

City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7917-0600-00

Planning Report Date: June 25, 2018

**PROPOSAL:**

- **Development Permit**

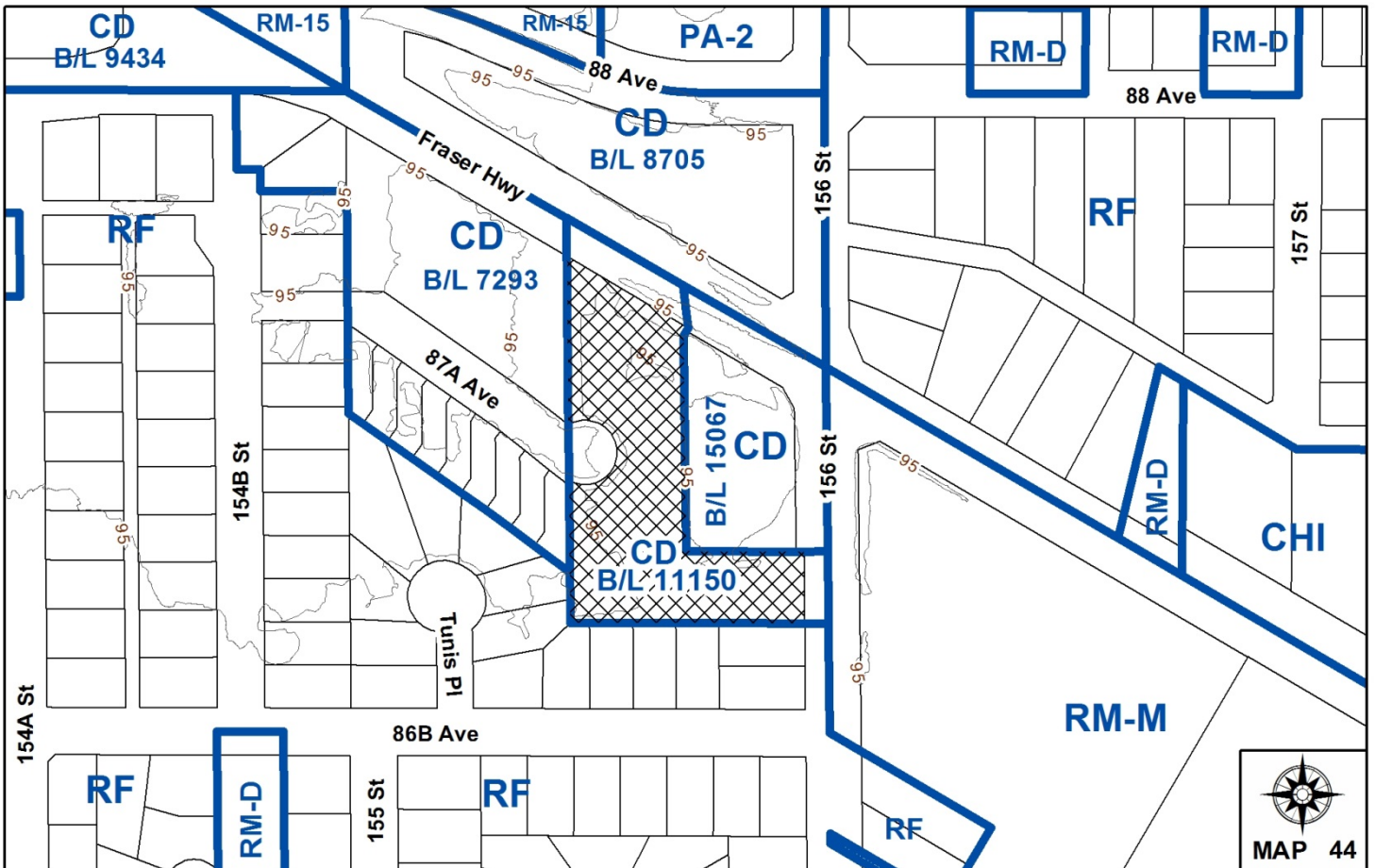
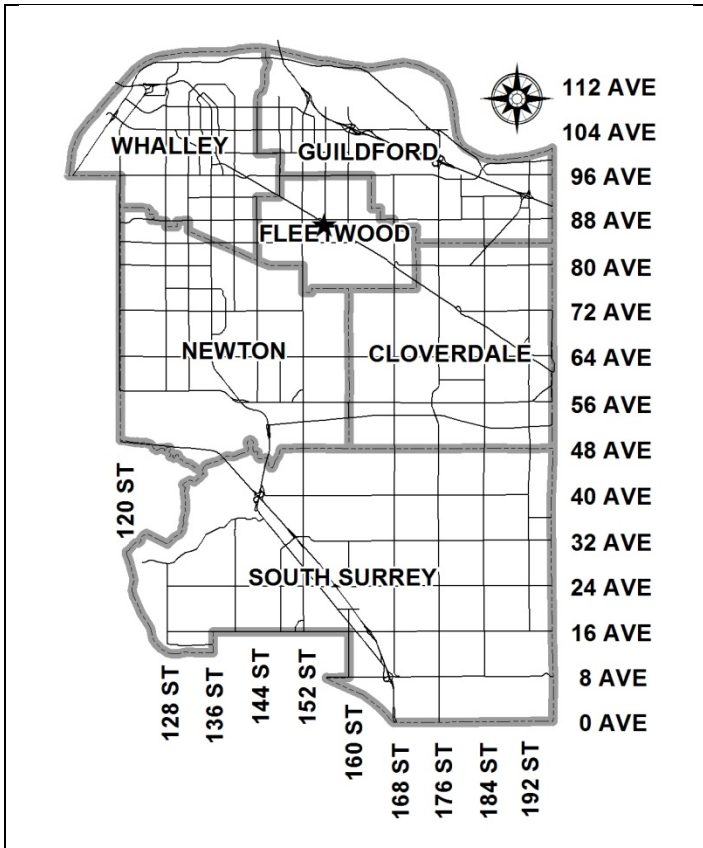
To permit renovations to an existing drive-through restaurant in Fleetwood Town Centre.

**LOCATION:** 15574 - Fraser Highway

**ZONING:** CD (By-law No. 11150)

**OCP DESIGNATION:** Urban

**TCP DESIGNATION:** Commercial 1.5 FAR



### RECOMMENDATION SUMMARY

- Approval to vary the Sign By-law through a comprehensive sign design package.
- Approval to draft Development Permit.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking to vary the Sign By-law through a comprehensive design package to:
  - increase the maximum number of permitted fascia signs from two (2) to six (6); and
  - permit more than one (1) fascia sign to be located on the same façade.

### RATIONALE OF RECOMMENDATION

- The proposed exterior renovations to the existing McDonald's restaurant represent a new modern design character while maintaining desirable elements of the existing building.
- The proposed renovations improve the overall aesthetics at the site for an interim use, as it is anticipated that the subject site and adjacent properties will redevelop in the future at a higher density more consistent with the ultimate vision for this area in Fleetwood.
- The applicant proposes four (4) additional fascia signs beyond the two (2) signs permitted under the Sign By-law for a total of six (6) fascia signs. The proposed fascia signs are well under the maximum sign area permitted under the Sign By-law, are of a high-quality design, and are of an appropriate size and scale in relation to the building.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
2. Council authorize staff to draft Development Permit No. 7917-0600 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix III).
3. Council instruct staff to resolve the following issues prior to final approval:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department; and
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project.

SITE CHARACTERISTICS

Existing Land Use: McDonald's drive-through restaurant.

Adjacent Area:

<b>Direction</b>	<b>Existing Use</b>	<b>OCP/TCP Designation</b>	<b>Existing Zone</b>
North (Across Fraser Highway):	Single-storey commercial building.	Commercial 1.5 FAR in TCP	CD (By-law No. 8705)
East:	Gas station.	Commercial 1.5 FAR in TCP	CD (By-law No. 15067)
South:	Single family houses.	Commercial 1.5 FAR in TCP and Urban in OCP	RF
West:	Single family houses and townhouses.	Urban in OCP	CD (By-law No. 7293)

## DEVELOPMENT CONSIDERATIONS

### Background

- The subject site is located at 15574 Fraser Highway in Fleetwood and is approximately 8,026 square metres (1.9 acres) in size. The site is designated Urban in the Official Community Plan (OCP), "Commercial 1.5 FAR" in the Stage 1 Fleetwood Town Centre Plan and is zoned "Comprehensive Development (CD) Zone" (By-law No. 11150).
- The site is currently occupied by a single-storey McDonald's drive-through restaurant. The existing design of the 533-square metre (5,742-sq. ft.) restaurant was approved under Development Permit No. 7989-0369-00 on July 27, 1992.
- As part of a rebranding strategy, McDonald's Restaurants Ltd. is in the process of updating the exterior and interior of a number of McDonald's restaurants in the Metro Vancouver area, including the City of Surrey. The intent is to update all McDonald's restaurants over the coming years to achieve consistent branding and to increase visibility of the restaurants with a similar modern form and character of the exterior façade and interior dining area.

### Current Proposal

- The applicant is proposing a Development Permit in order to allow exterior renovations to the existing single-storey drive-through restaurant, including new fascia signage.
- The applicant is also proposing to vary the Sign By-law through a comprehensive sign design package in order to allow four (4) additional fascia signs, for a total of six (6) fascia signs.
- The applicant is also proposing to renovate the interior of the restaurant, including a small, 2.3-square metre (25-sq.ft.) addition through a Tenant Improvement Building Permit.
- The proposed floor area of the building is 536 square metres (5,766 sq. ft.), resulting in a floor area ratio (FAR) of 0.07, which complies with the maximum FAR of 0.5 permitted in the CD Zone.
- The Stage 1 Land Use and Density Concept of the Fleetwood Town Centre Plan indicates that the subject site is appropriate for commercial developments with densities up to 1.5 FAR. The current building and land use is considered an interim use and it is anticipated that the subject site and adjacent properties will redevelop in the future at a density more consistent with the ultimate vision for this area of Fleetwood.
- The applicant has agreed to provide a 5.0-metre (16-ft.) wide right-of-way (ROW) along the north property line for the future widening of Fraser Highway.



## PRE-NOTIFICATION

Development Proposal Signs were installed on May 15, 2018. Staff received 2 responses from neighbouring residents (*staff comments in italics*):

- One resident requested more information on the scope of the project and was opposed to any changes to the existing drive through configuration and the addition of any lighting.

*(Staff advised the respondent that there were no changes proposed to the existing drive through and parking lot configuration.*

*In response to concerns from staff and from the respondent, the applicant has removed the proposed addition of LED strip lighting from west façade of the building.)*

- One resident requested more information regarding the proposed signage and whether they would be illuminated at all times.

*(Staff provided the applicant with the proposed signage. The applicant has confirmed that the proposed signage will be illuminated from dusk to dawn.)*

## DESIGN PROPOSAL AND REVIEW

### Building Design

- The applicant is proposing exterior modifications and improvements to the existing building, which will provide a more contemporary look.
- The proposed changes to the exterior of the building are intended to implement McDonald's new contemporary restaurant design while maintaining elements and materials of the existing building. The proposed design retains portions of the stucco and trim and aluminum frame glazing. Many of the existing exterior elements and finishes will be retained and painted charcoal grey, red and chestnut brown to implement McDonald's new colour scheme.
- New vertical red metal panels with white metal ribbon and brown fiber cement horizontal siding will be installed on the east and west elevations as a new key design element to identify the restaurant entrance and location of new signage. Similarly, red and white metal paneling will be installed on the east elevation to identify the location of the two drive-through order pick-up windows.
- The existing flagpoles to the north of the building will be removed.

### Drive-Through and Parking

- The existing parking lot and dual lane drive-through configuration will remain unchanged.
- The site accommodates 55 parking stalls, which exceeds the 53 stalls required by the Zoning By-law.

### Landscaping

- The existing trees on the subject site will remain.
- One (1) deciduous tree is proposed to be planted in a new landscape island at the southern portion of the parking lot.
- The applicant proposes to retain the existing shrubbery along Fraser Highway and is proposing to enhance the area with shrubs, perennials and ornamental grasses.
- The applicant proposes to install new chainlink and privacy slats on the existing fence along the 87A Avenue cul-de-sac. The existing fence has not been properly maintained and is unsightly.

### Proposed Signage

- The existing free-standing pylon sign located at the Fraser Highway entrance will remain in place.
- The on-site directional signage will be upgraded with replacement faces. The drive-through signage will remain unchanged.
- The applicant proposes to remove the four (4) existing fascia signs and install six (6) new illuminated fascia signs on the building.
- Three (3) fascia signs are proposed on the east elevation, including a white "McDonald's" sign consisting of illuminated individual channel letters, a yellow "Arches" sign, as well as a brown and white "McCafe" sign.
- One (1) blue "Open 24 Hours" fascia sign is proposed on the north elevation.
- Two (2) fascia signs are proposed on the west elevation, including a yellow "Arches" sign, as well as a red and yellow "Playplace" sign.
- The Sign By-law allows a maximum of two (2) fascia signs for each premises provided that both of the fascia signs are not located on the same façade.
- The applicant proposes a total of six (6) fascia signs, and as a result, a relaxation is required to allow four (4) additional fascia signs and permit multiple signs on the same façade.
- The proposed signage design has been reviewed by staff and found to be acceptable. The location and scale of the proposed signage is modest and complementary to the building design. The signage is constructed of high-quality materials.
- Staff support the proposed variances as part of a comprehensive sign design package.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners, Action Summary (Confidential) and Project Data Sheets
- Appendix II. Proposed Sign By-law Variances Table
- Appendix III. Site Plan, Building Elevations and Landscape Plans
- Appendix IV. Engineering Summary

*original signed by Ron Gill*

Jean Lamontagne  
General Manager  
Planning and Development

LM/cm

APPENDIX I HAS BEEN  
REMOVED AS IT CONTAINS  
CONFIDENTIAL INFORMATION

## DEVELOPMENT DATA SHEET

Existing Zoning: CD (By-law No. 11150)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>LOT AREA*</b> (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		8,026 sq.m.
<b>LOT COVERAGE</b> (in % of net lot area)		
Buildings & Structures	50%	7%
Paved & Hard Surfaced Areas		
Total Site Coverage		
<b>SETBACKS</b> ( in metres)		
Front (North)	7.5 metres	24 metres
Rear (south)	7.5 metres	71 metres
Side #1 (East)	3.0 metres	4 metres
Side #2 (West)	7.5 metres	25 metres
<b>BUILDING HEIGHT</b> (in metres/storeys)		
Principal	9 metres	6.35 metres
Accessory	9 metres	N/A
<b>NUMBER OF RESIDENTIAL UNITS</b>		N/A
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
<b>FLOOR AREA: Residential</b>		N/A
<b>FLOOR AREA: Commercial</b>		536 sq.m.
Retail		
Office		
Total		536 sq.m.
<b>FLOOR AREA: Industrial</b>		N/A
<b>FLOOR AREA: Institutional</b>		N/A
<b>TOTAL BUILDING FLOOR AREA</b>		536 sq.m.

