

City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7918-0079-00

Planning Report Date: December 3, 2018

**PROPOSAL:**

- **NCP Amendment** for a portion of the site from Single Family Residential to Single Family Small Lots.
- **Rezoning** from RH to RF and RF-13
- **Development Variance Permit**

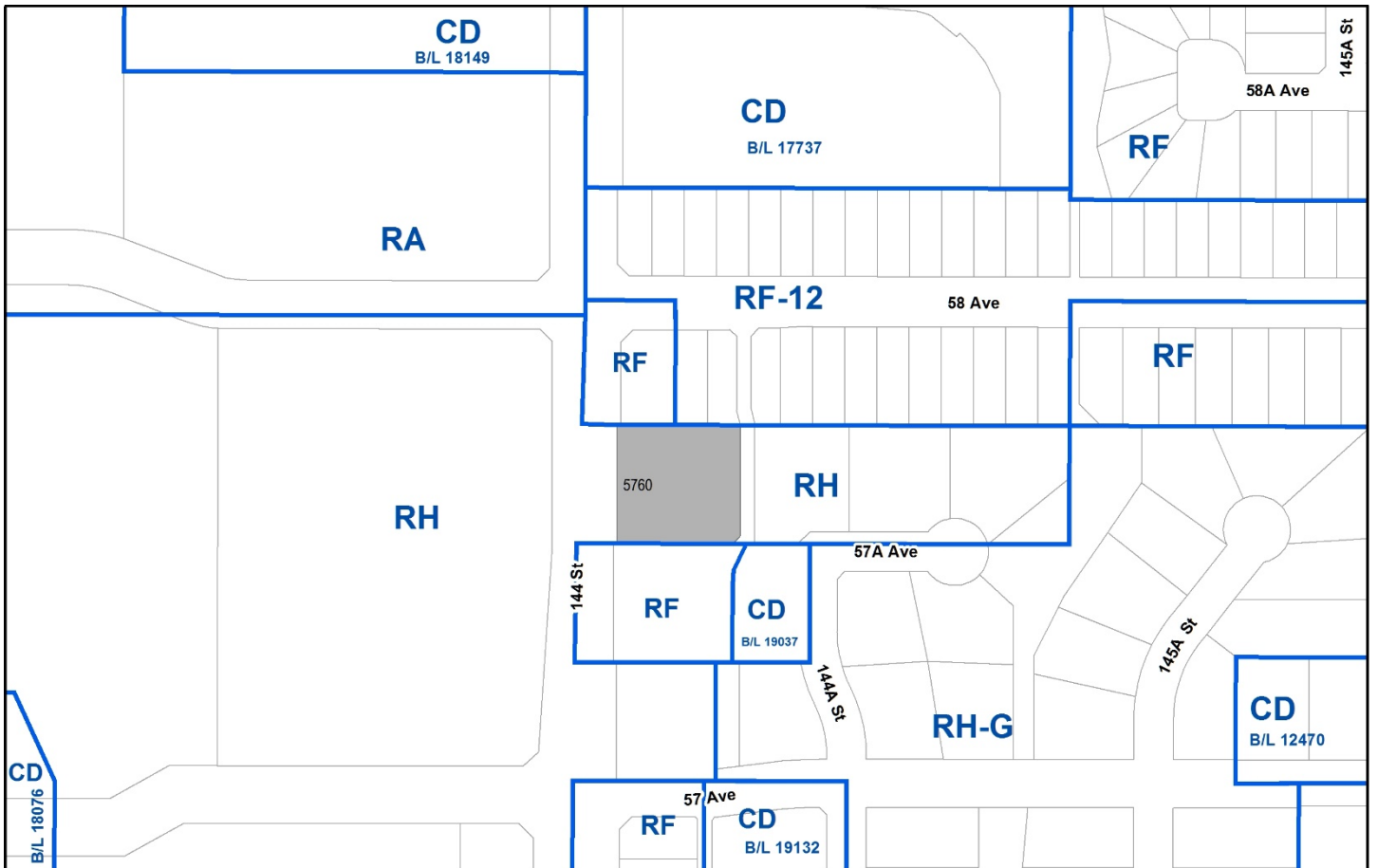
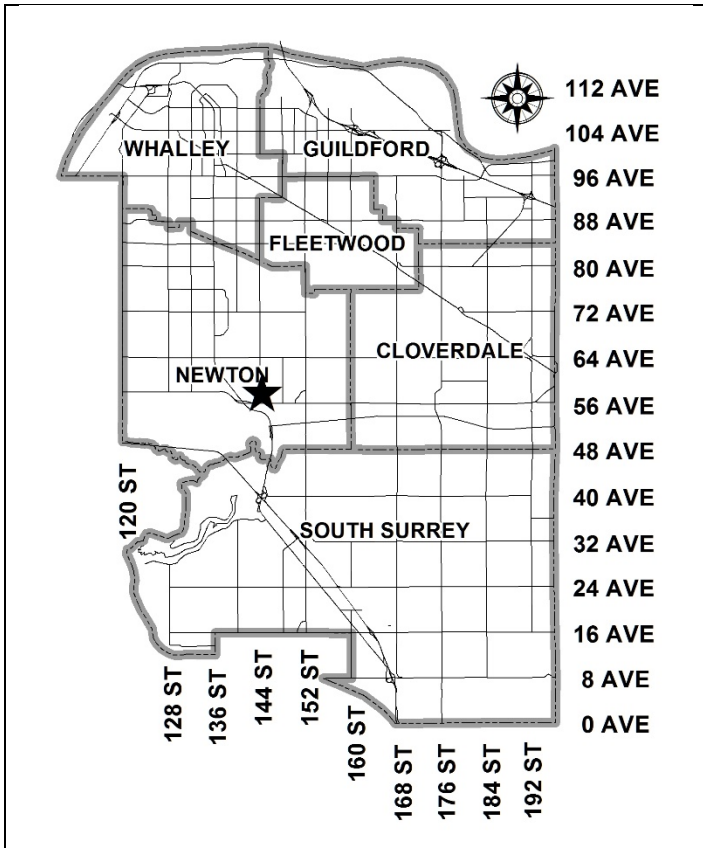
to allow subdivision into four (4) single family residential lots.

**LOCATION:** 5760 - 144 Street

**ZONING:** RH

**OCP DESIGNATION:** Urban

**NCP DESIGNATION:** Single Family Residential



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval for Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant proposes an amendment to the South Newton Neighbourhood Concept Plan (NCP) for a portion of the site from "Single Family Residential" to "Single Family Small Lots".
- Seeking a Development Variance Permit (DVP) for reduced lot width for one lot under the RF Zone.

### RATIONALE OF RECOMMENDATION

- The proposal complies with the Official Community Plan (OCP) land use designation for the site.
- The proposed density and building form are appropriate for this part of South Newton.
- The proposed "Single Family Residential (13) Zone (RF-13)" lots are exceptionally deep, which results in lot areas that meet the minimum area requirements of the RF Zone.
- The proposed lot areas and widths are consistent with the existing lots to the north and provide a suitable transition to the existing and proposed RF-sized lots to the south.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to rezone the portion of the subject site shown as Block A on the Survey Plan attached as Appendix II from "Half-Acre Residential Zone (RH)" to "Single Family Residential (13) Zone (RF-13)" and the portion of the subject site shown as Block B from "Half-Acre Residential Zone (RH)" to "Single Family Residential Zone (RF)", and a date be set for Public Hearing.
2. Council approve Development Variance Permit No. 7918-0079-00 (Appendix IX) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum required lot width of the "Single Family Residential Zone (RF)" from 15 metres (50 ft.) to 13.5 metres (44 ft.) for proposed Lot 1.
3. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) approval from the Ministry of Transportation & Infrastructure;
  - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (e) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (f) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and
  - (g) registration of a Section 219 Restrictive Covenant to increase front yard setbacks on proposed Lots 1 to 4.
4. Council pass a resolution to amend the South Newton Neighbourhood Concept Plan (NCP) to redesignate a portion of the land from "Single Family Residential" to "Single Family Small Lots" when the project is considered for final adoption.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix IV.

School District: **Projected number of students from this development:**

2 students at Cambridge Elementary School  
1 student at Sullivan Heights Secondary School

(Appendix V)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by fall 2020.

Parks, Recreation & Culture: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Single family dwelling.

