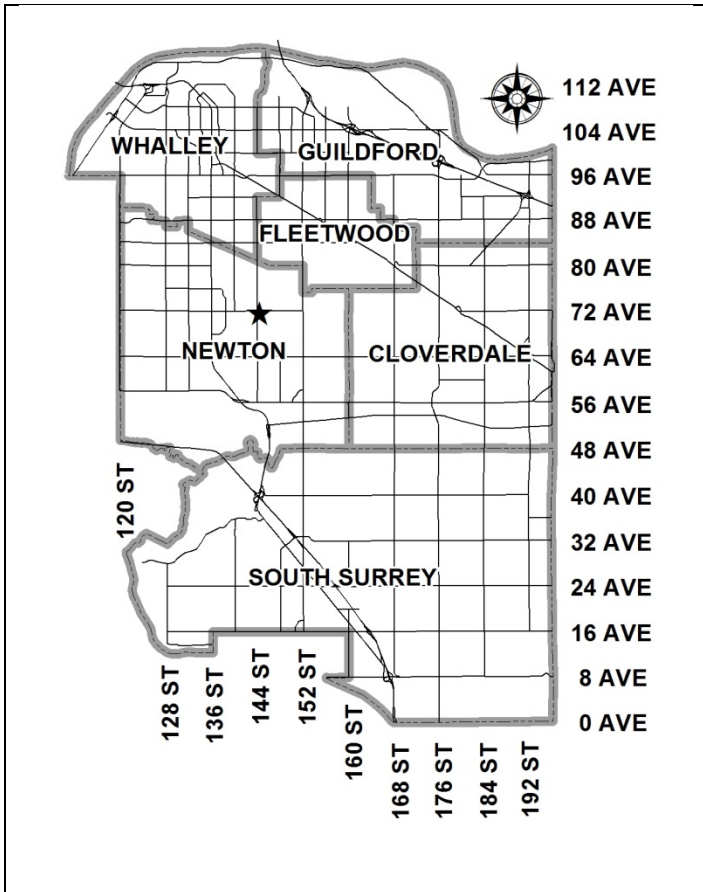


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0596-00

Planning Report Date: July 23, 2018



PROPOSAL:

- **OCF Amendment** from Urban to Multiple Residential
- **NCP Amendment** from Townhouse (15 upa) to new land use designation Mixed-Use Commercial/Residential
- **Rezoning** from RA to CD (based on C-5 and RM-70)
- **Development Permit**

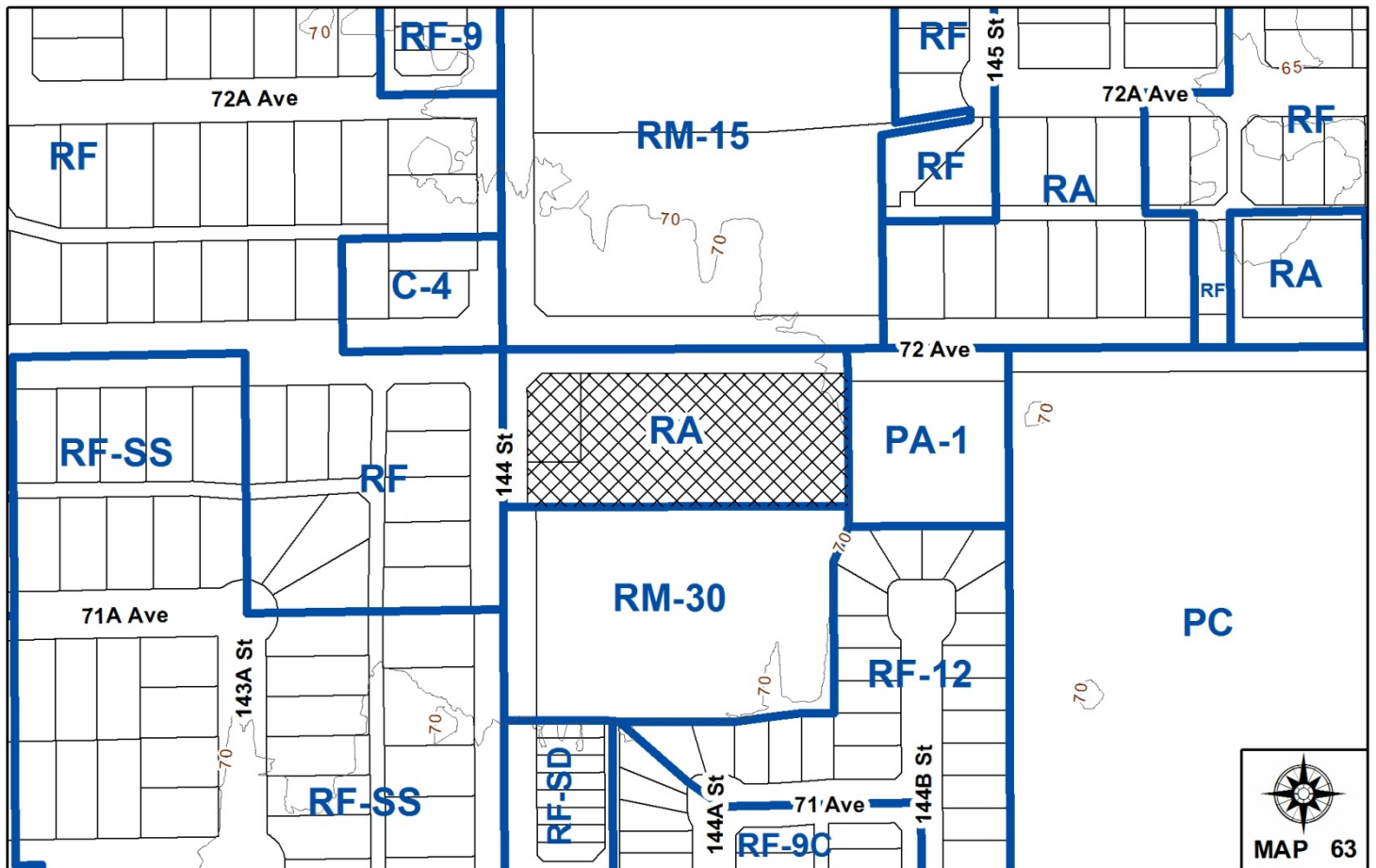
to permit a mixed-use commercial/residential development with 90 residential units and commercial and office uses.

LOCATION: 14418 - 72 Avenue
 14462 - 72 Avenue

ZONING: RA

OCF DESIGNATION: Urban

NCP DESIGNATION: Townhouse (max 15 upa)



RECOMMENDATION SUMMARY

- File Rezoning By-law No. 19260.
- By-law Introduction and set date for Public Hearing for:
 - OCP Amendment; and
 - Rezoning.
- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing an OCP amendment to re-designate the site from "Urban" to "Multiple Residential", and to introduce a new land use designation: "Mixed-Use Commercial/Residential" in the East Newton South NCP and an amendment to re-designate the site from "Townhouses (15 upa max)" to "Mixed-Use Commercial/Residential".

RATIONALE OF RECOMMENDATION

- This area of Newton is predominated by single family homes and townhouses. The proposed development will increase housing diversity in the neighbourhood, and provide a new housing type (apartments) which will accommodate a range of household types throughout their lifecycle.
- The proposal will allow for some local serving commercial within the neighbourhood.
- The proposed development is located at the intersection of 144 Street and 72 Avenue, two busy arterial roads. There is transit service along both of these roads, including frequent bus service to the Newton Town Centre, which is less than a 5 minute bus ride from the subject site.
- The proposed building design and site layout is street-oriented and pedestrian-friendly, with small commercial shops designed to appeal to both pedestrian and vehicular customers. The architectural design of the building will add some interest and variation to the streetscape on 72 Avenue and 144 Street.
- The applicant has conducted consultation with the surrounding neighbourhood, including a Public Information Meeting and meetings with the most directly affected neighbours to the north, south and east. Staff are of the view that the applicant has demonstrated sufficient community support to allow this proposal to proceed to Public Hearing.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council file By-law No. 19260 and close Land Development Project No. 7916-0214-00 and all applications associated with this project.
2. A By-law be introduced to amend the OCP by redesignating the subject site in Development Application No. 7917-0596-00 from Urban to Multiple Residential and a date for Public Hearing be set.
3. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
4. A By-law be introduced to rezone the subject site from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
5. Council authorize staff to draft Development Permit No. 7917-0596-00 generally in accordance with the attached drawings (Appendix II).
6. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
 - (c) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (d) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (e) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (f) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (g) submission of an acoustical report for the units adjacent to 72 Avenue and 144 Street and registration of a Section 219 Restrictive Covenant to ensure implementation of noise mitigation measures;
 - (h) registration of a Section 219 Restrictive Covenant to adequately address the City's needs with respect to public art, to the satisfaction of the General Manager Parks, Recreation and Culture;

- (i) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and
 - (j) provision of a community benefit to satisfy the OCP Amendment policy for OCP Amendment applications.
7. Council pass a resolution to introduce a new land use designation: "Mixed-Use Commercial/Residential" in the East Newton South NCP and to amend the NCP to redesignate the subject site from "Townhouses (15 upa max)" to "Mixed-Use Commercial/Residential" when the project is considered for final adoption.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

School District: **Projected number of students from this development:**

5 Elementary students at Georges Vanier Elementary School
 5 Secondary students at Frank Hurt Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by late 2019.

Parks, Recreation & Culture: No concerns.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Vacant 0.73 hectare (1.79 acre) site

Adjacent Area:

Direction	Existing Use	NCP Designation	Existing Zone
North (Across 72 Avenue):	Townhouses	Proposed Multiple Residential (Townhouse)	RM-15

Direction	Existing Use	NCP Designation	Existing Zone
East:	Church buildings	Institutional	PA-1
South:	Townhouses	Medium to High Density Townhouses (max. 30 upa)	RM-30
West (Across 144 Street):	Single family dwellings	Urban (OCP)	RF

JUSTIFICATION FOR PLAN AMENDMENT

- The East Newton South NCP was approved by Council in December 1997, making the plan over 20 years old. The NCP does not reflect current conditions or development trends.
- This area of Newton is predominated by single family homes and townhouses. The proposed development will increase housing diversity in the neighbourhood, and provide a new housing type (apartments) which will accommodate a range of household types throughout their lifecycle.
- The proposal will allow for some local serving commercial within the neighbourhood. There is currently very limited local serving commercial within walking distance of the proposed development site. The closest alternative local and neighbourhood commercial areas are 1.6 kilometers to the east (at 152 Street) and 1.2 kilometers to the west (Newton Town Centre). There was a small grocery store at the northwest corner of 144 Street and 72 Avenue, but this store has closed.
- The proposed development is located at the intersection of 144 Street and 72 Avenue, two busy arterial roads. There is transit service along both of these roads. There is frequent bus service to the Newton Town Centre, which is less than a 5 minute bus ride from the site.
- The proposed building design and site layout is street-oriented and pedestrian-friendly, with small commercial shops designed to appeal to both pedestrian and vehicular customers. The architectural design of the building will add interest and variation to the streetscape on 72 Avenue and 144 Street.
- The applicant has conducted consultation with the surrounding neighbourhood, including a Public Information Meeting and meetings with the most directly affected neighbours to the north, south and east. The applicant has been able to demonstrate that there is community support for the proposal.
- The applicant has committed to providing a community benefit to the City on a per unit basis, in the amount of \$4,500 per unit, for a total contribution of \$405,000.

DEVELOPMENT CONSIDERATIONS

Background and Proposal

- The 0.73-hectare (1.79-acre) subject site is located at the southeast corner of 144 Street and 72 Avenue in East Newton South.
- The subject site is designated Urban in the Official Community Plan (OCP), zoned "One-Acre Residential Zone (RA)", and designated "Townhouses (15 upa max)" in the East Newton South NCP.
- In May 2016, an application was made by the same applicant to amend the NCP to "Mixed-Use Commercial/Residential", rezone from RA to CD (based on C-5 and RM-30), and for a Development Permit to permit a mixed-use development with eight (8) residential units above 2,233 square metres (24,044 sq. ft.) of neighbourhood commercial floor space. A Planning Report was forwarded to Council on this proposal on May 8, 2017. Council granted First and Second readings to Rezoning By-law No. 19260 at this meeting. Third Reading was granted after the Public Hearing on May 29, 2017.
- In December 2017, the applicant made an application for a revised proposal which includes the following:
 - an amendment to the OCP to amend the land use designation from "Urban" to "Multiple Residential";
 - an amendment to the East Newton South NCP to introduce a new land use designation: "Mixed-Use Commercial/Residential", and to amend the designation on the subject site from "Townhouses (15 upa max)" to "Mixed-Use Commercial/Residential";
 - rezoning from "One-Acre Residential Zone (RA)" to "Comprehensive Development Zone (CD)" (based on "Neighbourhood Commercial Zone (C-5)" and "Multiple Residential 70 Zone (RM-70)"); and
 - a Development Permit to permit the development of two (2) 5-storey mixed-use buildings. The commercial component includes 18 commercial retail units (CRU's) with a total floor area of 2,178 square metres (23,447 sq. ft.), and the residential component includes 90 residential units.
- If Council introduces the necessary bylaws to facilitate the revised proposal under Development Application No. 7917-0596-00, By-law No. 19260 must be filed and Development Application No. 7916-0214-00 must be closed.
- The development proposes a maximum Floor Area Ratio (FAR) of 1.5, which is consistent with the maximum 1.5 FAR permitted for Multiple Residential designated sites within the OCP and the maximum density permitted under the proposed CD By-law.

Proposed CD Zone

- The Zoning By-law does not have a classification for a mixed-use development of the size and scope that is being proposed; therefore rezoning to a Comprehensive Development (CD) Zone is required.
- The proposed CD By-law (Appendix IX) is based on the Neighbourhood Commercial Zone (C-5) and the Multiple Residential (70) Zone (RM-70). A comparison of the key criteria of the C-5 Zone, the RM-70 Zone, and the proposed CD Zone is outlined in the table below.

	C-5	RM-70	CD Zone	
FAR	0.50	1.5	1.5	
Lot Coverage	50%	33%	45%	
Building Height	9 metres (30 ft.)	50 m (164 ft.)	18.3 m (60 ft.)	
Setbacks	7.5 metres (25 ft.)	7.5 metres (25 ft.)	South West North East	24 m/79 ft. 4.5 m/15 ft. 4 m/13 ft. 9 m/30 ft.
Permitted Uses	<p>Retail stores excluding adult entertainment stores, auction houses, secondhand stores and pawnshops.</p> <p>Personal service uses limited to barbershops, beauty parlours, cleaning and repair of clothing and shoe repair shops.</p> <p>Eating establishments excluding drive-through restaurants.</p> <p>Neighbourhood pub.</p> <p>Office uses excluding social escort services and methadone clinics.</p> <p>General service uses excluding funeral parlours, drive-through banks and vehicle rentals.</p> <p>Indoor recreational facilities.</p> <p>Community services.</p> <p>Child Care Centres.</p>	<p>Multiple Unit Residential Buildings and Ground-Oriented Multiple Unit Residential Buildings.</p> <p>Child Care Centres.</p>	<p>Retail stores excluding adult entertainment stores, auction houses, secondhand stores and pawnshops.</p> <p>Personal service uses limited to barbershops, beauty parlours, cleaning and repair of clothing and shoe repair shops.</p> <p>Eating establishments excluding drive-through restaurants, restricted to a maximum of 150 square metres (1,615 sq. ft.) per establishment.</p> <p>Office uses excluding social escort services and methadone clinics.</p> <p>General service uses excluding funeral parlours, drive-through banks and vehicle rentals.</p> <p>Indoor recreational facilities.</p> <p>Community services.</p>	

- The commercial uses permitted in the development are drawn directly from the C-5 Zone. They are the same as they were in the previous proposal under Development Application No. 7916-0214-00. Neighbourhood pubs will not be permitted because of the location of the site and the neighbourhood character. The CD By-law does preserve the opportunity for a Food Primary licensed establishment in conjunction with an eating establishment.
- The applicant was asked to make the necessary provisions for outdoor play and other necessary requirements if a child care centre was contemplated for the site. The applicant responded that a child care centre would not be accommodated on the site. Therefore this use has been removed from the CD By-law to avoid any confusion in the future, with a use that is permitted in the zone but not accommodated for in the site layout.
- The CD By-law restricts the size of any eating establishment on the site to 150 square metres (1,615 sq. ft.). The proposed development does not have enough parking to accommodate an eating establishment larger than 150 square metres (1,615 sq. ft.), which would require a higher parking ratio.
- The proposed FAR is consistent with the RM-70 Zone. This is the maximum permitted FAR allowed under the Multiple Residential designation in the OCP for properties that are not within an Urban Centre or Frequent Transit Development Area.
- The proposed lot coverage and building height are more comparable with the RM-45 Zone which allows lot coverage of 45% and a building height of 15 metres (50 ft.). The 45% lot coverage is appropriate for the proposed 5-storey building form.
- The west (144 Street) setback is proposed to be reduced from 7.5 metres (25 ft.) to 4.5 metres (15 ft.) and the north (72 Avenue) setback is proposed to be reduced from 7.5 metres (25 ft.) to 4 metres (13 ft.). The proposed street setbacks allow for a more street-oriented neighbourhood commercial development, consistent with the design guidelines in the OCP and the East Newton South NCP. Conversely, the south setback is proposed to be 24 metres (79 ft.) to provide separation from the existing townhouse complex to the south.

PRE-NOTIFICATION

Following submission of the development application, pre-notification letters were sent on April 27, 2018 to 281 properties within 100 metres (328 ft.) of the subject site, including the Sullivan Amateur Athletic and Community Association and the Newton Community Association. Since the initial pre-notification letter did not address the proposed OCP amendment, a revised pre-notification letter was mailed on June 11, 2018. In response, staff have received two (2) emails and two (2) phone calls.

- One (1) respondent expressed concerns regarding parking problems in the area, and requested that sufficient parking be provided if the proposal was to be considered.

(The applicant is proposing to satisfy the parking requirements in the Zoning By-law for the proposed development. This includes 3 parking stalls per 100 square metres (1,000 sq. m) of floor space for the commercial component of the development, 1.5 parking spaces per residential dwelling unit with 2 or more bedrooms, and 1.3 parking spaces per dwelling unit with 1 or less bedrooms. The total number of parking stalls proposed on-site is 204, which exceeds the By-law requirement by 1 stall.)

- Two (2) respondent indicated a concern that the proposed density is too high and out of context with the existing neighbourhood character.
- One (1) respondent indicated opposition to locating commercial at this location, in a residential neighbourhood. The respondent also expressed concern regarding increased traffic.

(Some local-serving neighbourhood commercial will assist in making the neighbourhood more walkable, and assist in providing some accessible local commercial to neighbourhood residents. Through the consultation process, it was found that the majority of those consulted were supportive of the introduction of some local commercial in the neighbourhood.

With regard to traffic, Transportation Engineering has not expressed any concerns regarding increased traffic at this location. The site is located along two (2) arterial roads, with bus transit along both roads.)

- One (1) respondent indicated a concern regarding squatters on the property.

(This is an ongoing issue. The RCMP has been contacted. The owner of the property has requested that trespassers vacate the property on multiple occasions. They are currently installing a fence on the property lines to restrict access. Developing the site would assist in resolving this problem.)

Additional Public Consultation

- The applicant retained the Arlington Group to conduct public consultation with the surrounding neighbourhood residents. Arlington Group also conducted public consultation for the previous proposal under Development Application No. 7916-0214-00.
- A Public Information Meeting (PIM) was held on May 23, 2018 to provide information to the community about the proposed development and to obtain community feedback. The meeting was held at the Punjabi Masihi Church, which is located immediately east of the subject site at 14474 72 Avenue.
- Eight (8) members of the community were present at the meeting, including two (2) staff members of the hosting church, which were not included on the sign-in sheet.

- Comment sheets were provided at the PIM. Four (4) attendees completed questionnaires and returned them at the event. All respondents indicated that they supported a mixed-use development for the subject site. Three (3) respondents commented that they supported the architectural design of the project. One (1) respondent indicated that they did not feel a five-storey building fits with the single-family and townhouse character of the neighbourhood.
- Additional comment sheets were received from 57 community members in the surrounding neighbourhood after the PIM. All of the respondents indicated support for the mixed-use project and proposed architectural design.
- The applicant's consultant, Arlington Group, also consulted with each of the most affected neighbouring properties, including the Punjabi Masihi Church to the east (14474 72 Avenue), the Sequoia Green Strata to the north (14453 72 Avenue), and the ZAAAN Strata Council to the south (7156 144 Street).
 - A meeting was held with a representative from the church (14474 72 Avenue) on April 19, 2018. The representative stated that he is supportive of the development and hopes to see commercial uses that are compatible with the neighbouring community.
 - A meeting with the Zaan Strata Council (7156 144 Street) was held on June 3, 2018. Strata members supported the commercial uses proposed, and indicated support for the proposed landscaping (cedar hedge) along their shared property line. A preference was indicated for the previously proposed 2-storey concept under Development Application No. 7916-0214-00. Concern was expressed regarding the building height and increased traffic.
 - The applicant's consultant was invited to attend the Sequoia Green Strata's (14453 72 Avenue) Annual General Meeting (AGM) on July 4, 2018, and to present information about the proposed development at the meeting. Those in attendance at the AGM indicated support for the proposed commercial uses, and did not object to the building design, height, density, landscaping or mixed-use concept.

PUBLIC CONSULTATION PROCESS FOR OCP AMENDMENT

Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

DESIGN PROPOSAL AND REVIEW

Site Layout and Building Design

- The proposal is for a mixed-use commercial/residential development consisting of two (2) 5-storey buildings above one (1) level of underground parking to serve the residential units. There are 18 Commercial Retail Units (CRU's) and 90 residential apartment units proposed (Appendix II).

- The proposed buildings are designed to front 72 Avenue. The buildings are designed to create an urban character and modern façade feature at the 72 Avenue and 144 Street intersection, and to provide a pedestrian-friendly street interface, while providing significant setback from the south property line to minimize impact to the adjacent townhouse owners to the south.
- The entrance lobbies for residential units in each building is accentuated with steel columns and curtain wall to differentiate it from the CRU entrances along 72 Avenue.
- The proposal is designed to be street-oriented and pedestrian-friendly, with a split commercial sidewalk providing street access to individual CRUs, and benches and ornamental street lighting along the street frontages.
- The building massing attempts to balance and minimize the impact of the 5-storey building by recessing the fifth floor to reduce the appeared massing from the street and by utilizing a light coloured roof. The architectural style is modern contemporary.
- Materials for the proposed development include brick and hardie with aluminum storefront windows and doors.
- An acoustical report is required for the residential units facing 144 Street and 72 Avenue, and recommendations concerning noise mitigation measures from the report will be incorporated on the drawings before issuance of the Development Permit.

