

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0583-00

Planning Report Date: February 11, 2019

PROPOSAL:

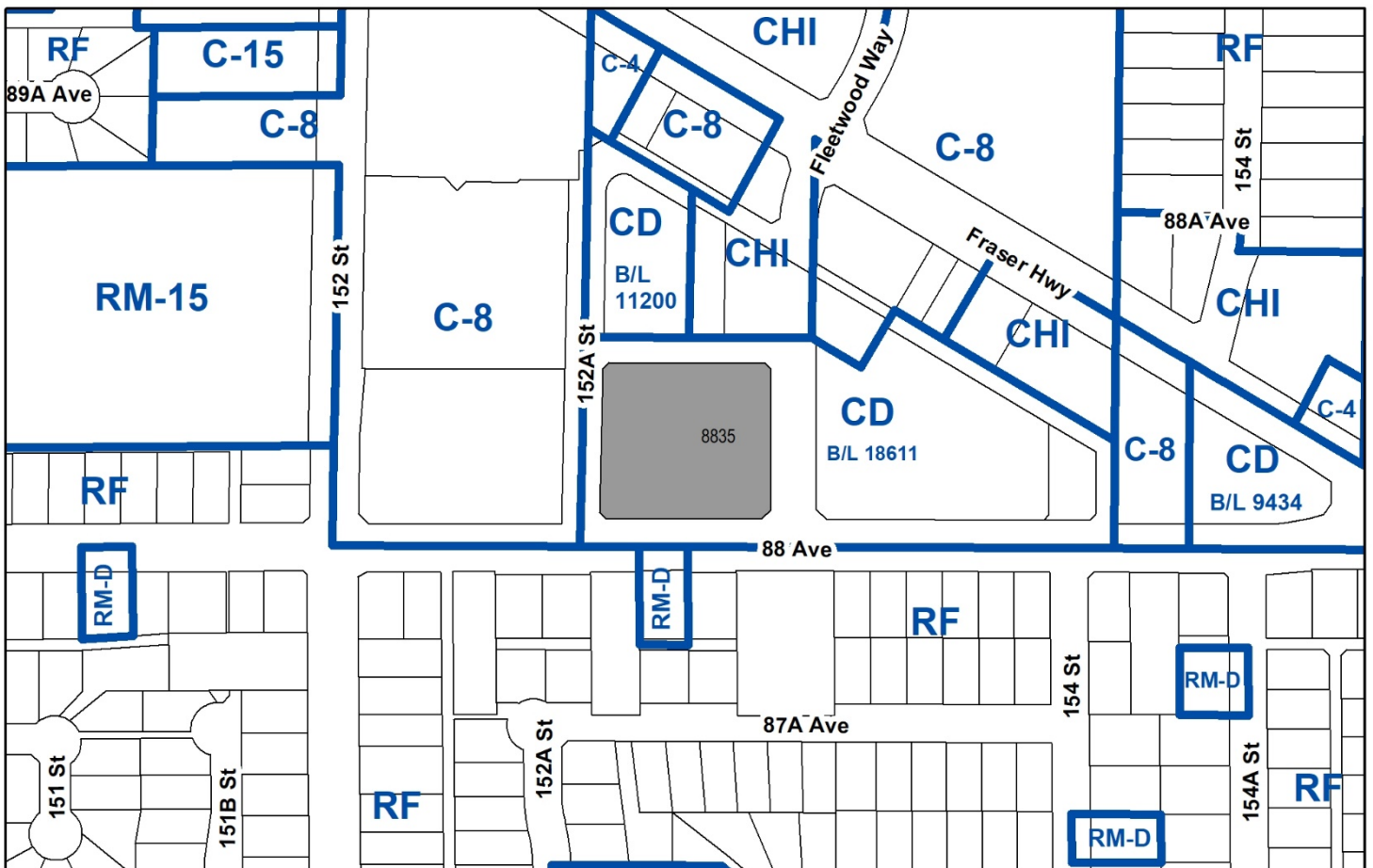
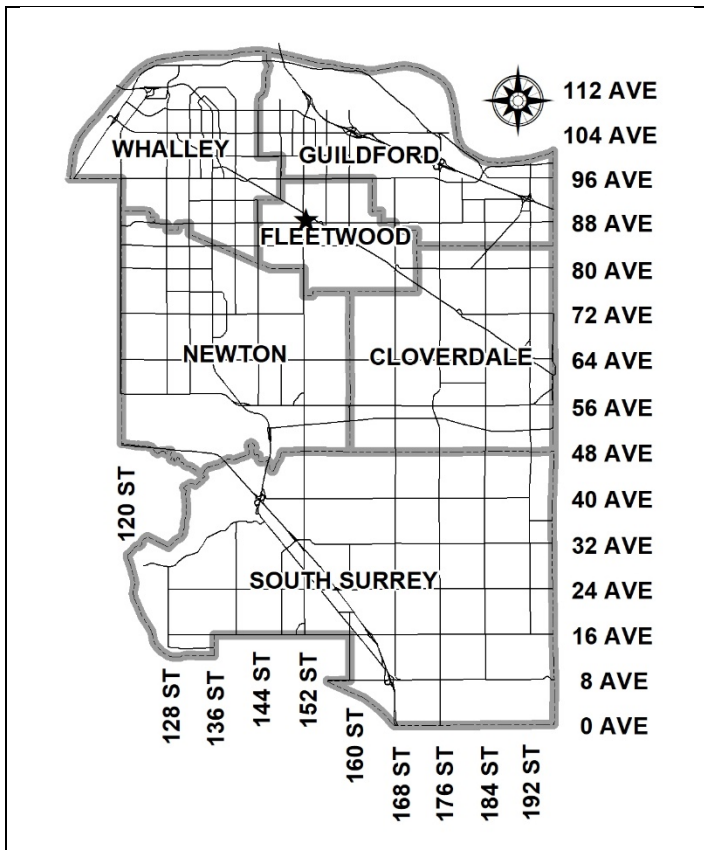
- **Development Permit**
- **Development Variance Permit**

to permit the development of a mixed-use development with ground floor commercial, second floor office and 65 residential dwelling units in five buildings ranging from one-storey to five-storeys in height.

LOCATION: 8835 - Fleetwood Way

ZONING: CD By-law No. 18611

OCP DESIGNATION: Commercial



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.
- Approval to vary the Sign By-law through a comprehensive sign design package.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- Seeking a variance to the minimum required setback of an underground parking facility from 2.0 metres (6.5 ft.) to 0.5 metre (1.6 ft.) from all four lot lines.
- Seeking variances to the Sign By-law to allow additional fascia signage through a comprehensive sign design package.

RATIONALE OF RECOMMENDATION

- An Official Community Plan (OCP) Amendment, rezoning and General Development Permit (DP) was approved by Council on February 20, 2017 under File No. 7914-0121-00, to allow a phased, mixed-use retail, office and multiple unit residential development on the subject lot and neighbouring lot to the east (15377 – 88 Avenue).
- The current proposal is for Phase 1 of the development, which is proposed on the west lot (8835 Fleetwood Way). Phase 1 is consistent with the approved General DP No. 7914-0121-00.
- Increased densities and redevelopment of the Fraser Highway corridor / 152 Street commercial node (including the subject site) fulfills the City's objectives of increasing density and housing choice within the vicinity of a proposed rapid transit corridor.
- The proposed building form is appropriate for this part of Fleetwood.
- The proposed fascia signs are of an appropriate size and scale in relation to the proposed buildings and are of a high quality and are comprehensively designed for the site.
- The proposed variance for the underground parking garage is comparable to setback relaxations for other similar projects in the City.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council approve the applicant's request to vary the Sign By-law as described in Appendix II.
2. Council authorize staff to draft Development Permit No. 7917-0583-00 including a comprehensive sign design package generally in accordance with the attached drawings (Appendix III).
3. Council approve Development Variance Permit No. 7917-0583-00 (Appendix VII), to reduce the minimum required setback of an underground parking facility in Part 5 Off-Street Parking and Loading/Unloading of the Zoning By-law No. 12000 from 2.0 metres (6.5 ft.) to 0.5 metre (1.6 ft.) from all four lot lines, to proceed to Public Notification.
4. Council instruct staff to resolve the following issues prior to final approval:
 - (a) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (b) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department; and
 - (d) submission of an acoustical report and registration of a Section 219 Restrictive Covenant to ensure the implementation of appropriate noise mitigation measures along 88 Avenue.

REFERRALS

Engineering: The Engineering Department has no objection to the project, as all Engineering servicing requirements are completed under the original rezoning application (File No. 7914-0121-00).

School District: **Projected number of students from this development:**

3 Elementary students at Coyote Creek Elementary School
3 Secondary students at Fleetwood Park Secondary School

(Appendix IV)

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by Spring 2021.

Parks, Recreation & Culture: No concerns.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Vacant (former site of Fleetwood Elementary School)

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North (across 88A Avenue):	Single-storey and two-storey commercial buildings.	Commercial	CD (By-law No. 11200) and CHI
East (Across Fleetwood Way):	Vacant (Future phase of General DP No. 7914-0121-00).	Commercial	CD (By-law No. 18611)
South (Across 88 Avenue):	Single family residential and a duplex lot.	Urban	RF and RM-D
West (Across 152A Street):	Grocery store (Safeway) and parking lot for Evergreen Mall.	Commercial	C-8

DEVELOPMENT CONSIDERATIONS

- The subject property is located at 8835 Fleetwood Way and is approximately 7,345 square metres (1.8 acres) in size. The property was originally part of a larger 2.3-hectare (5.7 acre) site that was once occupied by Fleetwood Elementary School until it was closed in 2009, and subsequently sold to the current owners.

- The original 2.3-hectare (5.7 acre) site, which includes the subject lot and the neighbouring lot to the east (15377 – 88 Avenue) was redesignated from Urban to Commercial in the Official Community Plan (OCP) and rezoned from Single Family Residential Zone (RF) to Comprehensive Development Zone (CD By-law No. 18611) under Development Application No. 7914-0121-00, which was approved by Council on February 20 2017 to allow a phased, mixed-use retail, office and multiple unit residential development. A General Development Permit (DP) was also approved under the same application (see Appendix VIII for approved General DP).
- As part of the original Development Application No. 7914-0121-00, the following covenants were registered on title for the subject site (Phase 1) and the adjacent site to the east at 15377 - 88 Avenue (Phase 2): No Build (OCP and parks amenity contributions) and Public Art contribution. These contributions will be collected at the Building Permit stage for each phase, as stipulated in the covenants.
- The OCP and parks amenity contributions were volunteered community benefit contributions volunteered by the applicant. The OCP contribution is \$1,500 per residential unit and the parks contribution is \$300 per residential unit. These contributions help support the OCP Amendment and to mitigate any additional pressures on the area as a result of the proposed development, and are consistent with contributions provided for other similar projects. The public art contribution is a standard requirement of most commercial, multi-family and industrial rezoning applications.

Current Proposal

- The owners have submitted a detailed Development Permit (DP) in order to allow a mixed-use development with approximately 3,385 square metres (36,450 sq.ft.) of ground floor commercial / retail space, 1,560 square metres (16,800 sq.ft.) of second floor office space and 65 dwelling units on the subject lot.
- The application includes a Development Variance Permit (DVP) to reduce the setbacks along all property lines for the underground parking facility from 2.0 metres (6.5 ft.) to 0.5 metre (1.6 ft.) (see Variance Section).
- The applicant is also seeking variances to the Sign By-law as part of the proposed comprehensive sign design package for the allowable number of fascia signs and the number of fascia signs above the first-storey of a building (see Appendix II).
- The proposed development consists of five (5) buildings (shown as Buildings A to E on the site plan), and are one to five storeys high. The project includes the following residential unit types:
 - Thirty-six (36) one-bedroom units;
 - Twenty-five (25) two-bedroom units; and
 - Four (4) three-bedroom units.

- The proposed residential unit types range in size from approximately 50 square metres (540 sq.ft.) to 102 square metres (1,100 sq.ft.).
- As part of the original rezoning application (File No. 7914-0121-00), all road dedication has been provided for the subject site, including Fleetwood Way (24 metres / 80 ft.), 88A Avenue (13.5 metres / 44 ft. half road standard), and the widening of 88 Avenue. All Engineering servicing requirements are also completed as part of the original rezoning application.

DESIGN PROPOSAL AND REVIEW

- The proposed development encompasses five (5) buildings (A to E). Building A includes ground floor retail / commercial space (505 square metres / 5,435 sq.ft.) as well as a second-floor indoor amenity space (195 square metres / 2,100 sq.ft.) to be utilized by the future residents in Buildings B and C.
- Buildings B and C consist of 310 square metres (3,345 sq.ft.) and 1,635 square metres (17,600 sq.ft.) of ground floor retail / commercial space, respectively. Buildings B and C are attached on the second through fifth floors and include the 65 proposed dwelling units.
- The main entrance to the dwelling units in Buildings B and C is located along the east elevation, facing Fleetwood Way. The entrance has been enhanced with a canopy and lighting.
- Building D includes 560 square metres (6,050 sq.ft.) of ground floor retail / commercial space. A portion of Building C and Building D are connected on the second floor (above the ground floor breezeway), encompassing approximately 1,270 square metres (13,670 sq.ft.) of office space.
- Building E is a stand-alone building at the northwest corner of the site and includes 370 square metres (4,000 sq.ft.) of ground floor retail / commercial space. The second floor includes 215 square metres (2,315 sq.ft.) of office space, as well as a second-floor outdoor patio space for employee use.
- The proposed building materials include grey fiber cement panel siding and white metal panels, as well as dark brown wood veneer panels and black decorative metal accents.
- Glass canopies, black metal canopies, and black canvas awnings are proposed along most building elevations.
- All of the dwelling units include private patios or balconies in compliance with the Zoning By-law, which requires balconies for non-ground-oriented dwelling units to be a minimum of 5% of the dwelling unit size or at least 4.6 square metres (50 sq.ft.) in size.

Parking and Vehicle Access

- The applicant proposes a one-level underground parking garage, which will provide a total of 204 parking spaces (91 resident parking spaces including visitor parking, and 113 parking spaces for the commercial / office uses). An additional fifty-two (52) surface parking spaces are also proposed, which results in a total of 256 parking spaces on the subject site.
- The CD By-law (No. 18611) that regulates the subject site stipulates that the residential parking rates are slightly reduced compared to the current parking ratios in the Zoning By-law, while the parking ratios for the commercial and office uses are to be consistent with the current ratios in the Zoning By-law. A total of 253 parking spaces (88 residential and 165 commercial / office parking spaces) are required, and therefore the 256 proposed parking spaces comply with the requirement.
- The proposal includes a total of 65 lockers, located within the underground parking garage, to accommodate 130 bicycles for the 65 proposed dwelling units. This complies with the requirement (1.2 bicycle spaces per dwelling unit), as per the Zoning By-law. Six (6) surface bicycle racks are also proposed throughout the site.
- Vehicle access to the underground parking garage is near the northeast corner of the site via 88A Avenue, which will be constructed to an interim 13.5 metres (44 ft.) half-road standard.

Amenity Space

- Based on the 65 proposed dwelling units and the minimum requirement of 3.0 square metres (32 sq.ft.) of indoor amenity space per unit, a total of 195 square metres (2,100 square feet) of indoor amenity space is required. The development proposes 195 square metres (2,100 sq.ft.) of indoor amenity space, which meets the minimum requirement.
- The indoor amenity space consists of a large multi-purpose room with kitchen counter and washroom, and is located on the second floor, directly above the Building A. This space is accessed via the outdoor amenity space as well as an internal stairway with direct access to the ground floor along 88A Avenue. The Fire Department has confirmed that the stairway will comply with the Building Code, by providing a second access required for emergency situations.
- Based on the 65 proposed dwelling units and the minimum requirement of 3.0 square metres (32 sq.ft.) of outdoor amenity space per unit, a total of 195 square metres (2,100 square feet) of outdoor amenity space is required. The development proposes approximately 330 square metres (3,550 sq.ft.) of outdoor amenity space, which exceeds the minimum requirement.
- The outdoor amenity space consists of two main sections. A small play area with boulders, upright steel tubes, concrete steppers and wood play blocks are located adjacent to the indoor amenity space. This area also includes some benches and tables and chairs. The second area, further south, also includes wood play blocks and additional tables and chairs. There also is an outdoor fireplace, as well as a covered BBQ area.

- The applicant proposes a covered public amenity space between Buildings C and D, connecting the internal parking lot with 88 Avenue. This space includes seating areas as well as planters with trees and landscaping, but is not included in the outdoor amenity space calculation.

Proposed Comprehensive Sign Design Package

- A comprehensive signage package has been included as part of the Development Permit package. The signs have been comprehensively designed to be architecturally coordinated with the building.
- Under Part 1 Introductory Provisions, Section 9 Variance of Sign By-law No. 13656, Council may grant variances to the Sign By-law through the approval of a Development Permit. This is considered when a Development Permit application, such as the current proposal, has been submitted to Council that includes a comprehensive sign design package containing signs that require a variance of the Sign By-law provisions.
- The proposed commercial / office fascia signs are comprised of illuminated or non-illuminated aluminum channel letters located above each unit, including second storey fascia signs.
- The Sign By-law allows a maximum of two (2) fascia signs for each premises (commercial / retail unit) provided that both signs are not located on the same façade. Some of the proposed tenant space may be combined to create larger units however, and may result in some tenants with two (2) fascia signs on the same façade. Therefore, a variance is proposed to allow additional fascia signs on the same building façade.
- The Sign By-law also stipulates that a maximum of one (1) fascia sign per lot frontage is permitted above the first-storey of a building, provided no more than one (1) such sign shall be on any one building façade above the first-storey. A total of eight (8) second-storey signs are proposed throughout the site for the second-floor office space, with two (2) fascia signs located on the same building façade (south façade facing 88 Avenue). Therefore, a variance is proposed to allow one (1) additional second-storey sign.
- The applicant also proposes blade signs that are located perpendicular to the ground floor units and suspended from the canopies (under-canopy signs). The blade signs are for wayfinding and will be pedestrian scale. The blade signs shall not exceed 3.0 square metres (32 sq.ft.), as stated in the Sign By-law. No variance is required for the blade signs.
- Three (3) free-standing signs are proposed on the site. The proposed free-standing signs are installed on a concrete slab, with an attached wooden bench, and are 2.5 metres (8.2 ft.) in height. The proposed free-standing signs are for pedestrian wayfinding on the site, and comply with the Sign By-law.
- The proposed signage is supportable, as it has been designed in a comprehensive manner, is not excessive, and coordinated as part of the overall design of the building.

TREES

- Peter Mennel, ISA Certified Arborist of Mike Fadum and Associates Ltd., prepared an Arborist Assessment for the subject property. The following table provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry	1	1	0
Emerald Queen Norway Maple	6	6	0
Manitoba Maple	1	1	0
Norway Maple	1	1	0
Paper Birch	1	1	0
Purple Leaf Plum	1	1	0
Total	11	11	0
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		72	
Total Retained and Replacement Trees		72	
Contribution to the Green City Fund		No contribution required	

- The Arborist Assessment states that there is a total of five (5) protected trees and there are no Alder or Cottonwood trees on the site. There are also six (6) undersized boulevard trees (all Maples) located along the west property line. It was determined that none of the trees can be retained as part of this development proposal, taking into consideration the location of roads and services and building footprints.
- Additionally, there are five (5) protected, off-site trees and one (1) undersized, off-site tree that are proposed for removal, in order to construct the interim 13.5-metre (44 ft.) half road standard (88A Avenue). The applicant has provided a signed Tree Cut Permit from the property owner to the north (8888 – 152A Street) to allow for the removal of these six (6) off-site trees.
- For those trees that cannot be retained, the applicant will be required to plant trees on a 2 to 1 replacement ratio. This will require a total of 20 replacement trees on the site. The applicant is proposing 72 replacement trees, exceeding City requirements. The new trees on the site will consist of Dogwood, Ash, Ironwood and Oak.
- In addition to the replacement trees, the applicant is required to plant boulevard street trees along all property lines (88 Avenue, 88A Avenue, 152A Street and Fleetwood Way). This will be determined by the Engineering Department during the servicing design review process.

Landscaping

- The landscape plan shows 72 trees to be planted throughout the subject site including ash, dogwood, ironwood, maple, and spruce.
- A significant number of shrubs and ground cover species are proposed throughout the subject site including cedars, ferns, rhododendrons, yew, and decorative grasses.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on December 12, 2017. The following table summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located in Fleetwood in an established neighbourhood with frequent transit service. • The proposed mixed-use project may initiate development interest, as there is significant redevelopment potential in the area. An increase in densities may advance the expansion of transit options and create a more pedestrian and transit-friendly neighbourhood.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed net density of the development is 1.7 floor area ratio (FAR), which will increase the density in the area and promote a more urban, pedestrian-friendly streetscape. • The proposed development will include a mix of land uses, including commercial, office and residential. • The proposed development includes apartment units (bachelor to 2-bedroom units), which will diversify the housing stock and provide additional options for future home buyers in this area. • A publicly accessible plaza is proposed.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • The proposed development includes infiltration trenches and absorbent soils to alleviate any drainage concerns. • Natural, drought-resistant landscaping will be utilized.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Frequent transit service runs along 88 Avenue, Fraser Highway and 152 Street, and is within close walking distance from the subject site. • Future expansion of rapid transit along Fraser Highway will provide additional transit options for visitors and residents of the site. • 25% of the residential parking spaces are pre-wired for future electric charging stations.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • A high quality of urban realm design has been developed with CPTED principles in mind including: well-lit entries/exits and public spaces, natural surveillance, and clear pedestrian linkages and lighting. • Landscaping is also designed to support and enhance CPTED.
6. Green Certification (F1)	<ul style="list-style-type: none"> • No green rating or certification is proposed.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • N/A

ADVISORY DESIGN PANEL

ADP Date: July 26, 2018

The applicant has resolved all of the outstanding items from the ADP review to the satisfaction of the Planning and Development Department (see Appendix VI).

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum required setback of an underground parking facility as per Sub-section A.3(d) of Part 5 Off-Street Parking and Loading/Unloading from 2.0 metres (6.5 ft.) to 0.5 metre (1.6 ft.) to all four lot lines.

Applicant's Reasons:

- A setback variance for the underground parking facility is proposed, in order to maximize the underground parking for the site.

Staff Comments:

- The reduced setback of 0.5 metre (1.6 ft.) to the property lines for the underground parking structure, rather than 2.0 metres (7 ft.) as required in the Zoning By-law, is comparable to setback relaxations for underground parking structures in other similar projects in the City.
- The proposed underground parking structure is located outside of, and does not interfere with, the 0.5-metre (1.6 ft.) working easement that is registered along all property lines of the subject site.
- Staff support the proposed variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary (Confidential) and Project Data Sheets
- Appendix II. Proposed Sign By-law Variances Table
- Appendix III. Site Plan, Building Elevations, Landscape Plans and Perspective
- Appendix IV. School District Comments
- Appendix V. Summary of Tree Survey and Tree Preservation
- Appendix VI. ADP Comments
- Appendix VII. Development Variance Permit No. 7917-0583-00
- Appendix VIII. Approved General Development Permit No. 7914-0121-00 (site plan only)

original signed by Ron Gill

Jean Lamontagne
General Manager
Planning and Development

DN/cm

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Existing Zoning: CD By-law No. 18611

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA*		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		7,346 sq.m.
LOT COVERAGE (in % of net lot area)		
Buildings & Structures		57%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS		
Front (west)	2.0 metres	2.3 metres
Rear (east)	2.0 metres	2.0 metres
Side #1 (north)	2.0 metres	2.1 metres
Side #2 (south)	2.0 metres	2.1 metres
BUILDING HEIGHT (in metres/storeys)		
Principal	23 metres	21 metres
Accessory	4.5 metres	N/A
NUMBER OF RESIDENTIAL UNITS		
One Bed		36
Two Bedroom		25
Three Bedroom +		4
Total		65
FLOOR AREA: Residential		5,400 sq.m.
FLOOR AREA: Commercial		
Retail		3,385 sq.m.
Office		1,560 sq.m.
Total		4,945 sq.m.
FLOOR AREA: Industrial		N/A
FLOOR AREA: Institutional		N/A
TOTAL BUILDING FLOOR AREA	12,488 sq.m.	10,345 sq.m.

* If the development site consists of more than one lot, lot dimensions pertain to the entire site.

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
FAR (net)	1.7	1.4
AMENITY SPACE (area in square metres)		
Indoor	195 sq.m.	195 sq.m.
Outdoor	195 sq.m.	330 sq.m.
PARKING (number of stalls)		
Commercial	165	165
Industrial		N/A
Residential 1-Bedroom	40	40
2-Bedroom	35	35
3-Bedroom	6	9
Residential Visitors	7	7
Institutional		N/A
Total Number of Parking Spaces	253	256
Number of accessible stalls	3	5
Number of small cars	88 (35%)	76 (30%)
Tandem Parking Spaces: Number / % of Total Number of Units		N/A
Size of Tandem Parking Spaces width/length		N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
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PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow additional fascia signs on the same building façade.	A maximum of two (2) fascia signs are permitted for each premises, provided that both are not located on the same façade of the premises (Part 5, Section 27(2)(a)).	The proposed fascia signs are of an appropriate size and scale in relation to the proposed building. All proposed fascia signs are of a high quality (channel letters), and are comprehensively designed for the site.
2	To allow one (1) additional second storey fascia sign to be installed on the same (south) building façade.	A maximum of two (2) second storey fascia signs are permitted provided that both of the fascia signs are not located on the same façade of the premises (Part 5, Section 27(2)(a.1)(ii)).	