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North:	Single family dwellings.	Single Family Residential/Single Family Small Lots	RF/RF-12
East (Across lane):	Single family dwellings.	Suburban Residential Half-Acre	RH
South:	Recently approved subdivision of RF zoned lots (Development Application No. 7913-0149-00).	Single Family Residential	RF
West (Across 144 Street):	RCMP Surrey (Main) Detachment	Institutional	RH

## DEVELOPMENT CONSIDERATIONS

### Site Context

- The subject property is located south of 58 Avenue, on the east side of 144 Street across from the Royal Canadian Mounted Police (RCMP) Surrey (Main) Detachment. The property is designated "Urban" in the Official Community Plan (OCP) and "Single Family Residential" in the South Newton Neighbourhood Concept Plan (NCP).
- The 0.2 hectare (0.6 acre) subject property is currently zoned "Half-Acre Residential Zone (RH)".

### Current Proposal

- The applicant proposes to rezone the north portion of the site (Block A on the Survey Plan attached as Appendix II) to "Single Family Residential (13) Zone (RF-13)" and the south portion of the site (Block B) to "Single Family Residential Zone (RF)", to facilitate subdivision of the land into four (4) single family lots consisting of three RF-13 and one RF lot.
- The proposed RF-13 lots (Lots 2-4) have lot areas of 599 square metres (6,448 sq. ft.), which is significantly larger than the minimum 336 square metre (3,595 sq. ft.) requirement of the RF-13 Zone. All three lots meet the minimum lot depth and width requirements of the RF-13 Zone.
- The proposed RF lot (Lot 1) has a lot area of 667 square metres (7,180 sq. ft.). This lot meets the minimum lot depth and area requirements of the RF Zone but requires a Development Variance Permit to reduce the minimum required lot width from 15 metres (50 ft.) to 13.5 metres (44 ft.).

### Building Design Guidelines and Lot Grading

- The applicant for the subject site has retained Mike Tynan of Tynan Consulting Ltd. as the Design Consultant. The Design Consultant conducted a character study of the surrounding homes and based on the findings of the study, proposed a set of building design guidelines (Appendix VI).
- Styles recommended for this site include "Neo-Traditional", "Neo-Heritage", and "West Coast Contemporary". Style range is not restricted in the building scheme but should be reasonably compatible with homes in the immediate area.
- A preliminary lot grading plan was submitted by Hub Engineering Inc., and reviewed by staff and found to be generally acceptable. The applicant proposes basements on all lots. Basements will be achieved with minimal cut or fill. The feasibility of in-ground basements will be confirmed once the City's Engineering Department has reviewed and accepted the applicant's final engineering drawings.

## PRE-NOTIFICATION

- Pre-notification letters were mailed to 200 property owners within 100 metres (328 ft.) of the subject property. A Development Proposal Sign was installed in front of the property on March 22, 2018. Staff received one letter from the Panorama Neighbourhood Association. The following is a summary of comments that were received (staff comments are provided in italics following each comment):

### Panorama Neighbourhood Association

- Concern regarding the lack of tree retention within the development site.

*(The tree preservation and replacement plans prepared by the applicant's arborist have been reviewed by the City Landscape Architect. Most trees in locations where retention might be possible have been topped or are not suitable candidates for retention. The applicant has agreed to locate the majority of the replacement plantings within the front yard adjacent to 144 Street and will work with staff at the detailed design stage to retain one tree on Lot 4.)*

- Concern regarding pace of development in South Newton.

*(While the applicant proposes to amend the NCP, the effect of the NCP amendment is one additional lot which results in a unit density that is in keeping with the unit density that could be achieved under the existing designation in the South Newton NCP.)*

- Concern regarding the size of lots proposed and variances requested.

*(The Planning and Development Department supports the proposed NCP amendment to redesignate a portion of the subject site to Single Family Small Lots. The Single Family Small Lots will add to the range of housing types along 144 Street and serve as a transition from the larger RF lots to the south to the smaller RF-12 lots to the north. The proposed RF-13 lots are exceptionally deep, which results in lot areas that exceeds the minimum area requirements of the RF Zone. The applicant is proposing to reduce the minimum lot width for the one RF lot (Lot 1). Despite the reduced lot width of Lot 1, which represents a 10% reduction, this lot at 667 square metres (7,180 sq. ft.) exceeds the minimum 560 square metre (6,000 sq. ft.) lot area required under the RF Zone.)*

*(In response to the concerns expressed by the Panorama Neighbourhood Association, the applicant has agreed to increase the front yard setbacks on all four lots from 6.0 metres (20 ft.) to 8.5 metres (27 ft.) along 144 Street. The proposed increase to the front yard setback will reduce the visual impact of the new lots, facilitate proposed tree replacement planting, and provide a suitable transition between the "Single Family Lots" to the south and the "Single Family Small Lots" to the north.)*

## JUSTIFICATION FOR PLAN AMENDMENT

- The South Newton Neighbourhood Concept Plan (NCP) designates the site as "Single Family Residential". The applicant is proposing to amend the NCP designation for a portion of the site from "Single Family Residential" to "Single Family Small Lots" to facilitate the applicant's proposal (Appendix VIII).

- The amendment will facilitate the development of four (4) single family lots. The unit density of the proposed development is 16 units per hectare (6.3 u.p.a). Under the current NCP designations the maximum permitted unit density for the site is 14.8 u.p.h (6 u.p.a), which equates to 4 units. Therefore, the proposed amendment is consistent with the unit density envisioned for the area under the NCP.
- The proposed lots will generally match the lot areas of the lots on the south side of 58 Avenue, north of the subject site. Although the applicant proposes an amendment to redesignate a portion of the site to "Single Family Small Lots", the RF-13 lots (Lots 2-4) are exceptionally deep at almost 50 metres (164 ft.) which results in lot areas of 599 square metres (6,447 sq. ft.), which exceeds the minimum 560 square metres (6,000 sq. ft.) required under the "Single Family Residential Zone (RF)".
- The proposed lot areas and widths are consistent with the existing lots to the north and provide a suitable transition to the existing and proposed RF-sized lots to the south. All four lots will take access from the rear lane, as 144 Street is an arterial road.
- Proposed Lot 1 is 667 square metres (7,180 sq. ft.) and interfaces appropriately with the RF lots to the south which were recently approved in October, 2018 under Development Application No. 7913-0149-00.

### TREES

- Corey Plester, ISA Certified Arborist of Mike Fadum and Associated Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Deciduous Trees</b> (excluding Alder and Cottonwood Trees)			
Dogwood, Pacific	5	5	0
Maple, Bigleaf	1	1	0
Maple, Vine	4	4	0
Cherry	3	3	0
<b>Evergreen Trees</b>			
Holly, English	3	3	0
<b>Coniferous Trees</b>			
Cedar, Western Red	20	19	1
Hemlock, Western	1	1	0
Fir, Grand	1	1	0
Douglas-fir	18	18	0
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>56</b>	<b>55</b>	<b>1</b>

<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>	<b>11</b>
<b>Total Retained and Replacement Trees</b>	<b>12</b>
<b>Contribution to the Green City Fund</b>	<b>\$39,600</b>

- The Arborist Assessment states that there are a total of fifty-six (56) protected trees on the site, excluding Alder and Cottonwood trees. It was determined that one on-site tree can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- The tree preservation and replacement plans prepared by the applicant's arborist have been reviewed by the City's Trees and Landscape staff. Most trees in locations where retention might be possible have been topped or are not suitable candidates for retention. The applicant has agreed to locate the majority of the replacement plantings within the front yard fronting 144 Street and will work with staff at the detailed design stage to retain one tree on Lot 4. The proposed retained tree will be protected by meandering the sidewalk along 144 Street. The details of the design to ensure the tree is retained will be determined at the detailed design stage.
- Staff explored the retention of other trees on-site, but the Project Arborist determined that the candidates identified by City staff were not good candidates for retention. The Arborist provided several reasons for this assessment, including that many were hydro managed or topped and have multiple defects as a result. Staff have received information provided by the Project Arborist and have accepted these findings.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 110 replacement trees on the site. Since only eleven (11) replacement trees can be accommodated on the site (based on an average of [3] trees per lot), the deficit of ninety-nine (99) replacement trees will require a cash-in-lieu payment of \$39,600 representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.
- In summary, a total of twelve (12) trees are proposed to be retained or replaced on the site with a contribution of \$39,600 to the Green City Fund.



**SUSTAINABLE DEVELOPMENT CHECKLIST**

The applicant prepared and submitted a sustainable development checklist for the subject site on February 20, 2018. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>The property is located within the South Newton NCP.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>None proposed.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>The proposal incorporates absorbent soils, roof downspout disconnections, swales, and sediment control devices for rain water management.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>The property is located on a transit route.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>None proposed.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>None proposed.</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>Public Notification has taken place.</li> <li>Surrounding residents have the opportunity to voice their concerns through the notification process, including at a future Public Hearing.</li> </ul>

**BY-LAW VARIANCE AND JUSTIFICATION****(a) Requested Variance:**

- to reduce the minimum required lot width of the "Single Family Residential Zone (RF)" from 15 metres (50 ft.) to 13.5 metres (44 ft.) for proposed Lot 1.

