

City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

File: 7917-0585-00

Planning Report Date: July 23, 2018

**PROPOSAL:**

- **Temporary Use Permit**

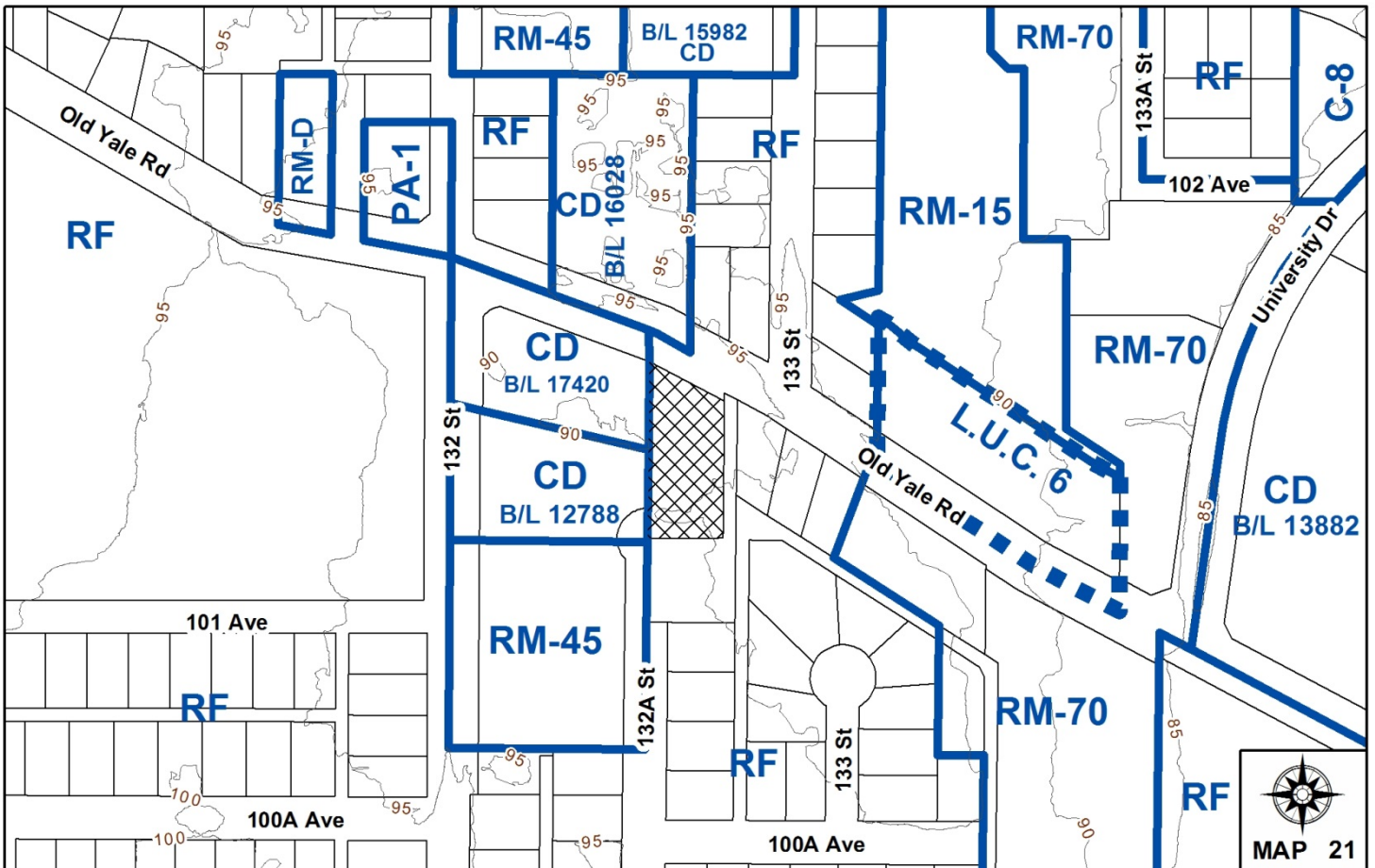
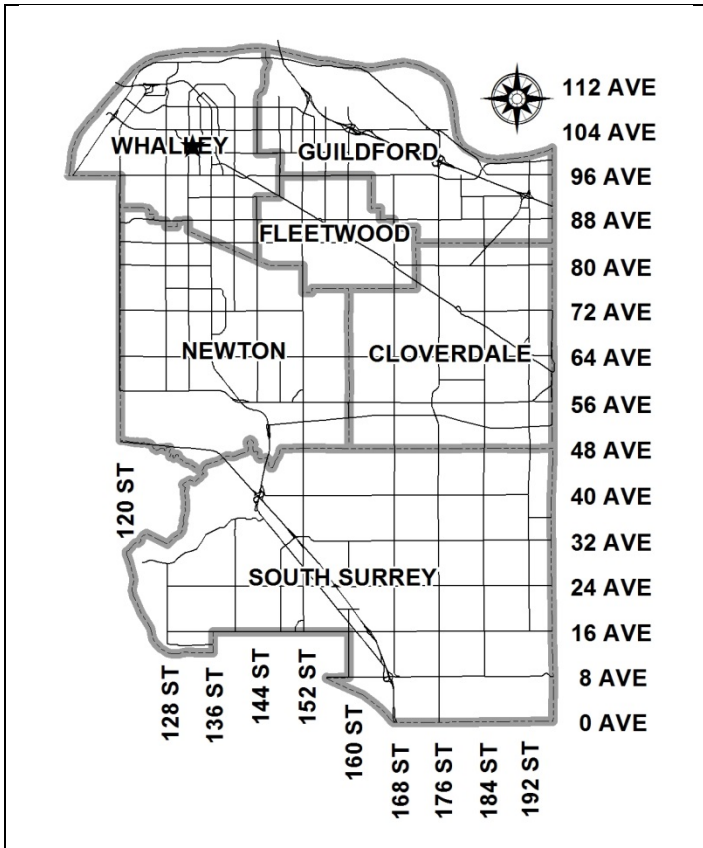
to permit the development of a temporary real estate sales centre for a nearby proposed residential project in Surrey City Centre and for temporary parking of private, construction workers' vehicles for a duration of three years.

**LOCATION:** 13260 - Old Yale Road

**ZONING:** RF

**OCP DESIGNATION:** Multiple Residential

**CITY CENTRE PLAN DESIGNATION:** Residential Low to Mid Rise up to 2.5 FAR



RECOMMENDATION SUMMARY

- Approval for the Temporary Commercial Use Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposed temporary commercial use permit (TUP) is for a sales centre for the nearby, proposed "The Holland" residential development application (Surrey file no. 7914-0208-00), located north of Old Yale Road at 10158, 10170 and 10182 – 133 Street and a portion of 13333 Old Yale Road.
- Due to excavation for underground parking for Development Application No. 7914-0208-00, and the continued use of a portion of 13333 Old Yale Road for a Fraser Health care facility (Kinsman Place Lodge), the proposed sales centre and parking for construction workers' vehicles must be located off-site.
- The applicant will post a \$5,000.00 bond to ensure the removal of the temporary building and parking, and restoration of the site to its original condition at the conclusion of the TUP term.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve Temporary Commercial Use Permit No. 7917-0585-00 (Appendix V) to proceed to Public Notification.
2. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (d) the applicant satisfy the deficiency in tree replacement on the site, to the satisfaction of the Planning and Development Department; and
  - (e) submission of security to ensure that the site is restored following termination of the Temporary Commercial Use Permit.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.

SITE CHARACTERISTICS

Existing Land Use: Vacant single family residential lot.