DRAWING LIST

ARCHITECTURAL

A0.0	COVER PAGE / DRAWING LIST	A2.1a	PROJECT DATA SHEET
DR 1	DESIGN RATIONALE	A2.2	OVERALL UNDERGROUND PARKING PLAN
DR 2	DESIGN RATIONALE		OVERALL 2nd LEVEL PLAN
DR 3	DESIGN RATIONALE	A2.3	OVERALL 3rd AND 4th LEVEL PLANS
DR 4	DESIGN RATIONALE	A2.4	OVERALL 5th LEVEL PLAN
DR 5	DESIGN RATIONALE	A2.5	2nd -3rd RESIDENTIAL FLOOR PLANS
DR 6	DESIGN RATIONALE	A2.6	4th - 5th RESIDENTIAL FLOOR PLANS
DR 7	DESIGN RATIONALE	A3.1	PERSPECTIVES
DR 8	DESIGN RATIONALE	A3.2	PERSPECTIVES
DR 9	DESIGN RATIONALE	A3.3	PERSPECTIVES
A1.1	SURVEY	A3.4	PERSPECTIVES
A1.2	CONTEXT PLAN / SITE PHOTOS	A3.5	SOUTH BREEZEWAY
		A3.6	EAST BREEZEWAY
A2.0	OVERALL SITE PLAN	A4.1	STREET ELEVATIONS
A2.1	PROPOSED SITE PLAN / SITE STATISTICS	A4.2	SECTIONS

LANDSCAPE

L1	LANDSCAPE PLAN
L2	LANDSCAPE MATERIALS PLAN
L3	SHRUB PLAN
L4	LANDSCAPE SECTIONS
L5	UPPER FLOOR PLAN
L6	3rd FLOOR PLAN
L7	LANDSCAPE DETAILS

CIVIL

C1	ONSITE GRADING SERVICING PLAN
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Resubmission to ADP

Fleetwood Village Development

Surrey, BC



PRINCIPALS

Christopher Block
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OAA, LEED AP, BD+C

Marcel S. Proskow
CRX, CDP

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Email: office@c-8.ca

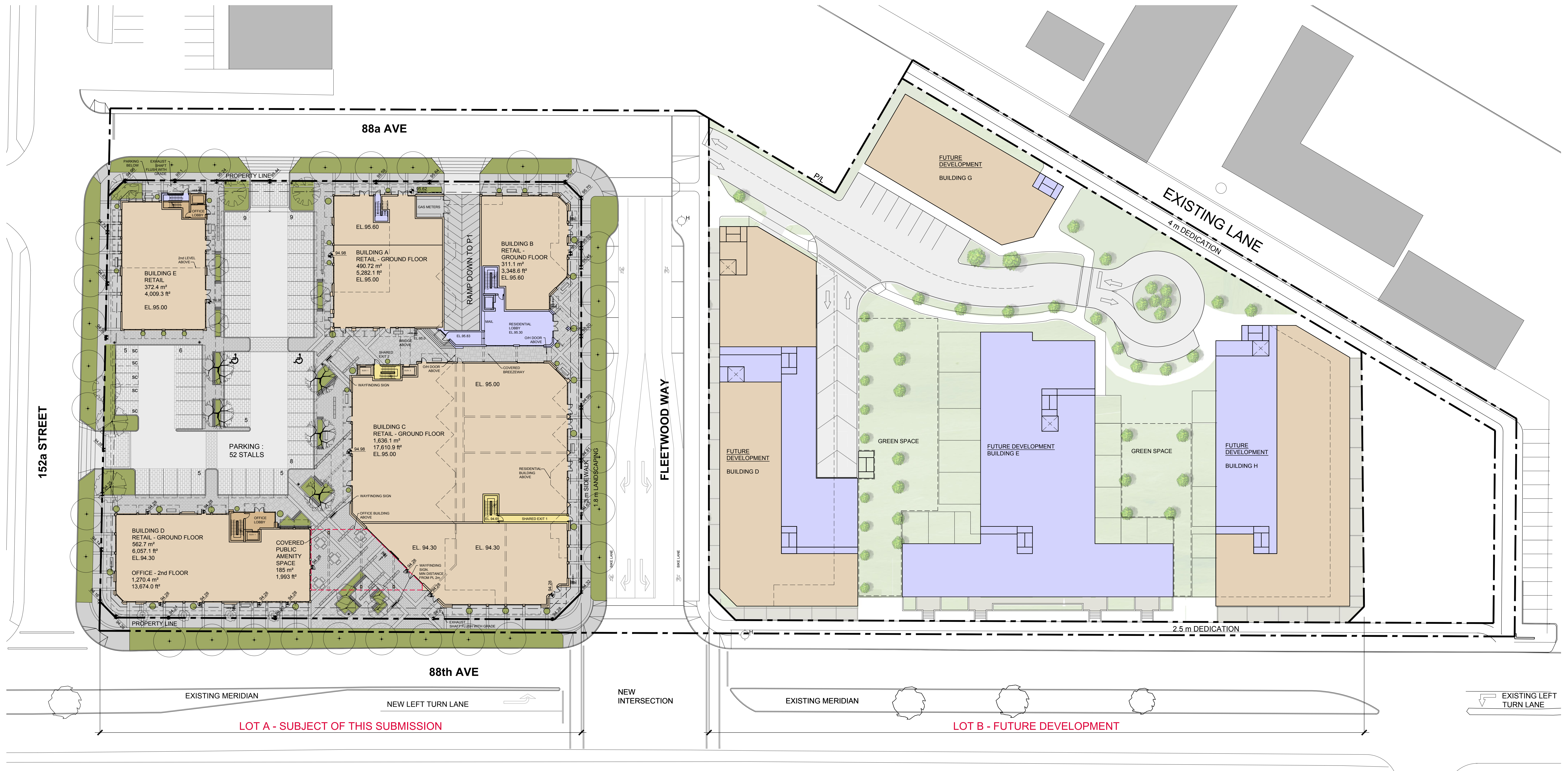
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COVER PAGE

Date:
Scale:
Project #:

JANUARY 18, 2019
NTS
13018

A0.0



OVERALL SITE PLAN
SCALE: 1:300

Resubmission to ADP
Fleetwood Village Development
Surrey, BC





COLOUR LEGEND:

- RESIDENTIAL
- OFFICE
- COMMERCIAL
- SHARED EXITS

SITE PLAN
SCALE: 1:250

LOT A:

LEGAL DESCRIPTION:

LOT A SECTION 35 TOWNSHIP 2
NEW WESTMINSTER DISTRICT PLAN EPP64678
NET LOT AREA: 7,346.15 m² (79,073.30 ft²) 0.735 ha
PROPOSED NET FAR: 1.4
GROSS FLOOR AREA 10,398.07 m² / NET LOT AREA 7,346.15 m² = 1.4

SITE COVERAGE = 57 %
BUILDING FOOTPRINT: 4,147 m² (44,635 ft²)
BUILDING HEIGHTS: max. 23m

RESIDENTIAL GROSS AREA:
LOBBY: 154.17 m² (1,659.48 ft²)
STAIR 3: 14.10 m² (151.77 ft²)
2nd LEVEL: 1,111.57 m² (11,964.85 ft²)
3rd LEVEL: 1,394.06 m² (15,005.61 ft²)
4th LEVEL: 1,394.06 m² (15,005.61 ft²)
5th LEVEL: 1,347.21 m² (14,501.23 ft²)
TOTAL: 5,415.17 m² (58,288.55 ft²)

SHARED EXITS:
STAIR 1: 34.20 m² (368.0 ft²)
STAIR 2: 14.00 m² (150.0 ft²)
TOTAL: 48.20 m² (518.0 ft²)

COMMERCIAL GROSS AREA:
BUILDING A: 490.7 m² (5,282.1 ft²)
BUILDING B: 311.1 m² (3,348.6 ft²)
BUILDING C: 1,636.1 m² (17,610.9 ft²)
BUILDING D: 562.7 m² (6,057.1 ft²)
BUILDING E: 372.4 m² (4,009.3 ft²)
TOTAL: 3,373.0 m² (36,308.0 ft²)

OFFICE GROSS AREA:
BUILDING D:
GR. LEVEL LOBBY: 40.2 m² (433.0 ft²)
2nd LEVEL: 1,270.4 m² (13,674.0 ft²)
BUILDING E:
GR. LEVEL LOBBY: 33.1 m² (356.7 ft²)
2nd LEVEL: 215.4 m² (2,318.0 ft²)
TOTAL: 1,559.1 m² (16,781.7 ft²)

AMENITY AREA REQUIRED:

RESIDENTIAL:
INDOOR: 65 UNITS x 3 m² = 195 m² (2,098 ft²)
OUTDOOR: 65 UNITS x 3 m² = 195 m² (2,098 ft²)

AMENITY AREA PROVIDED:

RESIDENTIAL (LOCATED ON 2nd STOREY):
INDOOR: 195 m² (2,098 ft²)
OUTDOOR: 330 m² (3,550 ft²)
(PRIVATE PATIOS ARE NOT INCLUDED)

COMMERCIAL (AT GRADE):
OUTDOOR: 185 m² (1,993 ft²)

--- LINE INDICATING AMENITY SPACE AREA

PARKING REQUIRED:

RESIDENTIAL:
1 BDR: 1.1 STALLS x 36 UNITS = 40 STALLS
2 BDR: 1.4 STALLS x 25 UNITS = 35 STALLS
3 BDR: 1.4 STALLS x 4 UNITS = 6 STALLS
VISITOR: 0.1 STALLS x 65 UNITS = 7 STALLS
TOTAL: 88 STALLS

INDICATIVE COMMERCIAL OCCUPANCIES:	BYLAW REQUIREMENT	PROPOSED
INDOOR REC FACILITY/ RETAIL CATEGORY 2	3 STALLS / 100 m ²	2,233 m ² = 67
EATING ESTABLISHMENT / CATEGORY 3	min 3 STALLS / <150 m ²	200 m ² = 6
GENERAL AND PERSONAL SERVICES	3 STALLS / 100 m ²	500 m ² = 15
EATING, CATEGORY 2 / NEIGHBORHOOD PUB	10 STALLS / 100 m ²	340 m ² = 34
MEDICAL CLINIC	3.5 STALLS / 100 m ²	100 m ² = 3.5
OFFICE (2nd FLOOR)	2.5 STALLS / 100 m ²	1,559.1 m ² = 38.9
TOTAL :		164.4 STALLS

PARKING PROVIDED:

RESIDENTIAL:
UNDERGROUND: 91 STALLS
COMMERCIAL
UNDERGROUND: 113 STALLS
SITE: 52 STALLS
TOTAL: 165 STALLS

BICYCLE SPACES REQUIRED:

RESIDENTIAL:
65 UNITS x 1.2 = 78 STALLS
VISITORS = 6 STALLS

BICYCLE SPACES PROVIDED:
RESIDENTIAL:
65 INDIVIDUAL LOCKERS TO ACCOMMODATE UP TO 130 BICYCLES (2 BICYCLES PER LOCKER)
VISITORS: 6 STALLS AT GRADE

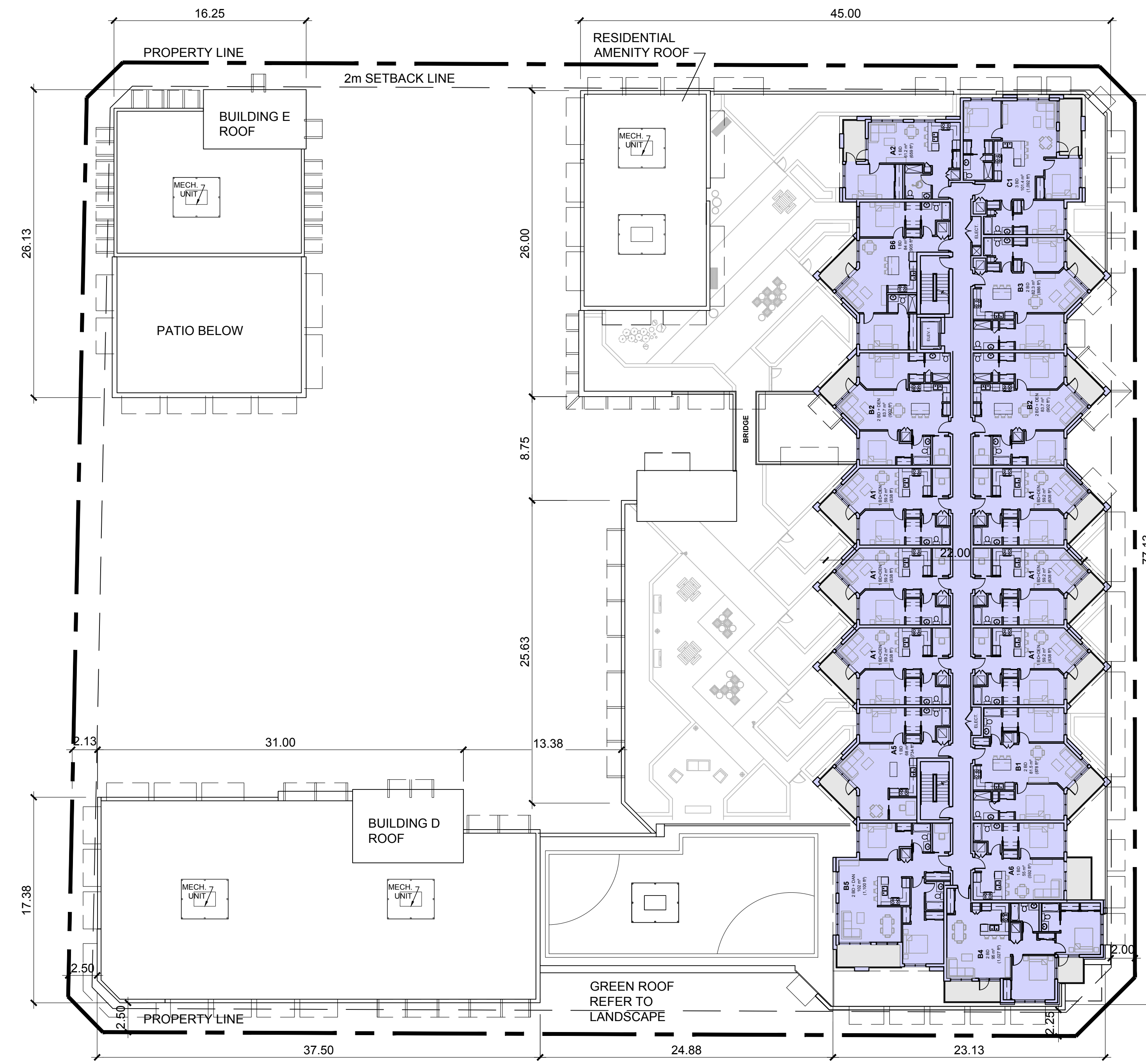
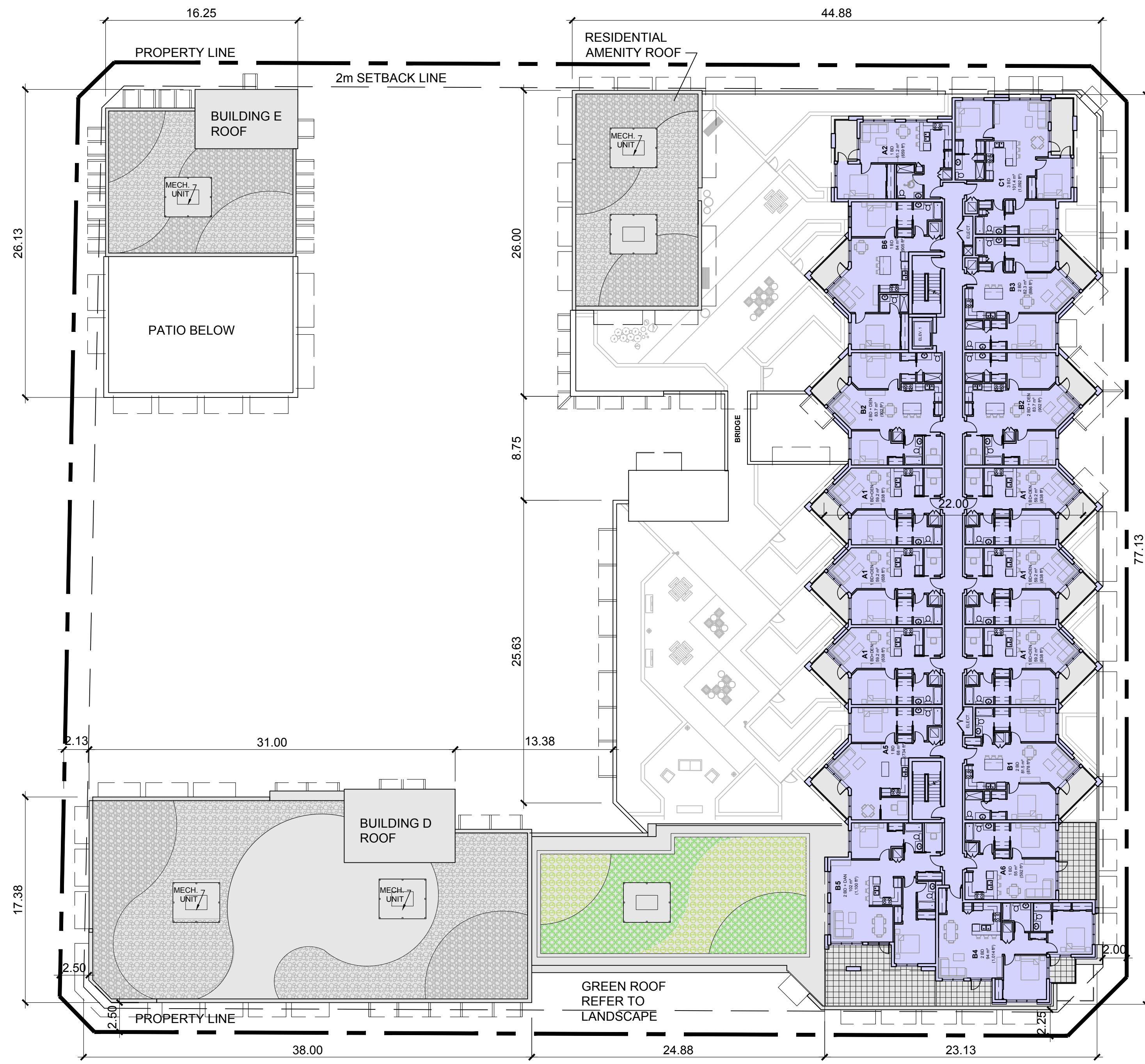
COMMERCIAL : 29 STALLS AT GRADE

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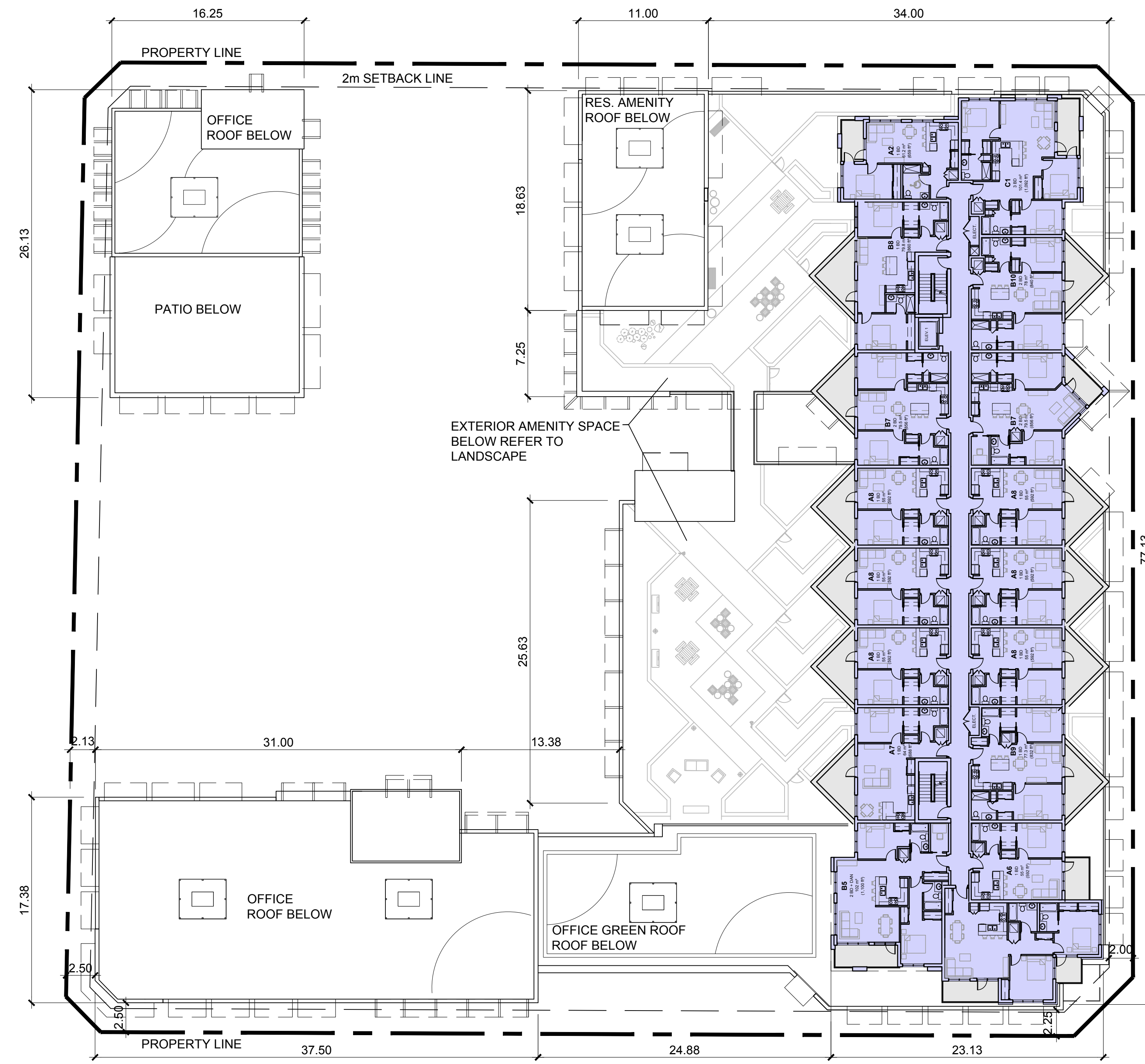


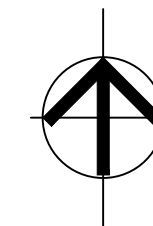
3rd LEVEL PLAN
SCALE: 1:250

4th LEVEL PLAN
SCALE: 1:250

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Fleetwood Village Development
 Surrey, BC



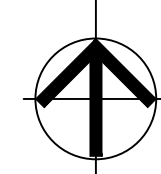
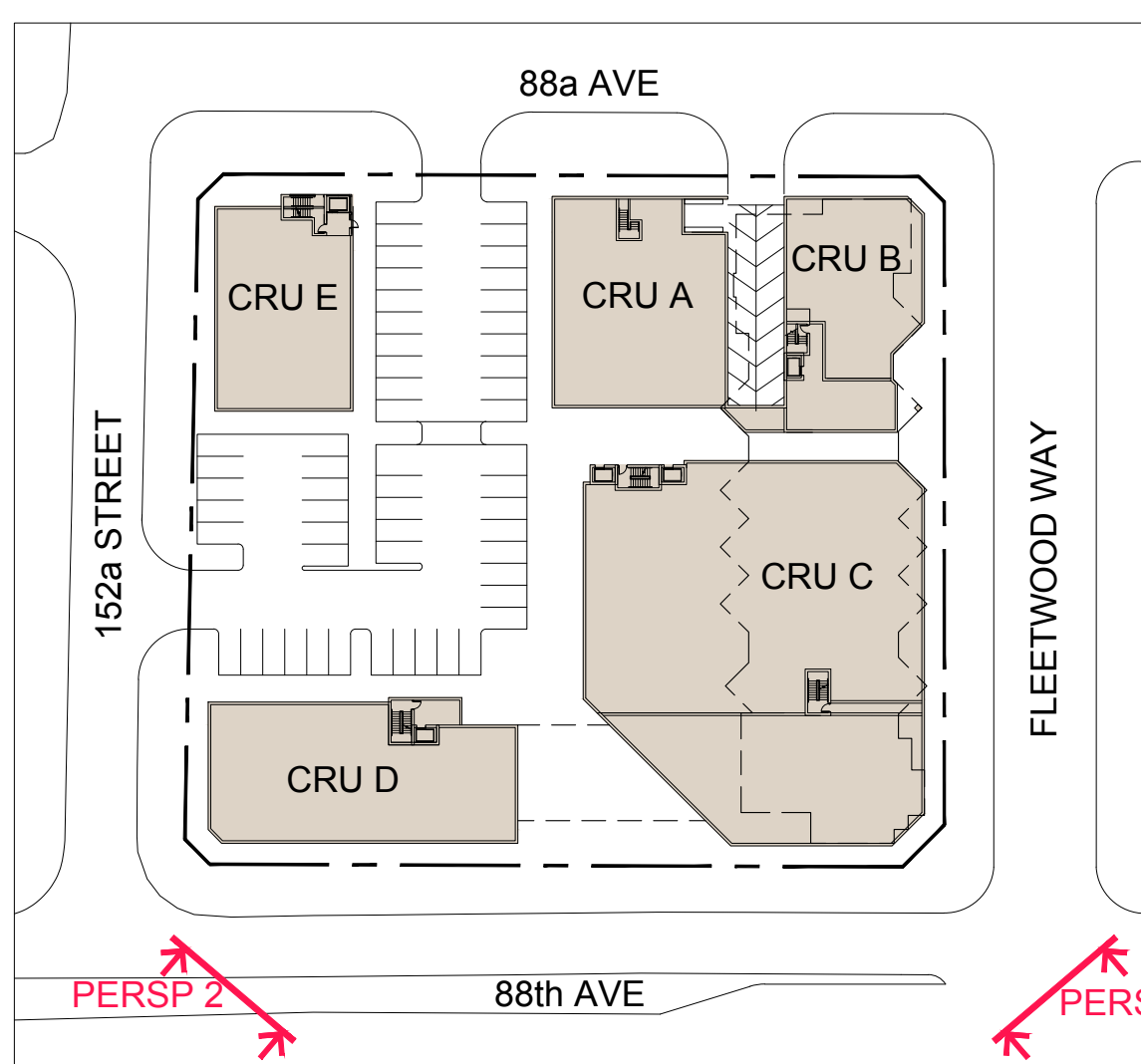