**Applicant's Reasons:**

- The proposed lot width relaxation is minimal, and the increased lot depth provides for an oversized RF lot.

**Staff Comments:**

- Proposed Lot 1 is 49.9 metres (164 ft.) deep which is significantly deeper than the minimum 28 metres (90 ft.) required under the RF Zone and results in an oversized RF lot.

- Despite the reduced lot width, which represents a 10% reduction, this lot at 667 square metres (7,180 sq. ft.) exceeds the minimum 560 square metres (6,000 sq. ft.) lot area required under the RF Zone.
- Proposed Lots 2 to 4 are 12 metres (40 ft.) in width. The lots recently approved under Development Application No. 7913-0149-00 directly south of the subject site are 16.5 metres (54 ft.) wide. The 13.5 metre (44.2 ft.) width of proposed Lot 1 will provide a suitable transition between the larger RF lots to the south and the smaller RF-12 lots to the north.

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners, Action Summary (Confidential) and Project Data Sheets
Appendix II.	Survey Plan
Appendix III.	Proposed Subdivision Layout
Appendix IV.	Engineering Summary
Appendix V.	School District Comments
Appendix VI.	Building Design Guidelines Summary
Appendix VII.	Summary of Tree Survey and Tree Preservation
Appendix VIII.	Proposed NCP Amendment
Appendix IX.	Development Variance Permit No. 7918-0079-00

*original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

KS/cm

APPENDIX I HAS BEEN  
REMOVED AS IT CONTAINS  
CONFIDENTIAL INFORMATION

## SUBDIVISION DATA SHEET

Proposed Zoning: RF/RF-13

Requires Project Data	Proposed	
<b>GROSS SITE AREA</b>		
Acres	0.63	
Hectares	0.25	
<b>NUMBER OF LOTS</b>		
Existing	1	
Proposed	4	
<b>SIZE OF LOTS</b>	RF	RF-13
Range of lot widths (metres)	13.5 m	12 m
Range of lot areas (square metres)	667 sq. m.	599 sq. m
<b>DENSITY</b>		
Lots/Hectare & Lots/Acre (Gross)	16 uph/6 upa	
Lots/Hectare & Lots/Acre (Net)	16 uph/6 upa	
<b>SITE COVERAGE (in % of gross site area)</b>		
Maximum Coverage of Principal & Accessory Building	50%	
Estimated Road, Lane & Driveway Coverage	30%	
Total Site Coverage	80%	
<b>PARKLAND</b>		
Area (square metres)	N/A	
% of Gross Site	N/A	
	<b>Required</b>	
<b>PARKLAND</b>		
5% money in lieu	YES	
<b>TREE SURVEY/ASSESSMENT</b>	YES	
<b>MODEL BUILDING SCHEME</b>	YES	
<b>HERITAGE SITE Retention</b>	NO	
<b>FRASER HEALTH Approval</b>	NO	
<b>DEV. VARIANCE PERMIT required</b>		
Road Length/Standards	NO	
Works and Services	NO	
Building Retention	NO	
Others (lot width)	YES	

# SURVEY PLAN TO ACCOMPANY CITY OF SURREY REZONING BYLAW No: \_\_\_\_\_ OF LOT 1 SECTION 10 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN LMP14326

FOR RE-ZONING PURPOSES



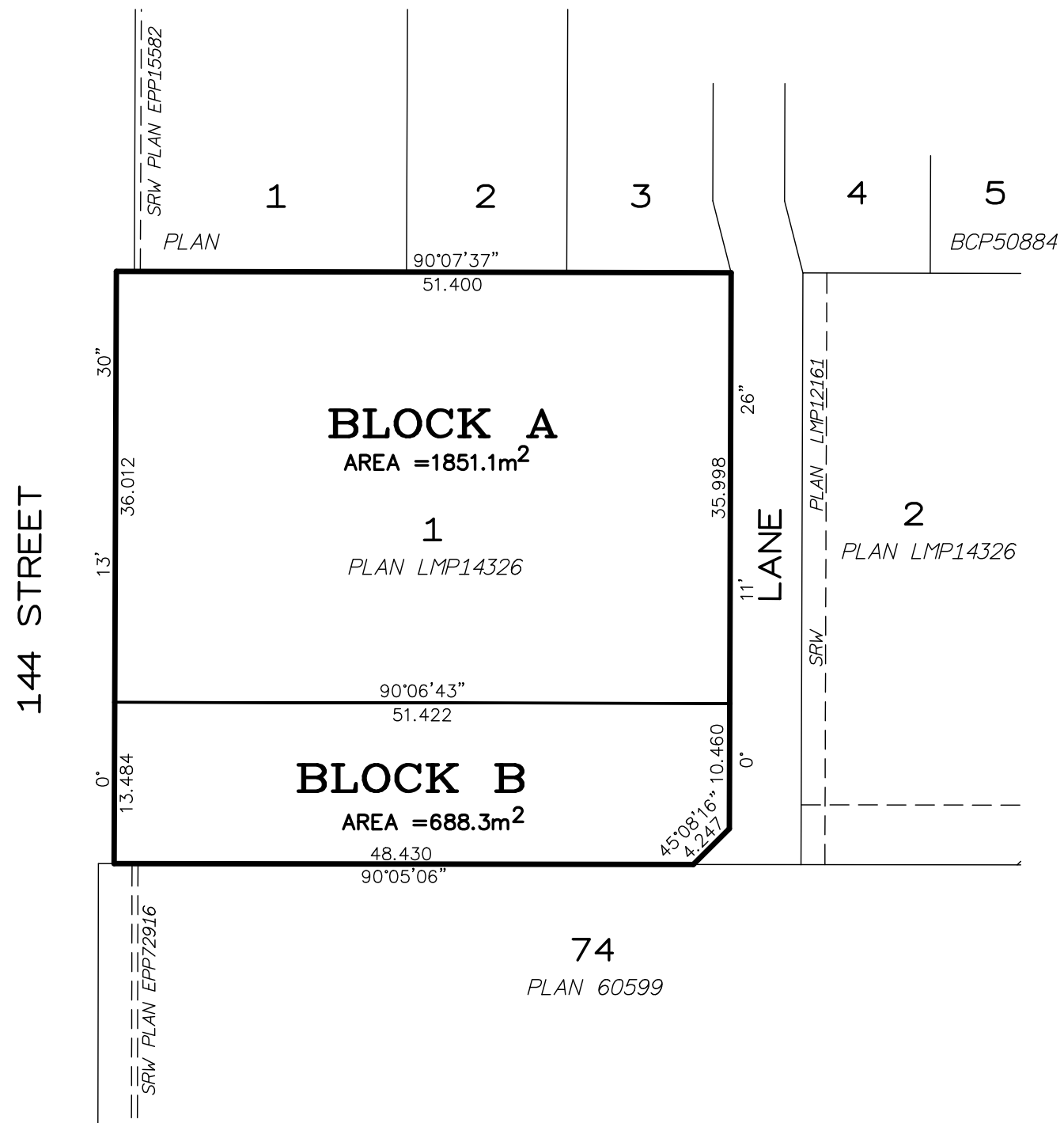
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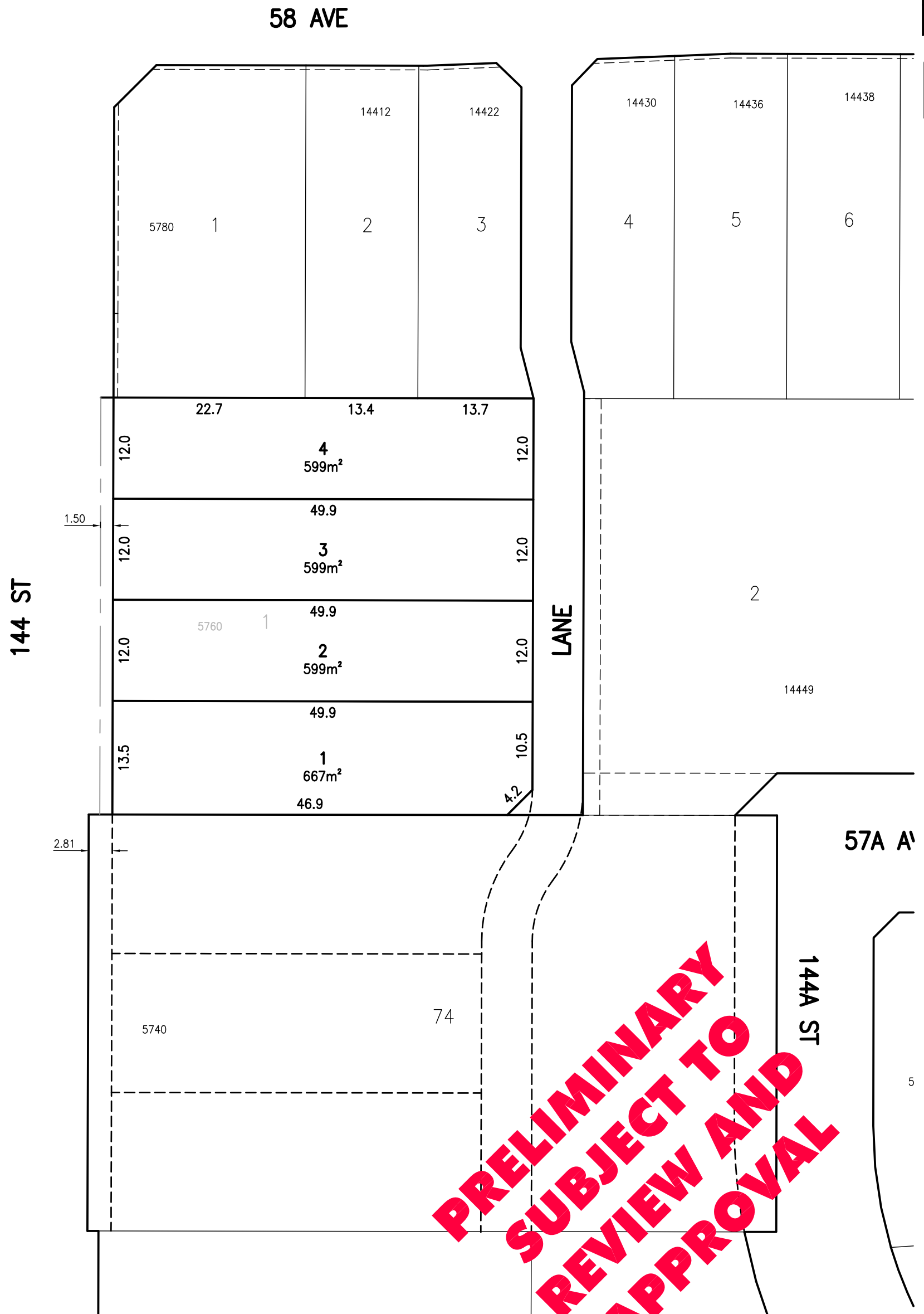


