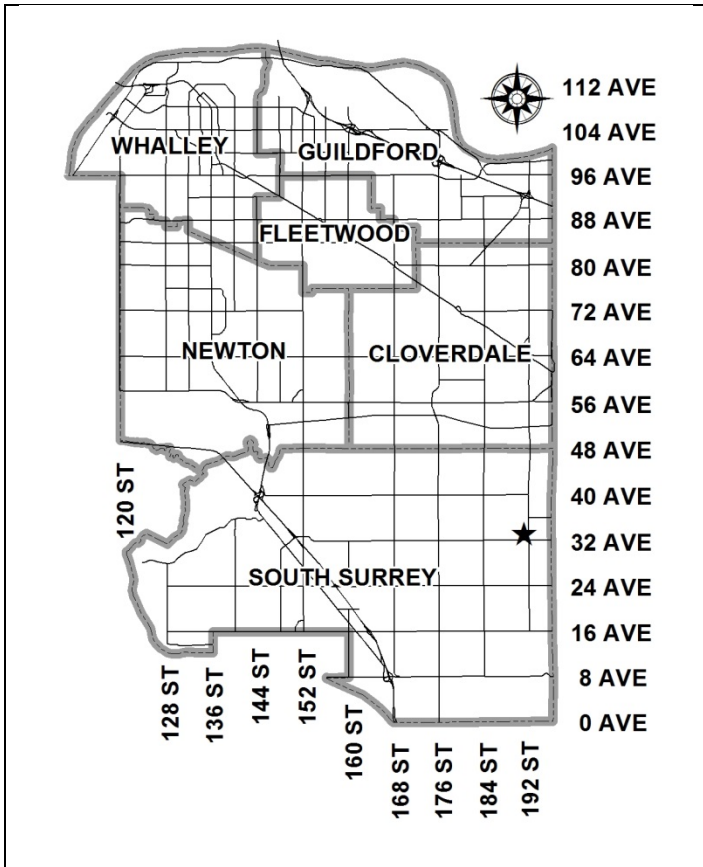


City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0513-00

Planning Report Date: April 9, 2018



PROPOSAL:

- **Development Permit**

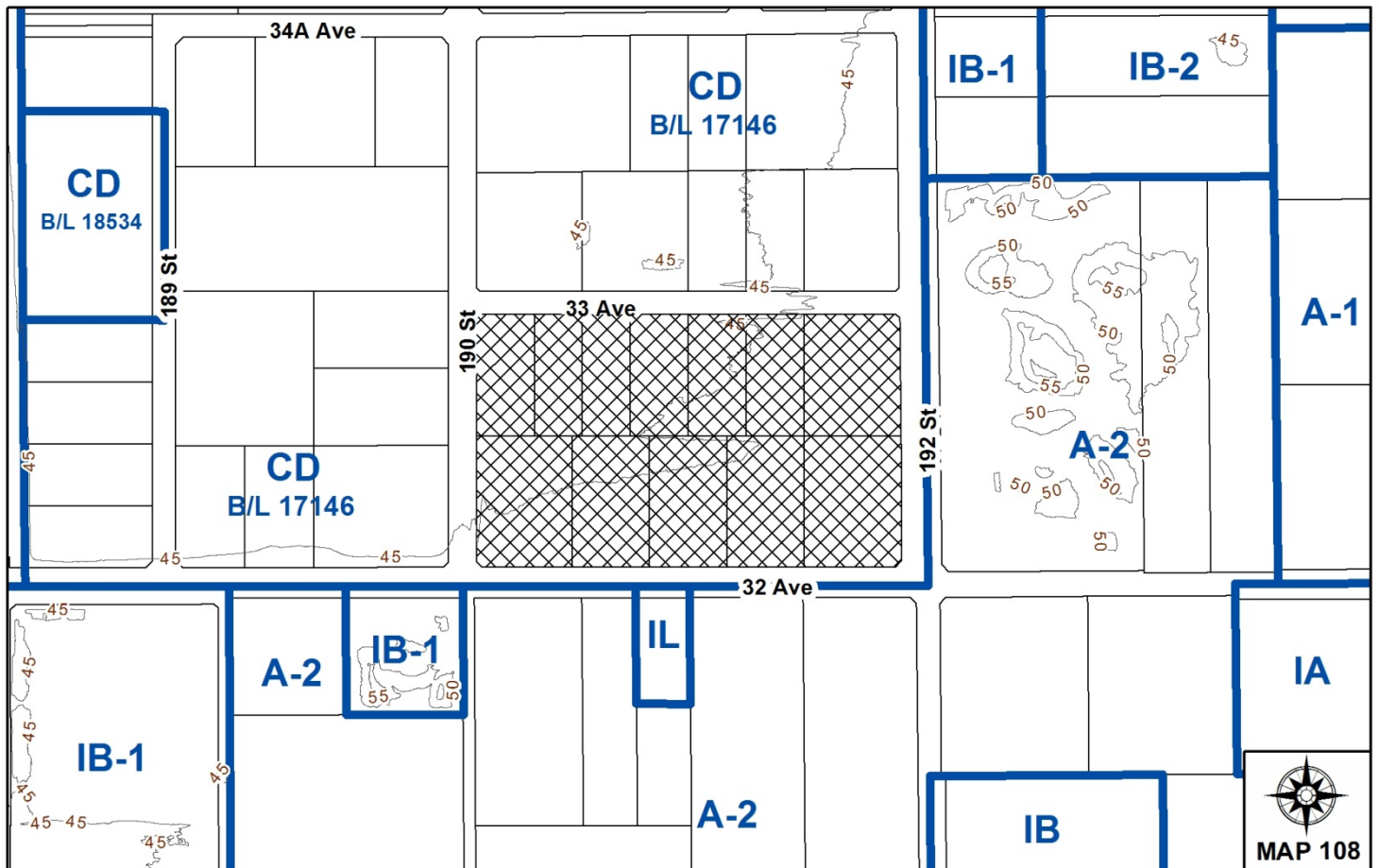
to permit the development of three (3) multi-tenant industrial warehouse buildings with a total floor area of 45,545 square metres (490,242 sq. ft.).

