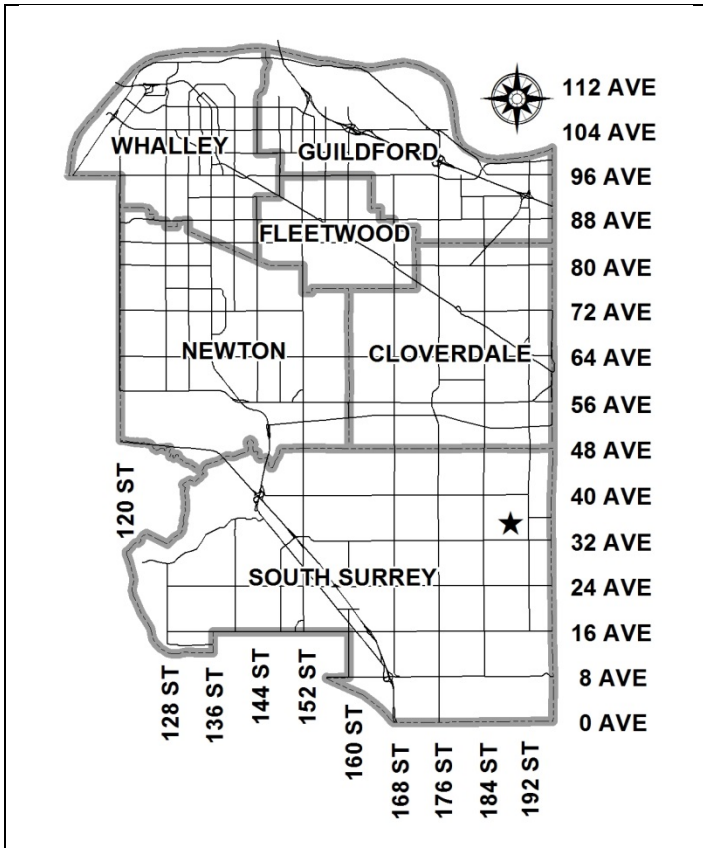


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0606-00

Planning Report Date: May 28, 2018



PROPOSAL:

- Development Permit
- Development Variance Permit

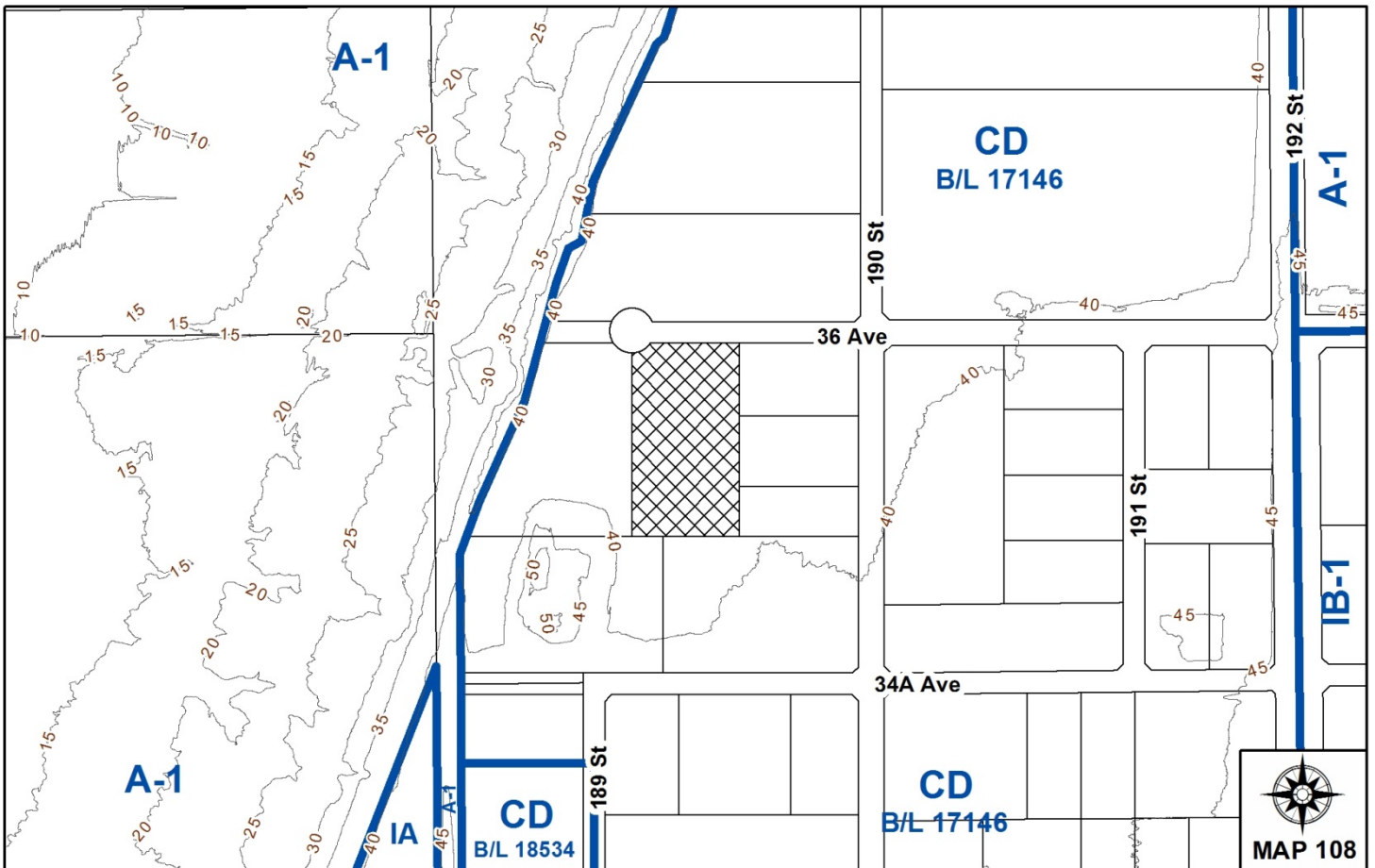
to permit the development of an 11,630 square metre (125,182 sq.ft.) industrial building.

LOCATION: 18958 - 36 Avenue

ZONING: CD (By-law No. 17146 as amended by By-law No. 17934)

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing a Development Variance Permit to reduce the required width of a maneuvering aisle from 7.5 metres (25 ft.) to 5.0 metres (16 ft.).

RATIONALE OF RECOMMENDATION

- The proposal complies with the site's "Mixed Employment" designation in the OCP.
- The proposal complies with the site's "Business Park" designation in the Campbell Heights Business Park Local Area Plan (LAP).
- The proposed density and building form are appropriate for this part of Campbell Heights and are consistent with the design guidelines outlined in the general Development Permit and Design Guidelines for Campbell Heights North.
- The proposed reduction in the maneuvering aisle width is acceptable as vehicle movement will only be in a one-way direction and the applicant has demonstrated sufficient area for loading maneuvering at the rear of the building.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7917-0606-00 generally in accordance with the attached drawings (Appendix II).
2. Council approve Development Variance Permit No. 7917-0606-00 (Appendix III), to reduce the minimum required width of a maneuvering aisle from 7.5 metres (25 ft.) to 5.0 metres (16 ft.), to proceed to Public Notification.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) registration of a Section 219 Restrictive Covenant to prohibit uses requiring an emissions permit from Metro Vancouver; and
 - (e) registration of a Section 219 Restrictive Covenant to limit mezzanine space to a maximum of 8.4% of the ground floor area.

REFERRALS

Engineering: The Engineering Department has no objection to the project.
 Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Undeveloped pre-serviced industrial land.