Adjacent Area:

Direction	Existing Use	City Centre Designation	Existing Zone
North (Across Old Yale Road):	Townhouses, vacant lot and single family dwelling	Residential Low to Mid Rise up to 2.5 FAR	CD By-law No. 16028 and RF
East:	Single family dwelling	Residential Low to Mid Rise up to 2.5 FAR and future 133 Street	RF

Direction	Existing Use	City Centre Designation	Existing Zone
South:	Single family dwelling	Residential Low to Mid Rise up to 2.5 FAR	RF
West:	Apartment buildings	Residential Low to Mid Rise up to 2.5 FAR	CD By-law No. 17420 and CD By-law No. 12788

### DEVELOPMENT CONSIDERATIONS

- The subject site located at 13260 Old Yale Road in Surrey City Centre is designated Multiple Residential under the Official Community Plan (OCP) and is zoned Single Family Residential Zone (RF).
- The applicant has applied for a Temporary Commercial Use Permit to permit the development of a temporary real estate sales centre on the site, and to permit the temporary parking of construction workers' vehicles.
- The proposed temporary sales centre will be used as a sales office for the residential project ("The Holland") proposed at the northeast corner of 133 Street and Old Yale Road under Development Application No. 7914-0208-00. The rezoning by-law for this associated application is proceeding concurrent with this application at the July 23, 2018 Regular Council – Land Use Meeting.
- The approximately 272.5-square metre (2,934 sq. ft.), one-storey sales centre will contain a reception area, sales presentation area, offices, staff room, washroom, as well as a mock-up of a two-bedroom suite.
- A surface parking lot with spaces for 6 vehicles will be provided with access from an existing driveway on Old Yale Road. The parking lot will be surfaced with crushed gravel.
- The remaining spaces are set aside for the temporary parking of construction workers' vehicles associated with the proposed residential development under Development Application No. 7914-0208-00.
- Temporary Commercial Use Permits may be permitted for a period of up to three years. This Temporary Commercial Use Permit is proposed to be in effect for three years, with a potential request for renewal should the temporary real estate sales centre be required beyond that time. A maximum of one renewal is permitted for an approved TUP.
- In the future, it is anticipated that the subject site will develop consistent with the Residential Low to Mid Rise up to 3.5 FAR designation in the City Centre Plan.
- The proposed temporary on-site real estate development signage complies with the height and sign area requirements in the Surrey Sign By-law for this type of signage.



PRE-NOTIFICATION

Pre-notification letters were initially mailed out on May 29, 2018 to a total of 572 addresses. Development signs were installed on May 30, 2018. To date, staff have received the following communication (staff comments in italics):

- One resident wrote to staff to oppose the proposed development in the neighbourhood, in general, noting concerns about the increase in traffic congestion and loss of street parking along 133 Street.

*(The subject site will provide sufficient parking for the temporary sales centre, as well as parking for construction workers.*

*The related residential tower development under Application No. 7914-0208-00 is meeting the Zoning By-law requirement for resident parking.)*

TREES

- Michael Harray, ISA Certified Arborist of Diamond Head Consulting Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

**Table 1: Summary of Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Alder and Cottonwood Trees</b>			
Alder	3	3	0
Cottonwood	6	6	0
<b>Coniferous Trees (excluding Alder and Cottonwood Trees)</b>			
Sitka Spruce	1	1	0
Douglas Fir	1	0	1
Sawara Cypress	1	1	0
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>3</b>	<b>2</b>	<b>1</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>0</b>	
<b>Total Retained and Replacement Trees</b>		<b>1</b>	
<b>Contribution to the Green City Fund</b>		<b>\$5,200.00</b>	

- The Arborist Assessment states that there are a total of 3 protected trees on the site, excluding Alder and Cottonwood trees, including one tree in the City boulevard. Nine (9) existing trees, approximately 75% of the total trees on the site, are Alder and Cottonwood trees. It was determined that 1 tree, within the city boulevard, can be retained as part of this development proposal. The 2 coniferous trees identified for removal are determined to be dead or

hazardous due to previous soil compact ion on the site unrelated to the proposed temporary sales centre. The proposed tree removal and retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for Alder and Cottonwood trees, and a 2 to 1 replacement ratio for all other trees. This will require a total of 13 replacement trees on the site. Due to the temporary nature of the proposed use, no replacement trees are proposed to be planted. This will therefore require a cash-in-lieu payment of \$5,200, representing \$400 per tree, to the Green City Fund, in accordance with the City's Tree Protection By-law.
- Ultimately, replacement trees will be replanted on the site when it develops in the future.
- In summary, a total of 1 tree is proposed to be retained or replaced on the site with a contribution of \$5,400 to the Green City Fund.

#### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

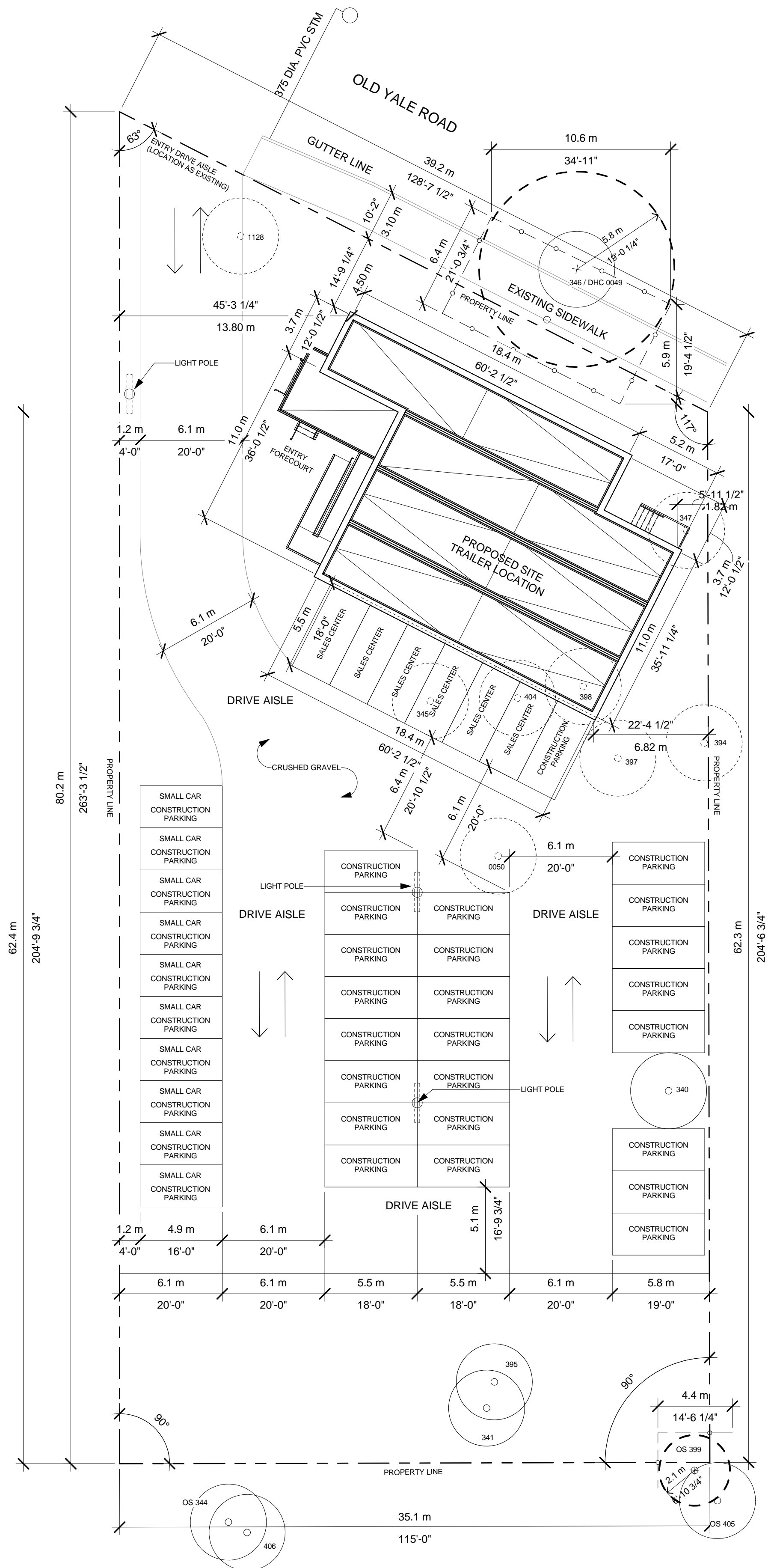
Appendix I.	Lot Owners and Action Summary (Confidential)
Appendix II.	Site Plan and Building Elevations
Appendix III.	Engineering Summary
Appendix IV.	Summary of Tree Survey and Tree Preservation
Appendix V.	Temporary Commercial Use Permit No. 7917-0585-00
Appendix VI.	Aerial Photo