LOCATION: 19018, 19030, 19058, 19070, 19128, 19168 and 19188 - 33 Avenue; and 19177, 19111, 19089, 19055 and 19033 - 32 Avenue

ZONING: CD (By-law No. 17146 as amended by By-law No. 17934)

OCP DESIGNATION: Mixed Employment

LAP DESIGNATION: Business Park and Landscaping Strips



RECOMMENDATION SUMMARY

- Approval to draft Development Permit.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- None.

RATIONALE OF RECOMMENDATION

- The proposal complies with the site's "Mixed Employment" designation in the OCP.
- The proposal complies with the site's "Business Park" and "Landscaping Strips" designations in the Campbell Heights Business Park Local Area Plan (LAP).
- The proposed density and building form are appropriate for this part of Campbell Heights and are consistent with the design guidelines outlined in the general Development Permit and Design Guidelines for Campbell Heights North.

RECOMMENDATION

The Planning & Development Department recommends that:

1. Council authorize staff to draft Development Permit No. 7917-0513-00 generally in accordance with the attached drawings (Appendix II).
2. Council instruct staff to resolve the following issues prior to final approval:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) Consolidation of the site's 12 existing lots into one legal parcel;
 - (c) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (e) registration of a Section 219 Restrictive Covenant to prohibit uses requiring an emissions permit from Metro Vancouver; and
 - (f) registration of a Section 219 Restrictive Covenant to limit mezzanine space to 13% of the ground floor area.

REFERRALS

Engineering:	The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix III.
Parks, Recreation & Culture:	No concerns.
Surrey Fire Department:	No concerns.

SITE CHARACTERISTICSExisting Land Use:Adjacent Area:

Direction	Existing Use	OCP/NCP Designation	Existing Zone
North (Across 33 Avenue):	Business park warehouse/office	Mixed Employment/ Business Park and Landscaping Strips	CD (By-law No. 17146 as amended by By-law No. 17934)
East (Across 192 Street):	Single family dwellings and soil processing operation	Mixed Employment/ Business Park (Office), Business Park, and Landscaping Strips	A-2 (Development Application 7916-0681-00, which proposes rezoning from A-2 to IB-1 and IB-2, received Third Reading on November 6, 2017)
South (Across 32 Avenue):	Single family dwellings and automotive repair shop	Mixed Employment/ Business Park (Office), Business Park, and Landscaping Strips	A-2 and IL
West (Across 190 Street):	Business park warehouse/office	Mixed Employment/ Business Park and Landscaping Strips	CD (By-law No. 17146 as amended by By-law No. 17934)

DEVELOPMENT CONSIDERATIONSContext:

- The 7.9 hectare (19.7 acre) subject site consists of twelve (12) industrial business park lots, and is located on the north side of 32 Avenue between 190 Street and 192 Street in Campbell Heights North. The site is designated "Mixed Employment" in the Official Community Plan (OCP), and "Business Park" and "Landscaping Strips" in the Campbell Heights Local Area Plan (LAP).
- On June 7, 2010, the subject site was rezoned from "General Agricultural Zone (A-1)" to "Comprehensive Development Zone (CD)" (By-law No. 17146) under Development Application No. 7910-0032-00. CD By-law No. 17146 was subsequently amended by By-law No. 17934 on June 17, 2013 under Development Application No. 7912-0160-00, to adjust the outdoor storage area boundaries. The subject site was then subdivided under Development Application No. 7910-0179-00, which was approved on May 10, 2012.

- CD By-law No. 17146, as amended by By-law No. 17934, permits light impact industry, warehouse uses, distribution centres, transportation industry, office uses, and other accessory uses, forming part of a comprehensive design.

Proposal:

- The applicant is proposing a Development Permit (DP) to allow a three (3) one-storey plus mezzanine multi-tenant industrial buildings on the site, with a total floor area of 45,545 square metres (490,242 sq.ft.) (Appendix II).
- In order to develop this site, the applicant is required to consolidate the existing twelve (12) lots into one lot. The applicant proposes to consolidate the lots by applying for a cancelation of interior lot lines through the Land Title Office. The consolidation must be finalized before the Development Permit can be approved.
- The proposed buildings have a floor area ratio (FAR) of 0.68 and lot coverage of 50.5%, which comply with the maximum 1.0 FAR and 60% lot coverage respectively permitted under the CD Zone (By-law No. 17146 as amended by By-law No. 17934).