**Development Data Sheet cont'd**

<b>Required Development Data</b>	<b>Minimum Required / Maximum Allowed</b>	<b>Proposed</b>
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)		
FAR (gross)		
FAR (net)	0.5	0.07
AMENITY SPACE (area in square metres)		
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial	53	55
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed		
Residential Visitors		
Institutional		
Total Number of Parking Spaces	53	55
Number of accessible stalls		1
Number of small cars		0
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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## PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To permit a total of six (6) fascia signs for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted for each premises (Part 5, Section 27(2)(a))	The proposed fascia signs are of an appropriate size and scale in relation to the proposed building
2	To allow three (3) fascia signs to be installed on the same (east) building façade for the McDonald's drive-through restaurant.	A maximum of two (2) fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a))	The additional fascia signs proposed along the east façade includes a 'McDonalds' sign, a golden "Arches" sign and a 'McCafé' sign, which is consistent with other McDonald's restaurants in the City.



# McDonald's®

LOT B SECTION 26 TOWNSHIP 2 NEW WESTMINSTER DISTRICT PLAN LMP6286  
15574 FRASER HWY, SURREY, BC V3S 2V9



## DRAWING / CONSULTANT LIST:

### ARCHITECTURAL

LOVICK SCOTT ARCHITECTS LTD.  
3707 1st AVENUE  
BURNABY, B.C., V5C 3V6  
(tel) 604.298.3700  
(fax) 604.298.6081  
(e-mail) peter@lovickscott.com  
rreyes@lovickscott.com

A0.C COVER SHEET  
A0.1 GENERAL NOTES, CODE ANALYSIS & SPECIFICATIONS  
AS0.0 CONTEXT PHOTOS EXISTING  
AS1.0 SITE PLAN  
A1.0 EXISTING / DEMO FLOOR PLAN  
A1.1 PROPOSED FLOOR PLAN  
A1.5 EXISTING / DEMO ROOF PLAN  
A1.6 PROPOSED ROOF PLAN  
A2.0 EXISTING & PROPOSED EAST ELEVATIONS  
A2.1 EXISTING & PROPOSED NORTH ELEVATIONS  
A2.2 EXISTING & PROPOSED WEST ELEVATIONS  
A2.3 EXISTING & PROPOSED SOUTH ELEVATIONS  
A2.4 COLOURED ELEVATIONS  
A2.5 PERSPECTIVES  
A3.0 BUILDING SECTIONS A&B

### LANDSCAPE

IBI GROUP  
SUITE 308-30 EGLINTON AVENUE WEST  
MISSISSAUGA, ONTARIO  
L5R 3E7  
Tel.:(905) 890-3550  
CONTACT: TONY WITHALL  
EMAIL: TONY.WITHALL@IBIGROUP.COM

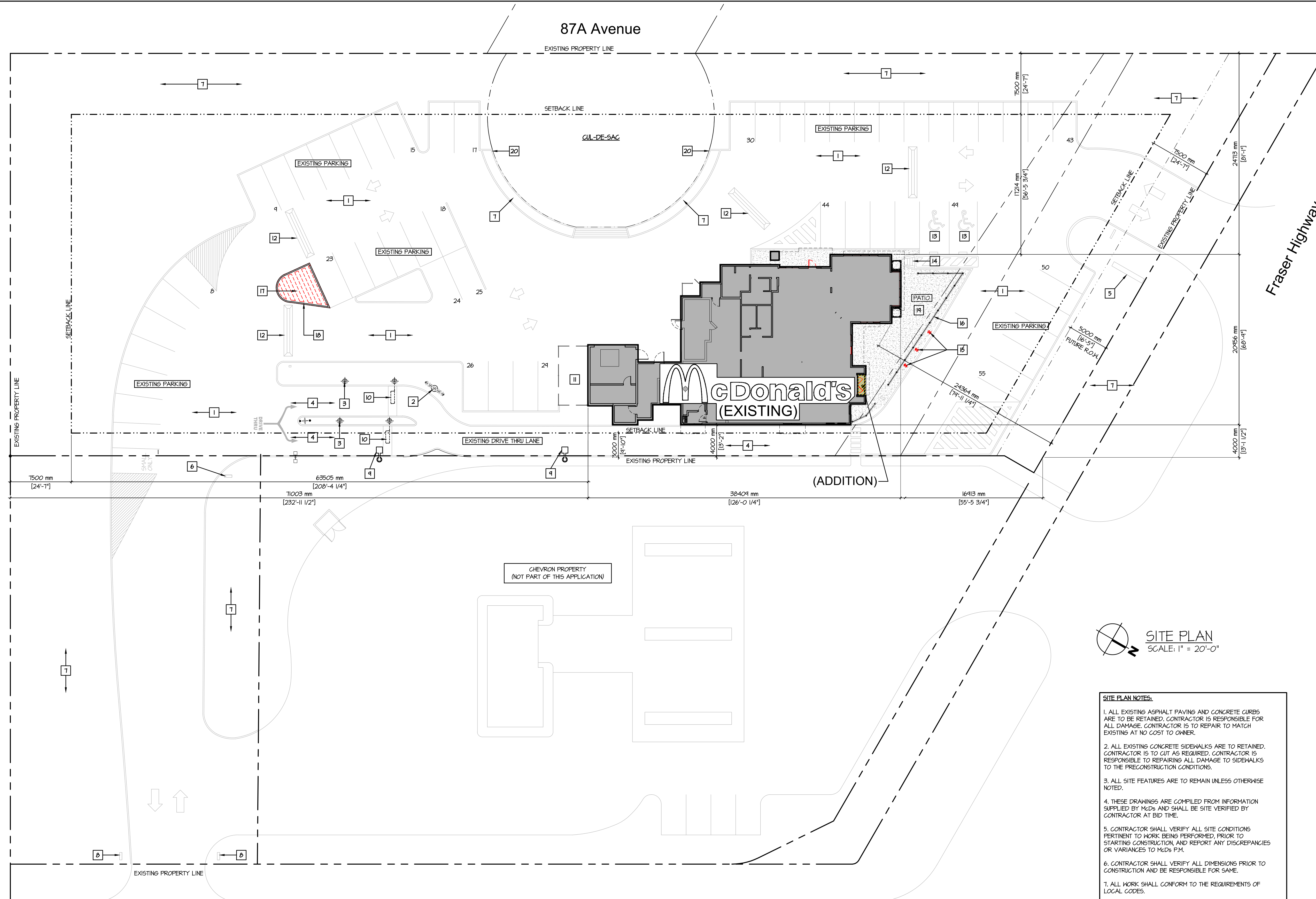
LP1 LANDSCAPE PLAN  
LP2 LANDSCAPE DETAILS

RE-ISSUED FOR DP - May 18, 2018









**PROJECT STATISTICS**

**AUTHORITY HAVING JURISDICTION:**  
CITY OF SURREY

**LEGAL ADDRESS:**  
LOT B SECTION 26 TOWNSHIP 2 NEW  
WESTMINSTER DISTRICT PLAN LMP6286

**CIVIC ADDRESS:**  
15514 FRASER HWY, SURREY, BC, V3S 2V4

**ZONING:**  
CD (COMPREHENSIVE DEVELOPMENT ZONE)

**LOT SIZE (EXISTING & NO CHANGE):**  
86,318 SQ.FT. (8,014 SQ.M.)

**USE (EXISTING & NO CHANGE):**  
RESTAURANT

**BUILDING HEIGHT:**

ALLOWABLE =	21'-6"	(4.10)
EXISTING =	18'-2"	(5.5 M)
PROPOSED =	20'-10"	(6.35 M)

**SETBACKS (EXISTING & NO CHANGE):**

ELEVATION SIDE	ALLOWED	EXISTING (NO CHANGE)
NORTH (FRONT)	15 m (24.6')	24.24 m (79.67')
SOUTH (REAR)	15 m (24.6')	10.95 m (232.71')
WEST (SIDE)	15 m (24.6')	24.11 m (81.05')
EAST (SIDE)	3.0 m (9.84')	4.00 m (13.12')

**LOT COVERAGE:**

ALLOWABLE =	50%
LOT AREA =	86,318 SQ.FT. (8,014 SQ.M.)
BUILDING AREA (E) =	5,261.48 SQ.FT. (488.80 SQ.M.)
GARAGE ENCLOSURE (E) =	480.67 SQ.FT. (44.65 SQ.M.)
ADDITION (N) =	24.46 SQ.FT. (2.27 SQ.M.)
TOTAL =	5,766.61 SQ.FT. (535.73 SQ.M.)
(5,261.48+480.67+24.46) / 86,318 SQ.FT. =	6.62%

**PARKING:**

REQUIRED: 10 PARKING STALLS PER 100 SQ.M. OF GROSS FLOOR AREA  
 535.73 SQ.M. / 100 SQ.M. = 5.35  
 53 PARKING STALLS

PROVIDED: REGULAR = 53 STALLS  
 ACCESSIBLE = 2 STALLS  
 TOTAL = 55 STALLS

**DENSITY (FLOOR AREA - RATIO)**

ALLOWED = 0.5  
 FLOOR AREA = 5,261.48 SQ.FT. + 24.46 SQ.FT.  
 LOT AREA = 86,318 SQ.FT.  
 (5,261.48+24.46) / 86,318 = 0.06

**SEATING:**

EXISTING: 45 SEATS  
 PROPOSED: 84 SEATS

- SITE KEY NOTES (ALL MATERIALS ARE EXISTING UNLESS NOTED)**
- 1 EXISTING ASPHALT PARKING TO REMAIN INCLUDING ALL PAINTED D/THRU SIGNS AND PARKING LINES. SEE SITE PLAN NOTES
  - 2 MENU BOARD
  - 3 PRE-SELL BOARD
  - 4 DRIVE THRU LANE
  - 5 FREESTANDING SIGN
  - 6 DRIVE THRU SIGN
  - 7 LANDSCAPE. SEE LANDSCAPE DRAWINGS.
  - 8 OPEN 24 HOURS' SIGN ILLUMINATED
  - 9 LOT LIGHT
  - 10 MAGNETIC LOOP
  - 11 GARBAGE ENCLOSURE
  - 12 SPEED BUMP
  - 13 ACCESSIBLE PARKING STALL
  - 14 BARRIER FREE RAMP
  - 15 FLAG POLES (E) TO BE REMOVED INCLUDING CONCRETE BASES
  - 16 EXTENT OF PATIO POST & GLAZING (E) TO REMAIN AS IS.
  - 17 (N) LANDSCAPE. SEE LANDSCAPE DRAWINGS.
  - 18 (N) CURB.
  - 19 HATCHED AREA INDICATES EXISTING PAVERS TO BE REMOVED AND PROVIDE NEW CONCRETE INFILL. SEE CIVIL DRAWINGS.
  - 20 EXISTING CHAIN LINK FENCE

**SITE PLAN**  
SCALE: 1" = 20'-0"

- SITE PLAN NOTES:**
- ALL EXISTING ASPHALT PAVING AND CONCRETE CURBS ARE TO BE RETAINED. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE. CONTRACTOR IS TO REPAIR TO MATCH EXISTING AT NO COST TO OWNER.
  - ALL EXISTING CONCRETE SIDEWALKS ARE TO BE RETAINED. CONTRACTOR IS TO CUT AS REQUIRED. CONTRACTOR IS RESPONSIBLE TO REPAIRING ALL DAMAGE TO SIDEWALKS TO THE PRECONSTRUCTION CONDITIONS.
  - ALL SITE FEATURES ARE TO REMAIN UNLESS OTHERWISE NOTED.
  - THESE DRAWINGS ARE COMPILED FROM INFORMATION SUPPLIED BY MCD'S AND SHALL BE SITE VERIFIED BY CONTRACTOR AT BID TIME.
  - CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS PERTINENT TO WORK BEING PERFORMED, PRIOR TO STARTING CONSTRUCTION, AND REPORT ANY DISCREPANCIES OR VARIANCES TO MCD'S P.M.
  - CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND BE RESPONSIBLE FOR SAME.
  - ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES.
  - MAKE GOOD ALL EXISTING THAT IS DISTURBED BY NEW WORK.
  - GC RESPONSIBLE FOR ANY REPAIRS OR RELOCATION ASSOCIATED WITH CURB/ASPHALT/CONC. BASE WORK.

**156th Street**

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
MAY/18/18		ISSUED PER DP COMMENTS			
APR/18/18		ISSUED PER DP COMMENTS			
DEC/21/17		ISSUED FOR DP			
MAY/15/17		ISSUED FOR MCD'S REVIEW			

**McDonald's**

McDONALD'S RESTAURANTS OF CANADA LIMITED,  
4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6

CONSULTANT ARCHITECT ARCHITECTURAL SEAL

**LOVICK SCOTT ARCHITECTS**

3707 1ST AVENUE  
BURNABY, BC V5C 3V6  
ADMIN@LOVICKSCOTT.COM  
P: 604 298 3700 F: 604 298 6081  
MEMBER OF THE AIBC, AAA, SAA, NWTAA & RAIC

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

DRAWN BY: RMR  
PROJECT: McDonald's - Fleetwood  
15514 FRASER HIGHWAY, SURREY, BC  
DRAWING: SITE PLAN

APPROVED: [Signature]

