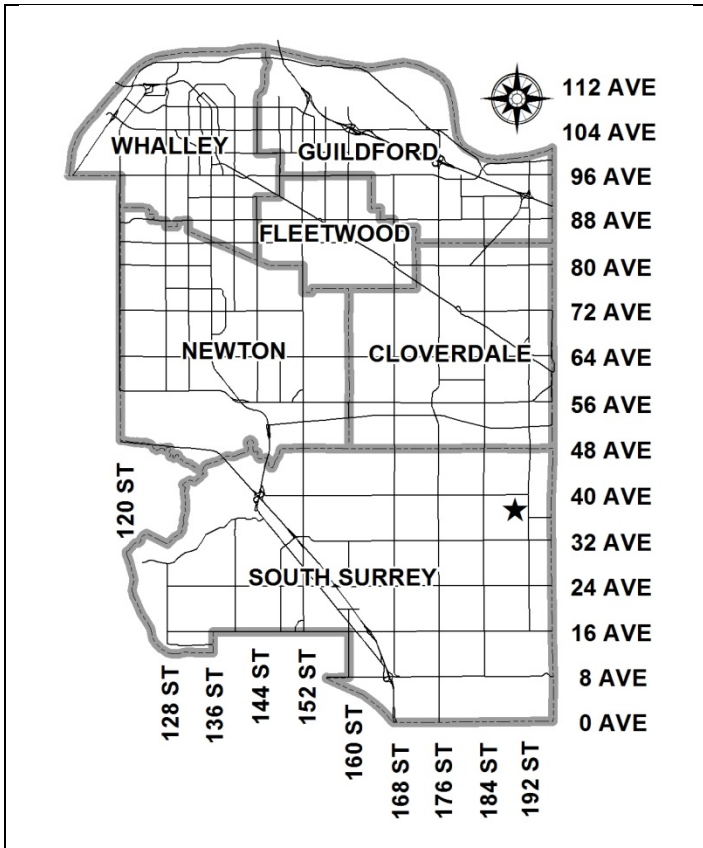


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0538-00

Planning Report Date: March 12, 2018



PROPOSAL:

- Development Permit
- Development Variance Permit

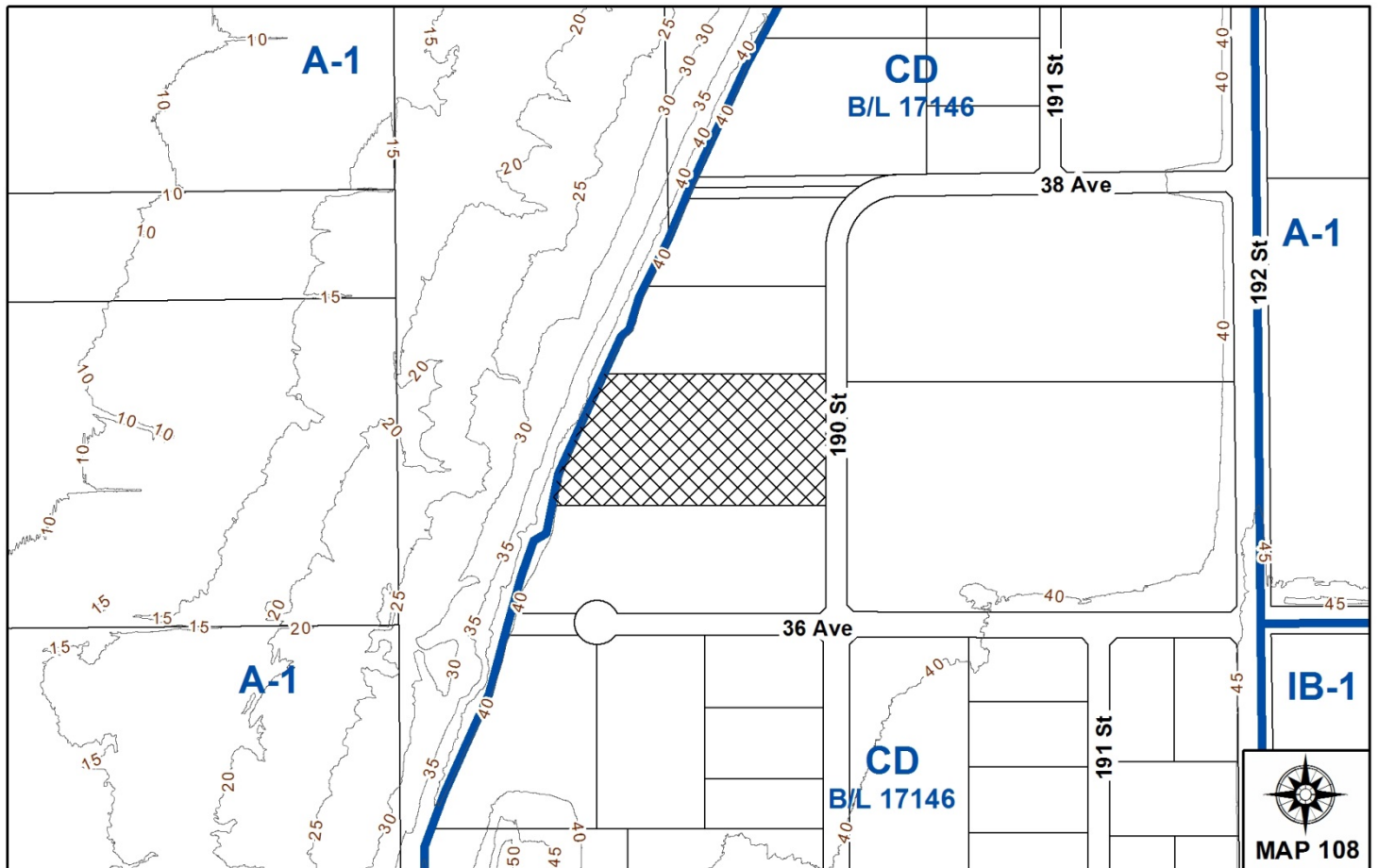
to permit the development of a 10,392 square metre (111,859 sq. ft.) single tenant industrial building.

LOCATION: 3635 - 190 Street

ZONING: CD (By-law No. 17146 as amended by By-law No. 17934)

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing a Development Variance Permit to reduce the required width of a maneuvering aisle from 7.5 metres (25 ft.) to 6.58 metres (21.5 ft.).

RATIONALE OF RECOMMENDATION

- The proposal complies with the "Mixed Employment" designation in the Official Community Plan (OCP) and the "Business Park" designation in the Campbell Heights Land Use Plan (LAP).
- The proposed density and building form are appropriate for this part of Campbell Heights and are consistent with the design guidelines outlined in the general Development Permit and Design Guidelines for Campbell Heights North.
- The proposed reduction in the maneuvering aisle width is acceptable as vehicle movement will only be one-way with no access to parking spaces or loading facilities off the maneuvering aisle.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7917-0538-00 generally in accordance with the attached drawings (Appendix II).
2. Council approve Development Variance Permit No. 7917-0538-00 (Appendix IV), to reduce the minimum required width of a maneuvering aisle from 7.5 metres (25 ft.) to 6.58 metres (21.5 ft.), to proceed to Public Notification.
3. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (c) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (d) registration of a Section 219 Restrictive Covenant to prohibit any use that requires a Metro Vancouver air quality permit from locating on the site; and
 - (e) submission of an alternate parking plan demonstrating the required parking for the permitted mezzanine span can be accommodated on-site or registration of a Section 219 Restrictive Covenant to restrict the maximum amount of mezzanine space.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III prior to the issuance of a Building Permit.

Parks, Recreation & Culture: No concerns.

Surrey Fire Department: No concerns.

SITE CHARACTERISTICS

Existing Land Use: Vacant industrial land.

Adjacent Area:

Direction	Existing Use	LAP Designation	Existing Zone
North:	Vacant industrial land. Development Application No. 7917-0479-00 which proposes a Development Permit for a 6,104 square metre (65,700 sq. ft.) multi-tenant industrial building, which was granted preliminary approval "Approval to Draft" at the Regular Council – Land Use meeting on January 8, 2018.	Business Park	CD (Bylaw Nos. 17146 and 17934)
East (Across 190 Street):	Light industrial manufacturing / warehouse facility	Business Park	CD (Bylaw Nos. 17146 and 17934)
South:	Vacant industrial land. Development Application No. 7917-0392 proposes a Development Permit for a 9,234 square metre (99,389 sq. ft.) single tenant industrial building, which was granted "Approval to Draft" at the Regular Council – Land Use meeting on February 5, 2018.	Business Park	CD (Bylaw Nos. 17146 and 17934)
West:	City-owned Greenbelt	Open Space Corridors/Buffers	A-1

DEVELOPMENT CONSIDERATIONSContext

- The subject site is 2.83 hectares (7.0 acres) and is located on the west side of 190 Street between 36 Avenue and 38 Avenue. The site is designated "Mixed Employment" in the Official Community Plan (OCP) and "Business Park" in the Campbell Heights Local Area Plan (LAP).
- The property was rezoned from "General Agricultural Zone (A-1)" to "Comprehensive Development Zone (CD)" (based on IB-2) as part of Development Application No. 7910-0030-00. The design guidelines which regulate the form and character as well as development guidelines for this part of Campbell Heights were also adopted as part of this application. Development Application Nos. 7914-0294-00 and 7915-0369-00 further subdivided the land into the current lots.

- CD By-law No. 17146, as amended by By-law No. 17934, permits light impact industry, warehouse uses, distribution centres, transportation industry, office uses, and other accessory uses, forming part of a comprehensive design.
- The site was cleared and serviced for development under the original rezoning and subdivision applications. There are no trees or vegetation on the site.

Proposal

- The applicant is proposing a Development Permit to permit the development of a 10,392 square metre (111,859 sq. ft.) single tenant industrial building with accessory office space.
- The development proposes a floor area ratio (FAR) of 0.37 and a lot coverage of 34%, which complies with the maximum FAR and lot coverage permitted under the CD Zone.
- The form, character, and density of the proposed development comply with the Campbell Heights Local Area Plan (LAP) and Campbell Heights North Design Guidelines. The proposed development meets the requirements of the CD By-law No. 17146, as amended by By-law No. 17934, including for building height, and building setbacks.
- The proposed building is a purpose-built facility for Bailey Metal Products Limited and will be used for the manufacturing of steel building products.

Hazard Lands – Steep Slope Interface

- The western edge of the subject site is adjacent to a Hazard Lands Development Permit Area for steep slopes, which is located within the City greenbelt to the west. A geotechnical report was prepared as part of Development Application No. 7908-0266-00, whereby a 5 metre (16 ft.) setback area was established from the property line. A restrictive covenant is registered on title delineating the setback and protecting the area from the construction of any drainage infiltration works in, on, or under the covenant area. In addition, CD By-law No. 17146 requires that all buildings be setback at least 5 metres (16 ft.) from the west property line.
- As part of this development proposal, the setback is being protected in accordance with the CD By-law and the restrictive covenant registered on title. The proposed building will be setback 72 metres (236 ft.) from the top of the slope, and the entire 5 metre (16 ft.) setback is proposed to be landscaped, staff have no concerns from a hazard lands perspective.

Air Emissions

- At the April 3, 2017 Regular Council – Land Use meeting, Council instructed staff to review the City's business park zones and subsequently provide a report regarding the Metro Vancouver air emissions permitting process.
- As the review of the business park zones has not been completed, staff are recommending that the applicant register a restrictive covenant to prohibit any business that requires a Metro Vancouver air quality permit from locating on the site.

- If any applicable amendments to the business park zones are completed before the subject application is considered for final approval (should the subject application be supported by Council), the requirement for the restrictive covenant may no longer apply.
- Bailey West is a manufacturer of steel framing products for the BC and Western Canada regions (galvanized steel 2 x 4's). The manufacturing process is a purely mechanical process that uses a slitting machine to slit galvanized rolled sheet steel to predetermined smaller widths and these slit widths are subsequently run through roll forming machines to create the finished products.
- The roll forming machines used for this process, produce the final product by rolling steel through a series of dies until the final shape is achieved. There are no emissions as a result of these operations.