*original signed by Ron Gill*

Jean Lamontagne  
General Manager  
Planning and Development

CA/cm

APPENDIX I HAS BEEN  
REMOVED AS IT CONTAINS  
CONFIDENTIAL INFORMATION



1 SITE PLAN  
A1.02 SCALE: 1/16" = 1'-0"

NOTE: REFER TO ARBORIST REPORT FOR TREE REMOVAL AND TREE PROTECTION AREAS.

- TREE REMOVAL
- - - TREE PROTECTION FENCE
- - - TREE PROTECTION ZONE

CLIENT:



TOWNLIN GROUP OF COMPANIES  
120 - 13575 COMMERCE PARKWAY  
RICHMOND, BC, V6V 2L1

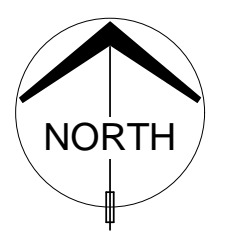
CONSULTANT: DRAWING



PARALLEL  
807-318 HOMER ST. VANCOUVER, BC. 604.669.1300 F 604.669.1303

NO	DATE	DESCRIPTION
3	2018-07-13	REVISED AS PER CITY
2	2018-06-28	REVISED AS PER CITY COMMENTS
1	2018-06-11	ISSUED FOR BUILDING PERMIT

NORTH POINT: STAMP:



PROJECT:

133 + OLD YALE RD.  
SALES CENTER  
13260-13268 OLD YALE RD, SURREY, BC

DRAWING:

SITE PLAN

PROJECT NO: T18025	SCALE: 1/16" = 1'-0"
START DATE: 05/18/18	DRAWN BY: SW
FORMAT: 34"x22"	CHECKED BY: MMC
SHEET NUMBER:	

A1.02



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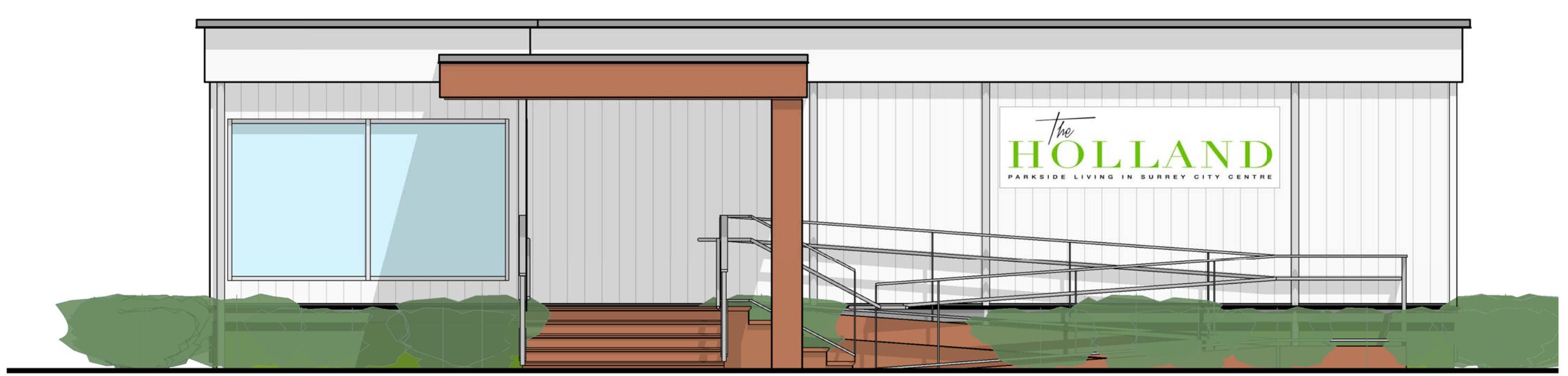
CONSULTANT: DRAWING



PARALLEL  
807-318 HOMER ST. VANCOUVER, BC. 604.669.1300 F. 604.669.1303



1 SALES TRAILER - COLOURED SOUTH ELEVATION  
A4.02 SCALE - 1/4" = 1'-0"



2 SALES TRAILER - COLOURED WEST ELEVATION  
A4.02 SCALE - 1/4" = 1'-0"



3 SALES TRAILER - COLOURED NORTH ELEVATION  
A4.02 SCALE - 1/4" = 1'-0"



4 SALES TRAILER - COLOURED EAST ELEVATION  
A4.02 SCALE - 1/4" = 1'-0"

NO	DATE	REVISD AS PER CITY DESCRIPTION
1	2018-07-13	REVISED AS PER CITY

NORTH POINT:	STAMP:

PROJECT:  
133 + OLD YALE RD.  
SALES CENTER  
13260-13268 OLD YALE RD, SURREY, BC

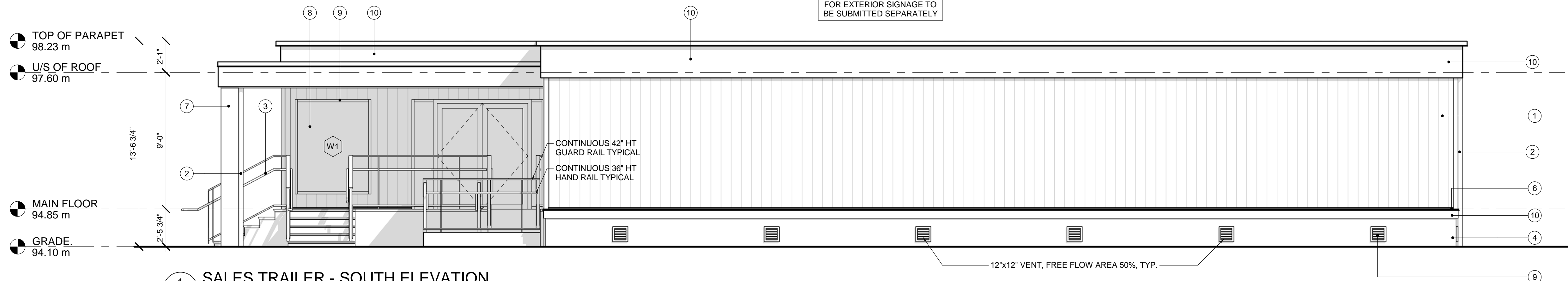
DRAWING:  
BUILDING COLOURED ELEVATIONS

PROJECT NO: T18025	SCALE: 1/4" = 1'-0"
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SHEET NUMBER:	