PROJECT NUMBER: 17-074  
DRAWING NUMBER: ASI.O

SCALE: 1" = 20'-0"  
DATE: MAY 2017

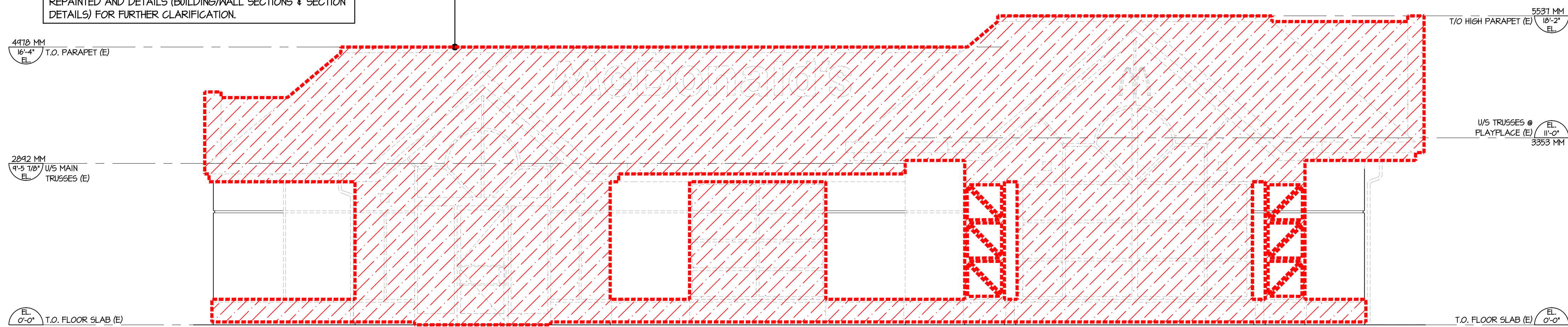
FLEETWOOD - 17-074



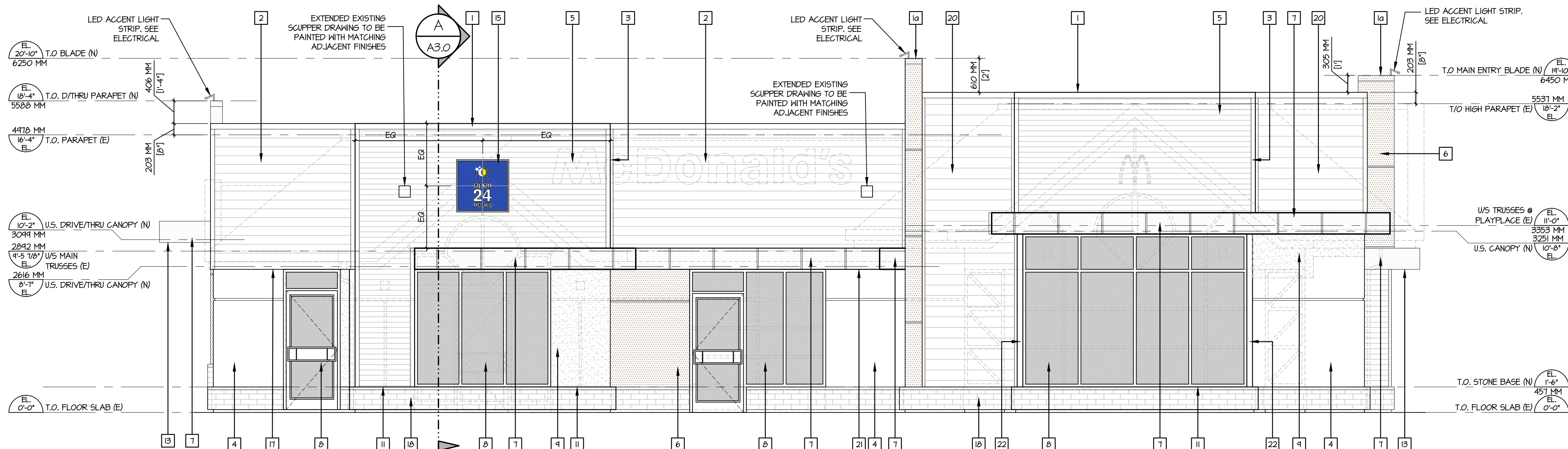




SHADED AREA DENOTES APPROX. EXTENT OF NEW STRUCTURE & EXTERIOR TO BE UPGRADED. G.C. TO VERIFY SITE CONDITIONS ON SITE PRIOR TO PRICING. REFER TO PROPOSED ELEVATION & PLANS FOR NEW FINISHES, ITEMS TO REMAIN, TO BE REMOVED, REPAINTED AND DETAILS (BUILDING/WALL SECTIONS & SECTION DETAILS) FOR FURTHER CLARIFICATION.



1 EXISTING NORTH ELEVATION  
A2.1 SCALE: 1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION  
A2.1 SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW:
- 1. EXTERIOR WALL CLADDING, SOFFIT CLADDING & FLASHING NOTED TO BE REMOVED, ARE TO BE REMOVED AND DISPOSED BY G.C. PATCH & REPAIR/REPLACE AS REQ'D EXISTING DAMAGED BY NEW WORK.
- 2. EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C., UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS. SITE MEASURE PRIOR TO ORDERING NEW WINDOWS.
- 3. REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES, DOORBELLS, WALL MOUNTED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
- 4. EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED; CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIREMENTS, PATCH AND REPAIR AS REQ'D. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND WIRING.
- 5. EXISTING METAL ROOFING, SHEATHING, FLASHING, GUTTERS, RVL'S AND CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY G.C. PATCH & REPAIR AS REQUIRED ALL EXISTING DAMAGED BY NEW WORK.
- 6. G.C. TO INSPECT ALL EXISTING VAPOUR BARRIER, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR MOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.

- 7. EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DWGS FOR ELECTRICAL ENGINEER'S REQUIREMENTS, G.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS REQ'D AND COORDINATE BACKINGS/SUPPORTS WITH SIGN COMPANY.
- 8. WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- 9. PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE EPOXY GROUTED PRIOR TO PAINTING.
- 10. CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- 11. REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- 12. PRIOR TO PAINTING IF ROOF, RVL & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED AS PER PAINT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- 13. REMOVE ALL EXISTING SMOKER STANDS AND OTHER WALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALLED.
- 14. EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- 15. CONTRACTOR TO CO-ORDINATE BLOCKING AND SUPPORTS REQUIRED FOR ALL SIGNAGE WITH SIGN COMPANY.
- 16. REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A.01.

EXTERIOR FINISHES			
MATERIAL	COLOUR	MATERIAL	COLOUR
1 * PREFINISHED METAL CAP FLASHING	CHARCOAL GC-16072	10 ALUMINUM DRIVE-THRU WINDOWS (EXISTING) TO REMAIN AS IS.	CLEAR ANODIZED
1a COPING PANEL	'IRON RED'	11 PRE-FINISHED BASE FLASHING - DARK GREY	'CHARCOAL GREY' GC-16072
1b COPING PANEL	'BENT WHITE'	12 CONCRETE BLOCK WALLS (EXISTING) - MEDIUM GREY. SEE ELEVATION NOTES.	PAINTED 'REGENT GREY' MCD'S 49
1c * PREFINISHED METAL CAP FLASHING	'REGENT GREY' GC-16082	13 METAL PANEL SOFFIT - AD300	'BENT WHITE' - * DENOTES AS PERFORATED SOFFIT
2 HORIZONTAL METAL SIDING, ADISO	'CHARCOAL GREY' (GC16072)	14 METAL DOORS & FRAMES (EXISTING) MEDIUM GREY	PAINTED DULUX PAINT MCD 48
3 4/4 FIBER CEMENT TRIM - SMOOTH - 3.5" WIDTH	DULUX PAINT 'CHESTNUT/McGAFE BROWN' MCD 31	15 SIGNAGE	SEE RESPONSIBILITY CHART
4 STUCCO & REVEAL (EXISTING) - MEDIUM GREY. SEE ELEVATION NOTES, PATCH & REPAIR IF NEEDED.	PAINTED DULUX PAINT 'REGENT GREY' MCD 49	16 SURFACE MOUNTED LIGHTS	SEE ELECTRICAL DRAWINGS
5 FIBER CEMENT LAP SIDING	DULUX PAINT 'CHESTNUT/McGAFE BROWN' MCD 31	17 PRE-FINISHED THRU WALL FLASHING	'CHARCOAL GREY' GC-16072
6 METAL PANEL - RED	'IRON RED'	18 MANUFACTURED STONE - RICHVALE CAMBRIDGE SERIES - GROUND FACE (4"x4"x16")	DOVER GREY WITH MORTAR COLOUR RAVEN 'CH-008' BY INTERSTAR
7 METAL PANEL / RIBBON - WHITE	'BENT WHITE'	19 GARBAGE ENCLOSURE DOUBLE METAL DOORS	SEE DOOR SCHEDULE
8 ALUMINUM STOREFRONT DOOR/WINDOW FRAMES TO MATCH EXISTING	CLEAR ANODIZED	20 HORIZONTAL METAL SIDING - AD300R	'CHARCOAL GREY' (GC16072)
9 STUCCO TO MATCH EXISTING TEXTURE	PAINTED DULUX PAINT 'REGENT GREY' MCD 49	21 PERFORATED METAL PANEL SOFFIT - AD300	'BENT WHITE'
- ALL MATERIALS ARE NEW UNO. - REFER TO EXTERIOR FINISHES SPECIFICATIONS ON DWG. A.01. - * ALL MATERIAL FLASHING TO BE 24 GA. - SEE COLOURED ELEVATIONS FOR CONFIRM COLOUR.		22 METAL CLADDING - MEDIUM GREY	PAINTED DULUX PAINT MCD 49

PROPOSED ELEV. LEGEND:

XX MATERIAL NUMBER

--- EXISTING CLADDING, DOORS, WINDOWS, ETC. TO BE REMOVED

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION

McDONALD'S RESTAURANTS OF CANADA LIMITED,  
4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6

CONSULTANT CONSULTANT ARCHITECT ARCHITECTURAL SEAL

3707 1ST AVENUE  
BURNABY, BC V5C 3V6  
ADMIN@LOVICKSCOTT.COM  
P: 604 298 3700 F: 604 298 6081  
MEMBER OF THE AIBC, AAA, SAA, NWTAA & RAIC

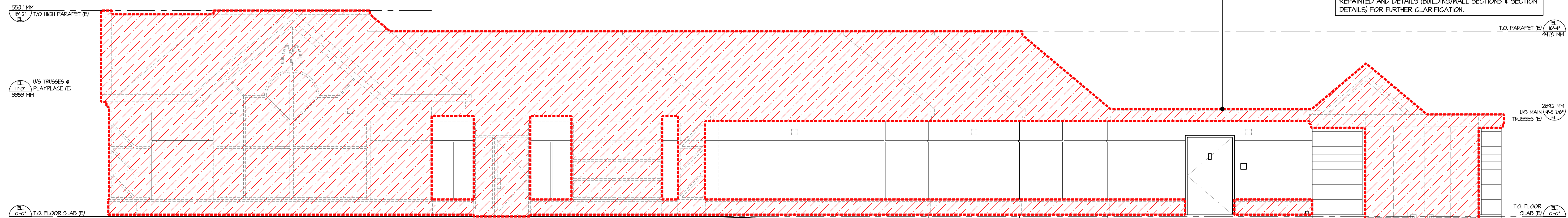
CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

DRAWN BY RMR PROJECT  
PROJECT  
McDonald's - Fleetwood  
15574 FRASER HIGHWAY,  
SURREY, BC  
DRAWING  
EXISTING & PROPOSED  
NORTH ELEVATIONS  
PROJECT NUMBER 17-074 DRAWING NUMBER A2.1  
SCALE 1/4" = 1'-0"  
DATE MAY 2017  
MCD'S NATIONAL NUMBER 12251  
REVISION MAY 18/2018

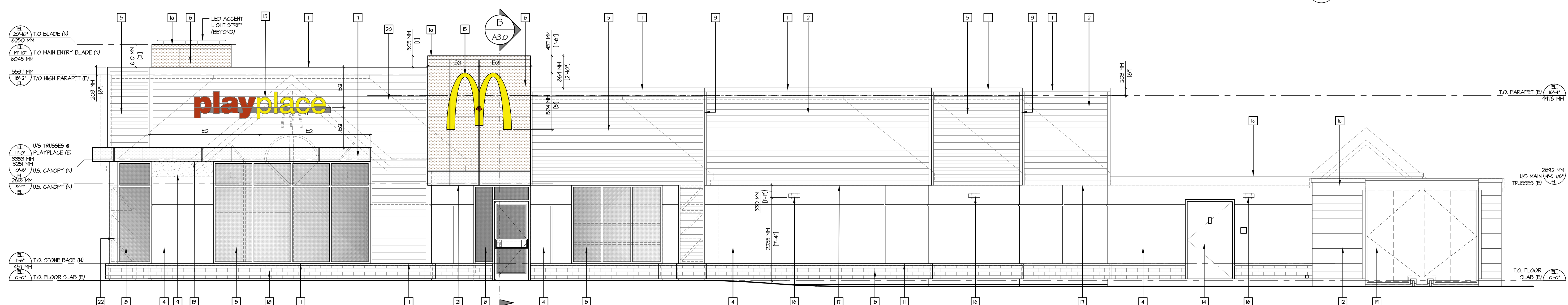
FLEETWOOD - 17-074



SHADED AREA DENOTES APPROX. EXTENT OF NEW STRUCTURE & EXTERIOR TO BE UPGRADED. G.C. TO VERIFY SITE CONDITIONS ON SITE PRIOR TO PRICING. REFER TO PROPOSED ELEVATION & PLANS FOR NEW FINISHES, ITEMS TO REMAIN, TO BE REMOVED, REPAINTED AND DETAILS (BUILDING/WALL SECTIONS & SECTION DETAILS) FOR FURTHER CLARIFICATION.



1 EXISTING WEST ELEVATION  
A2.2 SCALE: 1/4" = 1'-0"



2 PROPOSED WEST ELEVATION  
A2.2 SCALE: 1/4" = 1'-0"

**ELEVATION NOTES:**

- REFER TO SCOPE OF WORK BEFORE APPLYING ITEMS BELOW.
- 1. EXTERIOR WALL CLADDING, SOFFIT CLADDING & FLASHING NOTED TO BE REMOVED, ARE TO BE REMOVED AND DISPOSED BY G.C. PATCH & REPAIR/REPLACE AS REQ'D EXISTING DAMAGED BY NEW WORK.
- 2. EXISTING WINDOWS & ALUMINUM GLAZED DOORS NOTED TO BE REMOVED ARE TO BE REMOVED AND DISPOSED BY G.C., UNLESS NOTED TO BE RELOCATED. HEAD HEIGHTS OF NEW WINDOWS WILL BE DETERMINED BY EXISTING WINDOWS. SITE MEASURE PRIOR TO ORDERING NEW WINDOWS.
- 3. REMOVE ALL EXISTING ELECTRICAL OUTLETS, JUNCTION BOXES, DOORBELLS, WALL MOUNTED OR SOFFIT LIGHTS TO REMAIN PRIOR TO PAINTING AND REINSTALL IN SAME LOCATION AFTER.
- 4. EXISTING EXTERIOR LIGHTING, INCLUDING ROOF LIGHT BEAMS NOTED TO BE REMOVED; CAP OFF ELECTRICAL PER ELECTRICAL ENGINEER'S REQUIREMENTS, PATCH AND REPAIR AS REQ'D. REFER TO ELECTRICAL DRAWINGS FOR NEW EXTERIOR LIGHTING SPECIFICATIONS AND WIRING.
- 5. EXISTING METAL ROOFING, SHEATHING, FLASHING, GUTTERS, RAILS AND CAP FLASHING NOTED TO BE REMOVED TO BE DISPOSED BY G.C. PATCH & REPAIR AS REQUIRED ALL EXISTING DAMAGED BY NEW WORK.
- 6. G.C. TO INSPECT ALL EXISTING VAPOUR BARRIER, SHEATHING, FRAMING AND INSULATION TO DETERMINE IF REPLACEMENT WILL BE NECESSARY. IF ANY ROT OR MOLD IS DISCOVERED PROJECT MANAGER & ARCHITECT IS TO BE NOTIFIED IMMEDIATELY FOR REMEDIATION INSTRUCTIONS.