PRE-NOTIFICATION

A development proposal sign was installed on the site on February 16, 2018 and the proposal was referred to the Little Campbell Watershed Society (LCWS) for review and comment. To date, staff have received no comments on the proposal.

DESIGN PROPOSAL AND REVIEW

Building and Site Design

- The proposed building is consistent with the design guidelines outlined in the Campbell Heights Local Area Plan and the OCP, and is reflective of the existing design standards within the area. The development concept for Campbell Heights is a high quality, sustainable, industrial business park.
- The building is proposed as a concrete tilt-up with vision glazing and spandrel glazing. It will have a modern linear appearance with concrete panels in black and charcoal along the front and rear elevations and grey along the side elevations (north and south).
- Glazing at the northeast corner of the building and vertical reveals will break up the building façade along 190 Street. The northeast corner of the site is also where the offices and main pedestrian access is located and where a plaza and amenity areas are proposed with a mix of hardscaping and landscaping.

Signage

- A free standing sign is proposed adjacent to the northern access to the site, in close proximity to the main entrance to the building. The proposed sign is architecturally coordinated with the design of the building and is proposed to be 1.68 metres (5.5 ft.) in height and 3.66 metres (12 ft.) in width. The sign is proposed to be cast-in-place concrete and will contain the site address and an illuminated cabinet with the corporate branding of the tenant.

Landscaping

- The proposed landscaping consists of a 7.0 metre (23 ft.) wide landscape strip, including a bioswale, along 190 Street, and a 5.0 metre (16 ft.) wide landscape strip along the rear (west) property line, adjacent to the parkland.
- The proposed landscaping will consist of a variety of trees, including: Freeman's Maple, Bloodgood Japanese Maple, Rinki Crab Apple, and Japanese Zelkova. This will be complemented by a variety of shrubs, and ground covers.
- The western property line, abutting the parkland, will be fenced using a high-quality architectural black metal picket fence, consistent with the fencing required as part of other development applications to the north and south of the subject site.
- A 2.5 metre (8 ft.) solid decorative fence is proposed along the western half of the north and south property lines, with swing gates in the north and south drive aisles and a sliding gate in the parking lot, to enclose and screen the rear of the property and the open storage yard.

Access and Parking

- Two vehicular accesses are proposed to the site along 190 Street at the north and south ends of the frontage. The primary truck entrance for loading and unloading will be via the southern access, with truck egress from the site being via either the southern access or the one-way drive aisle along the northern property line.
- Staff and visitors arriving by vehicle can access two parking lots accessible from the north and south accesses. The main pedestrian entrance to the site is adjacent to the northern vehicle access.
- The proposal includes a total of 121 parking spaces, which is the minimum number required under the Zoning By-law for the industrial and office space uses proposed. This includes two (2) parking spaces for persons with disabilities as per the requirements under the Zoning By-law.
- The BC Building Code permits up to 40% of the ground floor area to be constructed as second-storey mezzanine space. The proposed development includes 689 square metres (7,415 sq. ft.) of mezzanine space, which represents approximately 7% of the proposed ground floor area. The applicant has provided an alternative parking plan for the site that demonstrates how additional parking could be accommodated on site should the current or future user expand the mezzanine up to 28% of the proposed ground floor as an office use.
- The applicant has agreed to either provide an additional alternative parking plan for the site that demonstrates how additional parking could be accommodated on site should the current or future uses expand the mezzanine up to 40%, or to register a Section 219 Restrictive Covenant restricting the maximum mezzanine space to be constructed to reflect the maximum number of parking spaces that may be accommodated on site.

BIODIVERSITY CONSERVATION STRATEGY

- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies the subject site as adjacent to the Campbell Heights BCS management area, with a High ecological value.
- The BCS further identifies the GIN area adjacent to the subject site as having a High habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommended corridor (target width is 100 metres [328 ft.], but width varies along corridor) was achieved through the previous rezoning and subdivision Development Application No. 7910-0032-00. As the corridor was achieved through the previous application, a Sensitive Ecosystems Development Permit is not required for this application.
- The development proposal enhances the BCS corridor by providing a minimum 5 metres (16 ft.) landscape buffer and fencing along the west boundary of the subject site.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on November 27, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	• The site is located in the Campbell Heights LAP. The proposed development is reflective of the land use designation.
2. Density & Diversity (B1-B7)	• The proposed density and FAR are in keeping with the requirements identified in the Zoning By-law.
3. Ecology & Stewardship (C1-C4)	• Low impact development standards (LIDS) are incorporated into the design of the project including: <ul style="list-style-type: none"> ○ Absorbent Soils (minimum 300 mm in depth); ○ On-lot infiltration trenches or sub-surface chambers; ○ Natural landscaping; ○ Sediment control devices; and ○ Permeable pavement/surfaces.
4. Sustainable Transport & Mobility (D1-D2)	• Sustainable transportation options will be accommodated through bike racks available on-site and connections to off-site pedestrian and multi-use pathways.
5. Accessibility & Safety (E1-E3)	• Crime Prevention Through Environmental Design (CPTED) principles have been incorporated into the site design.
6. Green Certification (F1)	• N/A
7. Education & Awareness (G1-G4)	• N/A

ADVISORY DESIGN PANEL

- The application was not referred to the Advisory Design Panel (ADP), but was reviewed by City staff and found to be acceptable. The proposed development was evaluated based on compliance with the design guidelines for Campbell Heights North and the Official Community Plan (OCP).

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum required width of a maneuvering aisle from 7.5 metres (25 ft.) to 6.58 metres (21.5 ft.).

Applicant's Reasons:

- The maneuvering aisle located along the north property line will be for one-way traffic only and is not providing access to parking spaces or loading facilities. The maneuvering aisle will only serve vehicle egress from the site.

Staff Comments:

- The 7.5 metres (25 ft.) requirement identified in the Zoning By-law is intended to accommodate two-way traffic and maneuvers.
- The maneuvering aisle width is deemed sufficient as it will only serve vehicles exiting the site, with no parking spaces or loading facilities accessed directly from it.
- A 'Do Not Enter' sign will be installed to identify the one-way maneuvering aisle and a swing gate will prevent traffic from entering the site through the one-way egress.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Lot Owners and Action Summary (Confidential) and Project Data Sheet
Appendix II.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix III.	Engineering Summary
Appendix IV.	Development Variance Permit No. 7917-0538-00

INFORMATION AVAILABLE ON FILE

- Complete Set of Architectural and Landscape Plans prepared by Krahn Group of Companies and KD Planning & Design Ltd., respectively, dated February 27, 2018 and February 13, 2018.

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

LFM/CB/da

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Existing Zoning: CD (By-law Nos. 17146 and 17934)

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		28,334 m ² (7 acres)
Road Widening area		
Undevelopable area		
Net Total		28,334 m ² (7 acres)
LOT COVERAGE (in % of net lot area)		
Buildings & Structures	60%	34%
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front	16.0 m	22.3 m
Rear	7.5 m	72.2 m
Side #1 (N)	7.5 m	28.6 m
Side #2 (S)	7.5 m	10.5 m
BUILDING HEIGHT (in metres/storeys)		
Principal	14 m	10.4 m
FLOOR AREA: Industrial		9,278 m ²
FLOOR AREA: Office		1,114 m ²
TOTAL BUILDING FLOOR AREA		10,392 m ²
DENSITY		
FAR (net)	1.0	0.37
PARKING (number of stalls)		
Office	28	28
Industrial	93	93
Total Number of Parking Spaces	121	121
Number of accessible stalls	2	2

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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NO.	DATE	YMD	DESCRIPTION
3	22/01/2018		REVIEWED FOR DP
2	27/11/2017		ISSUED FOR DP
1	12/05/2017		ISSUED FOR RFP

ISSUES AND REVISIONS

BSL

BAILEY METAL PRODUCTS

3635 190TH STREET, SURREY, BC

SHEET LIST

ARCHITECTURAL

- A0.1 COVER PAGE
- A0.2 PERSPECTIVES
- A0.3 PERSPECTIVES
- A0.4 PERSPECTIVES
- A0.5 PERSPECTIVES
- A2.1 SITE PLAN
- A2.1a SITE PLAN - ADDITIONAL PARKING
- A2.1b SITE CONTEXT STUDY
- A2.2 SITE BASE
- A2.3 SITE SECTIONS, STREETSCAPE
- A2.4 SHADOW STUDIES
- A2.5 SITE DETAILS
- A2.6 FENCE DETAILS
- A2.8 ENLARGED SITE PLAN
- A3.1 MAIN FLOOR PLAN
- A3.2 SECOND FLOOR PLAN
- A3.3 ENLARGED FLOOR PLANS
- A3.4 ROOF PLAN
- A3.5 RTU VISIBILITY STUDY
- A4.1 ELEVATIONS
- A4.2 ELEVATIONS
- A5.1 BUILDING SECTIONS
- Ax MATERIAL SAMPLE BOARD

LANDSCAPE

- L1.0 OVERALL LANDSCAPE PLAN AND NOTES
- L1.1 ENLARGEMENT PLAN
- L1.2 ENLARGEMENT PLAN
- L2.0 DETAILS + NOTES
- L3.0 DETAILS
- L4.0 DETAILS

CIVIL

- C1.0 LOCATION PLAN AND GENERAL NOTES
- C2.0 SITE SERVING PLAN
- C3.0 SITE GRADING PLAN - SOUTH
- C4.0 SITE GRADING PLAN - NORTH
- C5.0 CONSTRUCTION DETAILS

PROJECT TEAM

ARCHITECT OF RECORD

LARRY PODHORA ARCHITECT
1952 BRACKMAN WAY
Saanich B.C. V8L 0C2

CONTACT: LARRY PODHORA

BUILDING DESIGN

KRAHN ENGINEERING LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD B.C. V2S 2E8
P. 604.853.8831 F. 604.853.1580

CONTACT: DARREN CRUICKSHANKS

STRUCTURAL

KRAHN ENGINEERING LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD B.C. V2S 2E8
P. 604.294.8862 F. 604.294.8863

CONTACT: PETER KIDDIE

CIVIL

KM CIVIL CONSULTANTS LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD B.C. V2S 2E8
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CONTACT: STUART MACGREGOR

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KD MECHANICAL CONSULTANTS LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD B.C. V2S 2E8
P. 604.853.8831 F. 604.853.1580

CONTACT: CHAD NIWRANKSI

LANDSCAPE

KM CIVIL CONSULTANTS LTD.
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CONTACT: SHAN TENNYSON

ELECTRICAL

KD ELECTRICAL CONSULTANTS LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD B.C. V2S 2E8
P. 604.853.8831 F. 604.853.1580

CONTACT: RODRIGUE ROUHANNA

INTERIOR DESIGNER

KG INTERIOR DESIGN LTD.
400 - 34077 GLADYS AVENUE
ABBOTSFORD B.C. V2S 2E8
P. 604.853.8831 F. 604.853.1580

CONTACT: SUZANNE GRATHAM

larry podhora / architect
1952 BRACKMAN WAY, NORTH SAANICH, B.C. V8L 0C2

PROJECT NAME

BAILEY METAL PRODUCTS

PROJECT ADDRESS

3635 190TH STREET, SURREY, BC

DRAWING TITLE

COVER PAGE

SCALE

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PROJECT NO. 10886-A

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1 MAIN PERSPECTIVE

SCALE:



2 SECOND PERSPECTIVE

SCALE:



ABBOTSFORD OFFICE
 405-4457-6707/ABBOTSFORD OFFICE: ABBOTSFORD B.C. V8B 2B9
 T: 604-855-1177/FAX: 604-855-1186 WWW.KRAHN.COM

EDMONTON OFFICE
 1056-101-10100 AVENUE, EDMONTON AB. T6A 1W8
 T: 780-762-8202 WWW.KRAHN.COM

VANCOUVER OFFICE
 115-205 METCAL AVENUE, VANCOUVER B.C. V6B 0C4
 T: 604-264-8863 F: 604-264-8865 WWW.KRAHN.COM



NO.	DATE	BY	DESCRIPTION
5	27.03.2018	Revision 5	
3	22.01.2018	RESERVED FOR DP	
2	27.11.2017	ISSUED FOR DP	
1	12.05.2017	ISSUED FOR RFP	

ISSUES AND REVISIONS

SIAL

larry podhora / architect
 1982 BROOKMAN WAY, NORTH BURNABY, B.C. V5C 1K7

PROJECT NAME

BAILEY METAL PRODUCTS

PROJECT ADDRESS
3635 190TH STREET, SURREY, BC

DRAWING TITLE
PERSPECTIVES

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PROJECT NO.	11086-A
DRAWING NO.	