Landscaping

- Landscaping is provided along all property lines.
- A 5-metre (16 ft.) landscape buffer is proposed along the south property line, to be planted with a variety of trees, shrubs and groundcover.
- Six (6) Douglas Fir trees are proposed to be retained along the south property line, within the proposed buffer.
- The proposed landscaping includes a variety of trees and plants, as well as a variety of ground cover, grass and perennials.

Amenity Space

- The Zoning By-law requires 270 square metres (2,906 sq. ft.) of both indoor and outdoor amenity space for this project, based on 3 square metres (32 sq. ft.) per dwelling unit. Both the indoor and outdoor amenity space is provided on the fifth floors of the buildings.
- 494 square metres (5,315 sq. ft.) of outdoor amenity space is provided on the fifth floors of both buildings, with 232 square metres (2,496 sq. ft.) in Building 1 and 262 square metres (2,820 sq. ft.) in Building 2. The outdoor amenity on Building 1 includes outdoor furniture, planters and community garden beds. The outdoor amenity on Building 2 includes an outdoor play area, outdoor furniture, and a barbecue with natural gas hook-up.

- 270 square metres (2,906 sq. ft.) of indoor amenity space is provided on the fifth floors of both buildings, including 159 square metres (1,712 sq. ft.) in Building 1 and 111 square metres (1,194 sq. ft.) in Building 2. The indoor amenity space includes a party room in each building as well as a gymnasium in Building 1. The indoor amenity space is directly adjacent to and connects with the outdoor amenity space in each building.

Access and Parking

- The site contains two (2) vehicular access points, one on 144 Street and another on 72 Avenue, between proposed Buildings 1 and 2. Both of these accesses are for right-in and right-out access only.
- 67 parking spaces are provided at-grade, at the rear of the site. This includes 61 parking spaces for the commercial component, and 6 visitor parking spaces for the residential component of the development. Two (2) accessible parking spaces are proposed at grade.
- 137 parking spaces are provided in the underground parkade. 125 spaces are for the residential units and 12 spaces are for visitor parking. Three (3) of these spaces are accessible parking spaces.
- In total, 204 parking spaces are provided for the development, which exceeds the By-law requirement by one (1) parking space.
- 132 bicycle parking lockers are proposed in the underground parkade for the residential component of the development. This exceeds the By-law requirement of 114 bicycle parking spaces. Bike racks are also proposed along 72 Street, to provide bicycle parking to service the commercial component of the development.

TREES

- Vanessa Melney, ISA Certified Arborist of Mike Fadum and Associates prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder and Cottonwood	49	49	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry	6	6	0
Bigleaf Maple	1	0	1
Plum	1	1	0
Coniferous Trees			
Douglas Fir	20	14	6
Falsecypress	1	1	0
Sitka Spruce	1	1	0

Tree Species	Existing	Remove	Retain
Total (excluding Alder and Cottonwood Trees)	30	23	7
Total Replacement Trees Proposed (excluding Boulevard Street Trees)			
		51	
Total Retained and Replacement Trees			
		58	
Contribution to the Green City Fund			
		\$17,600	

- The Arborist Assessment states that there are a total of 30 protected trees on the site, excluding Alder and Cottonwood trees. 49 existing trees, approximately 62% of the total trees on the site, are Alder and Cottonwood trees. It was determined that 7 trees can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 95 replacement trees on the site. Since only 51 replacement trees can be accommodated on the site, the deficit of 44 replacement trees will require a cash-in-lieu payment of \$17,600, representing \$400 per tree, to the Green City Fund, in accordance with the City’s Tree Protection By-law.
- In addition to the replacement trees, boulevard street trees will be planted on 72 Avenue and 144 Street. This will be determined by the Engineering Department during the servicing design review process.
- In summary, a total of 58 trees are proposed to be retained or replaced on the site with a contribution of \$17,600 to the Green City Fund.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on December 19, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The subject property is located in the East Newton South NCP.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The development proposes a mix of residential and commercial uses. • The residential component of the development proposes a mix of studio, 1, 2 and 3 bedroom unit types to provide a range of housing options.

Sustainability Criteria	Sustainable Development Features Summary
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The proposed development incorporates rain water management design considerations, including absorbent soils, natural landscaping, and permeable pavement/surfaces. • The applicant proposes to retain 7 on site trees and plant 51 replacement trees. • Recycling and organic waste pickup will be made available.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Bike parking is provided. • The site is within close proximity to transit (bus service) on 72 Avenue and 144 Street.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • The design of the site incorporates CPTED principles in the following ways: <ul style="list-style-type: none"> ○ Shrub planting heights kept below the eye level; ○ Lower branches of trees kept up above eye level; ○ Site lighting & open sightlines for pedestrian pathways; ○ Open sightlines into commercial unit; residential lobby, etc.; ○ All parking & pedestrian areas are well lit with street lighting; and ○ Lights provided along all building faces
6. Green Certification (F1)	<ul style="list-style-type: none"> • No green certification is being sought.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • The applicant conducted a pre-consultation process with neighbouring townhouse developments and the adjacent Punjabi Masihi Church.

ADVISORY DESIGN PANEL

- The Advisory Design Panel (ADP) considered the subject application at the June 21, 2018 ADP meeting. The ADP was supportive of the design of the proposed development with some modifications, to be addressed to the satisfaction of the Planning & Development Department.
- The applicant's response and commitment to address the ADP comments are outlined in Appendix VI.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary (Confidential) and Project Data Sheets
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	School District Comments
Appendix V.	Summary of Tree Survey and Tree Preservation and Tree Plans
Appendix VI.	ADP Comments and Applicant's Response
Appendix VII.	NCP Plan
Appendix VIII.	OCP Redesignation Map
Appendix IX.	Proposed CD By-law

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

HK/cm

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Proposed Zoning: CD (based on C-5 and RM-70)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		7,258 m ²
Road Widening area		896 m ²
Undevelopable area		
Net Total		6,362 m ²
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		36.9%
Paved & Hard Surfaced Areas		63.1%
Total Site Coverage		
SETBACKS (in metres)		
Front (West)		4.5 m
Rear (East)		9.2 m
Side (South)		24.0 m
Side (North)		4.0 m
BUILDING HEIGHT (in metres/storeys)		
Principal		18.3 m
Accessory		4.0 m
NUMBER OF RESIDENTIAL UNITS		
Bachelor		2
One Bed		55
Two Bedroom		28
Three Bedroom +		5
Total		90
FLOOR AREA: Residential		7,347.25 m ²
FLOOR AREA: Commercial		
Retail		2,178.25 m ²
Office		
Total		
FLOOR AREA: Industrial		
FLOOR AREA: Institutional		
TOTAL BUILDING FLOOR AREA		9,525.5 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		124 uph/50.18 upa
# of units/ha /# units/acre (net)		141.5 uph/57 upa
FAR (gross)		
FAR (net)	1.5	1.49
AMENITY SPACE (area in square metres)		
Indoor	270 m ²	270 m ²
Outdoor	270 m ²	494 m ²
PARKING (number of stalls)		
Commercial	61	61
Industrial		
Residential Bachelor + 1 Bedroom	74.1	74
2-Bed	42	42
3-Bed	7.5	8
Residential Visitors	18	18
Institutional		
Total Number of Parking Spaces	202.6	204
Number of accessible stalls		4
Number of small cars		12
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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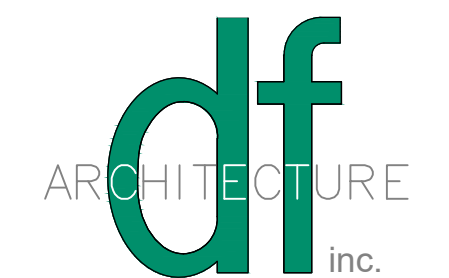
PROPOSED MIX-USE DEVELOPMENT

14418 & 14462 72 AVENUE, SURREY, BC

NOTES:



REVISION	DATE	DESCRIPTION
H		
G		
F		
E		
D	2018/07/12	REVISED AS PER ADP COMMENTS
C	2018/06/11	ADP SUBMISSION
B	2018/04/17	REVISED AS PER CITY COMMENTS
A	2017/12/18	REZONING & DP SUBMISSION



1205-4871 SHELL ROAD
RICHMOND, BRITISH COLUMBIA
CANADA V6X 3Z6
T (804)284-5194 F (804)284-5131
info@dfarchitecture.ca

PROJECT:
**MIX-USE DEVELOPMENT
14418 & 14462 -72 AVENUE
SURREY BC**

CLIENT:
**AMSON CENTRE
14462 72 AVE.
SURREY, BC**

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CHECKED:	JESSIE
SCALE:	N.T.S.
JOB No.:	SUR - 018
DATE:	DEC 2017
SHEET TITLE:	

COVER PAGE

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PROJECT INFO

CIVIC ADDRESS

14418-14462 72 AVENUE,
SURREY, BC

LEGAL ADDRESS

LOT E SECTION 15 TWP 2 PLAN 14534 NWD
LOT D SECTION 15 TWP 2 PLAN 14534 NWD EXCEPT
PLAN B/L PL 79820

APPLICANTS:

AMSON CENTRE 72 LTD.
14462 72 AVE.
SURREY, B.C.

EXISTING ZONE : RA
PROPOSED ZONE : CD

SITE
GROSS SITE AREA : 78,125 SQ.FT. (7,258 SQ.MT.) (0.72 HECTARE)
DEDICATIONS : 9,641 SQ.FT. (896 SQ.MT.) (0.089 HECTARE)
NET SITE AREA : 68,484 SQ.FT.(6,362 SQ.MT.) (0.63 HECTARE)

ARCHITECTURAL

A-001	COVER PAGE
A-002	SITE CONTEXT
A-100	SITE PLAN
A-101	DEVELOPMENT DATA
A-200 TO A-206	FLOOR PLANS
A-221 TO A-228	UNIT LAYOUTS
A-300 TO A-304	ELEVATIONS
A-310 TO A1-315	RENDERINGS
A-305	MATERIAL BOARD
A-401 TO A-402	SECTIONS
A-500	STREETSCAPES
A-501	SHADOW ANALYSIS

PROJECT DIRECTORY

CLIENT:
AMSON
14462 72 AVE, SURREY, BC
CONTACT: AMRIK SAHOTA
T 604 782 3040
AMRIK.SAHOTA@HOTMAIL.COM

ARCHITECTS:
DF ARCHITECTURE INC.
1205-4871 SHELL ROAD,
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jessie@dfarchitecture.ca info@dfarchitecture.ca

LANDSCAPE ARCHITECT:
PMG LANDSCAPE ARCHITECTS
C100 – 4185 STILL CREEK DRIVE
BURNABY, BC, V5C 6G9
CONTACT: MARY CHAN
T 604 294 0011
office@pmglandscape.com

CIVIL ENGINEER
HUB ENGINEERING INC.
#212 -12992-76 Avenue,
SURREY, BC, V3W 2V6
CONTACT: ANTHONY TRIEMSTRA
T 604 572 4328
mat@hub-inc.com

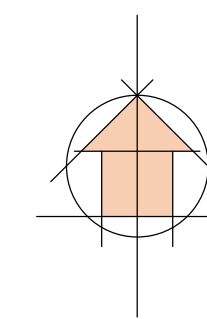
ARBORIST:
MIKE FADUM & ASSOCIATES LTD.
#105 8277 - 129 STREET,
SURREY, B.C. V3W 0A6
CONTACT: MIKE FADUM
T 778 593 0300
OFFICE@FADUM.COM

SURVEYOR
CAMERON LAND SURVEYING LTD.
B.C. LAND SURVEYORS,
UNIT-206-16055 FRASER HWY.
SURREY, B.C. V4N0G2
T 604 597 3777



1 SITE CONTEXT
SCALE- N.T.S.

NOTES:



REVISION	DATE	DESCRIPTION
A	2017/12/18	REZONING & DP SUBMISSION
B	2018/04/17	REVISED AS PER CITY COMMENTS
C	2018/06/11	ADP SUBMISSION
D	2018/07/12	REVISED AS PER ADP COMMENTS
E		
F		
G		
H		



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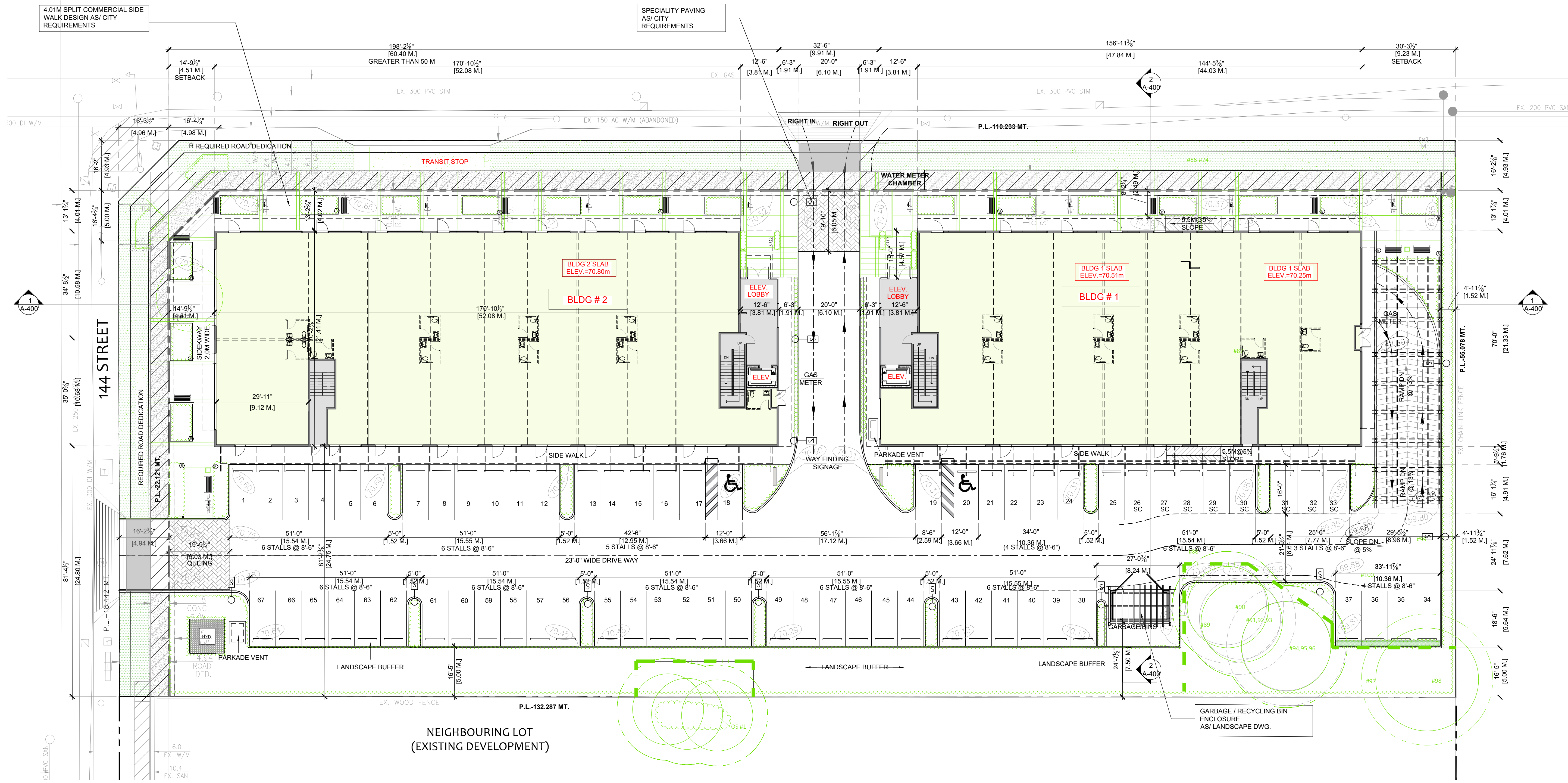
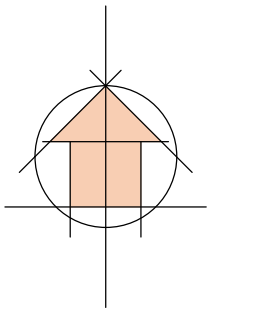
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SCALE:	--
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DATE:	JUL 2016
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SITE CONTEXT

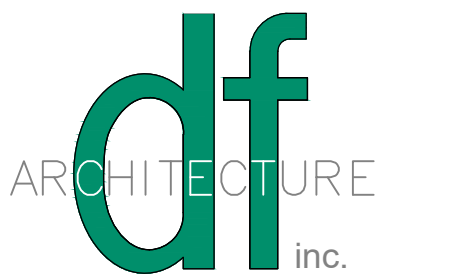
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NOTES:



1 SITE LAYOUT
SCALE: 1/16"=1'-0"

REVISION	DATE	DESCRIPTION
H		
G		
F		
E		
2018/07/12	D	REVISED AS PER ADP COMMENTS
2018/06/11	C	ADP SUBMISSION
2018/04/17	B	REVISED AS PER CITY COMMENTS
2017/12/18	A	REZONING & DP SUBMISSION



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SCALE:	1/16" = 1'-0"
JOB No.:	SUR-018
DATE:	DEC 17
SHEET TITLE:	

SITE PLAN

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DEVELOPMENT DATA

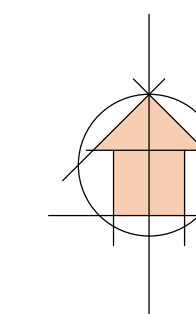
LEGAL DESCRIPTION				
LOT E SECTION 15 TWP 2 PLAN 14534 NWD				
LOT D SECTION 15 TWP 2 PLAN 14534 NWD EXCEPT PLAN				
B/L PL 79820				
CIVIC ADDRESS				
14418 & 14462-72 AVE.				
SURREY, BC				
ZONING INFORMATION				
ZONE				
EXISTING	RA			
PROPOSED	CD			
LOT AREA				
GROSS SITE AREA	78,125 Sq.Ft.	7,258 Sq.Mt.	1.79 ac	
DEDICATIONS AREA	9,641 Sq.Ft.	896 Sq.Mt.	0.22 ac	
NET SITE AREA	68,484 Sq.Ft.	6,362 Sq.Mt.	1.57 ac	0.64 ha
LOT DENSITY				
FAR (PROPOSED)	102,536SQ.FT./68,484 SQ.FT.		1.497	
	9,525.50/6,362 Sq.Mt.			
LOT COVERAGE				
PROPOSED	2,352/6,362 SQ.MT.		36.90%	
	25,319/68,484 SQ.FT.			
BUILDING HEIGHT				
PROPOSED	5 STOREY		18.26 Mt	
OUTDOOR AMENITY SPACE				
REQUIRED	32 SQ.FT. PER D.U.		2,880 SQ.FT.	
PROPOSED	(FIFTH FLOOR)		5315 SQ.FT.	
INDOOR AMENITY SPACE				
REQUIRED	32 SQ.FT. PER D.U.		2,880 SQ.FT.	
PROPOSED	(FIFTH FLOOR)		2,906 SQ.FT.	
SETBACK				
NORTH (FROM 72th AVENUE)	13 ft 2 in		4.00 Mt.	
SOUTH (NEIGHBOUR LOT)	81 ft 7 in		24.87 Mt.	
EAST (CHURCH SIDE)	30 ft 4 in		9.24 Mt.	
WEST (FROM 144th STREET)	14 ft 10 in		4.51 Mt.	
PARKING				
COMMERCIAL				
REQUIRED	3 STALLS PER 100 SM		2,023 SQ.M.x3/100	60.69 STALLS
PROVIDED				SAY 61 STALLS
	TOTAL ON GARDE			61 STALLS
RESIDENTIAL				
REQUIRED	1.5 PER D.U. WITH 2 OR MORE BED ROOMS		1.5x33 UNITS	49.5 STALLS
	1.3 PER D.U. WITH 1 OR LESS BED ROOMS		1.3x57 UNITS	74.1 STALLS
				123.6 STALLS
				SAY 124 STALLS
PROVIDED				
	AT U/G PARKADE			125 STALLS
VISITORS				
0.2 STALLS PER DWELLING UNIT	0.2x90 UNITS			18 STALLS
PROVIDED				
	TOTAL ON GARDE			6 STALLS
	TOTAL AT U/G PARKADE			12 STALLS
TOTAL PROVIDED				18 STALLS
TOTAL PARKING REQUIRED				
				203 STALLS
TOTAL PARKING PROVIDED				
				200 STALLS
H/C PARKING PROVIDED				4 STALLS
				204 STALLS
BICYCLE PARKING				
REQUIRED	RESIDENTIAL 6+1.2 STALLS PER D.U.		6+1.2x90	114 STALLS
PROVIDED				
IN U.G PARKADE				132 STALLS

COMMERCIAL COMPONENT (EXCLUDING CIRCULATION, RESIDENTIAL LOBBY)				
BLDG. TYPE	UNIT TYPE	NOS. OF UNIT PER LEVEL	TOTAL UNITS	AREA
BLDG.1 (LVL 1.)				
	CRU #1			1,768.00 Sq.Ft.
	CRU #2			1,400.00 Sq.Ft.
	CRU #3			1,120.00 Sq.Ft.
	CRU #4			980.00 Sq.Ft.
	CRU #5			980.00 Sq.Ft.
	CRU #6			1,166.50 Sq.Ft.
	CRU #7			1,150.45 Sq.Ft.
	CRU #8			1,400.00 Sq.Ft.
BLDG.2 (LVL 1.)				
	CRU #1			1,087.00 Sq.Ft.
	CRU #2			1,071.50 Sq.Ft.
	CRU #3			1,136.50 Sq.Ft.
	CRU #4			1,400.00 Sq.Ft.
	CRU #5			1,260.00 Sq.Ft.
	CRU #6			980.00 Sq.Ft.
	CRU #7			1,120.00 Sq.Ft.
	CRU #8			1,120.00 Sq.Ft.
	CRU #9			1,120.00 Sq.Ft.
	CRU #10			1,518.00 Sq.Ft.
TOTAL NO. OF CRU'S			18	21,777.95 Sq.Ft.
CIRCULATION + RESI.LOBBY (LVL 1.)				1,669.20 Sq.Ft.
TOTAL GROSS FLOOR AREA (LVL 1.)				23,447.15 Sq.Ft.