Access and Parking:

- The proposed development will have six (6) vehicular entrances. The main vehicular entrances to employee and visitor parking will be from 192 Street for Building 1, 33 Avenue for Building 2 and 32 Avenue for Building 3. The driveways are located near the front entrances to each of the three buildings. Access for trucks to the rear loading areas will be from 32 Avenue, 190 Street and 33 Avenue.
- Driveway access on 32 Avenue and 192 Street will be restricted to right-in/right-out movements only.
- The proposal provides 535 parking spaces for the industrial buildings, which meets the Zoning By-law requirement of 403 spaces for the proposed warehouse use with a rate of 1 space per 100 square metres. The BC Building Code permits up to 40% of the ground floor area to be constructed as second storey mezzanine space, which would require an additional 403 parking spaces (for a total of 806 parking spaces on site) based on an office use rate of 2.5 spaces per 100 square metres. The applicant has provided 132 parking spaces for second storey mezzanine office space, which will allow a maximum 13% mezzanine. The maximum allowable mezzanine floor area will be enforced through a Restrictive Covenant, which the applicant has agreed to register against the title of the land.
- The proposed truck bays are located at the rear of the buildings, away from public view, and will be accessed via driveway entrances at 32 Avenue, 190 Street and 33 Avenue. The loading areas will be screened by all three buildings and by the landscaping strips to be installed around the perimeter of the site.

PRE-NOTIFICATION

A development proposal sign was installed on the site on February 5, 2018 and the proposal was referred to the Little Campbell Watershed Society (LCWS) on January 15, 2018 for review and comment. To date staff have received no comments.

DESIGN PROPOSAL AND REVIEW

- The proposed tilt-up concrete buildings are consistent with the design guidelines outlined in the Campbell Heights North Design Guidelines and the Official Community Plan (OCP), and are reflective of the existing standards within the area. The development concept for Campbell Heights is a high quality, sustainable industrial business park.
- Overall, the buildings are proposed to have a modern linear appearance. Architectural emphasis is placed on the main façades facing 192 Street (Building 1), 33 Avenue (Building 2) and 32 Avenue (Building 3). The use of glazing and articulation will provide visual interest. The location of the office spaces along the main facades facing 192 Street, 33 Avenue and 32 Avenue, will provide "eyes on the street" in accordance with Crime Prevention Through Environmental Design (CPTED).
- The proposed building construction is a combination of concrete tilt up and spandrel glazing as the main cladding materials. The colour scheme proposed uses light grey as the main colour with dark grey accents. Each building will also have distinct accent colours used to differentiate the buildings, including red for Building 1, orange for Building 2, and yellow for Building 3. All units are proposed to have canopies over the entrances to provide weather protection as well as canopies above office windows to provide solar screening.
- Pedestrian linkages are proposed to connect to the multi-use pathways along both 32 Avenue and 192 Street. Bicycle racks will be provided on site near the building entries for all three buildings.
- Corner plazas are proposed at all four corners of the site, with the main feature plaza to be located at the intersection of 192 Street and 32 Avenue, in accordance with the Campbell Heights North design guidelines. These plazas will help to activate the site and provide linkages to the multi-use pathways along 32 Avenue and 192 Street, as well as the sidewalks along 191 Street and 33 Avenue. The plazas will be landscaped and include stamped concrete pavement and seating areas with various benches.
- The applicant has indicated that they are not proposing any signage at this time, as specific tenants are not yet known.

Landscaping:

- The proposed landscaping reflects the requirement in Campbell Heights North to accommodate on-site storm water in a sustainable manner and is in accordance with the registered restrictive covenant for landscaping and storm-water management along the street frontages, including installation of a bioswales and associated rain gardens. The proposed stormwater management plan will need to meet the requirements of the Engineering

Department. Bioswales and rain gardens are proposed to be located within the landscaping strips along 190 Street and 33 Avenue.

- Planting in the rain gardens includes trees, shrubs and ground covers, and contain boulders and cobble channels to slow water flow and collect sediment.
- Substantial landscaping is proposed around the entire perimeter of the site, including a 3 to 7.5 metre wide landscaped buffer along 32 Avenue, which is required under CD By-law No. 17146. The application also proposes a 6 metre (20 ft.) wide landscaped strip on 192 Street, and 3 metre (10 ft.) wide landscaped strips along 191 Street and 33 Avenue.
- A right-of-way (ROW) is registered for a multi-use pathway (which has already been constructed) on the subject site, adjacent to 32 Avenue. The ROW is 4.0 metres (13 ft.) wide and includes a 3.5 metre (11.5 ft.) asphalt pathway, and a 0.5 metre (1.6 ft.) maintenance strip planted with grass.
- On 32 Avenue, which is an arterial road, the CD By-law requires a landscaping strip that is 6.0 metres (19.7 ft.) wide. The applicant is proposing a 3.0 to 7.5 metre (10 to 25 ft.) wide planting strip adjacent to the 4.0 metre ROW along 32 Avenue, for a total of a 7.0 to 11.5 metre (23 to 38 ft.) wide landscaped strip adjacent to 32 Avenue.
- The proposed landscaping will consist of various Maple species, Paper Birch, Pacific Dogwood, Nootka Cypress, Copper Beech, Ash, Sweet Gum, Saucer Magnolia, Norway Spruce and Katsura trees. This will be complemented by a variety of shrubs, ground cover and perennials. 212 trees are proposed to be planted on site.