Adjacent Area:

Direction	Existing Use	LAP Designation	Existing Zone
North (Across 36 Avenue):	Vacant Industrial Land (Development Application 7917-0392-00 which proposes a 9,234 square metre (98,389 sq. ft.) single tenant industrial building has received Conditional Approval)	Mixed Employment	CD (By-law No. 17146 as amended by By-law No. 17934)

Direction	Existing Use	LAP Designation	Existing Zone
East and West:	Industrial Buildings	Mixed Employment	CD (By-law No. 17146 as amended by By-law No. 17934)
South:	Industrial Building and Vacant Industrial Land	Mixed Employment	CD (By-law No. 17146 as amended by By-law No. 17934)

DEVELOPMENT CONSIDERATIONS

Context:

- The 1.764 hectare (4.36 acre) subject site is located in the Campbell Heights North business park, on the south side of 36 Avenue, west of 190 Street. The site is designated "Mixed Employment" in the Official Community Plan (OCP), and "Business Park" in the Campbell Heights Local Area Plan (LAP).
- On June 7, 2010, the subject site was rezoned from "General Agricultural Zone (A-1)" to "Comprehensive Development Zone (CD)" (By-law No. 17146) under Development Application No. 7910-0032-00). CD By-law No. 17146 was subsequently amended by By-law No. 17934 on June 17, 2013 under Development Application No. 7912-0160-00, to adjust the outdoor storage area boundaries.
- CD By-law No. 17146, as amended by By-law No. 17934, permits light impact industry, warehouse uses, distribution centres, transportation industry, office uses, and other accessory uses, forming part of a comprehensive design.
- The subject site was created as part of a subdivision under Development Application No. 7912-0159-00, which was approved on October 30, 2014. The site has been cleared and serviced for development as part of the subdivision.

Proposal:

- The applicant is proposing a Development Permit (DP) to allow an 11,630 square metre (125,182 sq.ft.) single-tenant industrial building on the site (Appendix II) with a floor area ratio (FAR) of 0.66 and 47% lot coverage. The proposed FAR and lot coverage comply with the maximum 1.0 FAR and 60% lot coverage respectively permitted under the CD Zone (By-law No. 17146 as amended by By-law No. 17934).
- The form, character and density of the proposed development complies with the Campbell Heights Local Area Plan (LAP) and the proposed development meets the requirements of the CD Zone (By-law No. 17146 as amended by By-law No. 17934), including floor area, lot coverage, building height and building setbacks.
- The applicant is also proposing a Development Variance Permit (DVP) to reduce the minimum required width of the maneuvering aisle from 7.5 metres (25 ft.) to 5.0 metres (16 ft.).

Access and Parking:

- The proposed development will have two vehicular entrances located on 36 Avenue.
- The main parking area for employees and visitors will be located at the north end of the site adjacent to 36 Avenue, with additional passenger vehicle parking provided along the sides of the building and across from the loading area at the rear of the building, along the south property line.
- The loading area will be located at the south end of the site (at the rear of the building), away from public view, and will be accessed by a one-way drive aisle that enters along the west side of the building and exits along the east side of the building. The drive aisle is discussed further in the DVP section of this report.
- There are 131 parking spaces proposed, which meets the Zoning By-law requirement of 107 spaces for the proposed warehouse use with a rate of 1 space per 100 square metres and 22 spaces for the proposed office use at a rate of 2.5 spaces per 100 square metres.
- The BC Building Code permits up to 40% of the ground floor area to be constructed as second-storey mezzanine space, which would require an additional 60 parking spaces (based on the office use rate). A restrictive covenant will be required to limit the maximum second-storey office mezzanine space to 8.4% of the ground floor area based on the number of parking spaces provided and the amount of office floor area being proposed.

PRE-NOTIFICATION

A development proposal sign was installed on the site on February 21, 2018 and the proposal was referred to the Little Campbell Watershed Society (LCWS) for review and comment. To date staff have not received any comments.

DESIGN PROPOSAL AND REVIEW

- The proposed tilt-up concrete building is consistent with the design guidelines outlined in the Campbell Heights North Design Guidelines and the Official Community Plan (OCP), and is reflective of the existing standards within the area. The development concept for Campbell Heights is a high quality, sustainable industrial business park.
- Overall, the building is proposed to have a modern appearance with architectural emphasis placed on the main façade facing 36 Avenue. Glazing and articulation will provide visual interest and the main entrances and second-storey office facing 36 Avenue will provide "eyes on the street" in accordance with Crime Prevention Through Environmental Design (CPTED) principles.
- The proposed building construction is concrete tilt up panels with pre-finished metal wall cladding and glazing. Canopies are proposed at the first floor and over the entrances to provide weather protection and solar shading.

- Pedestrian linkages are proposed to connect from the sidewalk on 36 Avenue to the front of the building via a walkway through the front parking lot. Bicycle racks will be provided near the main entrance to the building.

Landscaping:

- The landscaping for this site proposes 32 new trees, including Vine Maple, Serviceberry, European Hornbeam, American Sweetgum, Profusion Crab Apple and Nootka False Cypress, along with shrubs, perennials, groundcovers, and grasses to be planted on-site along the entry walkways, parking lot, and in the landscaping strips surrounding the front portion of the site. The intent of the proposed landscaping is to introduce a variety of layered plantings to visually break up the scale of the building, screen parking, and enhance the presence of the site.
- The proposal will provide a 3.66 metre (12 ft.) wide landscaping strip along 36 Avenue in accordance with the zoning requirements for sites abutting non-Major Roads, which require minimum 3 metre (10 ft.) wide landscape strips. The landscape strip will incorporate a planted bioswale with a cobble channel to collect storm water runoff and allow for on-site bio-filtration as required within Campbell Heights.
- A 1.5 metre (4 ft.) wide landscape strip will also be provided along the south property line to provide screening and buffering between the subject site and the properties to the south.
- The vehicular access to the site and on-site pedestrian connections will be finished with saw cut concrete.
- A staff amenity area with picnic-style tables will be located at the east side of the site along the front of the building.
- The pad-mounted transformer (PMT) will be located at the front of the building on the west side, and screened by fencing and landscaping in keeping with the Campbell Heights design guidelines.

ADVISORY DESIGN PANEL

- The application was not referred to the Advisory Design Panel (ADP), but was reviewed by City Staff and found to be satisfactory. The proposed development was evaluated based on compliance with the design guidelines for Campbell Heights North and the OCP.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on December 21, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located in the Campbell Heights LAP and the proposed development is reflective of the land use designation.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed density and FAR is in keeping with the CD Bylaw
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Low impact development standards (LIDs) are incorporated in the design of the project including: <ul style="list-style-type: none"> ○ Roof Downspout Disconnection; ○ On-lot infiltration trenches or sub-surface chambers; ○ Bioswales; ○ Natural landscaping; ○ Sediment control devices; ○ Perforated Pipe Systems; and ○ Permeable Pavement/Surfaces.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Bicycle parking will be provided on site.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Crime Prevention Through Environmental Design (CPTED) principles have been incorporated in the following manner: <ul style="list-style-type: none"> ○ Natural access control by clearly defining entries to the building; and ○ Exterior lighting of the building providing visibility on the site. ○ Security lighting over all overhead doors adjacent to main doors.
6. Green Certification (F1)	<ul style="list-style-type: none"> • N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • A development proposal sign was installed on the site on February 21, 2018 and the proposal was referred to the Little Campbell Watershed Society (LCWS) for review and comment.

BY-LAW VARIANCE AND JUSTIFICATION

a) Requested Variance:

- To reduce the minimum required width of a maneuvering aisle from 7.5 metres (25 ft.) to 5.0 metres (16 ft.).

Applicant's Reasons:

- The maneuvering aisle located along the east and west property lines will be for one-way circulation of traffic only, with vehicles entering on the west side and exiting on the east side.
- There is sufficient area at the south end of the site to allowing for truck maneuvering within the loading area.