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C:\Users\larry\Documents\170205_Bailey_Central_metal_products.dwg



1 THIRD PERSPECTIVE
SCALE:



2 FOURTH PERSPECTIVE
SCALE:



ABBOTSFORD OFFICE
400-4457-6707/ABBOTSFORD OFFICE: ABBOTSFORD B.C. V8B 2B9
T: 604-855-1166 F: 604-855-1166 WWW.KRAHN.COM

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1056-101-20TH AVENUE, EDMONTON AB. T6A 1W8
T: 780-762-8202 WWW.KRAHN.COM

VANCOUVER OFFICE
110-200 METCAL WAY VANCOUVER B.C. V6B 0C4
T: 604-284-2862 F: 604-284-2863 WWW.KRAHN.COM



NO.	DATE	YMD	DESCRIPTION
5	27.03.2018		Revision 5
3	22.01.2018		RESERVED FOR DP
2	27.11.2017		ISSUED FOR DP
1	12.05.2017		ISSUED FOR RFP

ISSUES AND REVISIONS

SIAL

larry podhora / architect
1982 BROOKBANK WAY, NORTH BURNABY, B.C. V5C 1K7

PROJECT NAME

BAILEY METAL PRODUCTS

PROJECT ADDRESS
3636 190TH STREET, SURREY, BC

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PERSPECTIVES

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CHECKED	LP/DC
PROJECT NO.	10386-A
DRAWING NO.	

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2 | SIXTH PERSPECTIVE
SCALE:



1 | FIFTH PERSPECTIVE
SCALE:



4 | SEVENTH PERSPECTIVE
SCALE:

NO.	DATE	YMD	DESCRIPTION
5	27.03.2018		Revision 5
3	22.01.2018		RESERVED FOR DP
2	27.11.2017		ISSUED FOR DP
1	12.05.2017		ISSUED FOR RFP

ISSUES AND REVISIONS

SIAL

larry podhora / architect
1982 BROADWAY WAY, NORTH BURNABY, B.C. V5C 1K7

PROJECT NAME

BAILEY METAL PRODUCTS

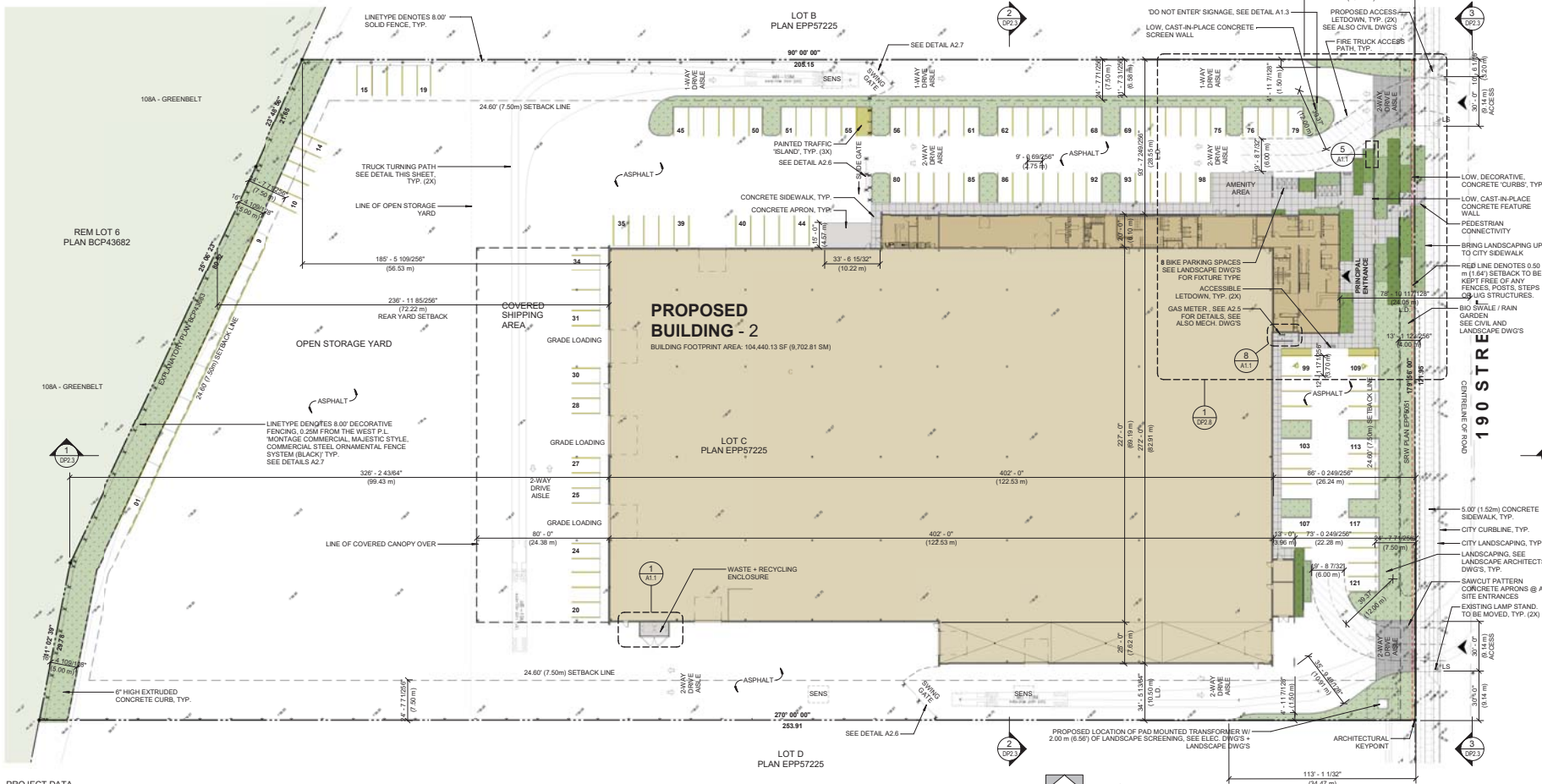
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DRAWING TITLE
PERSPECTIVES

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	LS	LPDC	10386-A	

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PROJECT DATA

CIVIC ADDRESS: 3636 190TH STREET, SURREY, BC
 LEGAL ADDRESS: LOT C SECTION 28 TOWNSHIP 7 PLAN EPP97225 NWD
 ZONING: CD (COMPREHENSIVE DEVELOPMENT)
 BUILDING USE: STEEL MANUFACTURING

ZONING BYLAW ANALYSIS (CITY OF SURREY)

1. ZONING: CD (COMPREHENSIVE DEVELOPMENT)

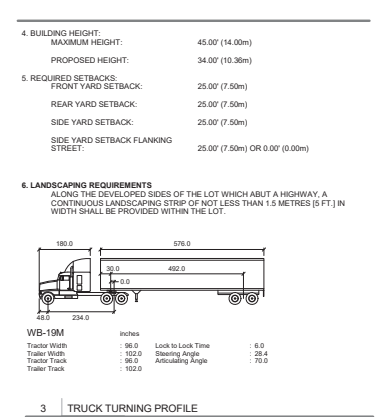
2. SITE AREA: 304,983.39 SF [7.00 acres] [28,333.88 m²] [2.83 hectare]

3. SITE COVERAGE + BUILDING AREAS:

PROP. SITE BLDG. AREA (SF)	BLDG. AREA (SF)	MAX. SITE COVERAGE (SF)	MAX. SITE COVERAGE (SM)
112,260.99	104,299.39		

GROSS FLOOR AREA CALCULATIONS

OCCUPANCY	LEVEL	AREA (SF)	AREA (SM)
Area	Not Placed	0.00	0.00
OFFICE	Not Placed	0.00	0.00
OFFICE	MAIN FLOOR	6,111.36 SF	567.76
PRODUCTION	MAIN FLOOR	98,328.77 SF	9,136.04
Area	SECOND FLOOR	638.27 SF	59.30
OFFICE	SECOND FLOOR	4,743.52 SF	443.69
PRODUCTION AND PLANT	SECOND FLOOR	1,982.05 SF	182.28
PRODUCTION AND PLANT	SECOND FLOOR AREA	111,783.97 SF	10,385.07



7. PARKING AND LOADING: **INDUSTRY LIGHT IMPACT:**

1 SPACE PER 1,075.00 SF (100.00 SM) GFA

OCCUPANCY	LEVEL	AREA (SF)	STALLS
PRODUCTION	MAIN FLOOR	98,328.77	91.47
TOTAL STALLS			91.47

OFFICE:

OCCUPANCY	LEVEL	AREA (SF)	STALLS
OFFICE	Not Placed	0.00 SF	0.00
OFFICE	MAIN FLOOR	6,111.36 SF	14.21
OFFICE	SECOND FLOOR	4,743.52 SF	11.03
TOTAL STALLS		10,854.88 SF	25.24

TOTAL STALLS REQUIRED: 121.00 (121.32)
 TOTAL STALLS PROVIDED: 121

PARKING DIMENSIONS:

STANDARD STALL:	9.02' (2.75m) W x 18.04' (5.50m) L
SMALL CAR STALL:	9.02' (2.75m) W x 16.07' (4.90m) L
ACCESSIBLE STALL:	12.13' (3.70m) W x 18.04' (5.50m) L
PARALLEL STALL:	8.52' (2.60m) W x 21.98' (6.70m) L
DRIVE AISLE @ 90 DEG:	21.98' (6.70m) W

TOTAL LOADING STALLS PROVIDED: 3.00

LOADING DIMENSIONS:

13.12' (4.00m) W x 30.18' (9.20m) L



ABBOTSFORD OFFICE
 405-4457-5200
 EDMONTON OFFICE
 780-463-1100
 VANCOUVER OFFICE
 604-274-0853



REVISIONS

NO.	DATE	BY	DESCRIPTION
1	08/02/2018		ISSUED FOR CP
2	09/20/2018		ISSUED FOR CP
3	12/13/2017		ISSUED FOR CP
4	07/11/2017		ISSUED FOR CP
5	12/13/2017		ISSUED FOR RFP