ADVISORY DESIGN PANEL

- The application was not referred to the Advisory Design Panel (ADP), but was reviewed by City Staff and found to be satisfactory. The proposed development was evaluated based on compliance with the design guidelines for Campbell Heights North and the OCP.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on October 21, 2017. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> • The site is located in the Campbell Heights LAP and the proposed development is reflective of the land use designation.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> • The proposed density and FAR is in keeping with the CD Bylaw.

Sustainability Criteria	Sustainable Development Features Summary
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> • Low impact development standards (LIDs) are incorporated in the design of the project including: <ul style="list-style-type: none"> ○ On-lot infiltration trenches or sub-surface chambers; ○ Bio-swales to provide on-site stormwater detention; ○ Natural landscaping; and ○ Sediment control devices.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> • Bicycle parking will be provided on site. • The proposed development provides linkages to off-site sidewalks and multi-use pathways.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> • Crime Prevention Through Environmental Design (CPTED) principles have been incorporated in the following manner: <ul style="list-style-type: none"> ○ Natural access control by clearly defining entries to the building; and ○ Exterior lighting of the building providing visibility on the site. ○ 100% of units will be accessible.
6. Green Certification (F1)	<ul style="list-style-type: none"> • N/A
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> • A development proposal sign was installed on the site on February 5, 2018 and the proposal was referred to the Little Campbell Watershed Society (LCWS) for review and comment.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

- Appendix I. Lot Owners and Action Summary (Confidential) and Project Data Sheets
 Appendix II. Site Plan, Building Elevations, Landscape Plans and Perspective
 Appendix III. Engineering Summary

original signed by Ron Hintsche

Jean Lamontagne
 General Manager
 Planning and Development

EM/da

APPENDIX I HAS BEEN
REMOVED AS IT CONTAINS
CONFIDENTIAL INFORMATION

DEVELOPMENT DATA SHEET

Existing Zoning: CD (By-law No. 17146
as amended by By-law No. 17934)

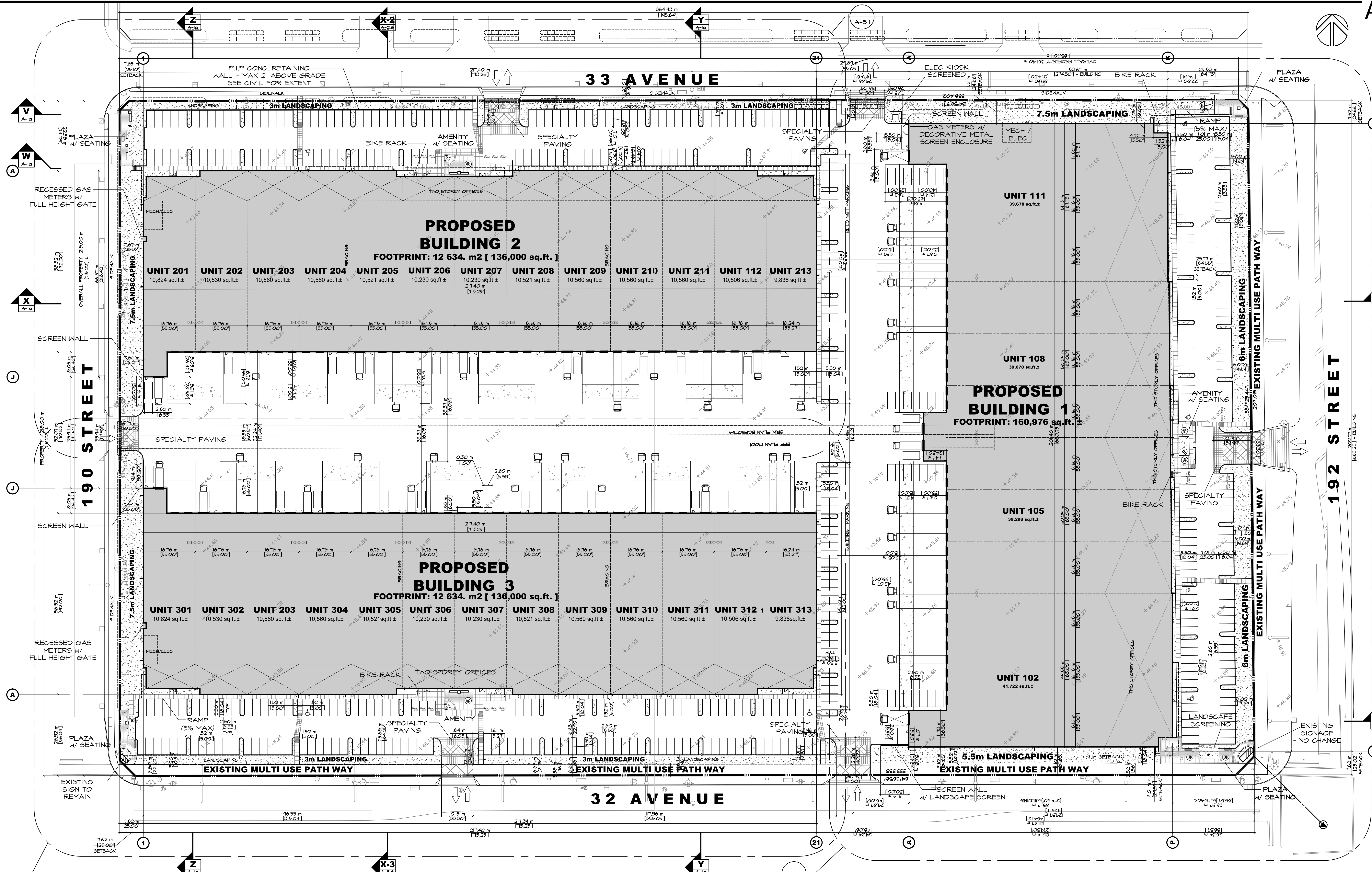
Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total		
Road Widening area		
Undevelopable area		
Net Total		79,630 m ²
LOT COVERAGE (in % of net lot area)	60%	50.5%
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front (North)	16 m	22.58 m
Front (East)	16 m	26.39 m
Front (South)	16 m	26.32 m
Side, Flanking Street (North, South, West)	7.5 m	7.5 m
BUILDING HEIGHT (in metres/storeys)		
Principal	14 m	13.72 m
Accessory	6 m	n/a
FLOOR AREA: Industrial		40,224.78 m ²
FLOOR AREA: Office		10,409.70 m ²
TOTAL BUILDING FLOOR AREA		50,634.48 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)		
# of units/ha /# units/acre (net)	n/a	
FAR (gross)		
FAR (net)	1.0	0.64
AMENITY SPACE (area in square metres)		
Indoor	n/a	
Outdoor	n/a	
PARKING (number of stalls)		
Industrial	403	403
Office (based on 13% 2 nd storey mezzanine)		132
Total Number of Parking Spaces		535
Number of accessible stalls		7
Number of small cars		19
Tandem Parking Spaces: Number / % of Total Number of Units		
Size of Tandem Parking Spaces width/length		