5th LEVEL PLAN
 SCALE: 1:250

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 Surrey, BC



I N S P I R A T I O N A L I M A G E S



KEY PLAN



PERSPECTIVE 1

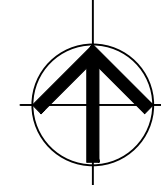
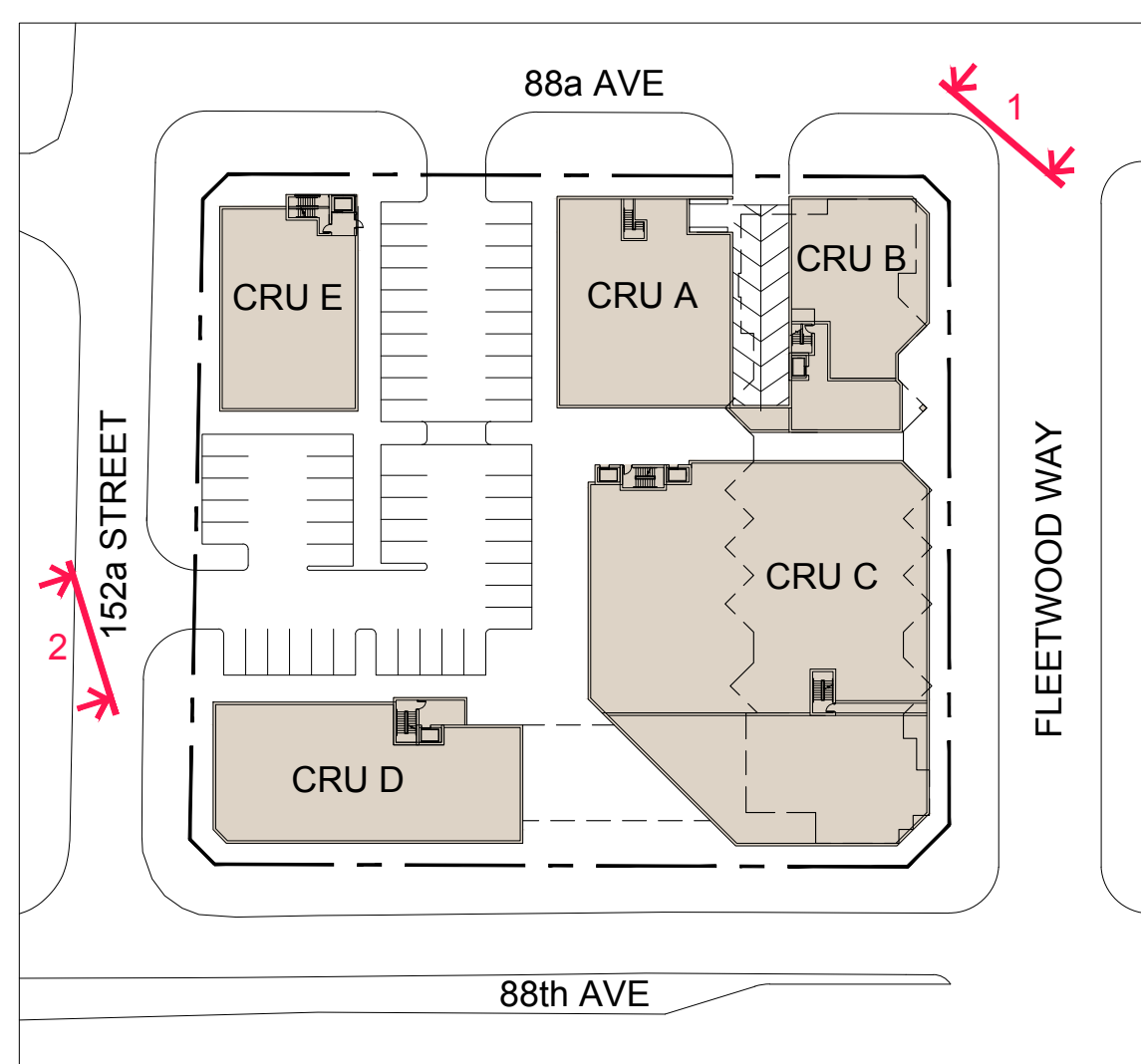


PERSPECTIVE 2

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S I M I L A R I T I O N A L I M A G E S



KEY PLAN



PERSPECTIVE 1



PERSPECTIVE 2

Resubmission to ADP

Fleetwood Village Development

Surrey, BC



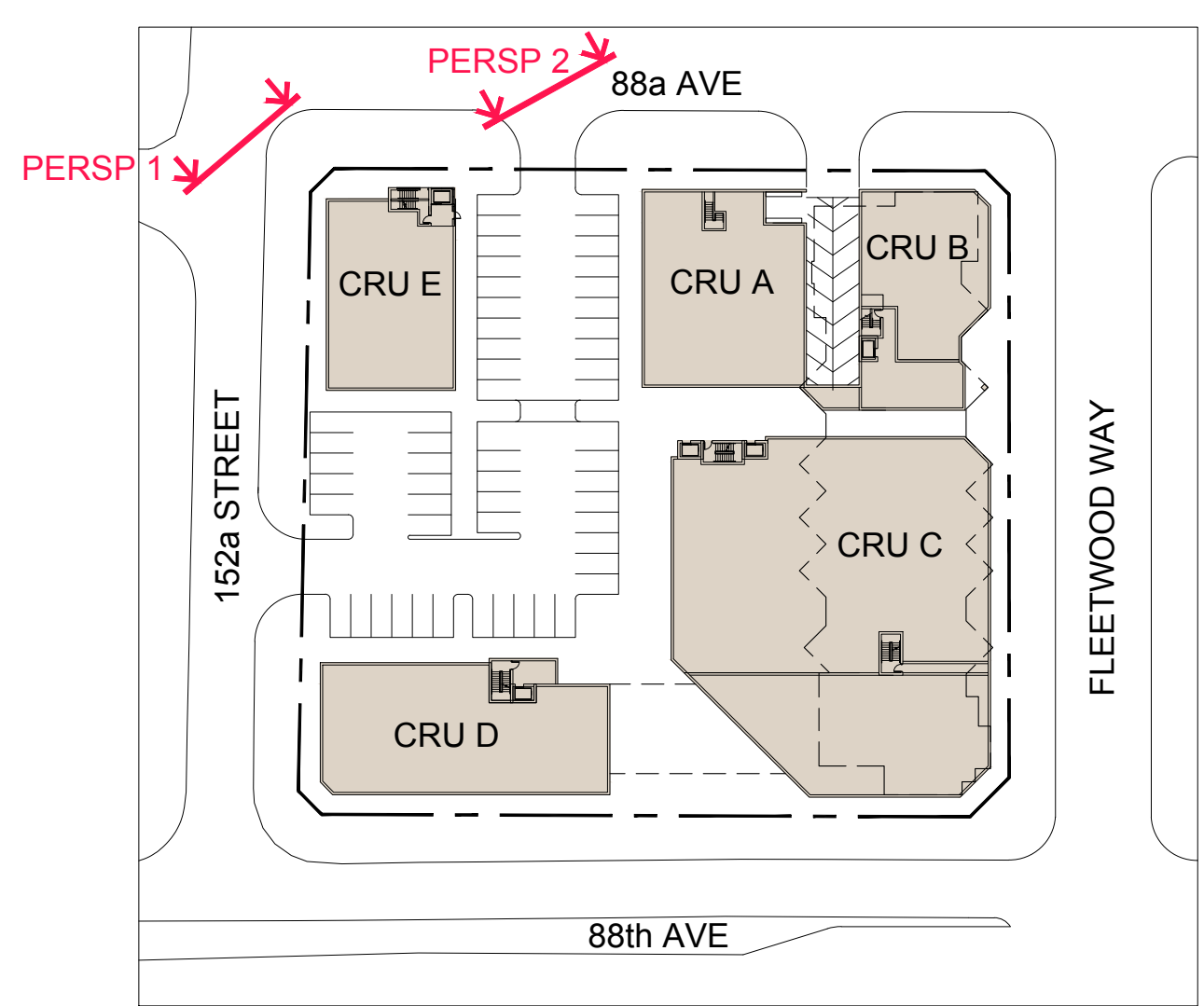
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PERSPECTIVE 1

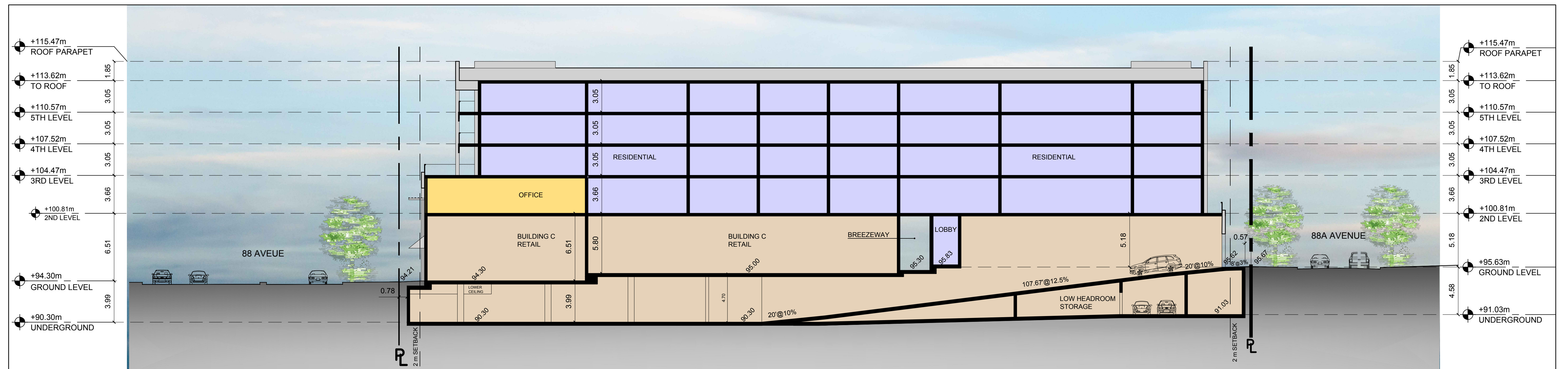


PERSPECTIVE 2

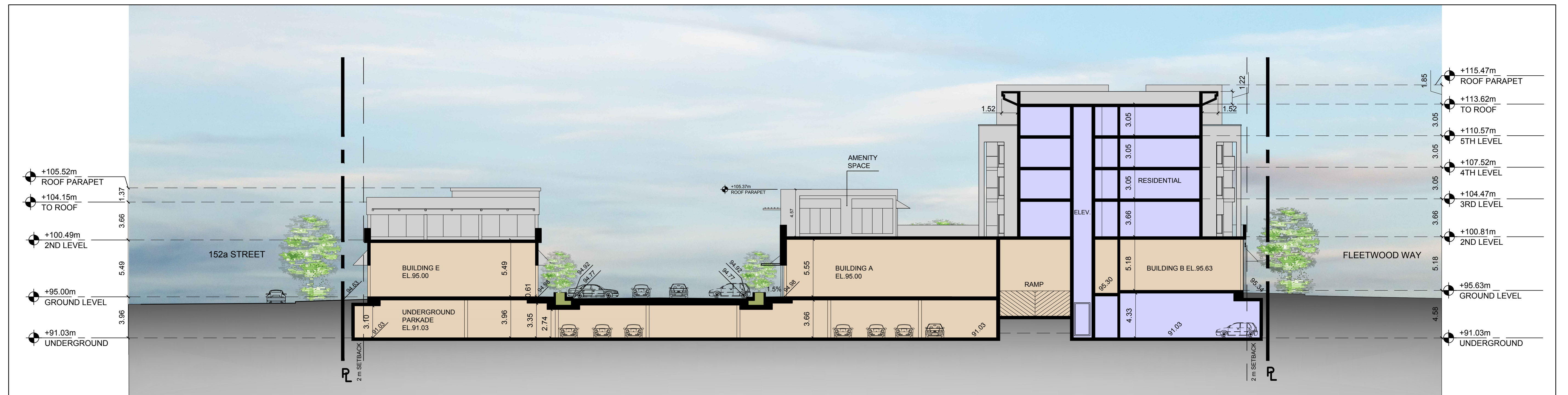


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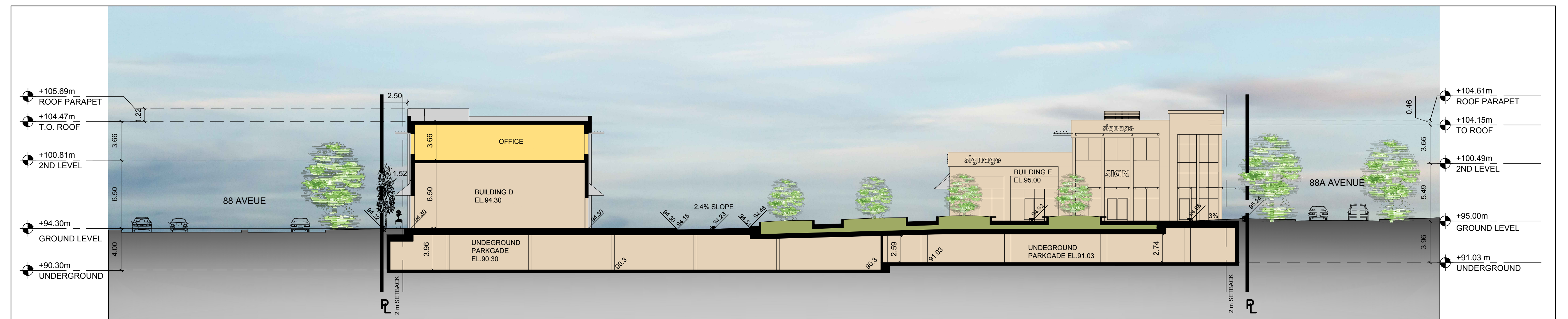




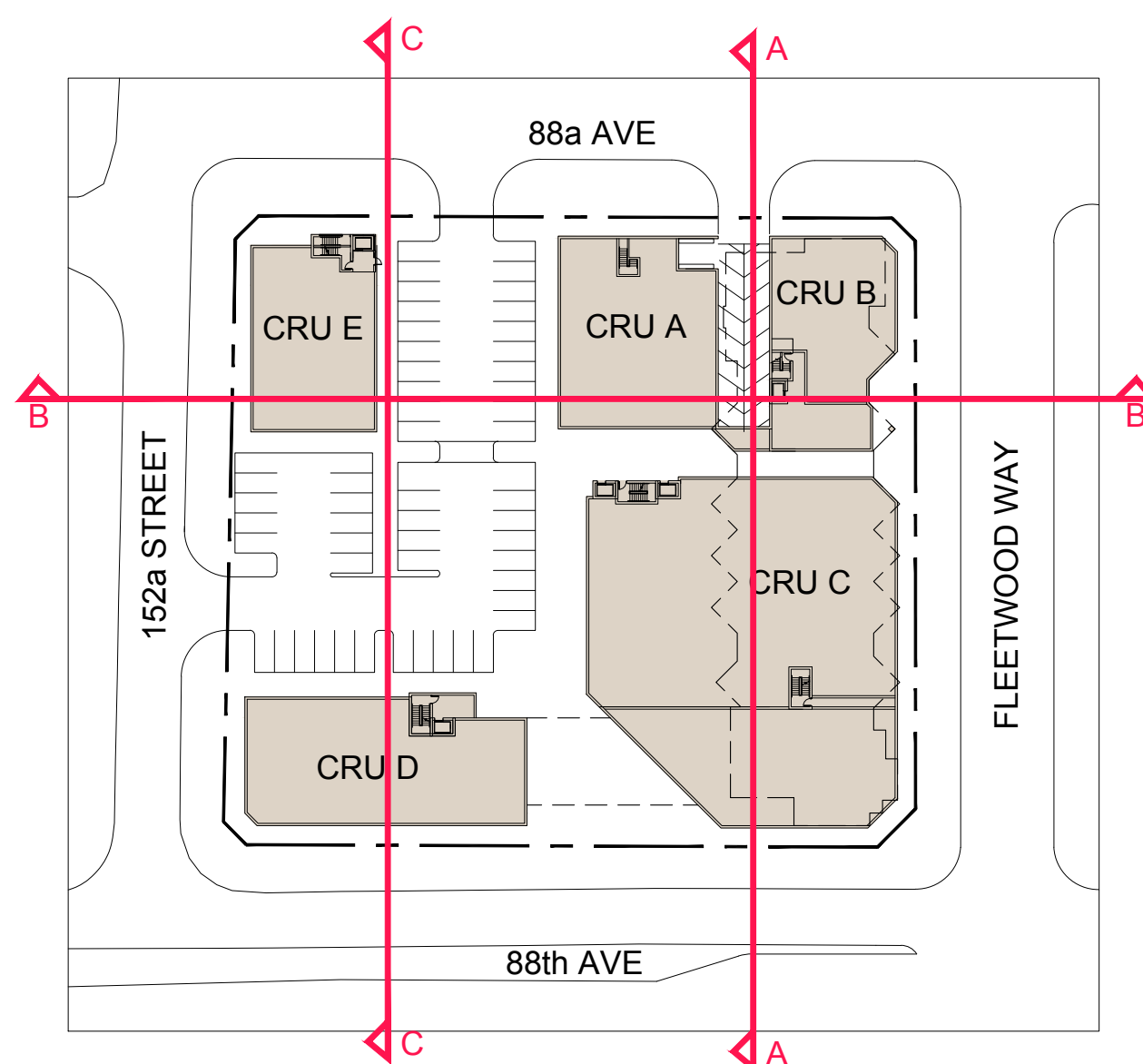
1 SECTION A-A
A4.2 SCALE: 1:200



2 SECTION B-B
A4.2 SCALE: 1:200



3 SECTION C-C
A4.2 SCALE: 1:200



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 Surrey, BC





1 SOUTH ELEVATION
A5.1 SCALE: 1:100

PRELIMINARY SIGNAGE ANALYSIS

REQUIRED:

FACADE LENGTH	PERMITTED SIGN AREA / LINEAR FRONTAGE	TOTAL SIGN AREA PERMITTED
87.08 m	1 m ²	87.08 m ²

PROPOSED:

SIGNAGE 1	2.05 x 0.8	1.64 m ²
SIGNAGE 2	2.05 x 0.8	1.64 m ²
SIGNAGE 3	2.05 x 0.8	1.64 m ²
SIGNAGE 4	3.45 x 0.8	2.76 m ²
SIGNAGE 5	2.05 x 0.8	1.64 m ²
SIGNAGE 6	2.05 x 0.8	1.64 m ²
SIGNAGE 7	2.05 x 0.8	1.64 m ²
SIGNAGE 8	3.45 x 0.8	2.76 m ²
SIGNAGE 9	3.45 x 0.8	2.76 m ²
SIGNAGE 10	3.45 x 0.8	2.76 m ²
SIGNAGE 11	3.45 x 0.8	2.76 m ²
SIGNAGE 12	2.05 x 0.8	1.64 m ²
TOTAL		25.28 m²

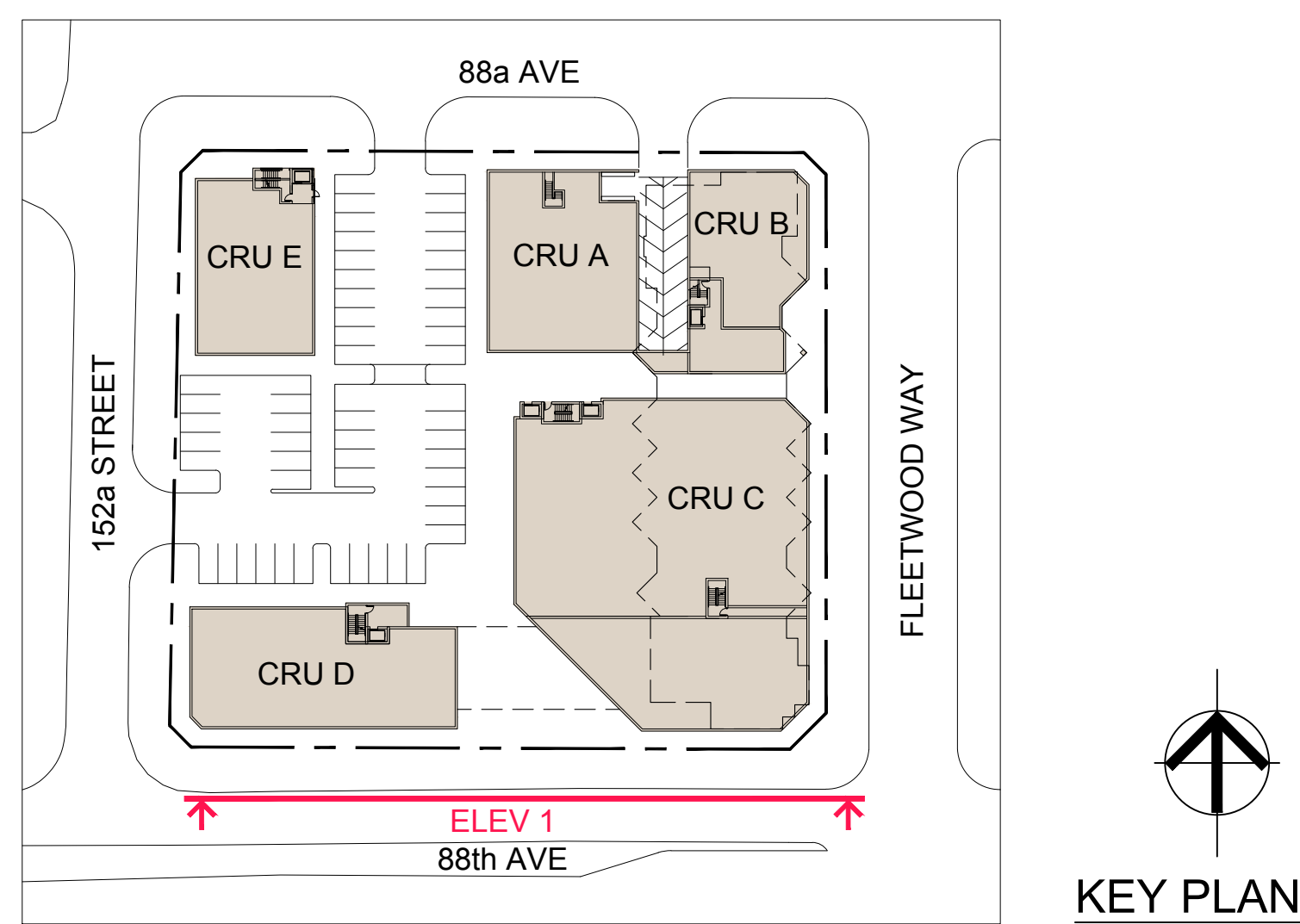
NOTE:

TOTAL AREA OFF ALL SIGNS SHALL COMPLY WITH THE COMBINED SIGN AREA PROVISIONS AND MUST FULLY COMPLY WITH CITY OF SURREY SIGN BYLAW NO.13656, AND HAVE AN APPROVED MUNICIPAL SIGN PERMIT AND LANDLORD APPROVAL.

REFER TO A 7.1 FOR MORE SIGN DETAILS.

FINISH LEGEND AND COLOUR SCHEDULE:

- | | | | |
|--|--|--|--|
| 1 FIBER CEMENT PANEL SIDING
COLOUR: GREY | 6 5' DEEP CANVAS AWNING
COLOUR: BLACK | 11 DECORATIVE METAL ACCENT
COLOUR: BLACK | 16 ROOF PARAPET AND SOFFIT
METAL PANEL. COLOUR: WHITE |
| 2 METAL PANEL
COLOUR: WHITE | 7 METAL DOOR
COLOUR: BM 2133-20 BLACK JACK | 12 SPANDREL GLASS | 17 GLOWING CANOPY
COLOUR: SOFT WHITE |
| 3 WOOD VENEER PANEL
COLOUR: DEEP BROWN | 8 GLASS GUARDRAIL | 13 METAL TRELLIS
COLOUR: BLACK | 18 O/H DOOR |
| 4 GLAZING IN ALUMINUM FRAME
COLOUR: BLACK | 9 PRE-FINISHED METAL FLASHING
COLOUR: BLACK | 14 METAL TRELLIS
COLOUR BM 2133-20 BLACK JACK | 19 BALCONY SOFFIT
METAL PANEL. COLOUR: WHITE |
| 5 METAL & GLASS CANOPY
COLOUR: BLACK | 10 METAL SUNSHADES
COLOUR: BLACK | 15 CLEAR GLASS IN
WHITE VINYL FRAME | |



KEY PLAN

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Fleetwood Village Development
Surrey, BC



PRINCIPALS

Christopher Black
M. Arch., Architect A15C, AAA, S.A.A.,
OAA, LEED AP, BD+C

Marcel S. Proskow
CRX, CDP

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V6C 2G8

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SOUTH ELEVATION

Date:
Scale:
Project #:

JANUARY 18, 2019
AS NOTED
13018

collabor8
ARCHITECTURE + DESIGN INC.