NO. DATE YMD DESCRIPTION
 ISSUES AND REVISIONS

SCALE

larry podhora | architecture inc

1650 BRADSHAW WAY NORTH SURREY, B.C. V1V 3G3

PROJECT NAME
BAILEY METAL PRODUCTS

PROJECT ADDRESS
 3635 190TH STREET, SURREY, BC

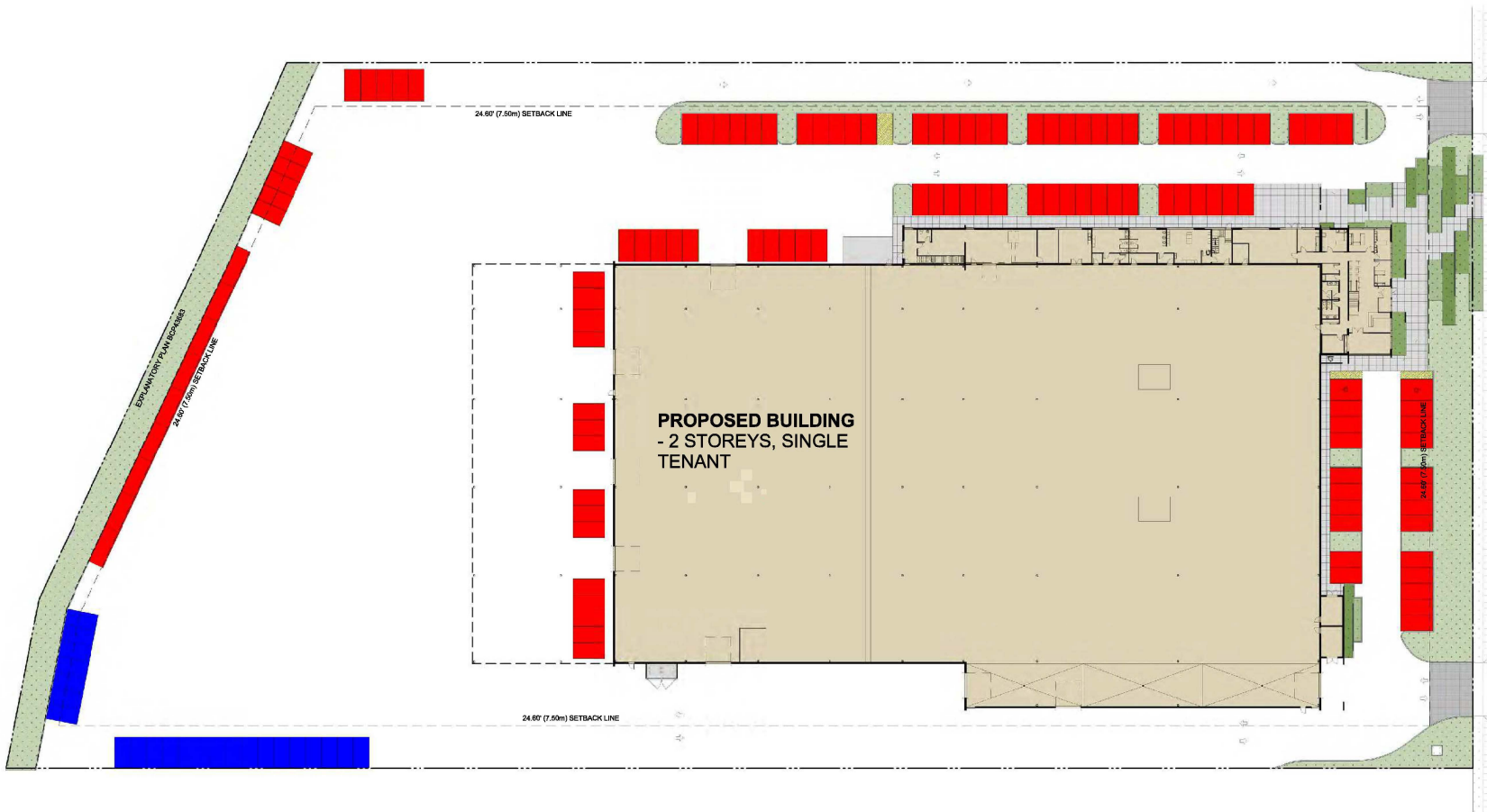
DRAWING TITLE
SITE PLAN

SCALE: As Indicated

DRAWN	LS
CHECKED	LPDC
PROJECT NO.	170956-A
DRAWING NO.	

A.10

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POSSIBLE FUTURE PARKING CALCULATIONS

LEGEND:

-
-
 PROPOSED PARKING
 POSSIBLE FUTURE PARKING

PROPOSED BUILDING PARKING CALCULATION (RED):
CURRENT PARKING REQUIRED FOR PROPOSED BUILDING:
121.00 STALLS

ADDITIONAL PARKING (BLUE):
45.00 STALLS

PARKING CALCULATION (RED + BLUE):
COMBINED PARKING PROVIDED:
121.00 + 45.00 = 166.00 STALLS



1 SITE PLAN - ADDITIONAL PARKING
SCALE: 1" = 30'-0"



ABBOTSFORD OFFICE
895-1455 GARDEN DRIVE, ABBOTSFORD B.C. V8B 2E9
T: 604.855.1566 F: 604.855.1566 WWW.KRAHN.COM
EDMONTON OFFICE
105E, 10117-26TH AVENUE, EDMONTON AB. T6A 1W9
T: 780.762.6216 WWW.KRAHN.COM
VANCOUVER OFFICE
115-205 VITAL WAY, VANCOUVER B.C. V6B 5C4
T: 604.254.8862 F: 604.254.8863 WWW.KRAHN.COM



NO.	DATE	BY	DESCRIPTION
3	22.01.2018		REVIEWED FOR DP
2	27.11.2017		ISSUED FOR DP
1	12.10.2017		ISSUED FOR RFP

ISSUES AND REVISIONS

SIAL

larry podhora / architect
1982 BROOKBANK WAY, NORTH BURNABY, B.C. V5C 1K7

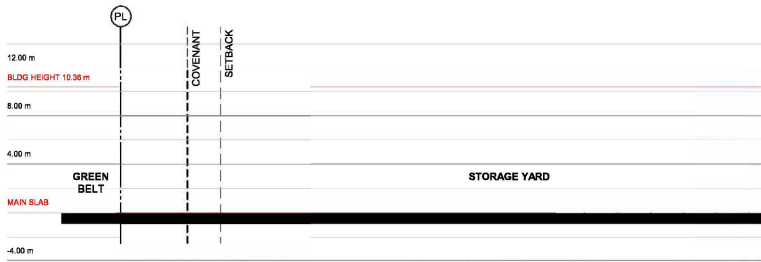
PROJECT NAME
BAILEY METAL PRODUCTS
PROJECT ADDRESS
3635 190TH STREET, SURREY, BC

DRAWING TITLE
SITE PLAN - ADDITIONAL PARKING

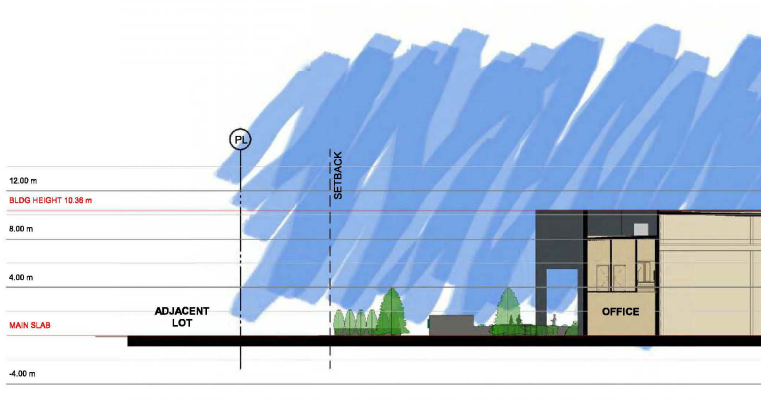
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DRAWN	LS
CHECKED	LPDC
PROJECT NO.	17086-A
DRAWING NO.	

A2.1a

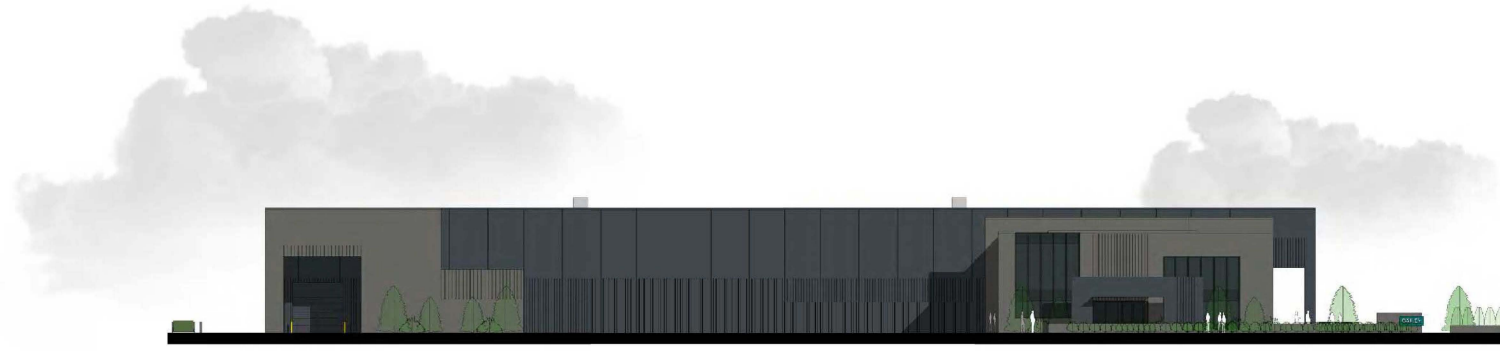
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1 | SITE SECTION 1
SCALE: 1/16" = 1'-0"



2 | SITE SECTION 2
SCALE: 1/16" = 1'-0"



3 | STREETScape - 190 STREET
SCALE: 1/16" = 1'-0"



ABBOTSFORD OFFICE
800-485-2677/7870/2678/2679 ABBOTSFORD B.C. V8B 2B8
1-844-855-8777/7870/2678/2679 SALES@KRAHN.COM
EDMONTON OFFICE
105E, 10117-26TH AVENUE, EDMONTON AB. T6A 1W8
1-780-782-8262 WWW.KRAHN.COM



NO.	DATE	Y/M/D	DESCRIPTION
3	22/01/2018		REVISION FOR DP
2	27/11/2017		ISSUED FOR DP
1	12/05/2017		ISSUED FOR RFP

ISSUES AND REVISIONS

NO.	DATE	Y/M/D	DESCRIPTION

larry podhora / architect
1902 BROOKBANK WAY, NORTH BURNABY, B.C. V5C 1G7

PROJECT NAME
BAILEY METAL PRODUCTS

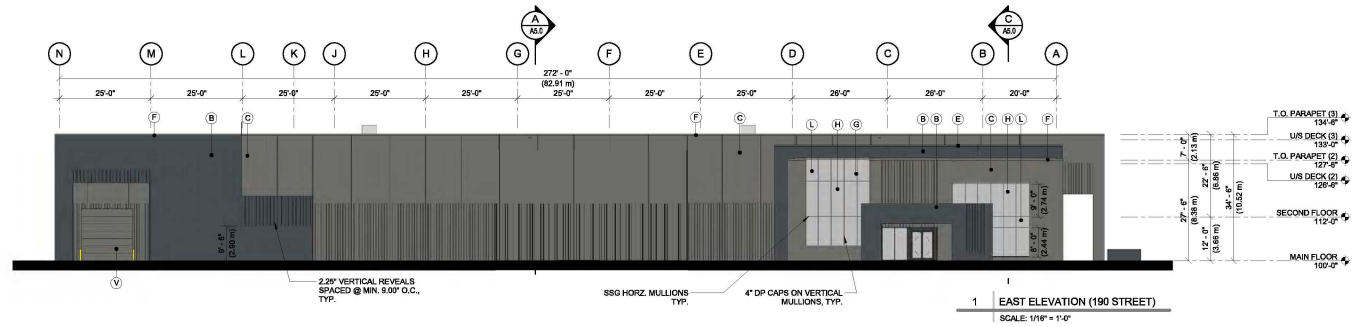
PROJECT ADDRESS
3635 190TH STREET, SURREY, BC

DRAWING TITLE
SITE SECTIONS, STREETScape

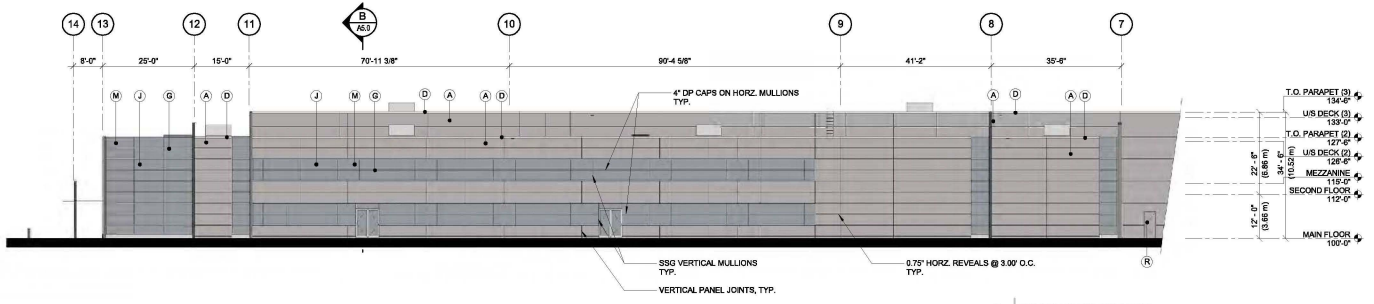
SCALE	1/16" = 1'-0"
DRAWN	LS
CHECKED	LP/DC
PROJECT NO.	19086-A
DRAWING NO.	