Lot dimensions are derived from FIELD SURVEY.

CERTIFIED CORRECT  
DATED THIS 8TH DAY OF MAY, 2018.

----- B.C.L.S.  
M. Adam Fulkerson





**Hub Engineering Inc.** Member  
 Engineering and Development Consultants **PACIFIC LAND GROUP**

Suite 212, 12992 - 76 Avenue, Surrey, B.C. V3W 2V6  
 tel: 604-572-4328 | fax: 604-501-1625 | mail@hub-inc.com | www.hub-inc.com

CLIENT:	PROJECT: 5760 144 STREET, SURREY		
DRAWING TITLE: RESIDENTIAL SUBDIVISION			
PROJECT No. 2017-142	DATE: AUG 2017	LEGAL:	SCALE: 1:500
MUNICIPAL PROJECT No.:			

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**TO: Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

**FROM: Development Engineer, Engineering Department**

**DATE: May 17, 2018** PROJECT FILE: **7818-0079-00**

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**RE: Engineering Requirements  
Location: 5760 144 Street**

### NCP AMENDMENT

There are no engineering requirements relative to the NCP Amendment, except for the requirements listed below.

### REZONE/SUBDIVISION

#### *Property and Right-of-Way Requirements*

- Dedicate approximately 1.5 m on 144 Street for ultimate 15.0 m Arterial Road allowance.
- Register 0.5 m SRW on 144 Street for service connections and maintenance access to sidewalk.

#### *Works and Services*

- Ensure elevation on 144 Street is at +/- 300mm to center line of 144 Street.
- Construct lane to Residential Lane standard (SSD-R.12).
- Confirm downstream storm drainage system capacity; upgrade if required.
- Construct storm drainage systems to service the proposed lots and frontage roads.
- Construct sanitary sewers to service each lot.
- Provide cash-in-lieu for 50% of the cost of constructing a 200 mm sanitary sewer on 144 Street.
- Construct water, sanitary and storm service connections for each lot.

A Servicing Agreement is required prior to Rezone/Subdivision.

### DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

There are no engineering requirements relative to issuance of the Development Variance Permit, except for the items listed above.



Tommy Buchmann, P.Eng.  
Development Engineer

IK<sub>1</sub>

NOTE: Detailed Land Development Engineering Review available on file



Planning

November 27, 2018

**THE IMPACT ON SCHOOLS**

APPLICATION #: 18 0079 00 (Updated)

**SUMMARY**

The proposed 4 Single family with suites are estimated to have the following impact on the following schools:

**Projected # of students for this development:**

Elementary Students:	2
Secondary Students:	1

**September 2018 Enrolment/School Capacity**

<b>Cambridge Elementary</b>	
Enrolment (K/1-7):	86 K + 642
Operating Capacity (K/1-7)	76 K + 419
<b>Sullivan Heights Secondary</b>	
Enrolment (8-12):	1534
Capacity (8-12):	1000
Addition Capacity (8-12) 2021:	1700

**School Enrolment Projections and Planning Update:**

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

Cambridge Elementary along with Goldstone Park, Woodward Hill and Sullivan Elementary service the south Newton community. With 64th Street to the north, ALR to east and south and King George Boulevard to the West, these schools are contained within these barriers. As both 64th and King George serve as major arterial roads, catchments have been created to ensure families do not have to cross such major roadways for safety reasons.

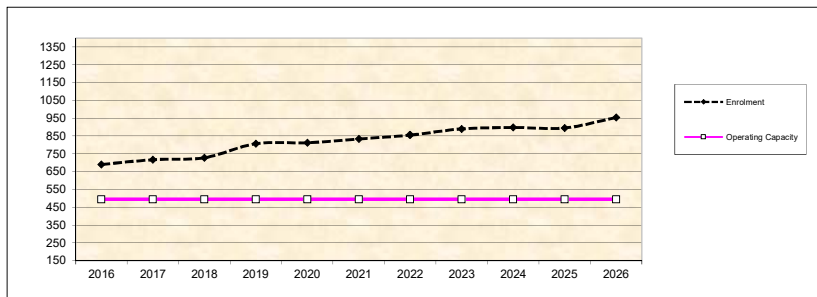
As of September 2017, all three schools are severely overcrowded operating at 130% capacity or greater. It is important to look at all three of these schools when looking for available space in the area to accommodate growth as there is no space available at Cambridge. Previous enrolment management strategies applied to this family of schools have been to:

1. Change boundaries between the three schools to spread the enormous enrolment pressure on all three sites. This years enrolment numbers have started to reflect the impact of these changes, however, the new growth in the area is still overwhelming each of these campuses.
2. Construct a new 200 capacity addition to Woodward Hill. This new addition, when it is open in 2019, will only reduce the current number of portables on site and will not address new growth in the coming years.
3. Reduce the French Immersion program by one division over the next 6 years at Woodward Hill. The impact of this change will take several years to begin to have an impact on making space available to regular stream students

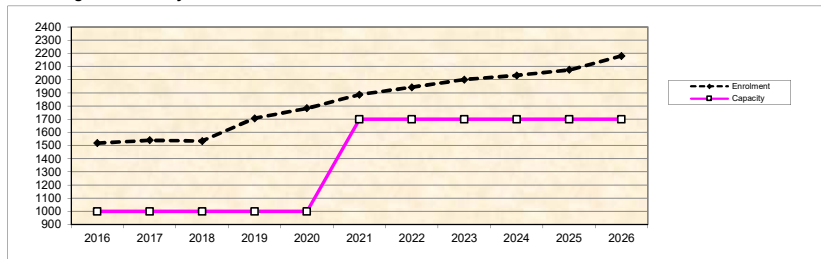
On the 2019/2020 5 year Capital Plan, the District is requesting as Priority 2 and 3 a new site and a new 655 capacity elementary to address the overcrowding in the South Newton area. The Ministry of Education has not approved these projects.

In June 2018, the Ministry of Education has approved funding for design and construction of a 700 capacity addition at Sullivan Heights. This is one of 3 projects that are planned to address the overcrowding at the secondary level in the Newton area. The two other projects are on the 2019/2020 5 Capital Plan waiting for approval from the Ministry to move to the feasibility stage.

**Cambridge Elementary**



**Sullivan Heights Secondary**



\* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students. Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.



