

City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7917-0597-00

Planning Report Date: July 23, 2018

**PROPOSAL:**

- **NCP Amendment** from Proposed Institutional and Existing Single Family to Townhouse (25 upa)
- **Rezoning** from RA and RH to RM-30
- **Development Permit**
- **Development Variance Permit**

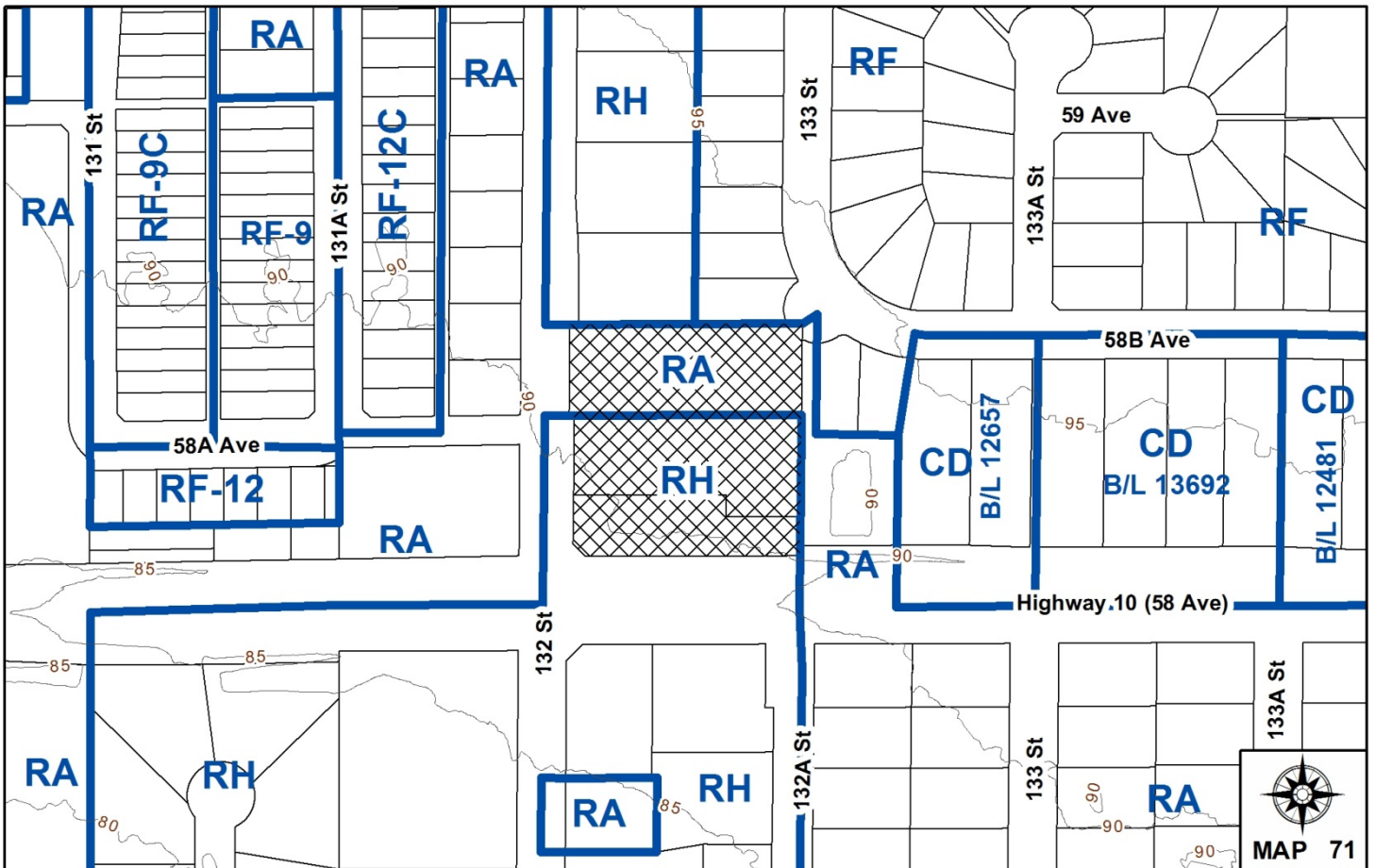
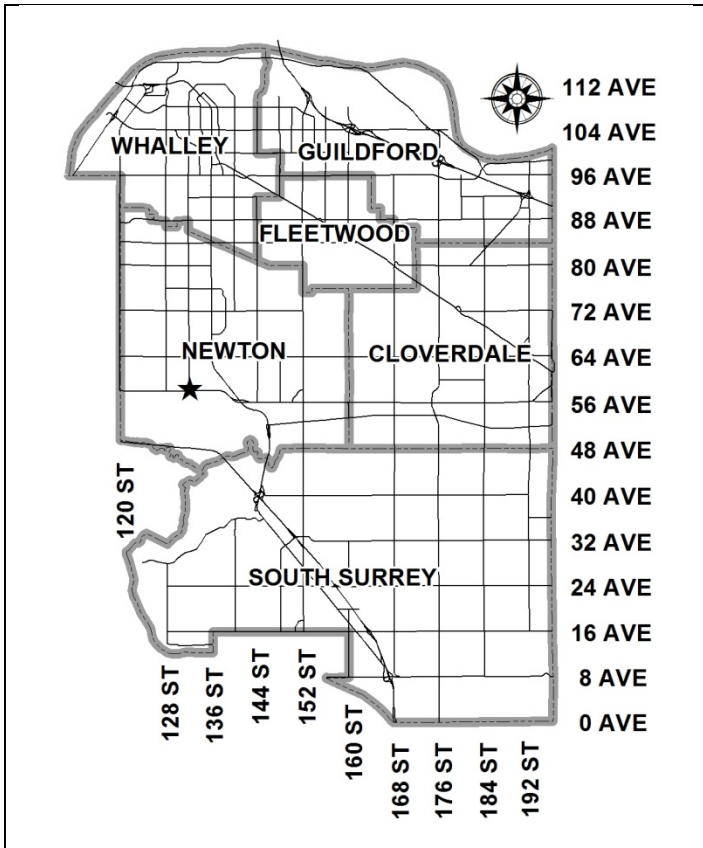
to permit the development of 39 townhouse units.

**LOCATION:** 5844 - 132 Street  
 5832 - 132 Street  
 5822 - 132 Street

**ZONING:** RA and RH

**OCP DESIGNATION:** Urban

**NCP DESIGNATION:** Proposed Institutional / Existing Single Family / Buffer/Greenways



### RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for Rezoning.
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

### DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Requires an amendment to the West Newton/Highway 10 NCP from "Proposed Institutional" and "Existing Single Family" to "Townhouses (25 upa)".
- Seeking variances to the setbacks of the "Multiple Residential 30 Zone (RM-30)".

### RATIONALE OF RECOMMENDATION

- The proposal complies with the OCP designation of Urban for the site.
- The applicants have demonstrated that an institutional use is not feasible at this location.
- The proposal incorporates elements to support aging-in-place by including units with a bedroom and bathroom on the ground floor level, which could be utilized in the care of an elderly family member.
- The proposal aligns with the City's Official Community Plan (OCP) policies for encouraging a diversity of housing forms within neighbourhoods in order to accommodate a wide range of households. The proposed housing form creates an opportunity for a more affordable housing option in the area.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council File By-law Nos. 18225, 18226, and 18227 and close Development Application No. 7913-0088-00.
2. A By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" and "Half-Acre Residential Zone (RH)" to "Multiple Residential 30 Zone (RM-30)" and a date be set for Public Hearing.
3. Council authorize staff to draft Development Permit No. 7917-0597-00, generally in accordance with the attached drawings (Appendix II).
4. Council approve Development Variance Permit No. 7917-597-00 (Appendix VII) varying the following, to proceed to Public Notification:
  - (a) to reduce the minimum rear yard setback (east) of the RM-30 Zone from 7.5 metres (25 ft.) to 7.1 metres (23 ft.) for Building 4, and 3.0 metres (10 ft.) for Building 5;
  - (b) to reduce the minimum side yard setback (south) of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.), and to 4.0 metres (13 ft.) for not more than 4.0 metres (13 ft.) of horizontal length along any exterior wall per dwelling unit, for Buildings 5 and 6;
  - (c) to reduce the minimum front yard setback (west) of the RM-30 Zone from 7.5 metres (25 ft.) to 5.2 metres (17 ft.) for Building 6, and 4.5 metres (15 ft.) for Building 7 and 8; and
  - (d) to reduce the minimum side yard setback (north) of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for Building 8.
5. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) approval from the Ministry of Transportation & Infrastructure;
  - (d) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (e) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (f) resolution of all urban design issues to the satisfaction of the Planning and Development Department;

- (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (h) submission of an acoustical report for the units adjacent to Highway 10 and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
  - (i) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture; and
  - (j) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department.
7. Council pass a resolution to amend the West Newton/Highway 10 NCP to redesignate the land from "Proposed Institutional" and "Existing Single Family" to "Townhouses (25 upa)" and to allow for a change in the road network when the project is considered for final adoption.

#### REFERRALS

Engineering:

The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District:

**Projected number of students from this development:**

10 students at North Ridge Elementary School  
5 students at Panorama Ridge Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Summer 2020.

Parks, Recreation & Culture:

Parks will accept the lands conveyed along Highway 10 as parkland, which is to be conveyed as a lot. Parks accepts the multi-use pathway layout thorough the conveyed park lot and the parkland to the west (71M – Detention Pond). The applicant is required to construct the multi-use pathway, as well as the connecting pathway and concrete bench landing within 71M Detention Pond and the conveyed parkland lot. All fencing adjacent to 71M Detention Pond is to be permeable, located on the private property line, and not higher than 1.2 metres (4 ft.) from grade.

Ministry of Transportation & Infrastructure (MOTI):

No direct access is permitted to Highway 10. All structures are to be located 4.5 metres (15 ft.) from the highway right-of-way. No storm drainage shall be directed into MOTI systems. Arterial Highway dedication along Highway 10 is required in order to align with the existing property line to the east. Existing noise wall along Highway 10 is to be removed and returned to MOTI. MOTI will accept a portion of the multi-use pathway within the Highway 10 right-of-way, provided a permit application with detailed drawings for the path is submitted to MOTI for approval.

Surrey Fire Department:

Access routes and travel distances comply with requirements of the British Columbia Building Code (BCBC). A Construction Fire Safety Plan is required for Building permit issuance. Fire hydrants to be installed in conformance with BCBC and Surrey By-laws. Visual notification devices, such a as a strobe light that is interconnected with the smoke alarm system, is recommended at the primary entrance of each unit,

**SITE CHARACTERISTICS**

Existing Land Use:

Vacant single family residential lots.

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North:	Single family dwellings.	Single Family	RH, RF

Direction	Existing Use	NCP Designation	Existing Zone
East:	Detention pond in parkland.	Buffer and Greenway and Pond Buffer	RA
South (Across Highway No. 10):	Single family dwellings.	Suburban (OCP)	RH
West (Across 132 Street):	Single family dwellings and vacant land with in-stream development application (File No. 7917-0503-00) seeking rezoning from RA to CD (based on C-5) to allow a commercial building.	Small Lots and Local Commercial and Buffer and Greenway	RA

## DEVELOPMENT CONSIDERATIONS

### Background

- The subject site is comprised of three (3) properties at 5822, 5832, 5844 – 132 Street located at the northeast corner of Highway No. 10 and 132 Street. The site is approximately 0.9 hectare (2.2 acres) in size.
- The site is designated Urban in the Official Community Plan (OCP) and Proposed Institutional and Greenway / Buffer and Single Family in the West Newton / Highway 10 Neighbourhood Concept Plan (NCP) and is zoned "One-Acre Residential Zone (RA)" and "Half-Acre Residential Zone (RH)".
- In 2013, the property owners proposed Development Application No. 7913-0088-00 in order to permit the development of a 125-bed residential care facility. This application included proposals for an OCP amendment from Suburban to Urban, discharge of Land Use Contract No. 519, rezoning from "One-Acre Residential Zone (RA)" and "Half-Acre Residential Zone (RH)" to "Comprehensive Development Zone (CD)" (based on RMS-1) and "Single Family Residential Zone (RF)", a Development Permit, and a Housing Agreement.
- At the Regular Council – Public Hearing on May 26, 2014, the associated By-laws for Development Application No. 7913-0088-00 were given Third Reading by Council but have not yet been adopted. In the intervening years, the OCP designation for the subject site was redesignated from Suburban to Urban through the OCP update under By-law No. 18020, which was adopted by Council on October 20, 2014, and LUC No. 519 was terminated from these properties under By-law No. 18764, which took effect on July 11, 2017.

- Since Third Reading, the applicants have decided to withdraw their proposal for a residential care facility in order to pursue a townhouse project with features that promote aging-in-place.
- Given that the OCP designation of the site has already been changed from Suburban to Urban, LUC No. 519 has been terminated, and the CD Zone for the residential care facility is no longer required, Development Application No. 7913-0088-00 can be closed and all associated By-laws be filed by Council in order to move forward with the subject proposal under Development Application No. 7917-0597-00.

### Proposal

- The applicant proposes the following in order to allow the development of 39 townhouse units:
  - An amendment to the West Newton/Highway 10 NCP designation from "Proposed Institutional" and "Existing Single Family" to "Townhouses (25 upa)";
  - Rezoning from "One-Acre Residential Zone (RA)" and "Half-Acre Residential Zone (RH)" to "Multiple Residential 30 Zone (RM-30)"; and a
  - Development Permit to allow the development of 39 townhouse units.
- A Development Variance Permit is also proposed as part of this application to reduce the setbacks of the RM-30 Zone (see By-law Variance section).
- The proposal comprises of a total floor area of 6,330 square metres (68,136 sq. ft.) representing a net floor area ratio of 0.91, which is below the maximum allowable floor area ratio of 1.00 in the RM-30 Zone.
- The proposed 39 units results in a unit density calculation of 56 units per hectare (23 upa), which is below the maximum 75 units per hectare (30 upa) allowed in the RM-30 Zone.
- A total of 86 parking spaces, 78 residential and eight (8) visitor spaces, are provided, which meets the parking rate for a ground-oriented, multiple residential use in the Zoning By-law.
- As part of the proposal, the applicant has agreed to dedicate an 11 metre (36 ft.) wide strip of land along the south property line adjacent to Highway No. 10 as parkland in order to establish a landscaped greenway with a multi-use pathway (MUP) as outlined in the West Newton/Highway 10 NCP. The MUP is proposed to run east-west through the dedication area and will be continued north-south on the neighbouring parkland to the east; providing a pedestrian and cycling connection from 133 Street and 58B Avenue to the intersection of 132 Street and Highway No. 10.

### PRE-NOTIFICATION

- Pre-notification letters were sent on January 15, 2018 to 79 property owners with properties within 100 metres (328 ft.) of the subject site, including the West Panorama Ridge Ratepayers Association and the Newton Community Association (WPRRA). Confirmation that a development proposal sign was installed on the site was received on June 20, 2018.

- Staff received three (3) correspondences, two (2) from neighbouring residents and one (1) from the West Panorama Ridge Ratepayers Association. A summary of the concerns are outlined below.
  - One resident expressed concerns about increased traffic along 132 Street as a result of the development. Specifically, that the traffic creates problems for accessing their lot from 132 Street and that the intersection at Highway 10 and 132 Street becomes very congested during high volume hours in the morning and evening.
  - The WPRRA commented that the density was too high and is not in keeping with the present or future desirable development of 132 Street north of Highway No. 10. They feel that the area has a lack of sufficient infrastructure for the increased density, specifically with regards to schools. Additionally, they perceive the current configuration of the intersection at 132 Street and Highway No. 10 as being a dangerous intersection that needs to be addressed prior to an application being considered at this location.

*(Transportation notes that the intersection at 132 Street and Highway 10 is not among the higher collision locations in the City and does not have a collision rate that would typically result in immediate action. Further to this, upgrades at this location are not in the City's 10-year servicing plans and any improvements would be subject to the Ministry of Transportation and Infrastructure's (MOTI) approval. However, they advised that, should the subject application and the application at the north-west corner of the intersection (Development Application No. 7917-0503-00) be considered and approved by Council, and sufficient road dedication is secured, staff will initiate discussion with MOTI for the potential improvements as requested by the public.*

*Summary of operating capacity, enrolment, and future plans in local schools is provided in Appendix IV.)*

#### PUBLIC INFORMATION MEETING

- On April 4, 2018, the applicant held a Public Information Meeting in order to obtain input from adjacent residents with regards to the proposed townhouse development. Notifications were delivered to 80 addresses within a 300 metre (984 ft.) radius of the development site. Based on the sign-in sheet, 14 residents attended the meeting and 13 residents provided feedback in the form of comment sheets. In addition to the comments received in response to the pre-notification letter and development proposal sign, the residents who attended the meeting provided the following comments:

##### Support (7 residents)

- The development provides a more affordable housing option in the area;
- The site plan and contemporary building design is desirable;
- The townhouse development is preferred over the previous care home proposal as there are no immediate amenities for seniors; and



- There are other care homes in the neighbourhood close to this site.

#### Opposition (6 residents)

- The development will lead to parking issues in the area and will further the on-going congestion on 132 Street;

*(Refer to response in the section above.)*

- The development will contribute to overcrowding in local schools;

*(Refer to response in the section above.)*

- Concern regarding tree retention and the types of trees that will be used for replacement;

*(The applicant has designed their site plan in order to retain a group of trees in the north-east and south-west corners of the site, and have included the retention of two trees in the centre of the development. The applicant is showing a mix of deciduous and coniferous trees as replacement trees in their landscape plans.)*

- The proposal is too dense for the area;

*(The portion of 132 Street between Highway 10 and 60 Avenue currently has single family dwellings on undersized RA and RH zoned lots. Under the West Newton/Highway 10 NCP, the lots along the west side of 132 Street are designated Small Lot (10 upa) and the lots along the east are designated Proposed Single Family (6 upa). The lot at the northwest corner of 132 Street and Highway 10 is designated Proposed Local Commercial and is under Development Application 7917-0503-00. When the lots along 132 Street ultimately redevelop, the proposal under the subject application will be consistent with having townhouses interfacing smaller single family lots and commercial uses elsewhere in the NCP area.*

*Staff notes that the proposed townhouse development does not access 133 Street and 58B Avenue to the north-east of the site, which minimizes the impacts increased density will have on traffic in this single family residential neighbourhood.)*

- Institutional would be more appropriate for the context; and

*(The property owners previously pursued a care home facility under Development Application No. 13-0088-00, which proved to not be feasible at this location.)*

- The application does not include innovative elements that lend support to the environmental and development sustainability of the City.