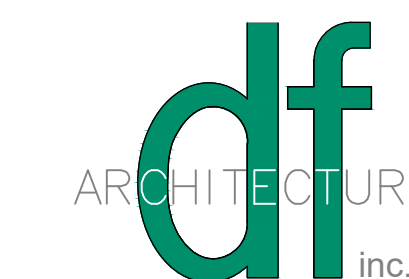
RESIDENTIAL UNITS (BLDG.1+ BLDG.2)								
UNIT	AREA	NO. OF UNITS					TOTAL UNITS	TOTAL AREA
		LEVEL 2	LEVEL 3	LEVEL 4	LEVEL 5			
TYPE - A	3 BEDROOM	1,093.50 SQ.FT	0	1	0	0	1	1,094 SQ.FT
TYPE - A1	3 BEDROOM	1,115.65 SQ.FT	1	0	0	0	1	1,116 SQ.FT
TYPE - A2	3 BEDROOM	1,093.50 SQ.FT	0	0	1	0	1	1,094 SQ.FT
TYPE - B	2 BEDROOM + 1 DEN	967.00 SQ.FT	1	0	0	0	1	967 SQ.FT
TYPE - C	2 BEDROOM + 1 DEN	939.70 SQ.FT	0	1	0	0	1	940 SQ.FT
TYPE - C1	2 BEDROOM + 1 DEN	964.80 SQ.FT	1	0	0	0	1	965 SQ.FT
TYPE - C2	2 BEDROOM + 1 DEN	939.70 SQ.FT	0	0	1	0	1	940 SQ.FT
TYPE - D	2 BEDROOMS	817.35 SQ.FT	1	0	0	0	1	817 SQ.FT
TYPE - E	1 BEDROOM + 1 DEN	686.60 SQ.FT	14	14	12	0	40	27,464 SQ.FT
TYPE - E1	1 BEDROOM + 1 DEN	691.20 SQ.FT	2	2	2	0	6	4,147 SQ.FT
TYPE - E2	1 BEDROOM + 1 DEN	686.60 SQ.FT	0	0	2	0	2	1,373 SQ.FT
TYPE - F	2 BEDROOMS + 1 DEN	974.00 SQ.FT	4	4	4	0	12	11,688 SQ.FT
TYPE - G	1 BEDROOM	541.50 SQ.FT	2	2	2	0	6	3,249 SQ.FT
TYPE - H	3 BEDROOMS	1,178.00 SQ.FT	0	1	0	0	1	1,178 SQ.FT
TYPE - H1	3 BEDROOMS	1,178.00 SQ.FT	0	0	1	0	1	1,178 SQ.FT
TYPE - I	2 BEDROOMS	847.70 SQ.FT	0	1	1	0	2	1,695 SQ.FT
TYPE - J	2 BEDROOMS	850.75 SQ.FT	0	0	0	5	5	4,254 SQ.FT
TYPE - J.1	2 BEDROOMS	846.45 SQ.FT	0	0	0	4	4	3,386 SQ.FT
TYPE - K	1BEDROOM+ 1 DEN	687.00 SQ.FT	0	0	0	1	1	687 SQ.FT
TYPE - STUDIO	STUDIO	418.45 SQ.FT	0	1	0	0	1	418 SQ.FT
TYPE - STUDIO 1	STUDIO	418.45 SQ.FT	0	0	1	0	1	418 SQ.FT
			26	27	27	10		
TOTAL AREA						90	69,067 Sq.Ft.	
CIRCULATION							10,022 Sq.Ft.	

FAR CALCULATIONS	
LEVEL	AREA
LEVEL 1	23,447.00 Sq.Ft.
LEVEL 2	22,411.00 Sq.Ft.
LEVEL 3	22,953.00 Sq.Ft.
LEVEL 4	22,953.00 Sq.Ft.
LEVEL 5	10,772.00 Sq.Ft.
TOTAL	102,536.00 Sq.Ft. 9,525.50SQ.MT.

NOTES:



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2018/07/12	D	REVISED AS PER ADP COMMENTS
2018/06/11	C	ADP SUBMISSION
2018/04/17	B	REVISED AS PER CITY COMMENTS
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PROJECT:
**MIX-USE DEVELOPMENT
14418 & 14462 -72 AVENUE
SURREY BC**

CLIENT:
**AMSON CENTRE
14462 72 AVE.
SURREY, BC**

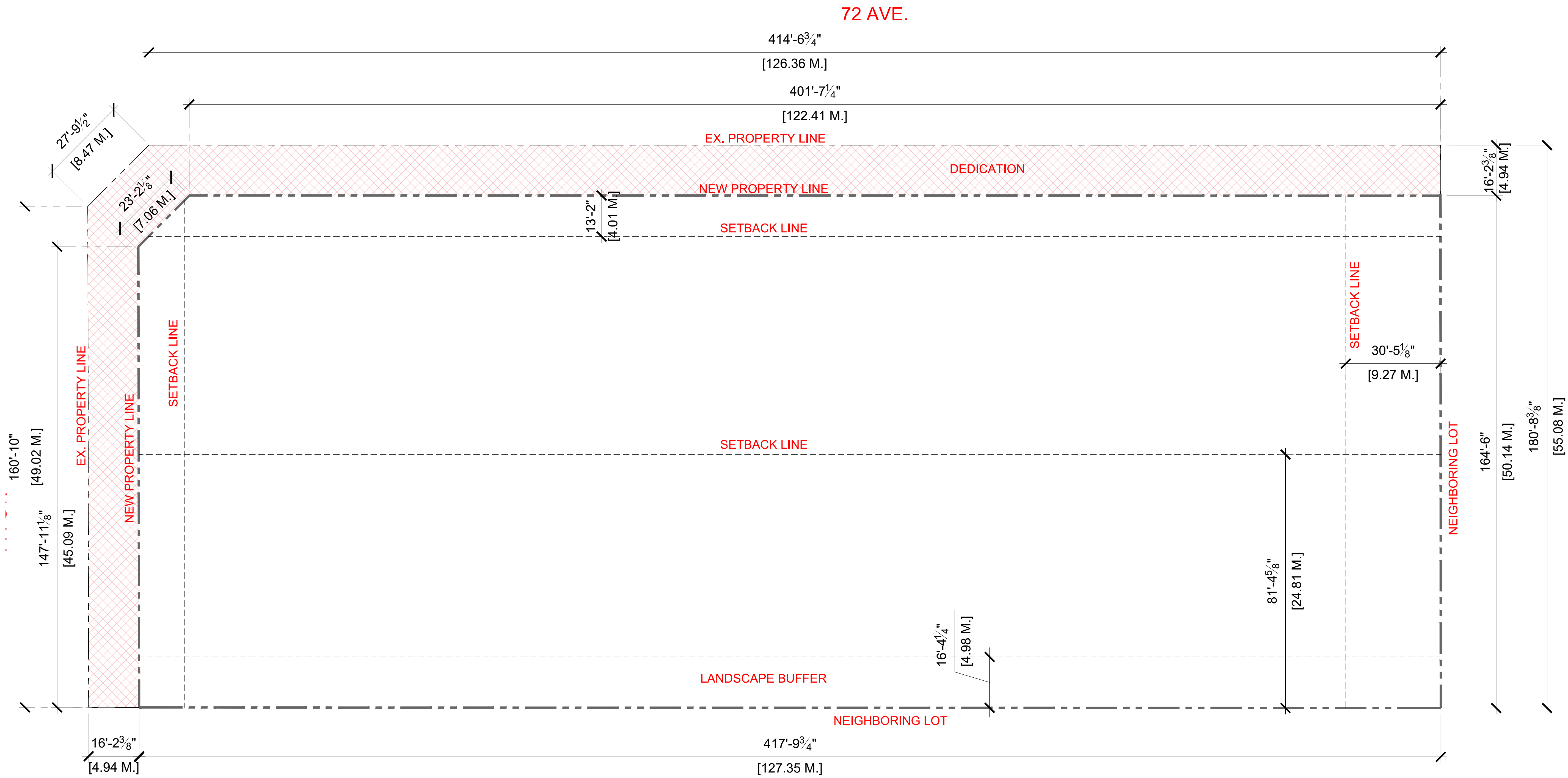
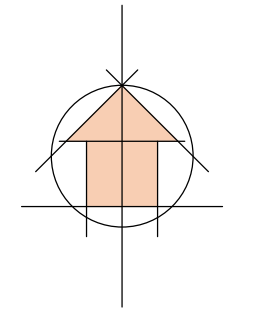
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DATE:	DEC 17
SHEET TITLE:	

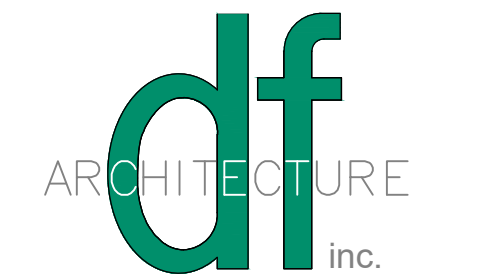
DEVELOPMENT DATA

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NOTES:



REVISION	DATE	DESCRIPTION
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G		
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D	2018/07/12	REVISED AS PER ADP COMMENTS
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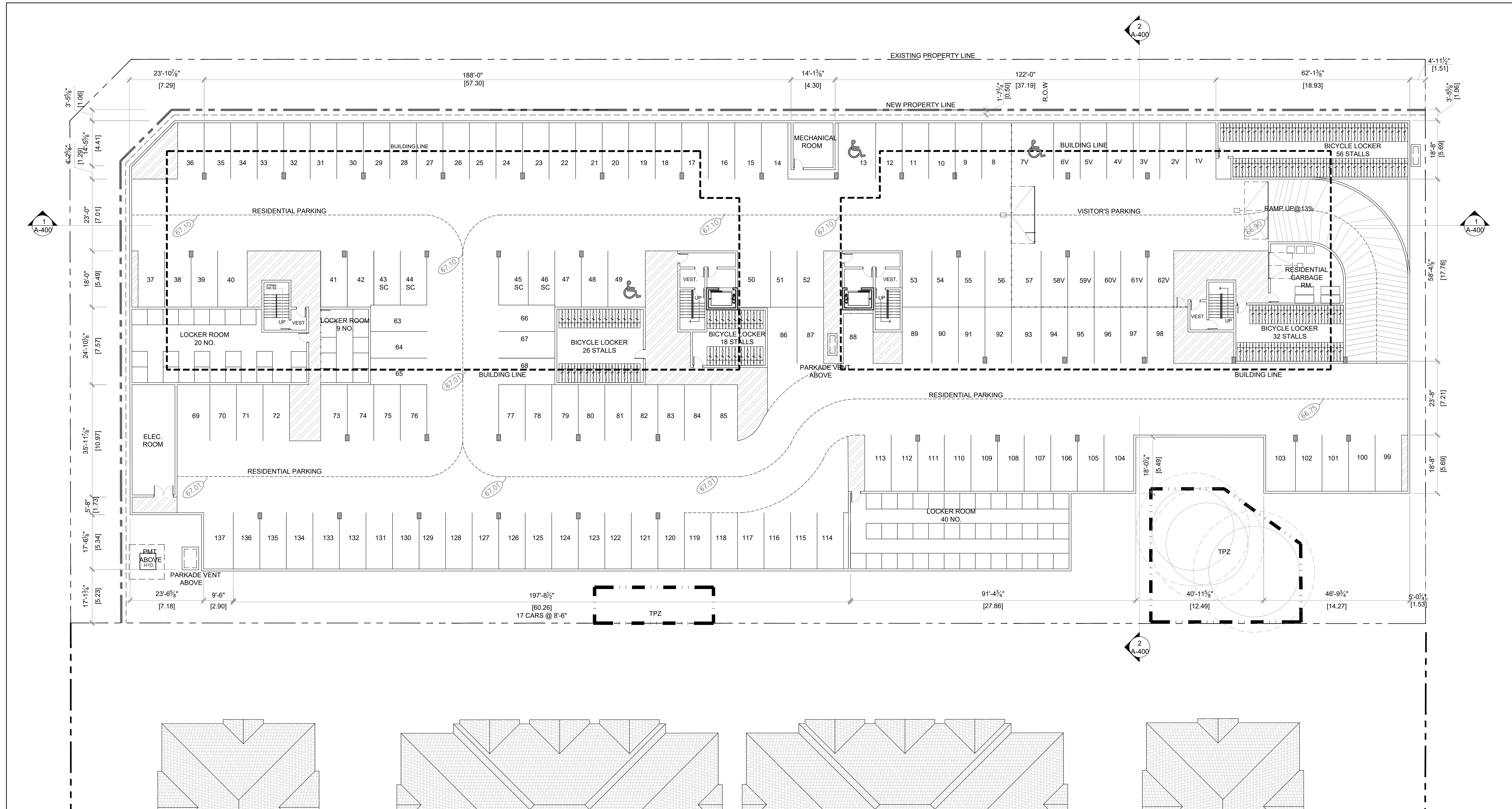
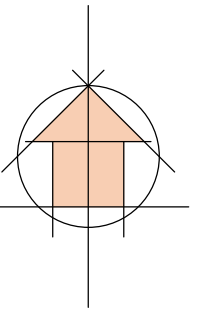
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JOB No.:	SUR-018
DATE:	DEC 17
SHEET TITLE:	

1 BASE PLAN
SCALE: 1/16"=1'-0"

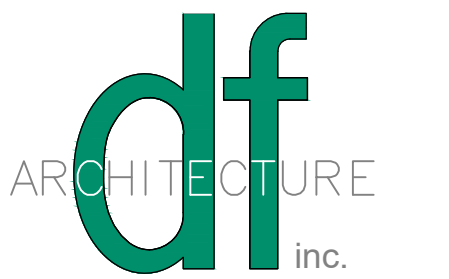
BASE PLAN

DRAWING NO.:	A-102	D
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NOTES:



REVISION	DATE	DESCRIPTION
2018/07/12	D	REVISED AS PER ADP COMMENTS
2018/06/11	C	ADP SUBMISSION
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2017/12/18	A	REZONING & DP SUBMISSION



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JOB No.:	SUR-018
DATE:	DEC 17
SHEET TITLE:	

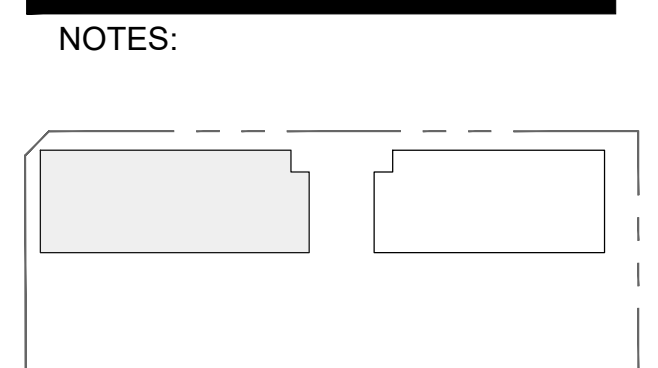
1 U/G PARKADE PLAN
 SCALE: 1/16"=1'-0"

U/G PARKADE PLAN

DRAWING NO.:	A-200	D
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NOTE:-
COMMERCIAL GROUND FLOOR GLAZING-FACING THE PARKING ARE TO THE SOUTH -HAS TRANSLUCENT (FROSTED/FRITTED) GLAZING AND THAT VISION GLAZING IS ONLY ALLOWED ON DOORS AND CLEARSTORY/TRANSOM WINDOWS.



KEY PLAN
SCHEDULE OF FINISHES

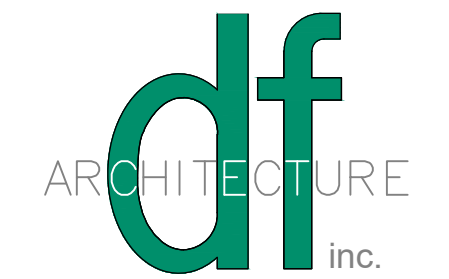
- 1. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : SAIL CLOTH
- 2. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : EVENING BLUE
- 3. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR : MONTEREY TAUPE
- 4. ENDICOTT THIN BRICK SIZE-2-5/8" X 9-5/8" COLOR- IRONSPOT SIENNA
- 5. OPACI -COAT-300-1000 PRIMARY WHITE.
- 6. OPACI -COAT-300-0016 CHARCOAL
- 7. 8' LONGBOARD WOOD GRAINS CHANNEL SIDING FLASHING OR EQUIVALENT COLOR : MAHOGANY
- 8. PAINTED VINYL WINDOWS COLOR TO MATCH BENJAMIN MOORE AF-705
- 9. SOLID CORE WOOD DOORS PAINTED COLOR TO MATCH BENJAMIN MOORE AF-705
- 10. OPACI -COAT-300 WINE RED.
- 11. TRANSLUCENT (FROSTED/FRITTED) GLAZING
- 12. CURTAIN WALL SYSTEM - SPANDREL GLASS WITH OPACI COATING (COLOR TO MATCH AF-705)
- 13. STEEL POSTS COLOR TOMATCH-WHITE
- 14. PLEXY GLASS
- 15. STEEL MEMBERS COLOR TO MATCH-MAHOGANY

REVISION	DATE	DESCRIPTION
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2018/07/12	D	REVISED AS PER ADP COMMENTS
	E	
	F	
	G	
	H	

1 NORTH ELEVATION (ALONG 72 AVE.)
SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



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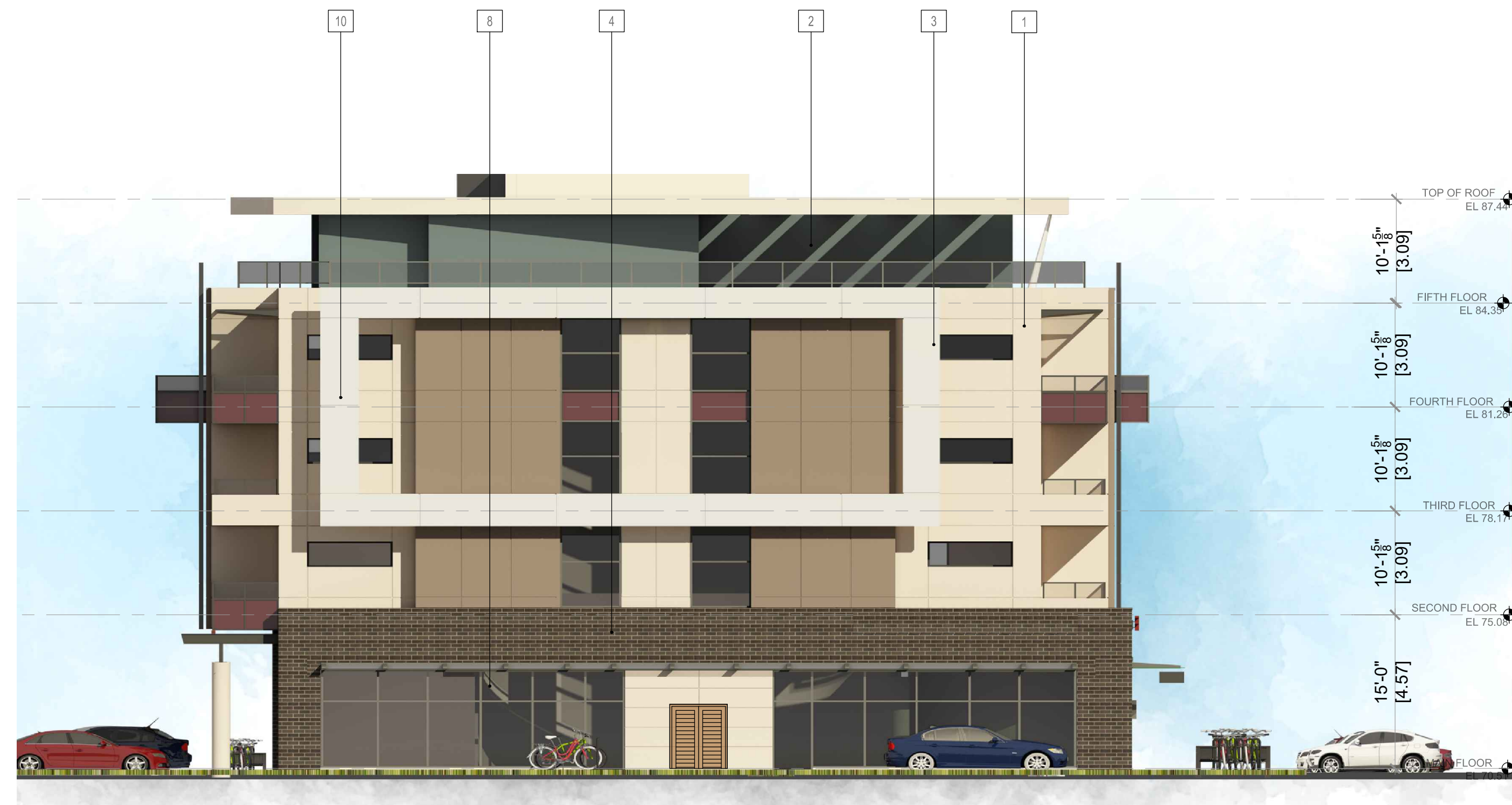
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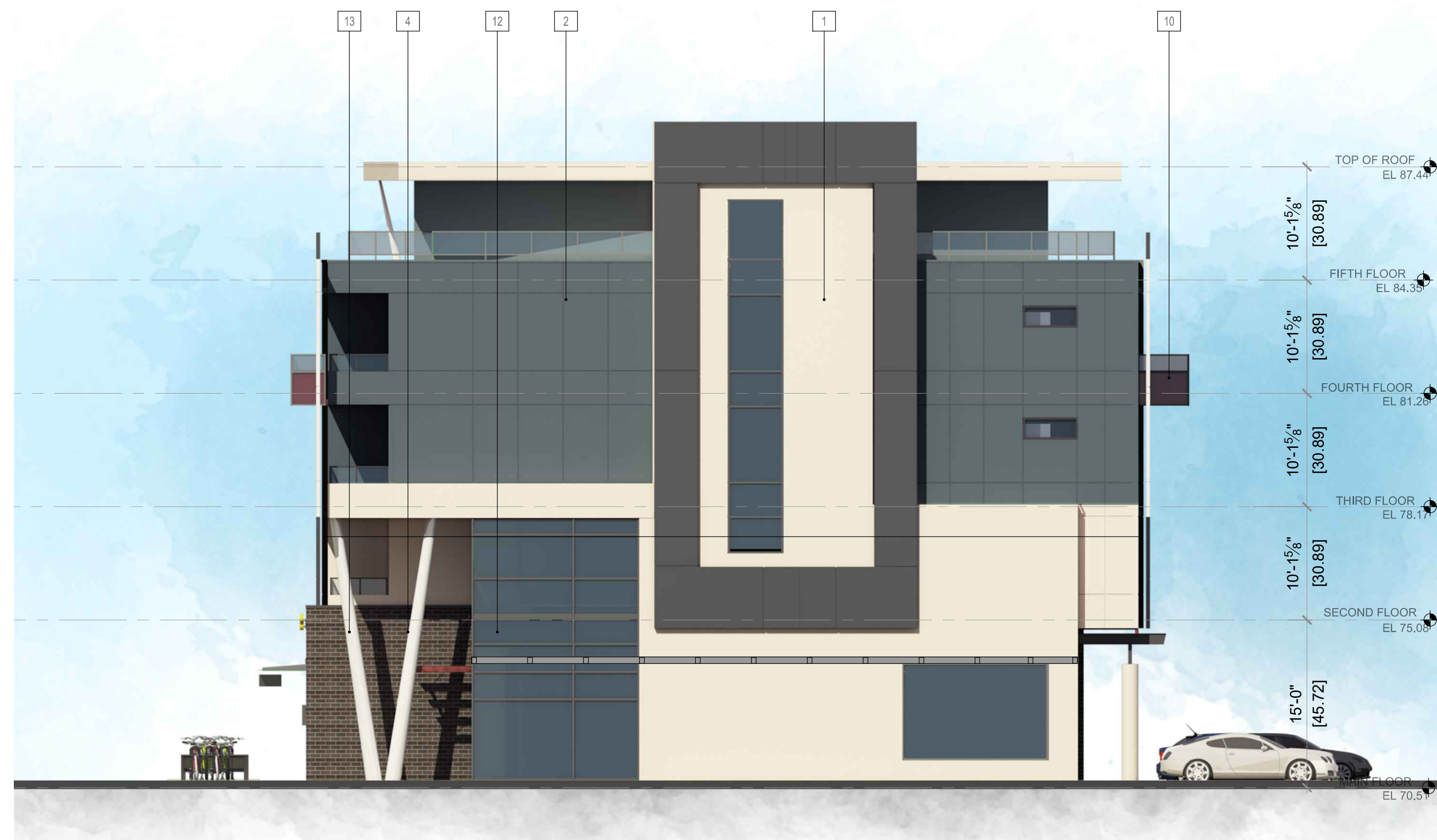
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CHECKED: JA	
SCALE: 1/8"=1'-0"	
JOB No.: SUR-018	
DATE: DEC 2017	
SHEET TITLE:	