## BUILDING GUIDELINES SUMMARY

Surrey Project no: 18-0079-00  
Project Location: 5760 - 144 Street, Surrey, B.C.  
Design Consultant: Tynan Consulting Ltd., (Michael E. Tynan)

The draft Building Scheme proposed for this Project has been filed with the City Clerk. The following is a summary of the Residential Character Study and the Design Guidelines which highlight the important features and form the basis of the draft Building Scheme.

### 1. Residential Character

#### 1.1 General Description of the Existing and/or Emerging Residential Character of the Subject Site:

Directly west of the subject site, on the west side of 144 Street is the RCMP Headquarters at 14355 - 57 Avenue. This institutional building does not provide architectural context relevant to the subject site.

Homes on the east side of 144 Street include a 2800 sq.ft. (approx.) 1 ½ storey home with mid scale massing design. The home has a 10:12 slope roof with asphalt shingle surface, and is clad in vinyl with a stone accent. The home due south of the subject site at 5740 - 144 Street is a 1970's, old urban 3000 sq.ft. Basement Entry home with box-like massing design that is to be demolished when Surrey project 13-0149-00 is built out. Surrey project 13-0149-00 can provide "building scheme regulations context". The subject site home, also to be demolished, is a 1970's, 3000 sq.ft. Cathedral Entry type dwelling with a high scale massing design and low (3:12) slope roof. North of the subject site, at 5780 - 144 Street is a post year 2000's (approx. 2010) 3600 sq.ft. "Traditional" style 1 ½ Storey home with desirable low to mid-scale massing design and 12:12 pitch Boston gable roof with shake profile asphalt shingle surface.

A half block north of the site, in the 14400 block of 58 Avenue are numerous "Neo-Traditional" and "Neo-Heritage" style Two-Storey type homes, developed under Surrey project 02-0224-00. These homes are all designed to a modern standard with well balanced, consistently proportioned, architecturally interesting mid-scale massing characteristics. These homes have 8:12 pitch common hip, common gable, and Dutch hip roofs with a shake profile asphalt shingle roof surface. Gable ends are articulated with shingles, wood battens over hardipanel, or other wood detailing. Homes are clad with Hardiplank (or other fibre cement board) and vinyl siding at the front. All of these newer homes can be considered suitable "context homes".

#### 1.2 Features of Surrounding Dwellings Significant to the Proposed Building Scheme:

- 1) **Context Homes:** The "context homes" in the 14400 block of 58 Avenue could be considered to provide acceptable architectural context. These homes meet new massing design standards in which various projections on the front of the home are proportionally consistent with one another, are well balanced across the façade, are visually pleasing, and are architecturally interesting. These new homes provide an appropriate standard

for future development in this area, and emulating the standards found on these homes will reinforce the desirable emerging trend. However, these context homes are located on a different street than the subject site and cannot be viewed simultaneously with the subject site homes. Therefore, although the quality of the designs at the subject site should meet or exceed the quality of the subject site homes, the subject site homes need not be restricted to the narrow style range of the context homes.

- 2) **Style Character** : The context homes in the 14400 block of 58 Avenue are best classified as "Neo-Traditional" or "Neo-Heritage" styles. Homes in the 5700 block of 144 Street can be identified as "West Coast Traditional" or "Old urban". Styles recommended for this site include "Neo-Traditional", "Neo-Heritage" and compatible manifestations of the "West Coast Contemporary" style as determined by the consultant. Note that style range is not restricted in the building scheme. However, the consultant refers to the character study when reviewing plans for meeting style-character intent.
- 3) **Home Types** : There are a range of home types evident, including Two-Storey (clearly dominant), Basement Entry, and Cathedral Entry, and so some flexibility is justified. Home type (Two-Storey, Bungalow, Basement Entry, Split Level, etc..) will not be regulated in the building scheme.
- 4) **Massing Designs** : Massing designs should meet new standards for RF and RF-13 zoned subdivisions. New homes should exhibit "mid-scale" massing. Various elements and projections on the front of the home should be interesting architecturally, and should be in pleasing natural proportions to one another. These elements and projections should be located so as to create balance across the façade.
- 5) **Front Entrance Design** : Front entrance porticos range from one to 1 ½ storeys in height. The recommendation is to limit the range of entrance portico heights to between one storey and 1 ½ storeys to ensure there is not proportional overstatement of this one element.
- 6) **Exterior Wall Cladding** : A wide range of cladding materials have been used in this area, including vinyl, cedar, stucco, fibre cement board, brick, and stone. Reasonable flexibility should therefore be permitted, including the use of vinyl siding, provided the overall quality of wall cladding materials meets or exceeds common standards for post 2017 developments.
- 7) **Roof surface** : The roof surface is not a uniquely recognizable characteristic of this area and so flexibility in roof surface materials is warranted. The recommendation is to permit cedar shingles, shake profile concrete roof tiles, shake profile asphalt shingles with a raised ridge cap, and new environmentally sustainable roof products that have a strong shake profile. Where required by the BC Building Code for lower slope applications membrane roofing products can be permitted subject to consultant approval. Small decorative metal roofs should also be permitted. These regulations are consistent with those of the adjacent site to the south, Surrey project 13-0149-00.
- 8) **Roof Slope** : The recommendation is to set the minimum roof slope at 6:12. Steeper slopes will be encouraged, especially on street facing roof projections. However, a relatively low 6:12 slope may be required to meet maximum height as specified in the RF bylaw. A provision is also recommended to allow slopes less than 6:12 where it is determined by the consultant that the design is of such high architectural integrity that the roof slope reduction can be justified, or that lower slopes are needed on feature projections or at the front entrance veranda to ensure upper floor windows can be installed without interference with the roof structure below.

**Streetscape:** Opposite the subject site, on the west side of 144 Street, is the RCMP Headquarters, an institutional building. Homes on the east side of 144 Street area 1970's, "West Coast Traditional" or "Old Urban" style Basement Entry and Cathedral Entry homes that do not meet modern standards. North of the site, in the 14400 block of 58 Avenue are post year 2000's, 2800 sq.ft. "Neo-Traditional" and "Neo-Heritage" style Two-Storey homes with desirable, well balanced, proportionally consistent mid-scale massing designs, finished to a high modern standard.

## 2. Proposed Design Guidelines

### 2.1 Specific Residential Character and Design Elements these Guidelines Attempt to Preserve and/or Create:

- the new homes are readily identifiable as one of the following styles: "Traditional", "Heritage", "Neo-Traditional", "Neo-Heritage", compatible forms of "West Coast Contemporary", or other compatible styles with appropriate transitions in massing and character, as determined by the design *consultant*. Note that the proposed style range is not contained within the building scheme, but is contained within the residential character study which forms the basis for interpreting building scheme regulations.
- a new single family dwelling *constructed* on any *lot* meets year 2017's design standards, which include the proportionally correct allotment of mass between various street facing elements, the overall balanced distribution of mass within the front facade, readily recognizable style-authentic design, and a high trim and detailing standard used specifically to reinforce the style objectives stated above.
- trim elements will include several of the following: furred out wood posts, articulated wood post bases, wood braces and brackets, louvered wood vents, bold wood window and door trim, highly detailed gable ends, wood dentil details, stone or brick feature accents, covered entrance verandas and other style-specific elements, all used to reinforce the style (i.e. not just decorative).
- the development is internally consistent in theme, representation, and character.
- the entrance element will be limited in height (relative dominance) to 1 to 1 ½ storeys.

### 2.2 Proposed Design Solutions:

**Interfacing Treatment with existing dwellings)**

The most relevant "context homes" in this area are located in the 14400 block of 58 Avenue. New homes will have similar or better massing designs (equal or lesser massing scale, consistent proportionality between various elements, and balance of volume across the façade). New homes will have similar roofing materials. Wall cladding, feature veneers and trim treatments will meet or exceed standards found on the aforesaid context homes.

**Exterior Materials/Colours:**

Stucco, Cedar, Vinyl, Fibre-Cement Board, Brick, and Stone. Vinyl not to exceed 25% of the wall area of the front façade.

"Natural" colours such as browns, greens, clays, and other earth-tones, and "Neutral" colours such as grey, white, and cream are permitted. "Primary" colours in subdued tones such as navy blue, colonial red, or forest green can be considered

providing neutral trim colours are used, and a comprehensive colour scheme is approved by the consultant. "Warm" colours such as pink, rose, peach, salmon are not permitted. Trim colours: Shade variation of main colour, complementary, neutral, or subdued contrast only.

**Roof Pitch:** Minimum 6:12, with exceptions to prevent roof ridges from becoming too high (overshadowing of neighbouring lots), to allow for veranda roofs that do not cover upper floor windows, to allow for artistic expression in feature roofs, and to provide a path for exceptional designs with lower slope roofs to be approved subject to consultant approval.