#### JUSTIFICATION FOR PLAN AMENDMENT

- The property owners, through Development Application No. 7913-0088-00, proposed a 125-bed residential care home development which aligned with the existing NCP designation of Proposed Institutional.

- After receiving third reading on May 26, 2014, the property owner advised that they were not able to secure funding from Fraser Health Authority for the project. Following this, the property owners engaged in discussions with other care home operators to seek joint ventures and undertook market research to determine if there were alternatives that could be pursued to make the project feasible. It was ultimately determined that the project as proposed was not feasible due to the location, market conditions, and lack of support from the provincial government.
- In response to the above noted market limitations, the applicants sought to propose an independent living facility for seniors at this location. Through discussions between staff and the applicant, it was determined that the required density and proposed use was not appropriate for this location and would be better suited in a town centre area.
- The property owners have now come forward with a proposal to amend the NCP in order to develop townhouses. Given the above noted efforts on behalf of the property owners to develop a care facility, it is reasonable to conclude that the subject property is not well suited for an institutional use as designed by the West Newton/Highway 10 Neighbourhood Concept Plan (NCP).
- The proposed development includes units that support aging-in-place by locating a bedroom and bathroom on the ground floor of the building, which could be utilized in the care of an elderly family member. These bedroom spaces have direct access to the outdoor-living area for each strata unit.
- The proposal aligns with the City's Official Community Plan (OCP) policies for encouraging a diversity of housing forms within neighbourhoods in order to accommodate a wide range of households. The proposed housing form creates an opportunity for a more affordable housing option in the area.

#### DESIGN PROPOSAL AND REVIEW

- The proposal consists of 39 three-storey townhouse units contained within eight (8) buildings. The units comprise a mix of 18 three-bedroom units with a flex room and 21 four-bedroom units (one bedroom and bathroom located on the ground floor). Each unit is provided a roof-top patio space. The proposal also includes an indoor amenity area, outdoor amenity area in a grove of trees in the north-east corner of the site, and parkland along the southern portion of the site, which will be conveyed to the City.
- Individual entries are provided for each unit. For those buildings along the perimeter of the site, each unit's front door is oriented towards a road or the multi-use pathway. This orientation provides for a continuation of the streetscape along 132 Street and adheres to the Crime Prevention Through Environmental Design (CPTED) principles of providing eyes on the street and other public spaces.
- All units provide two (2) spaces for residents in double garage parking arrangement. No tandem parking is proposed.
- The number of units per building range from two (2) to six (6).

- The primary building material is hardie panel siding in blue (boothbay blue), tan (sail cloth), grey (light mist), with longboard wood siding in light cherry as an accent material. The building face and roof-line are articulated to minimize the building massing.

### Landscaping

- Landscaping is provided along all property lines, with a large grove of trees to be retained in the northeast and southwest corner of the site. Additionally, there are two trees to be retained in the middle of the site. Enhanced landscaping is also proposed for the portion of the site that will be conveyed to the City as parkland.
- The proposed landscaping includes a variety of plants, including, but not limited to, paperbark maple, Japanese maple, katsura tree, pink flowering dogwood, Austrian black pine, azalea, and meidiland rose.
- A multi-use pathway is proposed to run east-west through the parkland dedication area and north-south on the neighbouring parkland to the east. The multi-use pathway can be accessed directly from a number of units in Buildings 5 and 6, which have individual pathways on each strata lot, or by common paths between Buildings 4 and 5, and Buildings 5 and 6. Landscaping will be provided in the park area around the multi-use pathway.

### Vehicular Access & Parking

- Access to the subject site will be provided from 132 Street by a new lane segment along the north boundary of the site. The lane will be extended northwards upon redevelopment of the residential lots to the north. No other vehicle access is provided to this development.
- Road dedication will be provided along 132 Street, which will contribute to road widening and upgrades along this arterial.
- The applicant is proposing to provide 78 resident parking spaces and eight (8) visitor parking spaces, which meets the parking requirements of the Zoning By-law.

### Amenity Space

- The applicant is proposing 131 square metres (1419 sq. ft.) of indoor amenity space in a two (2) storey amenity building. This amenity area exceeds the Zoning By-law requirement of 116 square metres (1,248 sq. ft.) for a 39 unit townhouse development. The amenity building is located in the south-east corner of the site in Building 5 and overlooks the neighbouring park lot to the east.
- The applicant is proposing 116 square metres (1249 sq. ft.) of outdoor amenity space in the north-east corner of the site, which meets the Zoning By-law requirement.
- The applicant has advised they intend on programming the indoor amenity building with a gym and lounge area, and the outdoor amenity area with a barbeque area, bench seating and a children's play space.

TREES

- Peter Mennel, ISA Certified Arborist of Mike Fadum and Associates Ltd., prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Deciduous Trees</b>			
Laurel, Cherry	1	1	0
Maple, Japanese	1	1	0
Willow, Sitka	1	1	0
<b>Coniferous Trees</b>			
Spruce, Colorado Blue	1	1	0
Douglas Fir	49	36	13
Cedar, Western Red	29	19	10
Flasecypress	1	0	1
<b>Total</b>	<b>83</b>	<b>59</b>	<b>24</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>66</b>	
<b>Total Retained and Replacement Trees</b>		<b>90</b>	
<b>Contribution to the Green City Fund</b>		<b>\$20,800</b>	

- The Arborist Assessment states that there are a total of 83 protected trees on the site. It was determined that 24 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 118 replacement trees on the site. Since only 66 replacement trees can be accommodated on the site, the deficit of 52 replacement trees will require a cash-in-lieu payment of \$20,800, representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.
- The new trees on the site will consist of a variety of trees including paperbark maple, Japanese maple, katsura tree, pink flowering dogwood, Austrian black pine.
- In summary, a total of 90 trees are proposed to be retained or replaced on the site with a contribution of \$20,800 to the Green City Fund.

**SUSTAINABLE DEVELOPMENT CHECKLIST**

The applicant prepared and submitted a sustainable development checklist for the subject site on December 7, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

<b>Sustainability Criteria</b>	<b>Sustainable Development Features Summary</b>
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> <li>The proposed development is on a site that is designated Urban in the OCP.</li> </ul>
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> <li>The West Newton/Highway 10 NCP does not specify a unit density or FAR for this location, as the site is designated Proposed Institutional. However, the unit density of 56 uph (23 upa) and 0.91 FAR align with other townhouse developments approved elsewhere in the NCP area.</li> <li>The development contains a mix of three- and four-bedroom units.</li> </ul>
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> <li>The development provides absorbent soils with a depth greater than 300 millimeters.</li> <li>The application protects 24 trees in three focused areas in north-east and south-west corners of the site, and directly in the middle of the development.</li> <li>Recycling and organic waste pickup will be available.</li> </ul>
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> <li>Approximately 289 metres of multi-use pathway and sidewalks are proposed per hectare of the site.</li> <li>Connections to the multi-use pathway are provided in multiple locations on the site.</li> </ul>
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> <li>Landscape plants and materials have been selected to maintain open sight lines to doorways, the multi-use pathway, and park lots.</li> <li>All parking and pedestrian areas will be well lit with street lighting and wall lights provided along all building faces.</li> <li>The development includes units that support aging-in-place by locating a bedroom and bathroom on the ground floor of the building.</li> </ul>
6. Green Certification (F1)	<ul style="list-style-type: none"> <li>Not provided.</li> </ul>
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> <li>Not provided.</li> </ul>

**BY-LAW VARIANCE AND JUSTIFICATION**

## (a) Requested Variance:

- Reduce the minimum rear yard setback (east) of the RM-30 Zone from 7.5 metres (25 ft.) to 7.1 metres (23 ft.) for Building 4, and 3.0 metres (10 ft.) for Building 5;
- Reduce the minimum side yard setback (south) of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.), and to 4.0 metres (13 ft.) for not more than 4.0 metres

- (13 ft.) of horizontal length along any exterior wall per dwelling unit, for Buildings 5 and 6;
- Reduce the minimum front yard setback (west) of the RM-30 Zone from 7.5 metres (25 ft.) to 5.2 metres (17 ft.) for Building 6, and 4.5 metres (15 ft.) for Buildings 7 and 8; and
  - Reduce the minimum side yard setback (north) of the RM-30 Zone from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for Building 8.

Applicant's Reasons:

- The proposed setback variances maximize the development potential of the site given site constraints resulting from efforts to retain groups of trees in the north-east corner, south-west corner, and centre of the site.
- Increased setbacks would result in reduction of units, which would reduce the efficiency of the project.

Staff Comments:

- The proposed setbacks are appropriate given site constraints resulting from road dedication, parkland dedication, and efforts to retain trees.
- The proposed setback reductions from the north, south, and west property lines of the site are adjacent to a new lane, parkland dedication, and 132 Street, respectively, and will have minimal impact on adjacent properties.
- The proposed setback reduction of 7.1 metres (23 ft.) from the east property line for Building 4 is primarily required at the south-end of the building. This portion of the building interfaces with the multi-use pathway and park lot located south of the neighbouring single family residential lot. Due to the angle of Building 4, the setback from the east property line increases to over 8 metres (26 ft.) at the northern portion of the building in order to accommodate tree retention in the north-east corner of the site.
- The proposed setback reduction of 3 metres (10 ft.) from the east property line is to accommodate the side yard of Building 5. This setback interfaces with the multi-use pathway and the park lot and will have minimal impact on the adjacent properties.
- Staff support the proposed variances to proceed to Public Notification.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary (Confidential) and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	NCP Plan
Appendix VII.	Development Variance Permit No. 7917-0597-00

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by DF Architecture dated June 4, 2018.

*original signed by Ron Hintsche*

Jean Lamontagne  
General Manager  
Planning and Development

ARR/cm

APPENDIX I HAS BEEN  
REMOVED AS IT CONTAINS  
CONFIDENTIAL INFORMATION



- (f) Proceed with Public Notification for Development Variance Permit No. 7917-0597-00 and bring the Development Variance Permit forward for an indication of support by Council. If supported, the Development Variance Permit will be brought forward for issuance and execution by the Mayor and City Clerk in conjunction with the final adoption of the associated Rezoning By-law.

## DEVELOPMENT DATA SHEET

Proposed Zoning: RM-30

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		9,000 sq. metres
Road Widening area		2,004 sq. metres
Undevelopable area		
Net Total		6,997 sq. metres
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	45%	39.5%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS ( in metres)		
Front (W)	7.5 metres	5.2 metres / 4.5 metres
Rear (E)	7.5 metres	7.1 metres / 3 metres
Side #1 (N)	7.5 metres	4.5 metres
Side #2 (S)	7.5 metres	4.5 metres
BUILDING HEIGHT (in metres/storeys)		
Principal	13 metres	11.7 metres / 3 storeys
Indoor Amenity	11 metres	5.8 metres / 2 storeys
NUMBER OF RESIDENTIAL UNITS		
Bachelor		-
One Bed		-
Two Bedroom		-
Three Bedroom +		39
Total		39
FLOOR AREA: Residential	6997 sq. metres	6,330 sq. metres
FLOOR AREA: Commercial		
Retail		
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
<b>DENSITY</b>		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	75 uph (30 upa)	56 uph (23 upa)
FAR (gross)		
FAR (net)	1.0	0.91
<b>AMENITY SPACE (area in square metres)</b>		
Indoor	116 sq. metres	132 sq. metres
Outdoor	116 sq. metres	116 sq. metres
<b>PARKING (number of stalls)</b>		
Commercial		
Industrial		
Residential Bachelor + 1 Bedroom		
2-Bed		
3-Bed	78	78
Residential Visitors	8	8
Institutional		
Total Number of Parking Spaces	86	86
Number of accessible stalls		
Number of small cars		
Tandem Parking Spaces: Number / % of Total Number of Units	50%	0%
Size of Tandem Parking Spaces width/length	-	-

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

# PROPOSED RESIDENTIAL DEVELOPMENT

5844, 5832, 5822 - 132nd STREET, SURREY, BRITISH COLUMBIA

NOTES:

Appendix II

## PROJECT INFO

LEGAL DESCRIPTION:  
 LOT 4 BLOCK 5N SECTION 35 RANGE 1W PLAN 10458 NWD  
 EXCEPT PLAN BCP37723 & EXCEPT NORTH 220  
 LOT 5 BLOCK 5 SECTION 35 RANGE 1 PLAN 10458 NWD  
 PART E 1/2, EXCEPT PLAN N 220, ROAD BCP46989

CIVIC ADDRESS:  
 5844 / 5832 / 5822 - 132 STREET  
 SURREY, BC

### ZONING INFORMATION:

ZONE:

EXISTING: RF  
 PROPOSED: CD BASED ON RM-30 WITH DEVELOPMENT VARIANCE PERMIT FOR SETBACKS

LOT AREA:  
 GROSS SITE AREA = 96,884.29 SFT (9,000.55 SMT)  
 DEDICATIONS = 21,569.34 SFT  
 NET SITE AREA = 75,314.95 SFT (6,996.76 SMT) = 1.73 Ac.

## PROJECT DIRECTORY

CLIENT:  
**METROVAN CUSTOM HOMES**  
 1205 - 22091 FRASERWOOD WAY,  
 RICHMOND, BC  
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 Bjohal@metrovancustomhomes.com

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 CONTACT: JESSIE ARORA  
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 jessie@dfarchitecture.ca info@dfarchitecture.ca

SURVEYOR:  
**J.C. Tam and Associates**  
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 Richmond, B.C.  
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 office@jctam.com

LANDSCAPE ARCHITECT:  
**PMG LANDSCAPE ARCHITECTS**  
 C100 - 4185 STILL CREEK DRIVE  
 BURNABY, BC, V5C 6G9  
 CONTACT: Mary Chan Yip  
 T 604 294 0011  
 office@pmglandscape.com

CIVIL:  
**HUB ENGINEERING INC.**  
 #212, 12992 - 76 AVE  
 Surrey, BC  
 CONTACT: MIKE KOMPTER  
 T 604-572-4328  
 mail@hub-inc.com

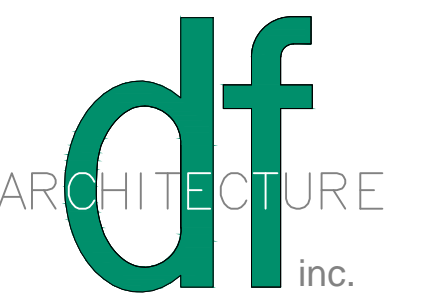
ARBORIST:  
**MIKE FADUM AND ASSOCIATES LTD.**  
 #105, 8277-129 STREET  
 SURREY, BC  
 CONTACT: MIKE FADUM  
 T 778-593-0300  
 office@fadum.ca

## ARCHITECTURAL

A-001	COVER PAGE
A-002	PROJECT DATA
A-003	BASE PLAN
A-004	LOT DETAILS
A-005	SURVEY
A-101	SITE PLAN
A-102-105	PART PLANS - SITE PLAN
A-201 TO 211	BUILDING FLOOR PLANS
A-301 TO 310	UNIT FLOOR PLAN
A-401 TO 407	RENDERINGS
A-410 TO 415	ELEVATIONS
A-501	SECTIONS



REVISION	DATE	DESCRIPTION
H		
G		
F	2018 / 06 / 04	REVISIONS AS PER CITY COMMENTS
E	2018 / 02 / 13	REVISIONS AS PER DRG COMMENTS
D	2017 / 12 / 07	REZONING & DP APPLICATION
C	2017 / 01 / 04	REVISED AS PER CITY COMMENTS
B	2016 / 08 / 29	PRELIMINARY SITE LAYOUT
A	2016 / 08 / 10	PRELIMINARY SITE LAYOUT



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PROJECT:  
**39 UNIT TOWNHOUSE DEVELOPMENT**  
**5844 / 5832 / 5822 - 132 STREET,**  
**SURREY, B.C.**

CLIENT:

**METROVAN CUSTOM HOMES**  
**1205 - 22091 FRASERWOOD WAY,**  
**RICHMOND, BC**

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COVER PAGE

DRAWING NO.:	
A-001	F

## PROJECT DATA

<b>CIVIC ADDRESS :</b>	5844 / 5832 / 5822 - 132 STREET, SURREY, BC		
<b>LEGAL DESCRIPTION :</b>	LOT 7 SECTION 8 TOWNSHIP 2 PLAN NWP17675 NWD, LOT 74 SECTION 8 TOWNSHIP 2 PLAN NWP57690 NWD PART SE 1/4, LOT 75 SECTION 8 TOWNSHIP 2 PLAN NWP57690 NWD PART SE 1/4, EXCEPT PLAN PART DEDICATED ROAD ON PLAN BCP24156.		
<b>LOT INFO</b>			
TOTAL LOT AREA	22033.72 + 41075.08	96884.3 SQFT	9000.8 SQM
<b>DEDICATIONS</b>			
		21569.3 SQFT	2003.9 SQM
<b>NET AREA</b>		<b>75315.0 SQFT</b>	<b>6997.0 SQM</b>

<b>ZONING</b>	
EXISTING	RF
PROPOSED	CD based RM-30 with DVP for setbacks WEST NEWTON / HWY 10
NCP	URBAN
OCP	

<b>SETBACKS</b>		
NORTH (FROM LANE)	14.76'	4.50 M
SOUTH (FROM HWY-10)	14.82'	4.52 M
EAST (BUILDING-4)	23.65'	7.21 M
EAST (BUILDING-5 SIDE YARD)	9.94'	3.03 M
WEST (BUILDING-6 SIDE YARD FROM 132 ST)	17.32'	5.28 M
WEST (BLDG-7 & 8 FROM 132 ST)	14.76'	4.50 M