A2.3

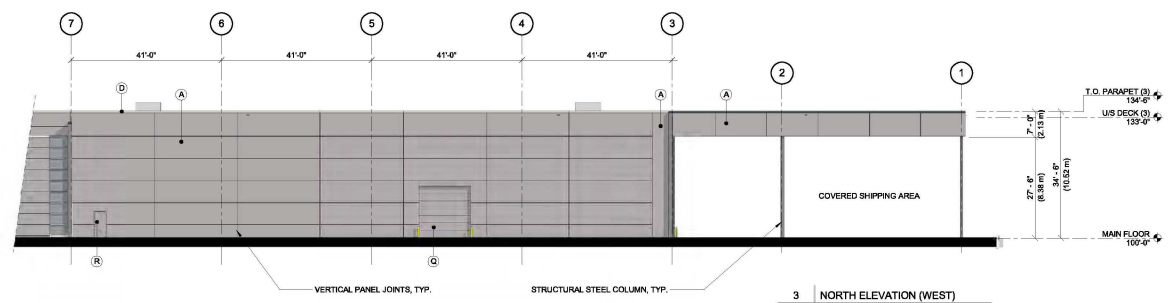
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1 EAST ELEVATION (190 STREET)
SCALE: 1/16" = 1'-0"



2 NORTH ELEVATION (EAST)
SCALE: 1/16" = 1'-0"



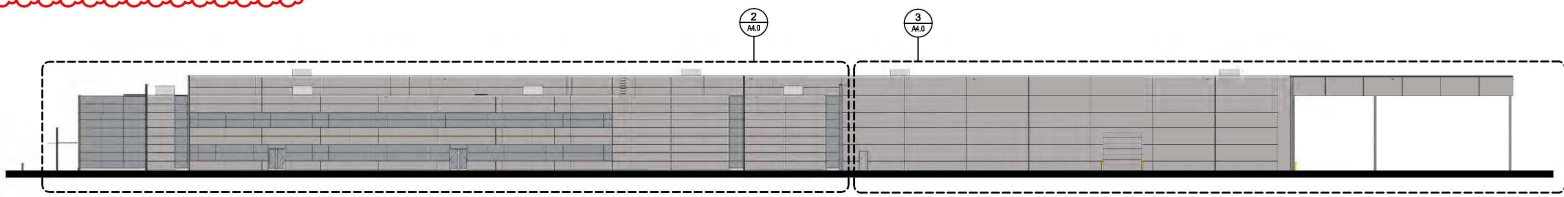
3 NORTH ELEVATION (WEST)
SCALE: 1/16" = 1'-0"

EXTERIOR FINISH LEGEND

A	CONCRETE TILT-UP PANEL	PAINTED: C3
B	CONCRETE TILT-UP PANEL	PAINTED: C2
C	CONCRETE TILT-UP PANEL	PAINTED: C1
D	PRE-FORMED ALUMINUM FLASHING	PAINTED: C3
E	PRE-FORMED ALUMINUM FLASHING	PAINTED: C2
G	THERMALLY BROKEN, EXTRUDED ALUMINUM MULLION	PRE-FINISHED: ANODIZED 'CLEAR'
H	VISION GLAZING	GLASS TYPE 1
J	VISION GLAZING	GLASS TYPE 2
L	SPANDREL GLAZING	SPANDREL TYPE 1
M	SPANDREL GLAZING	SPANDREL TYPE 2
O	OVER-HEAD DOOR	PAINTED: C3
R	STEEL MANDOOD	PAINTED: C3
S	OVER-HEAD DOOR	PAINTED: C2
T	STEEL MANDOOD	PAINTED: C2
U	THERMALLY BROKEN, EXTRUDED ALUMINUM MULLION	PRE-FINISHED: ANODIZED BRONZE
V	OVER-HEAD DOOR	PAINTED: C1

PROJECT COLOURS

C1	BENJAMIN MOORE	HC-168 'KENDALL CHARCOAL'	
C2	BENJAMIN MOORE	2132-30 'BLACK HORIZON'	
C3	BENJAMIN MOORE	2111-60 'BARREN PLAIN'	
	VISION GLASS - TYPE 1	SPANDREL GLASS - TYPE 1	
	VISION GLASS - TYPE 2	SPANDREL GLASS - TYPE 2	



4 NORTH ELEVATION OVERALL
SCALE: 3/64" = 1'-0"

Krahn
GROUP OF COMPANIES

ABBOTSFORD OFFICE
892-1452 (SOUTH AVENUE), ABBOTSFORD B.C. V8B 2B9
T: 604-853-9700 FAX: 604-853-1866 WWW.KRAHN.COM

EDMONTON OFFICE
1056-1017-20TH AVENUE, EDMONTON AB. T6A 1W8
T: 780-762-8202 WWW.KRAHN.COM

VANCOUVER OFFICE
115-205 WETLAND WAY, VANCOUVER B.C. V6B 5C4
T: 604-234-3863 F: 604-234-3865 WWW.KRAHN.COM

Integrated
CONSTRUCTION

BAILEY
METAL PRODUCTS LTD. INC.

5	27.03.2018	Revision 5
3	22.01.2018	RESERVED FOR DP
2	27.11.2017	ISSUED FOR DP
1	12.05.2017	ISSUED FOR RFP
NO.	DATE	YMD DESCRIPTION
ISSUES AND REVISIONS		
REVISION		

larry podhora | architecture inc

PROJECT NAME
BAILEY METAL PRODUCTS

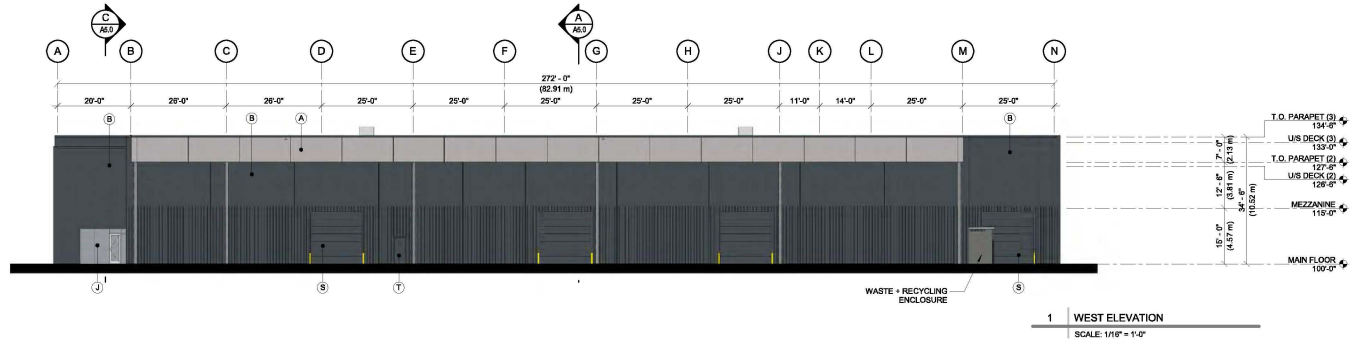
PROJECT ADDRESS
3635 190TH STREET, SURREY, BC

DRAWING TITLE
ELEVATIONS

SCALE	As Indicated
DRAWN	LS
CHECKED	LPDC
PROJECT NO.	10086-A
DRAWING NO.	

A4.0

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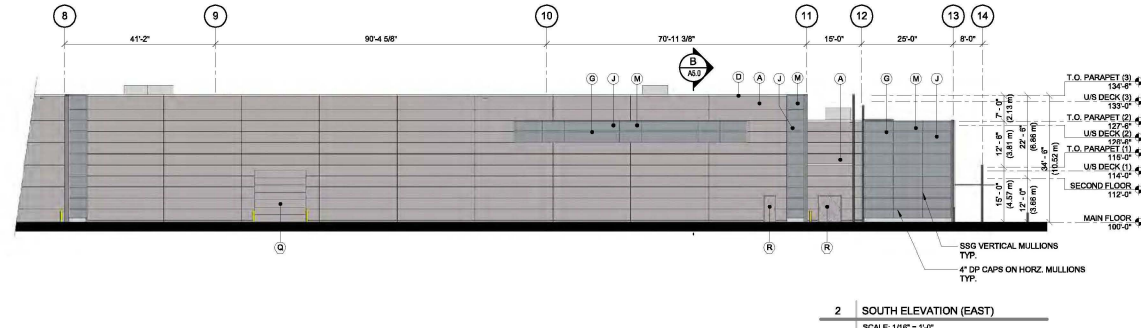
1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND

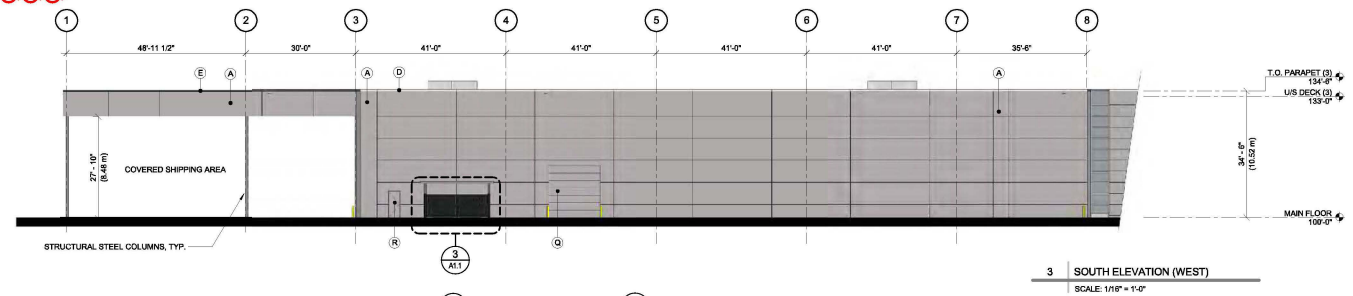
A	CONCRETE TILT-UP PANEL	PAINTED: C3
B	CONCRETE TILT-UP PANEL	PAINTED: C2
C	CONCRETE TILT-UP PANEL	PAINTED: C1
D	PRE-FORMED ALUMINUM FLASHING	PAINTED: C3
E	PRE-FORMED ALUMINUM FLASHING	PAINTED: C2
G	THERMALLY BROKEN, EXTRUDED ALUMINUM MULLION	PRE-FINISHED: ANODIZED 'CLEAR'
H	VISION GLAZING	GLASS TYPE 1
J	VISION GLAZING	GLASS TYPE 2
L	SPANDREL GLAZING	SPANDREL TYPE 1
M	SPANDREL GLAZING	SPANDREL TYPE 2
Q	OVERHEAD DOOR	PAINTED: C3
R	STEEL HANDDOOR	PAINTED: C2
S	OVERHEAD DOOR	PAINTED: C2
T	STEEL HANDDOOR	PAINTED: C2
U	THERMALLY BROKEN, EXTRUDED ALUMINUM MULLION	PRE-FINISHED: ANODIZED 'BRONZE'
V	OVERHEAD DOOR	PAINTED: C1

PROJECT COLOURS

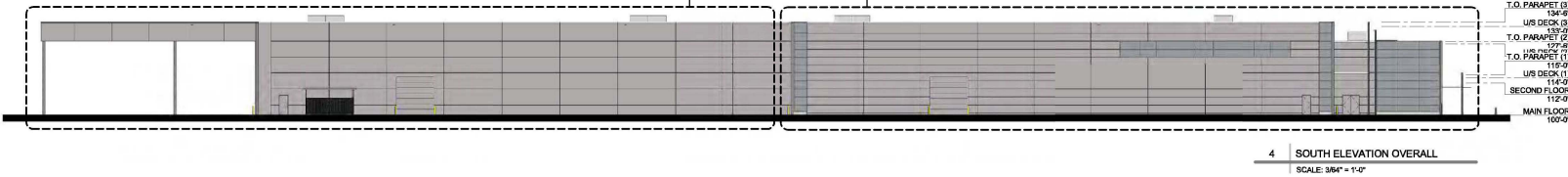
C1	BENJAMIN MOORE	HC-166 'KENDALL CHARCOAL'	
C2	BENJAMIN MOORE	2132-30 'BLACK HORIZON'	
C3	BENJAMIN MOORE	2111-60 'BARREN PLAIN'	
VISION GLASS - TYPE 1		SPANDREL GLASS - TYPE 1	
VISION GLASS - TYPE 2		SPANDREL GLASS - TYPE 2	



2 SOUTH ELEVATION (EAST)
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION (WEST)
SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION OVERALL
SCALE: 3/64" = 1'-0"

1	27.03.2018	Revision 3
2	27.11.2017	ISSUED FOR DP
3	12.05.2017	ISSUED FOR RFP
4	09.02.2018	REVISION FOR DP

ISSUES AND REVISIONS

SCALE

larry podhora | architecture inc
1985 BRIDGEMAN WAY NORTH SAANICH, B.C. V8L 0Z2

PROJECT NAME

BAILEY METAL PRODUCTS

PROJECT ADDRESS
3635 190TH STREET, SURREY, BC

DRAWING TITLE
ELEVATIONS

SCALE	As Indicated
DRAWN	LS
CHECKED	LPDC
PROJECT NO.	17086-A
DRAWING NO.	