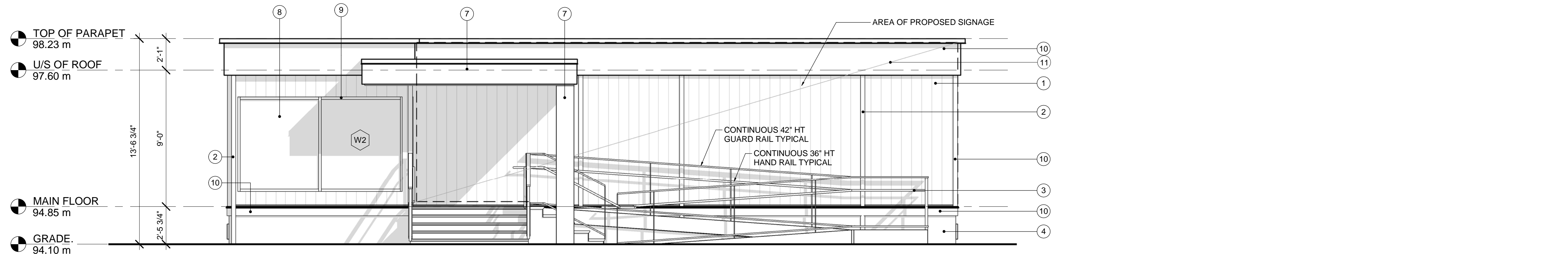
A4.02

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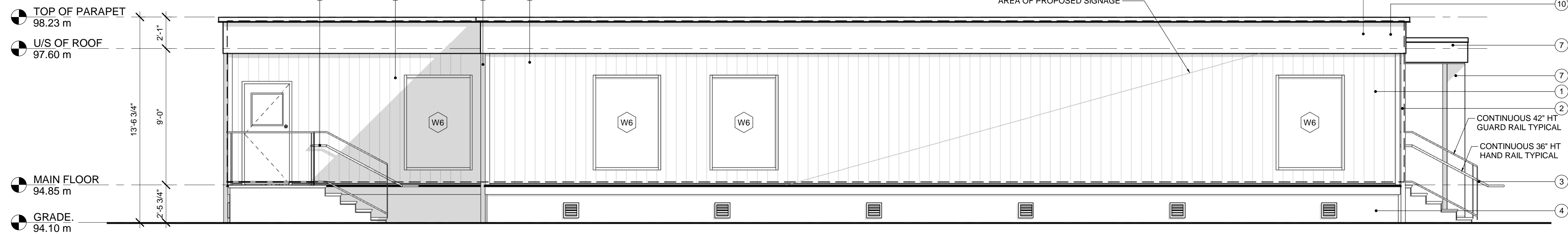
NOTE: APPLICATION PERMIT FOR EXTERIOR SIGNAGE TO BE SUBMITTED SEPARATELY



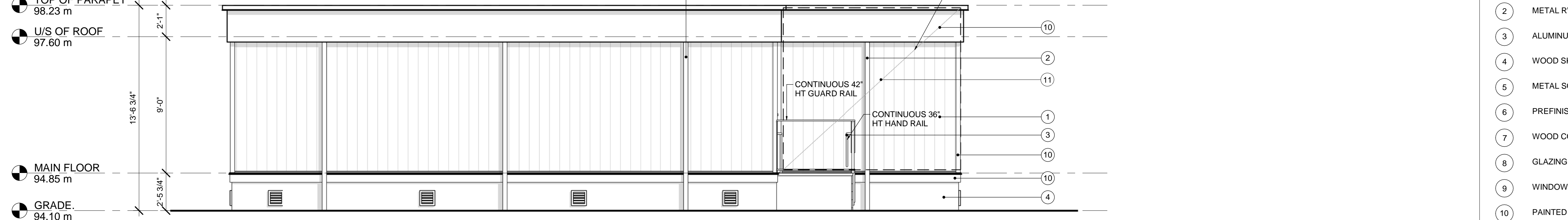
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A4.01 SCALE - 1/4" = 1'-0"



2 SALES TRAILER - WEST ELEVATION  
A4.01 SCALE - 1/4" = 1'-0"



3 SALES TRAILER - NORTH ELEVATION  
A4.01 SCALE - 1/4" = 1'-0"



4 SALES TRAILER - EAST ELEVATION  
A4.01 SCALE - 1/4" = 1'-0"

**MATERIAL LEGEND**

1	PAINTED RANCHWALL
2	METAL RWL
3	ALUMINUM GUARD AND HANDRAIL
4	WOOD SKIRTING
5	METAL SQUARE VENT
6	PREFINISHED METAL FLASHING
7	WOOD COLUMN
8	GLAZING
9	WINDOW FRAME
10	PAINTED WOOD
11	PROPOSED SIGNAGE

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NO	DATE	DESCRIPTION

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SALES CENTER  
13260-13268 OLD YALE RD, SURREY, BC

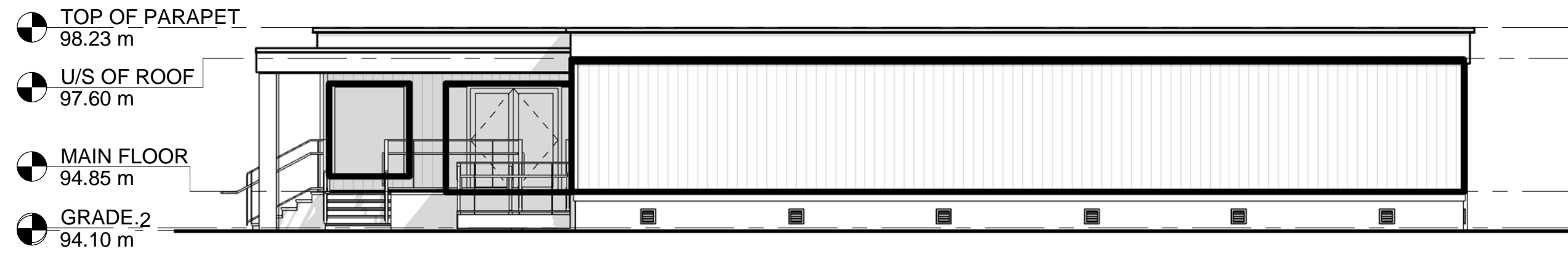
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BUILDING ELEVATIONS

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SHEET NUMBER:			

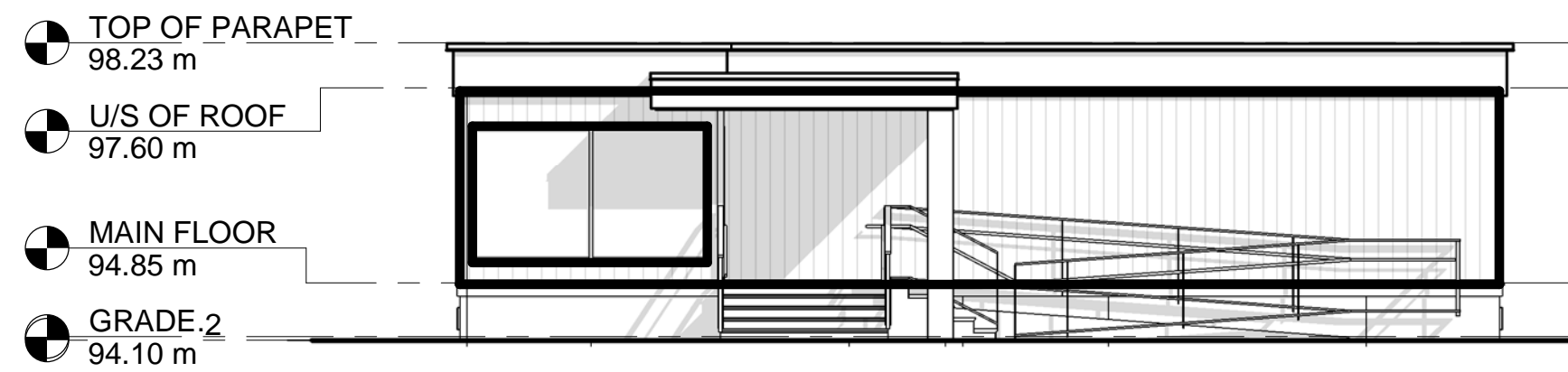
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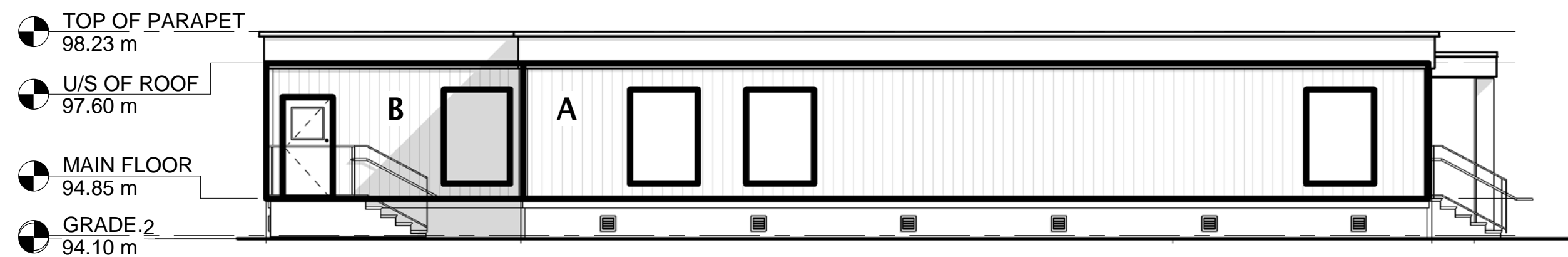