A5.1

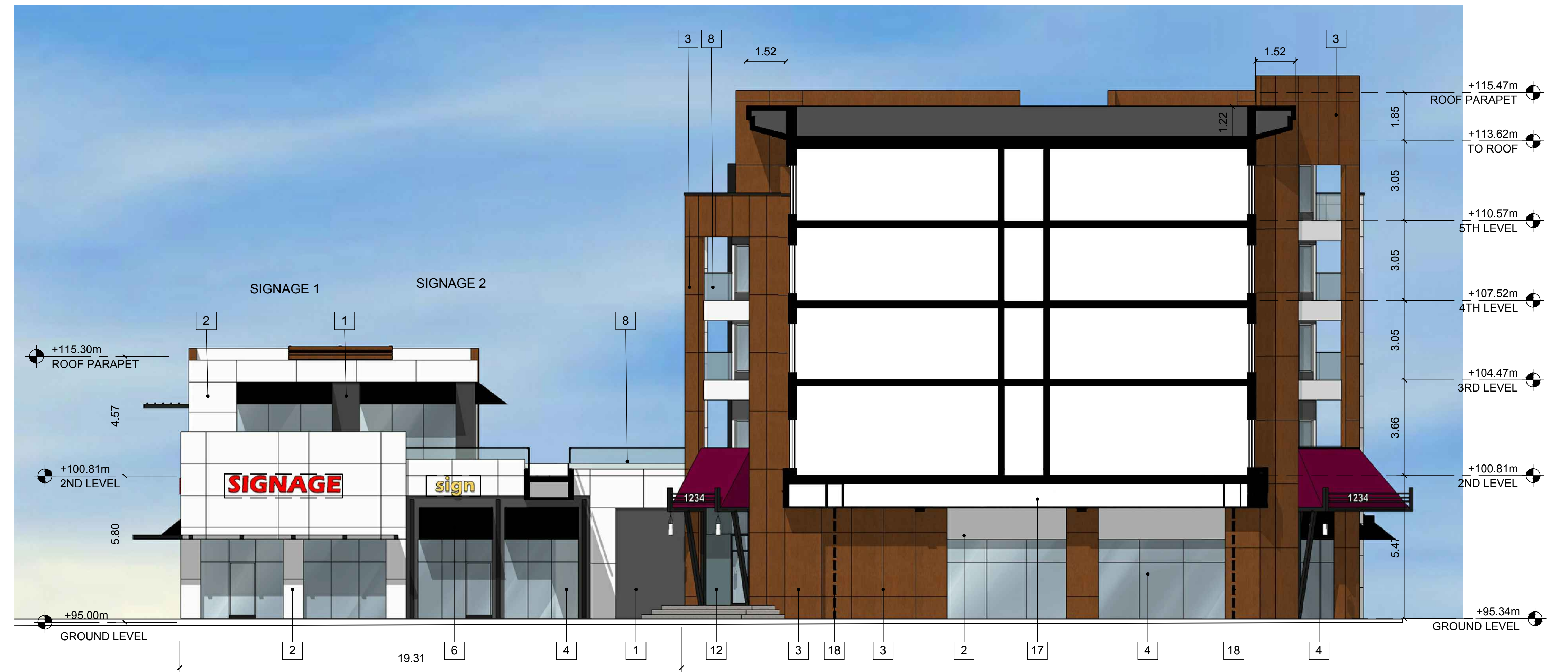
PRELIMINARY SIGNAGE ANALYSIS

REQUIRED:		
FACADE LENGTH	PERMITTED SIGN AREA / LINEAR FRONTAGE	TOTAL SIGN AREA PERMITTED
17.25 m	1 m ²	17.25 m ²

PROPOSED:		
SIGNAGE 1	2.05 x 0.8	1.64 m ²
TOTAL		1.64 m ²



1 EAST ELEVATION
SCALE: 1:100



2 SOUTH ELEVATION
SCALE: 1:100

PRELIMINARY SIGNAGE ANALYSIS

REQUIRED:		
FACADE LENGTH	PERMITTED SIGN AREA / LINEAR FRONTAGE	TOTAL SIGN AREA PERMITTED
19.31 m	1 m ²	19.31 m ²

PROPOSED:		
SIGNAGE 1	4.50 x 1.0	4.50 m ²
SIGNAGE 2	2.05 x 0.8	1.64 m ²
TOTAL		6.14 m ²

FINISH LEGEND AND COLOUR SCHEDULE:

- | | | |
|--|--|--|
| 1 FIBER CEMENT PANEL SIDING
COLOUR: GREY | 7 METAL DOOR
COLOUR: BM 2133-20 BLACK JACK | 13 METAL TRELLIS
COLOUR: BLACK |
| 2 METAL PANEL
COLOUR: WHITE | 8 GLASS GUARDRAIL | 14 METAL TRELLIS
COLOUR: BM 2133-20 BLACK JACK |
| 3 WOOD VENEER PANEL
COLOUR: DEEP BROWN | 9 PRE-FINISHED METAL FLASHING
COLOUR: BLACK | 15 CLEAR GLASS IN
WHITE VINYL FRAME |
| 4 GLAZING IN ALUMINUM FRAME
COLOUR: BLACK | 10 METAL SUNSHADES
COLOUR: BLACK | 16 ROOF PARAPET AND SOFFIT
METAL PANEL. COLOUR: WHITE |
| 5 METAL & GLASS CANOPY
COLOUR: BLACK | 11 DECORATIVE METAL ACCENT
COLOUR: BLACK | 17 GLOWING CANOPY
COLOUR: SOFT WHITE |
| 6 5' DEEP CANVAS AWNING
COLOUR: BLACK | 12 SPANDREL GLASS | 18 O/H DOOR |
| | | 19 BALCONY SOFFIT
METAL PANEL. COLOUR: WHITE |

NOTE:

TOTAL AREA OFF ALL SIGNS SHALL COMPLY WITH THE COMBINED SIGN AREA PROVISIONS AND MUST FULLY COMPLY WITH CITY OF SURREY SIGN BYLAW NO. 13856, AND HAVE AN APPROVED MUNICIPAL SIGN PERMIT AND LANDLORD APPROVAL.

REFER TO A 7.1 FOR MORE SIGN DETAILS.

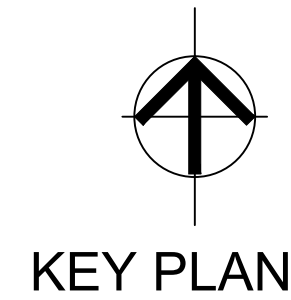
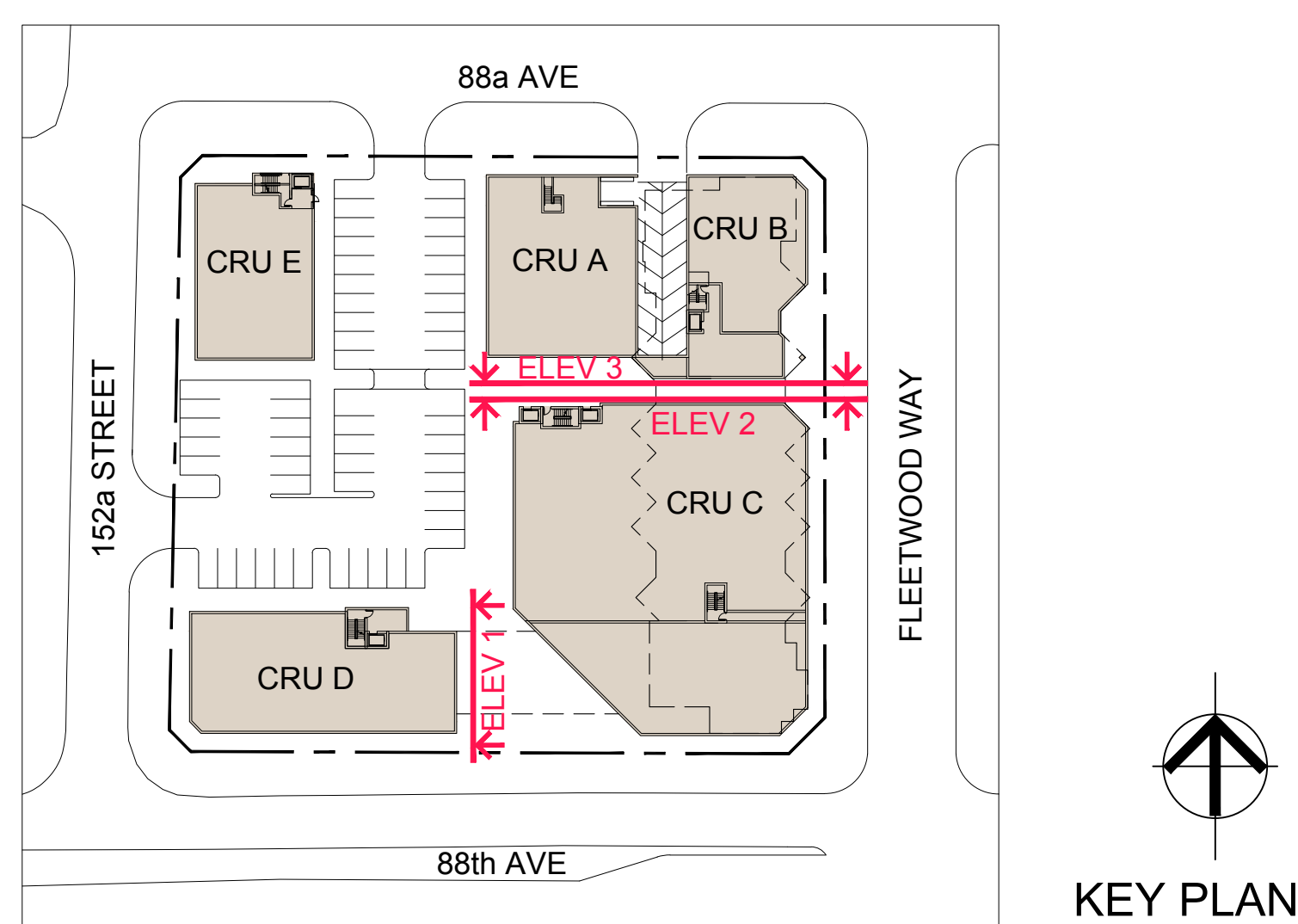
PRELIMINARY SIGNAGE ANALYSIS

REQUIRED:		
FACADE LENGTH	PERMITTED SIGN AREA / LINEAR FRONTAGE	TOTAL SIGN AREA PERMITTED
36.80 m	1 m ²	36.80 m ²

PROPOSED:		
SIGNAGE 1	3.45 x 0.8	2.76 m ²
TOTAL		2.76 m ²

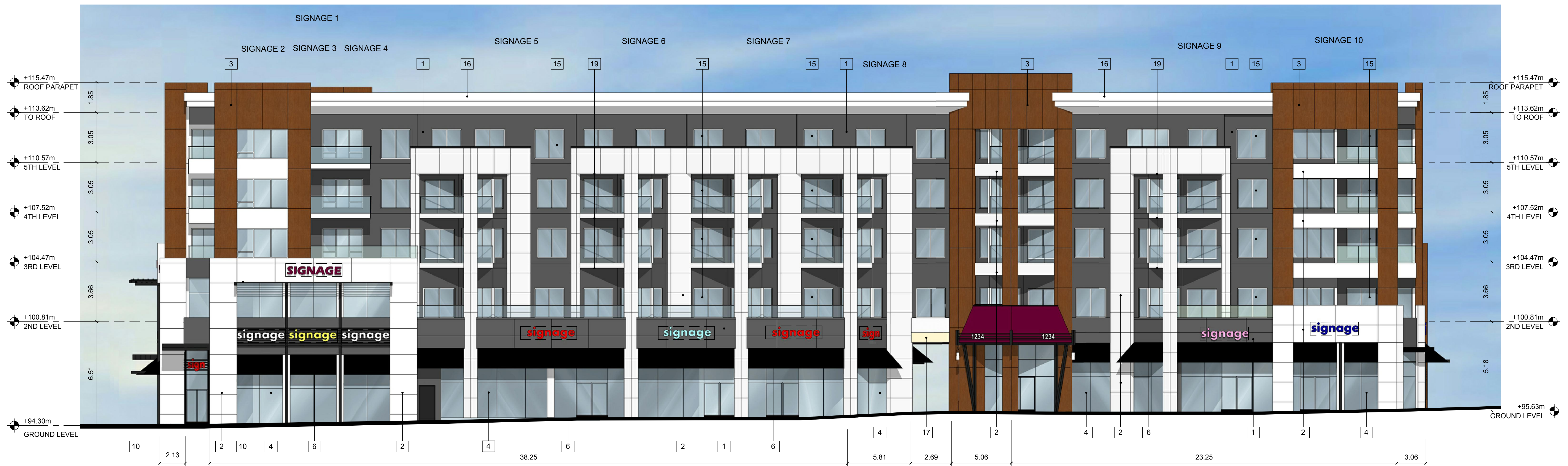


3 NORTH ELEVATION
SCALE: 1:100



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Surrey, BC





1 EAST ELEVATION
A5.3 SCALE: 1:100

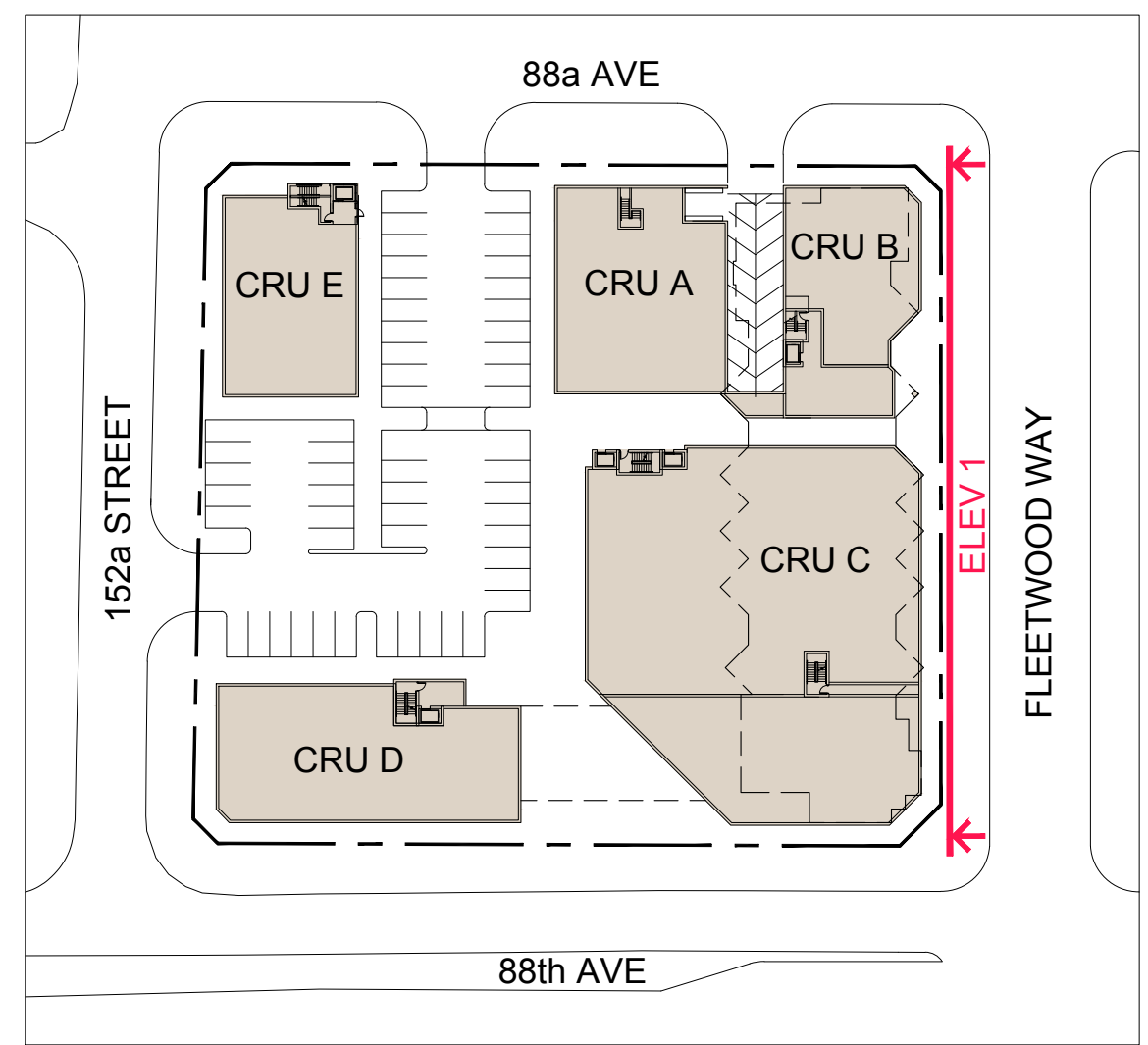
PRELIMINARY SIGNAGE ANALYSIS

REQUIRED:			PROPOSED:		
FACADE LENGTH	PERMITTED SIGN AREA / LINEAR FRONTAGE	TOTAL SIGN AREA PERMITTED	SIGNAGE 1	SIGNAGE 2	SIGNAGE 3
80.43 m	1 m ²	80.43 m ²	3.45 x 0.8	2.90 x 0.8	2.90 x 0.8
			2.76 m ²	2.32 m ²	2.32 m ²
			SIGNAGE 4	SIGNAGE 5	SIGNAGE 6
			2.90 x 0.8	3.45 x 0.8	3.45 x 0.8
			2.32 m ²	2.76 m ²	2.76 m ²
			SIGNAGE 7	SIGNAGE 8	SIGNAGE 9
			3.45 x 0.8	2.05 x 0.8	2.90 x 0.8
			2.76 m ²	1.64 m ²	2.32 m ²
			SIGNAGE 10		
			3.45 x 0.8		
			2.76 m ²		
			TOTAL		
				24.72 m²	

NOTE:
TOTAL AREA OFF ALL SIGNS SHALL COMPLY WITH THE COMBINED SIGN AREA PROVISIONS AND MUST FULLY COMPLY WITH CITY OF SURREY SIGN BYLAW NO. 13656, AND HAVE AN APPROVED MUNICIPAL SIGN PERMIT AND LANDLORD APPROVAL.
REFER TO A 7.1 FOR MORE SIGN DETAILS.

FINISH LEGEND AND COLOUR SCHEDULE:

- | | | | |
|--|--|--|--|
| 1 FIBER CEMENT PANEL SIDING
COLOUR: GREY | 6 5' DEEP CANVAS AWNING
COLOUR: BLACK | 11 DECORATIVE METAL ACCENT
COLOUR: BLACK | 16 ROOF PARAPET AND SOFFIT
METAL PANEL. COLOUR: WHITE |
| 2 METAL PANEL
COLOUR: WHITE | 7 METAL DOOR
COLOUR: BM 2133-20 BLACK JACK | 12 SPANDREL GLASS | 17 GLOWING CANOPY
COLOUR: SOFT WHITE |
| 3 WOOD VENEER PANEL
COLOUR: DEEP BROWN | 8 GLASS GUARDRAIL | 13 METAL TRELLIS
COLOUR: BLACK | 18 O/H DOOR |
| 4 GLAZING IN ALUMINUM FRAME
COLOUR: BLACK | 9 PRE-FINISHED METAL FLASHING
COLOUR: BLACK | 14 METAL TRELLIS
COLOUR BM 2133-20 BLACK JACK | 19 BALCONY SOFFIT
METAL PANEL. COLOUR: WHITE |
| 5 METAL & GLASS CANOPY
COLOUR: BLACK | 10 METAL SUNSHADES
COLOUR: BLACK | 15 CLEAR GLASS IN
WHITE VINYL FRAME | |



KEY PLAN

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1 WEST ELEVATION
A5.4 SCALE: 1:100

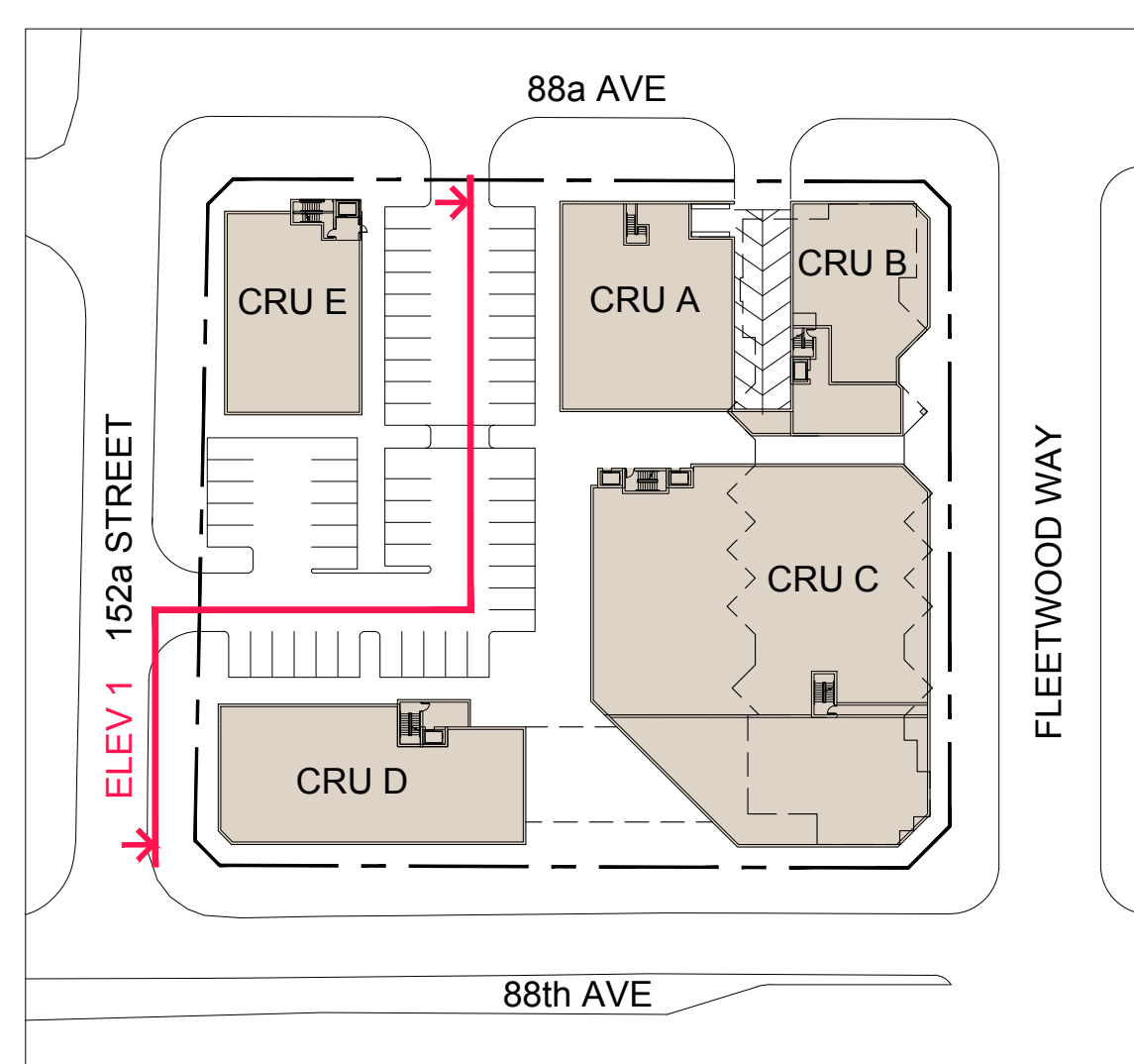
PRELIMINARY SIGNAGE ANALYSIS

REQUIRED:			PROPOSED:		
FACADE LENGTH	PERMITTED SIGN AREA / LINEAR FRONTAGE	TOTAL SIGN AREA PERMITTED	SIGNAGE 1	SIGNAGE 2	SIGNAGE 3
69.76 m	1 m ²	69.76 m ²	2.90 x 0.8	4.50 x 1.0	2.90 x 0.8
			4.50 x 1.0	2.90 x 0.8	2.90 x 0.8
			2.90 x 0.8	2.90 x 0.8	2.90 x 0.8
			4.50 x 0.8	2.90 x 0.8	2.30 x 0.8
			2.30 x 0.8		
			TOTAL		
				19.22 m ²	

NOTE:
TOTAL AREA OFF ALL SIGNS SHALL COMPLY WITH THE COMBINED SIGN AREA PROVISIONS AND MUST FULLY COMPLY WITH CITY OF SURREY SIGN BYLAW NO. 13656, AND HAVE AN APPROVED MUNICIPAL SIGN PERMIT AND LANDLORD APPROVAL.
REFER TO A 7.1 FOR MORE SIGN DETAILS.