ELEVATIONS BLDG #1

DRAWING NO.:	
A-300	D

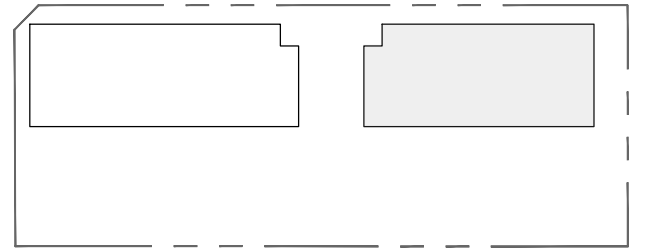


1 EAST ELEVATION (ALONG NEIGHBORING LOT)
SCALE: 1/8"=1'-0"



2 WEST ELEVATION
SCALE: 1/8"=1'-0"

NOTES:



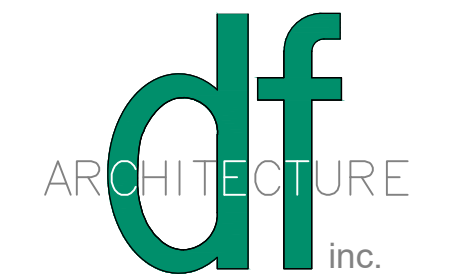
KEY PLAN

SCHEDULE OF FINISHES

- 1. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR: SAIL CLOTH
- 2. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR: EVENING BLUE
- 3. SMOOTH FINISH HARDIE PANEL SIDING WITH HARDIE REVEAL PANEL SYSTEM VERSION 2.0 COLOR: MONTEREY TAUPE
- 4. ENDICOTT THIN BRICK SIZE 2-5/8" X 9-5/8" COLOR: IRONSPOT SIENNA
- 5. OPACI-COAT-300-1060 PRIMARY WHITE
- 6. OPACI-COAT-300-0016 CHARCOAL
- 7. 8" LONGBOARD WOOD GRAINS CHANNEL SIDING/ FLASHING OR EQUIVALENT COLOR: MAHOGANY
- 8. PAINTED VINYL WINDOWS COLOR TO MATCH BENJAMIN MOORE AF-705
- 9. SOLID CORE WOOD DOORS PAINTED COLOR TO MATCH BENJAMIN MOORE AF-705
- 10. OPACI-COAT-300 WINE RED
- 11. TRANSLUCENT (FROSTED/FRITTED) GLAZING
- 12. CURTAIN WALL SYSTEM - SPANDREL GLASS WITH OPACI COATING COLOR TO MATCH AF-705
- 13. STEEL POSTS COLOR TOMATCH-WHITE
- 14. PLEXI GLASS
- 15. STEEL MEMBERS COLOR TO MATCH MAHOGANY

NOTE:-
COMMERCIAL GROUND FLOOR GLAZING-FACING THE PARKING ARE TO THE SOUTH-HAS TRANSLUCENT (FROSTED/FRITTED) GLAZING AND THAT VISION GLAZING IS ONLY ALLOWED ON DOORS AND CLEARSTORY/TRANSOM WINDOWS.

REVISION	DATE	DESCRIPTION
H		
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D	2018/07/12	REVISED AS PER ADP COMMENTS
C	2018/06/11	ADP SUBMISSION
B	2018/04/17	REVISED AS PER CITY COMMENTS
A	2017/12/18	REZONING & DP SUBMISSION



1205-4871 SHELL ROAD
RICHMOND, BRITISH COLUMBIA
CANADA V6X 3Z6
T (804)284-5194 F (804)284-5131
info@dfarchitecture.ca

PROJECT:
**MIX-USE DEVELOPMENT
14418 & 14462 -72 AVENUE
SURREY BC**

CLIENT:
**AMSON CENTRE
14462 72 AVE.
SURREY, BC**

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DRAWN:	FV
CHECKED:	JA
SCALE:	1/8"=1'-0"
JOB No.:	SUR-018
DATE:	DEC 2017
SHEET TITLE:	

ELEVATIONS BLDG. # 1

DRAWING NO.:	A-301
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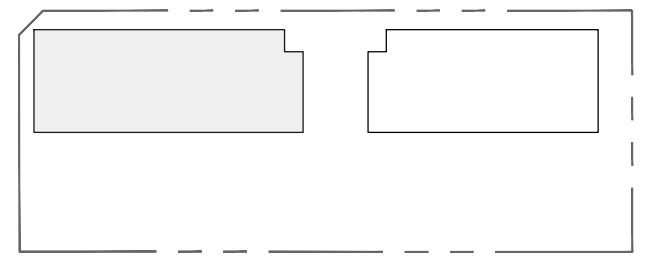


1 NORTH ELEVATION (ALONG 72 AVE.)
SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION
SCALE: 1/8"=1'-0"

NOTES:

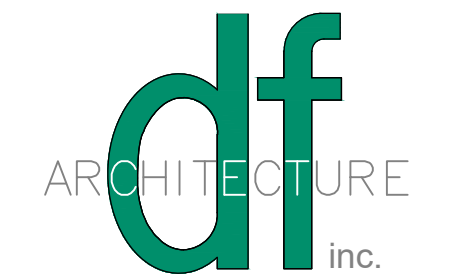


KEY PLAN

- SCHEDULE OF FINISHES
- SMOOTH FINISH HARDIE PANEL SIDING WITH HARDE REVEAL PANEL SYSTEM VERSION 2.0 COLOR: SAL CLOTH
 - SMOOTH FINISH HARDIE PANEL SIDING WITH HARDE REVEAL PANEL SYSTEM VERSION 2.0 COLOR: EVENING BLUE
 - SMOOTH FINISH HARDIE PANEL SIDING WITH HARDE REVEAL PANEL SYSTEM VERSION 2.0 COLOR: MONTEREY TAUPE
 - ENDICOTT THIN BRICK SIZE 2-5/8" X 9-5/8" COLOR: IRONSPOT SIENNA
 - OPACI-COAT-300-1060 PRIMARY WHITE
 - OPACI-COAT-300-0016 CHARCOAL
 - 6" LONGBOARD WOOD GRAINS CHANNEL SIDING FLASHING OR EQUIVALENT COLOR: MAHOGANY
 - PAINTED VINYL WINDOWS COLOR TO MATCH BENJAMIN MOORE AF-705
 - SOLID CORE WOOD DOORS PAINTED COLOR TO MATCH BENJAMIN MOORE AF-705
 - OPACI-COAT-300 WINE RED
 - TRANSLUCENT (FROSTED/FRITTED) GLAZING
 - CURTAIN WALL SYSTEM - SPANDREL GLASS WITH OPACI COATING (COLOR TO MATCH AF-705)
 - STEEL POSTS COLOR TO MATCH WHITE
 - PLEX GLASS
 - STEEL MEMBERS COLOR TO MATCH MAHOGANY

NOTE-
COMMERCIAL GROUND FLOOR GLAZING-FACING THE PARKING ARE TO THE SOUTH -HAS TRANSLUCENT (FROSTED/FRITTED) GLAZING AND THAT VISION GLAZING IS ONLY ALLOWED ON DOORS AND CLEARSTORY/TRANSOM WINDOWS.

REVISION	DATE	DESCRIPTION
H		
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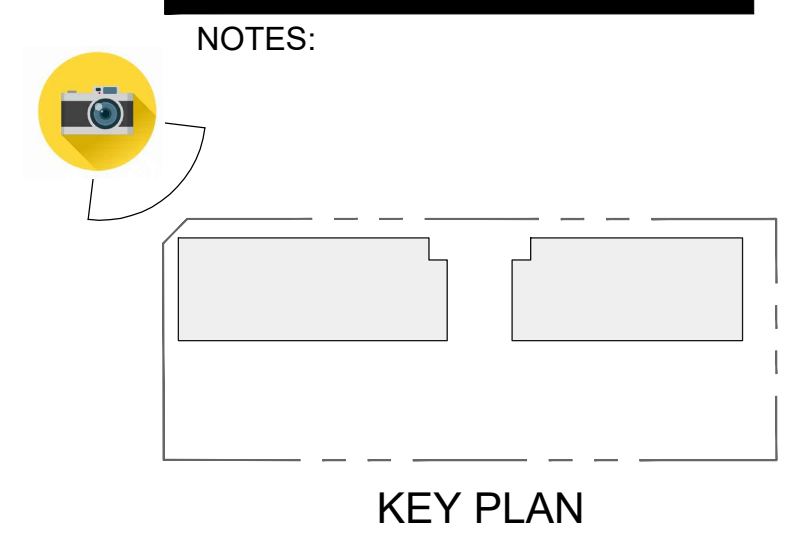
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SCALE: 1/8"=1'-0"	
JOB No: SUR-018	
DATE: DEC 2017	
SHEET TITLE:	

ELEVATIONS BLDG #2

DRAWING NO.:	
A-302	D



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2018/07/12	D	REVISED AS PER ADP COMMENTS
2018/06/11	C	ADP SUBMISSION
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**MIX-USE DEVELOPMENT
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JOB No.:	SUR-018
DATE:	DEC 2017
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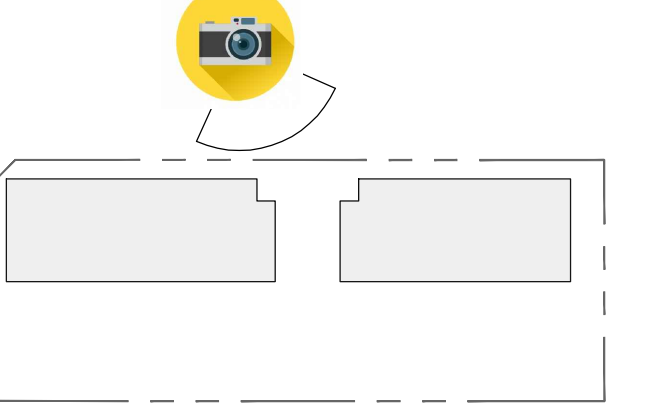
1 RENDERING - 1 FROM 72ND AVE & 144 STREET

RENDERINGS

DRAWING NO.:	A-310	D
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NOTES:



KEY PLAN

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2018/07/12	D	REVISED AS PER ADP COMMENTS
2018/06/11	C	ADP SUBMISSION
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JOB No:	SUR-018
DATE:	DEC 2017
SHEET TITLE:	

3 RENDERING - 2 FROM 72ND AVE

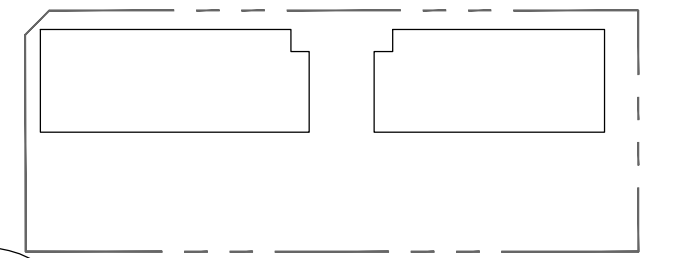
RENDERINGS

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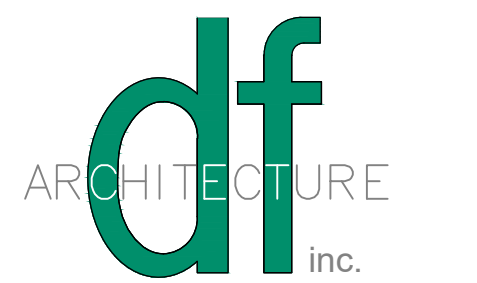
5 RENDERING - 3 ENTRANCE DETAIL

NOTES:



KEY PLAN

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2018/07/12	D	REVISED AS PER ADP COMMENTS
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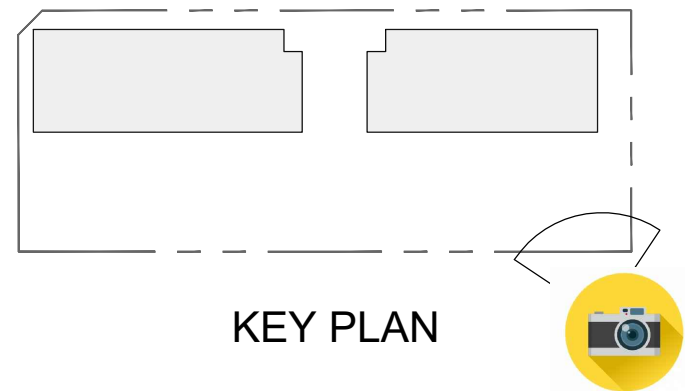
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JOB No.:	SUR-018
DATE:	FEB 2017
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RENDERINGS

DRAWING NO.:	A-312	D
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2018/07/12	D	REVISED AS PER ADP COMMENTS
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2018/04/17	B	REVISED AS PER CITY COMMENTS
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JOB No.:	SUR-018
DATE:	FEB 2017
SHEET TITLE:	

4 RENDERING - ALONG RAMP SIDE

RENDERINGS

DRAWING NO.:	A-313	D
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6 RENDERING - 4 ENTRANCE DETAIL

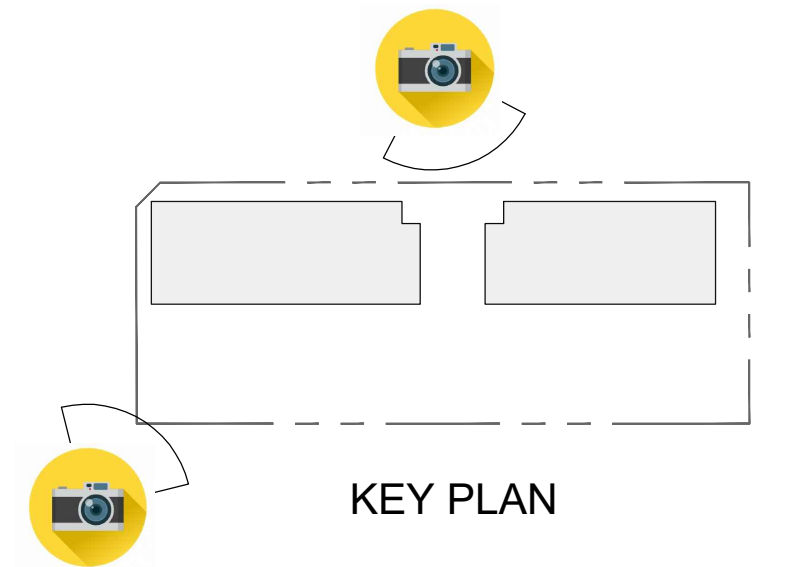


5 RENDERING - 5 SIGNAGE & AWNING DETAIL



7 RENDERING - 6 PARKING SIDE

NOTES:



REVISION		
2017/12/18	A	REZONING & DP SUBMISSION
2018/04/17	B	REVISED AS PER CITY COMMENTS
2018/06/11	C	ADP SUBMISSION
2018/07/12	D	REVISED AS PER ADP COMMENTS
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SCALE:	
JOB No.: SUR-018	
DATE: FEB 2017	
SHEET TITLE:	

RENDERINGS

DRAWING NO.:	
A-314	D



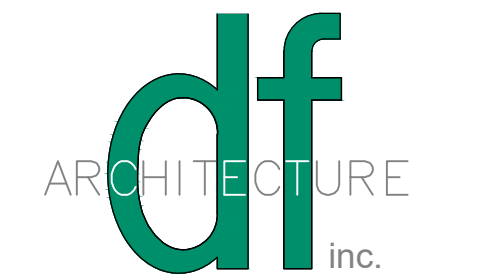
1 SECTION 1 - PART 1
1/8" = 1'-0"



2 SECTION 1 - PART 2
1/8" = 1'-0"

NOTES:

REVISION	DATE	DESCRIPTION
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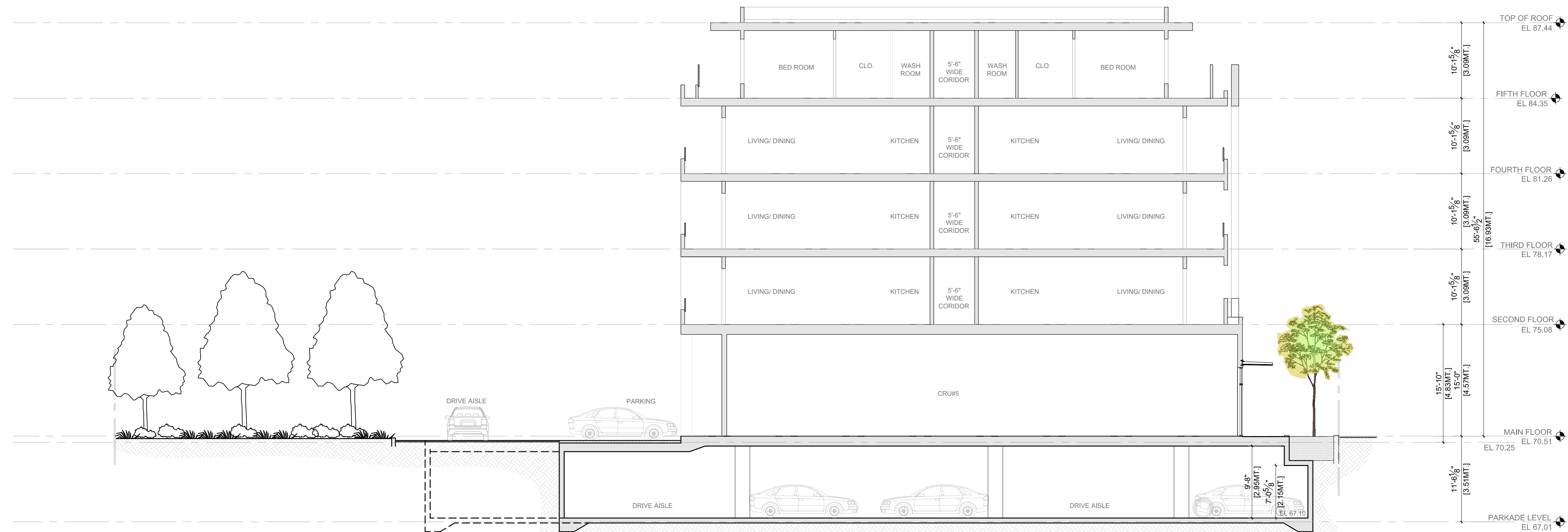
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SCALE:	1/8"=1'-0"
JOB No:	SUR-018
DATE:	DEC 2017
SHEET TITLE:	

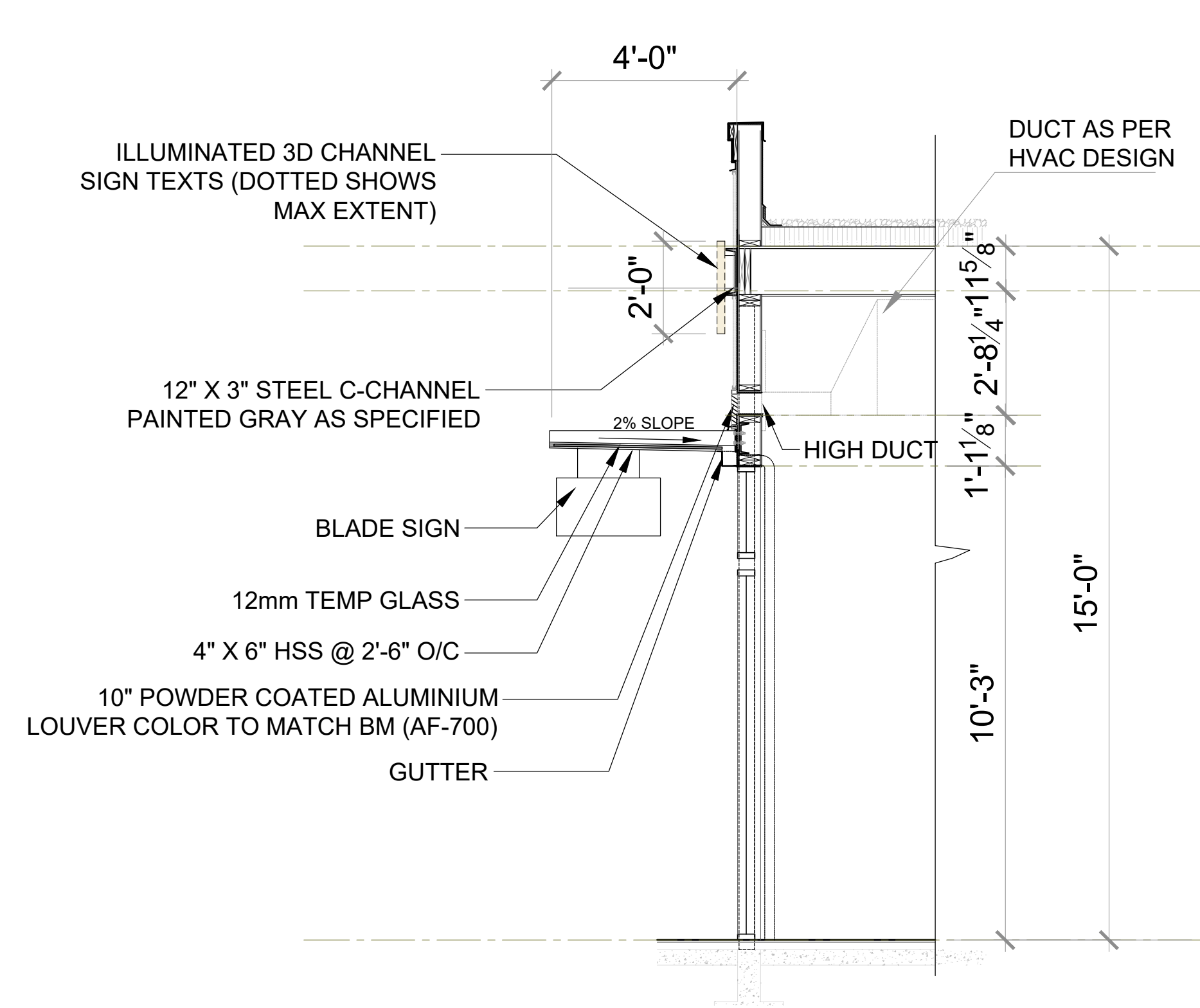
SECTIONS

DRAWING NO.:	A-401	D
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NOTES:



1 SECTION 2
1/8" = 1'-0"



2 AWNING DETAIL
1/4" = 1'-0"



3 DETAIL SECTION - FRONT
1/4" = 1'-0"

SCHEDULE OF FINISHES

1. 10" POWDER COATED ALUMINIUM LOUVER (HORIZONTAL VENTING)
2. GLASS AWNING WITH GUTTER; COLOR TO MATCH
3. SIGNAGE PER CITY OF SURREY SIGAN BYLAW SPECIFICATIONS
4. 12" X 3" STEEL C-CHANNEL PAINTED GRAY AS SPECIFIED
5. STOREFRONT
6. WALL SCONCE LIGHT
7. BLADE SIGN

REVISION	DATE	BY	DESCRIPTION
2017/12/18	A		REZONING & DP SUBMISSION
2018/04/17	B		REVISED AS PER CITY COMMENTS
2018/06/11	C		ADP SUBMISSION
2018/07/12	D		REVISED AS PER ADP COMMENTS



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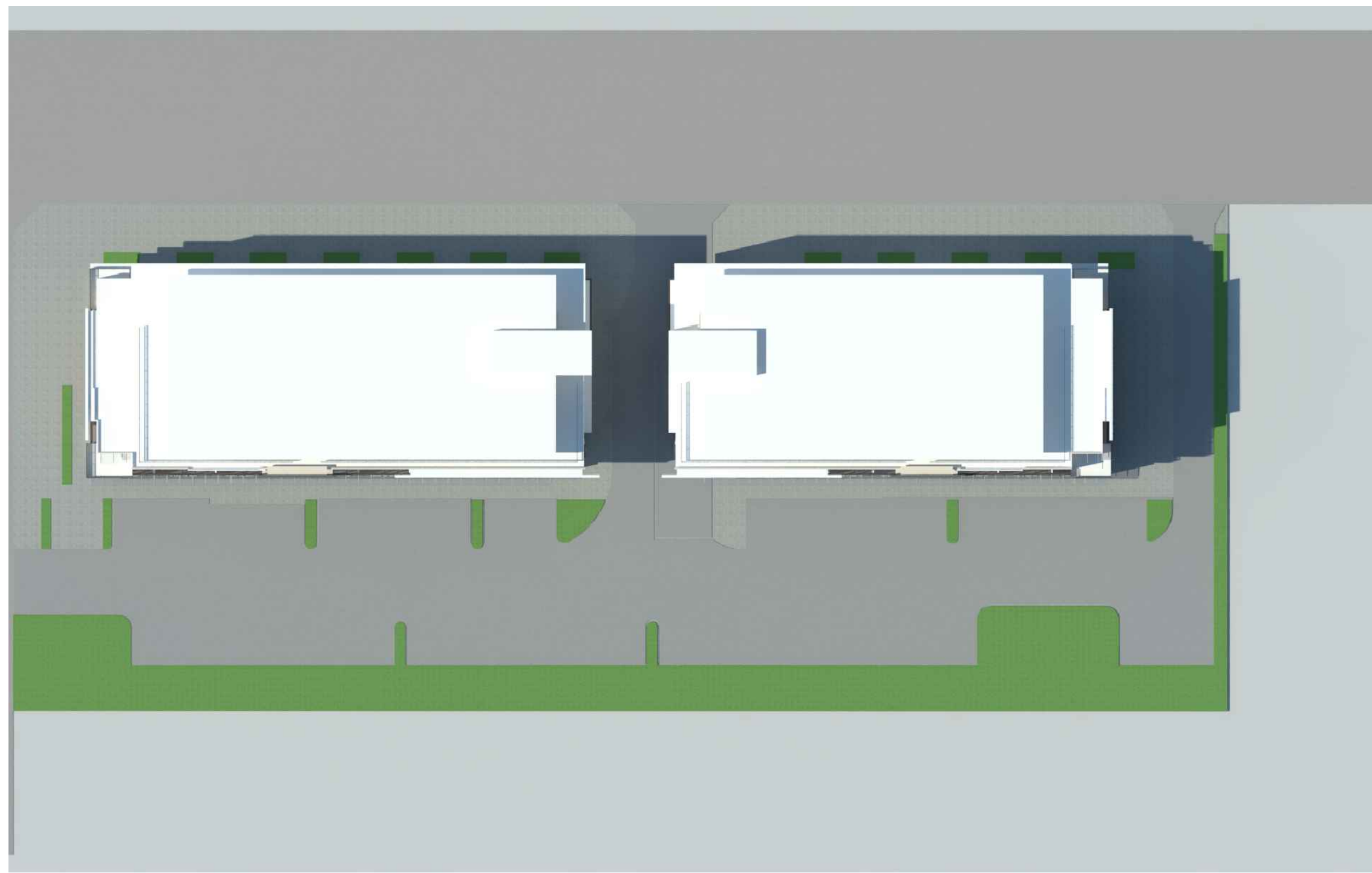
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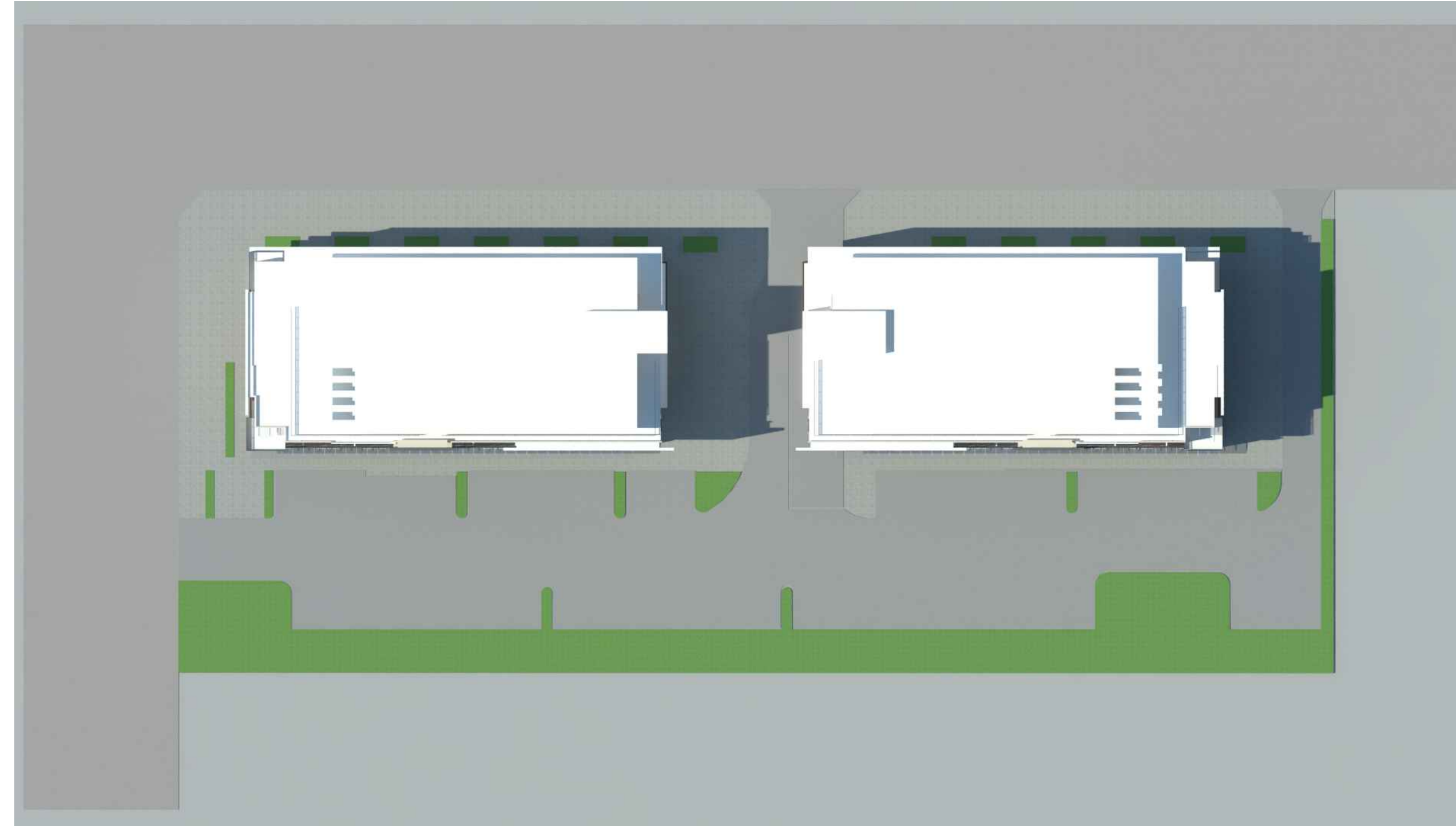
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SCALE: 1/8"=1'-0"	
JOB No.: SUR-018	
DATE: DEC 2017	
SHEET TITLE:	

SECTIONS

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A-402	D



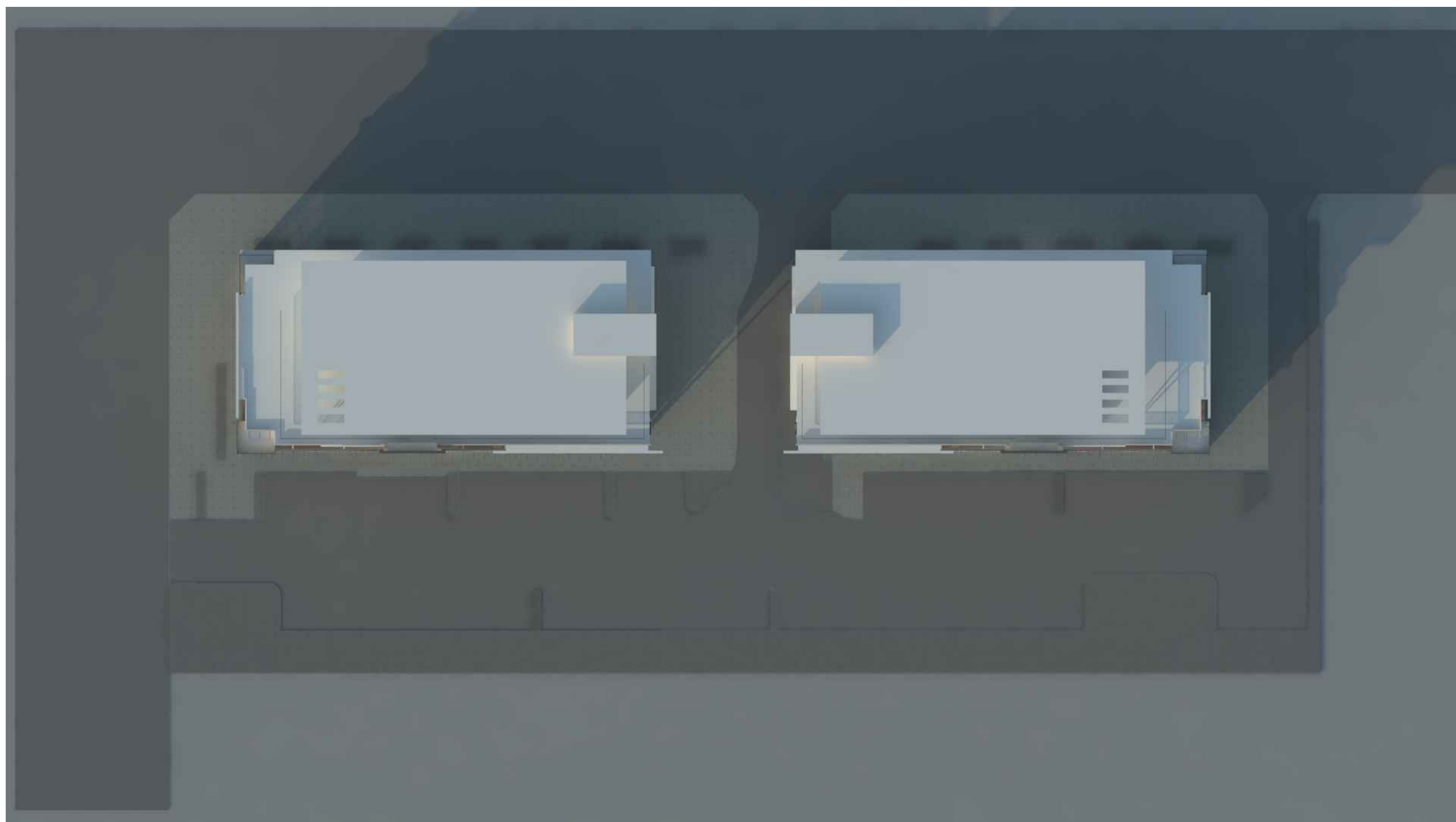
1 MARCH 21, 3.00 PM
UTC -7:00



2 JUNE 21, 3.00 PM
UTC -7:00



3 SEPTEMBER 21, 3.00 PM
UTC -7:00



4 DECEMBER 21, 3.00 PM
UTC -7:00

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2018/07/12	D	REVISED AS PER ADP COMMENTS
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DRAWN:	LS
CHECKED:	JESSE
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JOB No.:	SUR - 018
DATE:	FEB 2017
SHEET TITLE:	

SHADOW ANALYSIS

DRAWING NO.:	A-501	D
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SEAL:

FOR:
AMTRAC CONSTRUCTION LTD.
DF ARCHITECTURE INC.
AMSON

NO.	DATE	REVISION DESCRIPTION	DR.
9	18.JUL.06	PER PLANNING COMMENTS (BENCH, PLAZA REM)	BJ
8	18.JUL.11	REVISIONS PER ADP COMMENTS	BJ
7	18.JUN.12	DP RESUBMISSION (LIGHTING/GARB/PLANTERS)	BJ
6	18.APR.13	DP RESUBMISSION	BJ
5	17.DEC.21	DP SUBMISSION	BJ
4	17.APR.22	NEW ARCH. DWG.	BJ
3	17.FEB.08	NEW ARCH. DWG, CITY COMMENTS	BJ
2	17.JAN.05	NEW ARCH. PLAN, CITY COMMENTS	BJ
1	16.AUG.02	NEW ARCH. PLAN, CITY COMMENTS	BJ

CLIENT:

PROJECT:

MIXED USE DEVELOPMENT
14418 & 14462 72 AVENUE
SURREY, BC

DRAWING TITLE:

LANDSCAPE PLAN

DATE: 16.MAR.24 DRAWING NUMBER:

SCALE: 1/16"=1'-0"

DRAWN: BJ

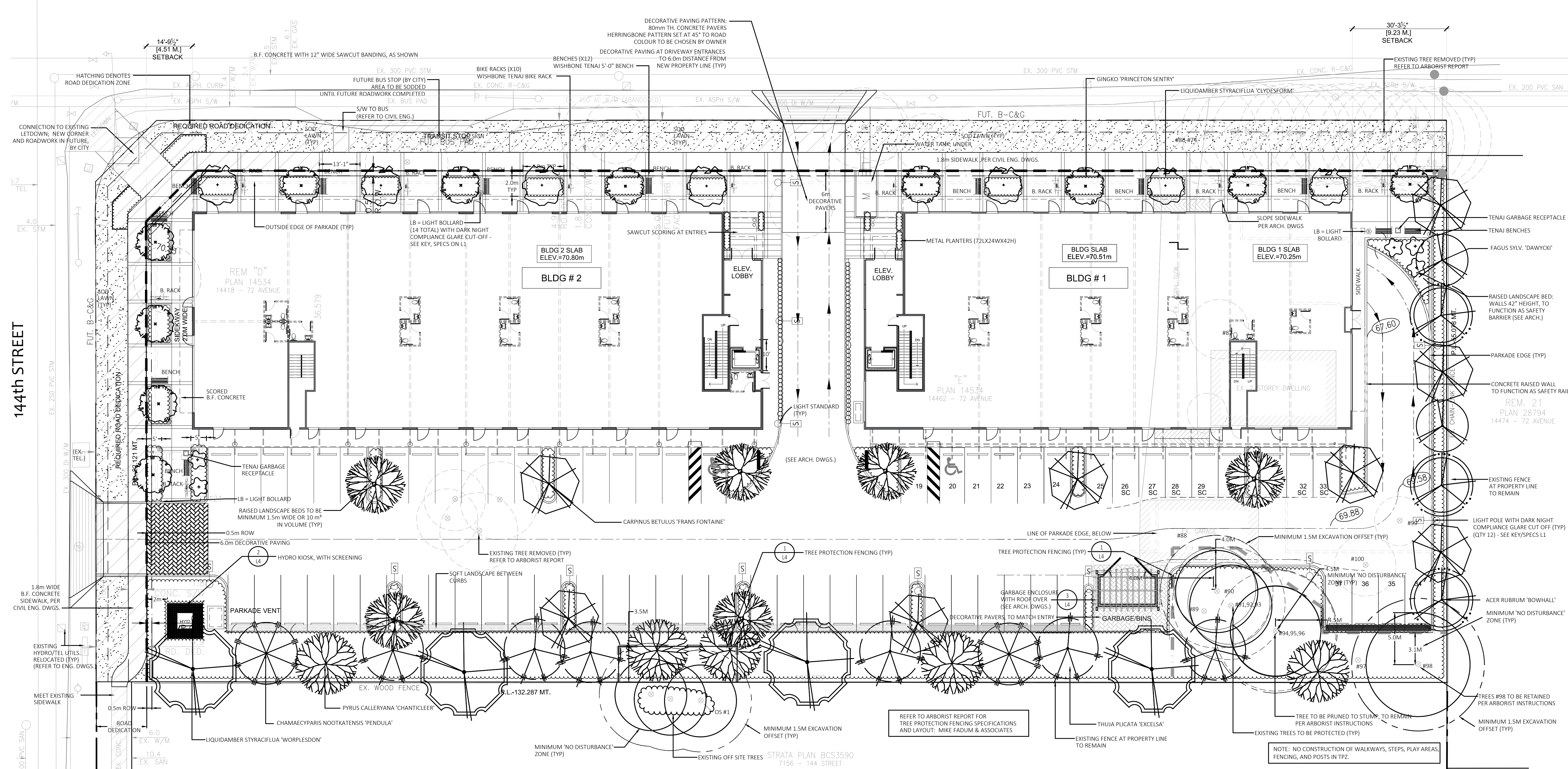
DESIGN: BJ

CHK'D: MCV

PMG PROJECT NUMBER:

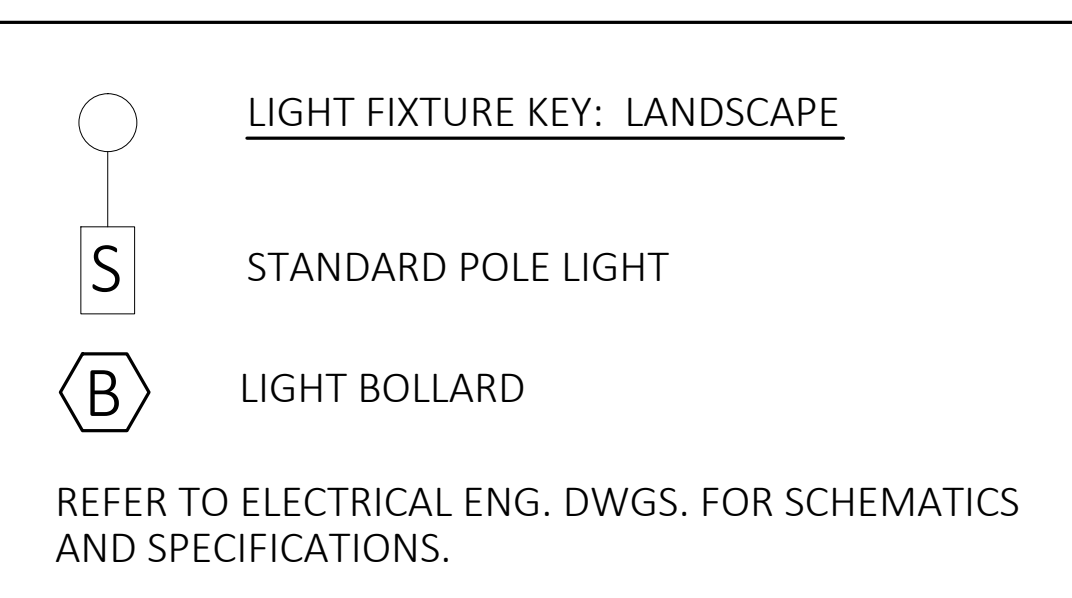
L1

OF 4



KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE/REMARKS	PMG JOB NUMBER: 16-041
TREES					
3	3	AGER RUBRUM 'BOHALL'	COLUMNAR BOHALL MAPLE	6.0CM GAL; 2M STD; B4B	
0	0	CARPINUS BETULUS 'FRANS FONTAINE'	PYRAMIDAL EUROPEAN HORSEBEECH	6.0CM GAL; 2.0M STD; B4B	
2	2	CHAMAECYPARIS NOOTKATENSIS 'PENDULA'	HEERING NOOTKA CYPRRESS	3.0M HT; B4B	
1	1	EXISTING TREE TO REMAIN	EXISTING TREE TO REMAIN	N/A	
2	2	FAGUS SYLVATICA 'DANTYCKI'	DANTYCK BEECH	6.0CM GAL; 2.0M STD; B4B	
6	6	FAGUS SYLVATICA 'DANTYCKI PURPLE'	PURPLE FASTIGIATE BEECH	6.0CM GAL; 2.0M STD; B4B	
11	11	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY HAIKENHAIR	6.0CM GAL; 2M STD; B4B	
7	7	LIQUIDAMBER STYRACIFLUA 'CLYDESFORD'	HERALD SENTINEL SWEET GUM	6.0CM GAL; 2M STD; B4B	
4	4	LIQUIDAMBER STYRACIFLUA 'WORPLESDON'	HORLESDON SWEET GUM	6.0CM GAL; 2M STD; B4B	
5	5	MALUS BACCATA 'ROSTERN'	ROSTERN COLUMNAR CRABAPPLE	5CM GAL; 1.5M STD; B4B	
9	9	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	6.0CM GAL; 1.5M STD; B4B	
6	6	TILIA PLICATA 'EXCELSA'	WESTERN RED CEDAR	3M HT; B4B	
SHRUBS					
AB	22	ABELIA GRANDIFLORA 'RIKA I'	BRONZE ANNIVERSARY ABELIA	#3 POT; 50CM	
B	61	BARBERY 'MONOP'	CHERRY BOMB BARBERY	#2 POT	
X	257	BUNUS MICROPHYLLA 'WINTER GEM'	LITTLE LEAF BOB	#2 POT	
ND	35	HANDIA DOMESTICA 'OBSESSION'	OBSESSION DWARF HEAVENLY BAMBOO	#3 POT	
CI	45	PHYSCARPUS ORULIFOLIUS 'INDIA'	COFFERTINA NINEBARK	#3 POT	
R	24	FRAXINUS LAURICERASIS 'REYNOLDS'	RUSSIAN LAUREL	#3 POT; 60CM	
Z	44	FRAXINUS LAURICERASIS 'ZABELIANA'	ZABEL'S LAUREL	#2 POT; 50CM	
SK	35	SKIMMIA REVEJESANA	REEVE'S DWARF SKIMMIA	#2 POT; 10M MALE	
Y	121	TAXUS X MEDIA 'DENSIFORMIS'	DWARF ENGLISH YEH	#3 POT; SHEARED	
TX	45	TAXUS X MEDIA 'HATFIELD'	HATFIELD'S YEH	#3 POT; 80CM	
T	45	TILIA OCCIDENTALIS 'BRANDAL CEDAR'	BRANDON PYRAMIDAL CEDAR	1.5M STD; B4B	
V	37	VACCINIUM OVATUM 'HAINBERG'	EVERGREEN HICKLEBERRY	#2 POT; 50CM	
GRASS					
k	133	CALAMAGROSTIS A. 'KARL FOERSTER'	FOERSTER REED GRASS	#1 POT	
I	42	CAREX 'ICE DANCE'	CRISTED SEDGE	#1 POT	
H	26	LIZILA SYLVATICA	GREATER HOOD RUSH	1.0CM POT	
PERENNIAL					
D	125	HEBERCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	#1 POT; 1-2 FAN	
L	45	LIRIOPE SPICATA	TURF LILY	#1 POT	
G	45	GAULTHERIA SHALLOX	SALAL	#1 POT; 20CM	
H	200	MAHONIA NERVOSA	LONGLEAF MAHONIA	#1 POT	

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS, OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.