Staff Comments:

- The 7.5 metres (25 ft.) requirement identified in the Zoning By-law is intended to accommodate two-way traffic and maneuvering.
- The proposed 5.0 metre (16 ft.) maneuvering aisle width is deemed sufficient as it will only serve one-way circulation of vehicle traffic.
- Bar arm vehicle gates will be installed at the entrance and exit with signage and painted directional arrows on the ground to clearly identify the direction of traffic movement.
- Surrey Fire Services has reviewed the proposal and expressed no concerns.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Action Summary (Confidential) and Development Data Sheet
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Development Variance Permit No. 7917-0606-00

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

EM/cm

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Existing Zoning: CD (By-law No. 17146 & 17934)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		17,644 m ²
Road Widening area		0
Undevelopable area		0
Net Total		17,644 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	60%	46.6%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front	7.5 m	33 m
Rear	7.5 m	32 m
Side #1 (East)	7.5 m	7.5 m
Side #2 (West)	7.5/0 m	5.7 m
BUILDING HEIGHT (in metres/storeys)		
Principal	14	14
Accessory		
FLOOR AREA: Commercial		
Retail		
Office		862 m ²
Total		862 m ²
FLOOR AREA: Industrial		10,728 m ²
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)	1.0	0.66
FAR (net)	1.0	0.66
AMENITY SPACE (area in square metres)		
Indoor		0
Outdoor		32.5 m ²
PARKING (number of stalls)		
Commercial (Office)	22	25
Industrial	107	107
Total Number of Parking Spaces	129	132
Number of accessible stalls	2	2
Number of small cars	46	21
Tandem Parking Spaces: Number / % of Total Number of Units		8
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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18958 - 36 Ave



CALKINS & BURKE DEVELOPMENT

18958 - 36 Ave, SURREY, BC

PROJECT TEAM

ARCHITECT OF RECORD

LARRY PODHORA ARCHITECT
1952 BRACKMAN WAY
SAANICH B.C. V8L 0C2

CONTACT: LARRY PODHORA

BUILDING DESIGN

KRAHN ENGINEERING LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD B.C. V2S 2E8
P. 604.853.8831 F. 604.853.1580

CONTACT: MARK BRONSEMA

CIVIL

KM CIVIL CONSULTANTS LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD B.C. V2S 2E8
P. 604.853.8831 F. 604.853.1580

CONTACT: STUART MCGREGOR

LANDSCAPE

KD PLANNING + DESIGN
400 - 34077 GLADYS AVENUE
ABBOTSFORD B.C. V2S 2E8
P. 604.853.8831 F. 604.853.1580

CONTACT: SHAN TENNYSON

SHEET LIST

ARCHITECTURAL


- DP 1.0 COVER PAGE, CONTEXT PLAN
- DP 1.1 PERSPECTIVES
- DP 1.2 PERSPECTIVES
- DP 2.0 SITE PLANS, ZONING ANALYSIS
- DP 2.1 SITE BASE
- DP 2.2 SITE DETAIL
- DP 3.0 FLOOR PLANS
- DP 3.1 FLOOR PLANS
- DP 3.2 FLOOR PLANS
- DP 3.3 UEG ROOF PLAN
- DP 4.0 ELEVATIONS
- DP 5.0 BUILDING SECTIONS

LANDSCAPE

L1.0 Unnamed

CIVIL

CONTEXT PLAN LEGEND

-  LOTS PRIVATE
-  LOTS - PARK - CITY PURCHASED
-  BUILDINGS
-  ROAD SURFACE
-  TRAILS & PATHS
-  SITE
-  PARK SPECIMEN TREES



18958 - 36 Ave



18958 - 36 Ave



4



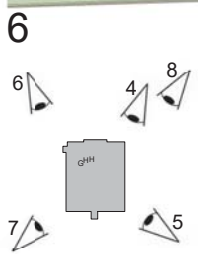
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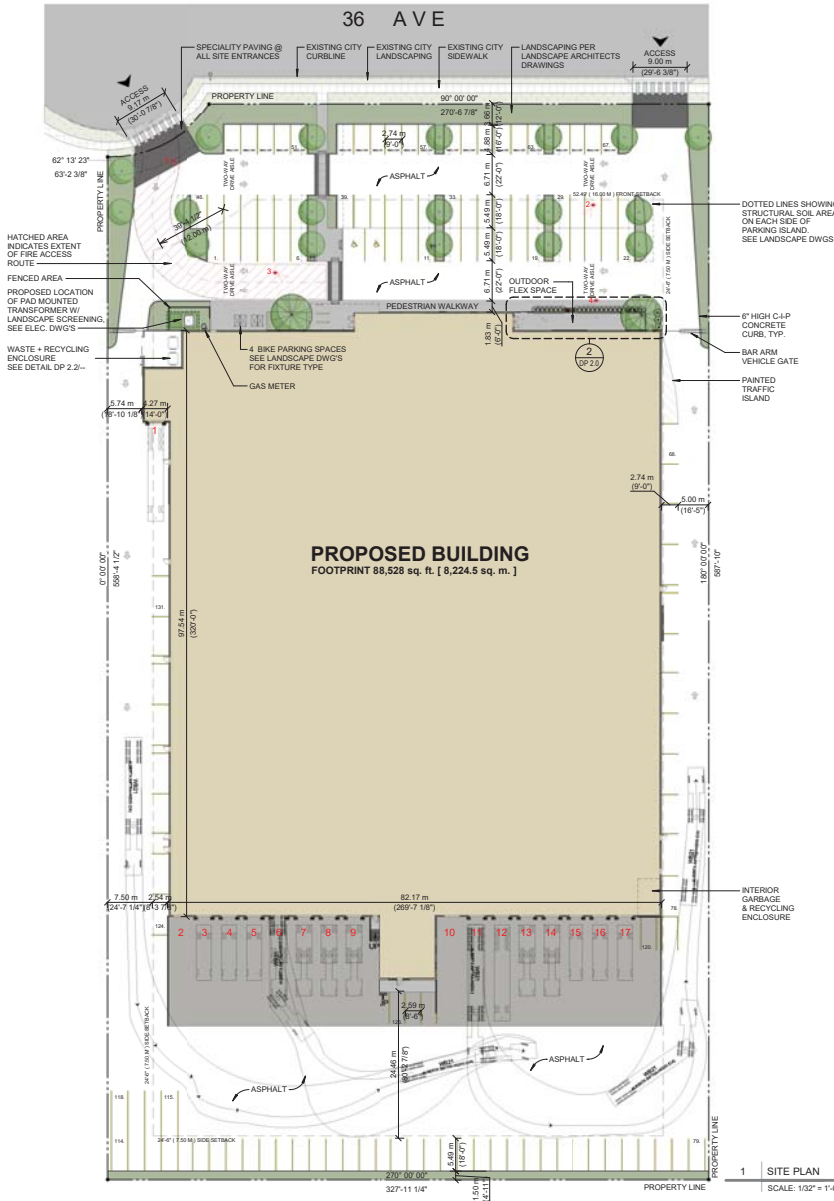


7



8





2 PLAY GROUND AREA
SCALE: 3/16" = 1'-0"

PROJECT DATA

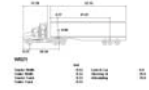
CIVIC ADDRESS: 18958 - 36 Ave., SURREY BC (LOT 20)
 LEGAL ADDRESS: LOT 20 SECTION 28 TOWNSHIP 7
 WVD PLAN EPP41342

ZONING BYLAW ANALYSIS (CITY OF SURREY)

- 1. ZONING: COMPREHENSIVE DEVELOPMENT (CD)
- 2. SITE AREA: 1.76 HA / 4.36 ACRES = 189,921 S.F. [17,644 S.M.]
- 3. SITE COVERAGE: ALLOWABLE SITE COVERAGE: 60%
 GROSS BUILDING AREA:
 MAIN FLOOR: 88,528 SQ. FT. (8,224.5 SQ M)
 MEZZANINE FLOOR: 4,232 SQ. FT. (393 SQ M)
 SECOND FLOOR: 32,422 SQ. FT. (3,012.1 SQ M)
 TOTAL: 125,182 SQ. FT. (11,630 SQ M)
 PROPOSED SITE COVERAGE: (BUILDING AREA) / (SITE AREA)
 88,528 SQ FT / 189,921 SQ FT = 46.6%
 FLOOR SPACE RATIO: (TOTAL FLOOR AREA) / (SITE AREA)
 125,182 SQ FT / 189,921 SQ FT = 0.66
- 4. BUILDING HEIGHT: MAXIMUM HEIGHT: 45.9' (14 M)
 PROPOSED HEIGHT: 45.9' (14 M)