A4.1

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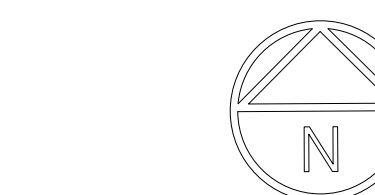
LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- SAW-CUT CONCRETE
- BIKE RACK
- PLANT KEY
- CHAINLINK FENCE
- ORNAMENTAL FENCING

7	13/02/18	REISSUED FOR DP
6	01/02/18	REISSUED FOR DP
5	27/11/17	ISSUED FOR DP
4	21/11/17	ISSUED FOR REVIEW
3	06/11/17	ISSUED FOR REVIEW
2	19/10/17	ISSUED FOR REVIEW
1	18/10/17	ISSUED FOR REVIEW

NO: DATE: (d/m/y) DESCRIPTION:
ISSUES & REVISIONS:

SEAL:



PROJECT NAME:

BAILEY METAL PRODUCTS

PROJECT ADDRESS:

**3635 190TH STREET,
SURREY, BC**

DRAWING TITLE:

**OVERALL LANDSCAPE
PLAN, AND NOTES**

SCALE: 1:350

DRAWN: RM

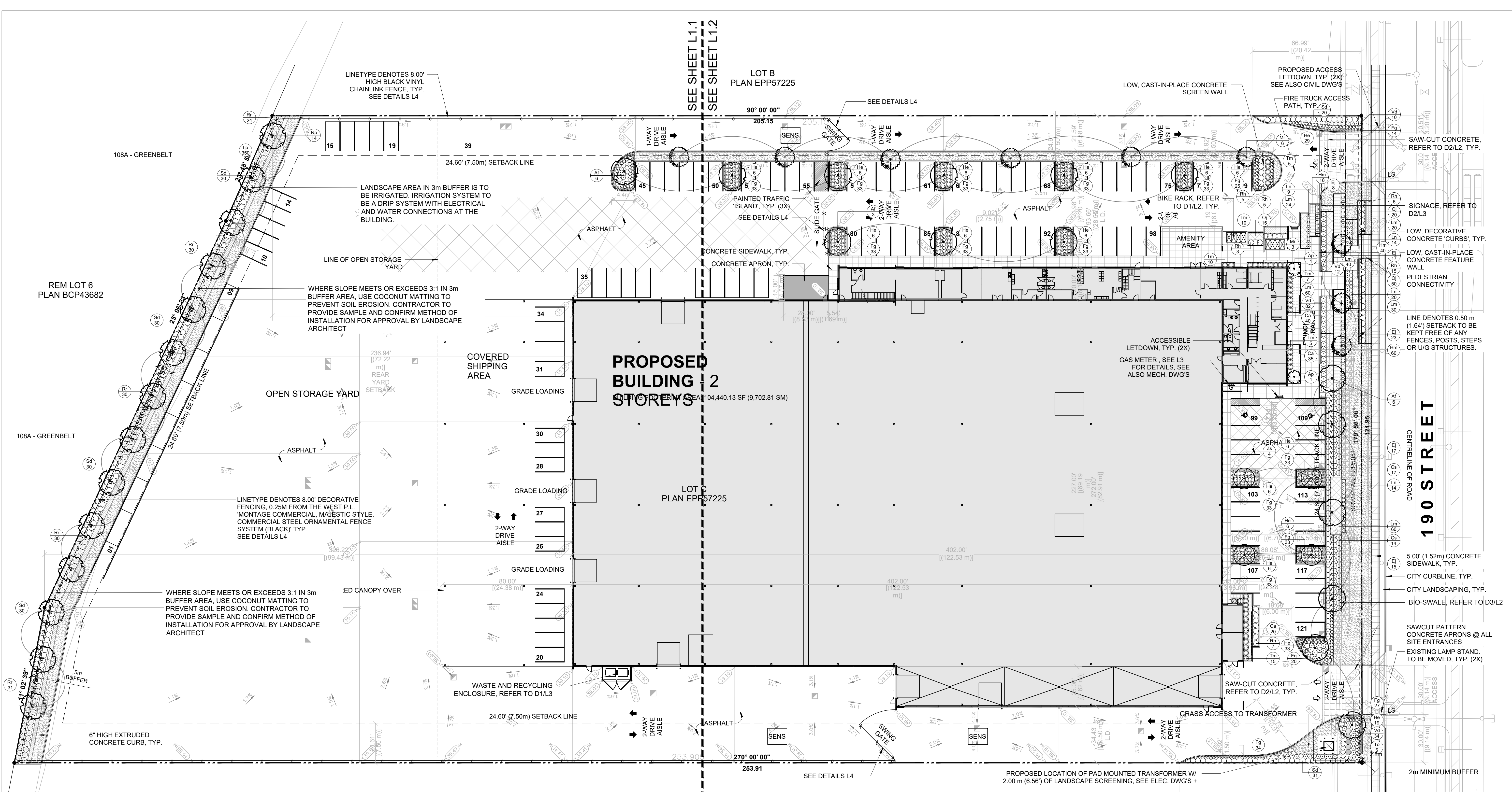
CHECKED: ST

PROJECT NO: 170395-L

DRAWING NO:

L1

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PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
Af	15	Acer freemanii	Freeman's Maple	6cm cal.	As shown on plan	W.B.
Ap	2	Acer palmatum var. atropurpureum 'Bloodgood'	Bloodgood Japanese Maple	6cm cal.	As shown on plan	W.B.
Mr	9	Malus rinki	Rinki Crab Apple	6cm cal.	As shown on plan	W.B.
Rp	14	Rhamnus purshiana	Cascara	6cm cal.	As shown on plan	W.B.
Zs	4	Zelkova serrata	Japanese zelkova	6cm cal.	As shown on plan	W.B.
SHRUBS						
Cs	31	Cornus sericea	Red Osier Dogwood	50cm ht.	0.8m	#2 Pot
Ej	84	Euonymus japonicus 'Green Spire'	Green Spire Euonymus	50cm ht.	0.8m	#2 Pot
Tm	44	Taxus x media 'Hilli'	Hilli's Yew	1m ht.	1m	B & B
Ln	57	Lonicera nitida 'Ophélie'	Ophelia Honeysuckle	40cm ht.	0.8m	#2 Pot
Rh	67	Rhododendron 'Purple Gem'	Purple Gem Rhododendron	30cm ht.	0.8m	#2 Pot
Rr	146	Rosa rugosa	Rugosa Rose	60cm ht.	1m	#3 Pot
Sd	171	Spiraea douglasii	Hardhack	60cm ht.	1m	#3 Pot
To	5	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	1.5m ht.	1m	B.B.
Vd	157	Viburnum davidii	David's Viburnum	50cm ht.	0.8m	#2 Pot
PERENNIALS, GROUND COVERS, AND GRASSES						
Ca	95	Calamagrostis acutiflora 'Overdam'	Variiegated Feather Reed Grass	1 gal.		Pot
Fg	522	Festuca glauca	Blue Fesuce	1 gal.		Pot
He	179	Hemerocallis 'Stella D'Oro'	Stella D'Oro Daylily	1 gal.		Pot
Hm	100	Hakonechloa macra	Japanese Forest Grass	1 gal.		Pot
Lm	180	Liriope muscari 'Big Blue'	Giant Lily Turf	1 gal.		Pot
Lp	350	Lupinus polyphyllus	Large-Leaved Lupine	1 gal.		Pot
Oj	91	Ophiopogon japonicus	Mondo Grass	1 gal.		Pot

- GENERAL NOTES**
- EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
 - CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
 - CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS. OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
 - UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
 - THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE. DURING THE PERIOD OF WORKS, PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEPED AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

NOTE:
THERE ARE NO EXISTING TREES ON SITE.

- IRRIGATION NOTES:**
- IRRIGATION TO BE PROVIDED FOR ALL 'SOFT LANDSCAPE AREAS' SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
 - IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FOR THE STUB OUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
 - THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
 - ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.

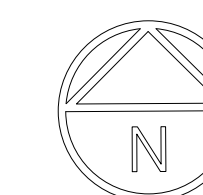
LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- SAW-CUT CONCRETE
- BIKE RACK
- PLANT KEY
- CHAINLINK FENCE
- ORNAMENTAL FENCING

7	13/02/18	REISSUED FOR DP
6	01/02/18	REISSUED FOR DP
5	27/11/17	ISSUED FOR DP
4	21/11/17	ISSUED FOR REVIEW
3	06/11/17	ISSUED FOR REVIEW
2	19/10/17	ISSUED FOR REVIEW
1	18/10/17	ISSUED FOR REVIEW

NO. DATE: (d/m/y) DESCRIPTION:
ISSUES & REVISIONS:

SEAL:



PROJECT NAME:

BAILEY METAL PRODUCTS

PROJECT ADDRESS:

**3635 190TH STREET,
SURREY, BC**

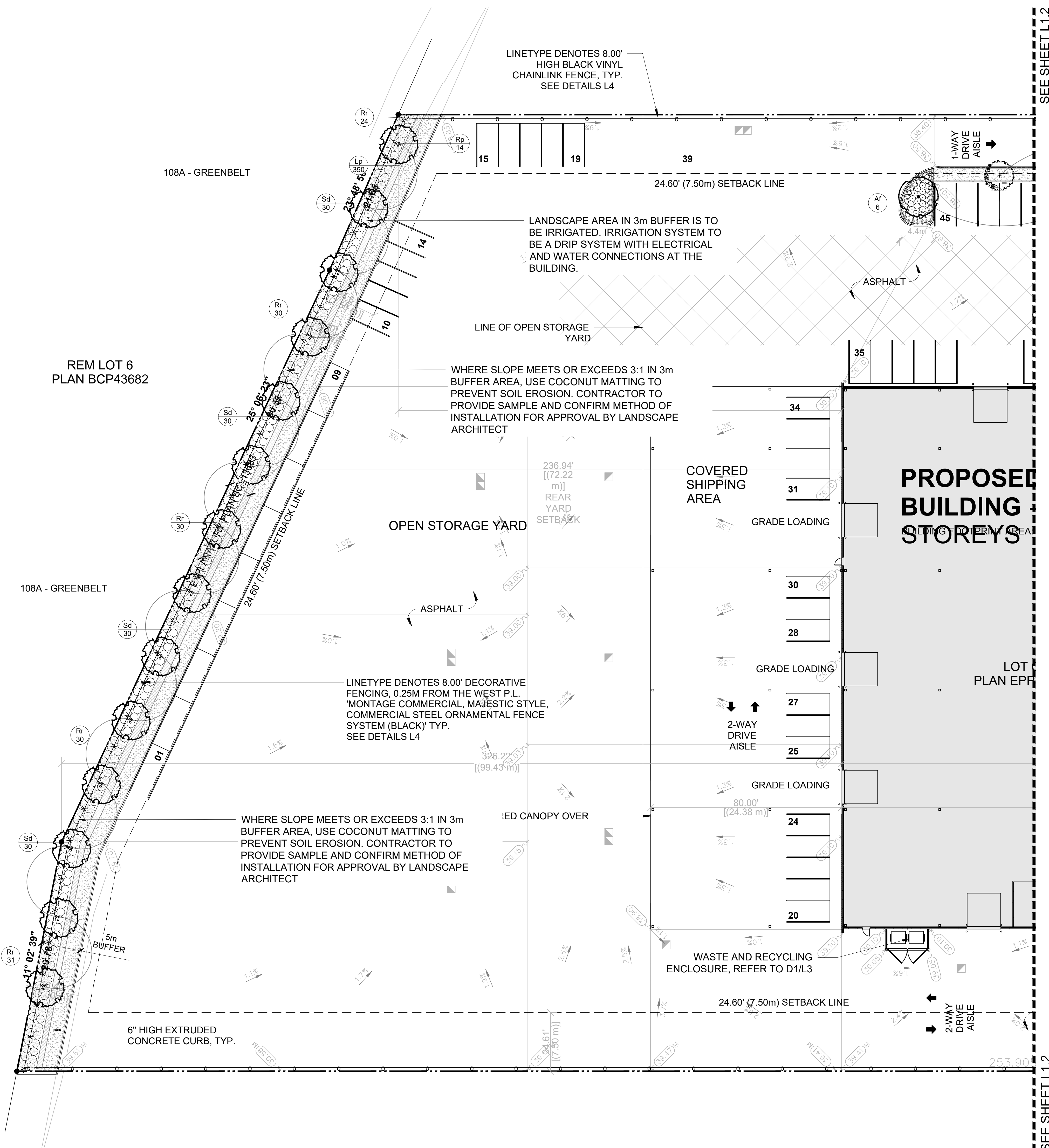
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ENLARGEMENT PLAN

SCALE:	1:250
DRAWN:	RM
CHECKED:	ST
PROJECT NO.:	170395-L

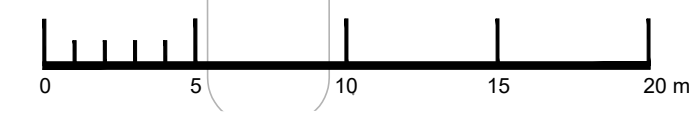
DRAWING NO.:

L1.1



SEE SHEET L1.2

SEE SHEET L1.2



REM LOT 6
PLAN BCP43682

108A - GREENBELT

108A - GREENBELT

LEGEND

- TURF GRASS
- CONCRETE SIDEWALK PAVING
- SAW-CUT CONCRETE
- BIKE RACK
- PLANT KEY
- CHAINLINK FENCE
- ORNAMENTAL FENCING

7	13/02/18	ISSUED FOR DP
6	01/02/18	ISSUED FOR DP
5	27/11/17	ISSUED FOR DP
4	21/11/17	ISSUED FOR REVIEW
3	06/11/17	ISSUED FOR REVIEW
2	19/10/17	ISSUED FOR REVIEW
1	18/10/17	ISSUED FOR REVIEW

NO. DATE: (d/m/y) DESCRIPTION:
ISSUES & REVISIONS:

SEAL:



PROJECT NAME:

BAILEY METAL PRODUCTS

PROJECT ADDRESS:
**3635 190TH STREET,
SURREY, BC**

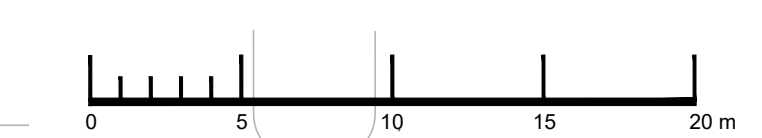
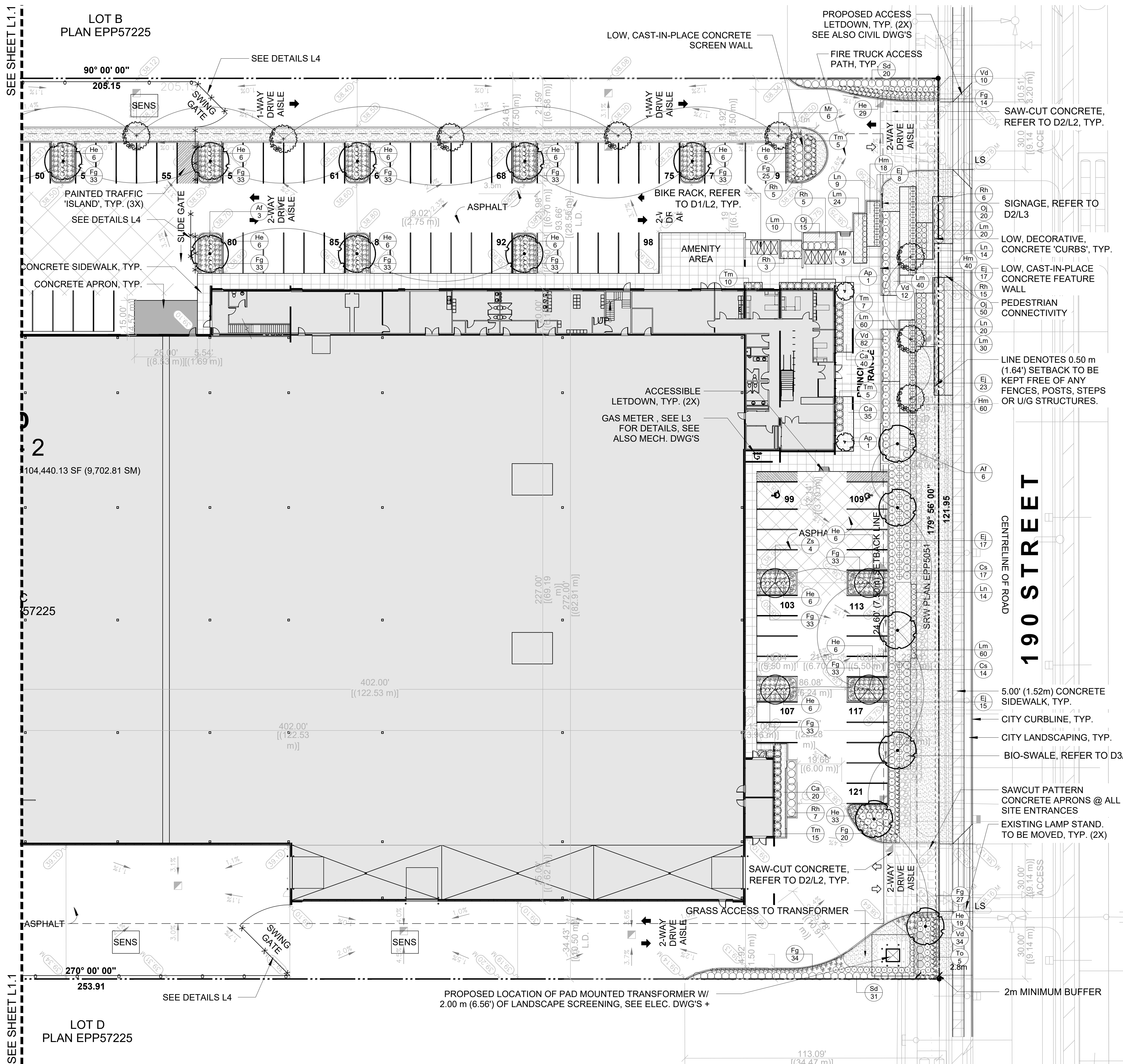
DRAWING TITLE:
ENLARGEMENT PLAN

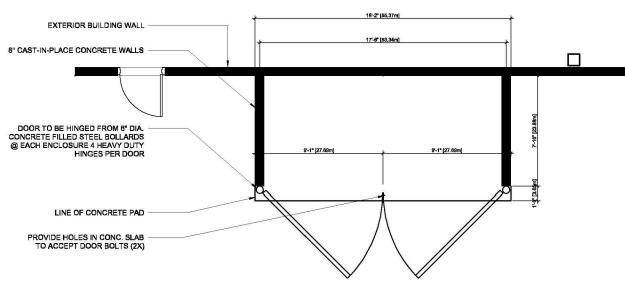
SCALE: 1:250
DRAWN: RM
CHECKED: ST
PROJECT NO: 170395-L

DRAWING NO:

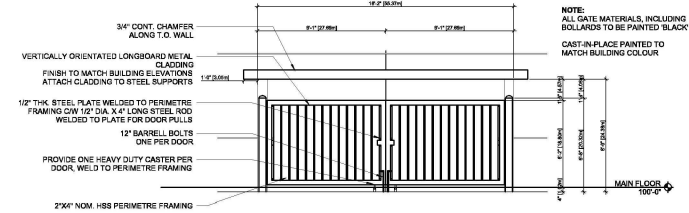
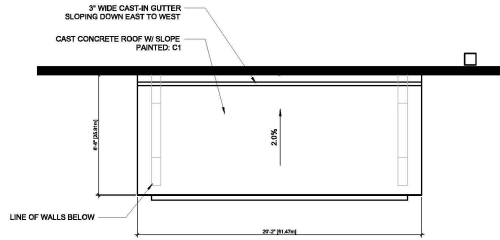
L1.2

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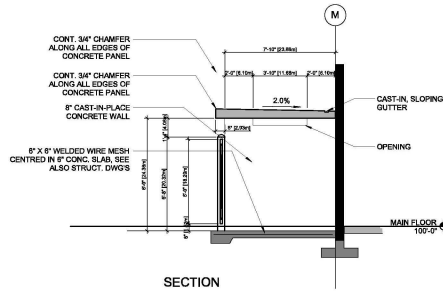




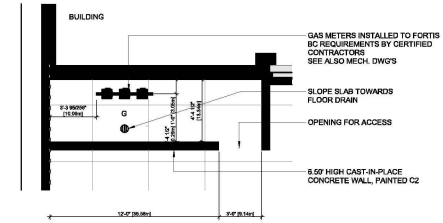
PLAN



ELEVATION



SECTION

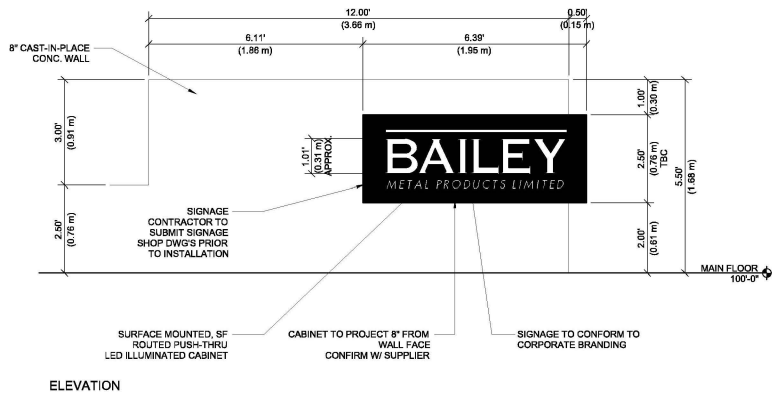


3. GAS METER SCREENING
N.T.S.

1. GARBAGE ENCLOSURE
N.T.S.

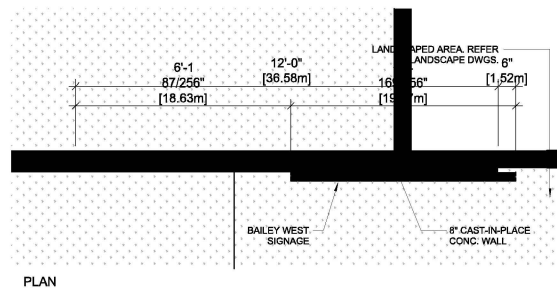
7	13/02/18	REVISED FOR DP
8	16/02/18	REVISED FOR DP
9	27/11/17	ISSUED FOR DP
4	21/11/17	ISSUED FOR REVIEW
3	08/11/17	ISSUED FOR REVIEW
2	19/10/17	ISSUED FOR REVIEW
1	18/10/17	ISSUED FOR REVIEW

NO. DATE (BY) DESCRIPTION
ISSUES & REVISIONS:
SEAL:



ELEVATION

2. PROPERTY SIGNAGE
N.T.S.



PLAN

PROJECT NAME:
BAILEY METAL PRODUCTS

PROJECT ADDRESS:
3638 190TH STREET, SURREY, BC

DRAWING TITLE:
DETAILS

SCALE: AS NOTED
DRAWN: RM
CHECKED: ST
PROJECT NO: 19295-L

DRAWING NO: **L3**

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**TO: Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: Development Services Manager, Engineering Department

DATE: Mar 05, 2018 **PROJECT FILE: 7817-0538-00**

**RE: Engineering Requirements (Commercial/Industrial)
Location: 3635 190 St**

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

The applicant requests a Development Permit in order to construct an industrial building and ancillary office for a metal fabrication company. There are no engineering requirements relative to the Development Permit. The applicant is also seeking a Development Variance Permit to reduce the width of a one-way drive aisle abutting a fence from 8.25 m to 6.58 m. The Variance as presented can be supported by the Engineering Department.