UJE-20001
Jet 49

LIGMAN LIGHTING USA

A square post top luminaire with excellent downward symmetrical light distribution. Designed to complement the use with light, bollard, footcandle and column projector. Symmetrical optics suitable for most applications and dark sky compliant. Designed for lighting of entrances, footpaths and walkways. The luminaire has an integral driver and is available in the following color temperatures: 2700K, 3000K and 4000K.

This product is available with field interchangeable narrow, medium, wide and very wide optics.

Lighting fixture offers this product with a Type III LED distribution. The exceptional optical design of the fixture provides excellent light and area type distributions from this small scale post top light luminaire.

Integral control gear. High purity aluminum reflector with the clear diffusion option.

Physical Data
Height: 4.9m
Width: 0.21m
Weight: 12.5kg

Material
Aluminum casting
Lens: 100% UV resistant polycarbonate - Marine grade
Glass: 100% UV resistant polycarbonate - Marine grade
Powder: 100% UV resistant powder - Marine grade

Options
UV Resistant: 100% UV resistant powder coat paint
Ball for use in applications
Powder: Powder finish in Marine grade RAL 7035
Anti-Scale: Scale Resistant
Weather: Weather Resistant with a special anti-scale coating
Clear Lens: Clear lens with a special anti-scale coating
Clear Lens: Clear lens with a special anti-scale coating

Ordering Example: UJE-20001-39w-W30-02-120/27V-Options

UJE	20001	39w	W30-02	120/27V	Options
Lamp	LED	39W	W30-02	120/27V	Options
Beam	Wide	30°	02		
LED Color	Warm White	2700K			
Color	White				
Voltage	120V				
Options	Options				

LUMINAIRE SPECIFICATION

UJE-10554
Jet square bollard

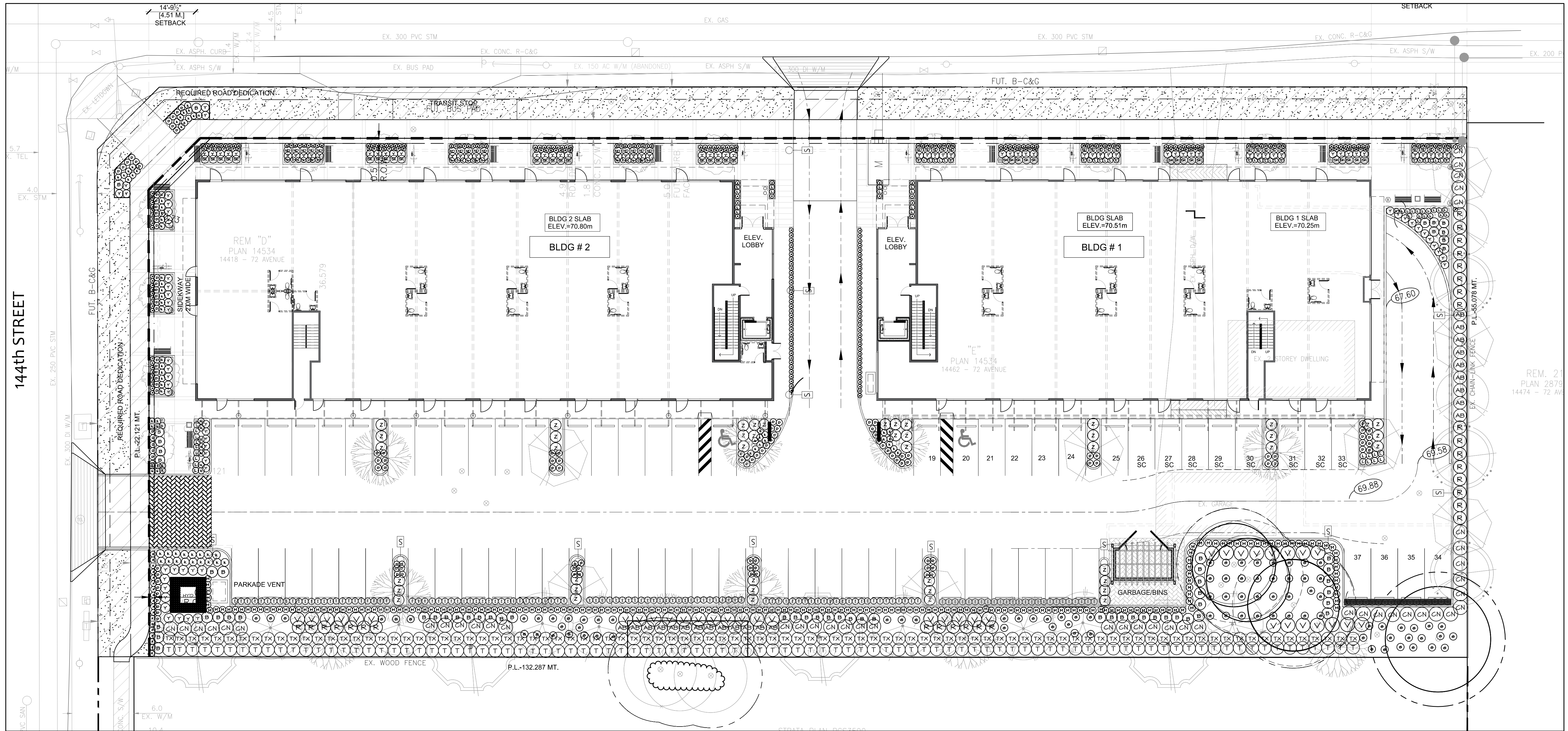
The Jet square bollard with square column provides downward light distribution with optional bollard center through glass cover and bollard clear cover. Lamp choices include the vintage halogen and T4 metal halide and LED with a selection of lens options for optimum beam control and high efficiency. Long service life and vandal resistance are the further characteristics of this compact luminaire.

Developed for lighting driveways, pathways and squares. Die-cast aluminum housing with high corrosion resistance. Stainless steel screen. Extruded aluminum column. Double silicone rubber gasket and clear toughened glass. Housing is treated with a chemical chromate conversion coating before powder coating, ensuring high corrosion resistance. Integral control gear.

Physical Data
Length: 1.17m
Height: 0.42m
Width: 0.15m

Options (Please Specify)
Color: RAL 7035
Lens: Clear
Beam Angle: (Please Specify)
Lamp: Warm White 2700K
Lamp: Warm White 3000K
Lamp: Warm White 4000K
Lamp: Custom RAL
Lamp: Custom RAL

Mounting Accessories
 Anchor Bolt Kit
 Specify custom bollard height: _____ ft
 Fixed Lens
 C - Clear Lens



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Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:

FOR:
AMTRAC CONSTRUCTION LTD.
DF ARCHITECTURE INC.
AMSON

NO.	DATE	REVISION DESCRIPTION	DR.
9	18.JUL.09	PER PLANNING COMMENTS (BENCH, PLAZA REM)	BJ
8	18.JUL.11	REVISIONS PER ADP COMMENTS	BJ
7	18.JUN.12	DP RESUBMISSION (LIGHTING/GARB/PLANTERS)	BJ
6	18.APR.13	DP RESUBMISSION	BJ
5	17.DEC.21	DP SUBMISSION	BJ
4	17.APR.22	NEW ARCH. DWG.	BJ
3	17.FEB.08	NEW ARCH. DWG, CITY COMMENTS	BJ
2	17.JAN.05	NEW ARCH PLAN, CITY COMMENTS	BJ
1	16.AUG.02	NEW ARCH PLAN, CITY COMMENTS	BJ

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

MIXED USE DEVELOPMENT
14418 & 14462 72 AVENUE
SURREY, BC

DRAWING TITLE:

**SHRUB PLAN:
GROUND LEVEL**

DATE: 16/10/31 DRAWING NUMBER:

SCALE: 1"=10'-0"

DRAWN: BJ

DESIGN:

CHK'D:

L2

OF 4

SEAL:

FOR:

AMTRAC CONSTRUCTION LTD.
DF ARCHITECTURE INC.
AMSON

NO.	DATE	REVISION DESCRIPTION	DR.
9	18.JUL.16	PER PLANNING COMMENTS (BENCH, PLAZA REM)	BJ
8	18.JUL.11	REVISIONS PER ADP COMMENTS	BJ
7	18.JUN.12	DP RESUBMISSION (LIGHTING/GARB/PLANTERS)	BJ
6	18.APR.13	DP RESUBMISSION	BJ
5	17.DEC.21	DP SUBMISSION	BJ
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2	17.JAN.05	NEW ARCH PLAN, CITY COMMENTS	BJ
1	16.AUG.02	NEW ARCH PLAN, CITY COMMENTS	BJ

CLIENT:

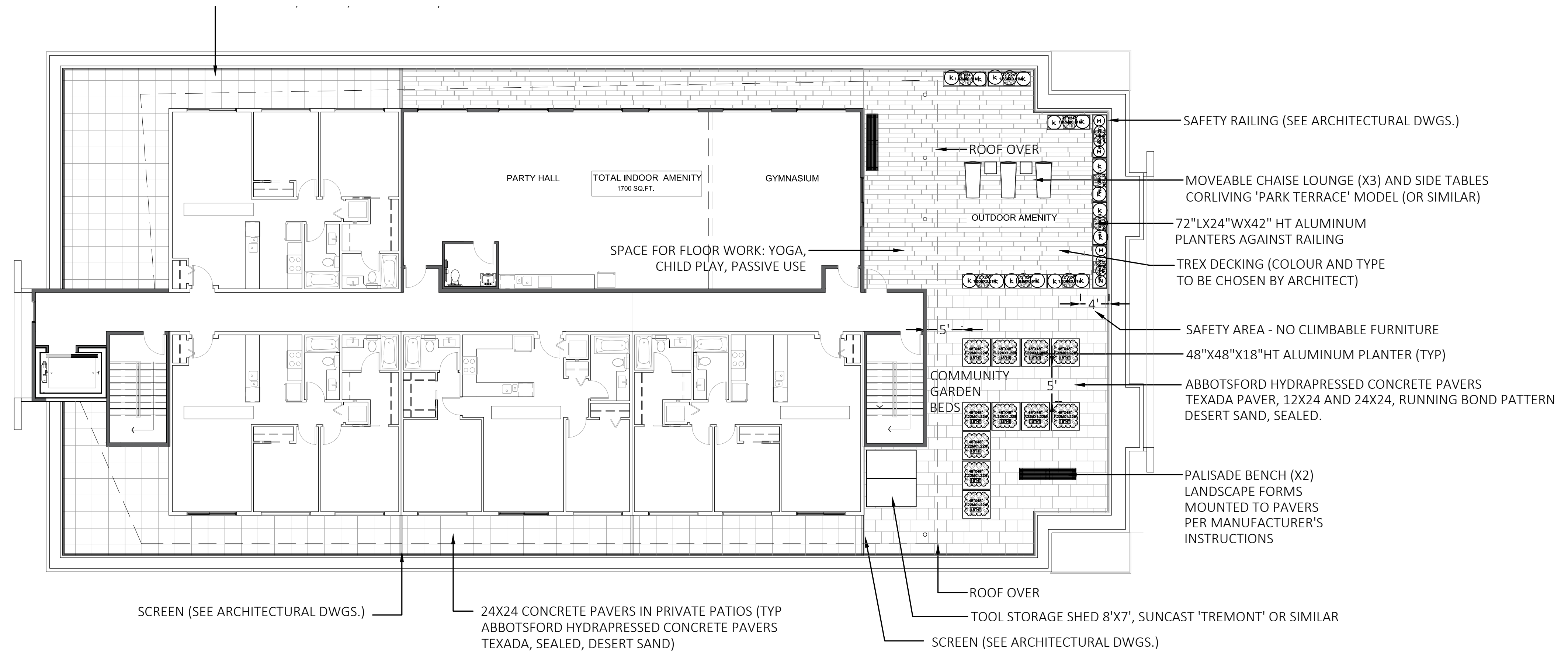
PROJECT:

MIXED USE DEVELOPMENT
14418 & 14462 72 AVENUE
SURREY, BC

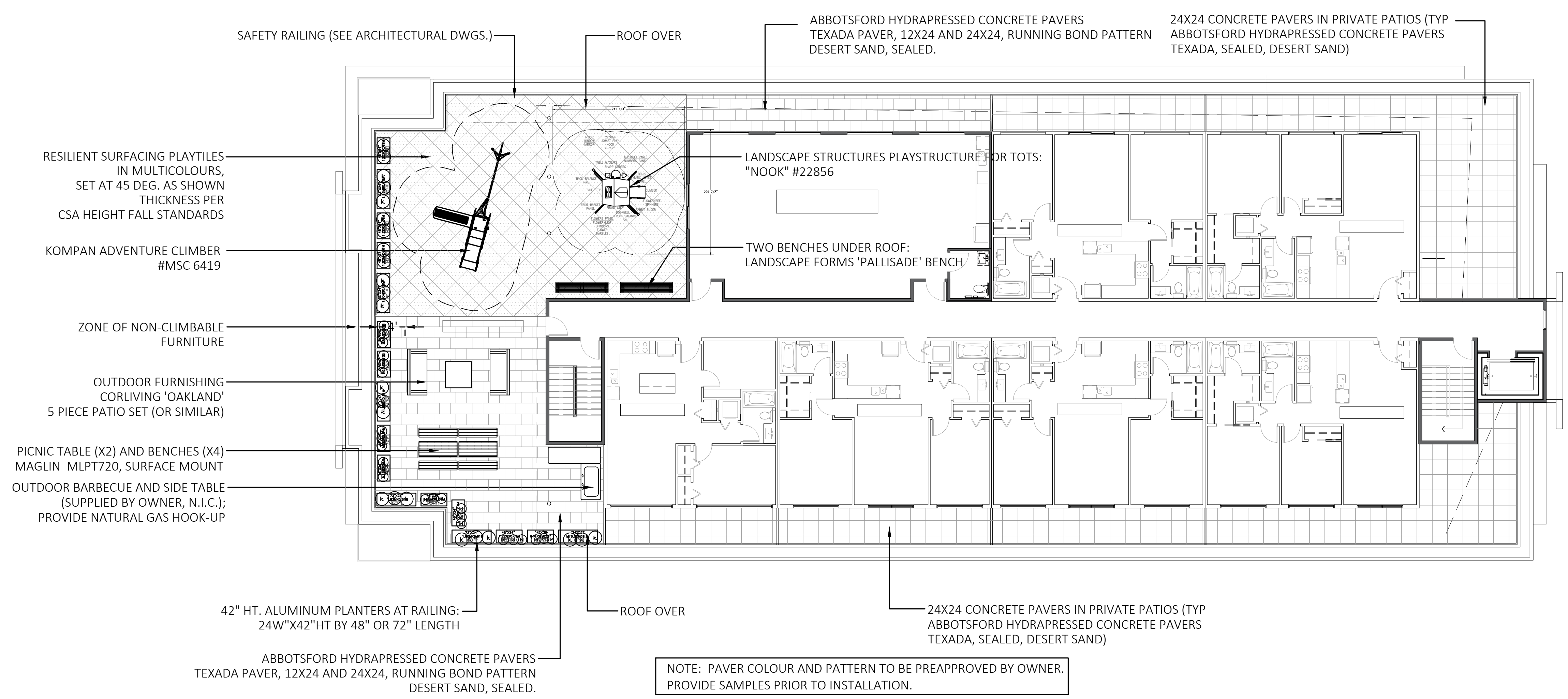
DRAWING TITLE:
ROOFTOP PATIOS:
LANDSCAPE PLAN

DATE: 17/12/20 DRAWING NUMBER:
SCALE: AS NOTED
DRAWN: BJ
DESIGN:
CHK'D: **L3**

PMG PROJECT NUMBER: 16-041

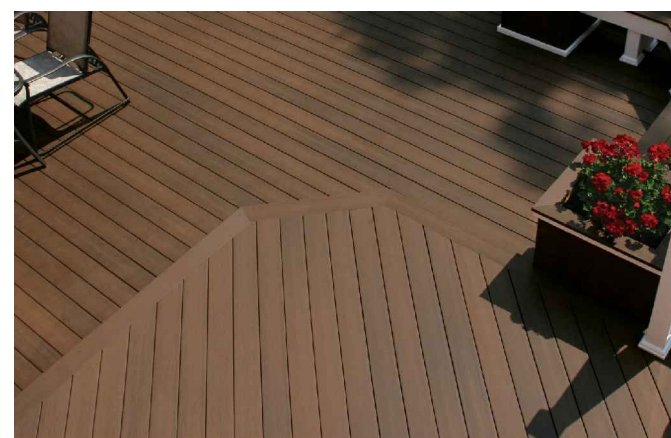


BUILDING ONE ROOFTOP AMENITY AREA
SCALE 1"=10'-0"



BUILDING TWO ROOFTOP AMENITY AREA
SCALE 1"=10'-0"

NOTE: PAVER COLOUR AND PATTERN TO BE PREAPPROVED BY OWNER. PROVIDE SAMPLES PRIOR TO INSTALLATION.



COMPOSITE DECKING: TREX DECKING OR EQUIVALENT; TREEHOUSE COLOUR PROVIDE SAMPLE TO ARCHITECT FOR PREAPPROVAL



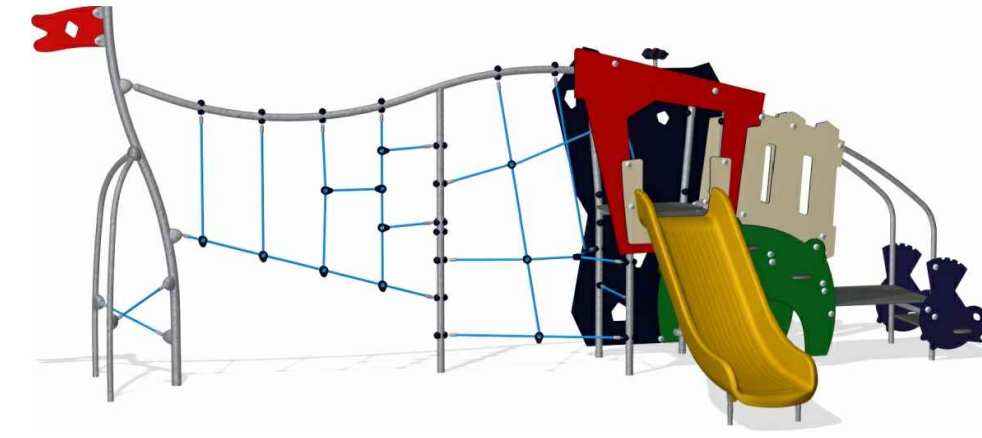
HYDRAPRESSED CONCRETE PAVERS: ABBOTSFORD PAVERS - TEXADA, DESERT SAND COLOUR SIZES - SEE L3 FOR DETAILS



RESILIENT SURFACING: PLAYFALL TILES, OR EQUIVALENT THICKNESS PER CSA PLAY FALL HEIGHT REQUIREMENTS



SUNCAST TOOL STORAGE 8X7 OR SIMILAR TO BE CHOSEN BY OWNER SURFACE MOUNT



PLAY STRUCTURE: KOMPAN "ADVENTURE TOWER" SURFACE MOUNT

ON SLAB REFER TO STRUCTURAL FOR HOUSEKEEPING SLAB LOCATIONS (TYP FOR ALL ON SLAB FURNITURE AND PLAY PIECES.) ALL FURNITURE AND SURFACINGS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.