Heritage Site	NO	Tree Survey/Assessment Provided	NO
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OVERALL SITE PLAN
SCALE: 1" = 40'-0"

SITE DATA (OVERALL SITE)

CIVIC ADDRESS: 32 AVE & 192ND STREET, SURREY, B.C.
 LEGAL DESCRIPTION: LOT 15 TO 26, SECTION 28, TWP 7, NWD PLAN BCP50753
 EXISTING ZONING: CD
 GROSS LOT AREA: 79 630 m² 19630 ha. [257,30 sq.ft. / 19.68 Ac.]
 PROPOSED BUILDING AREA (FOOTPRINT):
 BUILDING 1 14 995.2 m² [160,976 sq.ft.]
 BUILDING 2 12 634.0 m² [136,000 sq.ft.]
 BUILDING 3 12 634.0 m² [136,000 sq.ft.]
 TOTAL 40 264.0 m² [432,976 sq.ft.]

SITE COVERAGE: 60% MAX. 452,976 / 257,30 = 50.5 %
 F.A.R.: 40 265 m² FOOTPRINT + 5 280 m² 2ND FLR. / 79 630 m² = 0.685

SETBACKS:

	MIN.	PROPOSED
FRONT (EAST):	1.6M [52.5']	25.77 m [84.55']
SIDE (NORTH):	9.0M [30']***	7.52 m [24.66']
SIDE (SOUTH):	9.0M [30']***	7.62 m [25.02']
REAR (WEST):	7.5M [24.6']	7.62 m [25.00']

*** THE SIDE YARD SETBACK ON A FLANKING STREET MAY BE REDUCED TO 7.5 METRES (25 FEET) IF THE AREA BETWEEN THE FLANKING STREET FACE OF ANY BUILDING OR STRUCTURE AND A HIGHWAY IS NOT USED FOR PARKING AND IS LANDSCAPED.

HEIGHT: 14.0M [45.0'] MAX. 12.86M [42'-2"]

PARKING REQUIRED:

WAREHOUSE: 1 STALL PER 100m²
 OFFICE: 1 STALL PER 100m²

MAIN FLOOR - 100% WAREHOUSE: 40 264.0 m² / 100 x 1 = 403 STALLS
 2ND FLOOR (15% OF MAIN FLOOR) - 100% OFFICES: 5 280 m² / 100 x 25 = 132 STALLS
 TOTAL REQUIRED = 535 STALLS

PARKING PROVIDED:
 (25% SMALL CAR ALLOWED = 126 STALLS - PROVIDED - 14)

CHIP BARRETT ARCHITECT
 19-3225 MORGAN CREEK, SURREY, B.C. V3Z 0J9
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 IN ASSOCIATION WITH

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8	MAR 01 18	FOR PLANNING REVIEW
7	DEC 13 17	ISSUED FOR REVIEW
6	NOV 24 17	PLANNING REVIEW
5	OCT 21 17	RE-ISSUED FOR D.P.
4	SEP 14 17	RE-ISSUED FOR D.P.
3	JUL 28 17	CLIENT REVIEW
2	JAN 13 17	PRELIMINARY REVIEW
1		

PROJECT: PROPOSED OFFICE-WAREHOUSE COMPLEX FOR

DIVERSIFIED MANAGEMENT INC.

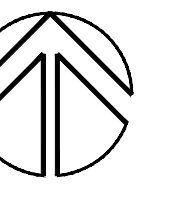
ADDRESS: 192 ST. SURREY, B.C.