FINISH LEGEND AND COLOUR SCHEDULE:

- | | | | |
|--|--|--|--|
| 1 FIBER CEMENT PANEL SIDING
COLOUR: GREY | 6 5' DEEP CANVAS AWNING
COLOUR: BLACK | 11 DECORATIVE METAL ACCENT
COLOUR: BLACK | 16 ROOF PARAPET AND SOFFIT
METAL PANEL. COLOUR: WHITE |
| 2 METAL PANEL
COLOUR: WHITE | 7 METAL DOOR
COLOUR: BM 2133-20 BLACK JACK | 12 SPANDREL GLASS | 17 GLOWING CANOPY
COLOUR: SOFT WHITE |
| 3 WOOD VENEER PANEL
COLOUR: DEEP BROWN | 8 GLASS GUARDRAIL | 13 METAL TRELLIS
COLOUR: BLACK | 18 O/H DOOR |
| 4 GLAZING IN ALUMINUM FRAME
COLOUR: BLACK | 9 PRE-FINISHED METAL FLASHING
COLOUR: BLACK | 14 METAL TRELLIS
COLOUR BM 2133-20 BLACK JACK | 19 BALCONY SOFFIT
METAL PANEL. COLOUR: WHITE |
| 5 METAL & GLASS CANOPY
COLOUR: BLACK | 10 METAL SUNSHADES
COLOUR: BLACK | 15 CLEAR GLASS IN
WHITE VINYL FRAME | |



KEY PLAN

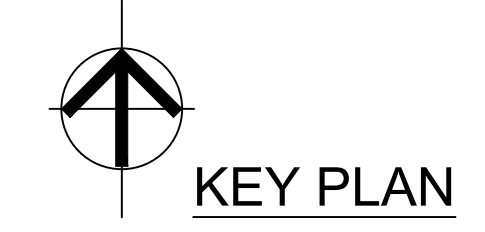
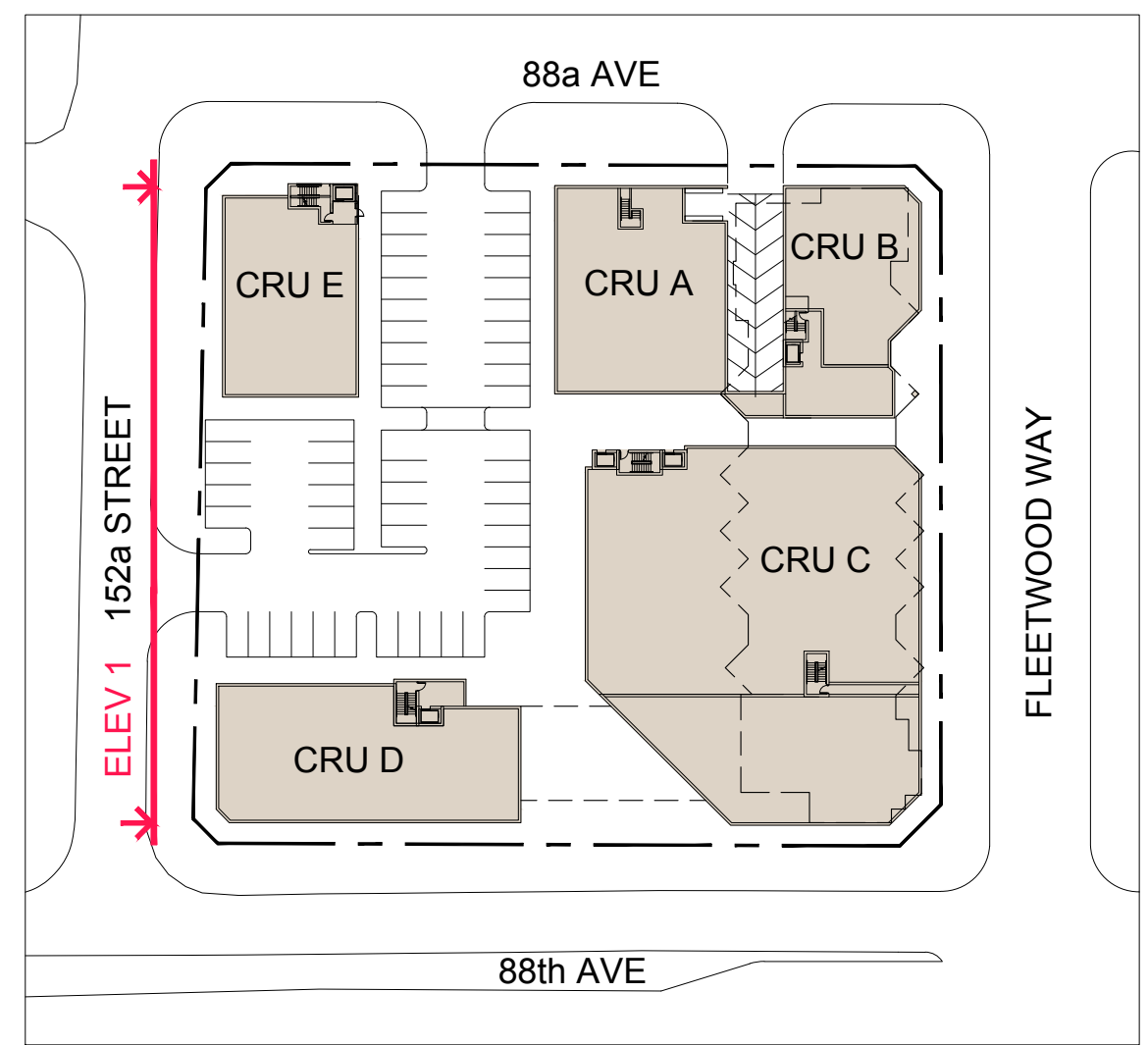
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1 STREET WEST ELEVATION
A5.4a SCALE: 1:100

NOTE:
FOR MATERIALS AND FINISH SCHEDULE REFER TO PAGES A 5.4 & A 5.6



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Surrey, BC 



1 NORTH ELEVATION
A5.5 SCALE: 1:100

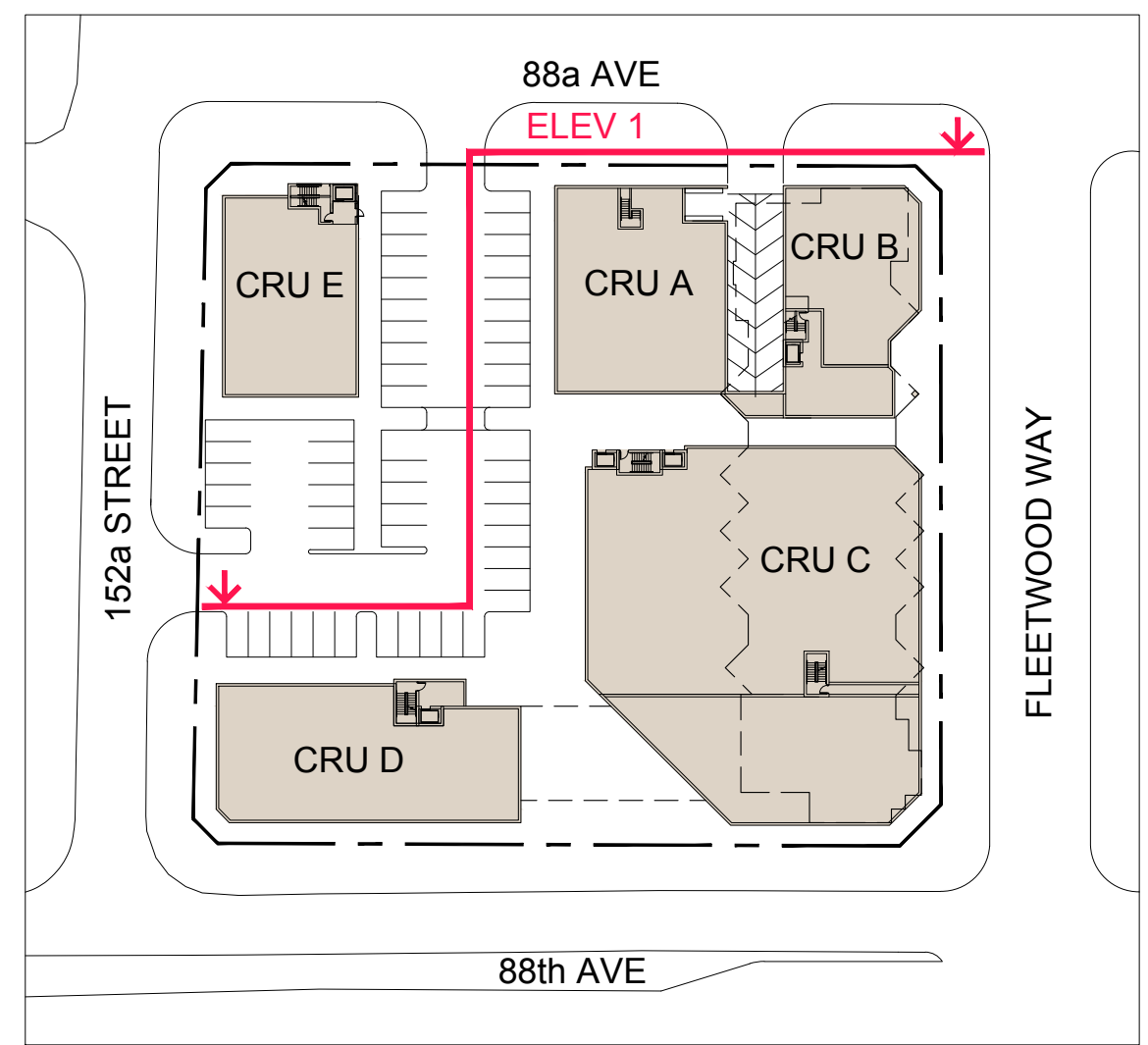
PRELIMINARY SIGNAGE ANALYSIS

REQUIRED:			PROPOSED:		
FACADE LENGTH	PERMITTED SIGN AREA / LINEAR FRONTAGE	TOTAL SIGN AREA PERMITTED	SIGNAGE	SIZE	AREA
79.19 m	1 m ²	79.19 m ²	SIGNAGE 1	3.45 x 0.8	2.76 m ²
			SIGNAGE 2	3.45 x 0.8	2.76 m ²
			SIGNAGE 3	3.45 x 0.8	2.76 m ²
			SIGNAGE 4	2.05 x 0.8	1.64 m ²
			SIGNAGE 5	3.45 x 0.8	2.76 m ²
			SIGNAGE 6	3.45 x 0.8	2.76 m ²
			SIGNAGE 7	2.05 x 0.8	1.64 m ²
			SIGNAGE 8	3.45 x 0.8	2.76 m ²
			TOTAL		19.84 m²

NOTE:
TOTAL AREA OFF ALL SIGNS SHALL COMPLY WITH THE COMBINED SIGN AREA PROVISIONS AND MUST FULLY COMPLY WITH CITY OF SURREY SIGN BYLAW NO.13656, AND HAVE AN APPROVED MUNICIPAL SIGN PERMIT AND LANDLORD APPROVAL.
REFER TO A 7.1 FOR MORE SIGN DETAILS.

FINISH LEGEND AND COLOUR SCHEDULE:

- | | | | |
|--|--|--|--|
| 1 FIBER CEMENT PANEL SIDING
COLOUR: GREY | 6 5' DEEP CANVAS AWNING
COLOUR: BLACK | 11 DECORATIVE METAL ACCENT
COLOUR: BLACK | 16 ROOF PARAPET AND SOFFIT
METAL PANEL. COLOUR: WHITE |
| 2 METAL PANEL
COLOUR: WHITE | 7 METAL DOOR
COLOUR: BM 2133-20 BLACK JACK | 12 SPANDREL GLASS | 17 GLOWING CANOPY
COLOUR: SOFT WHITE |
| 3 WOOD VENEER PANEL
COLOUR: DEEP BROWN | 8 GLASS GUARDRAIL | 13 METAL TRELLIS
COLOUR: BLACK | 18 O/H DOOR |
| 4 GLAZING IN ALUMINUM FRAME
COLOUR: BLACK | 9 PRE-FINISHED METAL FLASHING
COLOUR: BLACK | 14 METAL TRELLIS
COLOUR BM 2133-20 BLACK JACK | 19 BALCONY SOFFIT
METAL PANEL. COLOUR: WHITE |
| 5 METAL & GLASS CANOPY
COLOUR: BLACK | 10 METAL SUNSHADES
COLOUR: BLACK | 15 CLEAR GLASS IN
WHITE VINYL FRAME | |



KEY PLAN

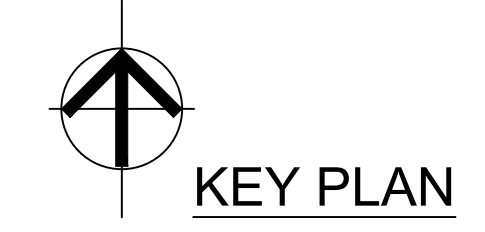
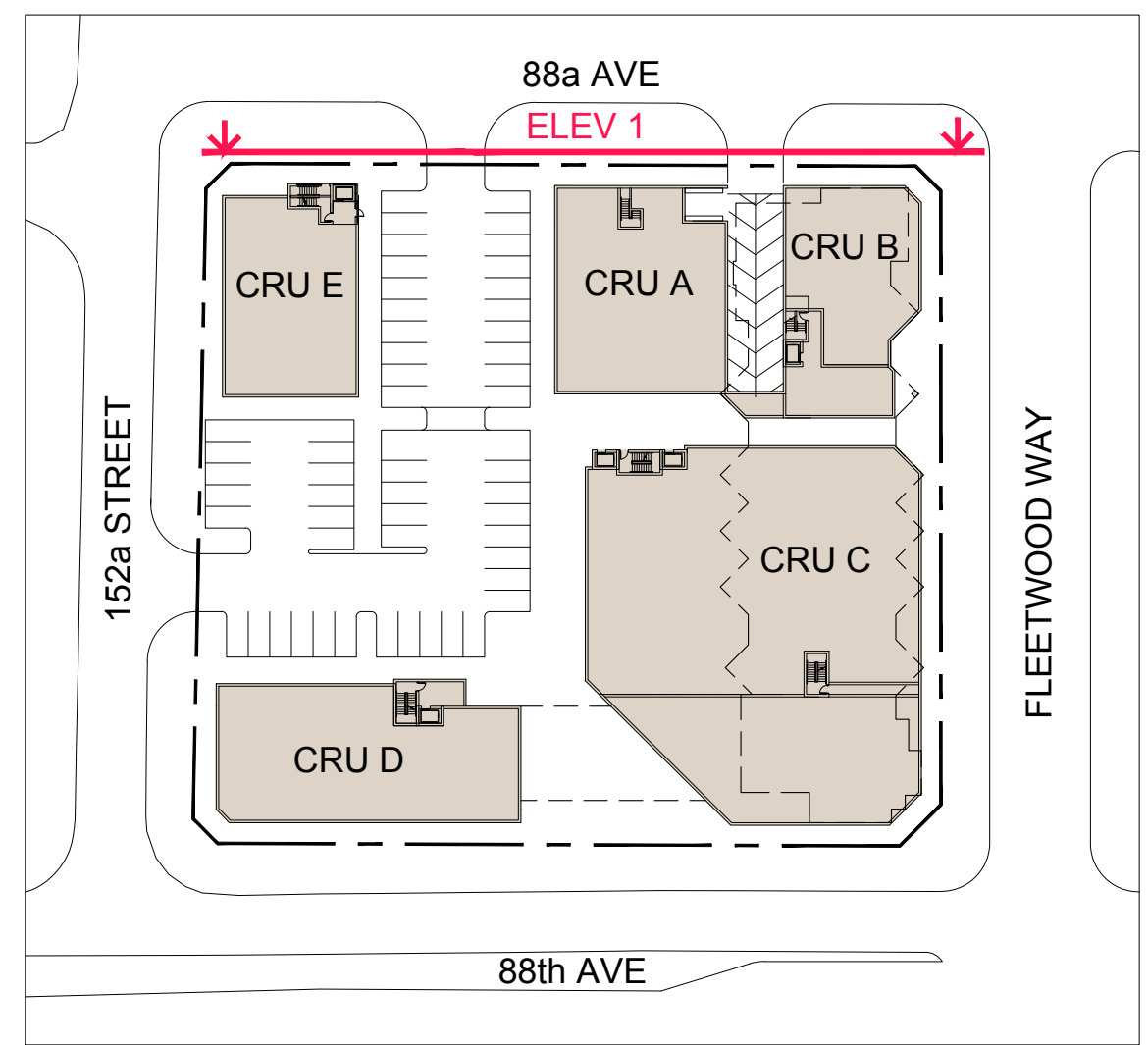
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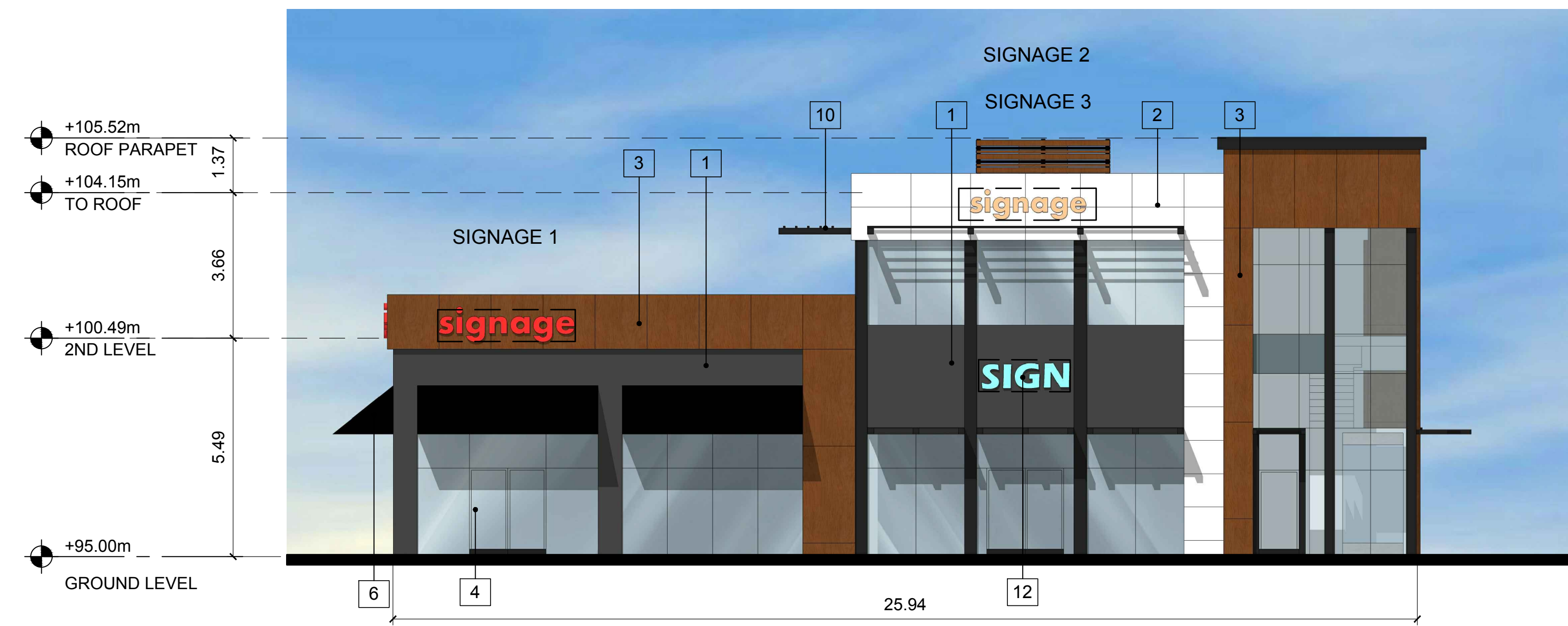
1 STREET NORTH ELEVATION
A5.5a SCALE: 1:100

NOTE:
FOR MATERIALS AND FINISH SCHEDULE REFER TO PAGES A 5.5 & A 5.6



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Fleetwood Village Development
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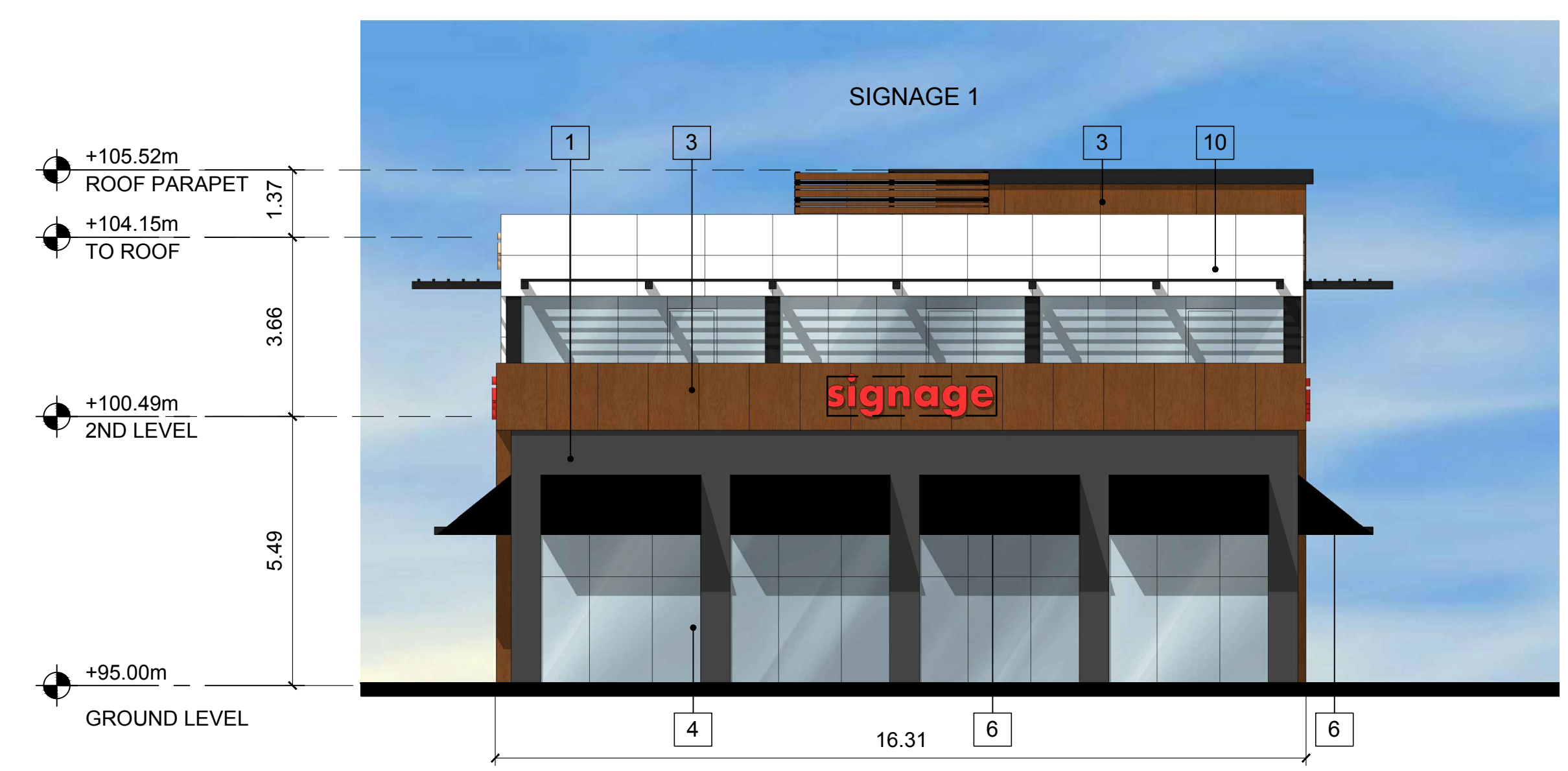




1 CRU E - EAST ELEVATION
A5.6 SCALE: 1:100

PRELIMINARY SIGNAGE ANALYSIS

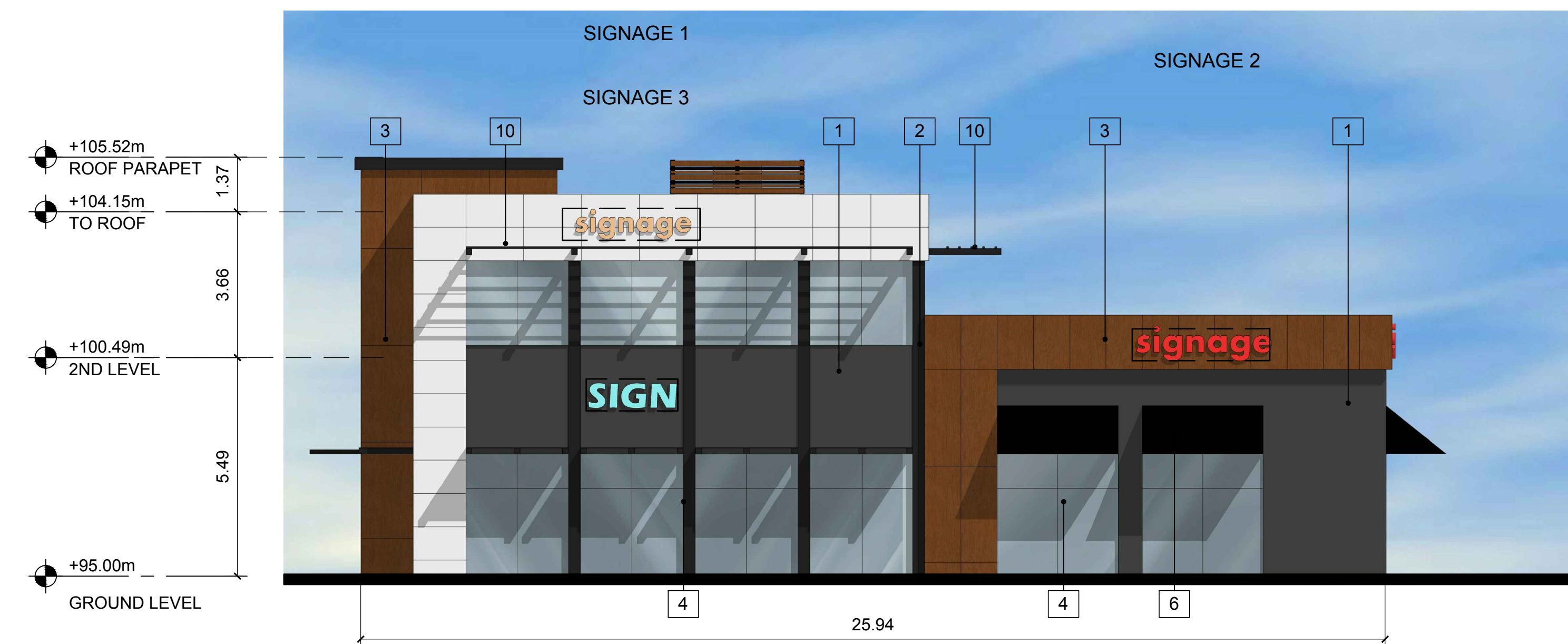
REQUIRED:			PROPOSED:		
FACADE LENGTH	PERMITTED SIGN AREA / LINEAR FRONTAGE	TOTAL SIGN AREA PERMITTED	SIGNAGE 1	SIGNAGE 2	SIGNAGE 3
25.94 m	1 m ²	25.94 m ²	3.45 x 0.8	3.45 x 0.8	2.30 x 0.8
			2.76 m ²	2.76 m ²	1.84 m ²
			TOTAL		7.36 m²