BUILDING PERMIT

The site has been serviced under Surrey Project 7814-0294-00 for which works are currently under a one year maintenance period. Deficiencies associated with these works may need to be addressed to achieve final occupancy of the building.

The following are to be addressed prior to issuance of the Building Permit:

- Evaluate services (e.g. driveways, water connections, sanitary sewer connections, storm water drainage) provided to the site by 7814-0294-00 and relocate/modify through the BP process. This will also include abandonment of redundant service connections as required;
- Construct driveway letdowns to City standard with sufficient setbacks from adjacent properties; and
- Design/Construct on site infiltration and water treatment features as per Campbell Heights Land Use Plan requirements and as described in servicing plans under City project 7814-0294-00 and Restrictive Covenants on title.

The applicant is advised to review the sustainable drainage and water quality control restrictive covenants registered on title prior to submitting building permit application.



Rémi Dubé, P.Eng.
Development Services Manager

CITY OF SURREY

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0538-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 029-866-049

Lot C Section 28 Township 7 New Westminster District Plan EPP57225

3635 – 190 Street

(the "Land")

3. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Section E.2 (b) of Part 5 Off-Street Parking and Loading/Unloading, the required width of a maneuvering aisle is reduced from 7.5 metres (25 ft.) to 6.58 metres (21.5 ft.).
4. This development variance permit applies to only the portion of the Land shown on Schedule A which is attached hereto and forms part of this development variance permit.
5. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
6. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.

7. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.

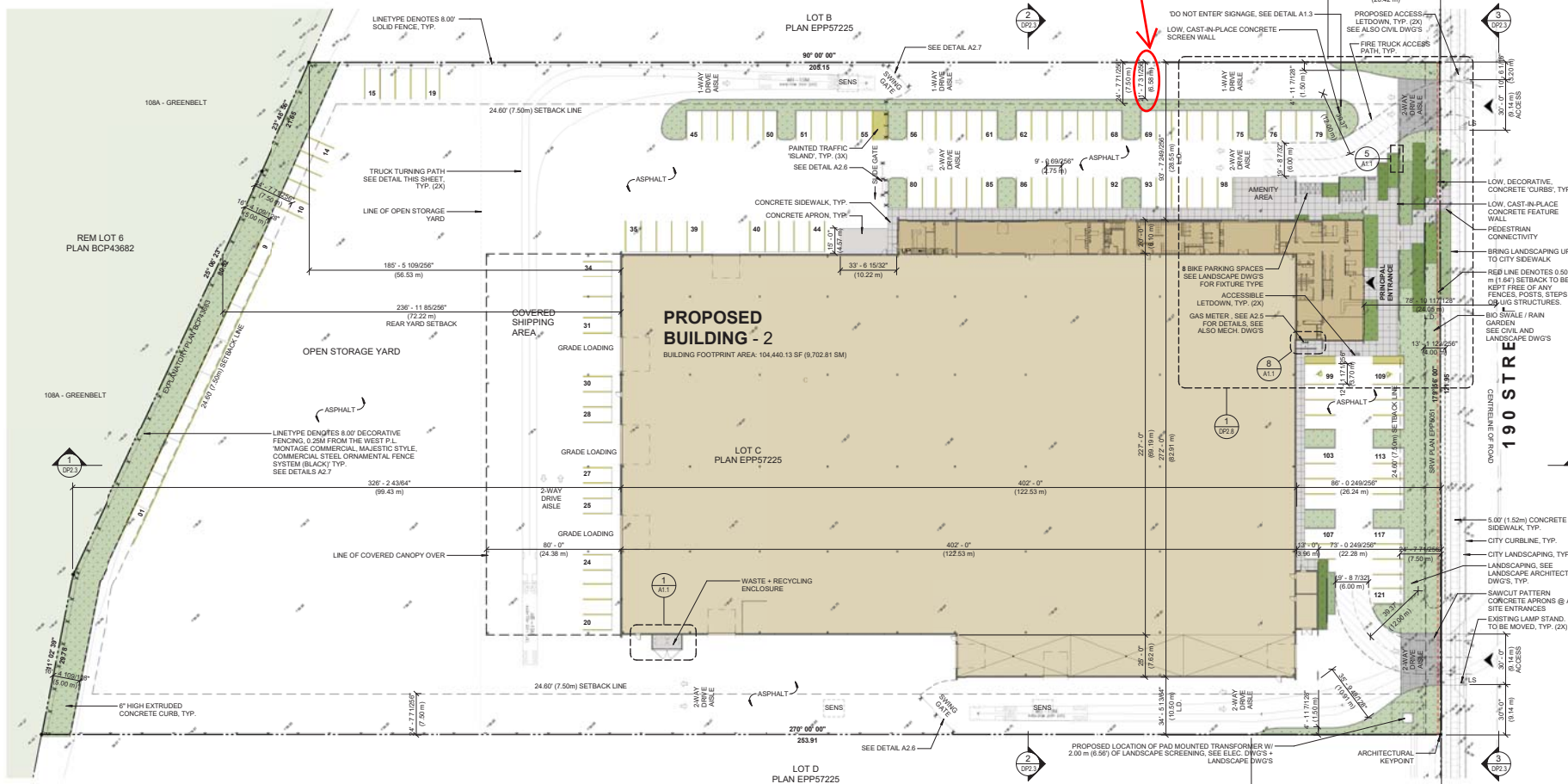
8. This development variance permit is not a building permit.

AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Linda Hepner

City Clerk – Jane Sullivan

DVP to reduce from 7.5 m to 6.58 m



PROJECT DATA

CIVIC ADDRESS: 3636 190TH STREET, SURREY, BC
 LEGAL ADDRESS: LOT C SECTION 28 TOWNSHIP 7 PLAN EPP97225 NWD
 ZONING: CD (COMPREHENSIVE DEVELOPMENT)
 BUILDING USE: STEEL MANUFACTURING

ZONING BYLAW ANALYSIS (CITY OF SURREY)

1. ZONING: CD (COMPREHENSIVE DEVELOPMENT)

2. SITE AREA: 304,983.39 SF [7.00 acres] 28,333.88 m² [2.83 hectare]

3. SITE COVERAGE + BUILDING AREAS:

PROP. SITE BLDG. AREA (SF)	BLDG. AREA (SF)	MAX. SITE COVERAGE (SF)	MAX. SITE COVERAGE (SM)
32,211%	112,260.99	10,429.39	

GROSS FLOOR AREA CALCULATIONS

OCCUPANCY	LEVEL	AREA (SF)	AREA (SM)
Area	Not Placed	0.00	0.00
OFFICE	Not Placed	0.00	0.00
OFFICE	MAIN FLOOR	6,111.36 SF	567.76
PRODUCTION	MAIN FLOOR	98,328.77 SF	9,136.04
Area	SECOND FLOOR	638.27 SF	59.30
OFFICE	SECOND FLOOR	4,743.52 SF	443.69
PRODUCTION AND PLANT	SECOND FLOOR	1,982.05 SF	182.28
PRODUCTION AND PLANT	SECOND FLOOR AREA	111,783.97 SF	10,385.07

4. BUILDING HEIGHT:

MAXIMUM HEIGHT: 45.00' (14.00m)
 PROPOSED HEIGHT: 34.00' (10.36m)

5. REQUIRED SETBACKS:

FRONT YARD SETBACK: 25.00' (7.50m)
 REAR YARD SETBACK: 25.00' (7.50m)
 SIDE YARD SETBACK: 25.00' (7.50m)
 SIDE YARD SETBACK FLANKING STREET: 25.00' (7.50m) OR 0.00' (0.00m)

6. LANDSCAPING REQUIREMENTS

ALONG THE DEVELOPED SIDES OF THE LOT WHICH ADJUT A HIGHWAY, A CONTINUOUS LANDSCAPING STRIP OF NOT LESS THAN 1.5 METRES (5 FT.) IN WIDTH SHALL BE PROVIDED WITHIN THE LOT.

3. TRUCK TURNING PROFILE

SCALE: 1/16" = 1'-0"

7. PARKING AND LOADING: INDUSTRY LIGHT IMPACT:

1 SPACE PER 1,075.00 SF (100.00 SM) GFA

OCCUPANCY	LEVEL	AREA (SF)	STALLS
PRODUCTION	MAIN FLOOR	98,328.77	91.47
TOTAL STALLS			91.47

OFFICE:

REQUIRED: 1 SPACE PER 430.00 SF (39.94 SM) GFA

OCCUPANCY	LEVEL	AREA (SF)	STALLS
OFFICE	Not Placed	0.00 SF	0.00
OFFICE	MAIN FLOOR	6,111.36 SF	14.21
OFFICE	SECOND FLOOR	4,743.52 SF	11.03
TOTAL STALLS		10,854.88 SF	25.24

TOTAL STALLS REQUIRED: 121.00 (121.32)
 TOTAL STALLS PROVIDED: 121

PARKING DIMENSIONS:

STANDARD STALL: 9'02" (2.75m) W x 18'04" (5.50m) L
 SMALL CAR STALL: 9'02" (2.75m) W x 16'07" (4.90m) L
 ACCESSIBLE STALL: 12'13" (3.70m) W x 18'04" (5.50m) L
 PARALLEL STALL: 8'52" (2.60m) W x 21'98" (6.70m) L

DRIVE AISLE @ 90 DEG: 21'98" (6.70m) W

TOTAL LOADING STALLS PROVIDED: 3.00

LOADING DIMENSIONS:

13'12" (4.00m) W x 30'18" (9.20m) L



Krahn GROUP OF COMPANIES

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 EDMONTON OFFICE: 780-482-1111 EDMONTON, AB T5J 1W8
 VANCOUVER OFFICE: 1-800-248-0857 VANCOUVER, B.C. V6B 4Y4

Integrated CONSTRUCTION

BAILEY METAL PRODUCTS LIMITED

DSQUARED PROJECTS

larry podhora | architecture inc
 192 BRADSHAW WAY NORTH SURREY, B.C. V1V 3G3

PROJECT NAME: BAILEY METAL PRODUCTS

PROJECT ADDRESS: 3635 190TH STREET, SURREY, BC

DRAWING TITLE: SITE PLAN

SCALE: As Indicated
 DRAWN: LS
 CHECKED: LPDC
 PROJECT NO.: 170956-A
 DRAWING NO.:

A.10

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