**Roof Materials/Colours:** Cedar shingles, shake profile concrete roof tiles, shake profile asphalt shingles with a raised ridge cap, and new environmentally sustainable roofing products should be permitted, providing that the aesthetic properties of the new materials are equal to or better than that of the traditional roofing products. Greys, black, or browns only. Membrane roofs permitted where required by B.C. Building Code, and small metal feature roofs also permitted.

**In-ground basements:** In-ground basements are subject to determination that service invert locations are sufficiently below grade to permit a minimum 50 percent in-ground basement to be achieved. If achievable, basements will appear underground from the front.

**Treatment of Corner Lots:** Not applicable - there are no corner lots

**Landscaping:** *Moderate modern urban standard:* Tree planting as specified on Tree Replacement Plan plus minimum 20 shrubs of a minimum 3 gallon pot size on lots 2, 3, 4, and a minimum of 25 shrubs on lot 1. Sod from street to face of home. Driveways: exposed aggregate, interlocking masonry pavers, coloured concrete (earth tones only), or stamped concrete. Broom finish concrete is permitted only where the driveway directly connects the lane to the garage slab at the rear side of the dwelling.

**Compliance Deposit:** \$5,000.00

**Summary prepared and submitted by:** Tynan Consulting Ltd.      **Date:** June 30, 2018

**Reviewed and Approved by:**       **Date:** June 30, 2018

## Tree Preservation Summary

Surrey Project No: 7918-0079-00


Address: 5760 144 Street

Registered Arborist: Corey Plester PN# 8523A

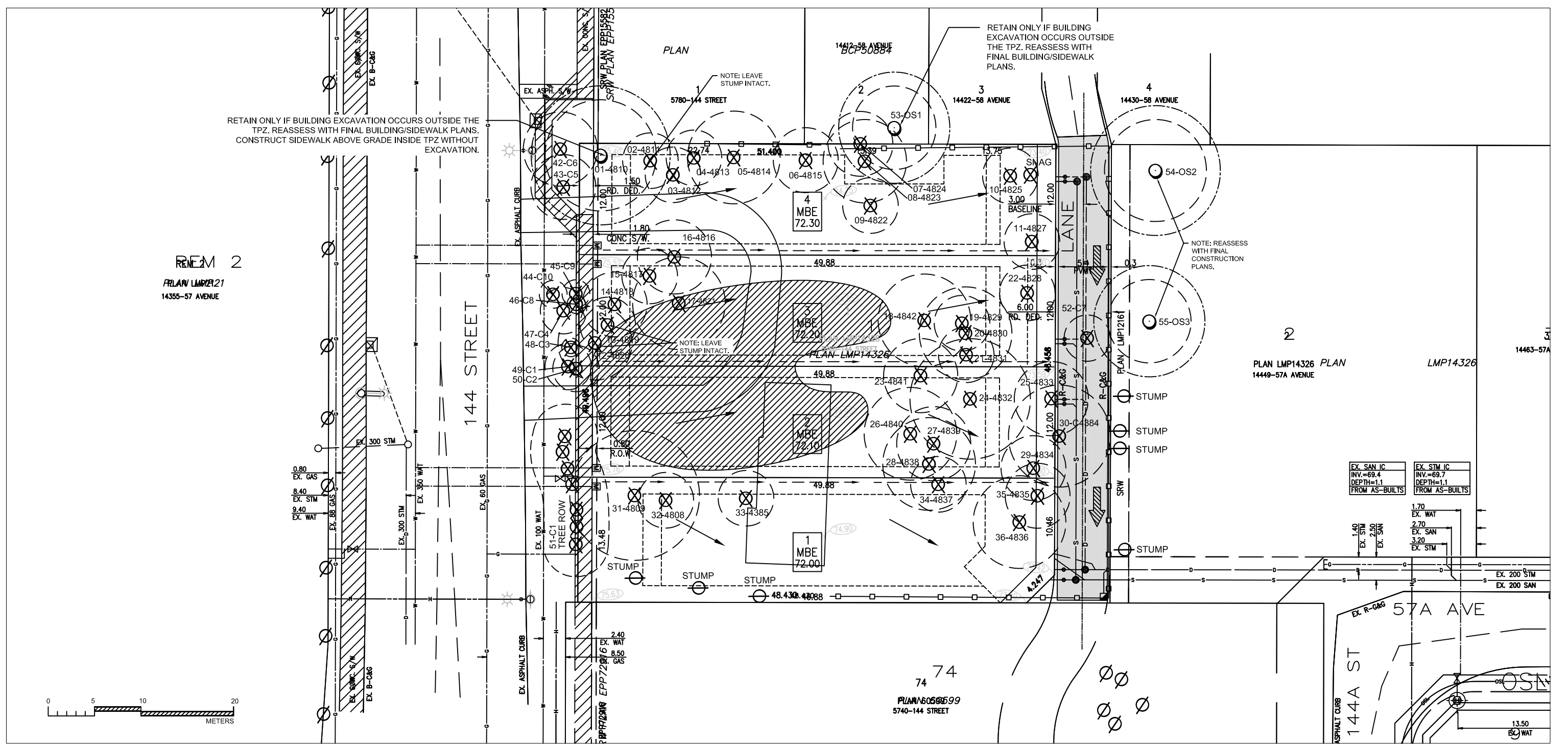
On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	56
<b>Protected Trees to be Removed</b>	55
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	1
<b>Total Replacement Trees Required:</b>  - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = <u>0</u>  - All Other Trees Requiring 2 to 1 Replacement Ratio 55 X two (2) = <u>110</u>	110
<b>Replacement Trees Proposed</b>	11
<b>Replacement Trees in Deficit</b>	99
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	NA

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	0
<b>Total Replacement Trees Required:</b>  - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0  - All Other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 4	0
<b>Replacement Trees Proposed</b>	NA
<b>Replacement Trees in Deficit</b>	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 	Date: November 23, 2018
--	-------------------------





RETAIN ONLY IF BUILDING EXCAVATION OCCURS OUTSIDE THE TPZ. REASSESS WITH FINAL BUILDING/SIDEWALK PLANS. CONSTRUCT SIDEWALK ABOVE GRADE INSIDE TPZ WITHOUT EXCAVATION.

NOTE: LEAVE STUMP INTACT.

RETAIN ONLY IF BUILDING EXCAVATION OCCURS OUTSIDE THE TPZ. REASSESS WITH FINAL BUILDING/SIDEWALK PLANS.

NOTE: REASSESS WITH FINAL CONSTRUCTION PLANS.

NOTE: LEAVE STUMP INTACT.

EX. SAN IC  
INV.=69.4  
DEPTH=1.1  
FROM AS-BUILTS

EX. STM IC  
INV.=69.7  
DEPTH=1.1  
FROM AS-BUILTS

EX. WAT  
1.70

EX. SAN  
2.70

EX. STM  
3.20

**LEGEND**

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- NON BY-LAW TREE
- MINIMUM NO DISTURBANCE ZONE
- 1.5m EXCAVATION OFFSET
- TREE >4m FROM PL
- FILL IN EXCESS OF 0.5m
- TREE STUMP

NOTE: RECOMMENDATIONS FOR REMOVAL AND RETENTION FOR ALL CITY TREES WILL BE MADE BY SURREY'S PARKS RECREATION AND CULTURE DEPARTMENT.

NOTE: ALL RETAINED TREES ARE TO BE REASSESSED IN CONJUNCTION WITH FINAL DEVELOPMENT AND CONSTRUCTION PLANS.