DRAWING

OVERALL SITE PLAN

SEAL	JOB NO.	DRAWN D.F.
		DESIGNED
		CHECKED
		DATE
		MAR 23 18

PROJECT - DRAWING NUMBER: **A-00** REV: **8**



CHIP BARRETT ARCHITECT
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5	DEC.13.17	ISSUED FOR REVIEW
4	NOV.24.17	PLANNING REVIEW
3	SEP.14.17	RE-ISSUED FOR D.P.
2	JUN.26.17	ISSUED FOR D.P.
1	JAN.13.17	PRELIMINARY REVIEW
NO.	DATE	DESCRIPTION

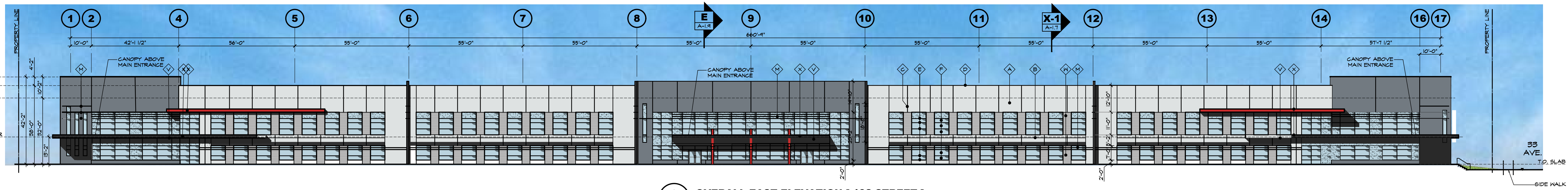
AREA CONTEXT
 SCALE: NTS

PROJECT:
 PROPOSED
 OFFICE-WAREHOUSE COMPLEX FOR:
**DIVERSIFIED
 MANAGEMENT
 INC.**
 ADDRESS: 192 ST., SURREY, B.C.

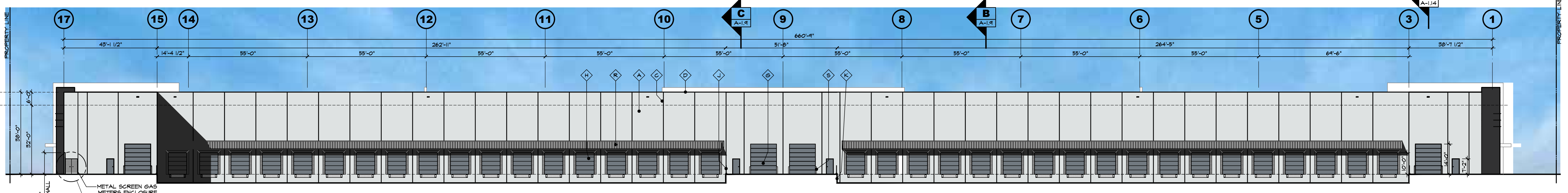
DRAWING
CONTEXT PLAN

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	CHECKED	
	PLOT DATE	MAR.01.18

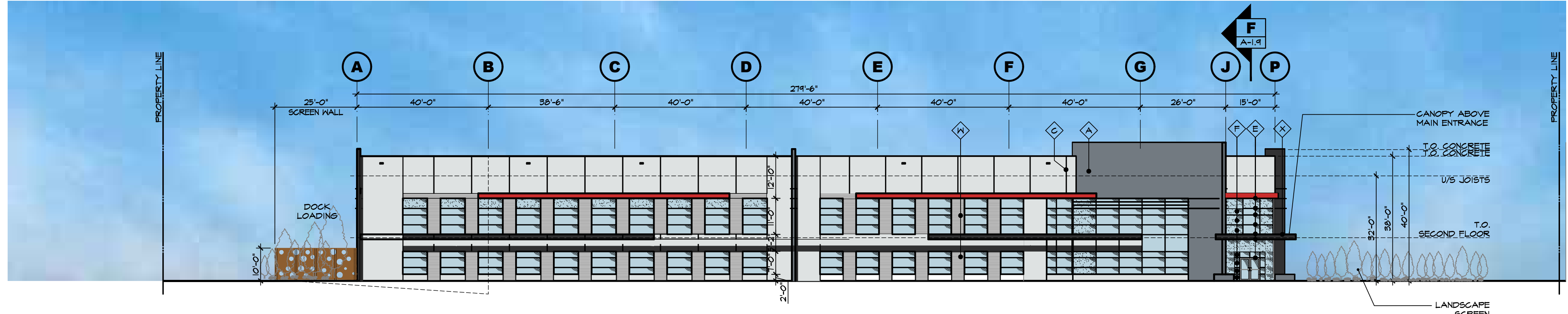
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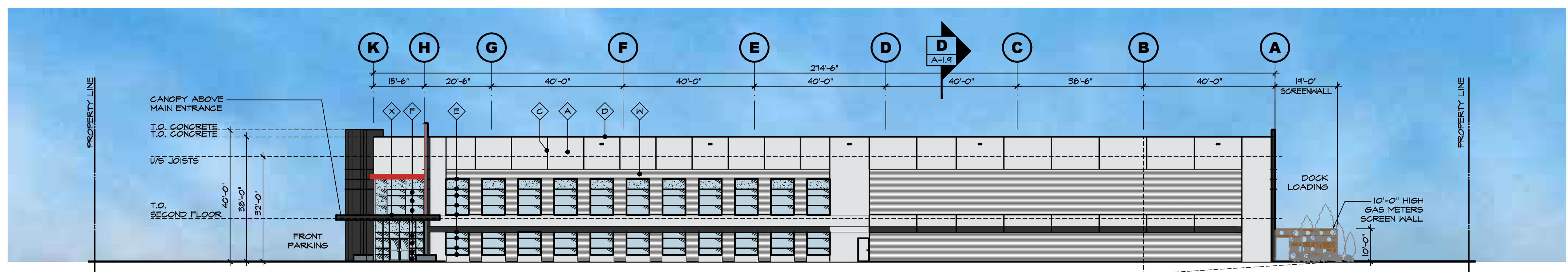
1 OVERALL EAST ELEVATION [192 STREET]
SCALE: 3/64"=1'-0"