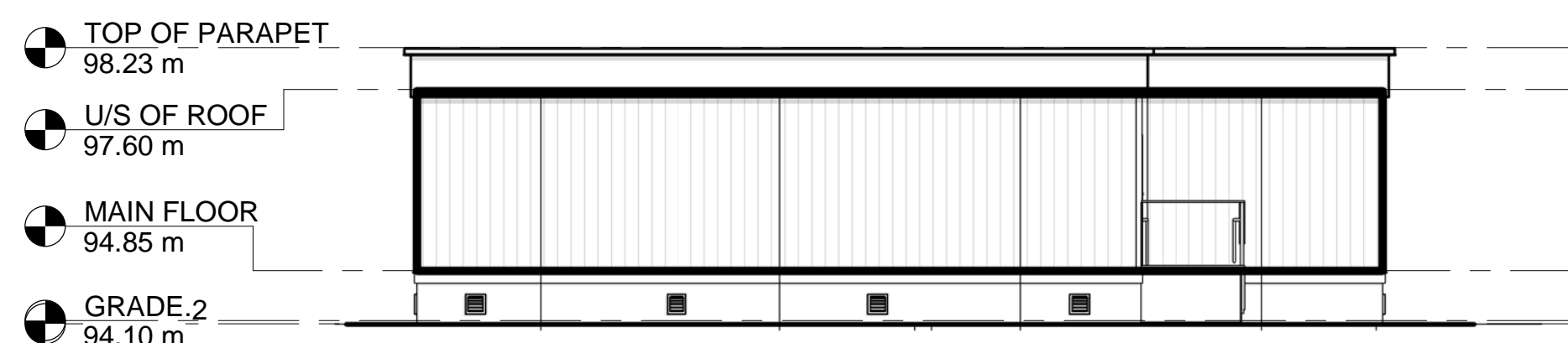
1 EXPOSED BUILDING FACE - SOUTH  
A0.03 SCALE - 1/8" = 1'-0"



2 EXPOSED BUILDING FACE - WEST  
A0.03 SCALE - 1/8" = 1'-0"



3 EXPOSED BUILDING FACE - NORTH  
A0.03 SCALE - 1/8" = 1'-0"



4 EXPOSED BUILDING FACE - EAST  
A0.03 SCALE - 1/8" = 1'-0"

LIMITING DISTANCE CALCULATION SUMMARY

BUILDING FACE	WALL AREA	LIMITING DISTANCE	UNPROTECTED OPENINGS	
			PROPOSED	PERMITTED
SOUTH	65.50 m <sup>2</sup>	63.01 m	12.9% or 8.746 m <sup>2</sup>	100% or 65.50 m <sup>2</sup>
WEST	13.10 m <sup>2</sup>	15.85 m	44.7% or 5.852 m <sup>2</sup>	100% or 13.10 m <sup>2</sup>
NORTH A	50.39m <sup>2</sup> of 64.73 m <sup>2</sup>	4.50 m	15.6% or 7.839 m <sup>2</sup>	18.0% or 11.79 m <sup>2</sup>
NORTH B	14.34m <sup>2</sup> of 64.73 m <sup>2</sup>	8.10 m	32.6% or 4.677 m <sup>2</sup>	56% or 11.79 m <sup>2</sup>
EAST	423.00 m <sup>2</sup>	1.53 m	0.0% or 0.00 m <sup>2</sup>	0.0% or 0.0 m <sup>2</sup>

BUILDING CODE REVIEW DATE: 2018 JUNE 08

CIVIC: 13260 OLD YALE RD SURREY BC

LEGAL: BLOCK 13 SECTION 27 RANGE 2 PLAN NWP10207 NWD PARCEL A, EXCEPT PLAN EX EXP 11312 & B/L 51235.

BASIS: BRITISH COLUMBIA BUILDING CODE 2012 - PART 9

GENERAL DESCRIPTION

USE: EXISTING - PROPOSED -  
1-STOREY  
HEIGHT:  
FLOOR AREA: 272.590 m<sup>2</sup> (2934.13 Sq.Ft.)  
SPRINKLERED: NO  
FIRE ALARM: NO  
OCCUPANT LOAD: 60 PERSONS  
CONSTRUCTION: COMBUSTIBLE

BUILDING CONSTRUCTION / SEPARATIONS

OCCUPANCY CLASSIFICATION

	REQUIRED	PROVIDED
9.10.2.1 GROUP 'D' BUSINESS AND PERSONAL SERVICES OCCUPANCIES		
9.10.8.1 FIRE RESISTANCE RATINGS	NONE	NONE
ROOF ASSEMBLIES	NONE	NONE
FLOOR ASSEMBLIES (OVER CRAWLSPACE)	NONE	NONE

FIRE SEPARATION AND CLOSURES

9.10.10.3 SERVICE ROOMS - ALL EQUIPMENT IS ELECTRICAL AND DOES NOT CONSTITUTE A FIRE HAZARD. NO RATING IS REQUIRED.

SPATIAL SEPARATION

TABLE 9.10.14.4A UNPROTECTED OPENINGS ALLOWED: REFER TO GRAPHIC AND SUMMARY TABLE

INTERIOR FINISHES

	REQUIRED	PROVIDED
9.10.17 FLAME SPREAD RATING OF INTERIOR FINISHES	150	150

FIRE ALARM

3.2.7.3 EMERGENCY LIGHTING SHALL BE PROVIDED IN ALL EXITS AND ACCESS TO EXITS TO THE REQUIREMENTS OF SECTION 3.2.7

HEAT DETECTORS: NOT REQUIRED  
SMOKE DETECTORS: NOT REQUIRED

EXITING SYSTEM

NUMBER AND LOCATION OF EXITS

9.9.8.2(1) MINIMUM OF TWO (2) EXITS REQUIRED 2 EXITS PROVIDED  
9.9.8.4 WHERE MORE THAN ONE EXIT IS REQUIRED FROM A FLOOR AREA, AT LEAST 2 EXITS SHALL BE INDEPENDENT OF EACH OTHER AND BE PLACED REMOTE FROM EACH OTHER ALONG THE PATH OF TRAVEL BETWEEN THEM.