- 7. EXISTING ILLUMINATED SIGNAGE & SUPPORTS NOTED TO BE REMOVED OR RELOCATED. REFER TO ELECTRICAL DWGS FOR ELECTRICAL ENGINEER'S REQUIREMENTS, G.C. TO PATCH & REPAIR EXISTING DAMAGED BY NEW WORK AS REQ'D AND COORDINATE BACKINGS/SUPPORTS WITH SIGN COMPANY.
- 8. WASH ALL SURFACES AND REPAIR AS NECESSARY PRIOR TO APPLYING PAINT.
- 9. PATCH ANY EXISTING DAMAGED STUCCO TO MATCH EXISTING. ALL VOIDS AND CRACKS TO BE EPOXY GROUTED PRIOR TO PAINTING.
- 10. CLEAN AND REPAIR AS NECESSARY ALL EXISTING SURFACES TO REMAIN UNPAINTED.
- 11. REMOVE EXISTING SIGNAGE TO REMAIN ON BUILDING PRIOR TO PAINTING. REPLACE SIGNAGE UPON COMPLETION.
- 12. PRIOR TO PAINTING IF ROOF, RAIL & GUTTER IS GALVANIZED WILL BE REQUIRED TO BE CLEANED AS PER PAINT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- 13. REMOVE ALL EXISTING SMOKER STANDS AND OTHER WALL MOUNTED FIXTURES PRIOR TO PAINTING AND REINSTALLED.
- 14. EXISTING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT SURFACES.
- 15. CONTRACTOR TO CO-ORDINATE BLOCKING AND SUPPORTS REQUIRED FOR ALL SIGNAGE WITH SIGN COMPANY.
- 16. REFER TO EXTERIOR FINISH SPECIFICATION ON DRAWING A.O.I.

EXTERIOR FINISHES			
MATERIAL	COLOUR	MATERIAL	COLOUR
1 * PREFINISHED METAL CAP FLASHING	CHARCOAL GC-16072	10 ALUMINUM DRIVE-THRU WINDOWS (EXISTING) TO REMAIN AS IS.	CLEAR ANODIZED
1a COPING PANEL	'IRON RED'	11 PRE-FINISHED BASE FLASHING - DARK GREY	'CHARCOAL GREY' GC-16072
1b COPING PANEL	'BENT WHITE'	12 CONCRETE BLOCK WALLS (EXISTING) - MEDIUM GREY. SEE ELEVATION NOTES.	PAINTED 'REGENT GREY' MCD'S 49
1c * PREFINISHED METAL CAP FLASHING	'REGENT GREY' GC-16082	13 METAL PANEL SOFFIT - AD300	'BENT WHITE'
2 HORIZONTAL METAL SIDING, ADISO	'CHARCOAL GREY' (GC16072)	14 METAL DOORS & FRAMES (EXISTING) MEDIUM GREY	PAINTED DULUX PAINT MCD 48
3 4/4 FIBER CEMENT TRIM - SMOOTH - 3.5" WIDTH	DULUX PAINT 'CHESTNUT/McGAFE BROWN' MCD 31	15 SIGNAGE	SEE RESPONSIBILITY CHART
4 STUCCO & REVEAL (EXISTING) - MEDIUM GREY. SEE ELEVATION NOTES, PATCH & REPAIR IF NEEDED.	PAINTED DULUX PAINT 'REGENT GREY' MCD 49	16 SURFACE MOUNTED LIGHTS	SEE ELECTRICAL DRAWINGS
5 FIBER CEMENT LAP SIDING	DULUX PAINT 'CHESTNUT/McGAFE BROWN' MCD 31	17 PRE-FINISHED THRU WALL FLASHING	'CHARCOAL GREY' GC-16072
6 METAL PANEL - RED	'IRON RED'	18 MANUFACTURED STONE - RICHVALE CAMBRIDGE SERIES - GROUND FACE (4"x4"x16")	DOVER GREY WITH MORTAR COLOUR RAVEN 'CH-008' BY INTERSTAR
7 METAL PANEL / RIBBON - WHITE	'BENT WHITE'	19 GARBAGE ENCLOSURE DOUBLE METAL DOORS	SEE DOOR SCHEDULE
8 ALUMINUM STOREFRONT DOOR/WINDOW FRAMES TO MATCH EXISTING	CLEAR ANODIZED	20 HORIZONTAL METAL SIDING - AD300R	'CHARCOAL GREY' (GC16072)
9 STUCCO TO MATCH EXISTING TEXTURE	PAINTED DULUX PAINT 'REGENT GREY' MCD 49	21 PERFORATED METAL PANEL SOFFIT - AD300	'BENT WHITE'
- ALL MATERIALS ARE NEW UNO. - REFER TO EXTERIOR FINISHES SPECIFICATIONS ON DWG. A.O.I. - * ALL MATERIAL FLASHING TO BE 24 GA. - SEE COLOURED ELEVATIONS FOR CONFIRM COLOUR.		22 METAL CLADDING - MEDIUM GREY	PAINTED DULUX PAINT MCD 49

**PROPOSED ELEV. LEGEND:**

XX	MATERIAL NUMBER
---	EXISTING CLADDING, DOORS, WINDOWS, ETC. TO BE REMOVED

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
	JUNE/13/18	ISSUED PER DP COMMENTS			
	MAY/18/18	ISSUED PER DP COMMENTS			
	APR/18/18	ISSUED PER DP COMMENTS			
	DEC/21/17	ISSUED FOR DP			
	MAY/15/17	ISSUED FOR MCD'S REVIEW			

McDONALD'S RESTAURANTS OF CANADA LIMITED,  
4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6

CONSULTANT      CONSULTANT SEAL      ARCHITECT      ARCHITECTURAL SEAL

LOVICK SCOTT ARCHITECTS

3707 1ST AVENUE  
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MEMBER OF THE AIBC, AAA, SAA, NWTAA & RAIC

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DRAWN BY: RMR      APPROVED: [Signature]

PROJECT: McDonald's - Fleetwood

15574 FRASER HIGHWAY,  
SURREY, BC

DRAWING: EXISTING & PROPOSED WEST ELEVATIONS

PROJECT NUMBER: 17-074      DRAWING NUMBER: A2.2

SCALE: 1/4" = 1'-0"

DATE: MAY 2018      REVISION: JUNE/13/2018

FLEETWOOD - 17-074













1 NORTH EAST VIEW  
A2.5 / SCALE: NTS



2 NORTH WEST VIEW  
A2.5 / SCALE: NTS



3 SOUTH WEST VIEW  
A2.5 / SCALE: NTS

Exterior Elevations (including Signage) Review / Approval			
Name	Title	Date	Signature
Michael Carlile	Nat'l Design Manager	Dec. 14, 2017	

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION

**McDonald's**

McDONALD'S RESTAURANTS OF CANADA LIMITED,  
4400 STILL CREEK DRIVE, BURNABY B.C. V5C 6C6

CONSULTANT CONSULTANT SEAL ARCHITECT ARCHITECTURAL SEAL



3707 1ST AVENUE  
BURNABY, BC V5C 3V6  
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DRAWN BY APPROVED

RMR PROJECT  
**McDonald's - Fleetwood**  
15574 FRASER HIGHWAY,  
SURREY, BC

DRAWING PERSPECTIVES

PROJECT NUMBER	DRAWING NUMBER
17-074	A2.5
SCALE	MCD'S NATIONAL NUMBER
NOT TO SCALE	12251
DATE	REVISION
MAY 2017	MAY/18/2018

FLEETWOOD - 17-074

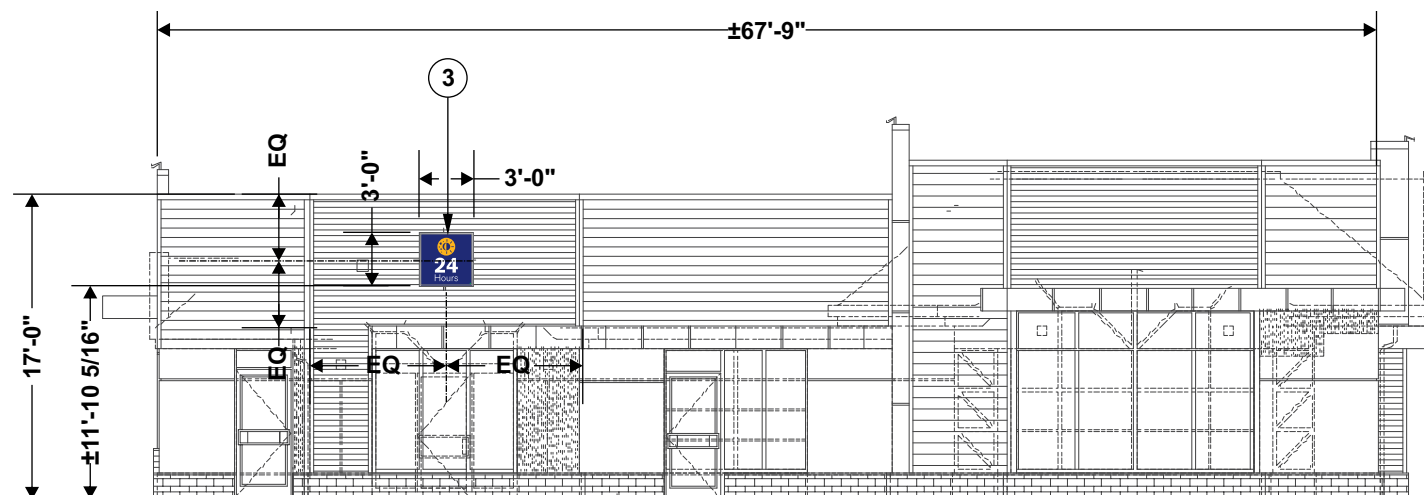


# JL3-32001H

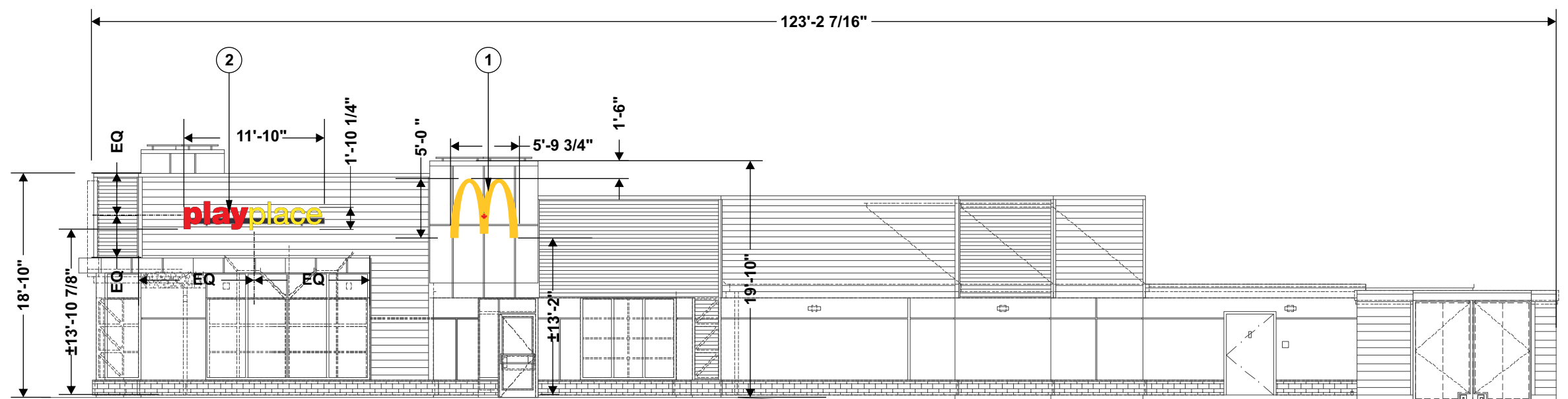
## ELEVATIONS

Installation:  Interior:  Exterior:

#	Descriptions:
1	60" ILLUMINATED ARCHES LOGO SIGN MCD1S4D7037 <b>SQUARE FOOTAGE: 29.05 FT<sup>2</sup></b>
2	ILLUMINATED PLAYPLACE CHANNEL LETTERS SEE MCD1C4D7141 <b>SQUARE FOOTAGE: 28.59 FT<sup>2</sup></b>
3	36" ILLUMINATED S/F 24H SIGN SEE MCD1S3D7017 <b>SQUARE FOOTAGE: 9.00 FT<sup>2</sup></b>



**NORTH ELEVATION**



**WEST ELEVATION**

**Notes:**  
- ADDITIONAL WALL SUPPORT/BACKING BEHIND SIGN AREA SUPPLIED BY OTHERS

#	Revision(s)	By:	Date:
1	ADDED LETTERS ON NORTH AND 24H ON WEST	CV	02.06.2018
2	AS PER NEW ELEVATIONS/ ADDED MCCAFFEE AND PED.	CV	04.06.2018
3	AS PER NEW ELEVATIONS/ REMOVED VARIOUS SIGNS	CV	05.17.2018

Date: / /  
Customer Approval:

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and Section 24 of the Canadian Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Pattison Sign Group illuminated signs contain Fluorescent, Neon and/or HID Lamps. These lamps contain Mercury (Hg). Dispose of these lamps according to Local, Provincial, State, or Federal Laws.

IF THIS AGREEMENT INCLUDES THE MANUFACTURING AND INSTALLATION OF A BASE(S) BY PATTISON SIGN GROUP FOR THE SIGNS ORDERED HEREIN, SUCH BASE(S) SHALL BE BUILT AND INSTALLED IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS. IF A BASE(S) IS TO BE BUILT OR PROVIDED BY THE CUSTOMER (OR HIS AGENT), AND NOT BY PATTISON SIGN GROUP, THE CUSTOMER SHALL ENSURE THAT THE BASE(S) ARE BUILT AND INSTALLED IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS AND SHALL HOLD PATTISON SIGN GROUP HARMLESS AND INDEMNIFY IT AGAINST ANY AND ALL CLAIMS, LIABILITIES, ACTIONS, PENALTIES, FINES, AND ANY LEGAL FEES INCURRED BY PATTISON SIGN GROUP ARISING FROM THE FAILURE OF THE CUSTOMER (AND/OR IT'S AGENT) IN DOING SO.