- 5. REQUIRED SETBACKS:
 FRONT YARD (NORTH): 52.49' (16.00 M)
 SIDE YARD (EAST/WEST): 24.6' (7.50 M)
 OR IF ONE SIDE ABUTS INDUSTRIAL: 0.00' (0.00 M)
 REAR YARD (SOUTH): 24.6' (7.50 M)
- 6. LANDSCAPING REQUIREMENTS:
 ALL LANDSCAPING TO SURREY ZONING BYLAW
- 7. PARKING AND LOADING:
 PROPOSED: INDUSTRY - TRANSPORTATION
 PARKING STALLS REQUIRED: 1 STALL / 1,075 SQ FT
 115,477 / 1,075 = 107.4 STALLS REQUIRED
 PROPOSED: OFFICE
 PARKING STALLS REQUIRED: 2.5 STALLS / 1,075 SQ FT
 2.5 (9,273.2 / 1,075) = 21.6 STALLS REQUIRED
 ACCESSIBLE STALLS REQUIRED: 2 ACCESSIBLE STALLS REQUIRED
 LOADING STALLS REQUIRED: 17 STALLS REQUIRED
 129 (128.96) TOTAL STALL REQUIRED
 DRIVE AISLE WIDTH: 22'-0" (6.7 M) AT 90°
 STALL DIMENSIONS:
 STANDARD STALL DIMENSIONS: 9'-0" (2.75 M) WIDE, 18'-0" (5.5 M) LONG
 ACCESSIBLE STALL DIMENSIONS: 12'-0" (3.7 M) WIDE, 18'-0" (5.5 M) LONG
 SMALL CAR STALL DIMENSIONS: 9'-0" (2.75 M) WIDE, 16'-0" (4.9 M) LONG
 LOADING STALL DIMENSIONS: 13'-0" (4.0 M) WIDE, 30'-0" (9.2 M) LONG
 TOTAL STALLS PROVIDED: 131 STANDARD STALLS
 2 ACCESSIBLE STALLS (INCLUDED)

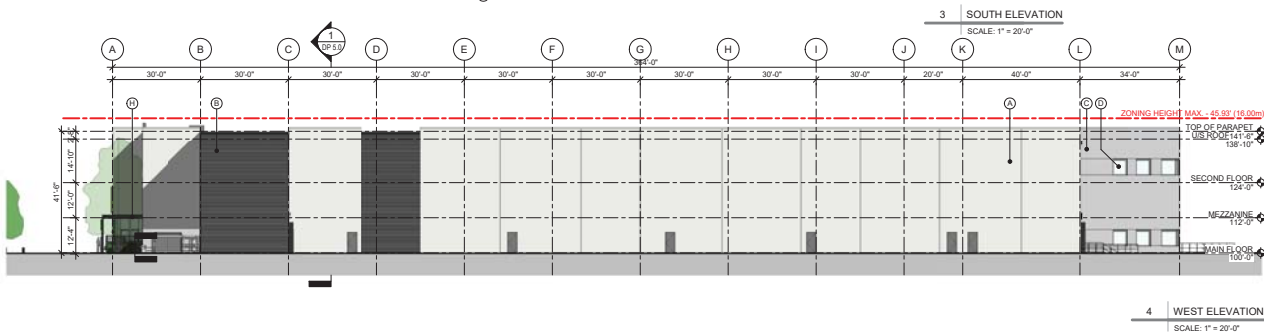
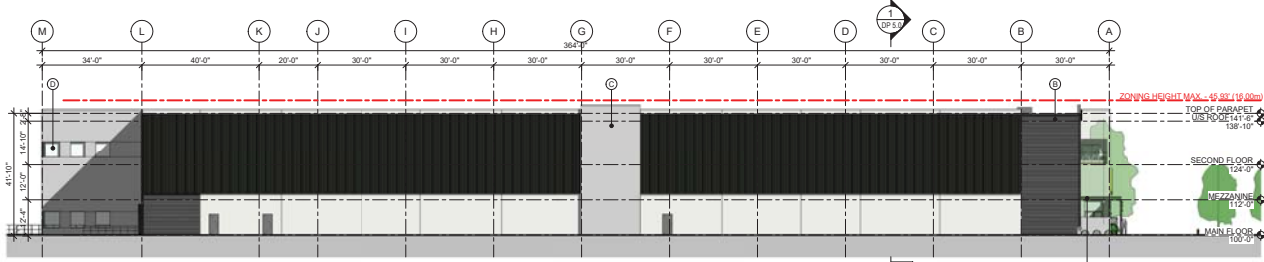
TRUCK TURNING DEMONSTRATION:



SITE FURNISHINGS:



BICYCLE RACK
 LANDSCAPE FORMS 'EMERSON'
 FINISH: METALLIC SILVER
 SIZE: 4" WIDE, 20" LONG, 30" HEIGHT

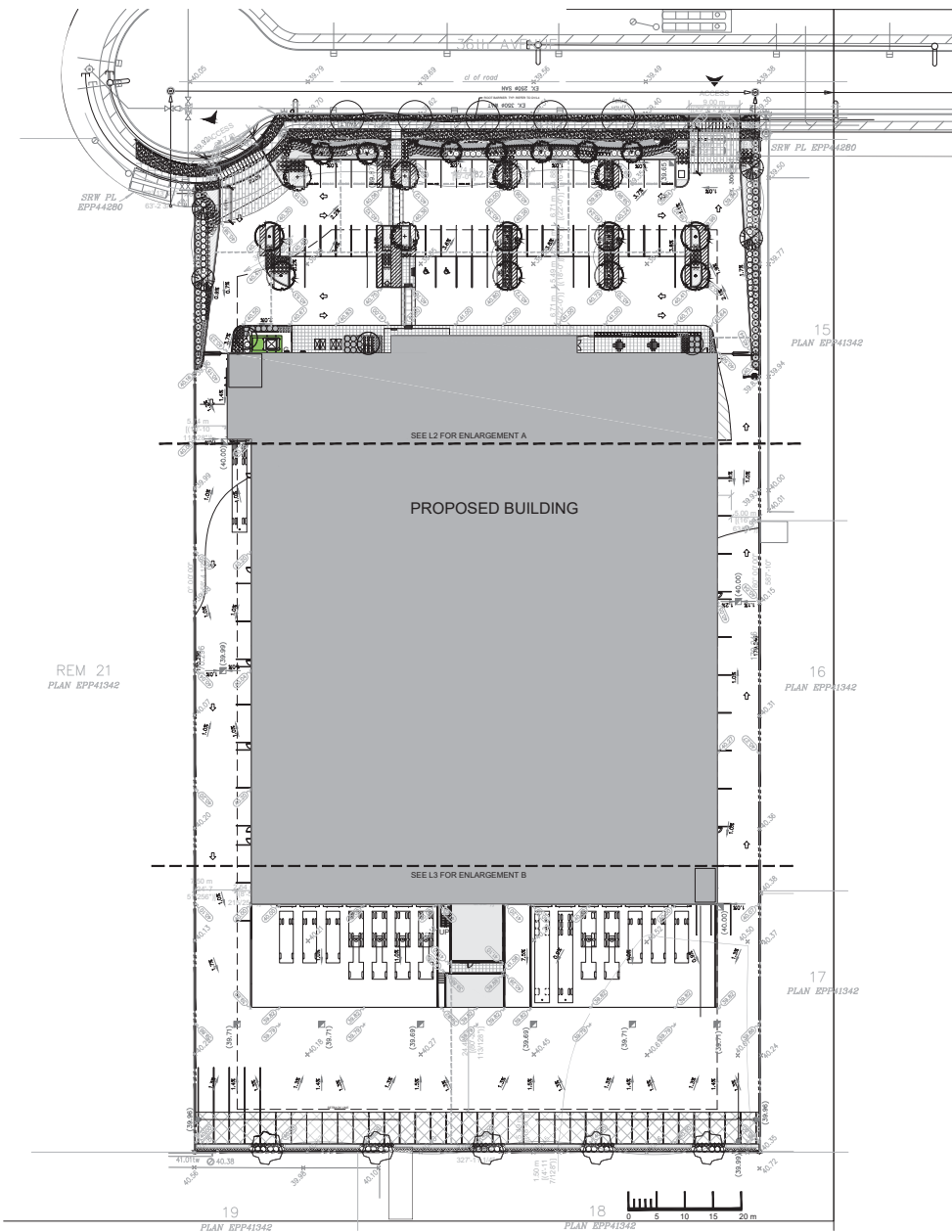


EXTERIOR FINISH LEGEND

A	CONCRETE TILT-UP PANEL	PAINTED: C1
B	PRE-FINISHED METAL WALL CLADDING	ACCENT COLOUR C3
C	CONCRETE TILT-UP PANEL	PAINTED: C2
D	VISUAL GLAZING	GLASS COLOUR 1
E	SPANDREL GLASS	SPANDREL COLOUR 2
F	ANODIZED ALUMINUM FRAME	PRE-FINISHED C3
H	STEEL CANOPY	PRE-FINISHED C4
J	DOOR	PAINTED - TO MATCH COLOUR
K	SQUARE WALL SW 200 (VERTICAL)	ACCENT COLOUR C3
I	PRE-FINISHED METAL FENCE	ACCENT COLOUR C3