NO.	DATE	BY	REVISION
1	JUL03/18	MK	KEY/GRADING PLANS
2	NOV19/18	MK	KEY/GRADING PLANS
3	NOV20/18	MK	DEVELOPMENT CONCEPT
4	NOV22/18	MK	KEY/GRADING PLANS & REVISIONS

**MIKE FADUM AND ASSOCIATES LTD.**  
**VEGETATION CONSULTANTS**

#105, 8277 129 St.  
 Surrey, British Columbia  
 V3W 0A6  
 Ph: (778) 593-0300  
 Fax: (778) 593-0302  
 Mobile: (604) 240-0309  
 Email: [mfadum@fadum.ca](mailto:mfadum@fadum.ca)

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PROJECT TITLE  
**5760 144 STREET**  
**SURREY, B.C.**

SHEET TITLE  
**T1 - TREE REMOVAL AND PRESERVATION PLAN**

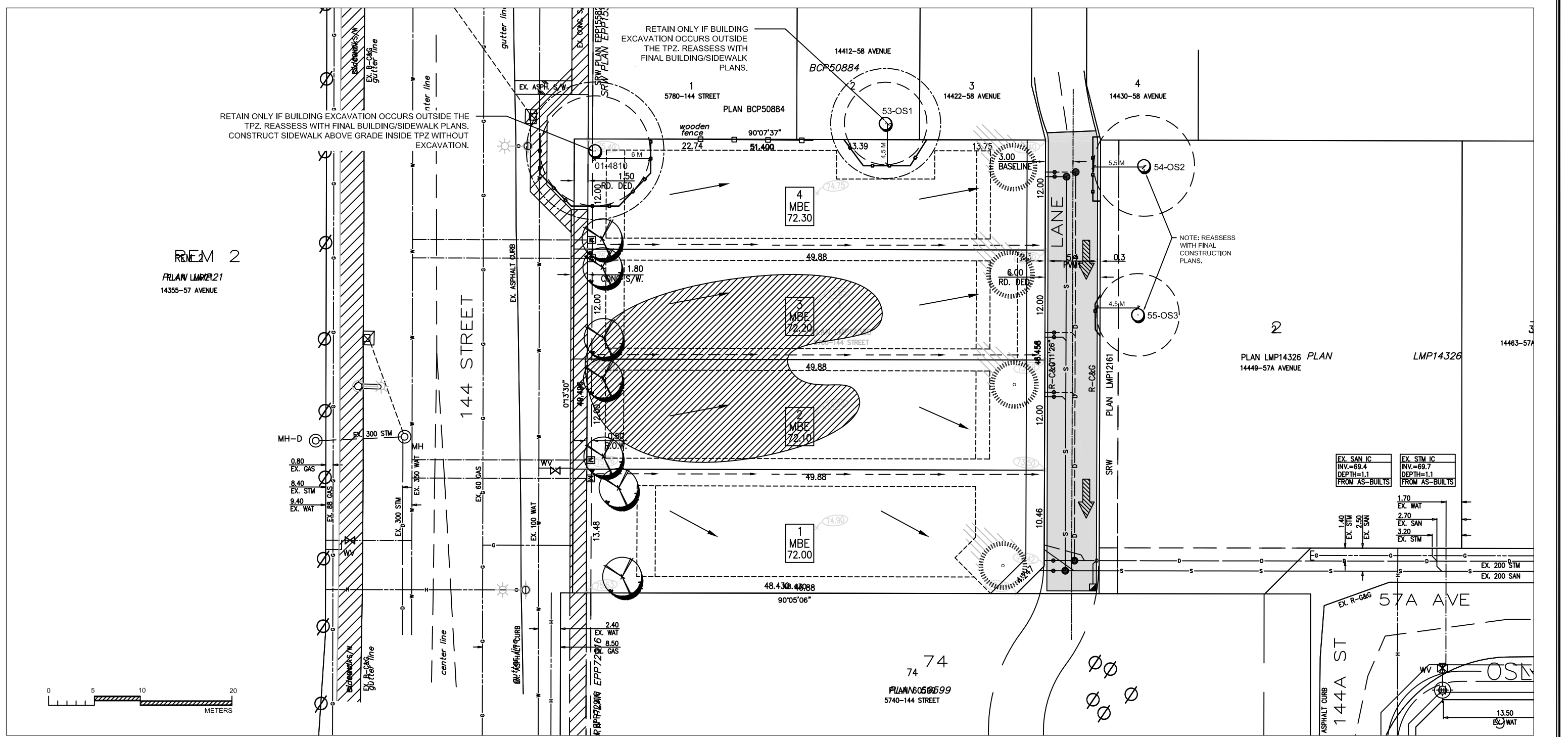
CLIENT

DRAWN  
 MK

SCALE  
 AS SHOWN

DATE  
 DECEMBER 29, 2017

**T-1**  
 SHEET 1 OF 2

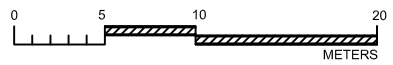


REM 2  
 PLAN LMP14321  
 14355-57 AVENUE

PLAN LMP14326 PLAN  
 14449-57A AVENUE

EX. SAN IC INV.=69.4 DEPTH=1.1 FROM AS-BUILTS	EX. STM IC INV.=69.7 DEPTH=1.1 FROM AS-BUILTS
--	--

1.70 EX. WAT	EX. 200 STM
2.70 EX. SAN	EX. 200 SAN
3.20 EX. STM	



**LEGEND**

- TREE TO BE RETAINED
- TREE >4m FROM PL
- TREE PROTECTION FENCING
- MINIMUM NO DISTURBANCE ZONE
- 1.5m EXCAVATION OFFSET
- FILL IN EXCESS OF 0.5m
- DECIDUOUS REPLACEMENT TREE (5 CM. DIA. MINIMUM)
- CONIFEROUS REPLACEMENT TREE (3.0 M. HT. MINIMUM)

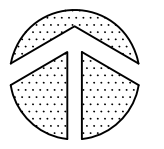
NOTE: RECOMMENDATIONS FOR REMOVAL AND RETENTION FOR ALL CITY TREES WILL BE MADE BY SURREY'S PARKS RECREATION AND CULTURE DEPARTMENT.

NOTE: ALL RETAINED TREES ARE TO BE REASSESSED IN CONJUNCTION WITH FINAL DEVELOPMENT AND CONSTRUCTION PLANS.

NOTE: NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS.

NOTE: TREE PROTECTION FENCING TO BE MEASURED FROM THE OUTER EDGE OF TREE TRUNK AND SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS. REASSESS TREES WITH LOT GRADING PLANS.

NOTE: REPLACEMENT TREES SHALL CONFORM TO CNLA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.



NO.	DATE	BY	REVISION
1	JUL03/18	MK	KEY/GRADING PLANS
2	NOV19/18	MK	KEY/GRADING PLANS
3	NOV20/18	MK	DEVELOPMENT CONCEPT
4	NOV22/18	MK	KEY/GRADING PLANS & REVISIONS

**MIKE FADUM AND ASSOCIATES LTD.**  
**VEGETATION CONSULTANTS**

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 V3W 0A6  
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 Email: [mfadum@fadum.ca](mailto:mfadum@fadum.ca)

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PROJECT TITLE  
**5760 144 STREET**  
**SURREY, B.C.**