BIKE RACKS: WISHBONE TENAJ, OIL RUBBED BRONZE COLOUR SURFACE MOUNT



BENCHES: WISHBONE TENAJ 5'-0", OIL RUBBED BRONZE COLOUR SURFACE MOUNT, WALNUT SLATS



GARBAGE: WISHBONE TENAJ RECEPTACLE OIL RUBBED TEXTURED BRONZE COLOUR SURFACE MOUNT



BENCH: PALISADE BENCH LANDSCAPE FORMS EXTERIOR WOOD, 96" LENGTH SURFACE MOUNT



METAL PLANTERS: PLANTERSPERFECT, OR SIMILAR COLOUR: BRONZE SURFACE MOUNT



TOT STRUCTURE: LANDSCAPE STRUCTURES "NOOK" SURFACE MOUNT



LEVEL 5 PATIO FURNITURE: CORLIVING "PARK TERRACE" CHAISE LOUNGE CORLIVING "OAKLAND" 5 PIECE SEATING NOOK WITH TWO CHAIRS, OTTOMAN AND SOFA



TREES PROTECTED BY SPECIES

ARBUTUS
GARRY OAK
PACIFIC DOGWOOD
PACIFIC YEW
WESTERN WHITE PINE
COAST REDWOOD
DAWN REDWOOD
GIANT SEQUOIA
GINKGO
MONKEY PUZZLE TREE

NOTE: ALL TREES REGARDLESS OF SIZE ARE PROTECTED IN HIGH ENVIRONMENTALLY SENSITIVE AREAS

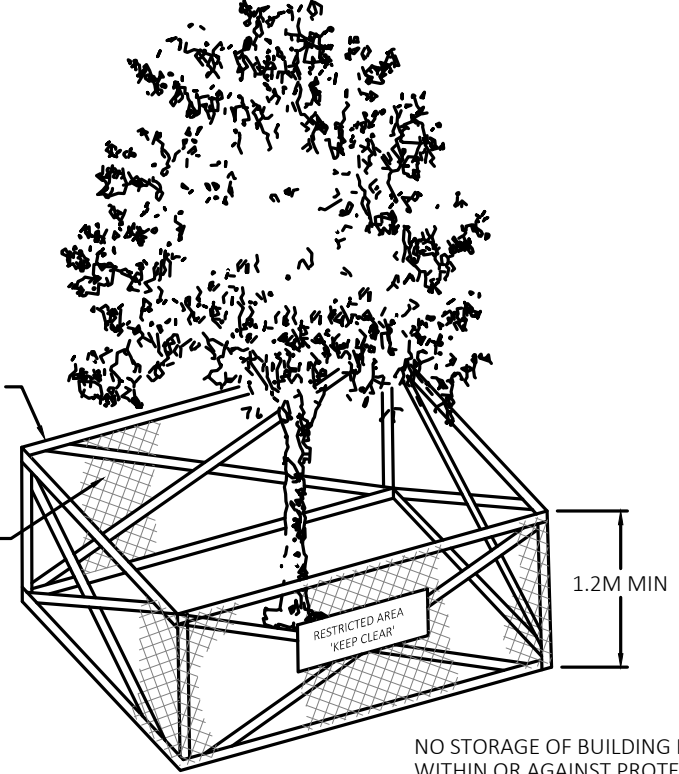
TREE PROTECTION DISTANCE TABLE

TRUNK DIAMETRE in cm @ dbh *	MINIMUM REQUIRED PROTECTION RADIUS (DISTANCE FROM TRUNK IN METRES)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5
100	6.0

EXTRAPOLATE PROTECTION RADIUS FOR TREES LARGER THAN 100CM dbh. * (DIAMETRE AT BREAST HEIGHT OR 1.4M FROM GRADE).

SOLID 2x4 CONSTRUCTION WITH CROSS BRACING AND TOP AND BOTTOM RAILS

PLASTIC MESH SCREENING



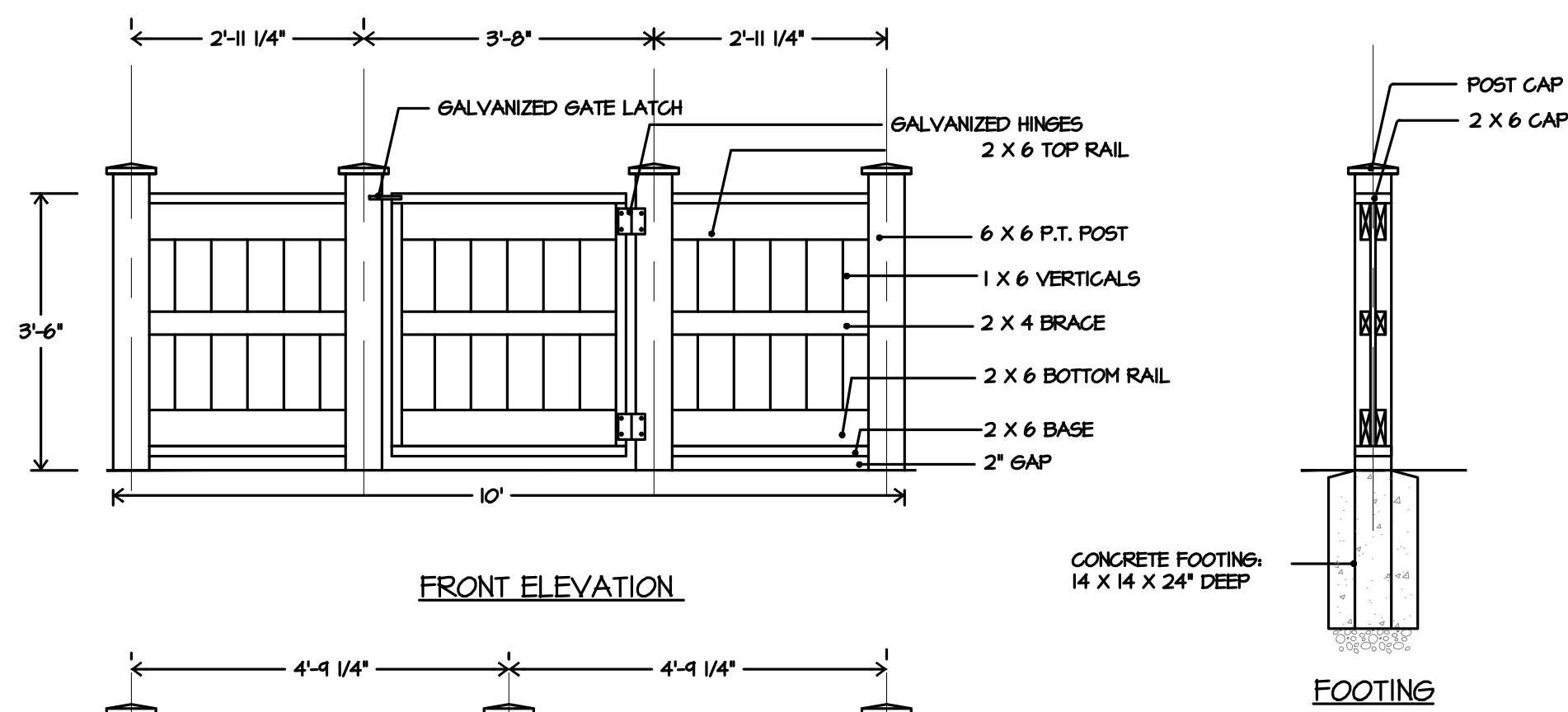
NO STORAGE OF BUILDING MATERIALS WITHIN OR AGAINST PROTECTION BARRIER

TREEPRO-SUR



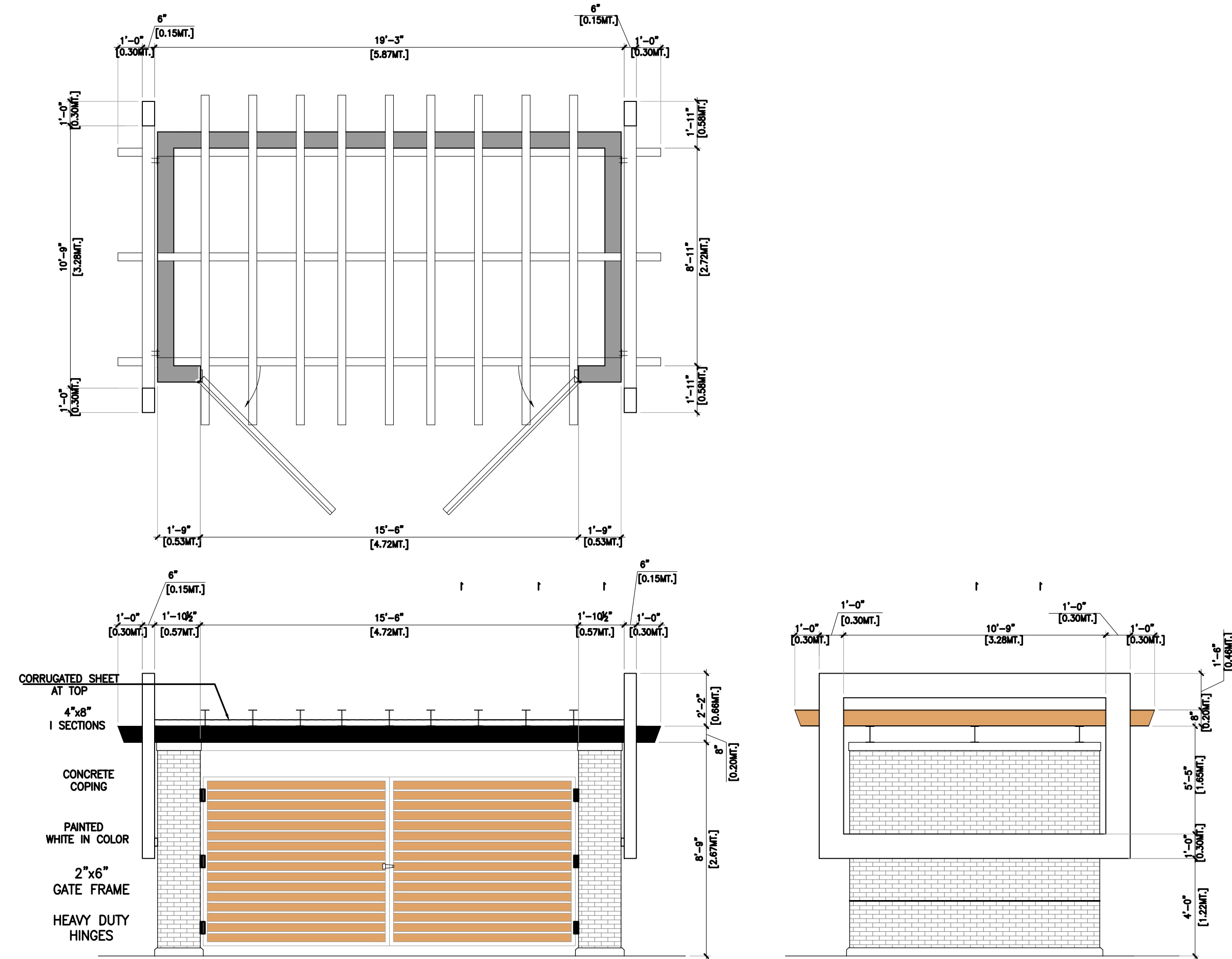
MAGLIN PICNIC TABLE AND BENCHES MODEL MLPT-4705 WITH IPE WOOD SURFACE MOUNT TO HOUSEKEEPING PAD ON PAVERS

1 TREE PROTECTION FENCE 1/2" = 1'-0"



NOTES:
1. ALL WOOD P.T. HEM-FIR.
2. STAIN TND COATS FRESHUM HEATHERPROOFING STAIN TO MATCH ARCHITECTURAL TRIM (COLOUR TO BE PREAPPROVED BY OWNER)
3. ALL HARDWARE HOT DIPPED GALVANIZED. PICKETS TO BE ATTACHED USING COUNTERSUNK SCREWS.
4. GATE HARDWARE TO BE PREAPPROVED BY OWNER.
5. HARDWARE TO BE HEAVY GAUGE.
6. HINGES, LATCHES TO BE SCREWED INTO PLACE.

2 ELECTRICAL KIOSK SCREEN 1/2" = 1'-0"



FOR PLANNING DEPT. INFORMATION PURPOSES ONLY. REFER TO DFA ARCHITECTURE DRAWINGS FOR MATERIALS & SPECIFICATIONS.

3 GARBAGE ENCLOSURE SCALE 1/4"=1'-0"

SEAL:

FOR: AMTRAC CONSTRUCTION LTD. DF ARCHITECTURE INC. AMSON

NO.	DATE	REVISION DESCRIPTION	DR.
9	18.JUL.05	PER PLANNING COMMENTS (BENCH, PLAZA REM)	BJ
8	18.JUL.11	REVISIONS PER ADP COMMENTS	BJ
7	18.JUN.12	DP RESUBMISSION (LIGHTING/GARB/PLANTERS)	BJ
6	18.APR.13	DP RESUBMISSION	BJ
5	17.DEC.21	DP SUBMISSION	BJ
4	17.APR.22	NEW ARCH. DWG.	BJ
3	17.FEB.08	NEW ARCH. DWG, CITY COMMENTS	BJ
2	17.JAN.05	NEW ARCH PLAN, CITY COMMENTS	BJ
1	16.AUG.02	NEW ARCH PLAN, CITY COMMENTS	BJ

CLIENT:

PROJECT:

MIXED USE DEVELOPMENT
14418 & 14462 72 AVENUE
SURREY, BC

DRAWING TITLE:
LANDSCAPE DETAILS

DATE: 16.SEP.13 DRAWING NUMBER:
SCALE: VARIES
DRAWN: L4
DESIGN:
CHK'D: OF 4



INTER-OFFICE MEMO

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Engineer, Engineering Department**

DATE: **Jul 16, 2018** PROJECT FILE: **7817-0596-00**

RE: **Engineering Requirements
Location: 14418/14462 - 72 Avenue**

OCP AMENDMENT/NCP AMENDMENT

There are no engineering requirements relative to the OCP Amendment/NCP Amendment beyond the requirements listed below.

REZONE/SUBDIVISION***Property and Right-of-Way Requirements***

- Dedicate 4.942 m on 72 Avenue for the ultimate 30.0 m Arterial Road allowance.
- Dedicate 5.0 m x 5.0 m corner cut at intersection of 72 Avenue and 144 Street.
- Dedicate 4.942 m on 144 Street for the ultimate 30.0 m Arterial Road allowance.
- Register 0.5 m SRWs on 144 Street and 72 Avenue for service connections and maintenance access to sidewalk.

Works and Services

- Construct driveway letdowns on 144 Street and 72 Avenue, and remove all existing, unused, driveways and reinstate boulevard, sidewalk, and curb and gutter.
- Grade property line along 72 Avenue and 144 Street to +/- 300 mm of centerline road elevation.
- Confirm downstream drainage system capacity, upgrade if required.
- Provide on-site sustainable drainage works to account for higher impervious coverage than approved in the NCP and to meet the Integrated Stormwater Management Plan requirements.
- Extend sanitary sewer on 72 Avenue to service the development.
- Construct adequately-sized metered water service connection for the development.
- Construct adequately-sized sanitary and storm service connections complete with inspection chamber, for the proposed development.

A Servicing Agreement is required prior to Rezone/Subdivision.

DEVELOPMENT PERMIT

There are no engineering requirements relative to issuance of the Development Permit beyond the above requirements.

Tommy Buchmann, P.Eng.
Development Engineer
MB

NOTE: Detailed Land Development Engineering Review available on file



Planning

July 17, 2018

THE IMPACT ON SCHOOLS

APPLICATION #: 17 0596 00

SUMMARY

The proposed 90 lowrise units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	5
Secondary Students:	5

September 2017 Enrolment/School Capacity

Georges Vanier Elementary	
Enrolment (K/1-7):	86 K + 482
Operating Capacity (K/1-7)	38 K + 512
Frank Hurt Secondary	
Enrolment (8-12):	1258
Capacity (8-12):	1250

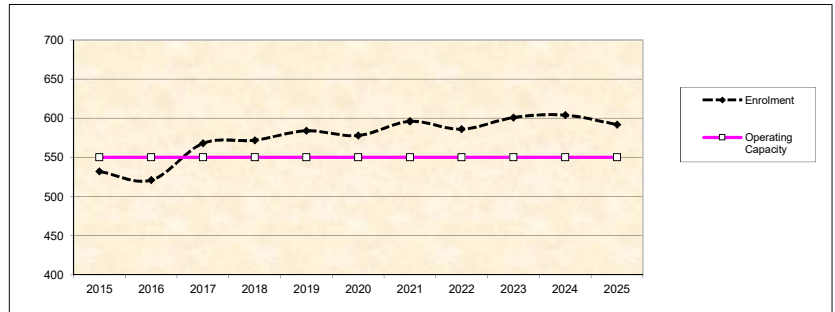
School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

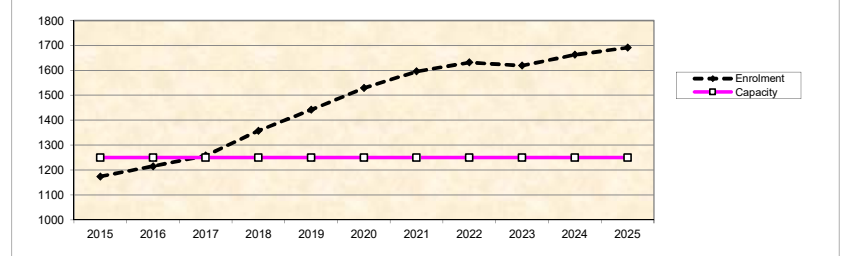
As of September 2017, George Vanier Elementary is operating at 101% capacity. This school has traditionally accepted out of catchment overflow students from TE Scott, Chimney Hill and MB Sanford. Our projections are showing that this trend will continue modestly in the next 5 years. There are currently no plans to increase the capacity of this school.

Frank Hurt Secondary continues to accept overflow from Sullivan Heights Secondary that currently has capped in-catchment enrollment to the school. Currently, Frank Hurt is operating at 100% capacity and it is projected that over the next 10 years this number will grow to 132%. As a result, as part of the District's 2018/19 Capital Plan submission to the Ministry of Education, there is a capital request to construct a 400 capacity addition targeted to open September 2022. The Ministry has yet to approve capital funding for this project.

Georges Vanier Elementary



Frank Hurt Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students. Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

Tree Preservation Summary

Surrey Project No: 16-0214-00


Address: 14462 - 72 Avenue, Surrey, BC

Registered Arborist: Mike Fadum and Vanessa Melney

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	79
Protected Trees to be Removed	72
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	7
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 49 X one (1) = <u>49</u> - All other Trees Requiring 2 to 1 Replacement Ratio 23 X two (2) = <u>46</u> 	95
Replacement Trees Proposed	51
Replacement Trees in Deficit	44
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: <ul style="list-style-type: none"> - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0 	0
Replacement Trees Proposed	0
Replacement Trees in Deficit	0

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

<p style="text-align: center;"></p> <p>Signature of Arborist:</p>	<p>Date: June 21, 2018</p>
--	----------------------------



72nd AVENUE

Property Line
Right of Way
Underground Building Parkade

144th STREET

4.01M SPLIT COMMERCIAL SIDE WALK DESIGN AS/ CITY REQUIREMENTS

SPECIALITY PAVING CITY REQUIREMENTS

REM "D" Plan 14534

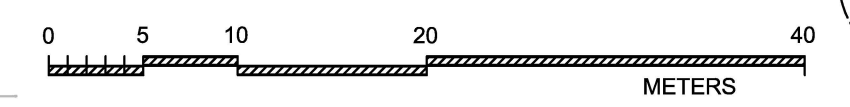
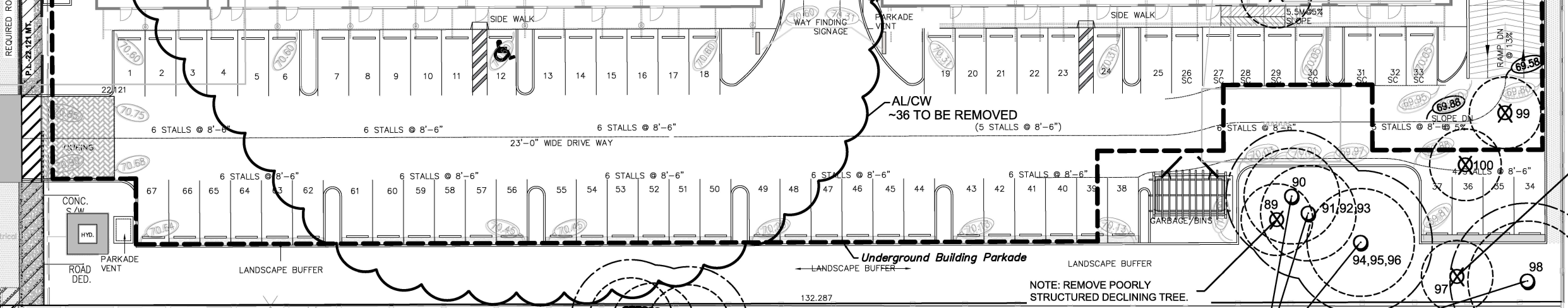
BLDG # 2
BLDG 2 SLAB ELEV.=70.80m

BLDG # 1
BLDG 1 SLAB ELEV.=70.51m

BLDG 1 SLAB ELEV.=70.25m

Plan 14534

Rem. 21 Plan 28794



NOTE: HYDROVAC UPPER SOIL HORIZONS AND REPLACE WITH AGGREGATE WHERE THE LANE/PADS CONFLECT WITH THE TPZ'S. WORK TO BE DONE DURING THE DORMANT SEASON. CONSTRUCT SLAB ABOVE GRADE FOR LANE AND PARKING. CROWN CLEAN AS NECESSARY. USE VERTICAL SHORING OR OTHER SUPPORT MEASURES IF NECESSARY TO SUPPORT EXCAVATION FACE AND AVOID EXCAVATION INSIDE THE TPZ. REASSESS WITH LIMITS OF EXCAVATION.

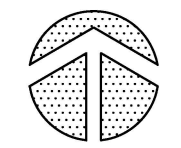
NOTE: REMOVE DECLINING TREE.

NOTE: REMOVE POORLY STRUCTURED DECLINING TREE.

Strata Plan BCS3590

LEGEND

- TREE TO BE RETAINED
- MINIMUM NO DISTURBANCE ZONE
- TREE TO BE REMOVED
- NON BY-LAW TREE
- 1.5m EXCAVATION OFFSET



NO.	DATE	BY	REVISION
1	MAR0916	MK	NEW TOWNHOUSE LAYOUT
2	NOV2516	SL	NEW TOWNHOUSE LAYOUT
3	JAN1617	MK	NEW TOWNHOUSE LAYOUT
4	JAN3017	MK	NEW TOWNHOUSE LAYOUT
5	FEB0317	MK	NEW TOWNHOUSE LAYOUT

NO.	DATE	BY	REVISION
6	APR2717	MK	NEW TOWNHOUSE LAYOUT
7	DEC1317	MK	NEW TOWNHOUSE LAYOUT
8	DEC2017	MK	NEW TOWNHOUSE LAYOUT
9	APR2418	MK	NEW TOWNHOUSE LAYOUT
10	JUN1918	MK	NEW TOWNHOUSE LAYOUT

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
Surrey, British Columbia
V3W 0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Mobile: (604) 240-0309
Email: mfadum@fadum.ca

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PROJECT TITLE
14418 14462 72 AVENUE
SURREY, B.C.