<b>HEIGHT</b>		
ALLOWABLE	43.00'	17.60 M
PROPOSED	38.20'	11.65 M

<b>UPH</b>		
ALLOWED		75 UPH
PROPOSED	39 DU / 0.70 ha	55.71 UPH

<b>SITE COVERAGE</b>		
ALLOWED		45.0%
PROPOSED	29,764.32 SFT / 75,314.95 SFT	39.5%

## AMENITY CALCULATION

INDOOR AMENITY	NO. OF UNITS	AREA PER UNIT	AREA
REQUIRED	39	32	1248.0 SQFT
PROVIDED			
FIRST FLOOR LEVEL			554.1 SQFT
SECOND FLOOR LEVEL			865.3 SQFT
<b>TOTAL</b>			<b>1419.4 SQFT</b>

OUTDOOR AMENITY	NO. OF UNITS	AREA PER UNIT	AREA
REQUIRED	39	32	1248.0 SQFT
PROVIDED			<b>2245.0 SQFT</b>

## OFF STREET PARKING

	NO. OF UNITS	CARS PER DWELLING	NO. OF CARS	SAY
RESIDENTIAL REQUIRED	39	2	78	78
PROVIDED (INCLUDES 78 PARALLEL (100%) CAR SPACES)				78
VISITORS CAR PARK	39	0.2	7.8	8
<b>TOTAL NO. OF PARKING REQUIRED</b>				<b>86</b>
<b>NO. OF PARKING PROVIDED</b>				<b>86</b>

## FAR CALCULATION

GROSS FLOOR AREA (EXCLUDING PARKING & INDOOR AMENITY)									
UNIT TYPE	GARAGE	LVL 1	LVL 2	LVL 3	ROOF	TOTAL	NO. OF UNITS	TOTAL FAR	
TYPE '1'	409.76 Sq.Ft.	202.83 Sq.Ft.	612.59 Sq.Ft.	609.09 Sq.Ft.	651.91 Sq.Ft.	87.89 Sq.Ft.	1,551.72 Sq.Ft.	9	<b>13,965.48 Sq.Ft.</b>
TYPE '1-END'	409.76 Sq.Ft.	202.83 Sq.Ft.	612.59 Sq.Ft.	648.42 Sq.Ft.	737.86 Sq.Ft.	87.89 Sq.Ft.	1,677.00 Sq.Ft.	9	<b>15,093.00 Sq.Ft.</b>
TYPE '2'	409.57 Sq.Ft.	261.53 Sq.Ft.	671.10 Sq.Ft.	640.78 Sq.Ft.	710.48 Sq.Ft.	87.89 Sq.Ft.	1,700.68 Sq.Ft.	3	<b>5,102.04 Sq.Ft.</b>
TYPE '2-END'	408.57 Sq.Ft.	267.92 Sq.Ft.	676.49 Sq.Ft.	713.62 Sq.Ft.	808.61 Sq.Ft.	87.89 Sq.Ft.	1,878.04 Sq.Ft.	6	<b>11,268.24 Sq.Ft.</b>
TYPE '3'	458.22 Sq.Ft.	292.60 Sq.Ft.	750.82 Sq.Ft.	727.79 Sq.Ft.	784.00 Sq.Ft.	87.89 Sq.Ft.	1,892.28 Sq.Ft.	12	<b>22,707.36 Sq.Ft.</b>
								<b>39</b>	<b>68,136.12 Sq.Ft.</b>

**FAR PROPOSED (NET) : 68136.12 SFT / 75,314.95 SFT 0.9**

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	H		
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2016 / 08 / 10	A		PRELIMINARY SITE LAYOUT



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PROJECT:  
**39 UNIT TOWNHOUSE DEVELOPMENT  
5844 / 5832 / 5822 - 132 STREET,  
SURREY, B.C.**

CLIENT:

**METROVAN CUSTOM HOMES  
1205 - 22091 FRASERWOOD WAY,  
RICHMOND, BC**

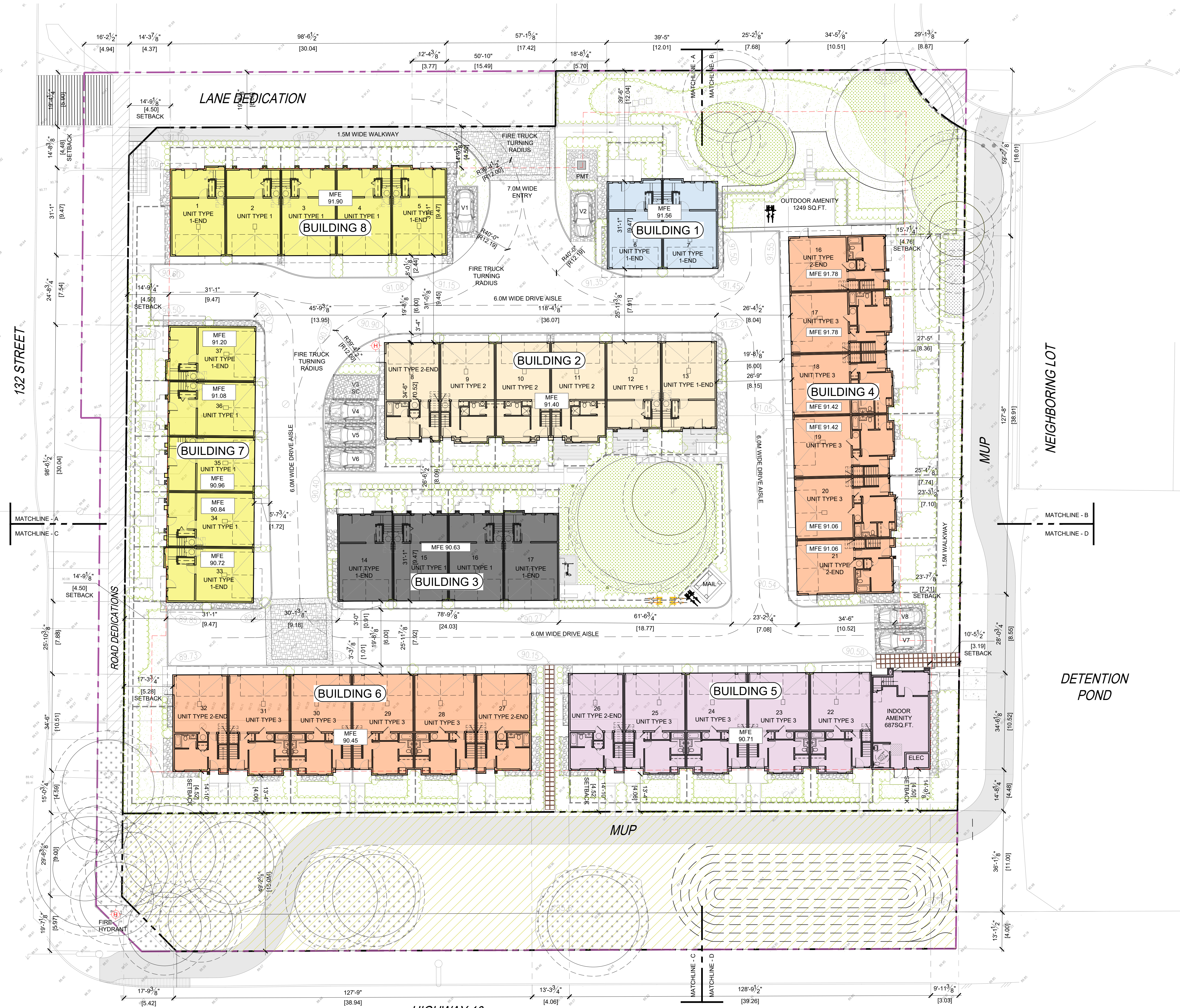
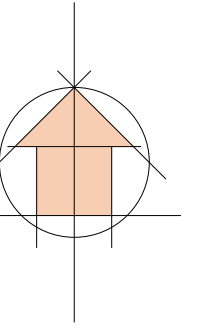
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PROJECT DATA

DRAWING NO.:	F
<b>A-002</b>	

NOTES:



REVISION	DATE	BY	DESCRIPTION
2018/07/16	G		REVISIONS AS PER CITY COMMENTS
2018/06/04	F		REVISIONS AS PER CITY COMMENTS
2018/02/13	E		REVISIONS AS PER DRG COMMENTS
2017/12/07	D		REZONING & S/P APPLICATION
2017/01/04	C		REVISIONS AS PER CITY COMMENTS
2016/08/29	B		PRELIMINARY SITE LAYOUT
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PROJECT: **39 UNIT TOWNHOUSE DEVELOPMENT**  
**5844 / 5832 / 5822 - 132 STREET,**  
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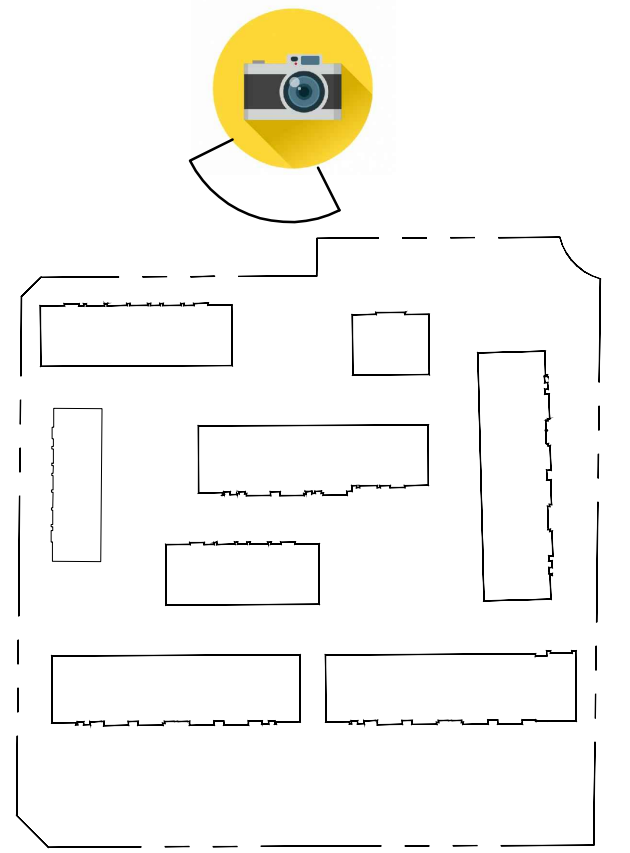
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SITE PLAN



NOTES:



KEY PLAN

REVISION	DATE	DESCRIPTION
H		
G		
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PROJECT:  
**39 UNIT TOWNHOUSE DEVELOPMENT**  
**5844 / 5832 / 5822 - 132 STREET,**  
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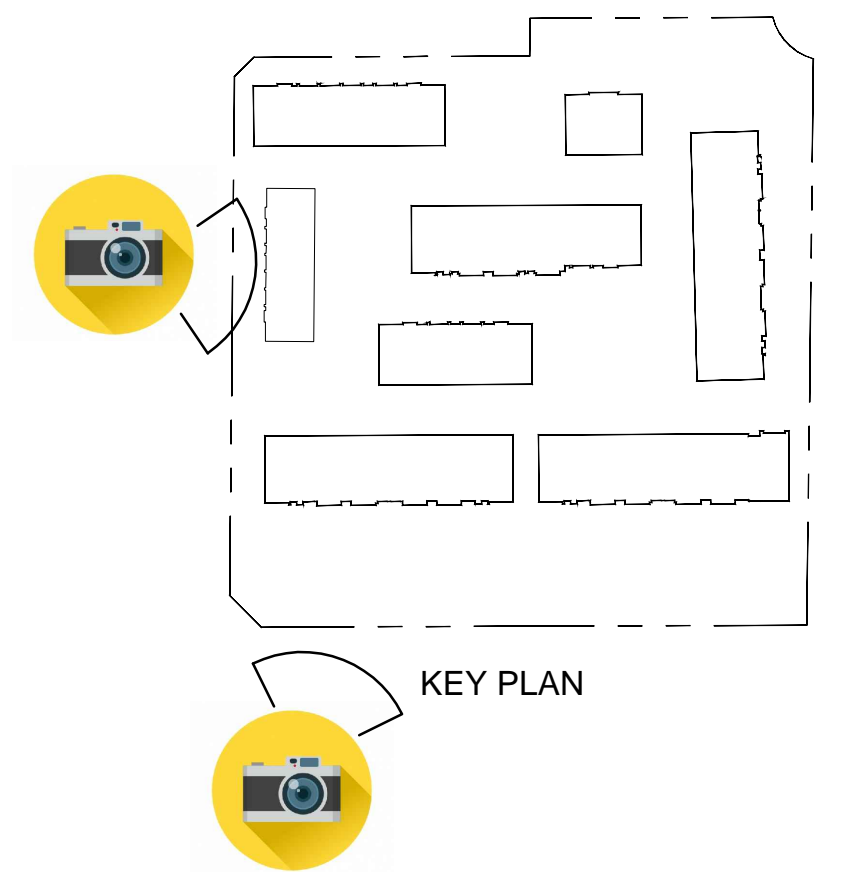
RENDERINGS

1 RENDERING 1 - TOWARDS BUILDING 8 FROM MAIN ENTRY

DRAWING NO.:	
<b>A-401</b>	<b>F</b>



2 RENDERING 2 - FROM HWY-10 AND CORNER



REVISION	DATE	DESCRIPTION
H		
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3 RENDERING 3 - PATIO B/W BUILDING 2 & 3



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 5844 / 5832 / 5822 - 132 STREET,  
 SURREY, B.C.**

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RENDERINGS

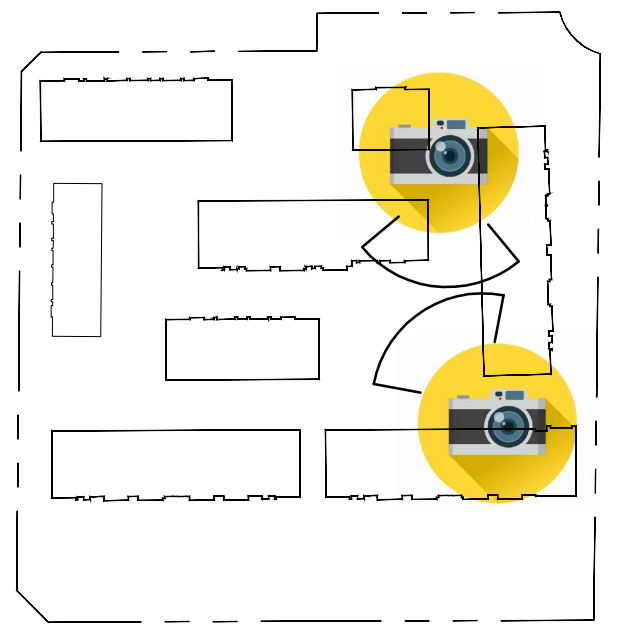
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4 RENDERING 4 - TOWARDS 3 & 2

NOTES:



KEY PLAN

REVISION	DATE	DESCRIPTION
H		
G		
F	2018 / 06 / 04	REVISIONS AS PER CITY COMMENTS
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D	2017 / 12 / 07	REZONING & DP APPLICATION
C	2017 / 01 / 04	REVISED AS PER CITY COMMENTS
B	2016 / 08 / 29	PRELIMINARY SITE LAYOUT
A	2016 / 08 / 10	PRELIMINARY SITE LAYOUT



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PROJECT:  
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**5844 / 5832 / 5822 - 132 STREET,**  
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RENDERINGS

DRAWING NO.:	
<b>A-403</b>	<b>F</b>



5 RENDERING 5- TOWARDS BUILDING 5



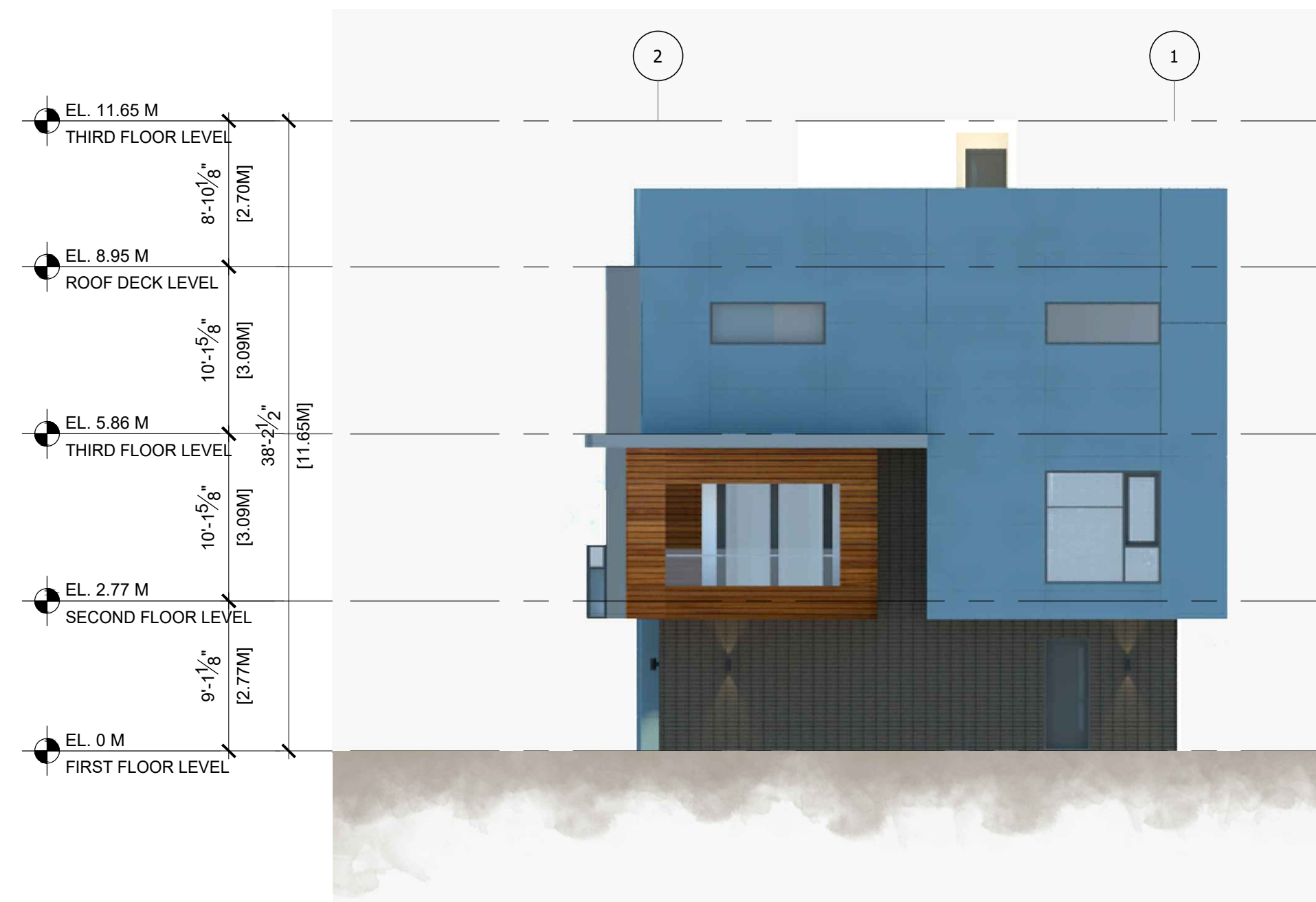
**1** BUILDING 1 - NORTH ELEVATION  
SCALE 1/8" = 1'-0"