	REQUIRED	PROVIDED
9.9.8.2.1.(c) MAX. TRAVEL DISTANCE TO ONE EXIT	30 m	SEE DWGS

WIDTH AND HEIGHT OF EXITS

	REQUIRED	PROVIDED
3.4.3.2 EXIT WIDTH		
3.4.3.2.(1)(a) 6.1mm x 60 (MAX. QUANTITY OF PERSONS)	366 mm	914 mm

9.9.6.3 800 mm REQ'D MIN WIDTH FOR DOORWAYS

9.9.3.3 1100mm REQ'D MIN WIDTH FOR CORRIDORS AND PASSAGEWAYS

HEADROOM CLEARANCE

9.9.6.2.(1) EXIT: MIN. 2,050mm CLEAR  
DOORWAY: MIN. 2,030mm  
9.9.6.2.(2) DOOR CLOSURES: MIN. 1,980mm

PLUMBING

OCCUPANT LOAD (GROUP D) = 60 PERSONS

3.1.17.1.(2) PERMANENT SIGN POSTED; MAXIMUM OCCUPANCY 50 PERSONS

3.1.2.6.(3) PERMANENT SIGN, WITH LETTERING NOT LESS THAN 50mm HIGH WITH A 12mm STROKE, INDICATING 50 PERSON OCCUPANT LOAD, SHALL BE POSTED IN A CONSPICUOUS LOCATION NEAR PRINCIPLE ENTRANCE. SEE DRAWING A2.02 FOR SIGN LOCATION.

	PERSONS OF EA. SEX	NO. OF W/C REQUIRED	PROVIDED
3.7.2.2.B MALE	25	1	1
FEMALE	25	1	1

NOTE: ACCESSIBLE WASHROOM PROVIDED

BARRIER-FREE DESIGN

3.8.2.3 AREAS REQUIRED TO BE BARRIER FREE: ENTRANCE UNIVERSAL TOILET ROOM

DOORWAYS AND DOORS

3.3.1.13 DOORWAYS: CLEAR WIDTH OF MIN. 800mm  
3.3.1.13.(10) DOOR SHALL HAVE CLEARANCE OF 600mm ON PULL SIDE AND 300mm ON PUSH SIDE  
LEVEL ACCESS 1500mm LONG ON DOOR SWING SIDE  
LEVEL ACCESS 1200mm LONG ON PUSH SIDE

3.3.1.13.(10) DOOR HARDWARE WITH SINGLE ACTION RELEASE HARDWARE

STAIRS AND RAMPS

3.4.6.8 MAX ALLOWABLE RISE IS 180mm; RUN TO BE BETWEEN 280mm MINIMUM AND 355mm

HANDRAILS

3.4.6.5 A STAIRWAY SHALL HAVE A HANDRAIL ON AT LEAST ONE SIDE, BUT IF IT IS 1100mm OR MORE WIDE IT SHALL HAVE HANDRAILS ON BOTH SIDES.

3.4.6.5(3) HANDRAILS SHALL BE CONTINUOUSLY GRASPABLE.  
MAX DIAMETER: 43mm  
MIN DIAMETER: 30mm

3.4.6.5(5) MIN HEIGHT: 865mm  
MAX HEIGHT 965mm

3.4.6.5.(10) ONE HANDRAIL ON EACH SET OF STAIR TO HAVE A HORIZONTAL EXTENSION AT THE TOP AND BOTTOM. THE BOTTOM OF THE HANDRAIL SHALL EXTEND ON THE SLOPE FOR ONE TREAD WIDTH AND THEN MUST HAVE A HORIZONTAL EXTENSION. EXTENSION CAN BE AT 90 DEGREES TO THE TRAVEL PATH AND HAVE A LENGTH OF 6".

GUARDS

3.4.6.6 GUARD DESIGN - GUARD DESIGN AT LANDINGS NEED TO MEET THE REQUIREMENT TO DETER CLIMBING AND MUST BE 1070mm HIGH

CRAWLSPACE

9.18.2 PROVIDE ACCESS TO THE CRAWLSPACE THRU THE SKIRTING NOT LESS THAN 550mm x 900mm

9.18.3 UNHEATED CRAWL SPACES SHALL BE VENTILATED BY NATURAL OR MECHANICAL MEANS

	REQUIRED	PROVIDED
VENT AREA CALCULATION	0.1m <sup>2</sup> PER 50m <sup>2</sup> = 0.545m <sup>2</sup>	0.743m <sup>2</sup>

ENERGY CODE

9.36.1.3.(1) BUILDING SHALL COMPLY WITH THE PRESCRIPTIVE OR TRADE-OFF REQUIREMENTS IN SUBSECTIONS 9.36.2. TO 9.36.4.. SEE ASSEMBLIES PAGE A0.3 FOR EFFECTIVE RSI VALUES

THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS MUST BE REPORTED IMMEDIATELY TO THE CONSULTANT. THIS DRAWING IS TO BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS. VARIATIONS AND MODIFICATIONS TO WORK SHOWN SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM THE CONSULTANT. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE CONSULTANT AND CANNOT BE REPRODUCED, COPIED, OR LOANED WITHOUT PERMISSION OF THE CONSULTANT.

CLIENT:



TOWNLIN GROUP OF COMPANIES  
120 - 13575 COMMERCE PARKWAY  
RICHMOND, BC, V6V 2L1

CONSULTANT: DRAWING



PARALLEL  
807-318 HOMER ST. VANCOUVER, BC. 604.669.1300 F 604.669.1303

NO	DATE	DESCRIPTION
2	2018-07-13	REVISED AS PER CITY
1	2018-06-11	ISSUED FOR BUILDING PERMIT

NORTH POINT: STAMP:

PROJECT:

133 + OLD YALE RD.  
SALES CENTER  
13260-13268 OLD YALE RD, SURREY, BC

DRAWING:

CODE ANALYSIS & LIMITING DISTANCE

PROJECT NO:	SCALE:
T18025	As indicated
START DATE:	DRAWN BY:
05/18/18	SW
FORMAT:	CHECKED BY:
34"x22"	MMC
SHEET NUMBER:	