SHEET TITLE
T1 - TREE REMOVAL AND PRESERVATION PLAN

CLIENT

DRAWN
JT

SCALE
AS SHOWN

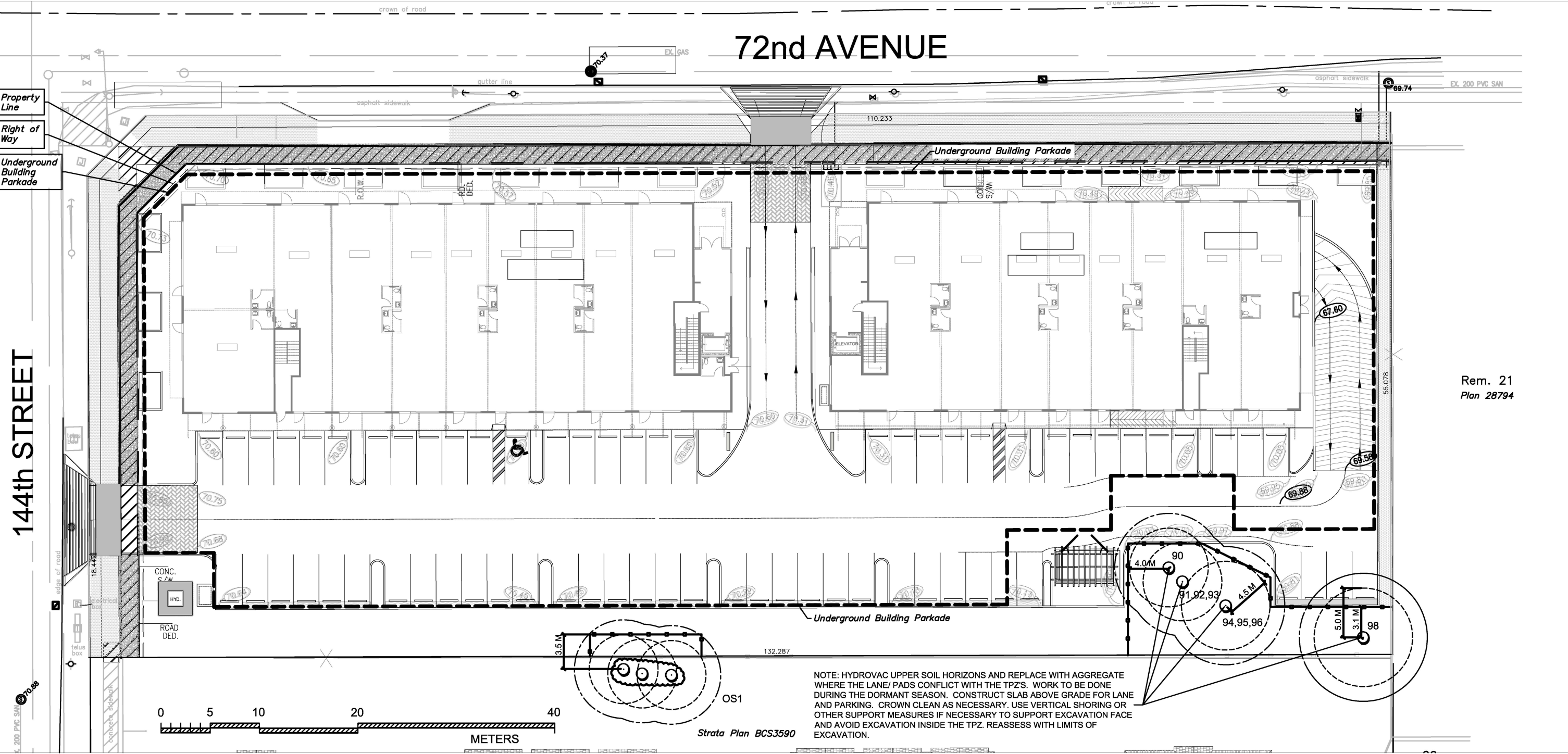
DATE
AUGUST 12, 2015

T-1
SHEET 1 OF 2

72nd AVENUE

Property Line
Right of Way
Underground Building Parkade

144th STREET



Rem. 21
Plan 28794

NOTE: HYDROVAC UPPER SOIL HORIZONS AND REPLACE WITH AGGREGATE WHERE THE LANE/PADS CONFLICT WITH THE TPZ'S. WORK TO BE DONE DURING THE DORMANT SEASON. CONSTRUCT SLAB ABOVE GRADE FOR LANE AND PARKING. CROWN CLEAN AS NECESSARY. USE VERTICAL SHORING OR OTHER SUPPORT MEASURES IF NECESSARY TO SUPPORT EXCAVATION FACE AND AVOID EXCAVATION INSIDE THE TPZ. REASSESS WITH LIMITS OF EXCAVATION.

NOTE: NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS
NOTE: TREE PROTECTION FENCING TO BE MEASURED FROM THE OUTER EDGE OF TREE TRUNK AND SHALL BE CONSTRUCTED TO MUNICIPAL STANDARDS. REASSESS TREES WITH LOT GRADING PLANS.
NOTE: REPLACEMENT TREES SHALL CONFORM TO BCSLA/BCLNA LANDSCAPE STANDARDS. SPECIES AND LOCATIONS TO BE DETERMINED AT LANDSCAPE STAGE.

LEGEND

- TREE TO BE RETAINED
- MINIMUM NO DISTURBANCE ZONE
- TREE PROTECTION FENCING
- 1.5m EXCAVATION OFFSET

NO.	DATE	BY	REVISION	NO.	DATE	BY	REVISION
1	MAR0916	MK	NEW TOWNHOUSE LAYOUT	6	APR2717	MK	NEW TOWNHOUSE LAYOUT
2	NOV2516	SL	NEW TOWNHOUSE LAYOUT	7	DEC1317	MK	NEW TOWNHOUSE LAYOUT
3	JAN1617	MK	NEW TOWNHOUSE LAYOUT	8	DEC2017	MK	NEW TOWNHOUSE LAYOUT
4	JAN3017	MK	NEW TOWNHOUSE LAYOUT	9	APR2418	MK	NEW TOWNHOUSE LAYOUT
5	FEB0317	MK	NEW TOWNHOUSE LAYOUT	10	JUN1918	MK	NEW TOWNHOUSE LAYOUT

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

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Fax: (778) 593-0302
Mobile: (604) 240-0309
Email: mfadum@fadum.ca

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PROJECT TITLE
14418 14462 72 AVENUE
SURREY, B.C.

SHEET TITLE
T2 - TREE PROTECTION PLAN
CLIENT

DRAWN
JT
SCALE
AS SHOWN
DATE
AUGUST 12, 2015

T-2
SHEET 2 OF 2



JESSIE ARORA

ARCHITECT AIBC, SAA, AAA, MRAIC, RA
PRINCIPAL

TEL: 604 284 5194

FAX: 604 284 5131

INFO@DFARCHITECTURE.CA

1205 - 4871 SHELL ROAD, RICHMOND, B.C., CANADA V6X 3Z6

July 12, 2018

Heather Kamitakahara

Planner

Area Planning & Development,

South Division

City of Surrey

**Re: DP Application - Surrey File #17-0596
14418 & 14462 72 Ave., Surrey, BC**

With reference to your email dated the 5th of July 2018, we are herewith enclosing a response to the points (highlighted in RED below) as noted by you.

Site

- No specific issues were identified.

Form and Character

- Consider emphasizing the corner at the intersection.

-Noted.

- The “picture frame” feature is okay at the front of the building, but recommend toning down this feature at the East end.

-Reconsidered & we feel this picture frame should be repeated on all sides to accentuate form and character as well as maintain a sense of continuity & rhythm of design.

- Consider providing an indoor amenity room for Building 1 on the roof top level adjacent to the outdoor amenity area.

-Noted & Revised the floor plans to reflect the same. Please ref. drwg. No A-203.

- Consider additional programming for the amenity space adjacent to the outdoor spaces.

-Noted & Revised the floor plans to reflect the same. Please ref. drwg. No A-203, A-206.

- Consider a bridge between the two buildings for convenience of access to the amenity spaces.

-Noted. Since we are now provided Indoor and Outdoor amenity in both buildings. Hence, the requirement of a bridge would be negated.

- The panel supports the use of colour, materials, the massing and articulation, but encourages an alternative material other than fibre cement panels.

-Noted. We already provided ample brick & glass cladding to offset use of Hardie.

- Recommend a loading area on or off-site.

-There is no requirement as per zoning bylaw & loading/unloading bay to be provided. Also all loading/unloading work would be done during off hours of the retail units.

Landscape

- Consider accentuating the corner with landscaping to provide a plaza.

-Small "plaza" with two benches and ornamental planting added at the intersection corner with sawcut concrete, that respects the future shortening of the corner.

- Consider accentuating the residential lobbies with landscaping.

-Noted & provided the landscape elements of special sawcut paving, metal planters and shade tolerant plantings accent both residential lobby entrances.

Sustainability

- Consider adopting the BC energy step code.
- Consider the use of heat recovery ventilation for improved indoor air quality to all occupied suite rooms and energy efficiency.
- Recommend ventilation in all the flex rooms and eliminate the closets.

-Noted & will consider during energy modelling with HVAC consultant during Building Permit stage.

CPTED

- No specific issues were identified.

Accessibility

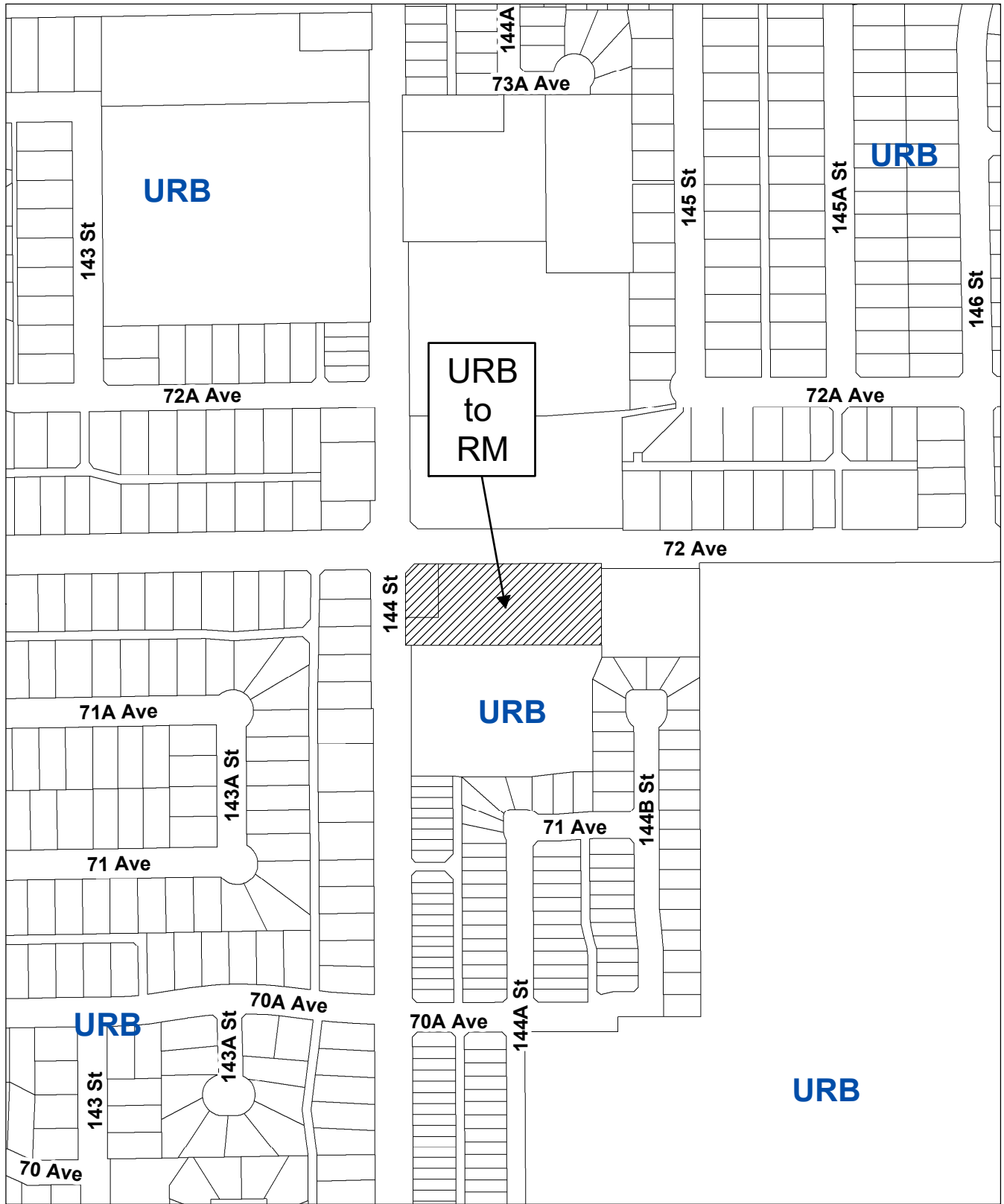
- Recommend an accessibility stall in the visitor parking.
-Noted & revised parkade layout to reflect the same. Please ref drwg. No. A-200.
- Recommend relocating the accessible parking stalls closer to the elevator.
-Noted & provided stall near to the elevator. Please ref drwg. No.A-100.

Hope this covers all the points raised by the City,
Do let us know if you need any further information

Regards



Jessie Arora
Architect AIBC, SAA, AAA, MRAIC, RA



OCP Amendment 7917-0596-00
Proposed amendment from Urban to Multiple Residential



CITY OF SURREY

BYLAW NO. _____

A by-law to amend Surrey Zoning By-law, 1993, No. 12000, as amended
.....

THE CITY COUNCIL of the City of Surrey ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, as amended, is hereby further amended, pursuant to the provisions of Section 479 of the Local Government Act, R.S.B.C. 2015 c. 1, as amended by changing the classification of the following parcels of land, presently shown upon the maps designated as the Zoning Maps and marked as Schedule "A" of Surrey Zoning By-law, 1993, No. 12000, as amended as follows:

FROM: ONE-ACRE RESIDENTIAL ZONE (RA)

TO: COMPREHENSIVE DEVELOPMENT ZONE (CD)

Parcel Identifier: 001-678-876
Lot "E" Section 15 Township 2 New Westminster District Plan 14534

14462 - 72 Avenue

Parcel Identifier: 004-636-171
Lot "D" Except: Parcel "B" (Bylaw Plan 79820); Section 15 Township 2 Plan 14534

14418 - 72 Avenue

(hereinafter referred to as the "*Lands*")

- 2. The following regulations shall apply to the *Lands*:

A. Intent

This Comprehensive Development Zone is intended to accommodate and regulate the development of *multiple unit residential buildings*, related *amenity spaces*, and neighbourhood commercial uses, which are to be developed in accordance with a *comprehensive design*, where *density bonus* is provided.

B. Permitted Uses

The *Lands* and *structures* shall be used for the following uses provided such uses are part of a *comprehensive design*:

1. *Multiple unit residential buildings*, provided this use does not constitute a singular use on the *lot*.
2. The following *accessory uses* are permitted, provided that any one of these uses, or a combination thereof, are ancillary to a use permitted under Section B.1 of this Zone, and provided that the *gross floor area* of each individual business does not exceed 370 square metres [4,000 sq. ft.]:
 - (a) *Retail stores* excluding *adult entertainment stores* and auction houses and *secondhand stores* and *pawnshops*;
 - (b) *Personal service uses* limited to barbershops, beauty parlours, cleaning and repair of clothing, and shoe repair shops;
 - (c) *Eating establishments* excluding *drive-through restaurants*, provided that the *gross floor area* of each individual business does not exceed 150 square metres [1,615 sq. ft.];
 - (d) Office uses excluding *social escort services* and *methadone clinics*;
 - (e) *General service uses* excluding funeral parlours, *drive-through banks* and *vehicle rentals*;
 - (f) Indoor *recreational facilities*; and
 - (g) *Community services*.

C. Lot Area

Not applicable to this Zone.

D. Density

1. The maximum *density* shall not exceed a *floor area ratio* of 0.1. The maximum *density* may be increased to a *floor area ratio* of 1.5 if amenities are provided in accordance with Schedule G of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Notwithstanding the definition of *floor area ratio*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section D of this Zone, and further provided that the *floor area ratio* calculated from the cumulative floor areas of the *buildings* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section D.1 of this Zone.

3. The indoor *amenity space* required in Sub-section J.1(b) is excluded from the calculation of *floor area ratio*.

E. Lot Coverage

1. The *lot coverage* shall not exceed 45%.
2. Notwithstanding the definition of *lot coverage*, for an air space subdivision, the air space parcels and the remainder *lot* of the air space subdivision shall be considered as one *lot* for the purpose of application of Section E of this Zone, and further provided that the *lot coverage* within all of the air space parcels and the remainder *lot* of the air space subdivision shall not exceed the maximum specified in Section E.1 of this Zone.

F. Yards and Setbacks

Buildings and structures shall be sited in accordance with the following minimum *setbacks*:

Use	Setback	<i>Front Yard</i> (West)	<i>Rear Yard</i> (East)	<i>Side Yard</i> (South)	<i>Side Yard on Flanking Street</i> (North)
<i>Principal Buildings</i>		4.5 m [15 ft.]	9.0 m [30 ft.]	24.0 m [79 ft.]	4.0 m [13 ft.]
<i>Accessory Buildings and Structures</i>		3.0 m [10 ft.]	3.0 m [10 ft.]	5.0 m [16 ft.]	4.0 m [13 ft.]

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

G. Height of Buildings

Measurements to be determined as per Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.

1. *Principal buildings*: The *building height* shall not exceed 18.3 metres [60 ft.].
2. *Accessory buildings and structures*: The *building height* shall not exceed 4.0 metres [13 ft.].

H. Off-Street Parking

1. *Parking spaces* shall be provided in accordance with Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. All required resident *parking spaces* shall be provided as *underground parking* or as *parking within building envelope*.

3. No parking shall be permitted within the *front yard* or within any *side yard* which abuts a *flanking street*.
4. Notwithstanding Sub-section A.3 (d) of Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended, the underground *parking facility* shall not be located within 0.5 metre [2 ft.] of the *front lot line* or the *lot line* along a *flanking street*.

I. Landscaping

1. All developed portions of the *lot* not covered by *buildings*, *structures* or paved areas shall be landscaped including the retention of mature trees. This *landscaping* shall be maintained.
2. The boulevard areas of *highways* abutting a *lot* shall be hard-surfaced within the *lot* on the side of the *highway* abutting the north side of the *Lands*, and provided with a continuous *landscaping* strip of not less than 1.5 metres [5 ft.] in width within the *lot* abutting the west side of the *Lands*.
3. The boulevard areas of *highways* abutting a *lot* shall be seeded or sodded with grass on the side of the *highway* abutting the *lot*, except at *driveways*.
4. Garbage containers and *passive recycling containers* shall be screened to a height of at least 2.5 metres [8 ft.] by *buildings*, a *landscaping* screen, a solid decorative fence, or a combination thereof.

J. Special Regulations

1. *Amenity space* shall be provided on the *lot* as follows:
 - (a) Outdoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit* and shall not be located within the required *setbacks*; and
 - (b) Indoor *amenity space*, in the amount of 3.0 square metres [32 sq.ft.] per *dwelling unit*.
2. *Child care centres* shall be located on the *lot* such that these centres have direct access to an *open space* and play area within the *lot*.
3. *Balconies* are required for all *dwelling units* and shall be a minimum of 5% of the *dwelling unit* size or 4.6 square metres [50 sq. ft.] per *dwelling unit*, whichever is greater.
4. The outdoor storage or display of any goods, materials or supplies is specifically prohibited, notwithstanding any other provision in this Zone.

K. Subdivision

Lots created through subdivision in this Zone shall conform to the following minimum standards:

<i>Lot Size</i>	<i>Lot Width</i>	<i>Lot Depth</i>
6,000 sq. m. [1.5 acre]	50 metres [164 ft.]	125 metres [410 ft.]

Dimensions shall be measured in accordance with Section E.21 of Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.

L. Other Regulations

In addition to all statutes, bylaws, orders, regulations or agreements, the following are applicable, however, in the event that there is a conflict with the provisions in this Comprehensive Development Zone and other provisions in Surrey Zoning By-law, 1993, No. 12000, as amended, the provisions in this Comprehensive Development Zone shall take precedence:

1. Definitions are as set out in Part 1 Definitions of Surrey Zoning By-law, 1993, No. 12000, as amended.
2. Prior to any use, the *Lands* must be serviced as set out in Part 2 Uses Limited, of Surrey Zoning By-law, 1993, No. 12000, as amended and in accordance with the servicing requirements for the RM-70 Zone as set forth in the Surrey Subdivision and Development By-law, 1986, No. 8830, as amended.
3. General provisions are as set out in Part 4 General Provisions of Surrey Zoning By-law, 1993, No. 12000, as amended.
4. Additional off-street parking requirements are as set out in Part 5 Off-Street Parking and Loading/Unloading of Surrey Zoning By-law, 1993, No. 12000, as amended.
5. Sign regulations are as set out in Surrey Sign By-law, 1999, No. 13656, as amended.
6. Special *building setbacks* are as set out in Part 7 Special Building Setbacks, of Surrey Zoning By-law, 1993, No. 12000, as amended.
7. *Building Permits* shall be subject to the Surrey Building Bylaw, 2012, No. 17850, as amended.
8. *Building Permits* shall be subject to Surrey Development Cost Charge Bylaw, 2018, No. 19478, as may be amended or replaced from time to time, and the development cost charges shall be based on the RM-70 Zone for the residential portion and the C-5 Zone for the commercial portion.
9. Tree regulations are set out in Surrey Tree Protection Bylaw, 2006, No. 16100, as amended.

10. Development Permits may be required in accordance with the Surrey *Official Community Plan* By-law, 2013, No. 18020, as amended.

3. This By-law shall be cited for all purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, _____, No. _____."

PASSED FIRST READING on the _____ th day of _____, 20__ .

PASSED SECOND READING on the _____ th day of _____, 20__ .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20__ .

PASSED THIRD READING on the _____ th day of _____, 20__ .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20__ .

_____ MAYOR

_____ CLERK