2 CRU E - SOUTH ELEVATION
A5.6 SCALE: 1:100

PRELIMINARY SIGNAGE ANALYSIS

REQUIRED:			PROPOSED:		
FACADE LENGTH	PERMITTED SIGN AREA / LINEAR FRONTAGE	TOTAL SIGN AREA PERMITTED	SIGNAGE 1		
16.31 m	1 m ²	16.31 m ²	3.45 x 0.8		2.76 m ²
			TOTAL		2.76 m²



3 WEST ELEVATION
A5.6 SCALE: 1:100

PRELIMINARY SIGNAGE ANALYSIS

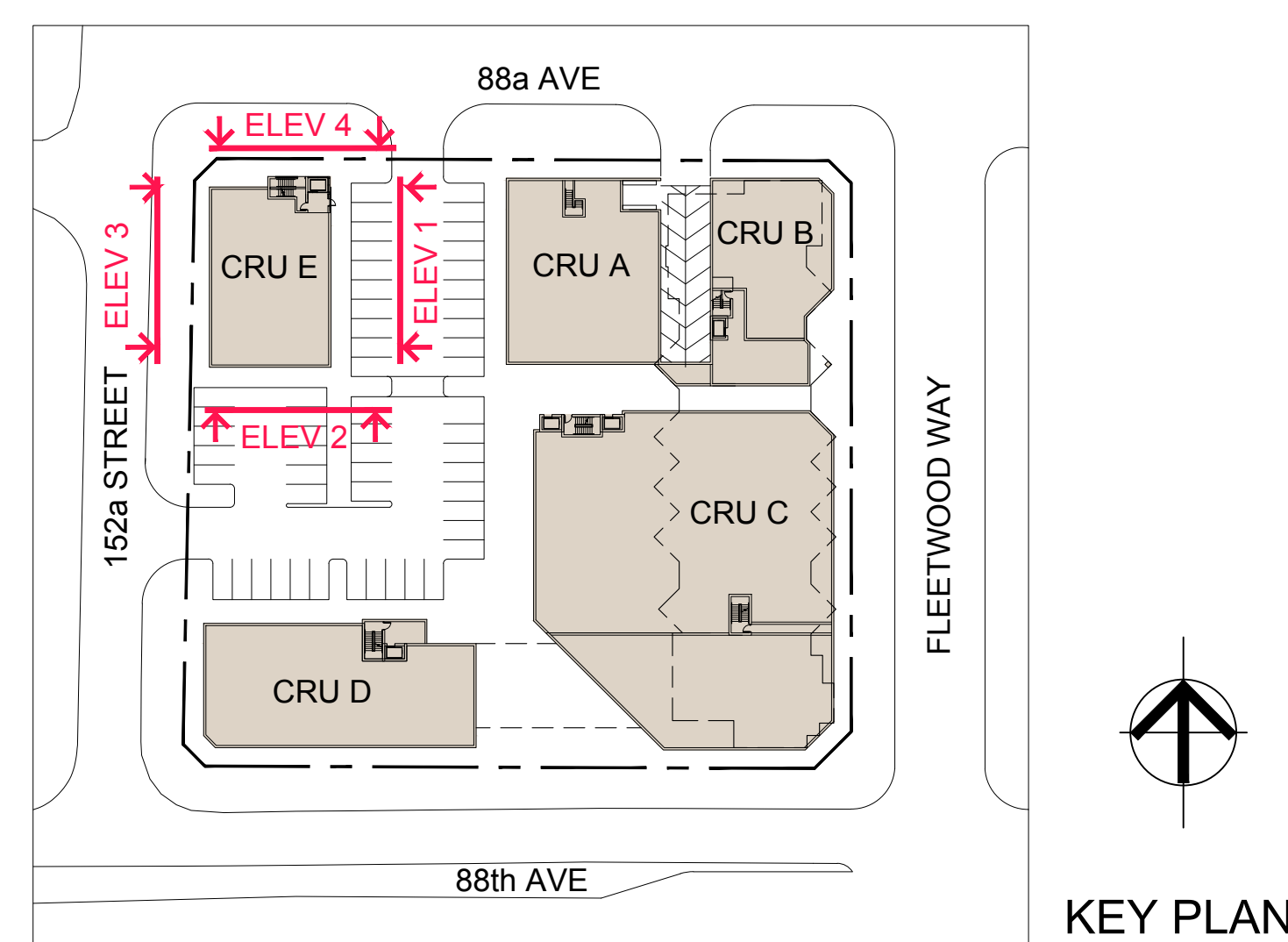
REQUIRED:			PROPOSED:		
FACADE LENGTH	PERMITTED SIGN AREA / LINEAR FRONTAGE	TOTAL SIGN AREA PERMITTED	SIGNAGE 1	SIGNAGE 2	SIGNAGE 3
25.94 m	1 m ²	25.94 m ²	3.45 x 0.8	3.45 x 0.8	2.30 x 0.8
			2.76 m ²	2.76 m ²	1.84 m ²
			TOTAL		7.36 m²



4 NORTH ELEVATION
A5.6 SCALE: 1:100

PRELIMINARY SIGNAGE ANALYSIS

REQUIRED:			PROPOSED:		
FACADE LENGTH	PERMITTED SIGN AREA / LINEAR FRONTAGE	TOTAL SIGN AREA PERMITTED	SIGNAGE 1		
16.31 m	1 m ²	16.31 m ²	2.30 x 0.8		1.84 m ²
			TOTAL		1.84 m²



FINISH LEGEND AND COLOUR SCHEDULE:

- | | | | | |
|--|---|--|---|--|
| 1 FIBER CEMENT PANEL SIDING
COLOUR: GREY | 5 METAL & GLASS CANOPY
COLOUR: BLACK | 9 PRE-FINISHED METAL FLASHING
COLOUR: BLACK | 13 METAL TRELLIS
COLOUR: BLACK | 17 GLOWING CANOPY
COLOUR: SOFT WHITE |
| 2 METAL PANEL
COLOUR: WHITE | 6 5' DEEP CANVAS AWNING
COLOUR: BLACK | 10 METAL SUNSHADES
COLOUR: BLACK | 14 METAL TRELLIS
COLOUR: BM 2133-20 BLACK JACK | 18 O/H DOOR |
| 3 WOOD VENEER PANEL
COLOUR: DEEP BROWN | 7 METAL DOOR
COLOUR: BM 2133-20 BLACK JACK | 11 DECORATIVE METAL ACCENT
COLOUR: BLACK | 15 CLEAR GLASS IN
WHITE VINYL FRAME | 19 BALCONY SOFFIT
METAL PANEL COLOUR: WHITE |
| 4 GLAZING IN ALUMINUM FRAME
COLOUR: BLACK | 8 GLASS GUARDRAIL | 12 SPANDREL GLASS | 16 ROOF PARAPET AND SOFFIT
METAL PANEL COLOUR: WHITE | |

NOTE:

TOTAL AREA OFF ALL SIGNS SHALL COMPLY WITH THE COMBINED SIGN AREA PROVISIONS AND MUST FULLY COMPLY WITH CITY OF SURREY SIGN BYLAW NO.13656, AND HAVE AN APPROVED MUNICIPAL SIGN PERMIT AND LANDLORD APPROVAL.
REFER TO A 7.1 FOR MORE SIGN DETAILS.

Resubmission to ADP
Fleetwood Village Development
Surrey, BC

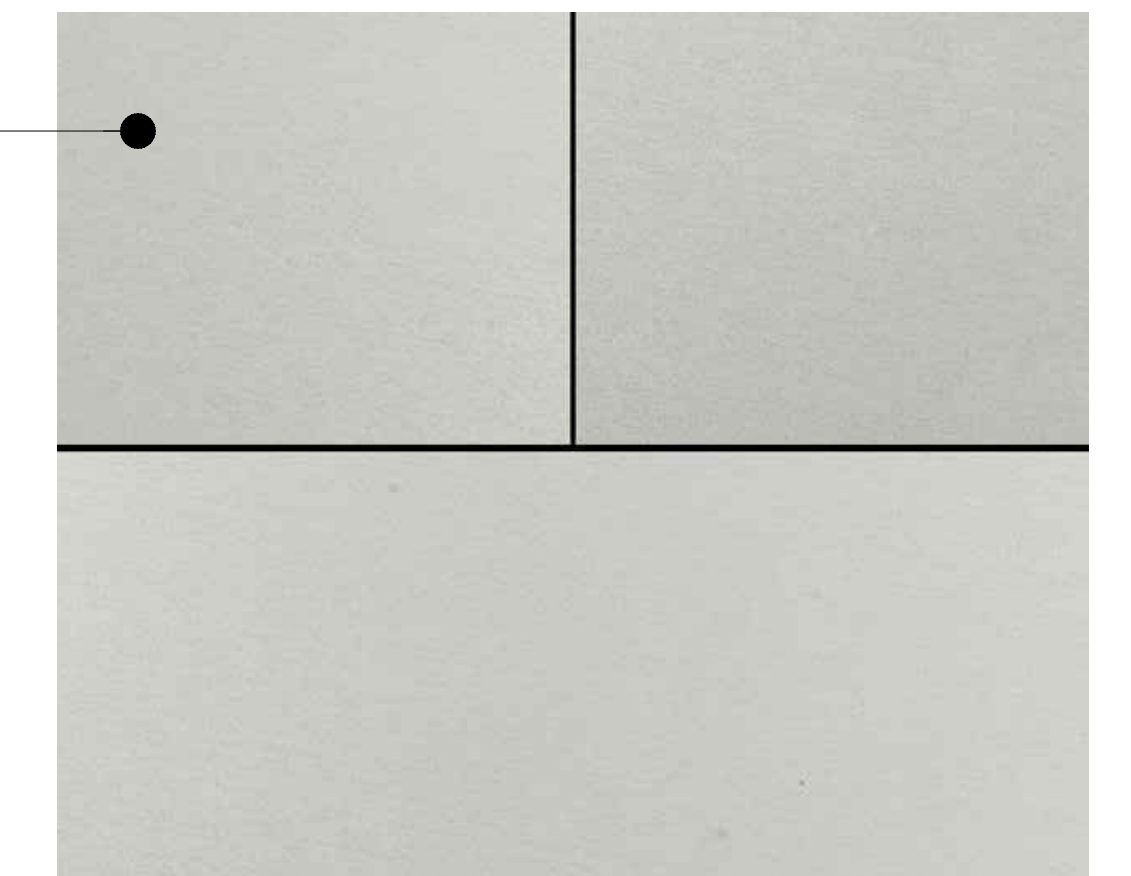




WOOD VENEER PANEL
TO MATCH PRODEMA
COLOUR: DEEP BROWN



1 FIBER CEMENT PANEL SIDING
COLOUR: GREY



2 METAL PANEL
COLOUR: WHITE



CANVAS AWNING
COLOUR: BLACK



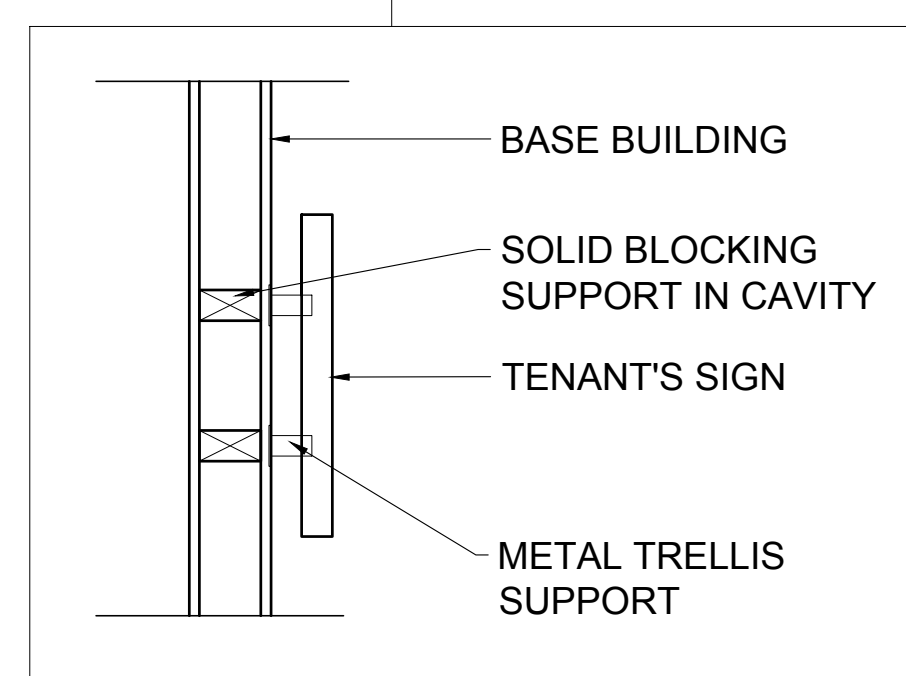
10 METAL SUNSHADES
COLOUR: BLACK



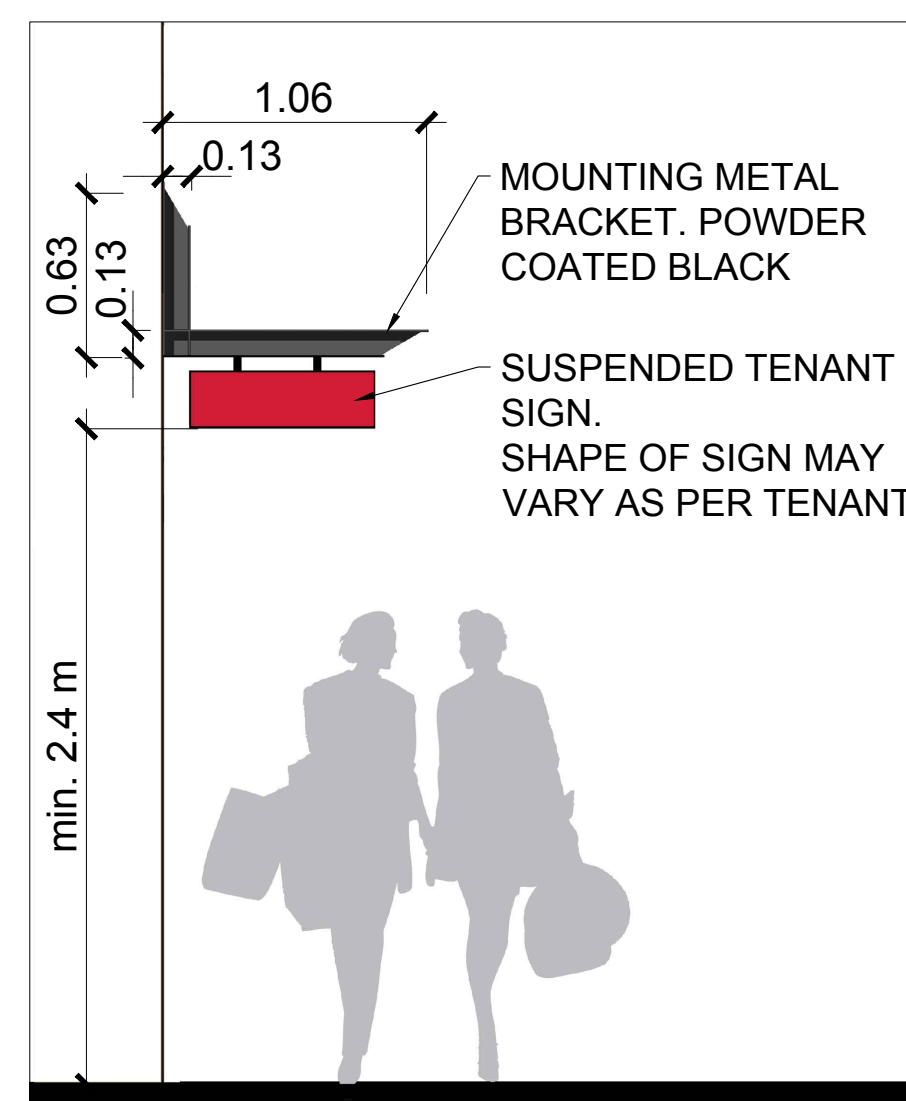
4 GLAZING IN ALUMINUM FRAME
COLOUR: BLACK



8 GLASS GUARDRAIL



TYPICAL FASCIA SIGN SECTION



TYPICAL BLADE SIGN

FASCIA SIGN MATERIALS AND ILLUMINATION

PERMITTED:

- INDIVIDUAL ILLUMINATED OR NON ILLUMINATED LETTERS
- INDIVIDUAL METAL LETTERS REVERSE CHANNEL - HALO ILLUMINATED
- INDIVIDUAL METAL CHANNEL LETTERS - ACRYLIC FACE, INTERNAL ILLUMINATION
- PAINTED RAISED LETTERS ON COLOURED BOARD FASCIA SIGNS - METAL, WOOD, OR STONE - ILLUMINATED OR NON-ILLUMINATED LETTERS.
- RECESSED OR INTEGRATED INTERNALLY ILLUMINATED, OPAQUE ALUMINUM FACE WITH PUSH THROUGH ACRYLIC LETTERS.
- LIGHTING OF SIGNAGE WITH OUTRIGGER OR GOOSENECK TYPES FIXTURES

PROHIBITED:

- BLINKING, FLASHING, ANIMATED, OR AUDIBLE SIGNS
- SIGNS WITH MOVING ELEMENTS OR MOVING LIGHTS
- EXPOSED NEON SIGNS
- FORMED PLASTIC, INJECTION MOLDED PLASTIC, VACUUM FORMED PLASTIC LETTERS
- EXPOSED INTERNALLY ILLUMINATED BOX SIGNS WITH LIT BACKGROUND FACES
- EXPOSED OR SURFACE MOUNTED BOX OR CABINET TYPE SIGNS
- VINYL LETTERING AS PRIMARY SIGN
- SIGNS WITH CLOTH, PAPER CARDBOARD, OR GATORBOARD.

NOTE:

ALL TENANT SIGNAGE MUST FULLY COMPLY WITH CITY OF SURREY SIGN BYLAW NO.13656, AND HAVE AN APPROVED MUNICIPAL SIGN PERMIT AND LANDLORD APPROVAL.

TENANTS TO HAVE ONE FASCIA AND ONE BLADE SIGN PER STOREFRONT.

WINDOWS SIGNS TO BE LIMITED TO ONE SIGN PER WINDOW ONLY AND BE NOT LARGER THEN 25% OF THE WINDOW AREA.

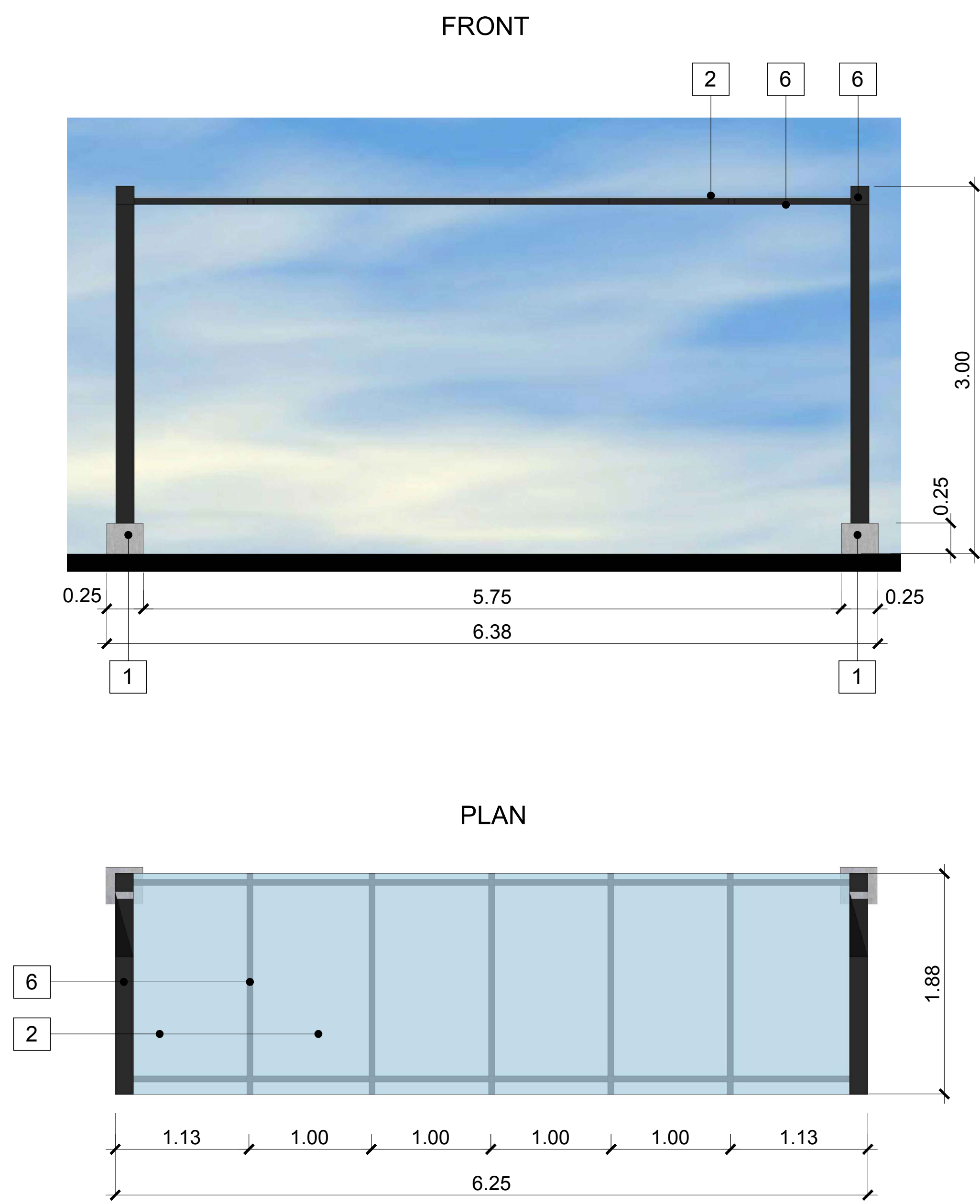
TOTAL AREA OFF ALL SIGNS SHALL COMPLY WITH THE COMBINED SIGN AREA PROVISIONS.

WINDOWS SIGNS ARE NOT PERMITTED ON THE SECOND STOREY.