[www.pattisonsign.com](http://www.pattisonsign.com)



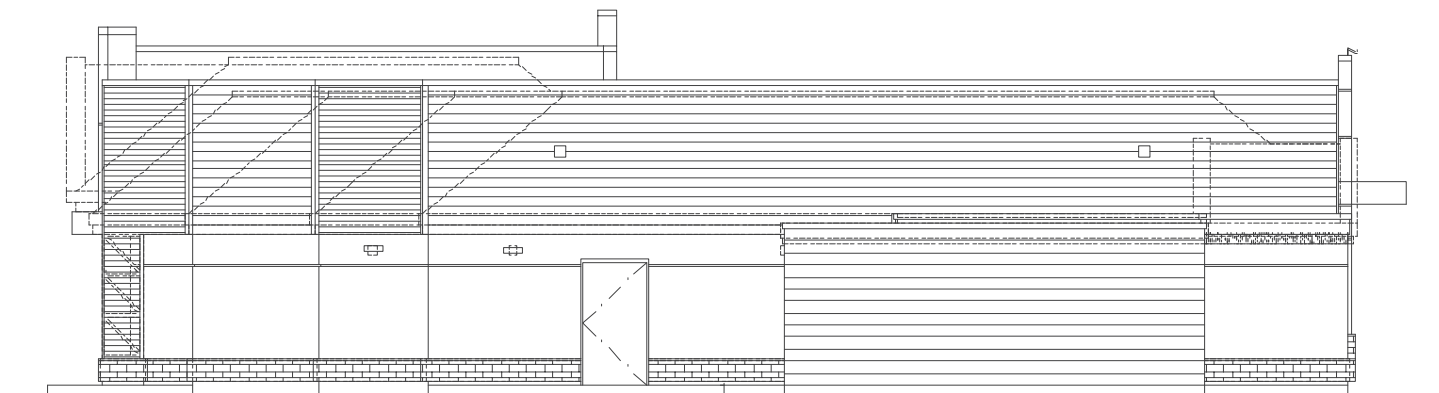
Tel: (506) 735-5506 | Fax: (877) 737-1734 | Toll Free: 1-800-561-9798

Client:	MC DONALD'S STORE # 12251
Site:	15574 FRASER HIGHWAY, SURREY, BC
Consultant:	GARRY SIGOUIN
Draftsman:	CLAUDIA VOGT
Date:	01.03.2018
Page:	1/4
Scale:	3/32" = 1'-0"

ISO 9001:2008 Certified Enterprise

# JL3-32001H

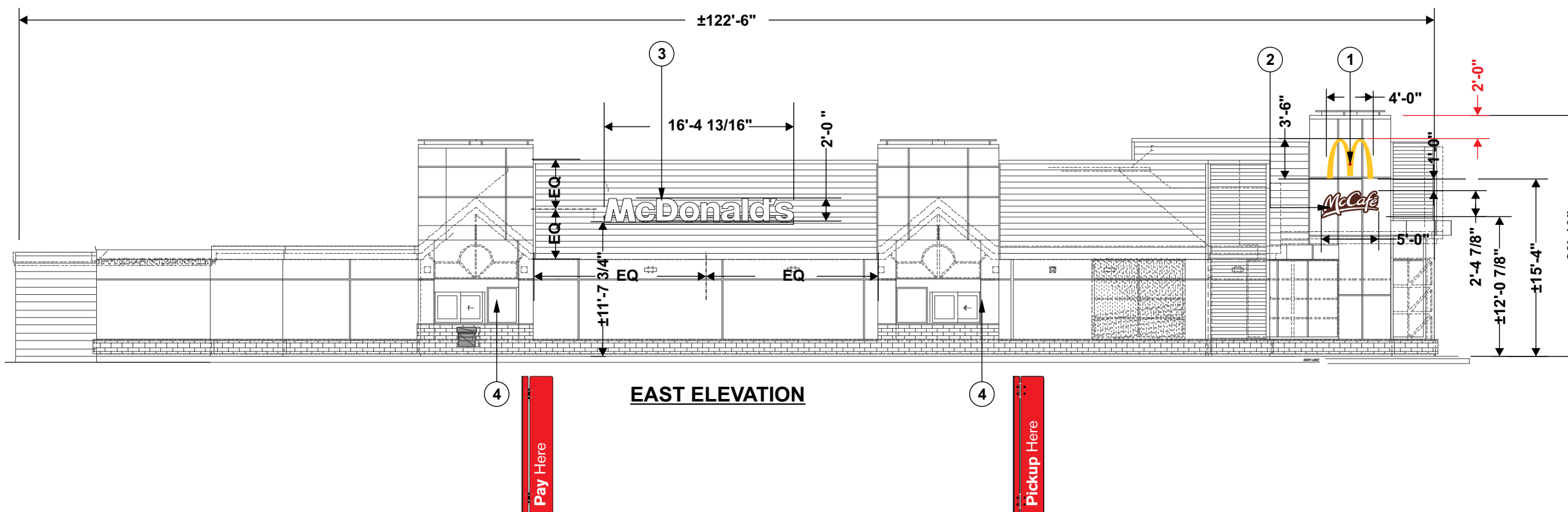
## ELEVATIONS



**SOUTH ELEVATION**

Installation:  Interior:   Exterior:

#	Descriptions:
1	42" ILLUMINATED ARCHES LOGO SIGN MCD1S4D7036 <b>SQUARE FOOTAGE: 14.23 FT<sup>2</sup></b>
2	60" ILLUMINATED MCCAFFEE SIGNATURE SIGN SEE MCD1S9C7012 <b>SQUARE FOOTAGE: 12.03 FT<sup>2</sup></b>
3	24" ILLUMINATED MCDO CHANNEL LETTERS ON RACEWAY SEE MCD1C4D7144 <b>SQUARE FOOTAGE: 32.80 FT<sup>2</sup></b>
4	NON-ILLUMINATED PULL FORWARD DT WINDOW SIGNS SEE DRAWINGS MCD1S9KX007, MCD1S9KX013



**EAST ELEVATION**

**Notes:**  
- ADDITIONAL WALL SUPPORT/BACKING BEHIND SIGN AREA SUPPLIED BY OTHERS

#	Revision(s)	By:	Date:
1	REVISED MCCAFFEE SIGN	CV	01.24.2018
2	ADDED 24H ON SOUTH AND EAST	CV	02.06.2018
3	AS PER NEW ELEVATIONS	CV	04.06.2018
4	AS PER NEW ELEVATIONS/ REMOVED VARIOUS SIGNS	CV	05.17.2018

Date: / /  
Customer Approval:

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and Section 24 of the Canadian Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

Pattison Sign Group illuminated signs contain Fluorescent, Neon and/or HID Lamps. These lamps contain Mercury (Hg). Dispose of these lamps according to Local, Provincial, State, or Federal Laws.

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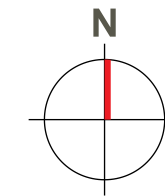
Tel: (506) 735-5506 | Fax: (877) 737-1734 | Toll Free: 1-800-561-9798

Client:	MC DONALD'S STORE # 12251
Site:	15574 FRASER HIGHWAY, SURREY, BC
Consultant:	GARRY SIGOUIN
Draftsman:	CLAUDIA VOGT
Date:	01.03.2018
Page:	2/4
Scale:	3/32" = 1'-0"

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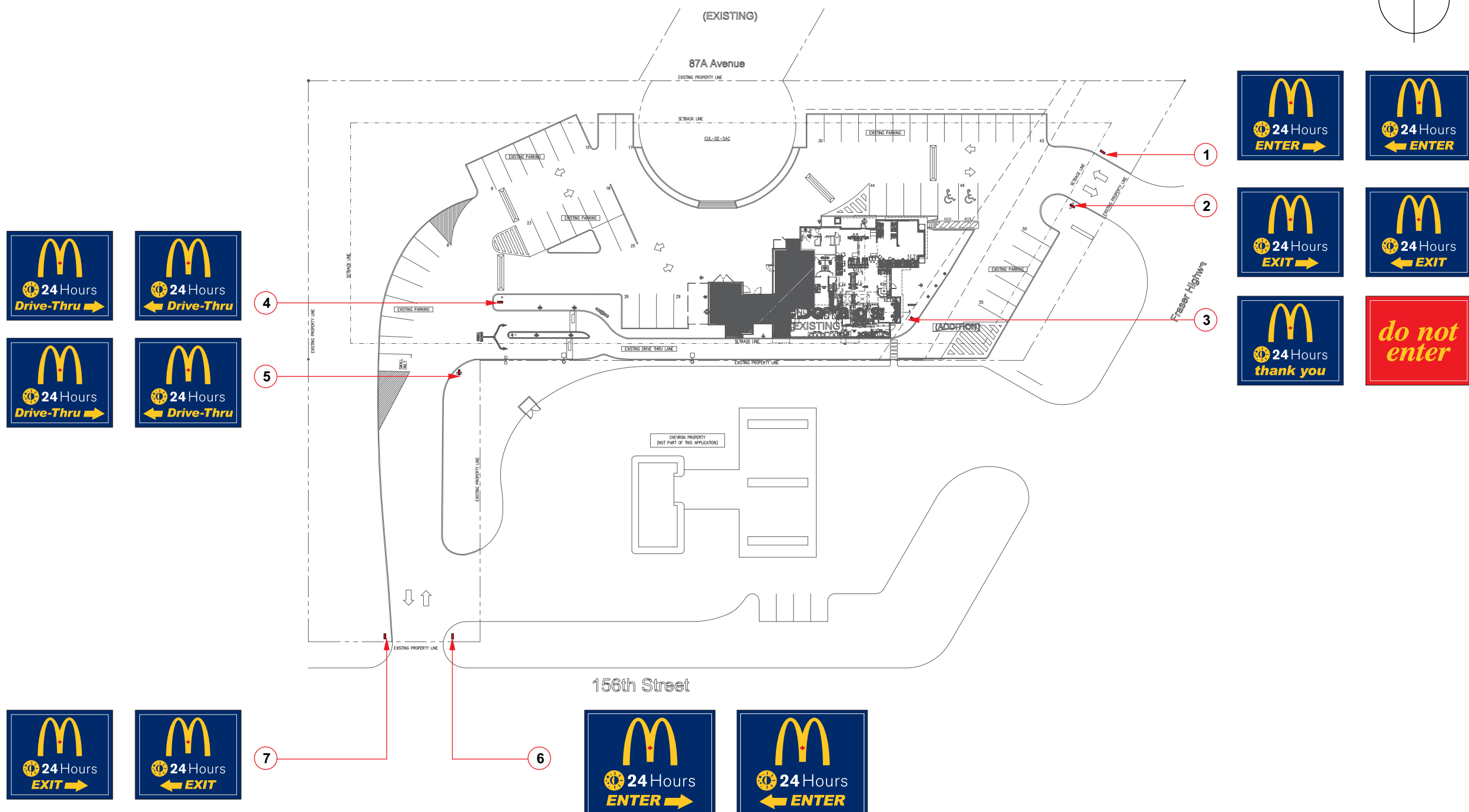
# JL3-32001H

## SITE PLAN WITH DT SIGNAGE



Installation:  Interior:   Exterior:

#	Descriptions:
1	REPLACEMENT FACES FOR EXISTING DIRECTIONAL SIGN SEE PAGE 4
2	REPLACEMENT FACES FOR EXISTING DIRECTIONAL SIGN SEE PAGE 4
3	REPLACEMENT FACES FOR EXISTING DIRECTIONAL SIGN SEE PAGE 4
4	REPLACEMENT FACES FOR EXISTING DIRECTIONAL SIGN SEE PAGE 4
5	REPLACEMENT FACES FOR EXISTING DIRECTIONAL SIGN SEE PAGE 4
6	REPLACEMENT FACES FOR EXISTING DIRECTIONAL SIGN SEE PAGE 4
7	REPLACEMENT FACES FOR EXISTING DIRECTIONAL SIGN SEE PAGE 4



#	Revision(s)	By:	Date:
1	ADDED PAGE	CV	02.14.2018
2	REMOVED MONUMENT SIGN	CV	03.28.2018



Tel: (506) 735-5506 | Fax: (877) 737-1734 | Toll Free: 1-800-561-9798

Client:	MC DONALD'S STORE # 12251
Site:	15574 FRASER HIGHWAY, SURREY, BC
Consultant:	GARRY SIGOUIN
Draftsman:	CLAUDIA VOGT
Date:	01.03.2018
Page:	3/4
Scale:	3/32" = 1'-0"

Date: / /  
Customer Approval:

 This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and Section 14 of the Canadian Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.  
 Pattison Sign Group illuminated signs contain Fluorescent, Neon and/or HID Lamps. These lamps contain Mercury (Hg). Dispose of these lamps according to Local, Provincial, State, or Federal Laws.

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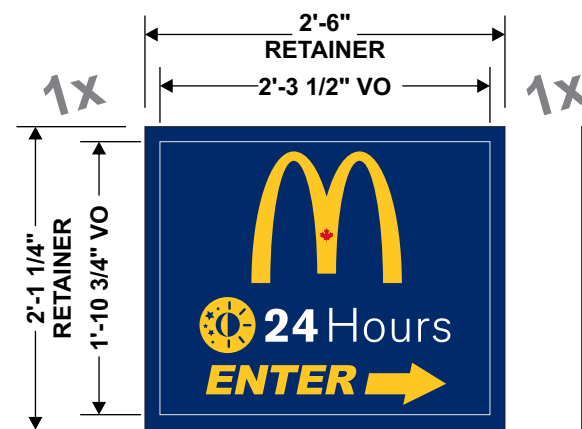


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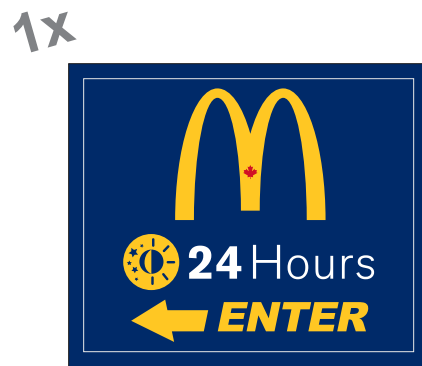
REPLACEMENT FACE  
FOR DIRECTIONAL SIGNS

Installation:  Interior:   Exterior:

#	Descriptions:
1	3/16" TK. CLEAR FLAT ACRYLIC FACE WITH VINYL GRAPHIC ON SECOND SURFACE
*	EXISTING RETAINER



**FRONT VIEW**  
SIGN 1



**FRONT VIEW**  
SIGN 1/OTHER SIDE



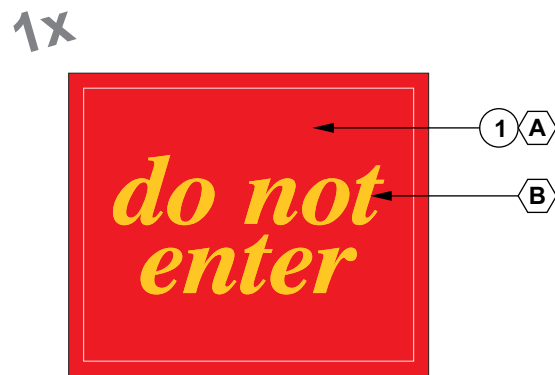
**FRONT VIEW**  
SIGN 2 & 7



**FRONT VIEW**  
SIGN 2 & 7/OTHER SIDE



**FRONT VIEW**  
SIGN 3



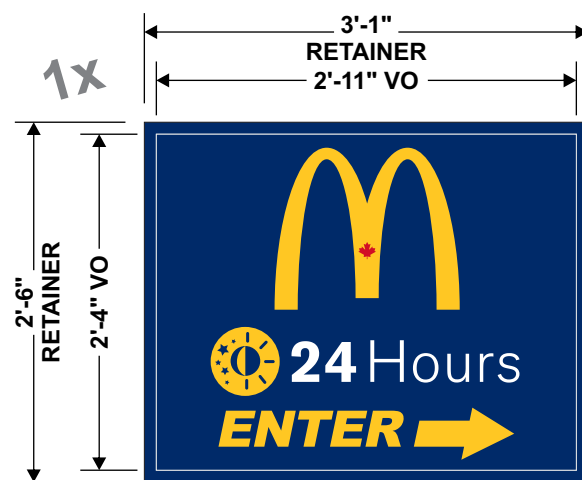
**FRONT VIEW**  
SIGN 3/OTHER SIDE



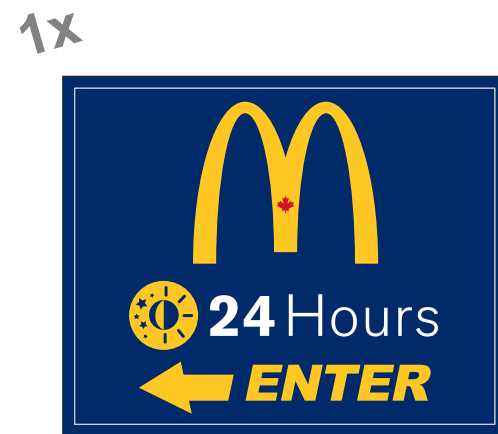
**FRONT VIEW**  
SIGN 4 & 5



**FRONT VIEW**  
SIGN 4 & 5/OTHER SIDE



**FRONT VIEW**  
SIGN 6



**FRONT VIEW**  
SIGN 6/OTHER SIDE

**Notes:**  
- DIMENSIONS AS PER 2009 SURVEY T.B.V.

#	Colors:
A	RED VINYL #3630-33
B	YELLOW VINYL #3630-125
C	WHITE DIFFUSER #3630-20
D	BLUE VINYL #3630-137

#	Revision(s)	By:	Date:
1	ADDED PAGE	CV	02.14.2018



Tel: (506) 735-5506 | Fax: (877) 737-1734 | Toll Free: 1-800-561-9798

Client:	MC DONALD'S STORE # 12251		
Site:	15574 FRASER HIGHWAY, SURREY, BC		
Consultant:	GARRY SIGOUIN		
Draftsman:	CLAUDIA VOGT	Date:	01.03.2018
Page:	4/4	Scale:	3/4" = 1'-0"

Date: / /  
Customer Approval:



This sign is intended to be installed in accordance with the requirements of Article 606 of the National Electrical Code and Section 24 of the Canadian Electrical Code and other applicable local codes. This includes proper grounding and bonding of the sign.

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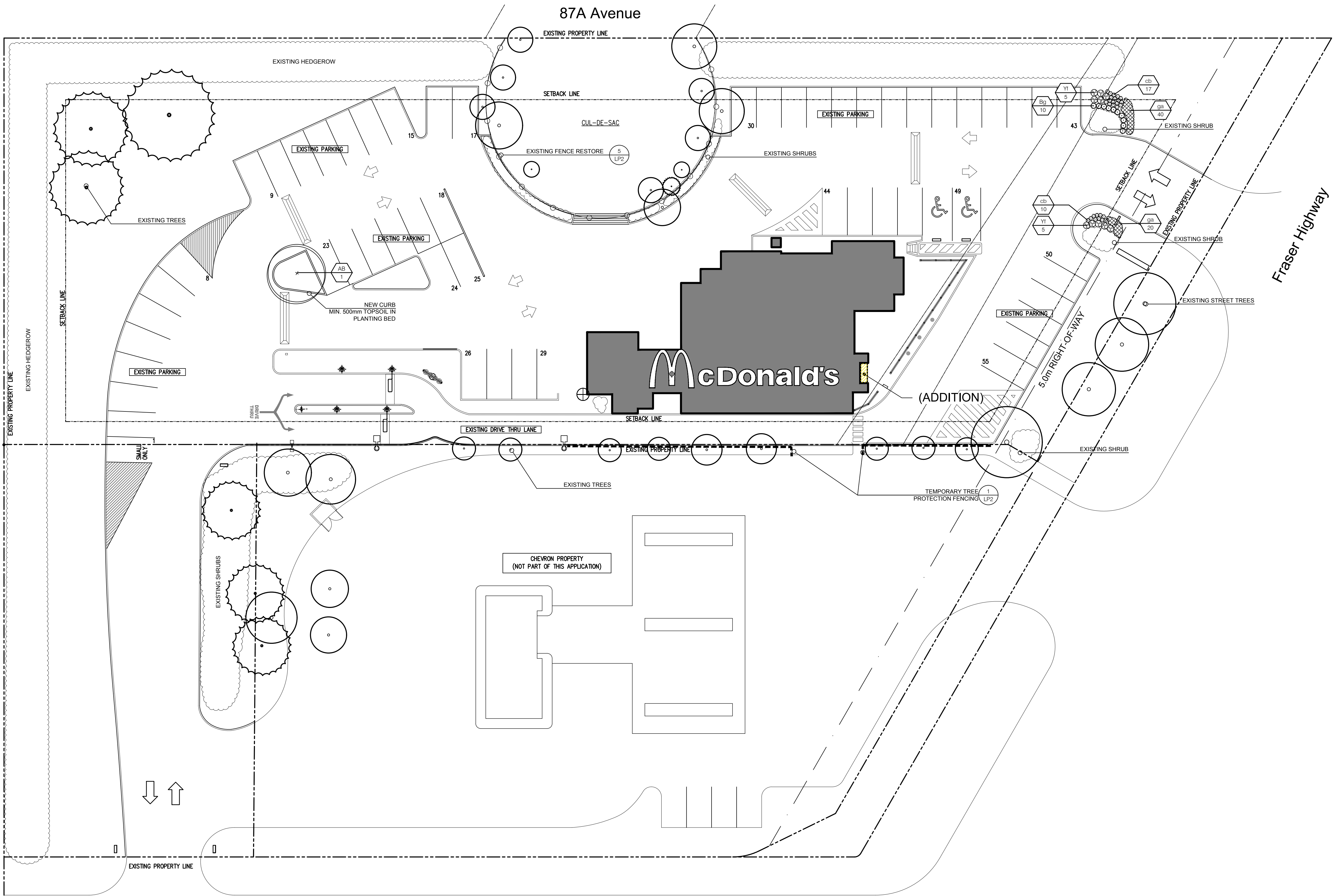
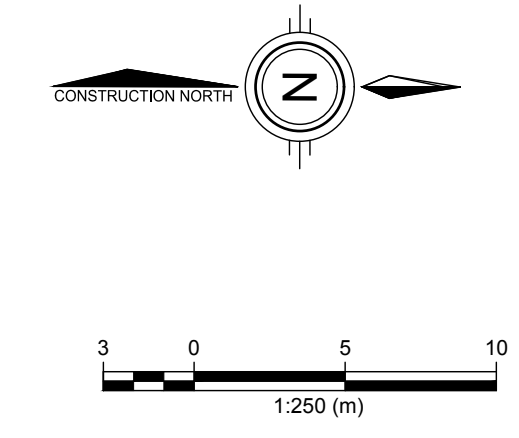


McDonald's PLANT LIST									
KEY	BOTANICAL NAME	COMMON NAME	CAL.	SIZE	COND	MATURE HEIGHT (m)	MATURE SPREAD (m)	O.C. SPACING (m)	QNTY.
TREES									
AB	Acer buergerianum	Trident Maple	70mm	20 gal	8.0	7.0	5.0	1	
SHRUBS AND PERENNIALS									
Bg	Buxus 'Green Mountain'	Green Mountain Boxwood	60cm	3 gal.	1.5	0.75	0.5	10	
YI	Yucca flaccida 'Golden Sword'	Golden Sword Yucca	60cm	3 gal.	1.2	1.2	1.0	10	
cb	Carex buehneriana	Leather Leaf Sedge Grass	1 gal.	0.6	0.6	0.5	27		
ga	Gallardia	Blanket Flower	1 gal.	0.3	0.3	0.3	60		

NOTE: ANY SPECIES SUBSTITUTIONS MUST BE TO THE SATISFACTORY OF THE MUNICIPALITY.

**LANDSCAPE NOTES:**

1. INSTALL ALL PLANT MATERIAL TO MUNICIPAL STANDARDS. PROVIDE AND INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH BCLSA/BCNLA LANDSCAPE STANDARDS - LATEST EDITION. AREA OF SEARCH: BRITISH COLUMBIA, WASHINGTON AND OREGON. PROVIDE DISEASE AND PEST-FREE PLANT MATERIAL FROM CERTIFIED NURSERIES. PROVIDE GUARANTEE OF CERTIFICATION ALL PLANT MATERIAL TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM-BY OTHERS.
2. COMPLETE ALL WORK TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.
3. REPORT ANY CHANGES, DISCREPANCIES OR SUBSTITUTIONS TO THE LANDSCAPE ARCHITECT FOR REVIEW. OBTAIN APPROVAL FROM THE LANDSCAPE ARCHITECT BEFORE PROCEEDING.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE EXISTING SERVICE LOCATIONS.
5. EXACT LOCATIONS OF PLANT MATERIAL WILL BE DETERMINED BY PLACEMENT OF SITE SERVICES SUCH AS HYDRO VAULTS, METERS, UTILITIES ROOF RAIN WATER LEADERS, DRIVEWAYS, LIGHT STANDARDS, ETC.
6. ALL PLANT MATERIAL LOCATIONS TO BE STAKED OR MARKED OUT AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
7. SUPPLY ALL PLANT MATERIAL IN ACCORDANCE WITH THE CANADIAN STANDARDS FOR NURSERY STOCK LATEST EDITION. INSTALL PLANT MATERIAL ACCORDING TO DETAILS SHOWN.
9. DISTURBED SOIL AREAS AROUND TREES AND SHRUBS ARE TO BE COVERED WITH SHREDDED CONIFER BARK MULCH SUCH AS 'CANADA RED' OR 'GRO-BARK' SPM MULCH, OR APPROVED EQUIVALENT. ALTERNATIVE MULCHES MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
10. CONTRACTOR TO UTILIZE LAYOUT DIMENSIONS WHERE PROVIDED.
11. PROVIDE PLANTING BED AREA AS NOTED ON THE DRAWING OR TO ACCOMMODATE MATURE SIZE OF PLANT MATERIAL.
12. ALL SUPPORT SYSTEMS MUST BE REMOVED BY THE CONTRACTOR AT TIME OF FINAL ACCEPTANCE. NO EXTRAS WILL BE PAID TO COMPLETE THIS WORK.
13. SUPPLY AND PLACE TOPSOIL IN ACCORDANCE WITH DBSS 2013 751 TO A MINIMUM DEPTH OF 150mm UNLESS OTHERWISE SPECIFIED.
14. SUPPLY AND PLACE SOD IN ACCORDANCE WITH DBSS 2013 751/757 UNLESS OTHERWISE SPECIFIED.
15. SUPPLY AND PLACE SEED IN ACCORDANCE WITH DBSS 2013 757 UNLESS OTHERWISE SPECIFIED. ALL 5:1 OR GREATER SLOPES TO BE SEEDED WITH TACIFIER. CONTRACTOR TO PROVIDE NECESSARY EROSION CONTROL PROTECTION AS REQUIRED TO ENSURE SOIL STABILIZATION AND PROPER SEED GERMINATION.
16. ALL DIMENSIONS IN METRES UNLESS OTHERWISE NOTED.
17. IF DISCREPANCIES ARISE BETWEEN PLANT MATERIAL COUNT SHOWN ON DRAWING AND PLANT LIST, THE DRAWING SHALL BE CONSIDERED CORRECT.
18. CONTRACTOR TO PROVIDE MINIMUM TWO (2) YEAR WARRANTY FROM DATE ACCEPTED ON ALL WORK UNLESS OTHERWISE SPECIFIED.
19. ANY SITE PLAN OR GRADING AND SERVICING SHOWN IS FOR INFORMATION ONLY. REFER TO APPROVED DRAWINGS.
20. NOT FOR CONSTRUCTION UNLESS STAMPED, SIGNED AND DATED BY LANDSCAPE ARCHITECT.
21. DRAWINGS NOT TO BE REPRODUCED WITHOUT WRITTEN CONSENT FROM LANDSCAPE ARCHITECT.
22. APPROVAL OF LANDSCAPE PLAN TO BE OBTAINED FROM MUNICIPALITY.
23. FOR GRADING AND SERVICING INFORMATION REFER TO THE CONSULTING ENGINEER'S DRAWINGS.
24. FOR LIGHTING INFORMATION AND POWER DISTRIBUTION REFER TO THE ELECTRICAL CONSULTANT'S DRAWINGS.