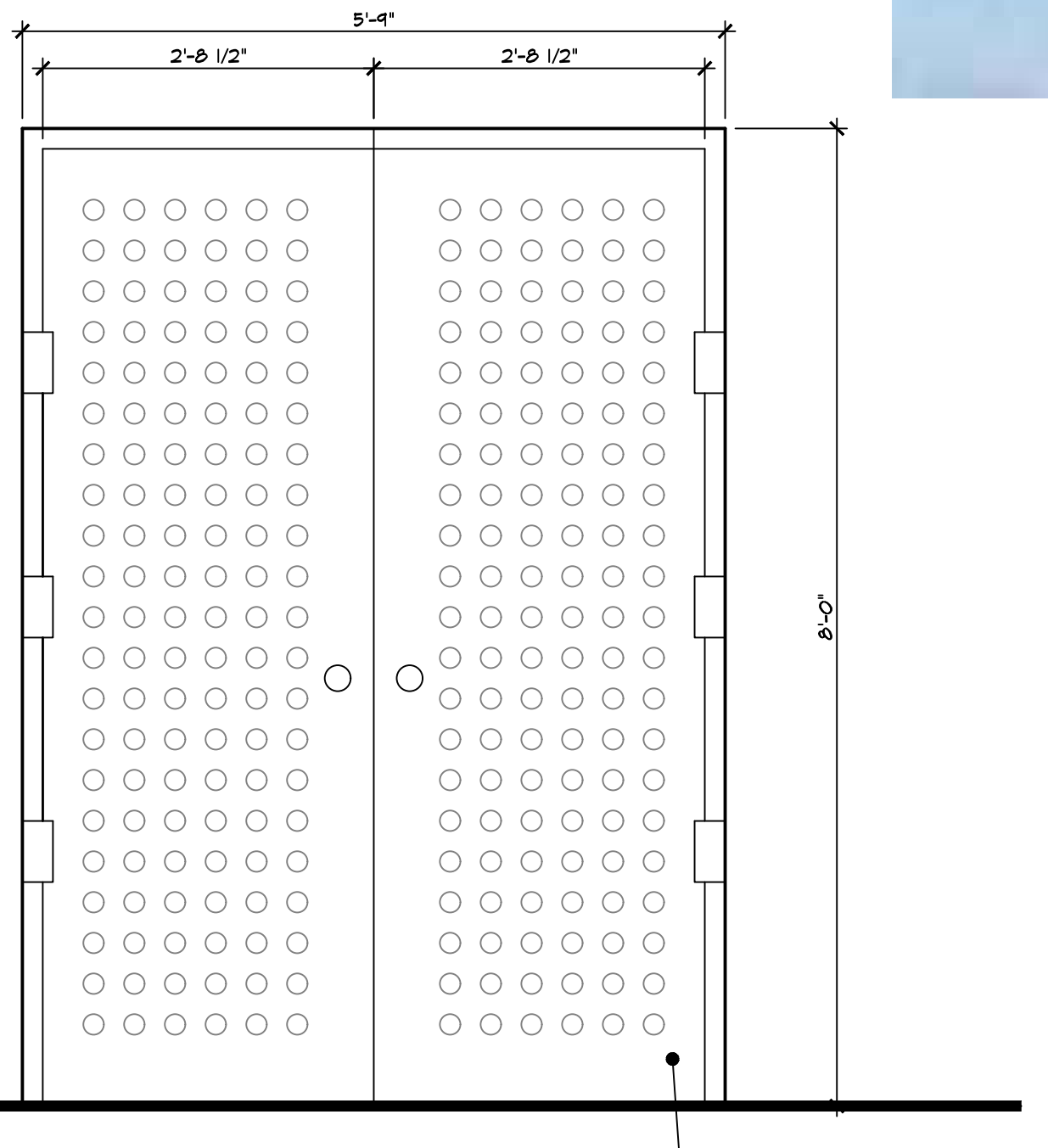
2 OVERALL WEST ELEVATION
SCALE: 3/64"=1'-0"