SHEET TITLE  
**T2 - TREE PROTECTION PLAN**

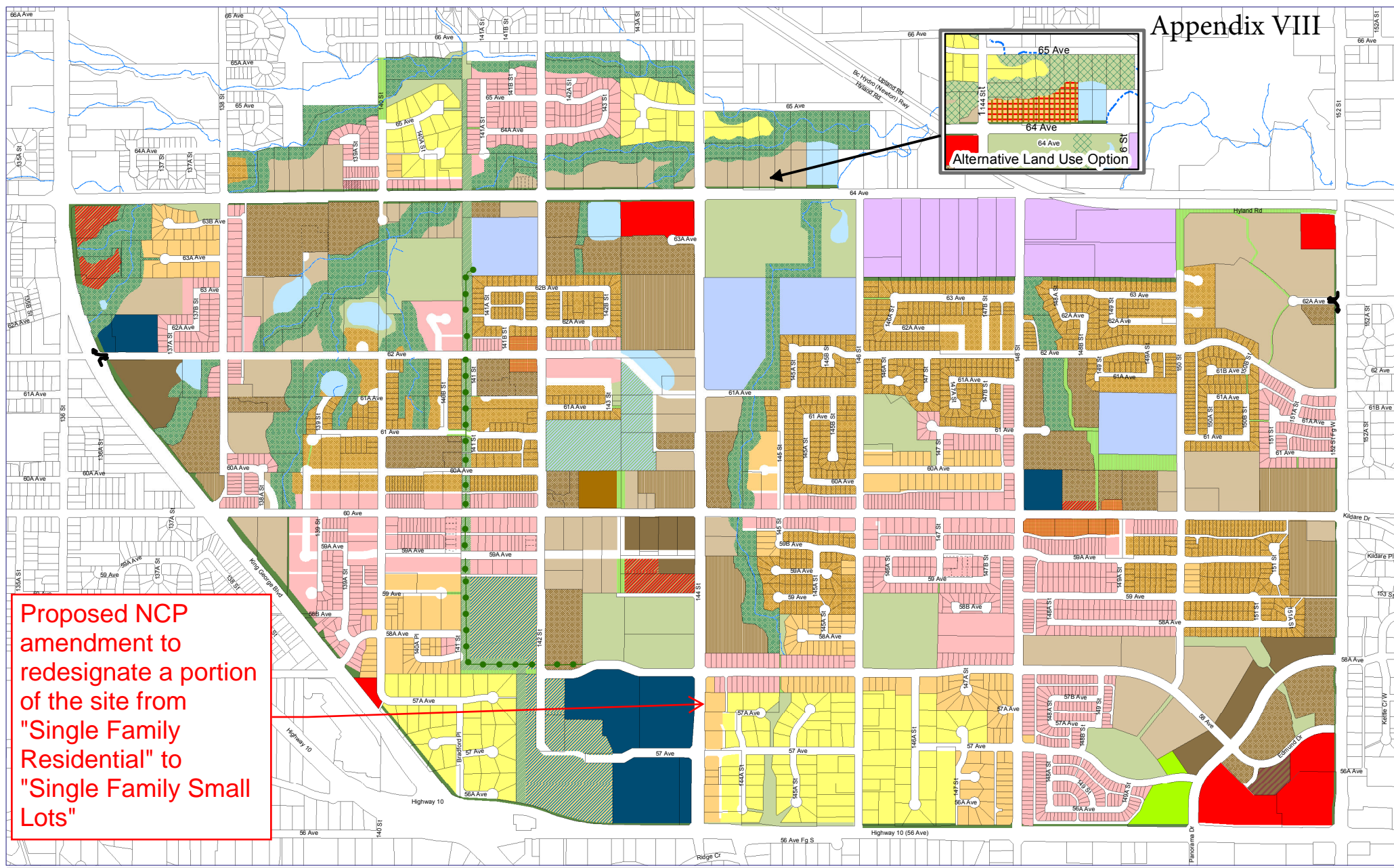
CLIENT

DRAWN  
 MK

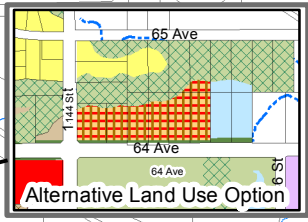
SCALE  
 AS SHOWN

DATE  
 DECEMBER 29, 2017

**T-2**  
 SHEET 2 OF 2



**Proposed NCP amendment to redesignate a portion of the site from "Single Family Residential" to "Single Family Small Lots"**



**SOUTH NEWTON**  
 NEIGHBOURHOOD CONCEPT PLAN  
 City of Surrey Planning & Development Department

Apartments 65 upa max	Single Family Small Lots	Commercial	Proposed School and Park	Buffers
Apartments 45 upa max	Row Housing	Institutional	Parks	Detention Ponds
Townhouses 30 upa max	Single Family Residential Flex 6 to 14.5	Office Park	Proposed Park and Walkway	Utility R/W Greenway
Townhouses 25 upa max	Single Family Residential	Industrial	Recreational	WALKWAY
Townhouses 20 upa max	Suburban Residential 1/2 Acre	Schools	Creeks and Riparian Set-back	
Townhouses 15 upa max	Mixed Com/Res Apartments	Proposed School		
	Mixed Com/Res Townhouse			

0 250 500 1,000 Meters

Adopted by Council Resolution December 6, 2004. Amended 14 May 2018

This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.



CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7918-0079-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 018-600-638  
Lot 1 Section 10 Township 2 New Westminster District Plan LMP14326  
5760 - 144 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title has been issued, as follows:

Parcel Identifier:

\_\_\_\_\_

- (b) If the civic address changes, the City Clerk is directed to insert the new civic address for the Land, as follows:

\_\_\_\_\_

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
  - (a) In Subsection K.2 Subdivision, of Part 16 Single Family Residential Zone (RF), the minimum lot width is reduced from 15 metres (50 ft.) to 13.5 metres (44 ft.) for proposed Lot 1.
5. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse unless the subdivision, as conceptually shown on Schedule A which is attached hereto and forms part of this development variance permit, is registered in the New Westminster Land Title Office within three (3) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20   .  
ISSUED THIS      DAY OF      , 20   .

---

Mayor – Doug McCallum

---

City Clerk – Jane Sullivan



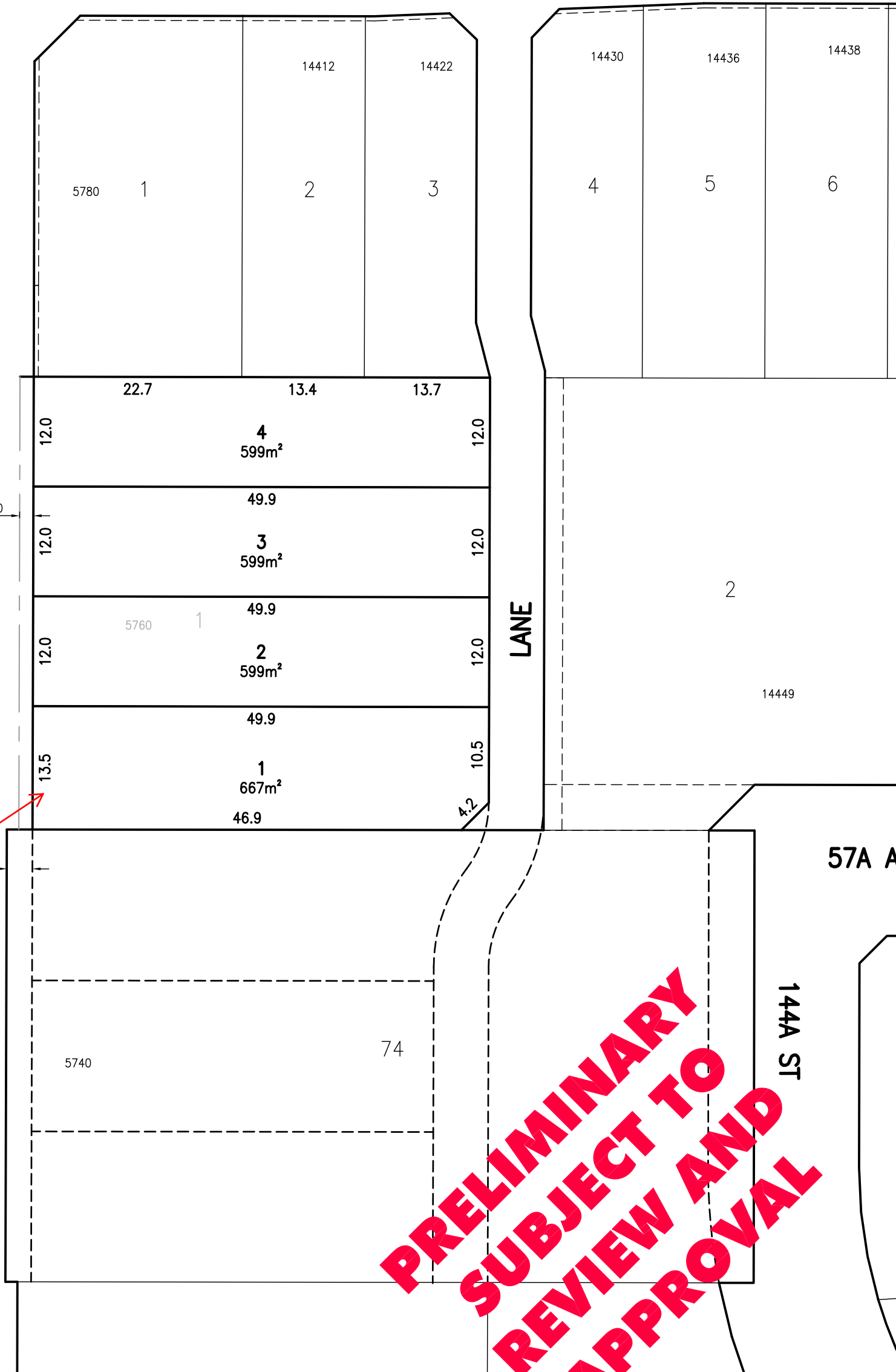
58 AVE

144 ST

LANE

57A A'

144A ST



Proposed variance to reduce the minimum required lot width for Lot 1 from 15 metres (50 ft.) to 13.5 metres (44 ft.)

**PRELIMINARY  
SUBJECT TO  
REVIEW AND  
APPROVAL**

**Hub Engineering Inc.**  
Engineering and Development Consultants



Suite 212, 12992 - 76 Avenue, Surrey, B.C. V3W 2V6  
tel: 604-572-4328 | fax: 604-501-1625 | mail@hub-inc.com | www.hub-inc.com

CLIENT:		PROJECT: 5760 144 STREET, SURREY		
DRAWING TITLE: RESIDENTIAL SUBDIVISION				
PROJECT No. 2017-142	DATE: AUG 2017	LEGAL:	SCALE: 1:500	MUNICIPAL PROJECT No.:

C:\Projects\2017-142.par\A0 Drawings\Layouts\Layouts - Op 1 - Aug 21, 2017.dwg [Lot Portrait 11x17] 8/21/2017 11:46AM