**2** BUILDING 1 - EAST ELEVATION  
SCALE 1/8" = 1'-0"



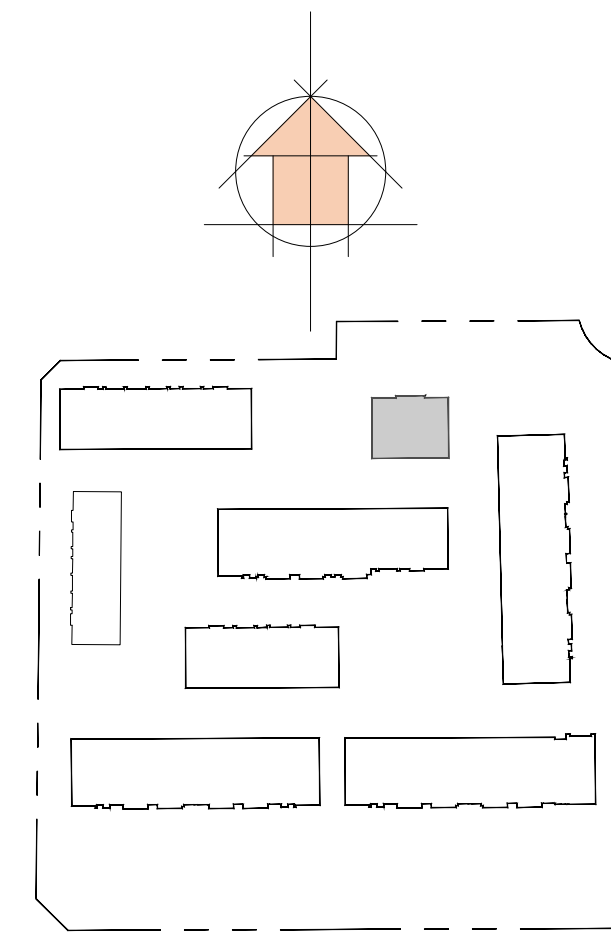
**3** BUILDING 1 - SOUTH ELEVATION  
SCALE 1/8" = 1'-0"



**4** BUILDING 1 - WEST ELEVATION  
SCALE 1/8" = 1'-0"

- SCHEDULE OF FINISHES
- SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE HEATHERED MOSS
  - SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE BOOTHBAY BLUE
  - SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE SAIL CLOTH
  - SHIPLAP SMOOTH FINISH HARDIE PANEL SIDING COLOR : HARDIE LIGHT MIST
  - SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE NIGHT GRAY
  - SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE TIMBER BARK
  - ENDICOTT THIN BRICK SIZE : 2-5/8" X 9-5/8" COLOR : EXECUTIVE IRONSPOT
  - PAINTED VINYL WINDOWS COLOR TO MATCH BENJAMIN MOORE PEARL GREY
  - CURTAIN WALL SYSTEM - SPANDREL GLASS WITH OPACI COATING (COLOR TO MATCH HARDIE BOOTHBAY BLUES)
  - SOLID CORE WOOD DOORS PAINTED TO MATCH COLOR TO MATCH BENJAMIN MOORE PEARL GREY
  - POWDER COATED (COLOR TO MATCH BENJAMIN MOORE PEARL GREY) ALUMINUM RAILING WITH SAFETY GLASS COLOR - TO MATCH HARDIE HEATHERED MOSS
  - POWDER COATED (COLOR TO MATCH BENJAMIN MOORE PEARL GREY) ALUMINUM RAILING WITH SAFETY GLASS COLOR - TO MATCH HARDIE BOOTHBAY BLUE
  - 6" LONGBOARD WOOD GRAINS CHANNEL SIDING/ FLASHING OR EQUIVALENT COLOR : LIGHT CHERRY
  - POWDER COATED ALUMINUM RAILING WITH CLEAR SAFETY GLASS
  - SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR TO MATCH BENJAMIN MOORE CITRUS ORANGE 2016-20

NOTES:



KEY PLAN

NO.	DATE	REVISION	DESCRIPTION
2016 / 08 / 10	A		PRELIMINARY SITE LAYOUT
2016 / 08 / 29	B		PRELIMINARY SITE LAYOUT
2017 / 01 / 04	C		REVISED AS PER CITY COMMENTS
2017 / 12 / 07	D		REZONING & DP APPLICATION
2018 / 02 / 13	E		REVISIONS AS PER DRG COMMENTS
2018 / 06 / 04	F		REVISIONS AS PER CITY COMMENTS



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PROJECT:  
**39 UNIT TOWNHOUSE DEVELOPMENT**  
5844 / 5832 / 5822 - 132 STREET,  
SURREY, B.C.

CLIENT:

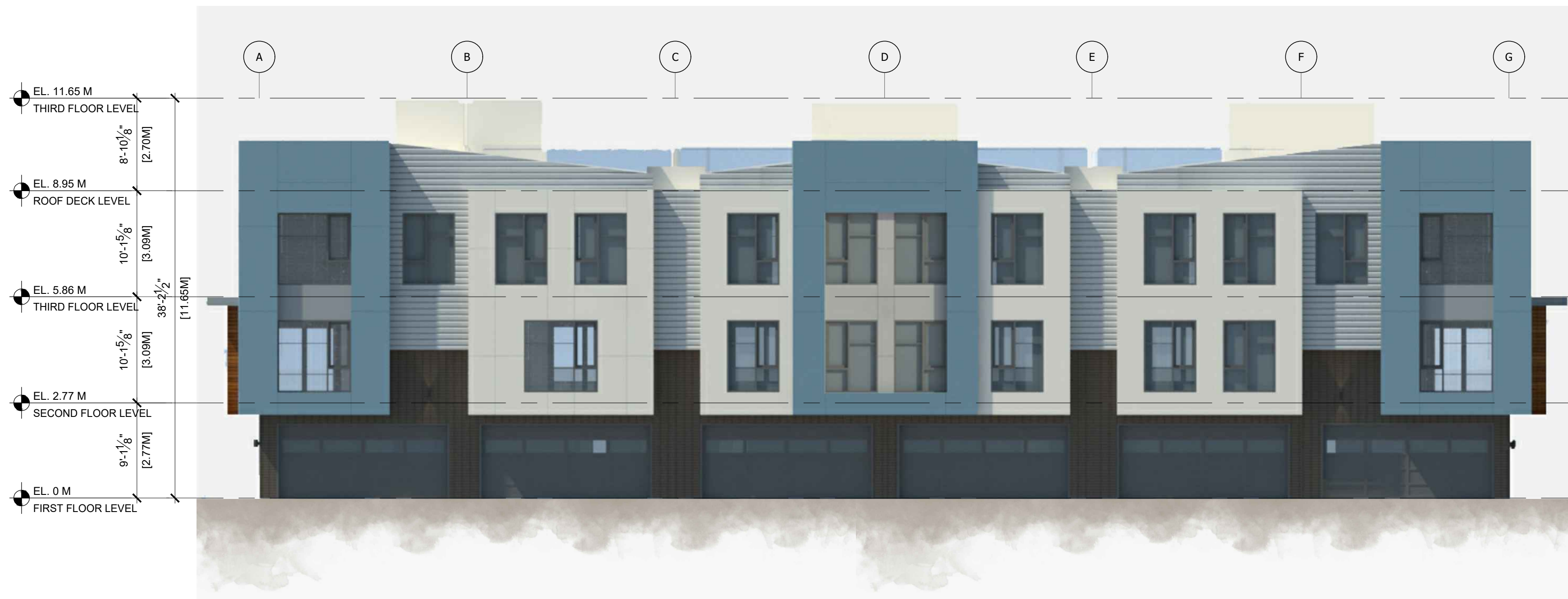
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RICHMOND, BC

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DATE:	AUG 2016
SHEET TITLE:	

ELEVATIONS

DRAWING NO.:	<b>A-410</b>	<b>F</b>
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1 BUILDING 2 - NORTH ELEVATION  
SCALE 1/8" = 1'-0"



2 BUILDING 2 - WEST ELEVATION  
SCALE 1/8" = 1'-0"



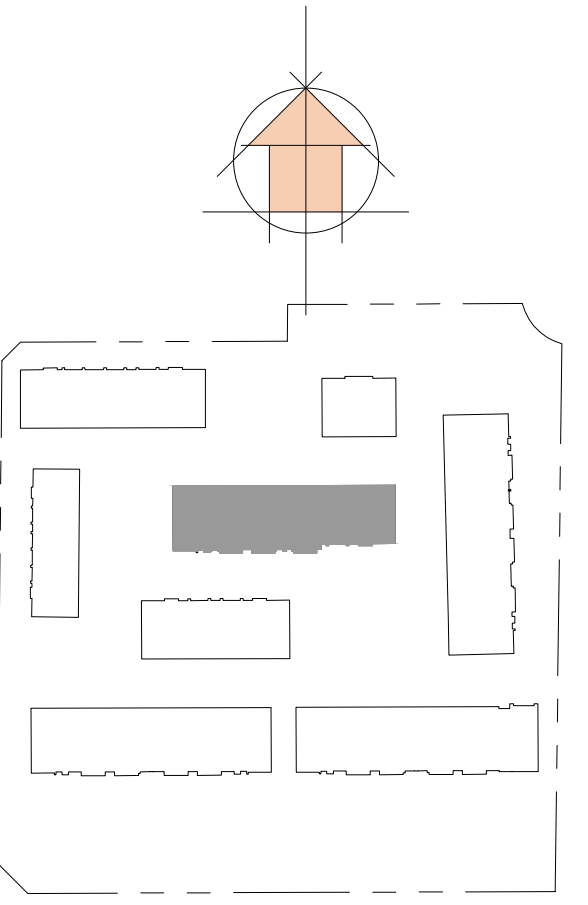
3 BUILDING 2 - SOUTH ELEVATION  
SCALE 1/8" = 1'-0"



4 BUILDING 2 - EAST ELEVATION  
SCALE 1/8" = 1'-0"

- SCHEDULE OF FINISHES
1. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE HEATHERED MOSS
  2. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE BOOTHBAY BLUE
  3. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE SAIL CLOTH
  4. SHIPLAP SMOOTH FINISH HARDIE PANEL SIDING COLOR : HARDIE LIGHT MIST
  5. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE NIGHT GRAY
  6. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE TIMBER BARK
  7. ENDICOTT THIN BRICK SIZE : 2-5/8" X 9-5/8" COLOR : EXECUTIVE IRONSPOT
  8. PAINTED VINYL WINDOWS COLOR TO MATCH BENJAMIN MOORE PEARL GREY
  9. CURTAIN WALL SYSTEM - SPANREL GLASS WITH OPACI COATING (COLOR TO MATCH HARDIE BOOTHBAY BLUES)
  10. SOLID CORE WOOD DOORS PAINTED TO MATCH COLOR TO MATCH BENJAMIN MOORE PEARL GREY
  11. POWDER COATED (COLOR TO MATCH BENJAMIN MOORE PEARL GREY) ALUMINUM RAILING WITH SAFETY GLASS COLOR - TO MATCH HARDIE HEATHERED MOSS
  12. POWDER COATED (COLOR TO MATCH BENJAMIN MOORE PEARL GREY) ALUMINUM RAILING WITH SAFETY GLASS COLOR - TO MATCH HARDIE BOOTHBAY BLUE
  13. 6" LONGBOARD WOOD GRAINS CHANNEL SIDING/ FLASHING OR EQUIVALENT COLOR : LIGHT CHERRY
  14. POWDER COATED ALUMINUM RAILING WITH CLEAR SAFETY GLASS
  15. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR TO MATCH BENJAMIN MOORE CITRUS ORANGE 2016-20

NOTES:



KEY PLAN

REVISION	DATE	BY	DESCRIPTION
		H	
		G	
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	2018 / 02 / 13	E	REVISIONS AS PER DRG COMMENTS
	2017 / 12 / 07	D	REZONING & DP APPLICATION
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	2016 / 08 / 29	B	PRELIMINARY SITE LAYOUT
	2016 / 08 / 10	A	PRELIMINARY SITE LAYOUT



1205-4871 SHELL ROAD  
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PROJECT:  
**39 UNIT TOWNHOUSE DEVELOPMENT  
5844 / 5832 / 5822 - 132 STREET,  
SURREY, B.C.**

CLIENT:

**METROVAN CUSTOM HOMES  
1205 - 22091 FRASERWOOD WAY,  
RICHMOND, BC**

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CHECKED:	JA
SCALE:	-
JOB No.:	SUR-050
DATE:	AUG 2016
SHEET TITLE:	

ELEVATIONS

DRAWING NO.:

**A-411**

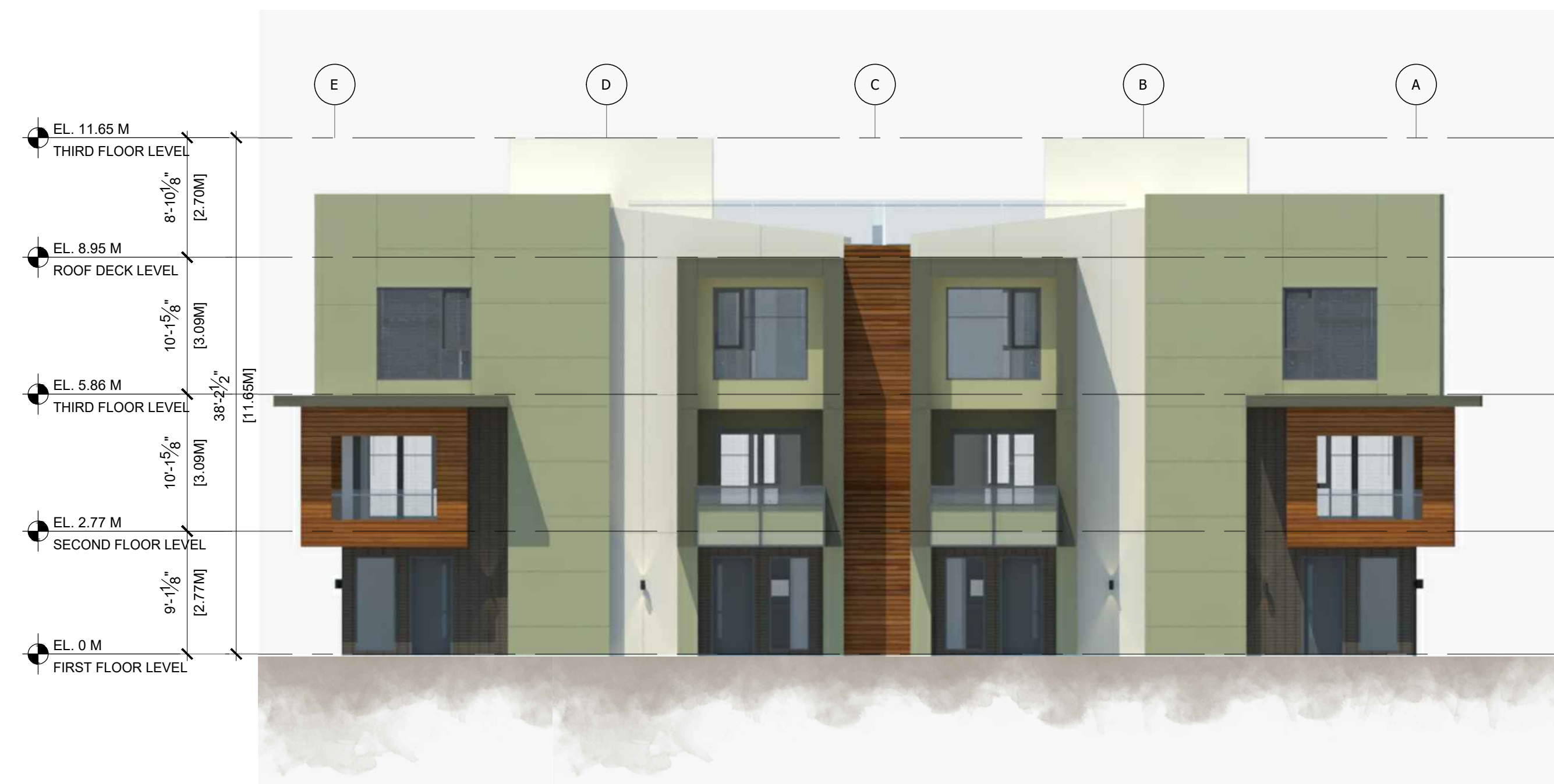
**F**



**1** BUILDING 3 - SOUTH ELEVATION  
SCALE 1/8" = 1'-0"



**2** BUILDING 3 - EAST ELEVATION  
SCALE 1/8" = 1'-0"



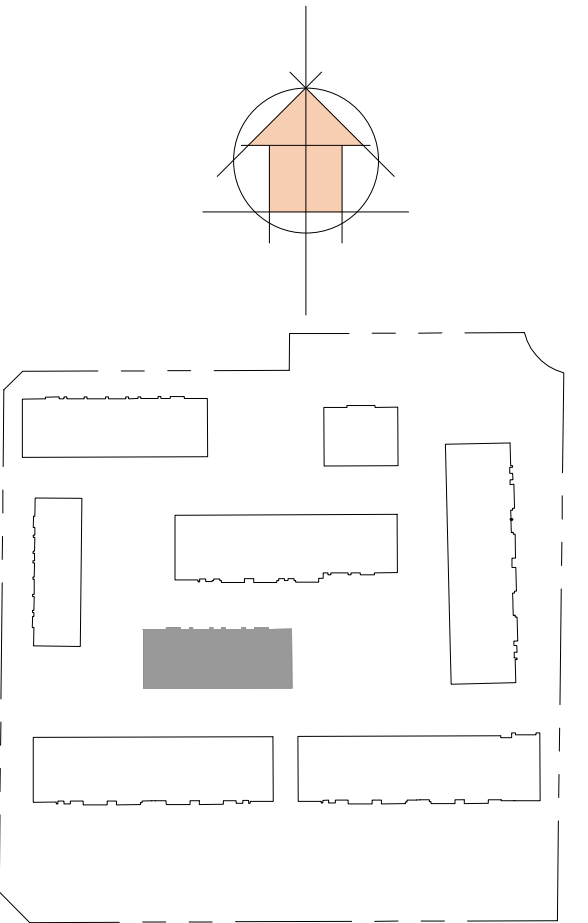
**3** BUILDING 3 - NORTH ELEVATION  
SCALE 1/8" = 1'-0"