FOR SIGN DIMENSIONS AND SIGN AREA CALCULATIONS REFER TO PAGES A 5.1 - A5.5

Resubmission to ADP
Fleetwood Village Development
Surrey, BC





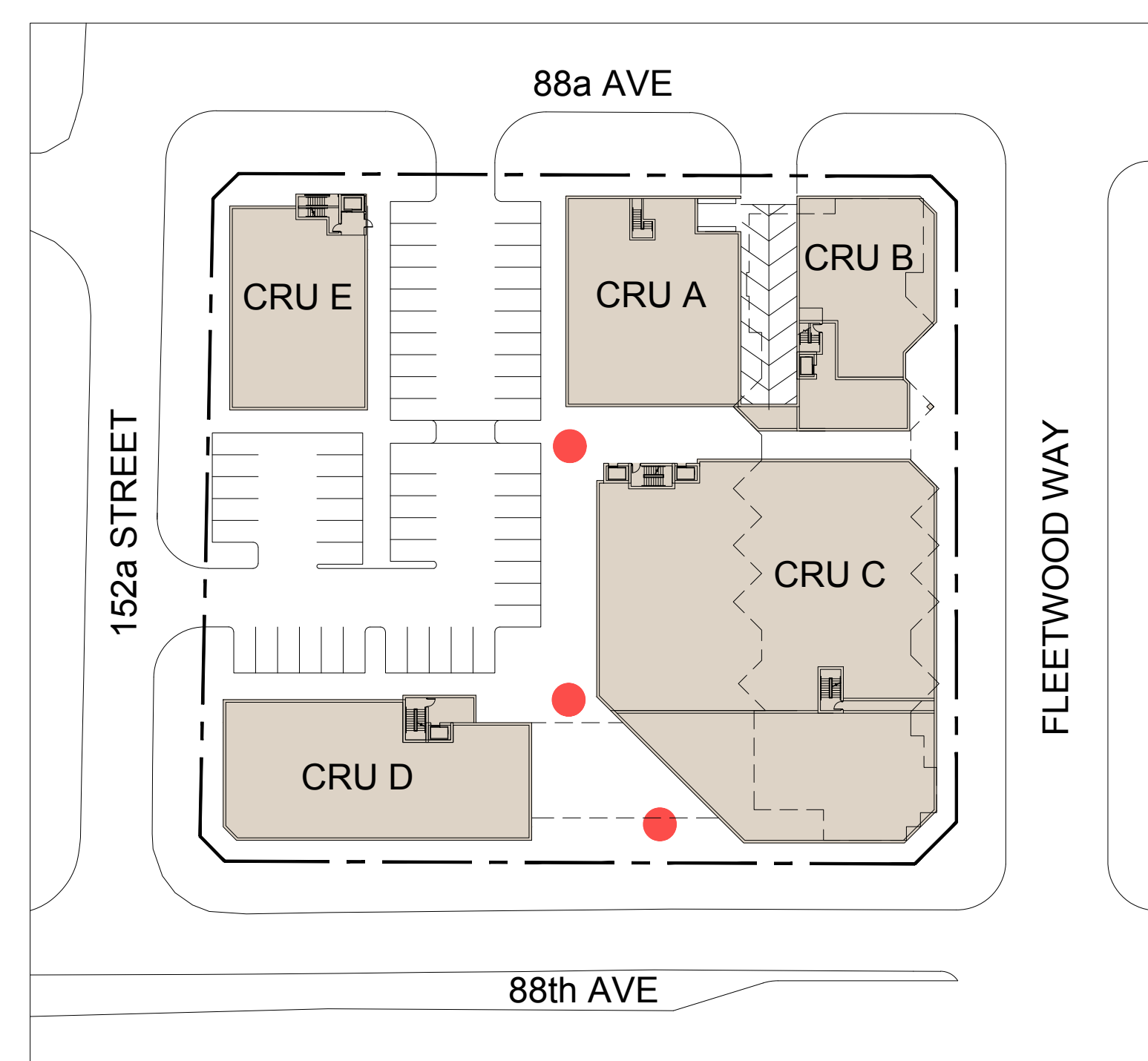
BBQ COVER PLAN AND ELEVATIONS

FINISH LEGEND AND COLOUR SCHEDULE:

- | | |
|--------------------|---------------------------------|
| 1 CONCRETE UPSTAND | 4 LIGHT |
| 2 GLASS | 5 WOODEN BENCH |
| 3 DIRECTORY PANEL | 6 METAL STRUCTURE COLOUR: BLACK |

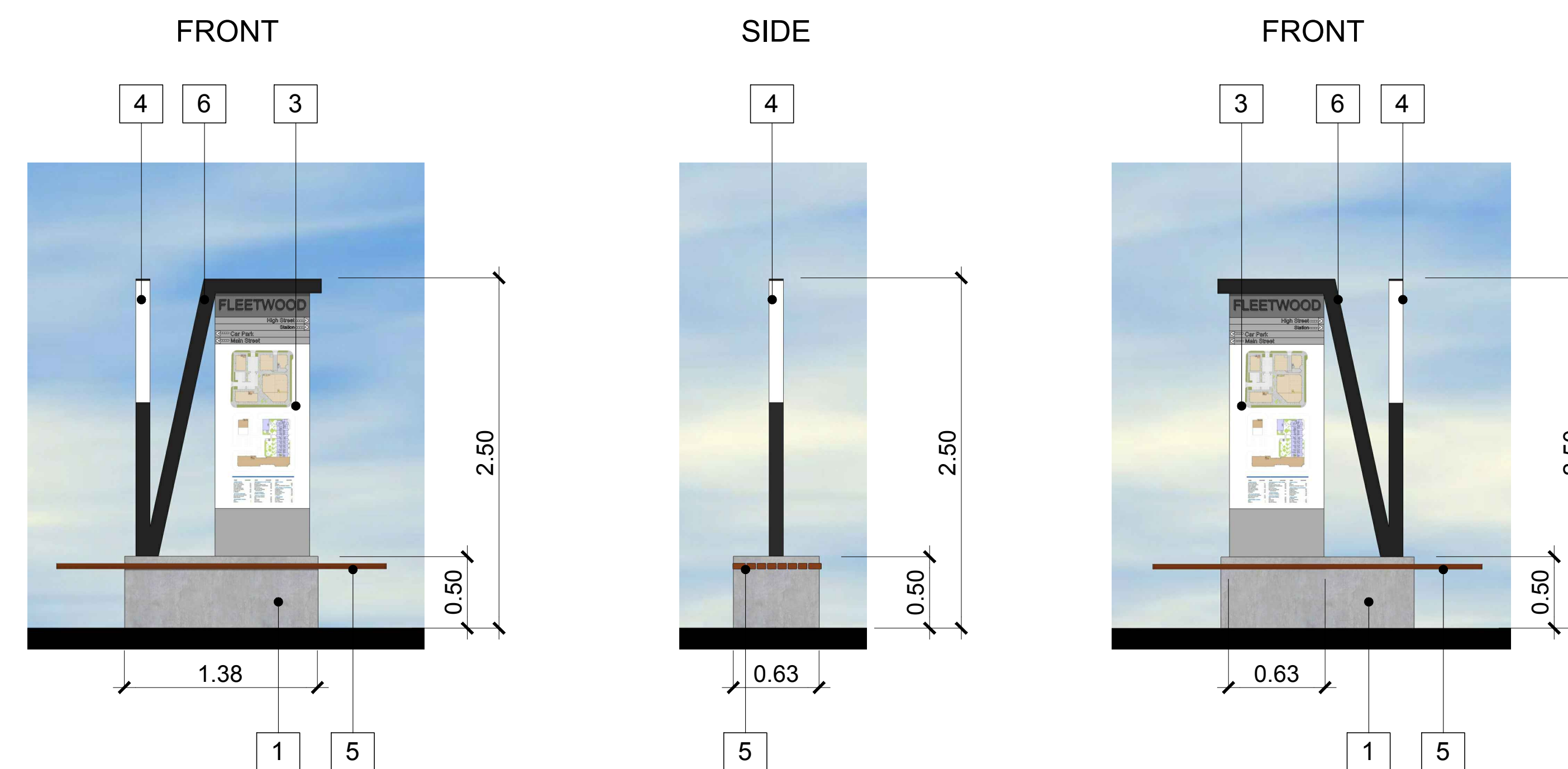


BBQ COVER PERSPECTIVE



KEY PLAN
SCALE: NTS

COLOUR LEGEND:
- WAYFINDING SIGN



WAYFINDING SIGN ELEVATIONS



WAYFINDING SIGN PERSPECTIVE

Resubmission to ADP
Fleetwood Village Development
Surrey, BC



GROUND FLOOR PLANT SCHEDULE			PMG JOB NUMBER: 15-043	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	29	ACER RUBRUM 'OCTOBER GLORY'	SPECIES TO BE CONFIRMED BY CITY	6CM CAL:2M STD:B&B
	4	CORNUS KOUSA 'CHINENSIS'	CHINESE KOUSA DOGWOOD	6CM CAL: 1.2M STD.
	5	FRAXINUS AMERICANA 'AUTUMN PURPLE'	AUTUMN PURPLE ASH	6CM CAL:1.8M STD:B&B
	2	PARROTIA PERSICA 'RUBY VASE'	RUBY VASE PERSIAN IRONWOOD	6CM CAL: 1.2M STD.
	6	QUERCUS PALUSTRIS 'GREEN PILLAR'	GREEN PILLAR PIN AK	6CM CAL:1.8M STD:B&B
	7	SORBUS THURINGIACA 'FASTIGIATA'	FASTIGIATE OAK LEAF MOUNTAIN ASH	6CM CAL: 1.5M STD:B&B
SHRUB	93	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT:40CM
	73	NANDINA DOMESTICA 'GULF STREAM'	HEAVENLY BAMBOO DWARF	#3 POT:50CM
	48	RHODODENDRON 'PURPLE GEM'	RHODODENDRON 'PURPLE	#3 POT:B&B
	54	THUJA 'GOLDEN TUFFET'	GOLDEN TUFFET CEDAR	#3 POT
GRASS	35	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
	87	FENISETUM ALOPECUROIDES 'HAMELIN'	DWARF FOUNTAIN GRASS	#1 POT
	72	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	#1 POT
VINE	4	CLEMATIS JACKMANI'RUBRA'	CLEMATIS 'CRIMSON	#3 POT:75CM:STAKED ONTO TRELLIS
PERENNIAL	118	HEMEROCALLIS 'YELLOW STONE'	DAYLILY:LIGHT YELLOW	#1 POT:1-2 FAN
	20	HOSTA 'PATRIOT'	HOSTA:GREEN AND WHITE VARIEGATED	#1 POT:1 EYE
	49	LEUCANTHEMUM X SUPERBUM	SHASTA DAISY	15CM POT
	260	LIRIOPE MUSCARI	BLUE LILY-TURF	15CM POT
	58	RUDBECKIA FULGIDA VAR SULLIVANTII 'GOLDSTURM'	RUDBECKIA:YELLOW	15CM POT
GC	16	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT:20CM

NOTES: PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY: ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



COMMERCIAL "HIGH STREET"



ACER 'OCTOBER GLORY'



SORBUS



OUTDOOR SEATING IN BREEZEWAY



CORNUS



MAC BOLLARD



PARKING LOT PAVERS



PEDESTRIAN AREA PAVERS



QUERCUS



Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

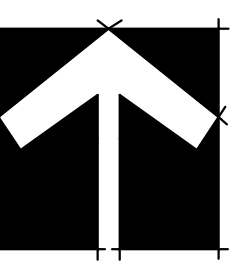


NO.	DATE	REVISION DESCRIPTION	DR.
10	19.JAN.18	REVISE PER NEW SITE PLAN	RK
9	18.NOV.14	REVISE PER NEW SITE PLAN, CITY COMMENTS	RK
8	18.OCT.16	REVISE PER NEW SITE PLAN, CITY COMMENTS	RK
7	18.SEP.26	REVISE PER NEW SITE PLAN, CITY COMMENTS	RK
6	18.JUN.14	REVISE PER NEW SITE PLAN, CITY COMMENTS	RK
5	18.APR.11	REVISE PER NEW SITE PLAN, DP SUBMISSION	RK
4	18.APR.05	REVISE PER NEW SITE PLAN, CITY COMMENTS	RK
3	17.DEC.05	REVISE NEW SITE PLANS, DP SUBMISSION	RK
2	17.NOV.03	NEW SITE PLAN	DO
1	16.NOV.10	NEW SITE PLAN	DO

CLIENT: _____
PROJECT: FLEETWOOD WEST
15289 88 AVENUE
SURREY, BC

SEAL: _____
DRAWING TITLE: LANDSCAPE PLAN

DATE: 15.MAR.17
SCALE: 1:250
DRAWN: DO
DESIGN: MCY
CHK'D: MCY
DRAWING NUMBER: L1
PMG PROJECT NUMBER: 15-043



15043-12.ZIP



88A th Ave.

MATERIALS LEGEND

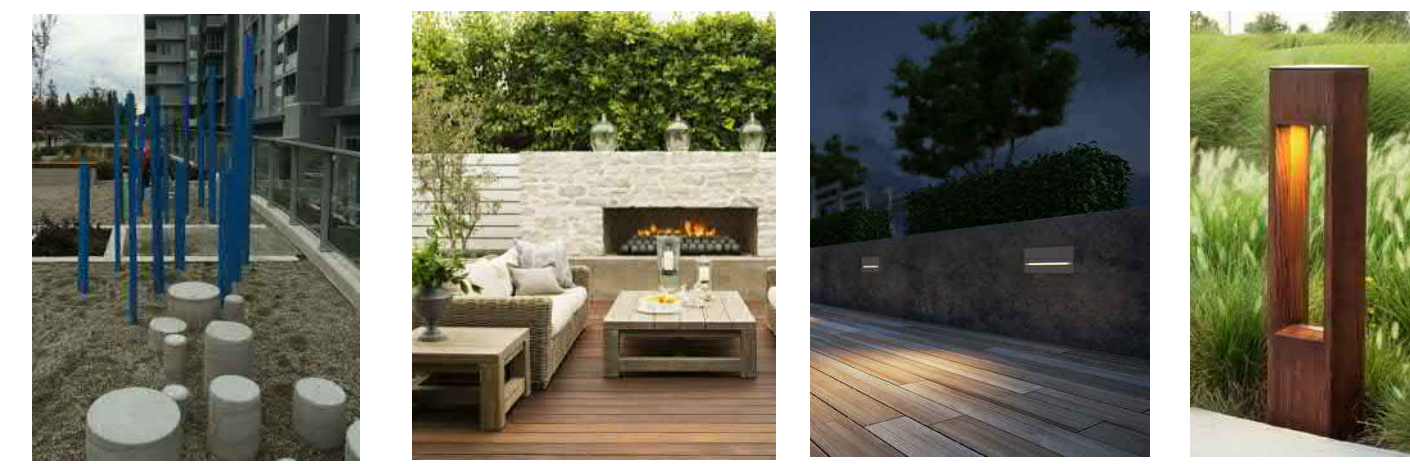
- STANDARD PAVERS, CHARCOAL, RUNNING BOND, TYP.
- STANDARD PAVERS, NATURAL, RUNNING BOND, TYP.
- CORTEZ HYDRAPRESSED SLABS, 18X18", SANDALWOOD COLOUR AT PRIVATE PATIOS
- IPE DECK
- 12" DRAIN GRAVEL STRIP BETWEEN PLANTERS AND BUILDING
- FRANCES ANDREW KINGSTON PICNIC TABLE
- FRANCES ANDREW HEAVY 6 BENCH
- RATANA PORTFINO CLUB CHAIR AND LOVESEAT
- PEDESTRIAN LIGHTING - STRUCTURA MAC BOLLARD
- WALL MOUNTED LIGHT, MP LIGHTING L49 MA, MATTE CLEAR ANODIZED

UPPER FLOOR PLANT SCHEDULE PMG PROJECT NUMBER: 15-043

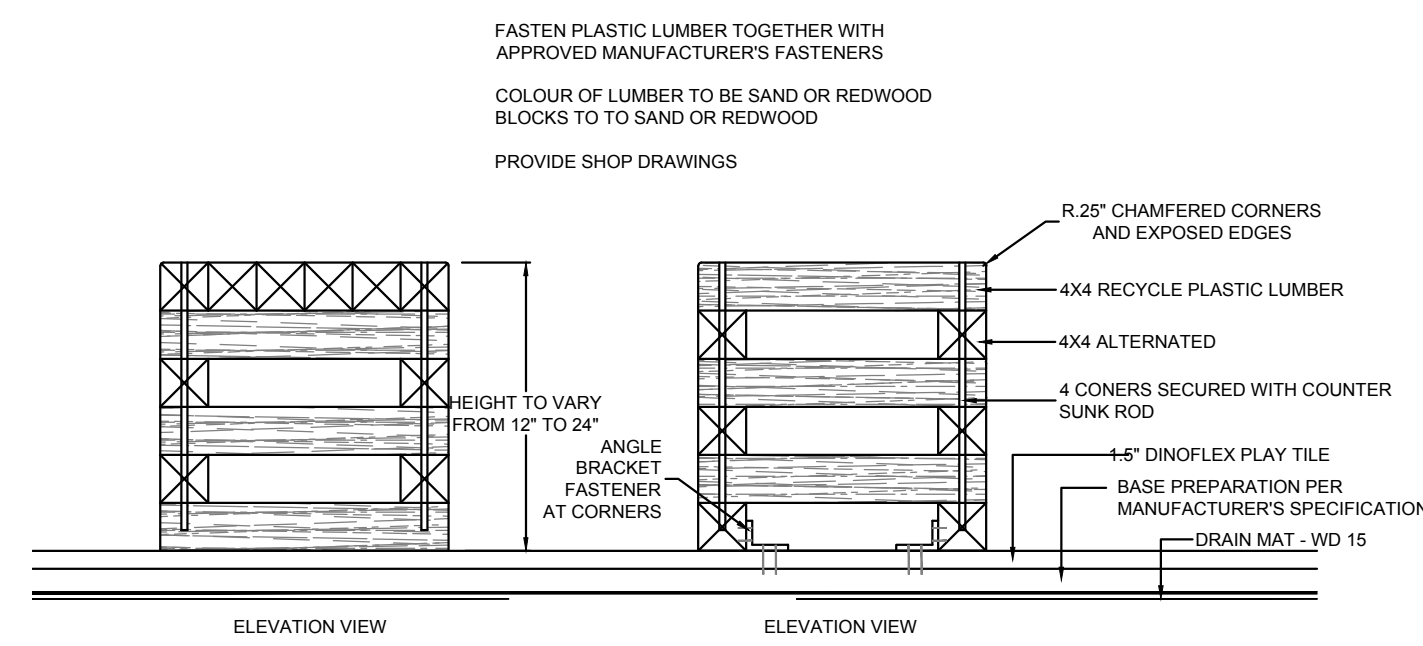
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	9	ACER PALMATUM 'EMPEROR I'	DARK RED JAPANESE MAPLE	6CM CAL B&B
	6	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR	6CM CAL 2.24 STD: B&B
	4	PICEA OMORIKI 'BRUNS'	BRUNS SERBIAN SPRUCE	2.5M HT: B&B
SHRUB	77	BERBERIS THUNBERGII 'ORANGE ROCKET'	NARROW ORANGE/PURPLE BARBERRY	#3 POT .40CM
	28	HYDRANGEA MACROPHYLLA 'LITTLE LIME'	DWARF BIGLEAF HYDRANGEA	#3 POT .40CM
	35	RHOODODENDRON 'KEN JANECK'	RHOODODENDRON LIGHT PURPLE: MAY	#3 POT .30CM
	20	SKIMMIA JAPONICA 'RUBELLA'	RUBELLA SKIMMIA	#3 POT .50CM
	59	SPIRAEA JAPONICA 'GOLDMOUND'	DWARF GOLDMOUND SPIREA	#2 POT .30CM
	111	TAXUS MEDIA 'HICKSI'	HICKS YEW	1.5M B&B
	14	VIBURNUM P.T. 'SUMMER SNOWFLAKE'	SUMMER SNOWFLAKE VIBURNUM	#3 POT .60CM
GRASS	19	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
PERENNIAL	144	HEMEROCALLIS 'YELLOW STONE'	DAYLILY LIGHT YELLOW	#1 POT 1-2 FAN
	144	HEMEROCALLIS 'YELLOW STONE'	DAYLILY LIGHT YELLOW	#1 POT 1-2 FAN
	94	HEUCHERA MACRANTHA 'PALACE PURPLE'	CORAL BELLS: PURPLE-RED	#1 POT
	2	LIRIOPE MUSCARI	BLUE LILY-TURF	15CM POT
GC	89	PACHYSANDRA TERMINALIS 'GREEN SHEEN'	JAPANESE SPURGE	#1 POT .15CM

NOTES: *PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. **REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. **SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. **DEFINITION OF CONDITIONS OF AVAILABILITY. **ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. **ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. **BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

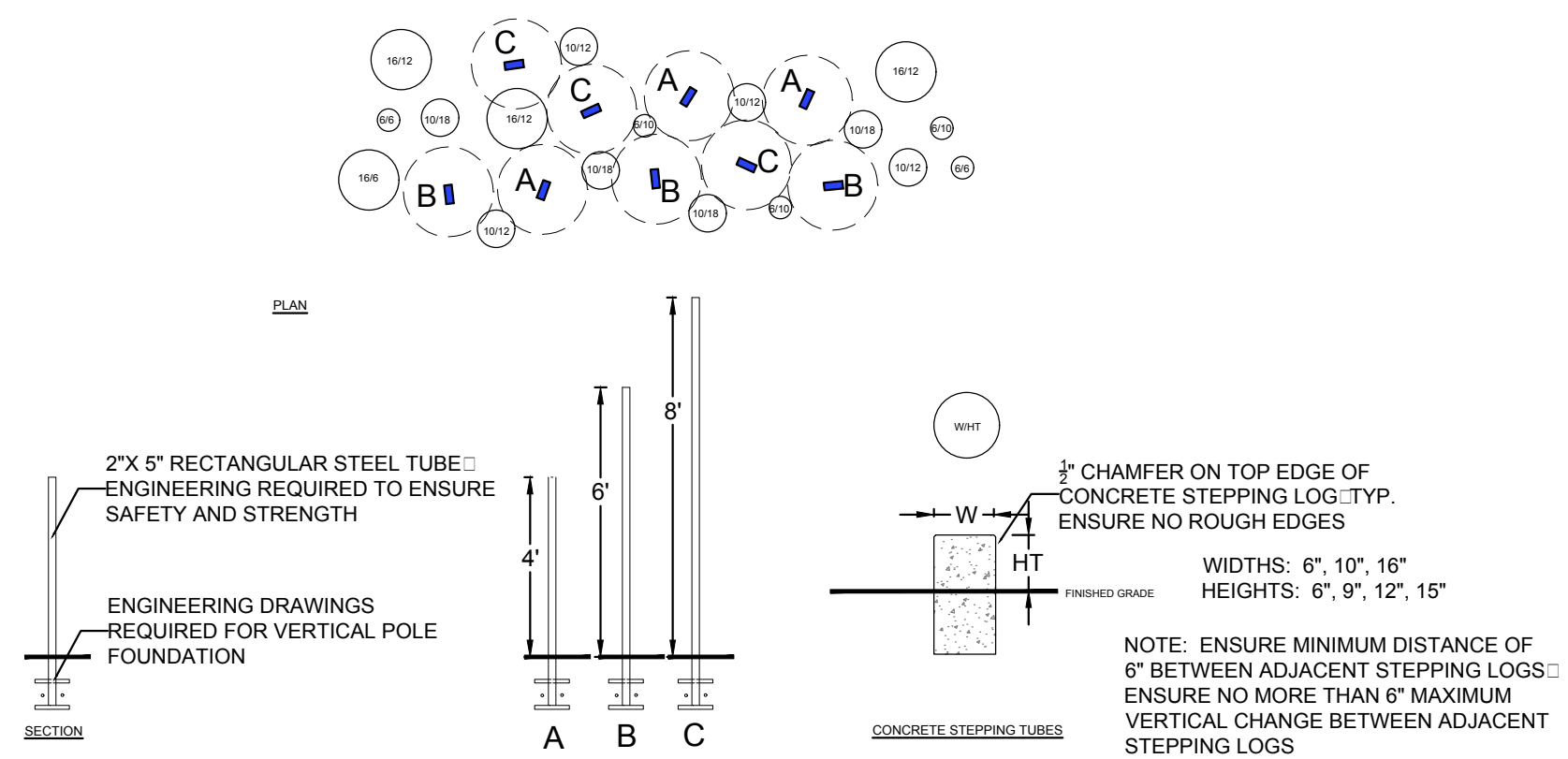
PRECEDENT IMAGES



SCULPTURAL PLAY LOUNGE SEATING WALL LIGHTS BOLLARD



SEAT PLAY BLOCKS



VERTICAL MAZE ELEMENTS

CONCRETE STEPPING LOGS

15043-12.ZIP



NO.	DATE	REVISION DESCRIPTION	DR.
10	19.JAN.18	REVISE PER NEW SITE PLAN	RK
9	18.NOV.14	REVISE PER NEW SITE PLAN, CITY COMMENTS	RK
8	18.OCT.16	REVISE PER NEW SITE PLAN, CITY COMMENTS	RK
7	18.SEP.26	REVISE PER NEW SITE PLAN, CITY COMMENTS	RK
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4	18.APR.05	REVISE PER NEW SITE PLAN, CITY COMMENTS	RK
3	17.DEC.05	REVISE NEW SITE PLANS, DP SUBMISSION	RK
2	17.NOV.03	NEW SITE PLAN	DO
1	16.NOV.10	NEW SITE PLAN	DO

PROJECT:

FLEETWOOD WEST
15289 88 AVENUE
SURREY, BC

SEAL:

DRAWING TITLE:

UPPER FLOOR
LANDSCAPE PLAN

DATE: 15.MAR.17
SCALE: 1:150
DRAWN: RK
DESIGN: RK
CHK'D: MCY

DRAWING NUMBER:

L5 OF 7

PMG PROJECT NUMBER: 15-043



Planning

August 16, 2018

THE IMPACT ON SCHOOLS

APPLICATION #: 17 0583 00

SUMMARY

The proposed 65 lowrise units are estimated to have the following impact on the following schools:

Projected # of students for this development:

Elementary Students:	3
Secondary Students:	3

September 2017 Enrolment/School Capacity

Coyote Creek Elementary	
Enrolment (K/1-7):	70 K + 586
Operating Capacity (K/1-7)	38 K + 559
Addition Operating Capacity (K/1-7) 2020	38 K + 652
Fleetwood Park Secondary	
Enrolment (8-12):	1462
Capacity (8-12):	1200

School Enrolment Projections and Planning Update:

The following tables illustrate the enrolment projections (with current/approved ministry capacity) for the elementary and secondary schools serving the proposed development.

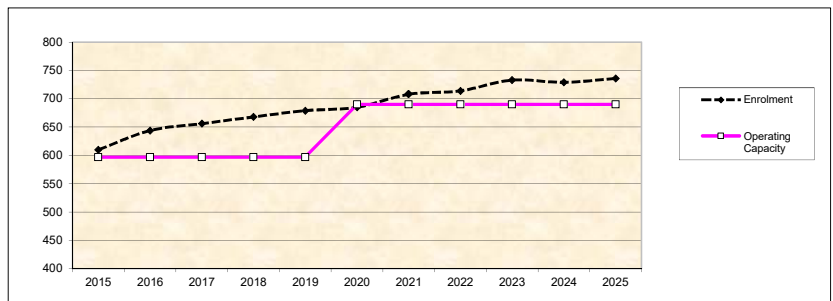
Coyote Creek is currently over capacity. Rapid enrolment growth is expected into the foreseeable future with the continued construction of The Enclave. Eaglequest Golf Course and the Fraser Highway corridor are potential areas for redevelopment which will significantly impact enrolment growth in future years.

With 152nd Street to the west, Fraser Highway to the North and the ALR to the south, the Fleetwood area is contained within these barriers. Three elementary schools and one Secondary serve this community. The elementary schools consist of: William Watson, Walnut Road and Coyote Creek. As both 152nd and Fraser Highway are major arterial roads, catchments have been created to ensure families/children do not have to cross such major roadways for safety reasons. Therefore, all new enrolling spaces constructed to relieve pressure in the Fleetwood area must fall within the Fleetwood boundaries as described.

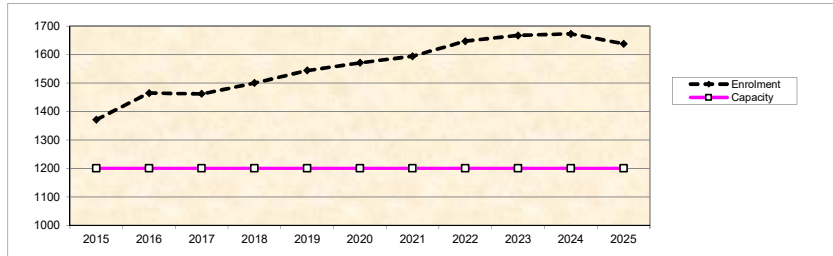
Currently, Coyote Creek Elementary is operating at 110% and is projected to grow to 115% in 2025. Its site area is limited and therefore, placing future portables may not be an option to deal with the growing in-catchment demand. In early spring 2018, the Ministry of Education approved funding to move to design and construction of a 100 capacity addition to the school. The addition is targeted to open September 2020.