A0.03

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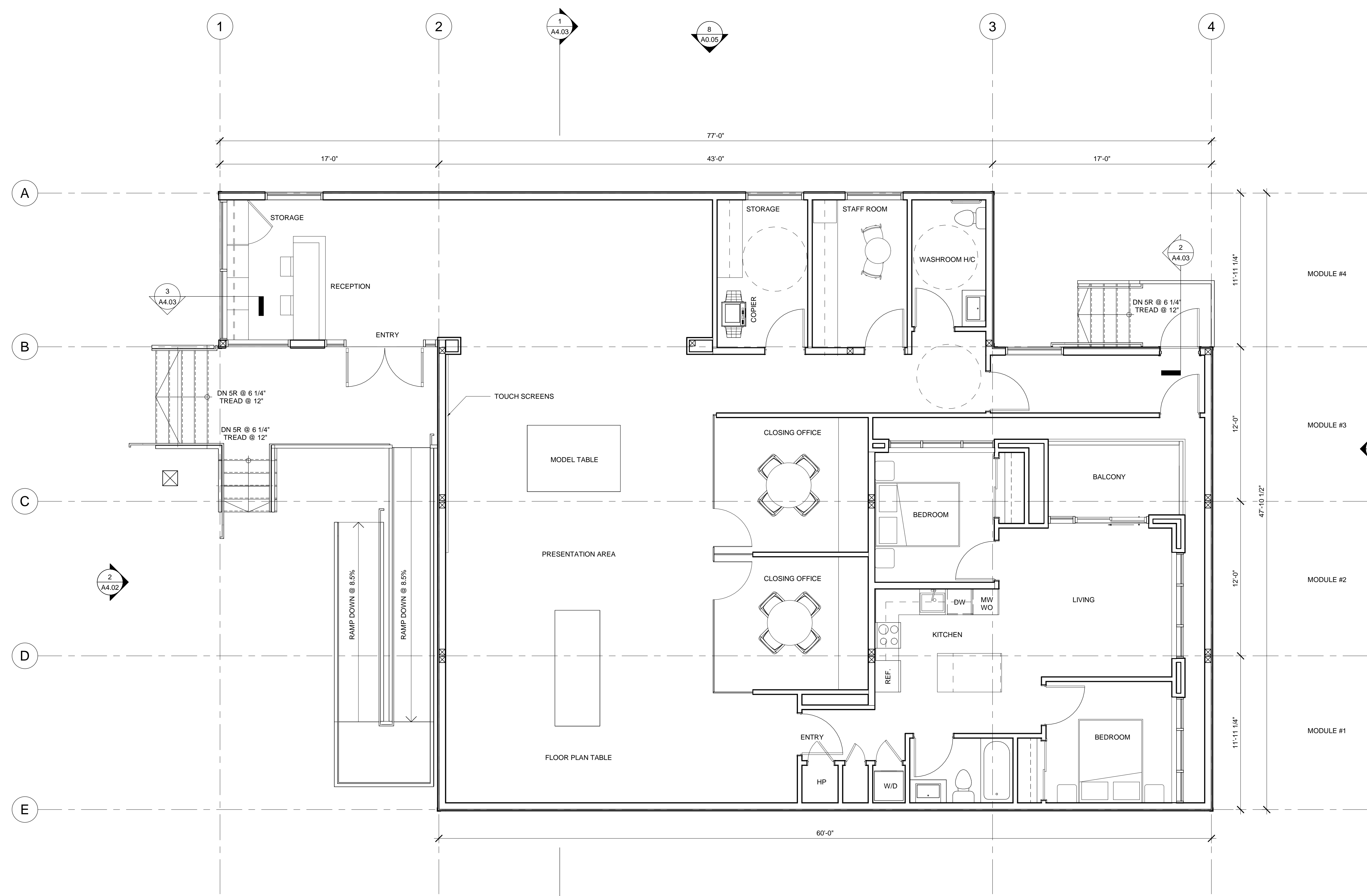


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CONSULTANT: DRAWING



PARALLEL  
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1 OVERALL MAIN FURNITURE PLAN  
A2.03 SCALE - 1/4" = 1'-0"

2	2018-07-13	REVISED AS PER CITY
1	2018-06-11	ISSUED FOR BUILDING PERMIT
NO	DATE	DESCRIPTION

NORTH POINT:

STAMP:

PROJECT:  
133 + OLD YALE RD.  
SALES CENTER  
13260-13268 OLD YALE RD, SURREY,  
BC

DRAWING:  
OVERALL MAIN FURNITURE PLAN

PROJECT NO: T18025	SCALE: 1/4" = 1'-0"
START DATE: 04/30/18	DRAWN BY: SW
FORMAT: 34"x22"	CHECKED BY: MMC
SHEET NUMBER:	

A2.03

13/07/2018 3:01:38 PM



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**TO: Manager, Area Planning & Development  
- North Surrey Division  
Planning and Development Department**

**FROM: Development Services Manager, Engineering Department**

**DATE: Jul 18, 2018** PROJECT FILE: **7817-0585-00**

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**RE: Engineering Requirements (Temporary Use Permit)  
Location: 13260/68 Old Yale Road**

### TEMPORARY USE PERMIT

The following are to be addressed as a condition of the issuance of this Temporary Use Permit for a temporary real estate sales centre and parking:

- Construct a 7.3m wide driveway letdown. Locate driveway outside of Tree Protection Zone.
- Construct on-site water quality treatment features for surface runoff from on-site parking and drive aisle areas, as determined through review of key plan. Register restrictive covenant for water quality/sediment control, if applicable.
- Provide metered water, storm and sanitary service connections to the lot.
- Provide temporary Hydro servicing strategy.
- Submit an updated key plan.

A Servicing Agreement is not required for this proposed Temporary Use Permit. The above noted works can be constructed subject to issuance of a City Road and Right-of-Way Permit obtainable at the Engineering front counter upon payment of securities and permit fees.



Tommy Buchmann, P.Eng.  
Development Engineer

HB4

Arborist Report – 13260, 13268 Old Yale Road, Surrey.

Table 4. Tree Preservation Summary.

TREE PRESERVATION SUMMARY	
Surrey Project No:	Unknown Project number
Address:	13260, 13268 Old Yale Rd. Surrey, BC
Registered Arborist:	Michael Harray, B.Sc., MSFM ISA Certified Arborist (PN-8025A) Forester in Training Biologist in Training
On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	<b>12</b>
<b>Protected Trees to be Removed</b>	<b>11</b>
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	<b>1</b>
<b>Total Replacement Trees Required:</b>	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 9 X one (1) = 9	<b>13</b>
- All other Trees Requiring 2 to 1 Replacement Ratio 2 X two (2) = 4	
<b>Replacement Trees Proposed</b>	
<b>Replacement Trees in Deficit</b>	
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	
Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	<b>0</b>
<b>Total Replacement Trees Required:</b>	
- Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio ___ X one (1) = 0	<b>0</b>
- All other Trees Requiring 2 to 1 Replacement Ratio X two (2) = 0	
<b>Replacement Trees Proposed</b>	<b>0</b>
<b>Replacement Trees in Deficit</b>	<b>0</b>

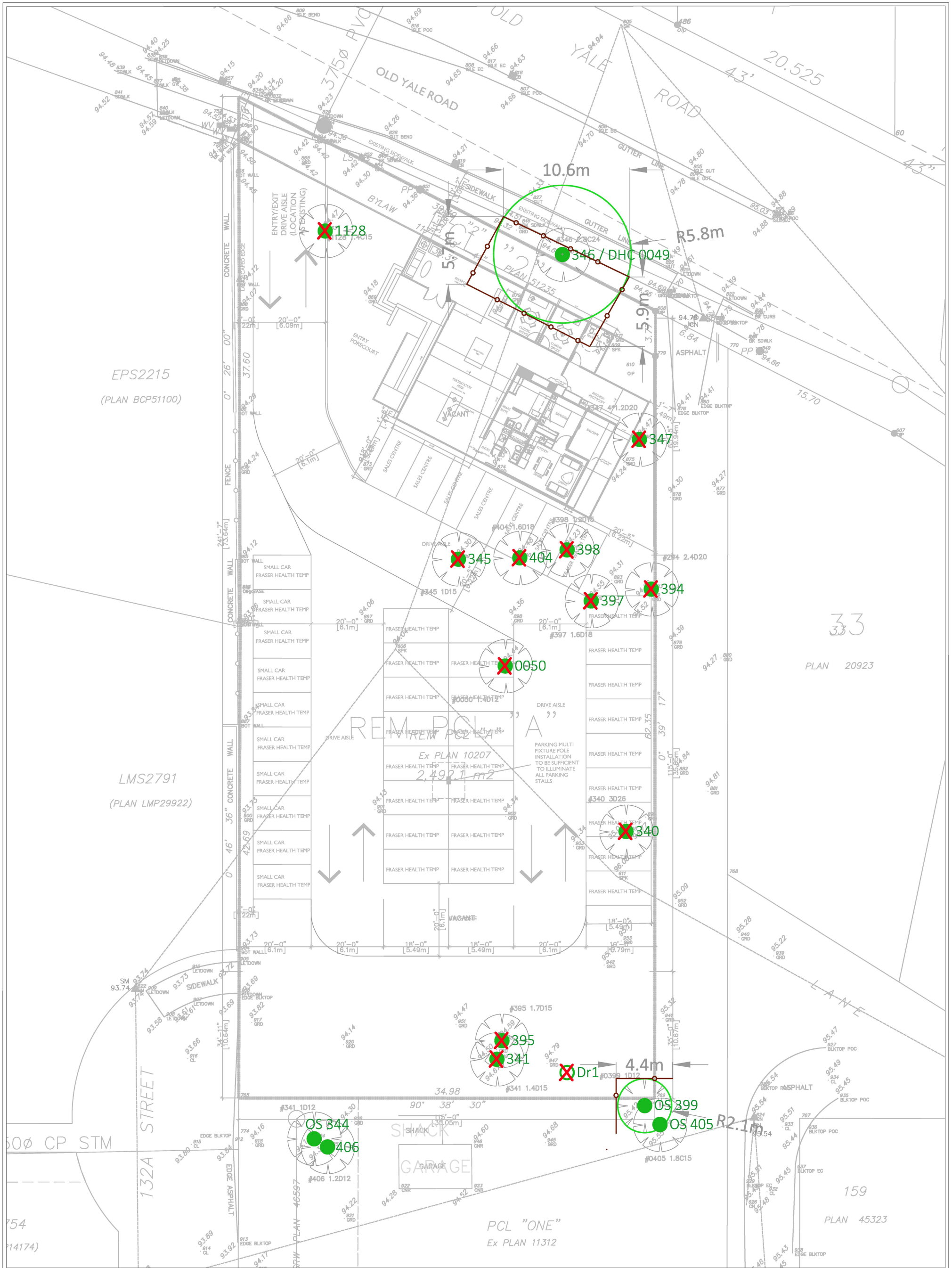
Summary prepared and  
submitted by:



Arborist

May 20, 2016

Date



LEGEND	<span style="color: green;">—</span> TREE PROTECTION ZONE	<span style="color: red;">—</span> TREE PROTECTION FENCE	<span style="color: green;">○</span> UN-SURVEYED TREE
	<span style="color: blue;">—</span> NO-BUILD ZONE	<span style="color: green;">●</span> TREE TO BE RETAINED	<span style="color: red;">✗</span> TREE TO BE REMOVED

REFERENCE DRAWINGS  
1. Base Survey by:

- NOTES
- The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
  - All tree protection fencing must be built to the relevant municipal bylaw specifications. The dimensions shown are from the outer edge of the stem of the tree.
  - The tree protection zone shown is a graphical representation of the critical root zone, measured from the outer edge of the stem of the tree. (½ the trees diameter was added to the graphical tree protection circles to accommodate the survey point being in the center of the tree)
  - Any construction activities or grade changes within the Root Protection Zone must be approved by the project arborist.
  - This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and layout drawings provide by the owners' Engineer (P Eng).
  - This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and engineering plans.



3551 COMMERCIAL STREET  
VANCOUVER BC | V5N 4E8  
T 604.733.4886 | F 604.733.4879

Project:  
Client: Townline  
Address: 13260 and 13268 Old Yale Road

Date: 2016/07/06  
Drawn by: KK  
Page Size: TABLOID  
(11"x17")

Page #  
1 of 1

(the "City")

**TEMPORARY USE PERMIT**

NO.: 7917-0585-00

Issued To:

(the "Owner")

Address of Owner:

1. This temporary use permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this temporary use permit.
2. This temporary use permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 011-924-951

Parcel "A" (Explanatory Plan 10207) Lot 13 Except: Firstly: Parcel "One" (Explanatory Plan 11312)  
Secondly: Parcel "2" (Bylaw Plan 51235), Section 27 Block 5 North Range 2 West New Westminster  
District Plan 822

13260 - Old Yale Road

(the "Land")

3. The authority to issue Temporary Use Permits is granted to municipalities under Sections 492 and 493 of the *Local Government Act* R.S.B.C. 2015, c.1. Pursuant to Implementation, II(c) Implementation Instruments, Temporary Use Permits of Surrey Official Community Plan, 2013, No. 18020, as amended, the entire City of Surrey is designated a Temporary Use Permit area.
4. The temporary use permitted on the Land shall be:
  - (a) A real estate sale centre and associated surface parking lot; and
  - (b) Temporary parking of construction workers' vehicles.

5. The temporary use permitted on the Land shall be in accordance with:
  - (a) The appearance and location of the buildings, access, parking and landscaping as shown on Schedule A and numbered 7917-0585-00(1) through to and including 7917-0585-00(5) (the "Drawings") which is attached hereto and forms part of this permit;
  - (b) Parking is restricted to vehicles less than 5,000 kilograms [11,000 lbs.] GVW;
  - (c) The parking surface shall be of a dust-free material such as crushed gravel; and
  - (d) Upon the termination of this Temporary Use Permit, the real estate sales centre and temporary parking shall be removed and the land restored to its original condition.
6. Alternatives to standard servicing requirements as documented in the "Surrey Subdivision and Development By-law" may be approved as part of this Temporary Commercial Use Permit.
7. This temporary industrial use permit applies to only to that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this temporary industrial use permit.
8. As a condition of the issuance of this temporary use permit, Council is holding security set out below (the "Security") to ensure that the temporary use is carried out in accordance with the terms and conditions of this temporary use permit. Should the Owner fail to comply with the terms and conditions of this temporary use permit within the time provided, the amount of the Security shall be forfeited to the City. The City has the option of using the Security to enter upon the Land and perform such works as is necessary to eliminate the temporary use and bring the use and occupancy of the Land into compliance with Surrey Zoning By-law, 1993, No. 12000, as amended (the "Works"). The Owner hereby authorizes the City or its agents to enter upon the Land to complete the Works. There is submitted accordingly:

Cash in the amount of \$5,000.00.
9. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this temporary use permit. This temporary use permit is not a building permit.
10. An undertaking submitted by the Owner is attached hereto as Appendix I and forms part of this temporary use permit.
11. This temporary use permit is not transferable.

12. This temporary use permit shall lapse on or before three years from date of issuance.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_ .  
ISSUED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20 \_\_\_\_ .

\_\_\_\_\_  
Mayor – Linda Hepner

\_\_\_\_\_  
City Clerk – Jane Sullivan

IN CONSIDERATION OF COUNCIL'S APPROVAL OF THIS TEMPORARY USE PERMIT AND OTHER GOOD AND VALUABLE CONSIDERATION, I/WE THE UNDERSIGNED AGREED TO THE TERMS AND CONDITIONS OF THIS TEMPORARY USE PERMIT AND ACKNOWLEDGE THAT WE HAVE READ AND UNDERSTOOD IT.

\_\_\_\_\_  
Authorized Agent: Signature

\_\_\_\_\_  
Name (Please Print)

OR

\_\_\_\_\_  
Owner: Signature

\_\_\_\_\_  
Name: (Please Print)

TO THE CITY OF SURREY:

I, \_\_\_\_\_ (Name of Owner)

being the owner of \_\_\_\_\_  
(Legal Description)

known as \_\_\_\_\_  
(Civic Address)

hereby undertake as a condition of issuance of my temporary use permit to:

- (a) demolish or remove all buildings and/or structures that are permitted to be constructed pursuant to the temporary use permit issued to me; and
- (b) restore the land described on the temporary use permit to a condition specified in that permit;

all of which shall be done not later than the termination date set out on the temporary use permit.

I further understand that should I not fulfill the undertaking described herein, the City or its agents may enter upon the land described on the temporary use permit and perform such work as is necessary to eliminate the temporary use and bring the use and occupancy of the land in compliance with Surrey Zoning By-law, 1993, No. 12000, as amended, and that any securities submitted by me to the City pursuant to the temporary use permit shall be forfeited and applied to the cost of restoration of my land as herein set out.

This undertaking is attached hereto and forms part of the temporary use permit.

\_\_\_\_\_  
(Owner)

\_\_\_\_\_  
(Witness)