**4** BUILDING 3 - WEST ELEVATION  
SCALE 1/8" = 1'-0"

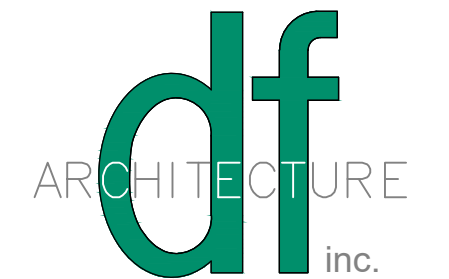
- SCHEDULE OF FINISHES
1. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE HEATHERED MOSS
  2. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE BOOTHBAY BLUE
  3. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE SAIL CLOTH
  4. SHIPLAP SMOOTH FINISH HARDIE PANEL SIDING COLOR : HARDIE LIGHT MIST
  5. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE NIGHT GRAY
  6. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE TIMBER BARK
  7. ENDICOTT THIN BRICK SIZE : 2-5/8" X 9-5/8" COLOR : EXECUTIVE IRONSPOT
  8. PAINTED VINYL WINDOWS COLOR TO MATCH BENJAMIN MOORE PEARL GREY
  9. CURTAIN WALL SYSTEM - SPANDREL GLASS WITH OPACI COATING (COLOR TO MATCH HARDIE BOOTHBAY BLUES)
  10. SOLID CORE WOOD DOORS PAINTED TO MATCH COLOR TO MATCH BENJAMIN MOORE PEARL GREY
  11. POWDER COATED (COLOR TO MATCH BENJAMIN MOORE PEARL GREY) ALUMINUM RAILING WITH SAFETY GLASS COLOR - TO MATCH HARDIE HEATHERED MOSS
  12. POWDER COATED (COLOR TO MATCH BENJAMIN MOORE PEARL GREY) ALUMINUM RAILING WITH SAFETY GLASS COLOR - TO MATCH HARDIE BOOTHBAY BLUE
  13. 6" LONGBOARD WOOD GRAINS CHANNEL SIDING/ FLASHING OR EQUIVALENT COLOR : LIGHT CHERRY
  14. POWDER COATED ALUMINUM RAILING WITH CLEAR SAFETY GLASS
  15. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR TO MATCH BENJAMIN MOORE CITRUS ORANGE 2016-20

NOTES:



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PROJECT:  
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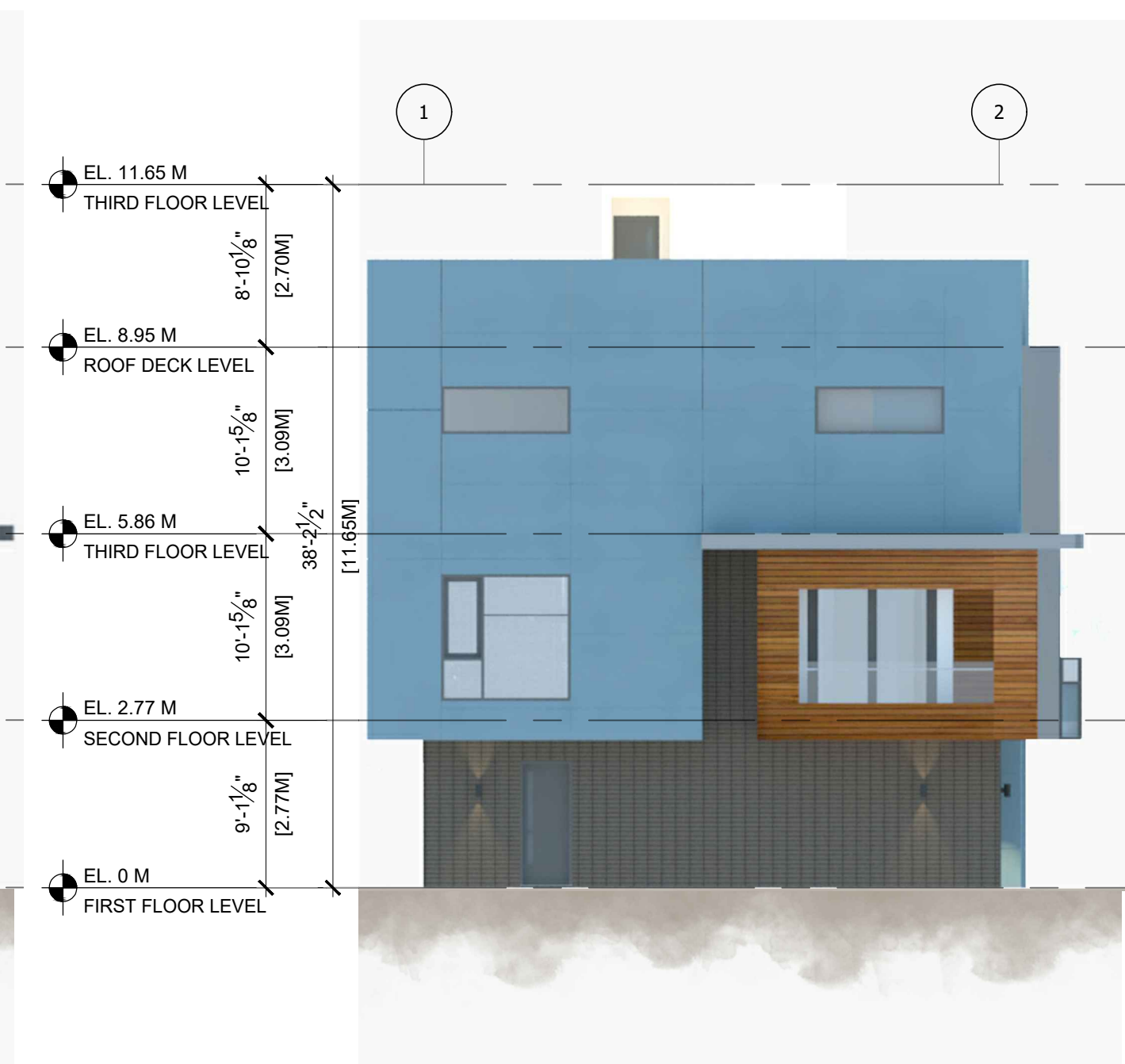
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SCALE:	-
JOB No.:	SUR-050
DATE:	AUG 2016
SHEET TITLE:	

ELEVATIONS

DRAWING NO.:  
**A-412** **F**



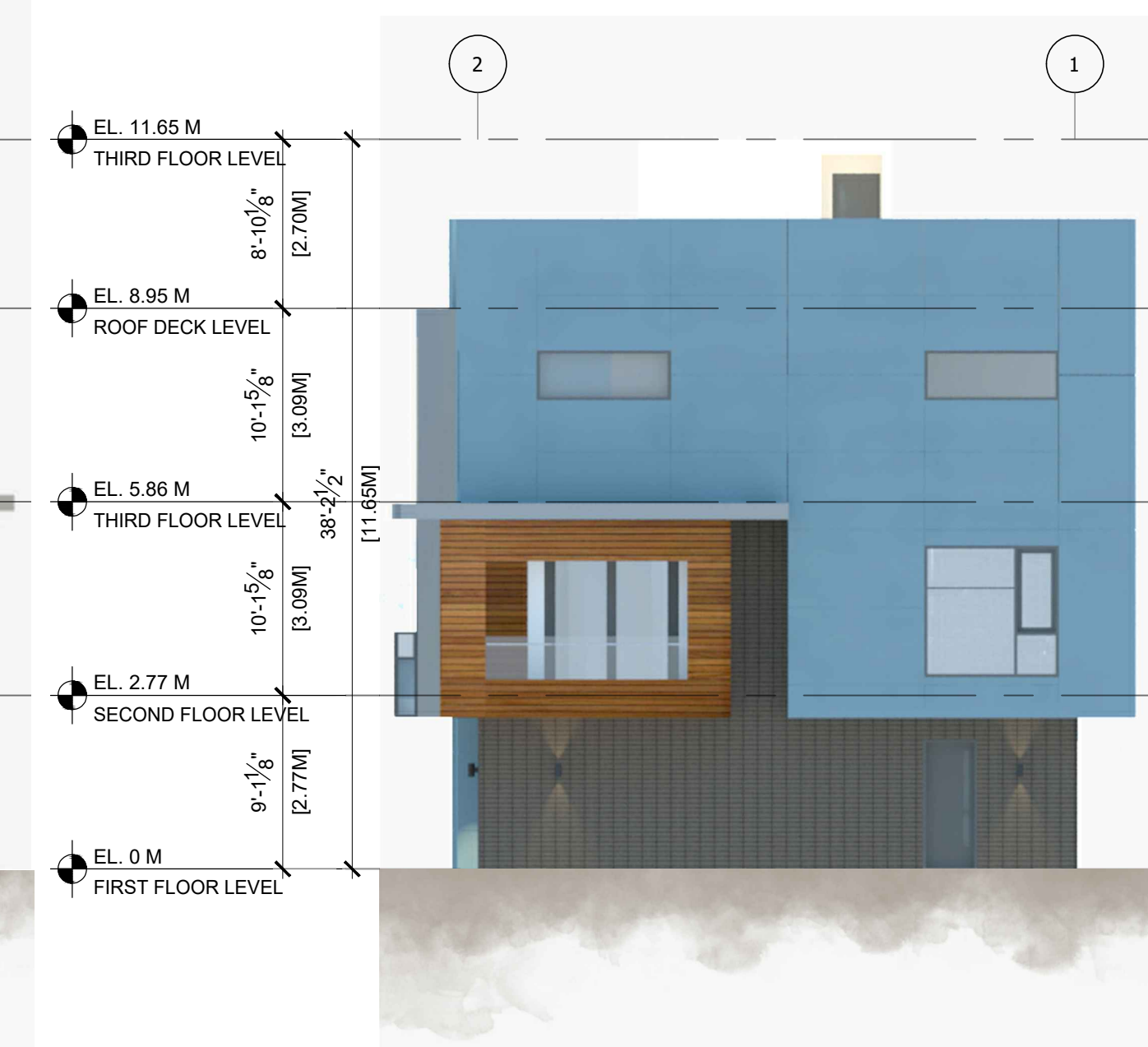
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SCALE 1/8" = 1'-0"



2 BUILDING 4 - SOUTH ELEVATION  
SCALE 1/8" = 1'-0"



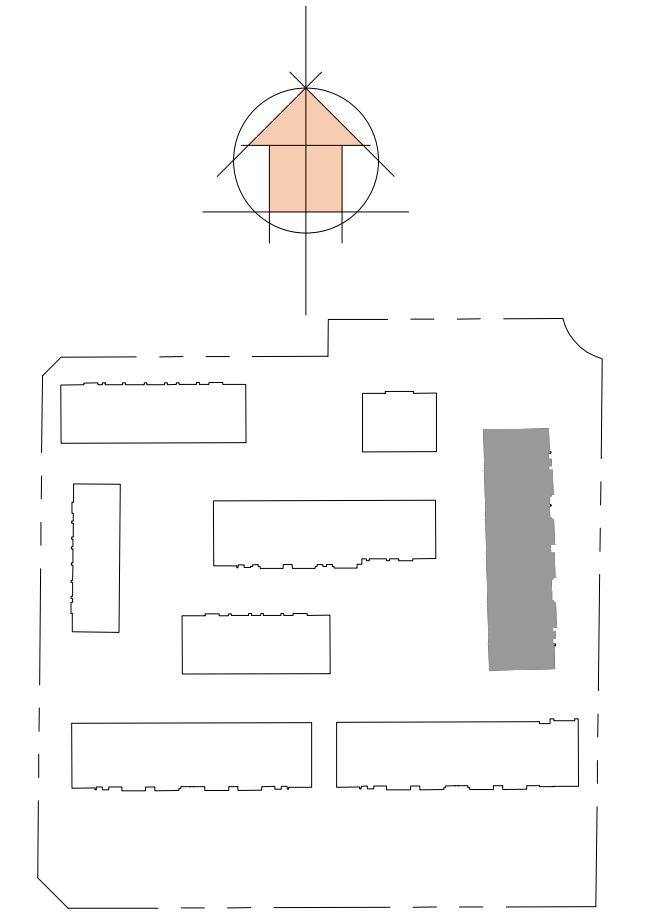
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SCALE 1/8" = 1'-0"



4 BUILDING 4 - NORTH ELEVATION  
SCALE 1/8" = 1'-0"

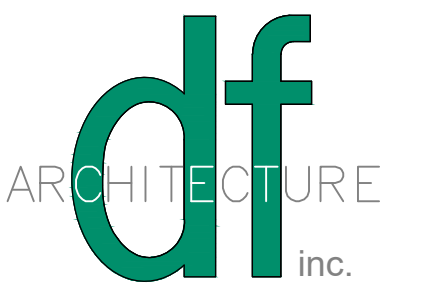
- SCHEDULE OF FINISHES
- SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE HEATHERED MOSS
  - SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE BOOTHBAY BLUE
  - SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE SAIL CLOTH
  - SHIPLAP SMOOTH FINISH HARDIE PANEL SIDING COLOR : HARDIE LIGHT MIST
  - SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE NIGHT GRAY
  - SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE TIMBER BARK
  - ENDICOTT THIN BRICK SIZE : 2-5/8" X 9-5/8" COLOR : EXECUTIVE IRONSPOT
  - PAINTED VINYL WINDOWS COLOR TO MATCH BENJAMIN MOORE PEARL GREY
  - CURTAIN WALL SYSTEM - SPANDREL GLASS WITH OPACI COATING (COLOR TO MATCH HARDIE BOOTHBAY BLUES)
  - SOLID CORE WOOD DOORS PAINTED TO MATCH COLOR TO MATCH BENJAMIN MOORE PEARL GREY
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NOTES:



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PROJECT:  
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CLIENT:

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JOB No.:	SUR-050
DATE:	AUG 2016
SHEET TITLE:	

ELEVATIONS

DRAWING NO.:	<b>A-413</b>	<b>F</b>
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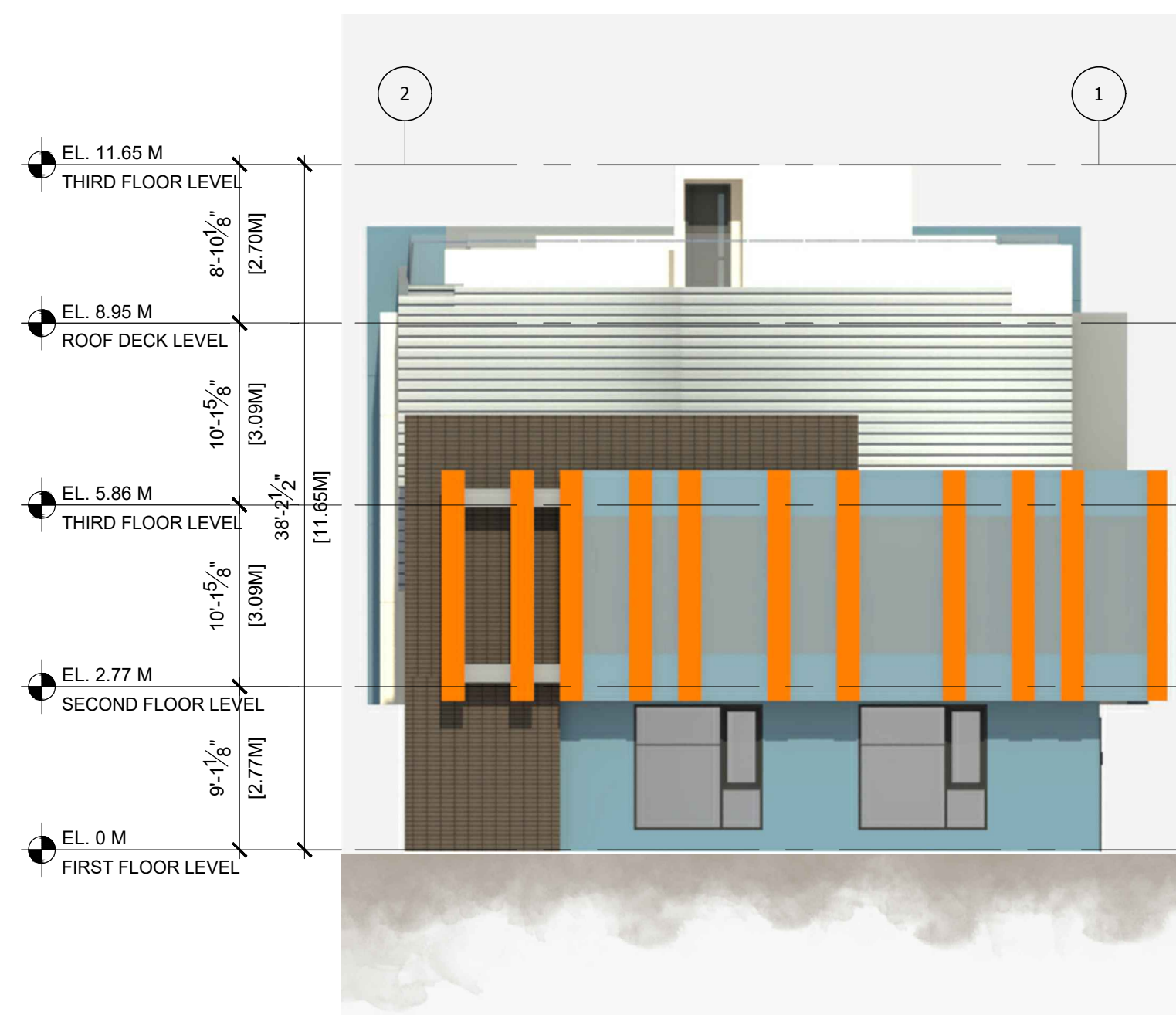
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SCALE 1/8" = 1'-0"