**LEGEND**

- EX. TREE TO REMAIN
- TEMPORARY TREE PROTECTION FENCING D1 ON LP2
- EXISTING CHAINLINK FENCE RESTORE
- PROPOSED DECIDUOUS SHADE TREE
- PROPOSED DECIDUOUS SHRUBS
- PROPOSED CONIFEROUS SHRUBS
- PROPOSED BROAD-LEAF EVERGREEN SHRUBS
- PROPOSED PERENNIALS
- PROPOSED ORNAMENTAL GRASSES
- PLANT SPECIES QUANTITY
- DETAIL NUMBER
- SHEET NUMBER

#	DATE	BY	REVISIONS
3	2018-06-13	SW	THIRD LANDSCAPE SUBMISSION
2	2018-05-17	SW	SECOND LANDSCAPE SUBMISSION
1	2018-04-18	SW	FIRST LANDSCAPE SUBMISSION

**APPROVALS**

APPROVED	DATE

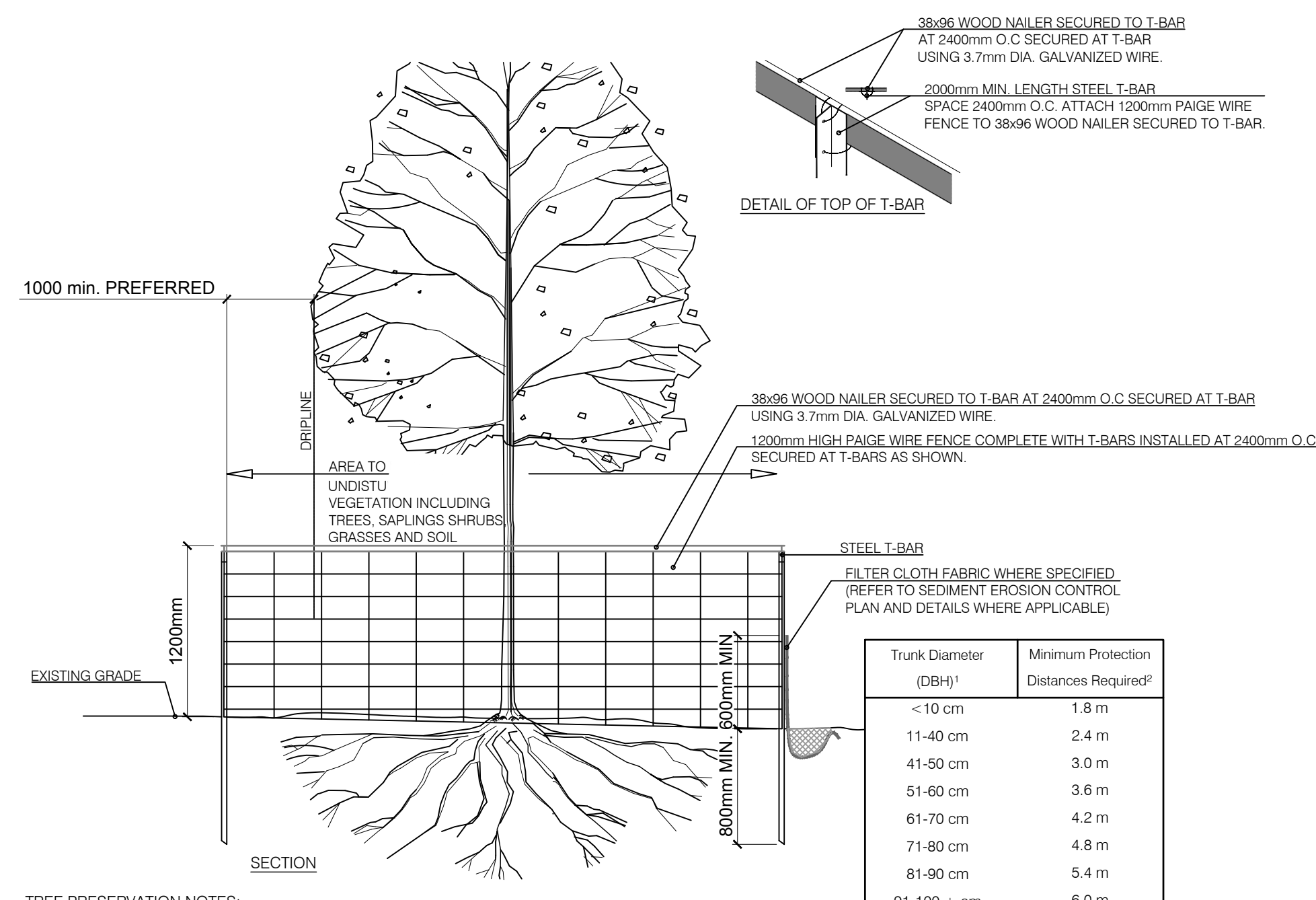


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**LANDSCAPE PLAN**

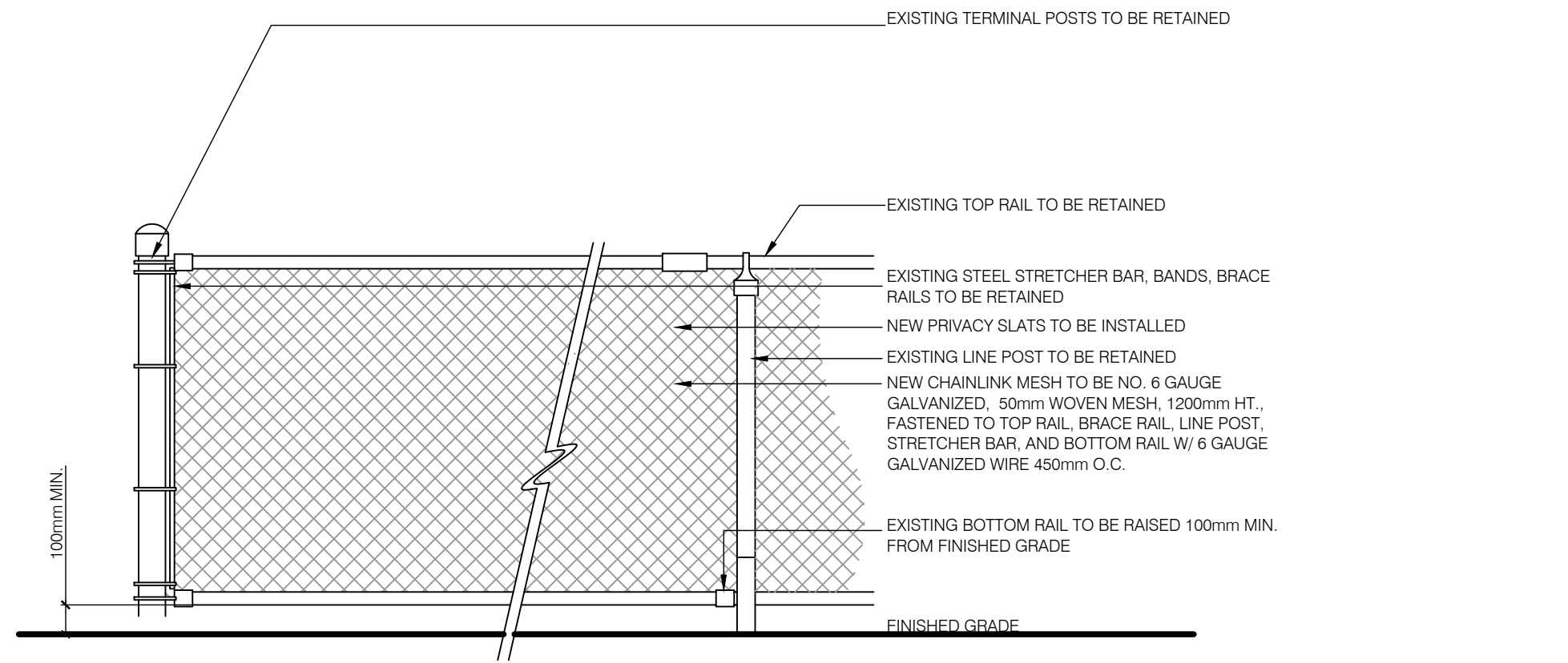
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CHECKED BY:	TW	FILE NUMBER:	113438L
DATE:	2018-04-18	SHEET NUMBER:	LP1



- TREE PRESERVATION NOTES:**
- ALL EXISTING TREES TO REMAIN ON SITE, OR ON ADJACENT PROPERTIES, SHALL BE TAGGED AND FULLY PROTECTED WITH FENCING BEYOND THEIR DRIPLINE TO THE SATISFACTION OF THE CITY. TREE PROTECTION ZONES MAY BE EXPANDED AS REQUIRED BASED ON THE SPECIES OF THE TREE. THESE BARRIERS ARE CREATED TO PROTECT THE ROOTS, TRUNKS AND BRANCHES DURING DEVELOPMENT, AS WELL AS THE UNDERSTOREY AND GROUNDCOVERS. SMALL LOT BY LOT TREE PROTECTION REQUIRES SNOW FENCING WITH METAL POST ENCLOSURES. LONG TERM DEVELOPMENT CONSTRUCTION REQUIRES SPECIAL PAIGE WIRE FENCING OR PLYWOOD TO A MINIMUM HEIGHT OF 1.2m.
  - FENCES SHALL BE LOCATED AT A MINIMUM OF 0.5 TIMES THE CROWN RADIUS OF THE TREE FROM THE DRIPLINE, 360 DEGREES AROUND THE PERIMETER OF INDIVIDUAL OR CLUSTERED TREES.
  - AREAS WITHIN THE TREE PROTECTION ZONE SHALL NOT BE USED FOR THE STORAGE OF BUILDING MATERIALS, STRUCTURES OR EQUIPMENT. THIS TREE PROTECTION ZONE SHALL BE COMPLETED PRIOR TO THE COMMENCEMENT OF SITE CLEARANCE, DEMOLITION, OR ANY TYPE OF CONSTRUCTION.
  - SURPLUS SOIL, EQUIPMENT, VEHICLES, TOOLS, DEBRIS OR MATERIALS SHALL NOT BE PLACED OVER THE ROOT SYSTEMS OF THE TREES WITHIN THE TREE PROTECTION ZONE. NO CONTAMINANTS SHALL BE DUMPED OR FLUSHED WHERE FEEDER ROOTS OF TREES EXIST.
  - TREE ROOTS TYPICALLY SPREAD WELL BEYOND THE DRIPLINE OF TREES, UP TO 3.5 TIMES THE DRIPLINE RADIUS, AND ARE LOCATED PREDOMINANTLY IN THE TOP 30CM OF SOIL. AS THIS AREA IS NOT PROTECTED, ACTIVITY SHOULD BE KEPT TO A MINIMUM TO PREVENT ROOT DAMAGE AND SOIL COMPACTION. WHERE ROOT SYSTEMS OF TREES ARE EXPOSED OR DAMAGED BY CONSTRUCTION WORK, THE CITY MUST BE ADVISED FIRST BEFORE THE ROOTS ARE TRIMMED NEATLY AND THE AREA BACK-FILLED WITH TOPSOIL.
  - EQUIPMENT SHALL NOT COMPACT SOIL OVER THE ROOT ZONE OF EXISTING TREES. TO AVOID DAMAGE TO TREES THAT AREA TO BE PROTECTED, ACCESS ROUTES MUST BE ESTABLISHED AWAY FROM PROTECTED AREAS. ALL ACCESS ROUTES REGARDLESS OF HOW TEMPORARY, MUST BE IDENTIFIED AND APPROVED BY THE CITY.
  - WRITTEN PERMISSION MUST BE OBTAINED FROM THE CITY PRIOR TO COMMENCING WORK SUCH AS TUNNELING, TORPEDOING, DIGGING OR TRENCHING WITHIN THE DRIPLINE OF ANY TREE TO MINIMIZE ROOT INJURY AND AVOID SOIL COMPACTION.
  - WHEREVER POSSIBLE AVOID CUTTING SURFACE ROOTS. DURING EXCAVATION IF ROOT CUTS ARE NECESSARY, IT SHOULD BE DONE QUICKLY, MAKING FLUSH CUTS WHILE SUPERVISED BY AN INSPECTING CITY FORESTRY REPRESENTATIVE. THE ROOTS SHALL BE BACKFILLED AND WATERED BEFORE THEY HAVE A CHANCE TO DRY OUT. WHERE ROOTS REQUIRE REMOVAL, THERE MAY BE A SUBSEQUENT DECLINE WITHIN THE TREE CANOPY. BRANCHES SHOULD ONLY BE REMOVED IF DIEBACK OCCURS.
  - WHERE LIMBS OR PORTIONS OF TREES ARE DAMAGED OR MUST BE REMOVED FROM CITY OWNED TREES TO ACCOMMODATE CONSTRUCTION WORK, CITY FORESTRY PERSONNEL, IN ACCORDANCE WITH ACCEPTED ARBORICULTURE PRACTICES, WILL REMOVE THE, MEASURES SHALL BE TAKEN TO PREVENT ANY FURTHER DAMAGE.
  - UNLESS AUTHORIZED, ALL INDIVIDUALS SHALL AVOID DISTURBING ORIGINAL GRADES AROUND TREES IN AREAS OF THE TREE PROTECTION ZONE. IN ADDITION, ROAD GRADES SHOULD MATCH TOPOGRAPHY AT THE CURB LINES TO MAXIMIZE TREE RETENTION IN BOULEVARD AND FRONT YARDS. IF GRADES AROUND PROTECTED TREES ARE LIKELY TO CHANGE, THE DEVELOPER AND THEIR AGENTS SHALL BE REQUIRED TO TAKE SUCH PRECAUTIONS AS DRY WELLING, RETAINING WALLS AND ROOT FEEDINGS TO THE SATISFACTION OF THE CITY.
  - NO CABLES, ROPES SHALL BE WRAPPED AROUND OR INSTALLED IN OR ON ANY TREE THAT IS TO REMAIN AFTER CONSTRUCTION. NOR SHALL IT HAVE SIGNS OR FENCES NAILED TO IT, OR SURVEY MARKINGS OR PAINT APPLIED TO IT.
  - ALL VEGETATION WITHIN THE TREE PROTECTION ZONE, INCLUDING TREES, SHRUBS, GRASSES ARE TO BE WATERED, AND MAINTAINED TO AN ACCEPTABLE LEVEL AS REQUIRED.
  - THE CITY SHALL BE NOTIFIED TO INSPECT ALL TREE PROTECTION ZONES. THESE MEASURES SHALL REMAIN IN EFFECT UNTIL THE COMPLETION OF THE WORK, AT WHICH TIME AUTHORIZATION FROM THE CITY MUST BE OBTAINED BEFORE REMOVAL.
  - THE CITY MUST BE NOTIFIED IMMEDIATELY WHEN ANY MUNICIPALLY OWNED TREE IS INJURED OR DESTROYED DURING CONSTRUCTION OR DEVELOPMENT.
  - ALL CONSTRUCTION WITHIN TREE PROTECTION FENCING IS TO BE HAND-WORKED (NO MACHINERY) IN ACCORDANCE WITH THE VEGETATION MANAGEMENT NOTATION PROVIDED WITH THE TEMPORARY FENCING DETAIL. CONSULT WITH A QUALIFIED ARBORIST PRIOR TO COMMENCEMENT OF WORKS WITHIN THE TREE ROOT PROTECTION ZONES.