PROJECT COLOURS

C1	BENJAMIN MOORE	OC 55 PAPER WHITE	
C2	BENJAMIN MOORE	CHARCOAL GRAY	
C3	PRE-FINISHED	BLACK	
C4	PRE-FINISHED	DARK GRAY	
GLASS COLLURS			
	VISION GLASS - COLLUR 1	CLEAR GLASS	
	VISION GLASS COLLUR 2	LIGHT GRAY	



- PLANTING NOTES**
1. PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
 2. PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
 3. ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
 4. **BREEZEBROTECTION**, PER THE MUNICIPAL DETAIL, IF REQUIRED.
 5. ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
 6. SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 7. PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
 8. REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (I.S.A.) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
 9. PROVIDE A ONE-YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON, AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
 - 9.1. Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of written requests by the Owner or Owner's Representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price or feedback and otherwise recovered from the Contractor.
 - 9.2. Maintenance and additional installation of mulch.
 - 9.3. Weed removal.
 - 9.4. Disease control.

- GENERAL NOTES**
1. EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
 2. CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
 3. CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
 4. CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS. OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
 5. OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
 6. PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE UTILITIES/SERVICES, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S OWN EXPENSE.
 7. UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
 8. THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE. DURING THE PERIOD OF WORK, PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEPED AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

- IRRIGATION NOTES**
1. IRRIGATION TO BE PROVIDED FOR ALL "SOFT" LANDSCAPE AREAS SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
 2. IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FOR THE STUB OUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
 3. THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
 4. ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
 5. ADD IRRIGATION STUB-OUT IN MECHANICAL ROOM.

- SOODING NOTES**
1. SOODING AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOIL, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX, OR APPROVED EQUAL:
 - 40% BLEND OF (3) VARIETIES OF KENTUCKY BLUEGRASS
 - 40% SHEEPING PASTURE
 - 20% PERENNIAL RYEGRASS
 USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE
 2. LOOSEN SOIL SURFACE PRIOR TO SOODING. ELIMINATE BUMPS AND HOLLOWES. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
 3. PRIOR TO SOODING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
 4. DELIVER SOD TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING DRY WEATHER, PROTECT SOD FROM DRYING, AND WATER SOD AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOD WILL BE REJECTED.
 5. LAY SOD DURING GROWING SEASON. LAY SOD IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
 6. WATER SOD IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SOODING AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

- LANDSCAPE CALCULATIONS AND NOTES**
- LEGAL ADDRESS: LOT 20 SECTION 28 TOWNSHIP 7 NWD PLAN EPP 41342
1. TOTAL SITE AREA = 17,644 sq.m. (189,921 sq.ft.)
 2. TOTAL SOFT LANDSCAPE AREA = 803.4 sq.m. (8648.6 sq.ft.)
 3. SOFT LANDSCAPE = 22% OF SITE AREA
 4. THERE ARE NO EXISTING TREES ON SITE AND NO EXISTING TREES WITHIN 6M (AS PER GOOGLE MAP REVIEW).



- LEGEND**
- TURF GRASS
 - CONCRETE SIDEWALK PAVING
 - SAW CUT CONCRETE
 - BIKE RACK
 - TABLE
 - PROPOSED IRRIGATION CONDUIT
 - PLANT KEY

1	20/04/18	RE-ISSUED FOR DP
2	20/07/17	ISSUED FOR DP
3	20/11/17	ISSUED FOR REVIEW
NO.	DATE	ISSUE / DESCRIPTION
ISSUES & REVISIONS		
SEA		
B.C.S.L.A. #565		

C.O.S. # 7917 0606 00



PROJECT NAME:
CALKINS & BURKE DEVELOPMENT

PROJECT ADDRESS:
18958 36 AVE
SURREY, BC

DRAWING TITLE:
OVERALL LANDSCAPE PLAN

SCALE: 1:400 ON ARCH D SHEET

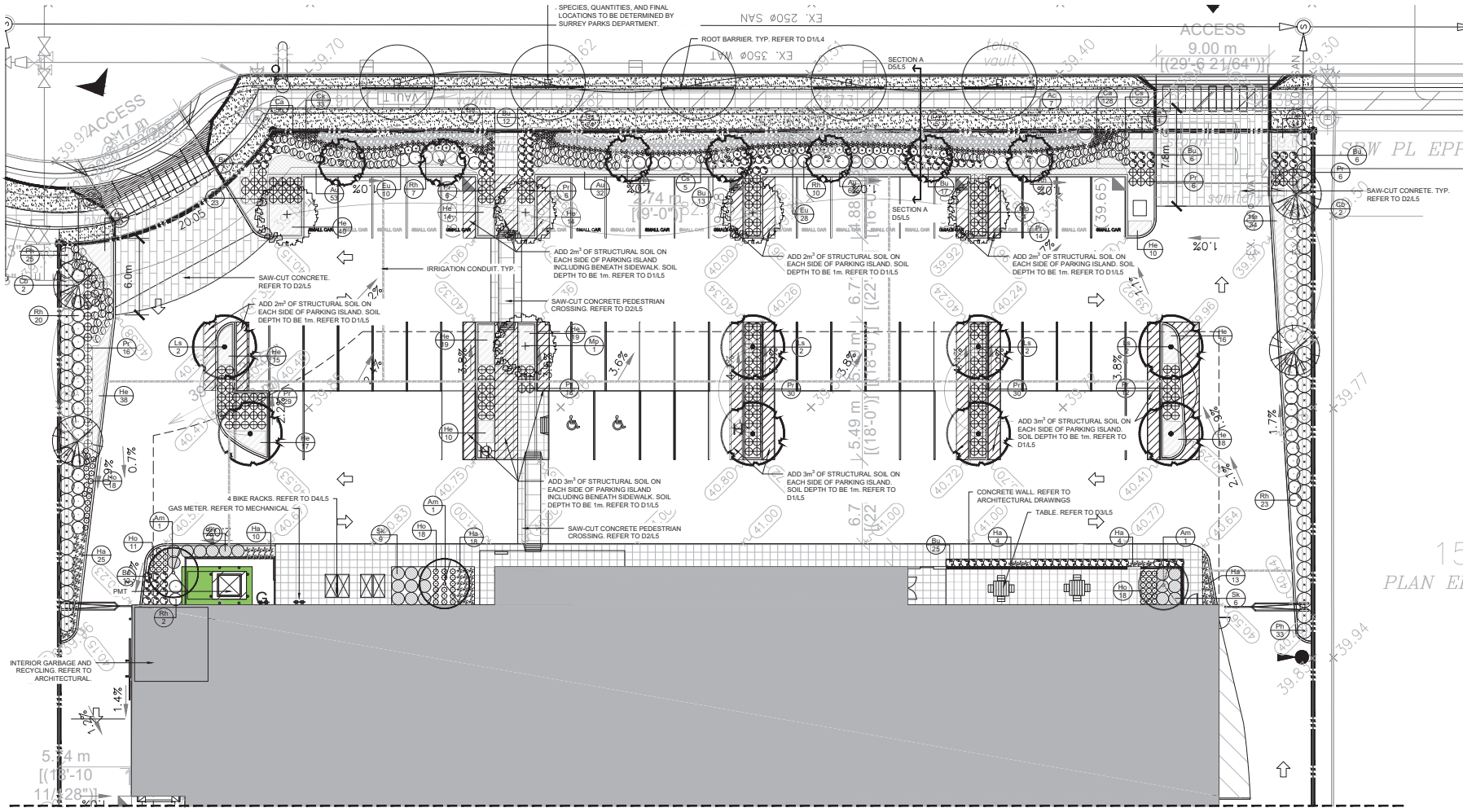
DRAWN: JT

CHECKED: ST

PROJECT NO.: 170447

DRAWING NO.: **L1**

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LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- SAW-CUT CONCRETE
- BIKE RACK
- TABLE
- PROPOSED IRRIGATION CONDUIT
- PLANT KEY