2 BUILDING 5 - WEST ELEVATION  
SCALE 1/8" = 1'-0"

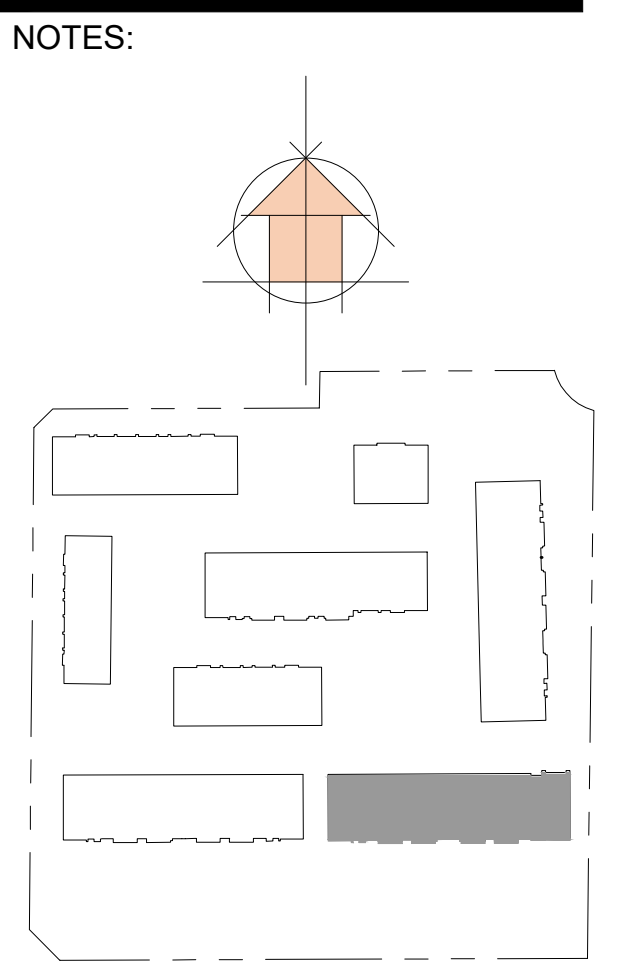


3 BUILDING 5 - SOUTH ELEVATION  
SCALE 1/8" = 1'-0"



4 BUILDING 5 - EAST ELEVATION  
SCALE 1/8" = 1'-0"

- SCHEDULE OF FINISHES
1. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE HEATHERED MOSS
  2. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE BOOTHBAY BLUE
  3. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE SAIL CLOTH
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  6. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE TIMBER BARK
  7. ENDICOTT THIN BRICK SIZE : 2-5/8" X 9-5/8" COLOR : EXECUTIVE IRONSPOT
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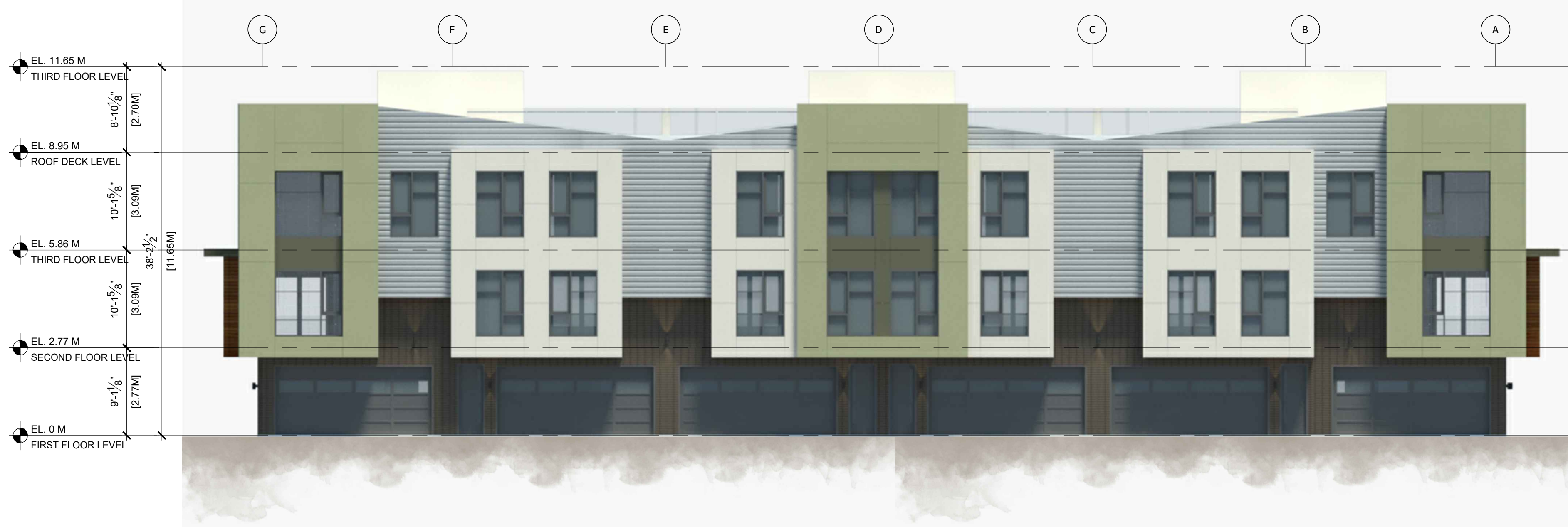
PROJECT:  
**39 UNIT TOWNHOUSE DEVELOPMENT  
5844 / 5832 / 5822 - 132 STREET,  
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CLIENT:  
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JOB No.:	SUR-050
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SHEET TITLE:	

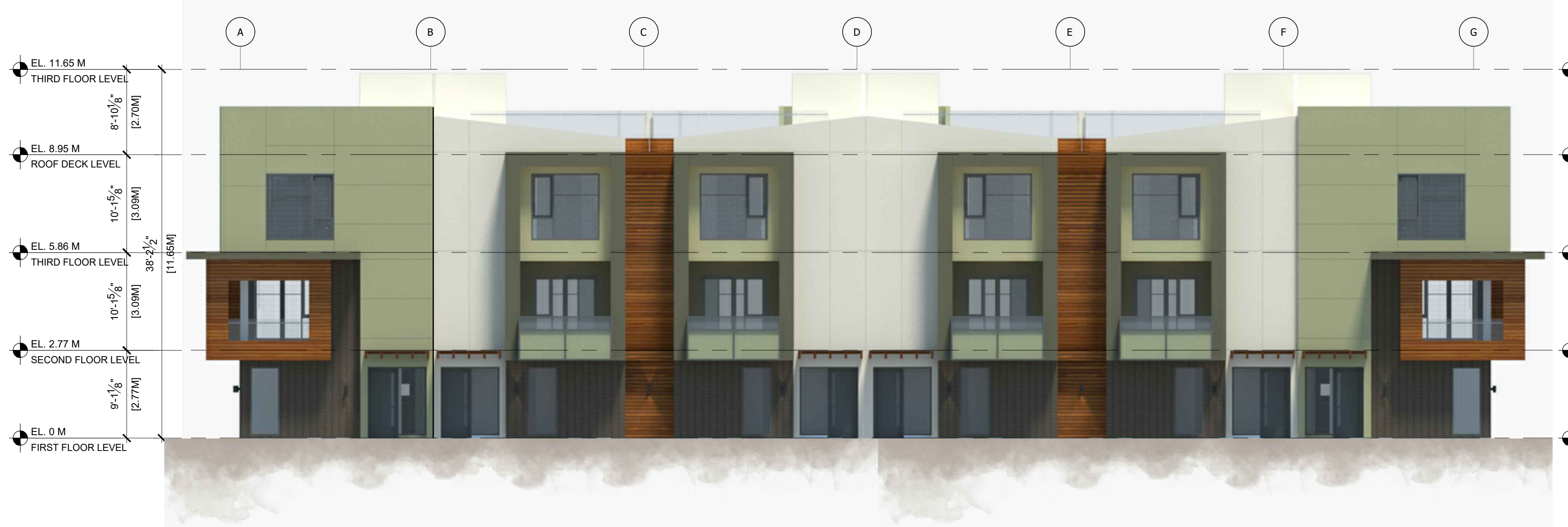
ELEVATIONS



1 BUILDING 6 - NORTH ELEVATION  
SCALE 1/8" = 1'-0"



2 BUILDING 6 - WEST ELEVATION  
SCALE 1/8" = 1'-0"



3 BUILDING 6 - SOUTH ELEVATION  
SCALE 1/8" = 1'-0"

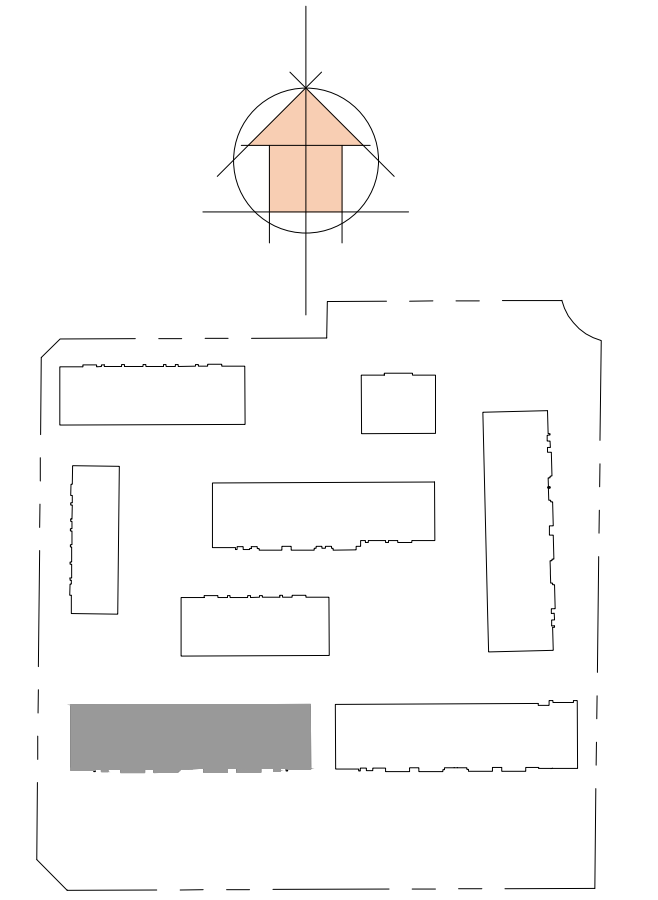


4 BUILDING 6 - EAST ELEVATION  
SCALE 1/8" = 1'-0"

- SCHEDULE OF FINISHES
- SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : HARDIE HEATHERED MOSS
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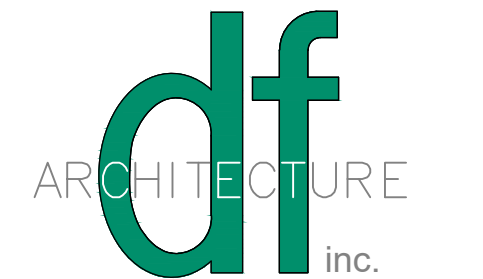
NOTE:  
BUILDING 6 & 8 TO HAVE FINISHING SCHEDULE WITH HARDIE BOOTHBAY BLUE COLOR COMBINATION

NOTES:



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CHECKED:	JA
SCALE:	-
JOB No.:	SUR-050
DATE:	AUG 2016
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ELEVATIONS

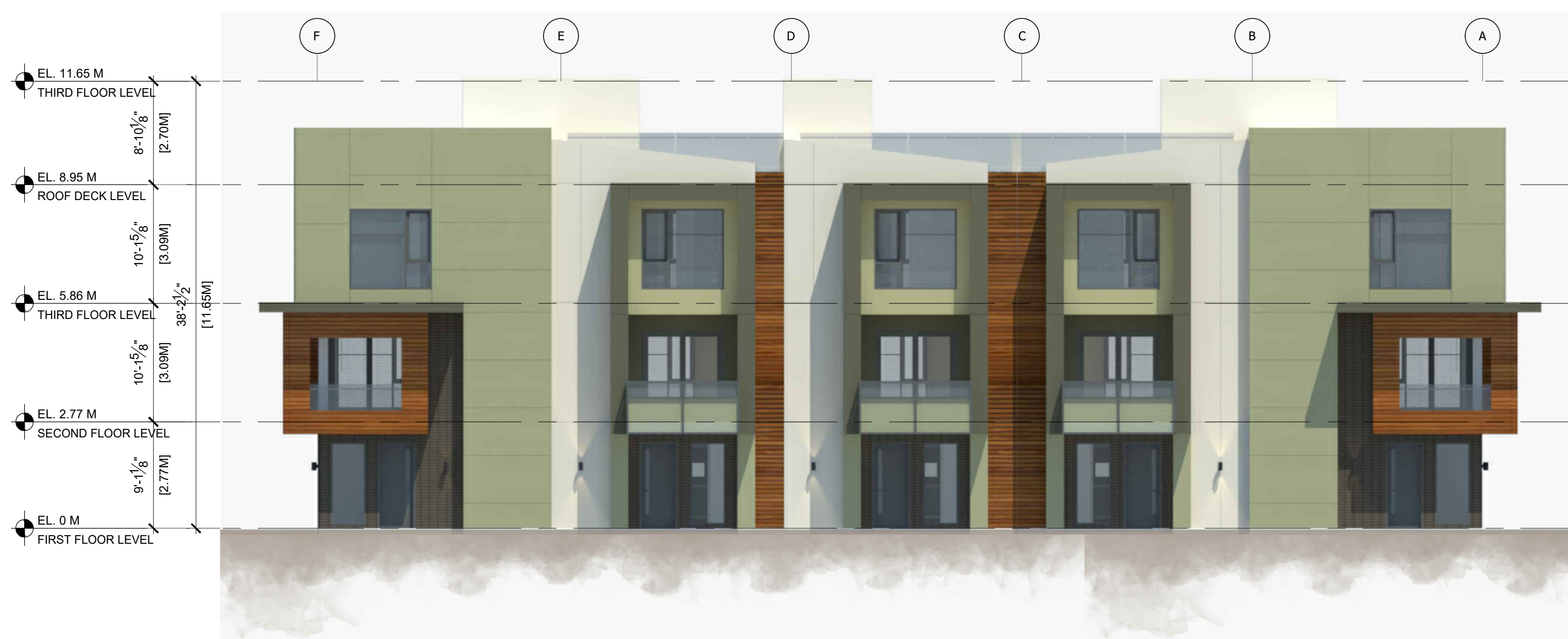
DRAWING NO.:	<b>A-415</b>	<b>F</b>
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1 BUILDING 7 & 8 - EAST ELEVATION  
SCALE 1/8" = 1'-0"



2 BUILDING 7 & 8 - NORTH ELEVATION  
SCALE 1/8" = 1'-0"



3 BUILDING 7 & 8 - WEST ELEVATION  
SCALE 1/8" = 1'-0"

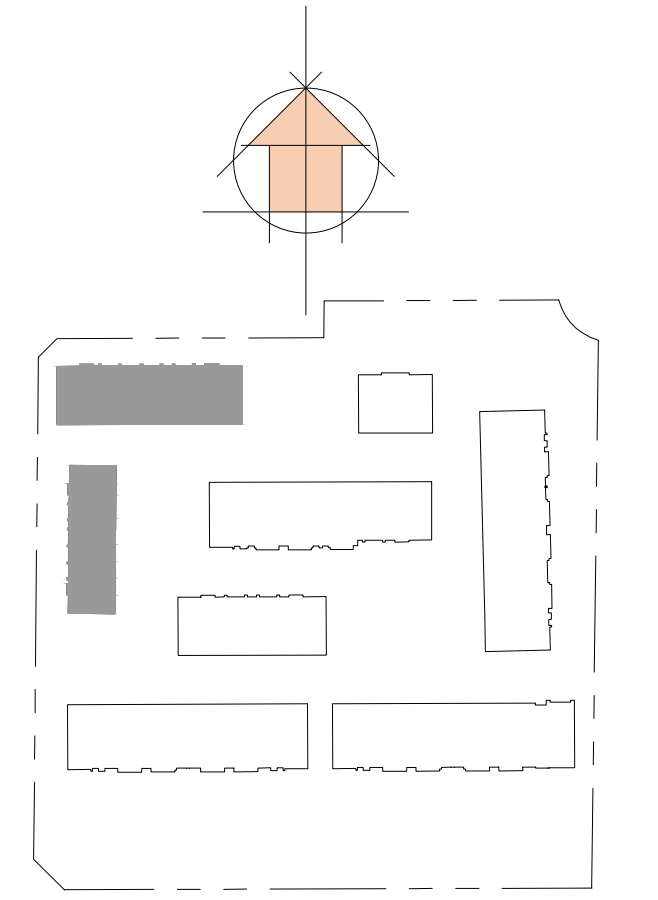


4 BUILDING 7 & 8 - SOUTH ELEVATION  
SCALE 1/8" = 1'-0"

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NOTES:



KEY PLAN

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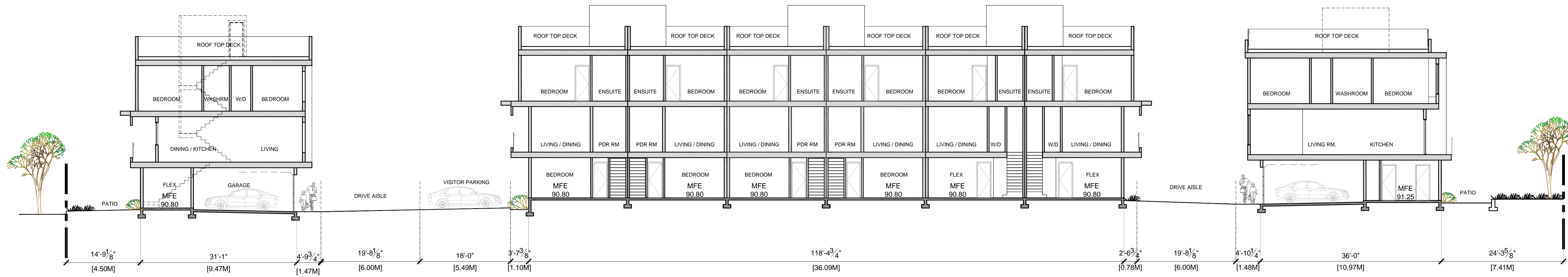
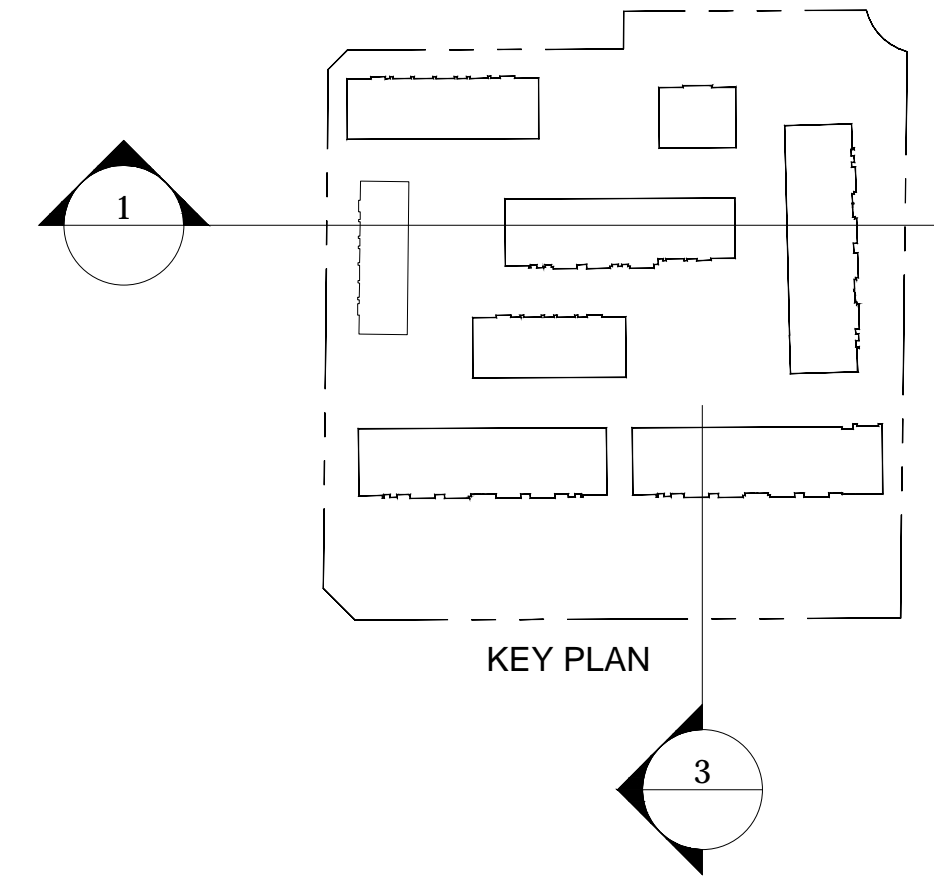
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DATE: AUG 2016	
SHEET TITLE:	

ELEVATIONS

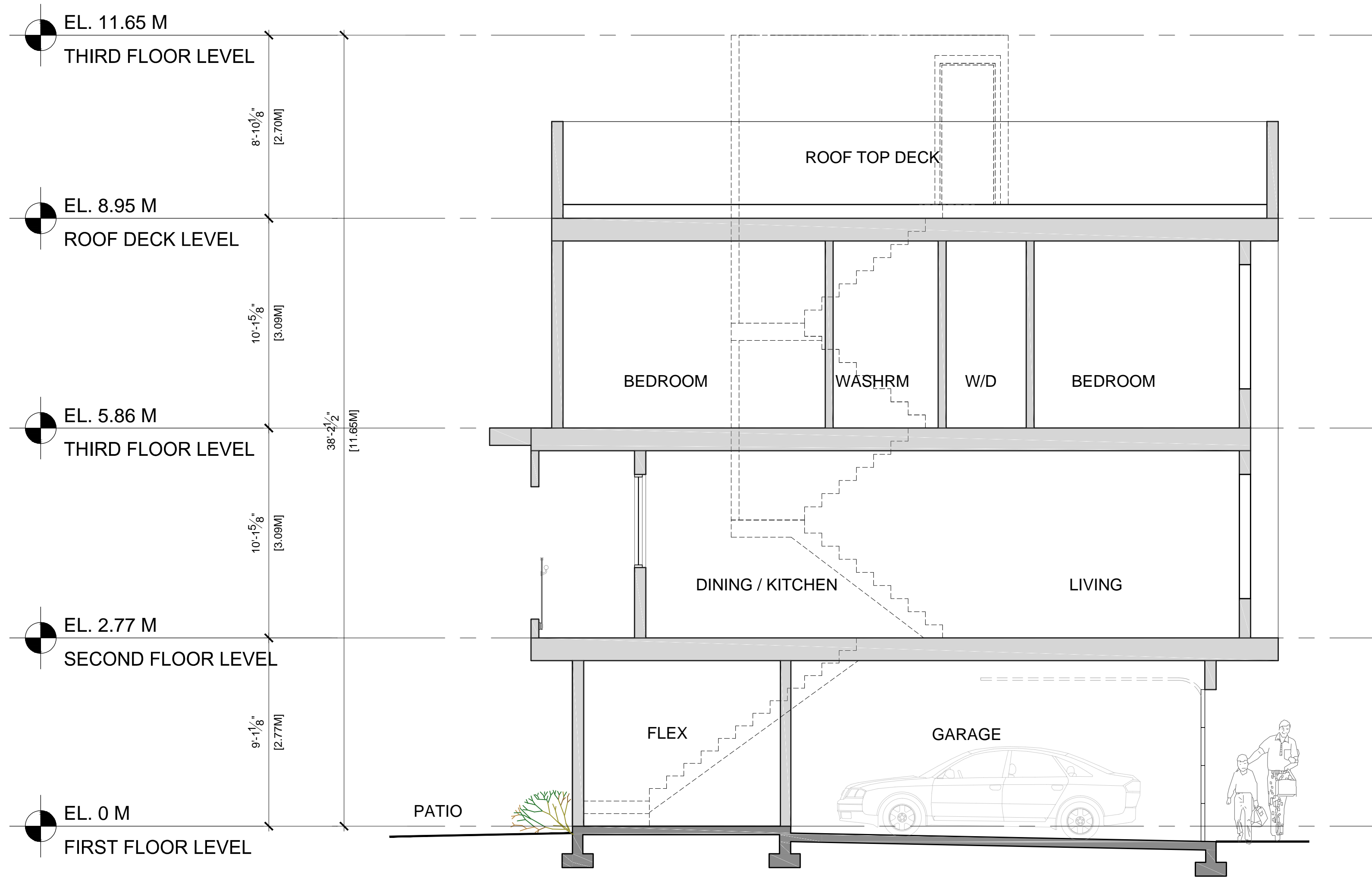
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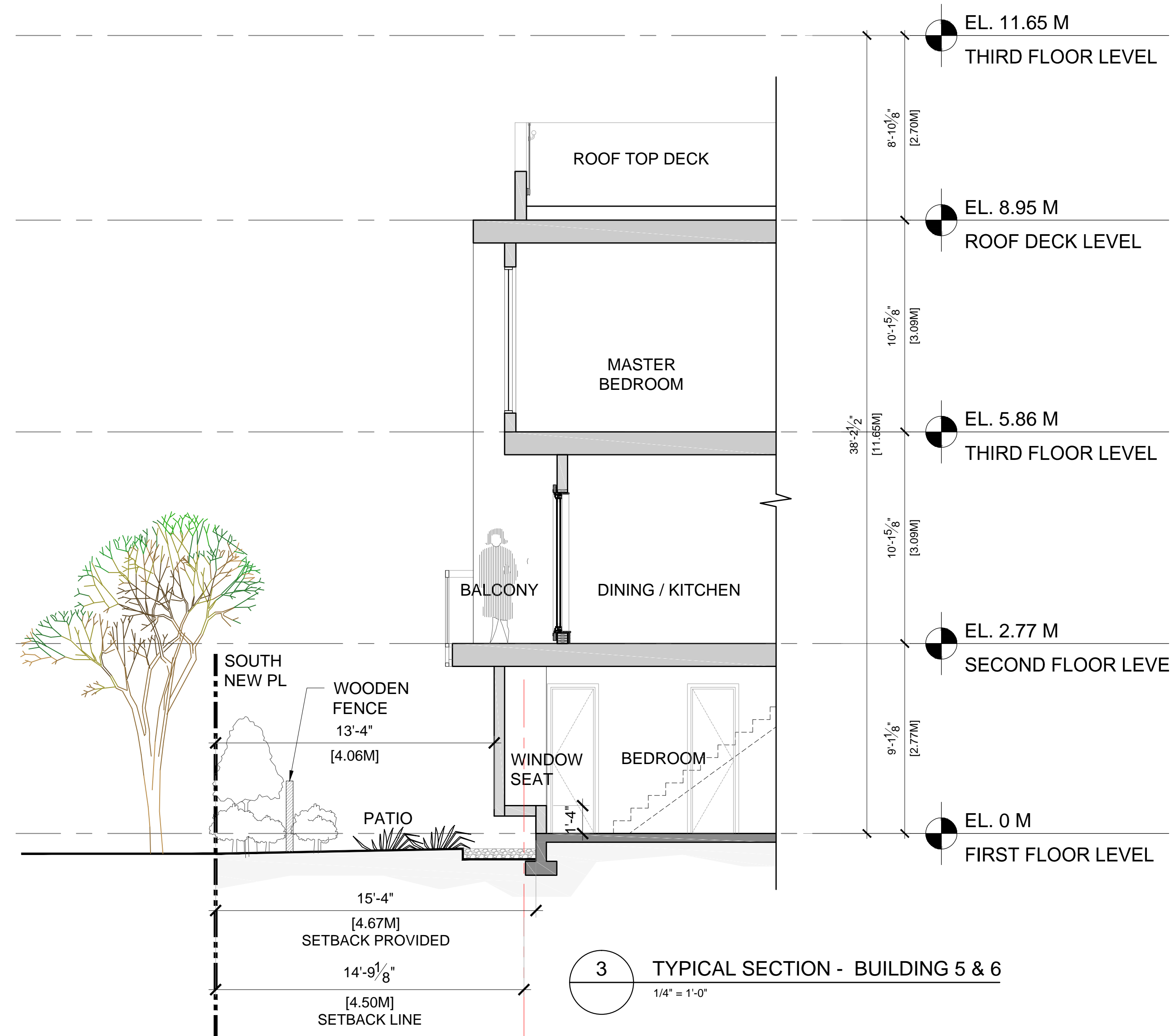
NOTES:



1 SECTION 1 - THRU SITE  
3/32" = 1'-0"



2 TYPICAL SECTION - THRU UNIT  
1/4" = 1'-0"



3 TYPICAL SECTION - BUILDING 5 & 6  
1/4" = 1'-0"

REVISION	DATE	DESCRIPTION
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G		
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E	2018/02/13	REVISIONS AS PER DRG COMMENTS
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C	2017/01/04	REVISED AS PER CITY COMMENTS
B	2016/08/29	PRELIMINARY SITE LAYOUT
A	2016/08/10	PRELIMINARY SITE LAYOUT



1205-4871 SHELL ROAD  
RICHMOND, BRITISH COLUMBIA  
CANADA V6X 3Z6  
T (604)284-5194 F (604)284-5131  
info@dfarchitecture.ca

PROJECT:  
**39 UNIT TOWNHOUSE DEVELOPMENT**  
5844 / 5832 / 5822 - 132 STREET,  
SURREY, B.C.

CLIENT:

**METROVAN CUSTOM HOMES**  
1205 - 22091 FRASERWOOD WAY,  
RICHMOND, BC

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DRAWN:	MS
CHECKED:	JA
SCALE:	-
JOB No.:	SUR-050
DATE:	AUG 2016
SHEET TITLE:	

SECTIONS

DRAWING NO.:	A-501	D
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**TO: Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

**FROM: Development Engineer, Engineering Department**

**DATE: July 16, 2018**                      **PROJECT FILE: 7817-0597-00**

---

**RE: Engineering Requirements  
Location: 5822 132 Street**

**NCP AMENDMENT/ DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT**

There are no engineering requirements relative to the NCP Amendment, Development Permit and Development Variance Permit.

**REZONE/SUBDIVISION**

***Property and Right-of-Way Requirements***

- Dedication 4.0 m along Highway 10 toward Arterial Highway. *Confirm dedication with MoTI.*
- Dedicate 2.808 m to 4.942 m toward along 132 Street toward Arterial road for an ultimate 30 m allowance.
- Dedicate necessary lands for 14.0 m radius Cul-de-sac along 58B Avenue.
- Dedicate 6.0 m toward Residential Lane allowance.
- Dedicate 3.0 m x 3.0 m corner cut at 132 Street and Lane intersection.
- Dedicate 6.0 m x 6.0 m corner cut at 132 Street and Highway 10 intersection. *Confirm dedication with MoTI.*
- Register 0.5 m Statutory Right-of-Way (SRW) along 132 Street frontage.

***Works and Services***

- Construct Multi-Use Pathway (MUP) along Highway 10 to 58B Avenue.
- Reinstate the remainder boulevard on 132 Street with topsoil and sod.
- Construct bus pad along 132 Street.
- Construct 11.0 m radius of pavement for Cul-de-sac at 58B Avenue.
- Construct Lane to the Residential Lane standard.
- Register an RC for right-in/right-out only for access to 132 Street and for water quality control.

A Servicing Agreement is required prior to Rezone and Subdivision.

  
Tommy Buchmann, P.Eng.  
Development Engineer

AY

NOTE: Detailed Land Development Engineering Review available on file



Planning

July 3, 2018

**THE IMPACT ON SCHOOLS**

APPLICATION #: 17 0597 00

**SUMMARY**

The proposed 39 townhouse units are estimated to have the following impact on the following schools:

**Projected # of students for this development:**

Elementary Students:	10
Secondary Students:	5

September 2017 Enrolment/School Capacity

<b>North Ridge Elementary</b>	
Enrolment (K/1-7):	54 K + 350
Operating Capacity (K/1-7)	38 K + 373
<b>Panorama Ridge Secondary</b>	
Enrolment (8-12):	1627
Capacity (8-12):	1400

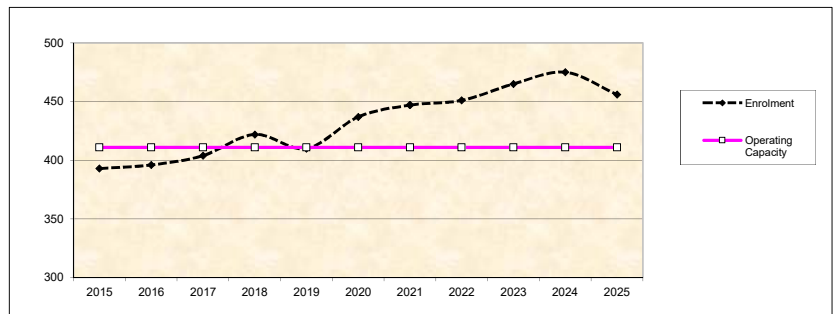
**School Enrolment Projections and Planning Update:**

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

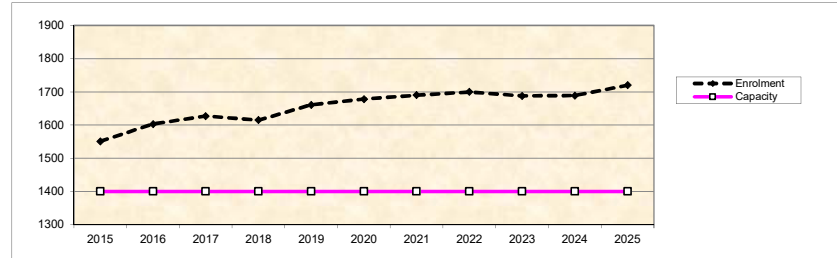
North Ridge Elementary is currently operating at 98% capacity and is projected to modestly grow due to the catchment continuing to densify with more townhome applications. It is expected that in 10 years, enrolment shall grow by 74 students. Currently there are no plans to expand the school as the growth can be accommodated by portables.

Panorama Ridge Secondary is currently operating at 115% and is projected to grow by 200 students over the next 10 years. Currently there are no plans to expand the school, however, in the 2019/2020 5 year Capital Plan, the District is requesting a 400 capacity addition at Frank Hurt and a new site for new 1000 capacity new secondary school in the Newton area. Both these projects are to address the secondary seat shortfall in the Newton area over the next 10 years.

**North Ridge Elementary**



**Panorama Ridge Secondary**



\* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students.  
Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

MIKE FADUM AND ASSOCIATES LTD.  
VEGETATION CONSULTANTS

## Tree Preservation Summary

Surrey Project No: 17-0597-00

Address: 5822 / 5832 / 5844 132 Street, Surrey

Registered Arborist: Mike Fadum and Peter Mennel

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	83
<b>Protected Trees to be Removed</b>	59
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	24
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 59 X two (2) = 118</li> </ul>	118
<b>Replacement Trees Proposed</b>	66
<b>Replacement Trees in Deficit</b>	52
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	NA

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	1
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 1 X two (2) = 2</li> </ul>	2
<b>Replacement Trees Proposed</b>	NA
<b>Replacement Trees in Deficit</b>	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 

Date: July 19, 2018



Mike Fadum and Associates Ltd.  
#105, 8277-129 Street, Surrey, BC, V3W 0A6  
Phone 778-593-0300 Fax 778-593-0302



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VEGETATION CONSULTANTS

#105, 8277 129 St.  
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V3W 0A6  
Ph: (778) 593-0300  
Fax: (778) 593-0302  
Email: mfadum@fadum.ca

CLIENT

FILE NO.

PROJECT TITLE  
TREE PRESERVATION  
AND PROTECTION PLAN

5822, 5832, 5844 132 ST.,  
SURREY, B.C.

