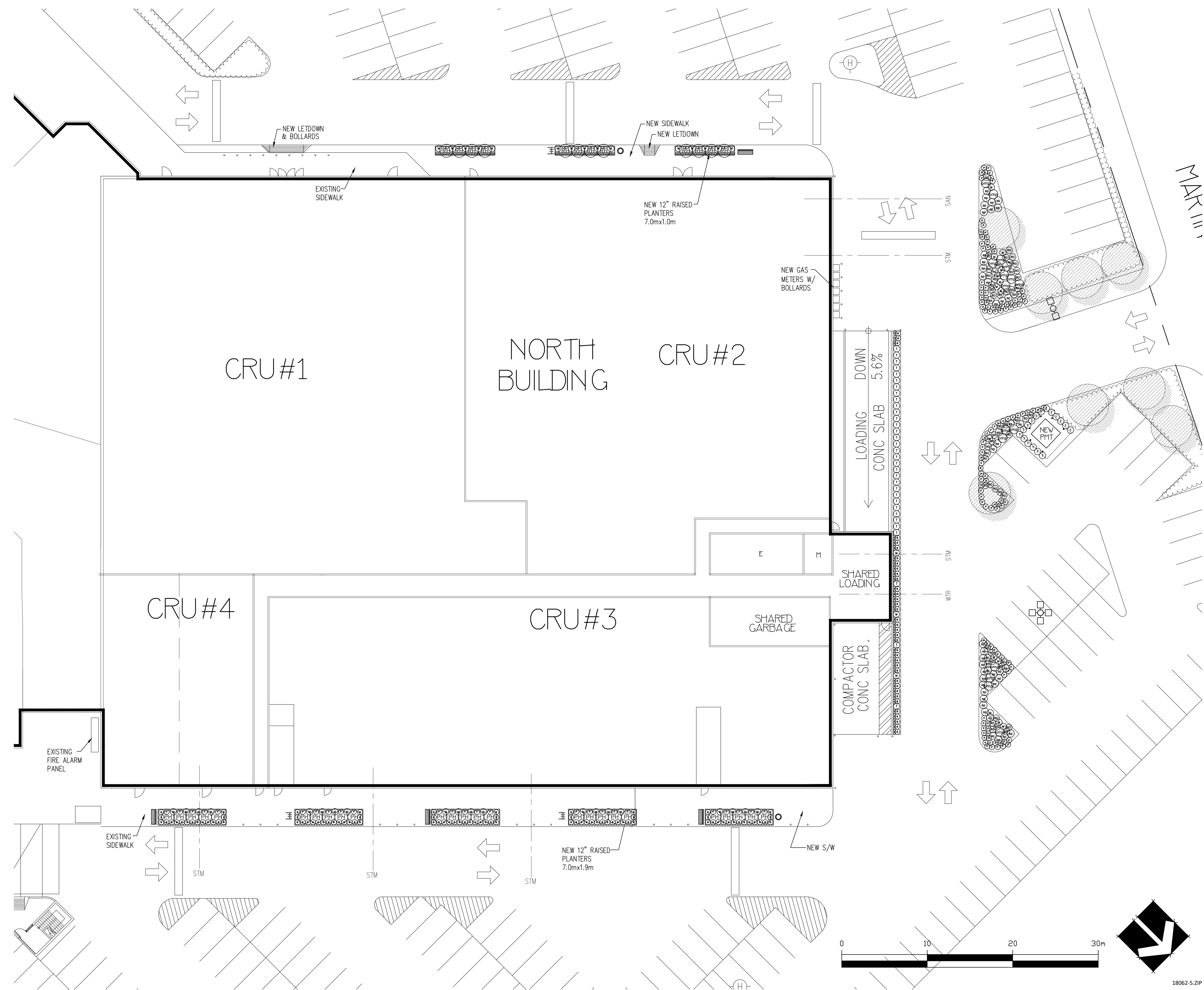
DATE	18.APR.04	DRAWING NUMBER	
SCALE	1:250		
DRAWN	PCM		
DESIGN	PCM		
CHK'D	PCM		

18062-6.ZIP

PMG PROJECT NUMBER: 18-062



SEAL



NO.	DATE	REVISION DESCRIPTION	DR.
4	18.JUN.05	ADD BENCHES / BIKE RACKS	DO
3	18.MAY.15	NEW SITE PLAN / COMMENTS	DO
2	18.APR.17	ADD BOULDER BARRIERS	DO
1	18.APR.11	NEW SITE PLAN	DO

NO.	DATE	REVISION DESCRIPTION	DR.
4	18.JUN.05	ADD BENCHES / BIKE RACKS	DO
3	18.MAY.15	NEW SITE PLAN / COMMENTS	DO
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CLIENT

PROJECT

**SEMAIHMUO MALL RENOVATION**

1715 152ND STREET  
SURREY, BC, V4A 4N3

DRAWING TITLE:  
**LANDSCAPE SHRUB PLAN**

DATE: 18.APR.04 DRAWING NUMBER:  
SCALE: 1:200 **L2**  
DRAWN: PCM  
DESIGN: PCM  
CHK'D: PCM

PMG PROJECT NUMBER: 18-062