REVISIONS

1	20/04/18	RE-ISSUED FOR DP
2	20/07/17	ISSUED FOR DP
3	20/11/17	ISSUED FOR REVIEW

NO. DATE: 18/11/17 DESCRIPTION:
ISSUES & REVISIONS

SCALE:
B.C.S.L.A. #565

15
PLAN E



PROJECT NAME:
CALKINS & BURKE DEVELOPMENT

PROJECT ADDRESS:
18958 36 AVE
SURREY, BC

DRAWING TITLE:
ENLARGEMENT A

SCALE: 1:150 ON ARCH D SHEET
DRAWN: JT
CHECKED: ST
PROJECT NO.: 170447

DRAWING NO.:
L2
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PLANT LIST - ON SITE - FOR ENTIRE SITE

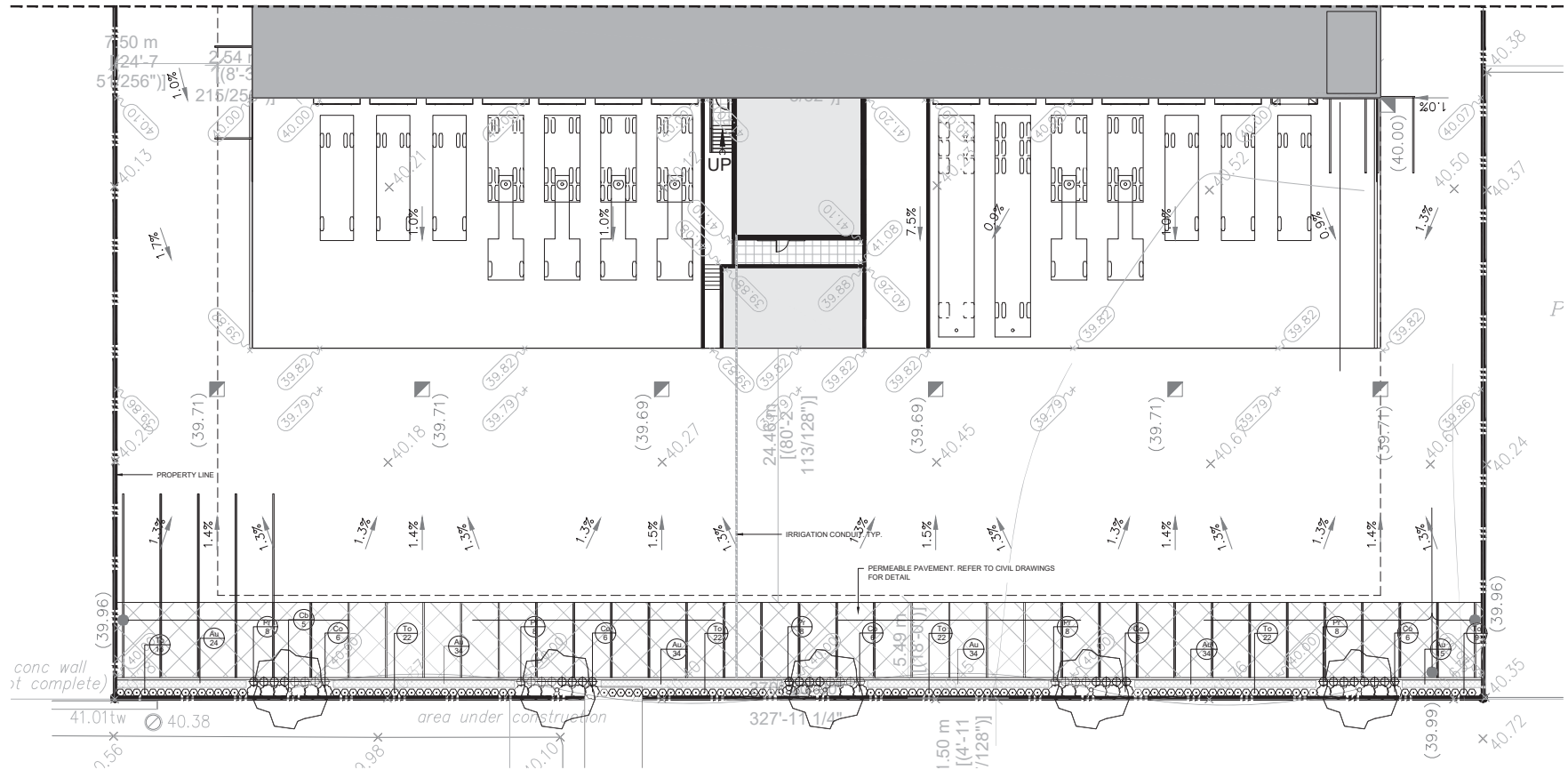
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
Am	1	<i>Acer obstatum</i>	Vine Maple	Multistem Clump	As per plan	W.B.
Am	3	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	Serviceberry	Multistem clump	As per plan	W.B.
Cb	5	<i>Carpinus betulus</i>	European Hornbeam	6 cm cal.	As per plan	W.B.
Ls	8	<i>Liquidambar styraciflua</i>	American Sweetgum	6 cm cal.	As per plan	W.B.
Mp	5	<i>Malus 'Proflator'</i>	Proflator Crab Apple	6 cm cal.	As per plan	W.B.
CONIFEROUS TREES						
Cn	4	<i>Chamaecyparis nootkanensis 'Pendula'</i>	Nootka False Cypress	2.5m ht.	As per plan	W.B.
SHRUBS						
Bu	102	<i>Buxus 'Green Mountain'</i>	Green Mountain Boxwood	30 cm ht.	60 cm	#1 Pot
Co	30	<i>Cornus sericea 'Cardinal'</i>	Red Twig Dogwood	60 cm ht.	1.0 m	#3 Pot
Co	120	<i>Cornus sericea 'Ketchup'</i>	Ketchup's Dwarf Red Osier Dogwood	30 cm ht.	60 cm	#1 Pot
Ph	58	<i>Photinia x Fraxinifolia</i>	Fraxin Photinia	60 cm sp.	1.0 m	#3 Pot
Pl	250	<i>Prunus laurocerasus 'Mount Vernon'</i>	Dwarf English Laurel	50 cm sp.	60 cm	#2 Pot
Rh	70	<i>Rhododendron 'Nash Nocturne'</i>	Night Rhododendron	50 cm ht.	1.0 m	#2 Pot
Sk	22	<i>Sieremia japonica</i>	Japanese Sieremia	60 cm ht.	1.2 m	#3 Pot
To	113	<i>Taxus occidentalis 'Smaragd'</i>	Emerald Green Cedar	1.5 m ht.	60 cm	BBB
PERENNIALS, GROUND COVERS, AND GRASSES						
Ac	501	<i>Archibothris versicolor</i>	Knoxcock		45 cm	#1 Pot
Ca	183	<i>Carex 'Ice Dance'</i>	Sedge		45 cm	#1 Pot
Eu	38	<i>Euthochium purpureum</i>	Joe Pye Weed		45 cm	#1 Pot
Ha	741	<i>Hakonechloa macra 'Rumex'</i>	Japanese Forest Grass		45 cm	#1 Pot
He	300	<i>Hemerocallis 'Stella de Oro'</i>	Stella de Oro Daylily		45 cm	#1 Pot
Ho	64	<i>Hosta</i>	Hosta		45 cm	#1 Pot