REVISIONS:

NO.	DATE	BY	REVISION
1	AUG0213	SL	NEW SITE PLAN
2	SEPT2413	SL	NEW SITE PLAN
3	SEPT2713	SL	NEW SITE PLAN
4	OCT0213	SL	NEW SITE PLAN
5	NOV0413	SL	NEW SITE PLAN
6	NOV1513	SL	NEW SITE PLAN
7	DEC0313	SL	NEW SITE PLAN
8	DEC1713	SL	NEW SITE PLAN
9	OCT0616	MK	NEW SITE PLAN
10	JAN0617	MK	NEW SITE PLAN
11	DEC0817	SL	NEW SITE PLAN
12	APR2318	MK	NEW SITE PLAN
13	MAY1518	MK	NEW SITE PLAN

SHEET TITLE

T1 - TREE PRESERVATION  
AND REMOVAL PLAN

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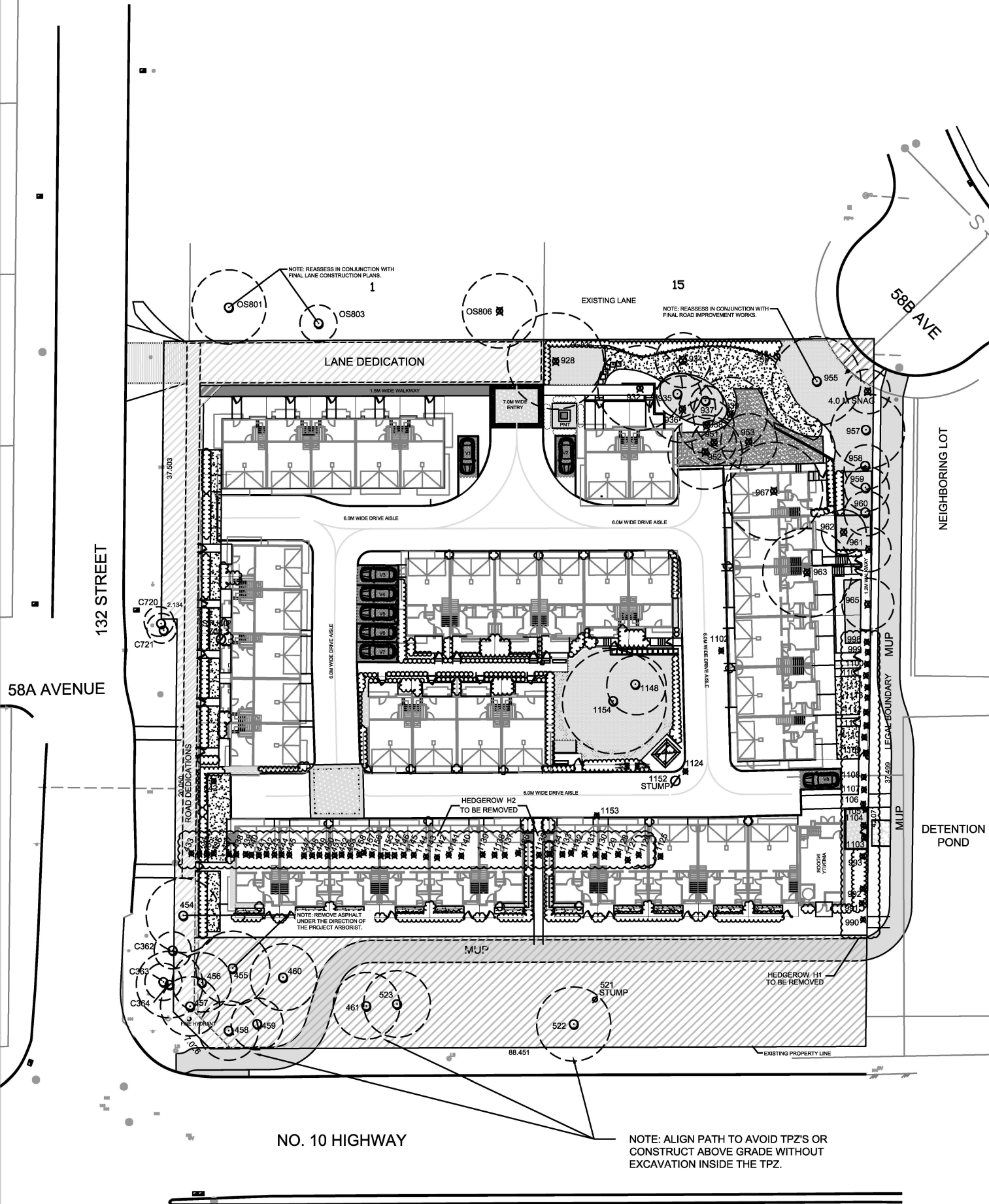
DRAWN  
SGL

SCALE  
AS SHOWN

DATE  
APRIL 24, 2013

T-1

SHEET 1 OF 2

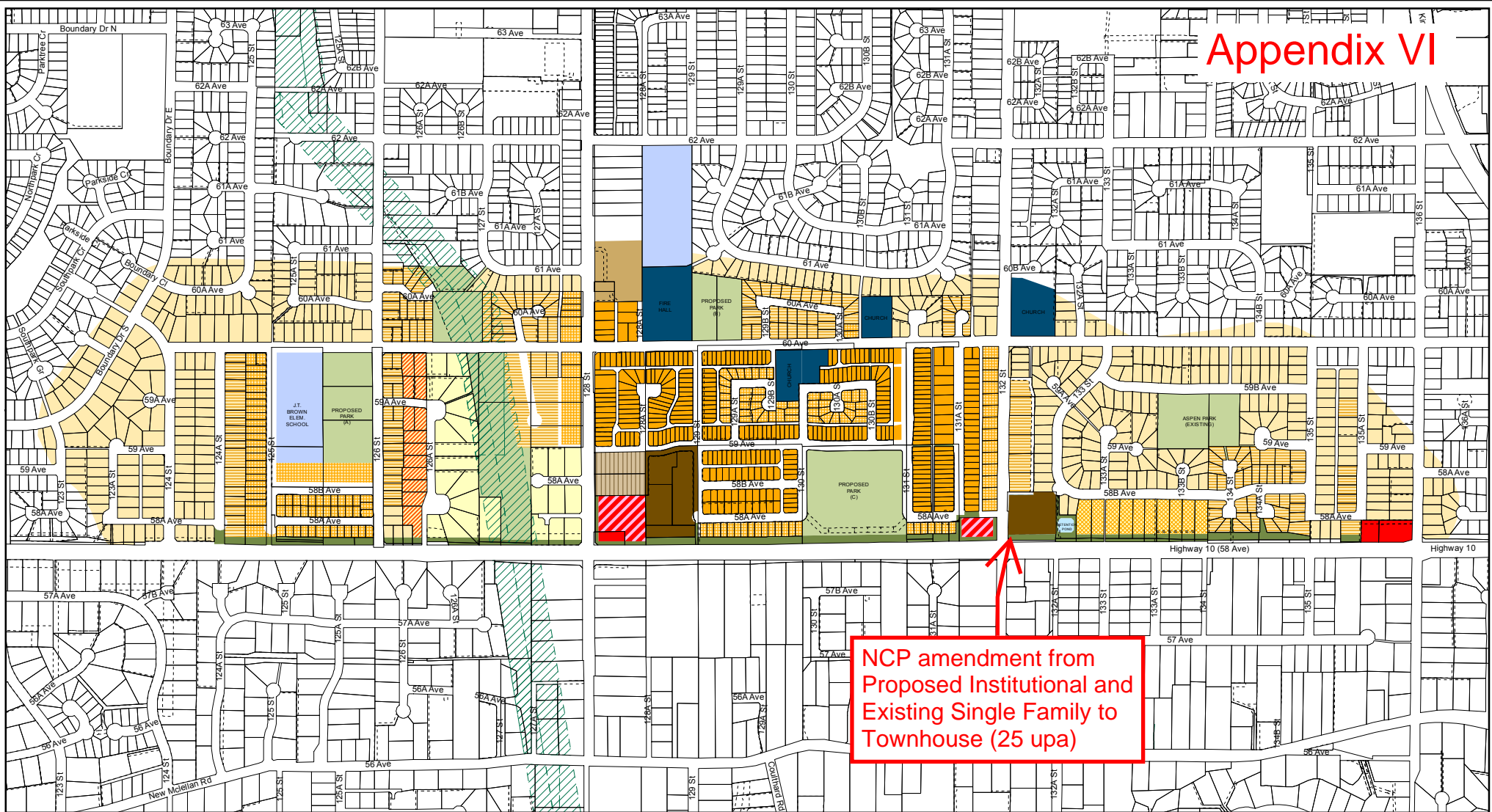


LEGEND





















- TREE TO BE RETAINED
- TREE TO BE REMOVED
- MINIMUM NO DISTURBANCE ZONE



# Appendix VI

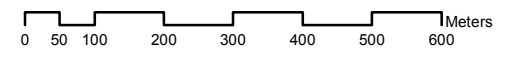


NCP amendment from  
Proposed Institutional and  
Existing Single Family to  
Townhouse (25 upa)

- |  |   |   |  |
|--|---|---|--|
|  EXISTING HALF ACRE LOTS           |  APPROVED CLUSTER HOUSING (10 UPA) |  INSTITUTIONAL             |  BUFFER / GREENWAYS |
|  SUBURBAN TRANSITION LOTS          |  SMALL LOT (10 UPA)                |  PROPOSED INSTITUTIONAL    |  PARKS              |
|  EXISTING SUBURBAN TRANSITION LOTS |  SMALL LOT WITH LANE (13 UPA)      |  EXISTING LOCAL COMMERCIAL |  WALKWAYS           |
|  PROPOSED SINGLE FAMILY (6 UPA)    |  Townhouse (25 upa)                |  PROPOSED LOCAL COMMERCIAL |  MUNICIPAL R.O.W.   |
|  EXISTING SINGLE FAMILY            |  SENIORS HOUSING (20 UPA)          |  SCHOOLS                   |  R.O.W. (BC HYDRO)  |

## WEST NEWTON/HWY #10 NCP LAND USE PLAN

CITY OF SURREY - PLANNING & DEVELOPMENT DEPARTMENT



This map is provided as general reference only. The City of Surrey makes no warranties, express or implied, as to the fitness of the information for any purpose, or to the results obtained by individuals using the information and is not responsible for any action taken in reliance on the information contained herein.

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0597-00

Issued To:

Address of Owner:

Issued To:

Address of Owner:

Issued To:

Address of Owner:

(collectively referred to as the "Owner")

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 010-319-361

Lot 7 Section 8 Township 2 New Westminster District Plan 17675

5844 - 132 Street

Parcel Identifier: 005-602-238

Lot 74 Section 8 Township 2 New Westminster District Plan 57690

5832 - 132 Street

Parcel Identifier: 005-602-254

Lot 75 Except: Part Dedicated Road on Plan BCP24156, Section 8 Township 2 New Westminster District Plan 57690

5822 - 132 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

---

- (b) If the civic address(es) change(s), the City Clerk is directed to insert the new civic address(es) for the Land, as follows:

---

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:

In Section F. Yards and Setbacks of Part 22 Multiple Residential 30 Zone is varied as follows:

- (a) the minimum rear yard setback (east) is reduced from 7.5 metres (25 ft.) to 7.1 metres (23 ft.) for Building 4, and to 3.0 metres (10 ft.) for Building 5;
- (b) the minimum side yard setback (south) is reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.), and to 4.0 metres (13 ft.) for not more than 4.0 metres (13 ft.) of horizontal length along any exterior wall per dwelling unit, for Buildings 5 and 6;
- (c) the minimum front yard setback (west) is reduced from 7.5 metres (25 ft.) to 5.2 metres (17 ft.) for Building 6, and to 4.5 metres (15 ft.) for Buildings 7 and 8; and
- (d) the minimum side yard setback (north) is reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) for Building 8.
5. The landscaping and the siting of buildings and structures shall be in accordance with the drawings labelled Schedule A (the "Drawings") which are attached hereto and form part of this development variance permit.



6. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
7. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
8. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
9. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
10. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE      DAY OF      , 20 .  
ISSUED THIS      DAY OF      , 20 .

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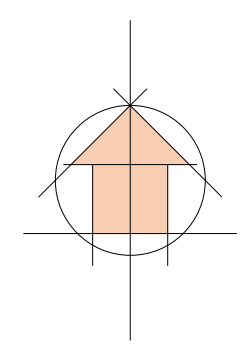
Mayor – Linda Hepner

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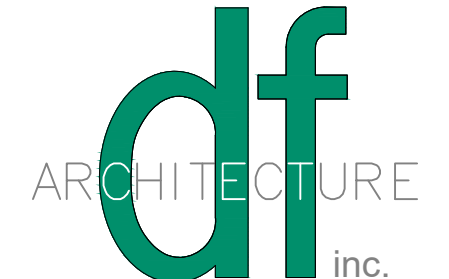
City Clerk – Jane Sullivan

# Schedule A

NOTES:



REVISION	DATE	DESCRIPTION
1	2016/08/10	PRELIMINARY SITE LAYOUT
2	2016/08/29	PRELIMINARY SITE LAYOUT
3	2017/01/04	REVISED AS PER CITY COMMENTS
4	2017/12/07	REZONING & S/P APPLICATION
5	2018/02/13	REVISIONS AS PER DRG COMMENTS
6	2018/06/04	REVISIONS AS PER CITY COMMENTS
7	2018/07/16	REVISIONS AS PER CITY COMMENTS



1205-4871 SHELL ROAD  
RICHMOND, BRITISH COLUMBIA  
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PROJECT:  
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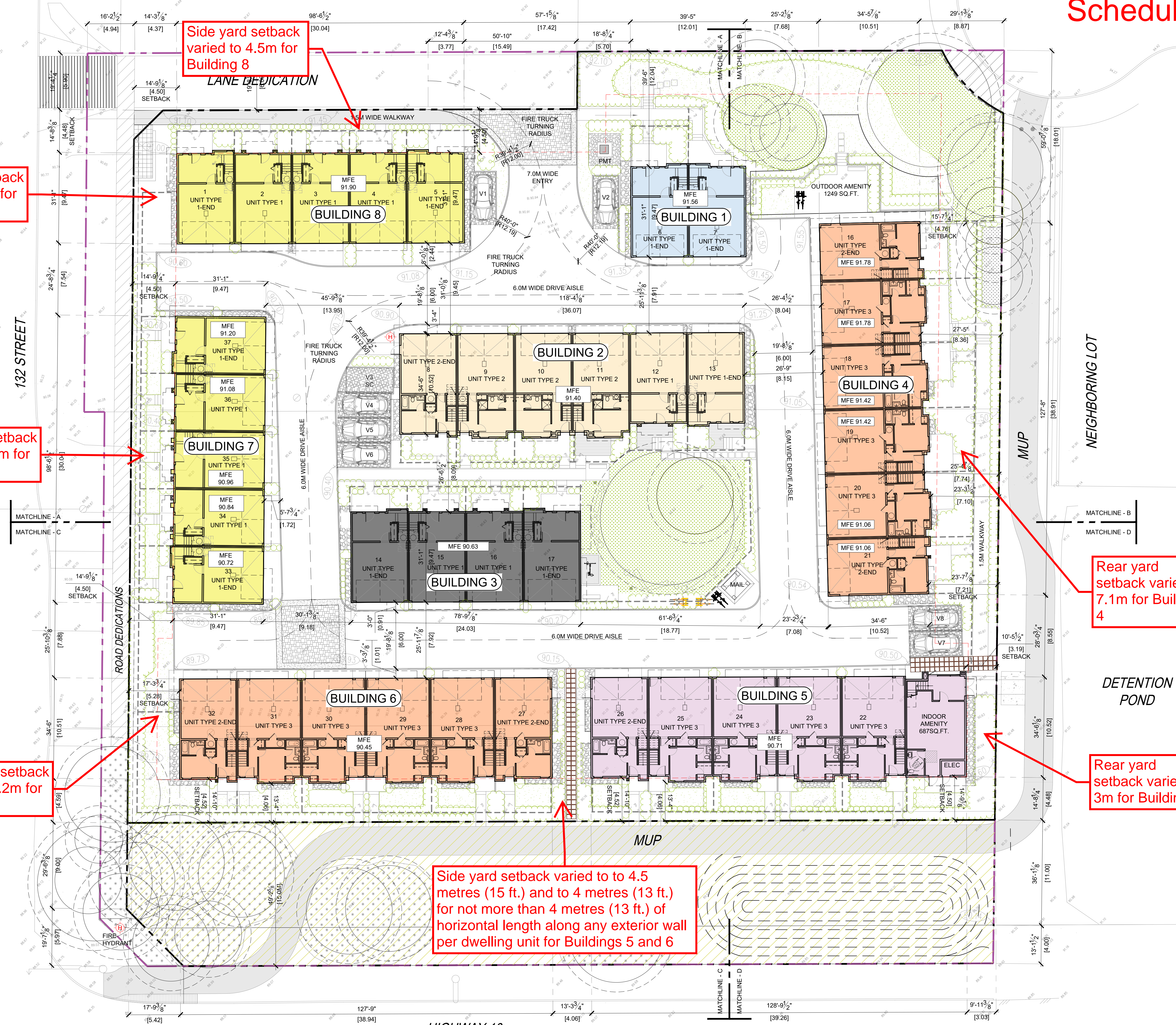
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**METROVAN CUSTOM HOMES**  
1205 - 22091 FRASERWOOD WAY,  
RICHMOND, BC

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DRAWN:	ZB
CHECKED:	JA
SCALE:	1/16" = 1'-0"
JOB No.:	SUR-050
DATE:	AUG 2016
SHEET TITLE:	

## SITE PLAN

DRAWING NO.:  
**A-101** **G**



Side yard setback varied to 4.5m for Building 8

Front yard setback varied to 4.5m for Building 8

Front yard setback varied to 4.5m for Building 7

Rear yard setback varied to 7.1m for Building 4

Rear yard setback varied to 3m for Building 5

Side yard setback varied to 4.5 metres (15 ft.) and to 4 metres (13 ft.) for not more than 4 metres (13 ft.) of horizontal length along any exterior wall per dwelling unit for Buildings 5 and 6

Front yard setback varied to 5.2m for Building 6