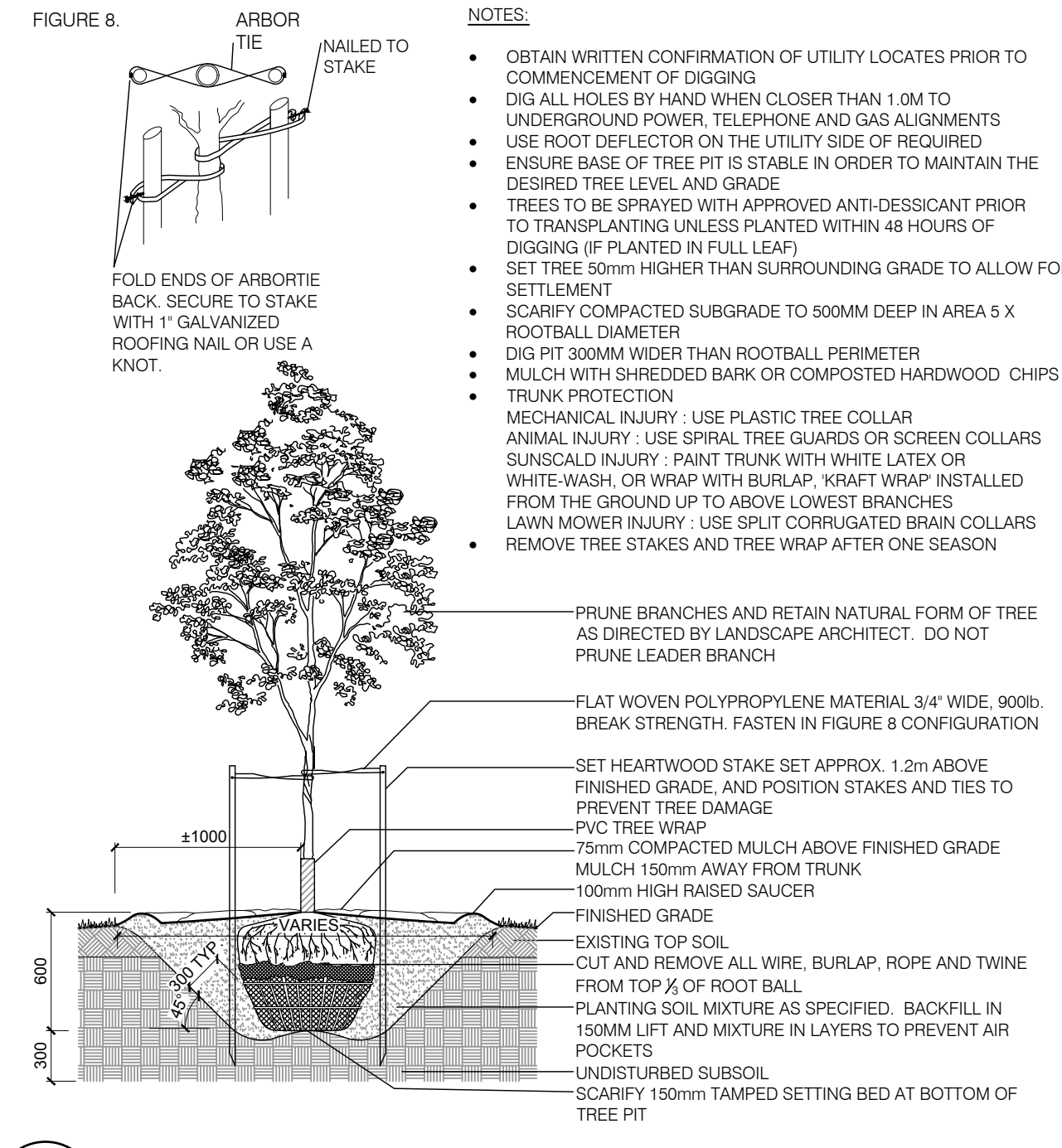
**1 TREE PRESERVATION FENCING**

LP2 N.T.S.



**5 EXISTING CHAINLINK FENCE RESTORE**

LP2 N.T.S.

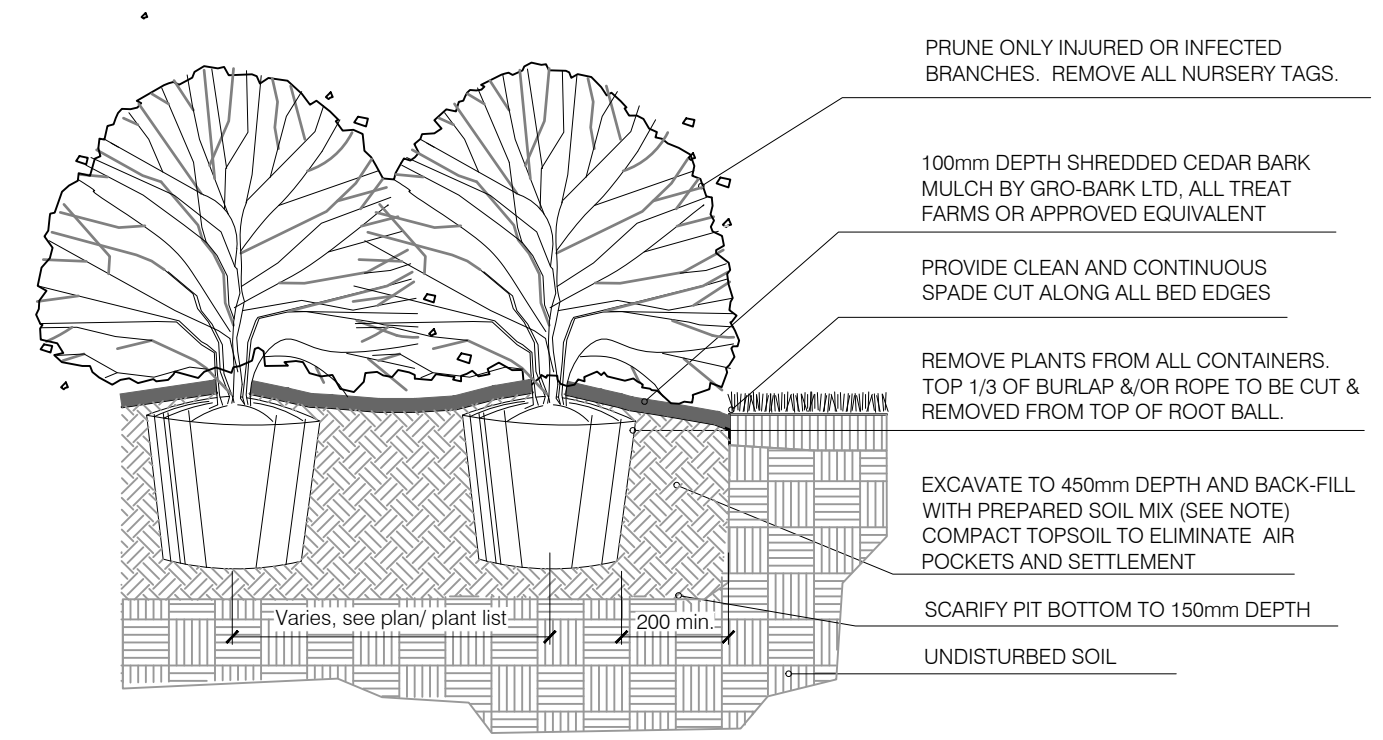


**2 PROPOSED BALLED & BURLAPPED/ WIRE BASKET DECIDUOUS TREE**

LP2 N.T.S.

- NOTES:**
- OBTAIN WRITTEN CONFIRMATION OF UTILITY LOCATES PRIOR TO COMMENCEMENT OF DIGGING
  - DIG ALL HOLES BY HAND WHEN CLOSER THAN 1.0M TO UNDERGROUND POWER, TELEPHONE AND GAS ALIGNMENTS
  - USE ROOT DEFLECTOR ON THE UTILITY SIDE OF REQUIRED
  - ENSURE BASE OF TREE PIT IS STABLE IN ORDER TO MAINTAIN THE DESIRED TREE LEVEL AND GRADE
  - TREES TO BE SPRAYED WITH APPROVED ANTI-DESSICANT PRIOR TO TRANSPLANTING UNLESS PLANTED WITHIN 48 HOURS OF DIGGING (IF PLANTED IN FULL LEAF)
  - SET TREE 50mm HIGHER THAN SURROUNDING GRADE TO ALLOW FOR SETTLEMENT
  - SCARIFY COMPACTED SUBGRADE TO 500MM DEEP IN AREA 5 X ROOTBALL DIAMETER
  - DIG PIT 300MM WIDER THAN ROOTBALL PERIMETER
  - MULCH WITH SHREDDED BARK OR COMPOSTED HARDWOOD CHIPS
  - TRUNK PROTECTION
  - MECHANICAL INJURY : USE PLASTIC TREE COLLAR
  - ANIMAL INJURY : USE SPIRAL TREE GUARDS OR SCREEN COLLARS
  - SUNSCALD INJURY : PAINT TRUNK WITH WHITE LATEX OR WHITE WASH, OR WRAP WITH BURLAP. WRAP WRAP INSTALLED FROM THE GROUND UP TO ABOVE LOWEST BRANCHES
  - LAWN MOWER INJURY : USE SPLIT CORRUGATED BRAM COLLARS
  - REMOVE TREE STAKES AND TREE WRAP AFTER ONE SEASON

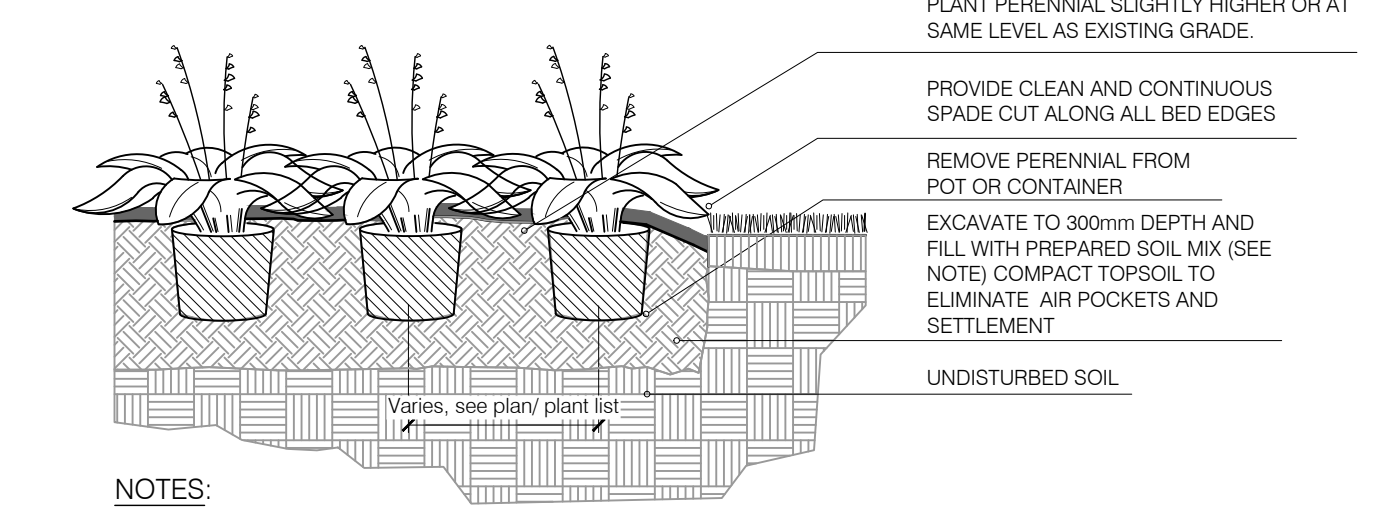
- PRUNE BRANCHES AND RETAIN NATURAL FORM OF TREE AS DIRECTED BY LANDSCAPE ARCHITECT. DO NOT PRUNE LEADER BRANCH
- FLAT WOVEN POLYPROPYLENE MATERIAL 3/4" WIDE, 900lb. BREAK STRENGTH. FASTEN IN FIGURE 8 CONFIGURATION
- SET HEARTWOOD STAKE SET APPROX. 1.2m ABOVE FINISHED GRADE, AND POSITION STAKES AND TIES TO PREVENT TREE DAMAGE
- PVC TREE WRAP
- 75mm COMPACTED MULCH ABOVE FINISHED GRADE
- MULCH 150mm AWAY FROM TRUNK
- 100mm HIGH RAISED SAUCER
- FINISHED GRADE
- EXISTING TOP SOIL
- CUT AND REMOVE ALL WIRE, BURLAP, ROPE AND TWINE FROM TOP 1/2 OF ROOT BALL
- PLANTING SOIL MIXTURE AS SPECIFIED. BACKFILL IN 150MM LIFT AND MIXTURE IN LAYERS TO PREVENT AIR POCKETS
- UNDISTURBED SUBSOIL
- SCARIFY 150mm TAMPED SETTING BED AT BOTTOM OF TREE PIT



- NOTES:**
- SOIL MIXTURE: FOUR (4) PARTS NATIVE SOIL, ONE (1) PART WELL ROTTED COMPOST.
  - SAUCER SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
  - ALL DIMENSIONS ARE IN mm.
  - IN POORLY DRAINED SOILS PLANT SHRUB SLIGHTLY HIGHER THAN ADJACENT GRADE.
  - ALL PLANTS TO BE STRAIGHT AND PLANTED VERTICALLY REGARDLESS OF SLOPE.

**3 BALLED AND BURLAPPED/POTTED SHRUB**

LP2 N.T.S.



- NOTES:**
- SOIL MIXTURE: FOUR (4) PARTS NATIVE SOIL, ONE (1) PART WELL ROTTED COMPOST.
  - SAUCER SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING PLANTING.
  - ALL DIMENSIONS ARE IN mm.
  - CUT AND REMOVE CONTAINER. SCARIFY ROOTBALL SIDES.
  - ALL PLANTS TO BE STRAIGHT AND PLANTED VERTICALLY REGARDLESS OF SLOPE.

CONTRACTOR SHALL PROVIDE 75mm MULCH FOR ALL PERENNIALS EXCEPT GROUNDCOVERS UNLESS SPECIFIED OTHERWISE.

**4 CONTAINER GROWN PERENNIAL/GRASS**

LP2 N.T.S.

#	DATE	BY	DESCRIPTION
3	2018-06-13	SW	THIRD LANDSCAPE SUBMISSION
2	2018-05-17	SW	SECOND LANDSCAPE SUBMISSION
1	2018-04-18	SW	FIRST LANDSCAPE SUBMISSION

**REVISIONS**

**APPROVALS**

APPROVED \_\_\_\_\_ DATE \_\_\_\_\_



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**FLEETWOOD**

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15574 FRASER HWY.  
SURREY, BC

**LANDSCAPE DETAILS**

DESIGNED BY:	SW	SCALE:	-
DRAWN BY:	SW	DRAWN PLAN #:	-
CHECKED BY:	TW	FILE NUMBER:	113438L
DATE:	2018-04-18	SHEET NUMBER:	LP2



INTER-OFFICE MEMO

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**TO: Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

**FROM: Development Services Manager, Engineering Department**

**DATE: June 25, 2018**                      **PROJECT FILE: 7817-0600-00**

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**RE: Engineering Requirements (Commercial/Industrial)  
Location: 15574 Fraser Hwy**

This application is for a Development Permit for renovations to an existing McDonald's restaurant, and a Development Variance Permit in order to increase the number of fascia signs from two (2) to six (6).

**DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT**

The following issues are to be addressed in support of the Development Permit and Development Variance Permit. The works can be secured through the associated Building Permit:

- Ensure existing letdowns (width and condition) meet City's current standards.
- Video inspect existing storm and sanitary service connections to ensure adequacy to City standards.
- Provide confirmation that existing shared access easement (E044-0027) with 15588 Fraser Highway is in good standing.
- Discharge existing Statutory Right-of-Way (SRW) along Fraser Highway and register new 5.5 m wide SRW for the purpose of public passage, at City's cost.



Rémi Dubé, P.Eng.  
Development Services Manager

AY