- LEGEND**
- TURF GRASS
 - CONCRETE SIDEWALK PAVING
 - SAW CUT CONCRETE
 - BIKE RACK
 - TABLE
 - PROPOSED IRRIGATION CONDUIT
 - PLANT KEY

1	20/04/18	RE-ISSUED FOR DP
2	20/10/17	ISSUED FOR DP
3	20/11/17	ISSUED FOR REVIEW
NO.	DATE	ISSUE / DESCRIPTION
ISSUES & REVISIONS		

SEALED
B.C.S.L.A. #565



PLANT LIST - ON SITE - FOR ENTIRE SITE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
Ac	7	Acer circratatum	Vine Maple	Multistem Clump	As per plan	W.B.
Am	3	Amelanchier canadensis Autumn Brilliance®	Serviceberry	Multistem clump	As per plan	W.B.
Ce	5	Carpinus betulus	European Hornbeam	6 cm cal.	As per plan	W.B.
Ls	8	Liquidambar styraciflua	American Sweetgum	6 cm cal.	As per plan	W.B.
Mp	5	Malus 'Proflorata'	Proflorata Crab Apple	6 cm cal.	As per plan	W.B.
CONIFEROUS TREES						
Cn	4	Chamaecyparis nootkatensis 'Pendula'	Nootka False Cypress	2.5m ht.	As per plan	W.B.
SHRUBS						
Bu	102	Buxus Green Mountain®	Green Mountain Boxwood	38 cm ht.	60 cm	#1 Pot
Co	30	Cornus sericea Cardinal®	Red Twig Dogwood	60 cm ht.	1.0 m	#3 Pot
Cs	120	Cornus sericea Kelsey®	Kelsey's Dwarf Red Osier Dogwood	30 cm ht.	60 cm	#1 Pot
Ph	58	Phlox x Fraserii	Fraser Phlox	60 cm sq.	1.0 m	#3 Pot
Ph	250	Phlox karwinskiana Mount Vernon®	Dwarf English Laurel	60 cm sq.	60 cm	#2 Pot
Rh	70	Rhododendron 'Arak Kraschke'	Hybrid Rhododendron	50 cm ht.	1.0 m	#2 Pot
Sk	22	Skimmia japonica	Japanese Skimmia	60 cm ht.	1.2 m	#3 Pot
Ty	113	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	1.5 m ht.	60 cm	688
PERENNIALS, GROUND COVERS, AND GRASSES						
Au	308	Arctostaphylos uva-ursi	Kinnikinnick	45 cm		#1 Pot
Ca	183	Campanula 'Les Danes'	Bells	45 cm		#1 Pot
Eu	38	Euthyone purpureum	Joe Pye Weed	45 cm		#1 Pot
Ha	74	Hakonechloa macra 'Aureola'	Japanese Forest Grass	45 cm		#1 Pot
Ha	300	Hemerocallis 'Stella de Oro'	Stella de Oro Daylily	45 cm		#1 Pot
Ho	64	Hosta	Hosta	45 cm		#1 Pot

PROJECT NAME:

CALKINS & BURKE DEVELOPMENT

PROJECT ADDRESS:
18958 36 AVE
SURREY, BC

DRAWING TITLE:
ENLARGEMENT B

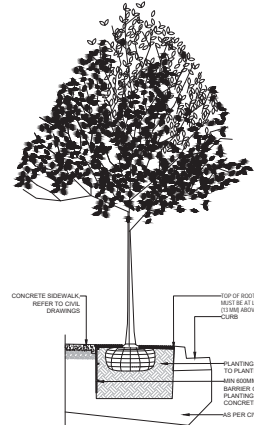
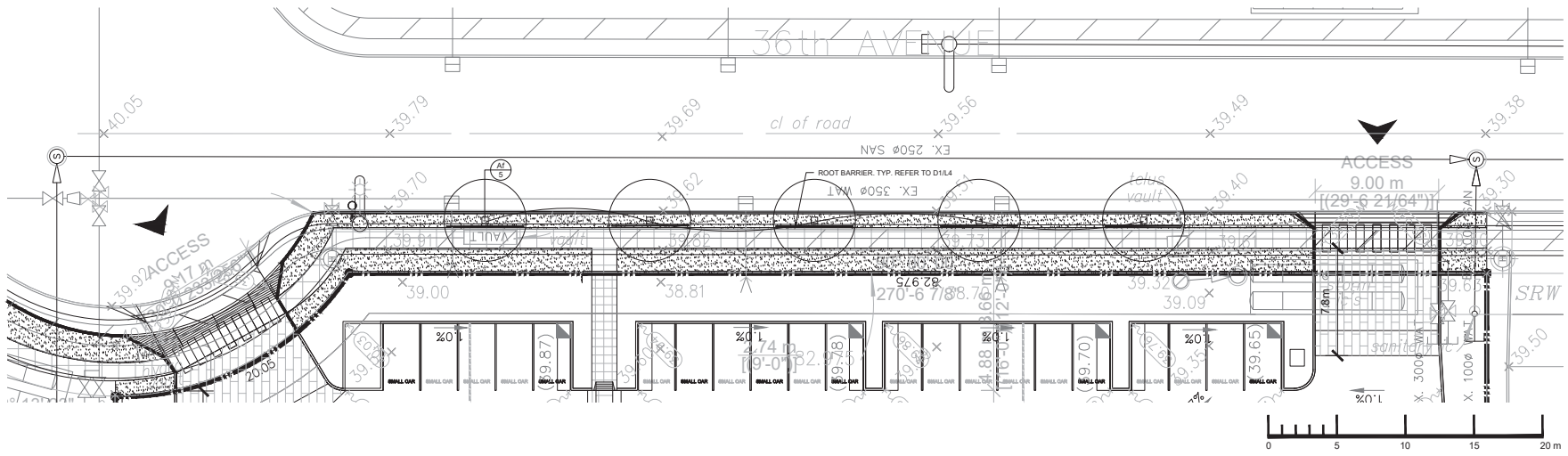
SCALE:	1:150 ON ARCH D SHEET
DRAWN:	JT
CHECKED:	ST
PROJECT NO.:	170447
DRAWING NO.:	

L3

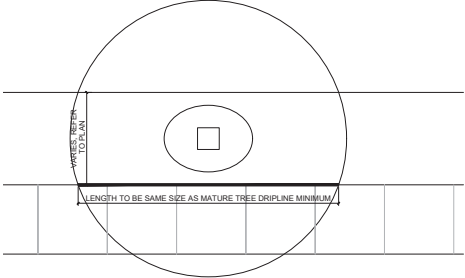
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LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- SAW CUT CONCRETE
- BIKE RACK
- TABLE
- PROPOSED IRRIGATION CONDUIT
- PLANT KEY



D1 STREET TREE ROOT BARRIER DETAIL



N.T.S.

PLANT LIST - OFF SITE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION
DECIDUOUS TREES					
A1	5	Acer rubrum 'Autumn Flame'	Autumn Fantasy Maple	8cm cal.	W.B.