Fleetwood Secondary total enrollment, as of September 2017, is 1462 and is projected to grow to over 1700 over the next 10 years. The school's capacity is 1200. As part of the 2019/2020 Five Year Capital Plan submission to the Ministry of Education, the District has asked for a 300 capacity addition to the school.

Coyote Creek Elementary



Fleetwood Park Secondary



* Nominal Capacity is estimated by multiplying the number of enrolling spaces by 25 students. Maximum operating capacity is estimated by multiplying the number of enrolling spaces by 27 students.

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Alder and Cottonwood Trees			
Alder/ Cottonwood	0	0	0
Deciduous Trees (excluding Alder and Cottonwood Trees)			
Cherry	1	1	0
Maple, Manitoba	1	1	0
Maple, Emerald Queen Norway	6	6	0
Maple, Norway	1	1	0
Birch, Paper	1	1	0
Plum, Purple Leaf	1	1	0
Total (excluding Alder and Cottonwood Trees)	11	11	0
Additional Trees in the proposed Open Space / Riparian Area	NA	NA	NA
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		72	
Total Retained and Replacement Trees		72	



Tree Preservation Summary

Surrey Project No: 17-0583-00


Address: 8835 Fleetwood Way, Surrey, BC

Registered Arborist: Peter Mennel ISA (PN-5611A)

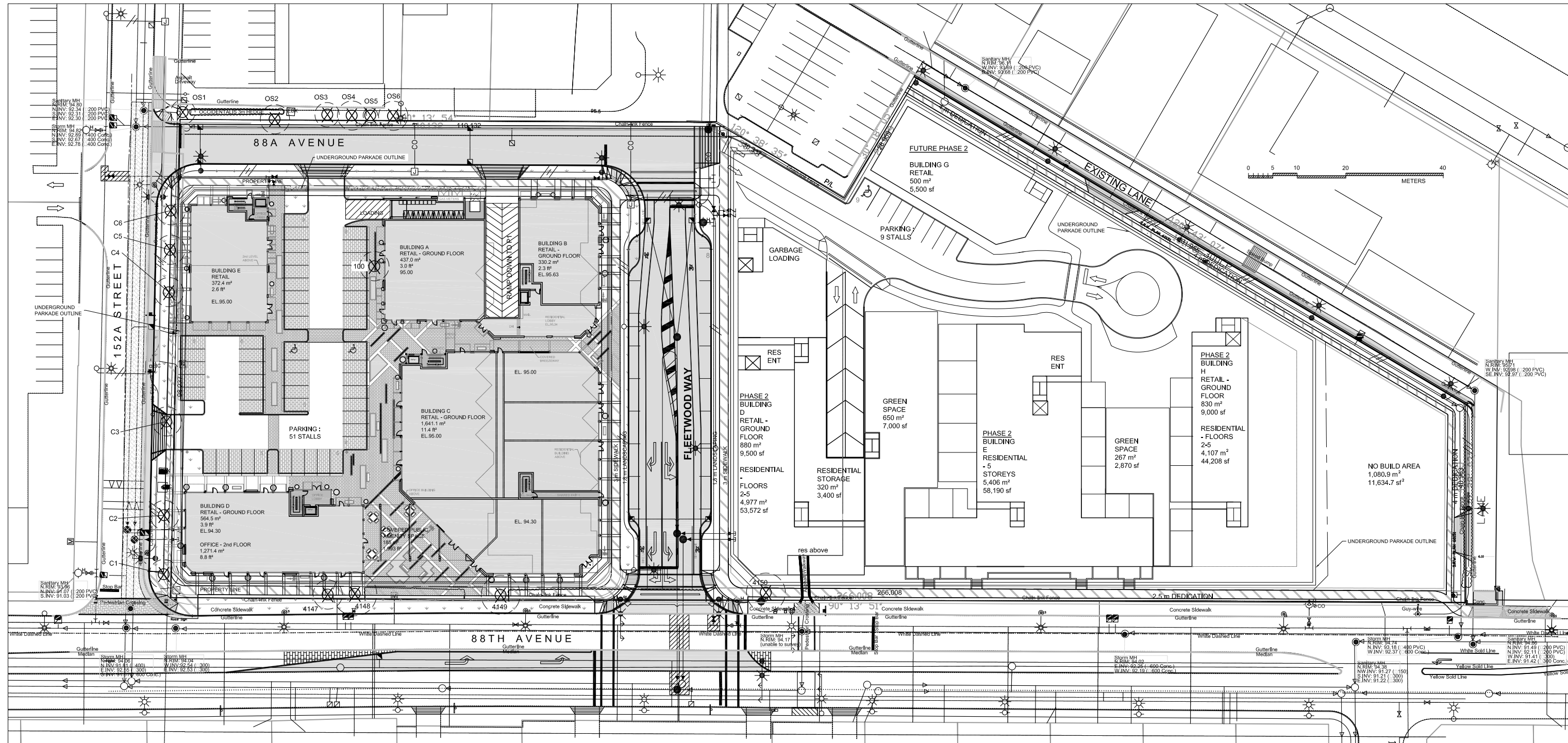
On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	11
Protected Trees to be Removed	11
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	0
Total Replacement Trees Required: <div style="text-align: center;"> Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = <u>0</u> </div> <div style="text-align: center;"> All other Trees Requiring 2 to 1 Replacement Ratio 11 X two (2) = <u>22</u> </div>	22
Replacement Trees Proposed	72
Replacement Trees in Deficit	0
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	5
Total Replacement Trees Required: <div style="text-align: center;"> Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 </div> <div style="text-align: center;"> All other Trees Requiring 2 to 1 Replacement Ratio 5 X two (2) = 10 </div>	10
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.




Signature of Arborist: 	Date: December 12, 2018
--	-------------------------

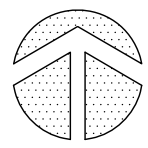




NOTE: NON BY-LAW TREES HAVE BEEN REMOVED FROM THE PLANS.

LEGEND

-  TREE TO BE RETAINED
-  TREE TO BE REMOVED
-  MINIMUM NO DISTURBANCE ZONE



STAMP	NO.	DATE	BY	REVISION
	1	FEB01/17	MK	NEW SITE PLAN
	2	FEB09/17	MK	GRADING PLAN
	3	FEB28/18	MK	NEW SITE PLAN
	4	DEC06/18	MK	REVISIONS

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 St.
 Surrey, British Columbia
 V3W 0A6
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PROJECT TITLE
835 FLEETWOOD WAY
 SURREY, B.C.

SHEET TITLE
T1 - TREE REMOVAL AND PRESERVATION PLAN
 CLIENT

DRAWN
 JT
 SCALE
 AS SHOWN
 DATE
 APRIL 24, 2015

T-1
 SHEET 1 OF 2

Present:

Chair - J. Leger
Panel Members:
A. Callison
A. Politano
D. Tyacke
I. MacFadyen
L. Mickelson
M. Younger
R. Sethi
S. McFarlane

Guests:

Chris Block, Collabor8 Architecture + Design Inc.
Dylan Chernoff, Durante Kreuk Ltd.
Katya Morenells, Collabor8 Architecture + Design Inc.
Manish Sharma, Square Nine Developments
Mary Chan Yip, PMG Landscape Architects
Mehran Rabiee, Fleetwood Village Development Ltd.
Richard Bernstein, Chris Dikeakos Architects Inc.
Thomas Morton, Fleetwood Village Development Ltd.

Staff Present:

A. McLean, City Architect
N. Chow, Urban Design Planner
C. Eagles, Administrative Assistant

A. RECEIPT OF MINUTES

It was Moved by M. Younger
Seconded by D. Tyacke
That the minutes of the Advisory Design
Panel meeting of June 21, 2018 be received.
Carried

B. INTRODUCTIONS

C. NEW SUBMISSIONS

2. 5:30 p.m.

File No.: 7917-0583-00
New or Resubmit: New
Last Submission Date: N/A
Description: Development Permit to allow five (5) commercial / mixed-use buildings ranging in height from two to five storeys. All buildings include ground floor commercial, while buildings B and C include residential above.
Address: 8835 - 152A Street
Developer: Mehran Rabiee, Fleetwood Village Development Ltd.
Architect: Chris Block, Collabor8 Architecture + Design Inc.
Landscape Architect: Mary Chan Yip, PMG Landscape Architects
Planner: Donald Nip
Urban Design Planner: Ann McLean

The City Architect expressed concerns with the public realm interfaces. The general Development Permit allows for a minimum 2 metre setback. 88 Avenue is a truck route and staff would like to see a further setback in order the pedestrian realm would be more comfortable and safe. 88A Avenue has many service

elements, including garbage and loading located along the street edge, reducing its positive engagement with the public realm.

The Project Architect presented an overview of the site and building plans, streetscapes and elevations. The recycling area is enclosed and located in the least distracting area for pedestrians.

The Landscape Architect presented an overview of the general concept for the Landscape plans. The design will be pedestrian friendly.

ADVISORY DESIGN PANEL STATEMENT OF REVIEW

It was Moved by J. Leger
 Seconded by I. MacFadyen
 That the Advisory Design Panel (ADP) is in conditional support of the project and recommends that the applicant address the following issues to the satisfaction of the Planning & Development Department and, at the discretion of Planning staff, resubmit the project to the ADP for review.
Carried
 With L. Mickelson opposed.

Site

- Recommend solution to move-in/move-out and loading conflict between commercial and residential.

(Done. The commercial loading bay has been deleted as suggested by the panel.)

- Recommend altering the residential entrance door as it gets lost and does not have identity.

(Done. We have enhanced the residential entry presence on Fleetwood Way.)

- Recommend relocating access to recycling.

(Done. The commercial recycling/garbage area has been relocated to the underground parking level.)

- Recommend relocating the residential elevator to be more centralized.

(Upon further consideration we have opted to keep the residential elevator in the current location. As it is, the elevator is located very centrally in the underground parking area which we feel is more crucial for resident safety concerns.)

- Recommend increasing the setback on 88 Avenue for high traffic area.

(The existing building setback along 88 Avenue was a requirement we accepted in the rezoning of the property. Along with the rezoning, a

Generalized Development Permit was also approved by the Advisory Design Panel and Planning Department which incorporated the 2.0m setback. A second row of trees has been introduced to buffer the street, along with a decorative paving area. Our overall street frontage design also provides a significant setback of 10 metres+ for approximately 25metres in length between Buildings C & D.)

- Consider reducing the height at the south of the property to minimize the vis-a-vis to the single family dwellings.

(The form and massing for this project has previously been approved by the Advisory Design Panel and hasn't changed since that approval. We would also note that in Public Information Meetings with the neighbours, the massing along 88 Avenue was adequately discussed and resolved.)

- Consider compatibility between commercial and residential components.

(Done. We have further developed the design of the components to now differentiate the orientation of the commercial and residential panelling and have continued residential elements down to the ground plane to help differentiate them from the commercial elements.)

- Consider altering the office wall on level 2 adjacent to the residential amenity space to engage with the users.

(Done. We have incorporated clerestory windows into the office and integrated an outdoor fireplace feature to animate the wall, along with planting.)

- Consider increasing the height to the northern portion of the site.

(As above, the form and massing was previously approved by the Advisory Design Panel. For information, the building is at maximum allowable height.)

- Consider how vehicles enter and exit the site.

(Done. Two separate entries are required for orderly vehicular flow through the site and for fire truck access. With the relocation of the recycle / loading areas the vehicular flow has been enhanced.)

- The Panel supports the widening of 88 Avenue sidewalk.

(We have provided a setback in excess of 2.5 metres for 40% of the 88th Avenue frontage. As noted above, the provided setbacks are consistent with the approved rezoning and Generalized Development Permit.)

- The Panel supports the efforts to differentiate material and canopy changes.

(Noted.)

The Panel would like to see minimum loading requirements on future projects.

Form and Character

- Consider refining the massing and transition between the residential and podium.

(Done. The transition between the residential and retail podium has been reconfigured.)

- Consider circulation nodes and creating a clear, identifiable and stronger wayfinding.

(Done. We have developed the circulation nodes and provided integrated wayfinding elements.)

- Consider greater consistency between volumetric and planar approach.

(Done. The expression of the balcony volumes and different planar materials have been enhanced.)

- Consider fascia is consistent with other materials.

(Confirmed. The fascia is the same material (metal panel) as the balcony volumes.)

Landscape

- Recommend that the drop slab is maintained for landscape.

(Confirmed. The dropped slab is maintained.)

- Consider larger canopy trees in parking area where buildings are not adjacent and widen planting trench.

(In the parking area where the planters are away from the building, Fraxinus Americana 'Autumn Applause' trees have been proposed. The minimum soil volume provided for these trees is 10 cubic meters.)

- Consider further development at the residential lobby plaza.

(The residential lobby plaza is differentiated with special porcelain slab pavers in a lighter coloured sienna travertine finish. Planters, benches, and a bike rack help to frame the entrance to the residential building.)

- Consider different material for the lawns.

(Done. The lawn areas have been revised to IPE wood decking with added play elements.)

- Consider water feature under bridge in plaza for evening animation and

daytime white noise.

(We expect this plaza area to be activated with a restaurant or café patio spilling onto it, providing activity and ambient noise throughout the day and evening.)

- Consider covering BBQ and seating area.

(We have designed a covered trellis for the barbeque area that ties in with the building.)

- Consider increasing the size of the play area.

(The play opportunities have been increased in the upper floor amenity with additional sculptural play areas including concrete steppers, vertical maze elements, wood seat play blocks, and flower talk tubes.)

Sustainability

- Recommend Step 2 of the BC Energy Step Code.

(This will be addressed at the Building Permit submission.)

- Consider equipping parking stall for electric vehicle charging.

(Done. We have provided 25 pre-wired electric stalls for future electric charging in the residential parking area.)

- Consider rainwater harvesting for irrigation.

(Rainwater harvesting was considered and will not be proposed with this design.)

- Consider additional green roof areas to address rainwater management.

(Beyond the green roof provided, we will provide additional roof top water retention through low-flow roof drains to address rainwater management. This will be further resolved at the Building Permit stage.)

- Provide cooling units to the west and other strategies for shading.

(Done. We have incorporated overhangs, deeply inset windows and vertical sun shades on the west façade.)

CPTED

- No specific issues were identified.

Accessibility

- Recommend that the entrance door be power operated.
(Done. This will be provided at the Building Permit stage.)
- Recommend the amenity spaces and restrooms be accessible.
(Done. These spaces are accessible.)
- Recommend relocating the accessible parking stalls closer to the elevators.
(Done. We have moved accessible stalls and moved doors to the elevator lobbies to shorten the distances to the elevators.)
- Consider the elevator and entrance call button panel to be placed horizontally.
(Done. This will be provided at the Building Permit stage.)
- Consider 5% of residential units be wheel chair accessible.
(Done. We have provided 4 accessible units (6%).)
- Consider emergency call buttons in the parking lobbies.
(Done. This will be provided at the Building Permit stage.)
- Consider providing a mode of travel from the parking stalls to the side walk to ensure pedestrians do not have to navigate into the drive aisle and mode of travel between the residential parking lot and elevator area.
(Done. All accessible stalls are either adjacent to pedestrian paths (at-grade parking) or adjacent to the elevator lobbies in the underground parking area.)

E. NEXT MEETING

The next Advisory Design Panel is scheduled for Thursday, August 9, 2018 at Surrey City Hall in 2E Community Room B.

F. ADJOURNMENT

The Advisory Design Panel meeting adjourned at 6:45 p.m.

Jane Sullivan, City Clerk

J. Leger, Chair

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0583-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 030-106-745
Lot A Section 35 Township 2 New Westminster District Plan EPP64678

8835 - Fleetwood Way

(the "Land")

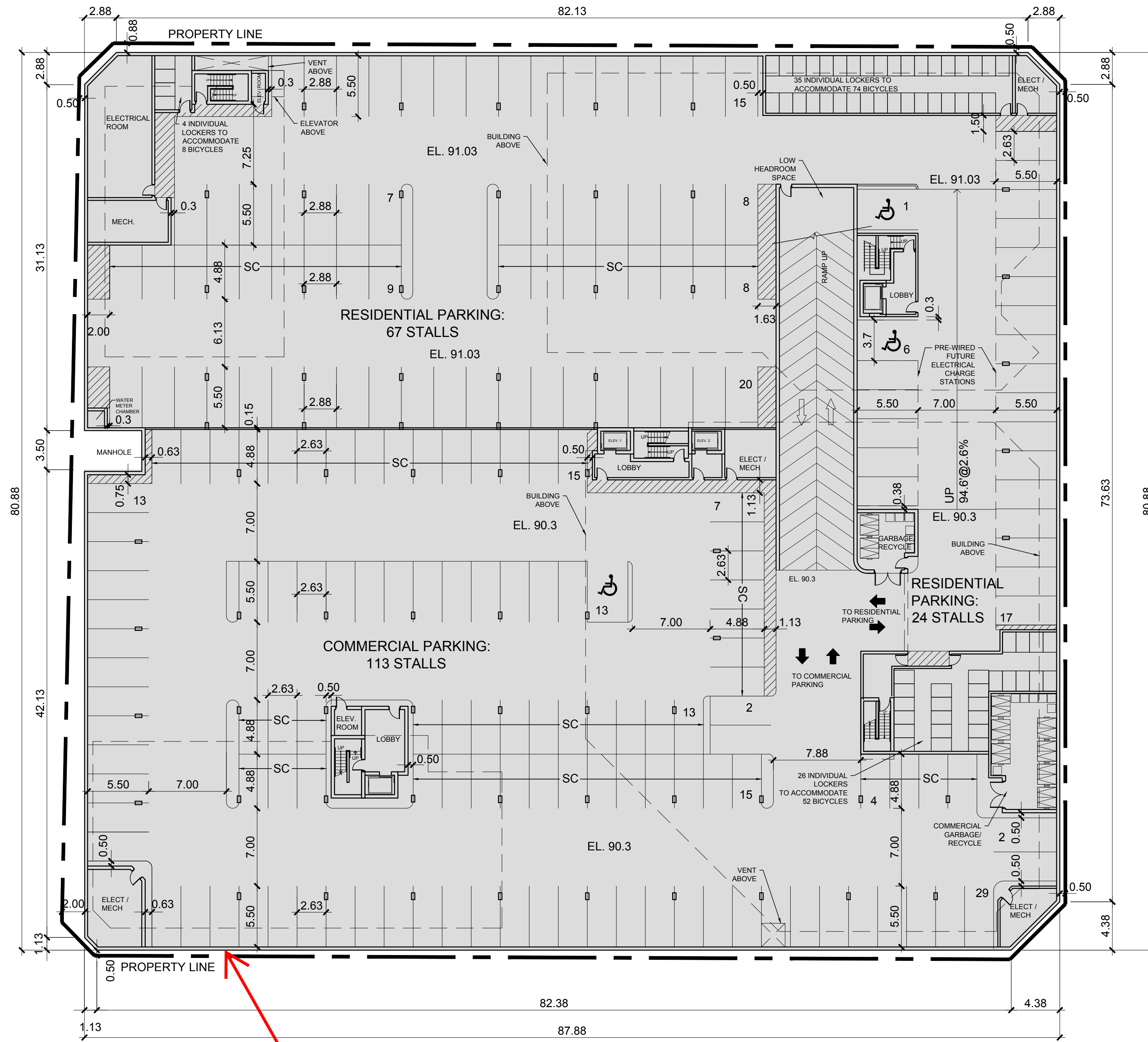
3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - To reduce the minimum required setback of an underground parking facility as per Sub-section A.3(d) of Part 5 Off-Street Parking and Loading/Unloading from 2.0 metres (6.5 ft.) to 0.5 metre (1.6 ft.) to all lot lines.
4. This development variance permit applies to only the buildings and structures on the Land shown on Schedule A, which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.

6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 2019.
ISSUED THIS DAY OF , 2019.

Mayor – Doug McCallum

City Clerk

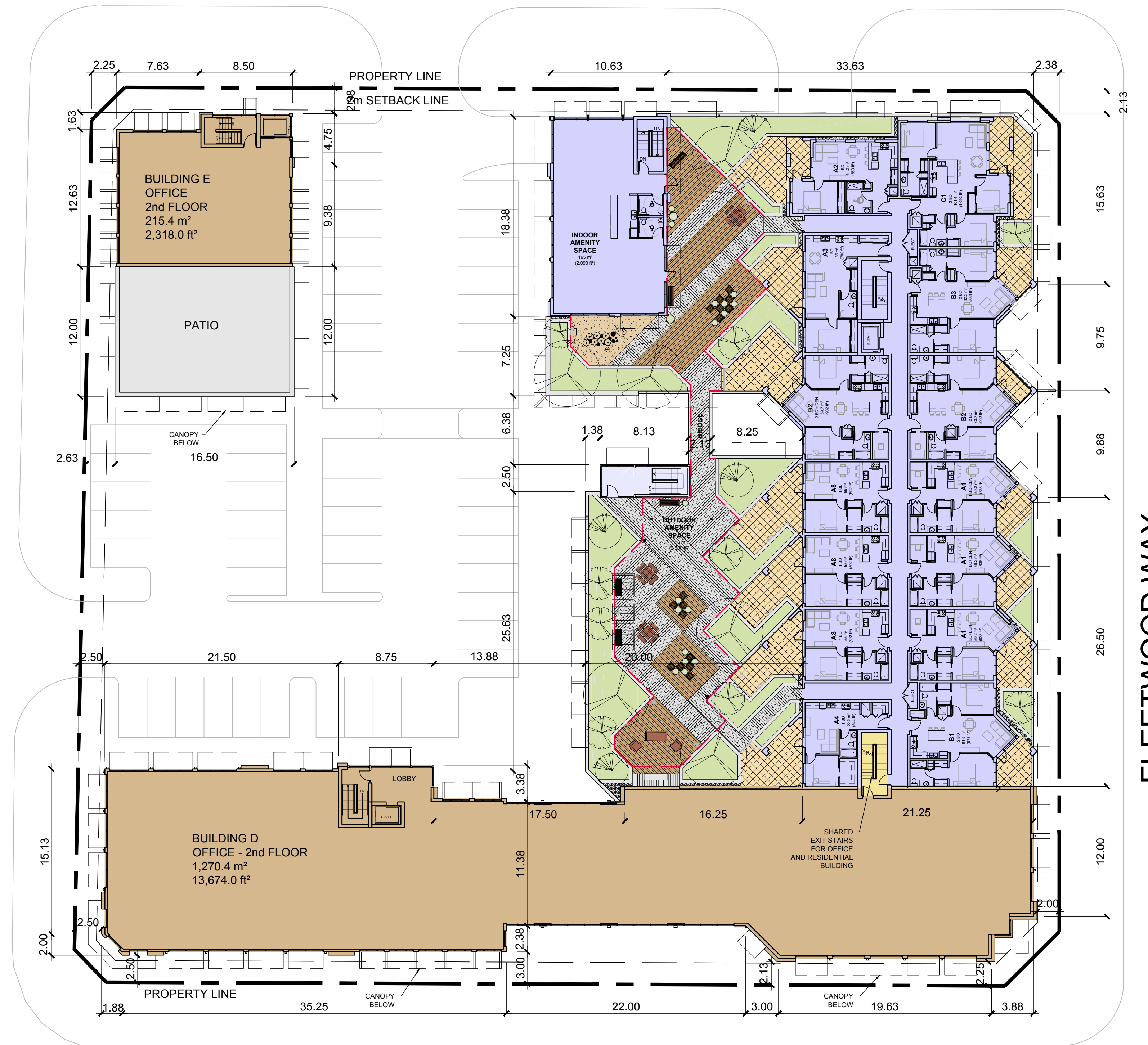


UNDERGROUND PARKING PLAN
SCALE: 1:250

NOTE:
ALL PARKING DIMENSIONS REQUIREMENTS
TO COMPLY WITH CITY OF SURREY ZONING
BYLAW

Proposed variance to reduce the minimum required setback of an underground parking facility from 2 metres (6.5 ft.) to 0.5 metre (1.6 ft.) for all lot lines.

152a STREET



2nd LEVEL PLAN
SCALE: 1:250

88th Ave.

FLEETWOOD WAY

ROOF AMENITY
SCALE: NTS



Resubmission to ADP
Fleetwood Village Development
Surrey, BC



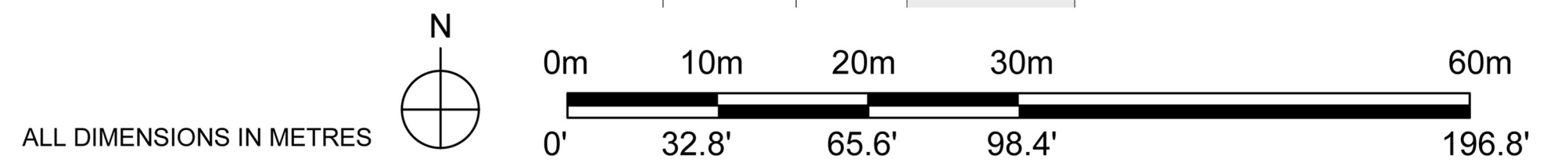
NOTE:
- PARKING DIMENSIONS WILL COMPLY WITH SURREY BY-LAW REQUIREMENT FOR BOTH SITES
- BICYCLE PARKING BY-LAW REQUIREMENTS WILL BE MET FOR BOTH SITES



COLOR LEGEND

- OFFICE BUILDING
- RESIDENTIAL BUILDING
- RETAIL/COMMERCIAL BUILDING
- EXISTING NEIGHBORING BUILDINGS
- FUTURE CONSTRUCTION PHASE

VERTICAL CIRCULATION AND LANDSCAPE INDICATIVE. TO BE RESOLVED AT DESIGN DEVELOPMENT STAGE.



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FLEETWOOD WEST DEVELOPMENT

FLEETWOOD WEST
15289 88 Ave. SURREY BC

REISSUED FOR REZONING
SITE PLAN
SCALE 1:400
PROJECT 13018
NOVEMBER 18, 2016