SOODING NOTES

- SOODED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOO, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARDS, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
 - 40% BLEND OF (I) VARIETIES OF KENTUCKY BLUEGRASS
 - 40% CREEPING RED FESCUE
 - 20% PERENNIAL RYEGRASS
 - USE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE
 AREAS TO BE SOODED SHALL HAVE A MINIMUM 150MM TOPSOIL BASE.
- LOOSEN SOIL SURFACE PRIOR TO SOODING. ELIMINATE BUMPS AND HOLLOWES. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
- PRIOR TO SOODING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
- DELIVER SOO TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOO FROM DRYING, AND WATER SOO AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOO WILL BE REJECTED.
- LAY SOO DURING GROWING SEASON. LAY SOO IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
- WATER SOO IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SOODED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

1	20/04/18	RE-ISSUED FOR DP	
2	20/11/17	ISSUED FOR DP	
3	20/11/17	ISSUED FOR REVIEW	
NO.	DATE	ISSUED BY	DESCRIPTION
ISSUES & REVISIONS			
SEAL			
B.C.S.L.A. #565			



PROJECT NAME:

CALKINS & BURKE DEVELOPMENT

PROJECT ADDRESS:

18958 36 AVE
SURREY, BC

DRAWING TITLE:

OFF-SITE LANDSCAPE AND PLANTING PLAN

SCALE: 1:150 ON ARCH D SHEET

DRAWN: JT

CHECKED: ST

PROJECT NO.: 170447

DRAWING NO.: L4

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0606-00

Issued To:

(the Owner)

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 029-430-381
Lot 20 Section 28 Township 7 New Westminster District Plan EPP41342
18958 - 36 Avenue

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section E.2 (b) of Part 5 Off-Street Parking and Loading/Unloading, the required width of a maneuvering aisle is reduced from 7.5 metres (25 ft.) to 5.0 metres (14 ft.).
4. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

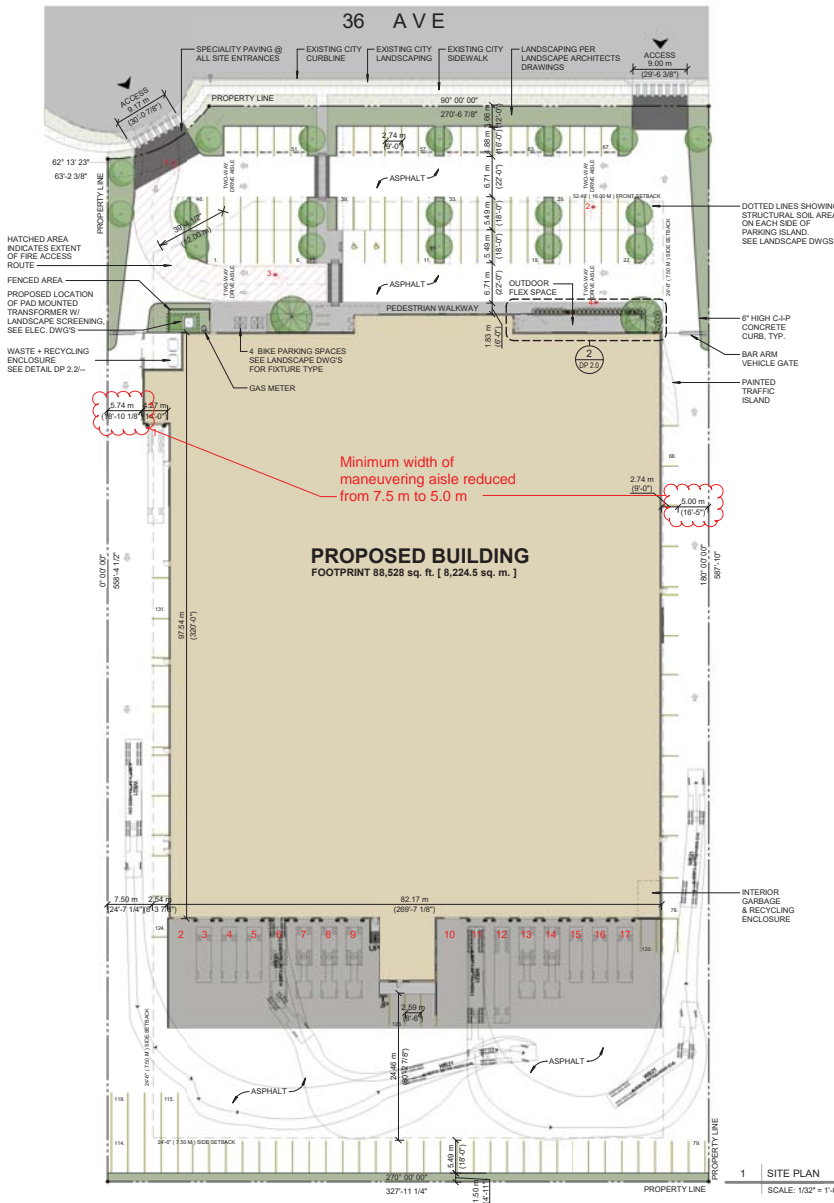
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

18958 - 36 Ave



2 PLAY GROUND AREA
SCALE: 3/16" = 1'-0"

PROJECT DATA

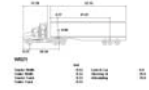
CIVIC ADDRESS: 18958 - 36 Ave., SURREY BC (LOT 20)
LEGAL ADDRESS: LOT 20 SECTION 28 TOWNSHIP 7
WVD PLAN EPP41342

ZONING BYLAW ANALYSIS (CITY OF SURREY)

1. ZONING: COMPREHENSIVE DEVELOPMENT (CD)
2. SITE AREA: 1.76 HA / 4.36 ACRES = 189,921 S.F. [17,644 S.M.]
3. SITE COVERAGE:
ALLOWABLE SITE COVERAGE: 60%
GROSS BUILDING AREA:
MAIN FLOOR: 88,528 SQ. FT. (8,224.5 SQ M)
MEZZANINE FLOOR: 4,232 SQ. FT. (393 SQ M)
SECOND FLOOR: 32,422 SQ. FT. (3,012.1 SQ M)
TOTAL: 125,182 SQ. FT. (11,630 SQ M)
PROPOSED SITE COVERAGE: (BUILDING AREA) / (SITE AREA)
88,528 SQ FT / 189,921 SQ FT = 46.6%
FLOOR SPACE RATIO: (TOTAL FLOOR AREA) / (SITE AREA)
125,182 SQ FT / 189,921 SQ FT = 0.66
4. BUILDING HEIGHT:
MAXIMUM HEIGHT: 45.9' (14 M)
PROPOSED HEIGHT: 45.9' (14 M)

5. REQUIRED SETBACKS:
FRONT YARD (NORTH): 52.49' (16.00 M)
SIDE YARD (EAST/WEST): 24.6' (7.50 M)
OR IF ONE SIDE ABUTS INDUSTRIAL: 0.00' (0.00 M)
REAR YARD (SOUTH): 24.6' (7.50 M)
6. LANDSCAPING REQUIREMENTS:
ALL LANDSCAPING TO SURREY ZONING BYLAW
7. PARKING AND LOADING:
PROPOSED: INDUSTRIAL - TRANSPORTATION
PARKING STALLS REQUIRED: 1 STALL / 1,075 SQ FT
115,477 / 1,075 = 107.4 STALLS REQUIRED
PROPOSED: OFFICE
PARKING STALLS REQUIRED: 2.5 STALLS / 1,075 SQ FT
2.5 (9,273.2 / 1,075) = 21.6 STALLS
REQUIRED
ACCESSIBLE STALLS REQUIRED: 2 ACCESSIBLE STALLS REQUIRED
LOADING STALLS REQUIRED: 17 STALLS REQUIRED
129 (128.96) TOTAL STALL REQUIRED
DRIVE AISLE WIDTH: 22'-0" (6.7 M) AT 90°
STALL DIMENSIONS:
STANDARD STALL DIMENSIONS: 9'-0" (2.75 M) WIDE, 18'-0" (5.5 M) LONG
ACCESSIBLE STALL DIMENSIONS: 12'-0" (3.7 M) WIDE, 18'-0" (5.5 M) LONG
SMALL CAR STALL DIMENSIONS: 9'-0" (2.75 M) WIDE, 16'-0" (4.9 M) LONG
LOADING STALL DIMENSIONS: 13'-0" (4.0 M) WIDE, 30'-0" (9.2 M) LONG
TOTAL STALLS PROVIDED:
131 STANDARD STALLS
2 ACCESSIBLE STALLS (INCLUDED)

TRUCK TURNING DEMONSTRATION:



SITE FURNISHINGS:



BICYCLE RACK
LANDSCAPE FORMS 'EMERSON'
FINISH: METALLIC SILVER
SIZE: 4" WIDE, 20" LONG, 30" HEIGHT