3 OVERALL SOUTH ELEVATION [32 AVENUE]
SCALE: 3/64"=1'-0"



4 OVERALL NORTH ELEVATION [33 AVENUE]
SCALE: 3/64"=1'-0"



5 GAS METER GATE ELEVATION
SCALE: 3/4"=1'-0"

- MATERIAL LEGEND**
- ◆ CONCRETE SANDWICH TILT-UP WALL PANEL, TYP. - PAINTED
 - ◆ REVEAL IN CONCRETE - PAINTED
 - ◆ PANEL JOINT
 - ◆ PRE-FINISHED METAL GAP FLASHING
 - ◆ STOREFRONT FRAMES - CLEAR ANODIZED ALUMINUM
 - ◆ STOREFRONT GLASS - CLEAR
 - ◆ STEEL HANDDOORS - PAINTED
 - ◆ STEEL SECTIONAL OVERHEAD DOORS - PAINTED
 - ◆ STEEL GUARDRAILS - PAINTED
 - ◆ CONCRETE RETAINING WALLS - NATURAL FINISH UNPAINTED TYP.
 - ◆ LIGHT FIXTURE - SEE ELECTRICAL DWS'S
 - ◆ ALUMINUM FRAME WITH 4" EXTENDED COVER/GAP, SEE DETAILS
 - ◆ 3/4" RECESS IN CONCRETE
 - ◆ SPANDREL GLAZING (OBSCURE, TO MATCH VISION GLASS)
 - ◆ SCUPPER
 - ◆ METAL CLAD CANOPY
 - ◆ STEEL BOLLARD - PAINTED
 - ◆ CONCRETE CURB UNDER, PAINTED
 - ◆ STEEL CANOPY, PAINTED
 - ◆ LONGBOARD SIDING / SOFFIT - CORDOBA CHERRY
 - ◆ HORIZONTAL METAL CLADDING
 - ◆ ACM CANOPY - PAINTED

- NOTE**
- NOT ALL MATERIALS ARE APPLICABLE
- ◆ SPANDREL GLAZING
 - ◆ HORIZONTAL METAL CLADDING 1/2" X 1/2" X 1/8"
 - ◆ LONGBOARD SIDING/SOFFIT
 - ◆ CORRUGATED METAL CLADDING, GALVALUM FINISH - OR APPROVED EQUAL
 - ◆ CORDOBA CHERRY 4" V-GROOVE

- PROJECT COLOURS**
- ALL COLOURS BENJAMIN MOORE:
- ① MAIN FIELD COLOUR 1: 2152-10 (MINERAL ICE)
 - ② FIELD ACCENT COLOUR 1: 2152-40 (ECLIPSE)
 - ③ FIELD ACCENT COLOUR 2: 2152-10 (BLACK)
 - ④ FIELD ACCENT COLOUR 3: 2001-10 (RUBY RED)
- EXTERIOR GUARDRAILS: POWDER COAT BLACK VELVET
ALUMINUM STOREFRONT MULLIONS: CLEAR ANODIZED ALUMINUM
(SEE ELEVATIONS FOR LOCATIONS)
TYPICAL GLAZING: CLEAR LOW E ASHRAE 90.1 2010 COMPLIANT
TYPICAL METAL GAP FLASHING: CHARCOAL GC8306
SPANDREL: BLACK-GRAY

PAINTING:

ALL MATERIALS AND WORK SHALL CONFORM TO THE STANDARDS OF THE CANADIAN PAINTING CONTRACTORS ASSOCIATION.

FOR THE PAINTING OF CONCRETE SURFACES THE MAXIMUM MOISTURE CONTENT OF THE CONCRETE SURFACE SHALL BE 4% FOR ANY EPOXY PAINT

IT IS THE RESPONSIBILITY OF THE PAINTING CONTRACTOR TO ENSURE COMPATIBILITY BETWEEN CONCRETE BOND BREAKERS AND PAINT OR PRIMERS. IT IS ALSO THE PAINTING CONTRACTORS RESPONSIBILITY TO FOLLOW ALL APPLICATIONS & PREPARING PROCEDURES AS ADVISED BY THE BOND BREAKER MANUFACTURER.

THE PAINTING CONTRACTOR IS TO EXAMINE ALL SURFACES TO BE PAINTED BEFORE COMMENCING WORK AND REPORT ALL DEFECTS TO THE GENERAL CONTRACTOR. DO NOT PAINT SURFACES UNTIL ACCEPTED BY THE GENERAL CONTRACTOR. REMOVE ALL LOOSE MATERIAL, FOREIGN MATTER, REMOVE OIL OR GREASE WITH TSP, WASH, RINSE AND LET DRY.

PROTECT ALL OTHER SURFACES DURING PAINTING.

ALL EXTERIOR PAINT COLOURS PER LEGEND ON ELEVATIONS, AND TO BE APPROVED BY THE GENERAL CONTRACTOR OR OWNER. PAINTING SUBCONTRACTOR TO PAINT A 20'X20' TEST PATCH ON WALL FOR APPROVAL BEFORE PAINTING REMAINDER OF BUILDING.

ALL INTERIOR COLOURS BY INTERIOR DESIGNER OR OWNER (EXCEPT AS NOTED FOR SAFETY). PAINTING CONTRACTOR TO CONFIRM COLOURS BEFORE COMMENCING WORK.

PAINT SURFACES AS FOLLOWS:

- 1) CONCRETE TILT-UP WALLS - PAINT EXTERIOR FACE ONLY WITH 2 COATS OF ACRYLIC LATEX APPLIED PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
- 2) DRYWALL SURFACES - TO BE PAINTED WITH 2 COATS LATEX PAINT.
- 3) METAL DOORS AND FRAMES, AND OTHER METAL SURFACES - 1 COAT ALKYL PRIMER, 2 COATS OF ALKYL ENAMEL.
- 4) WOODWORK - 1 COAT SEALER, 2 COATS SEMI GLOSS FINISH.

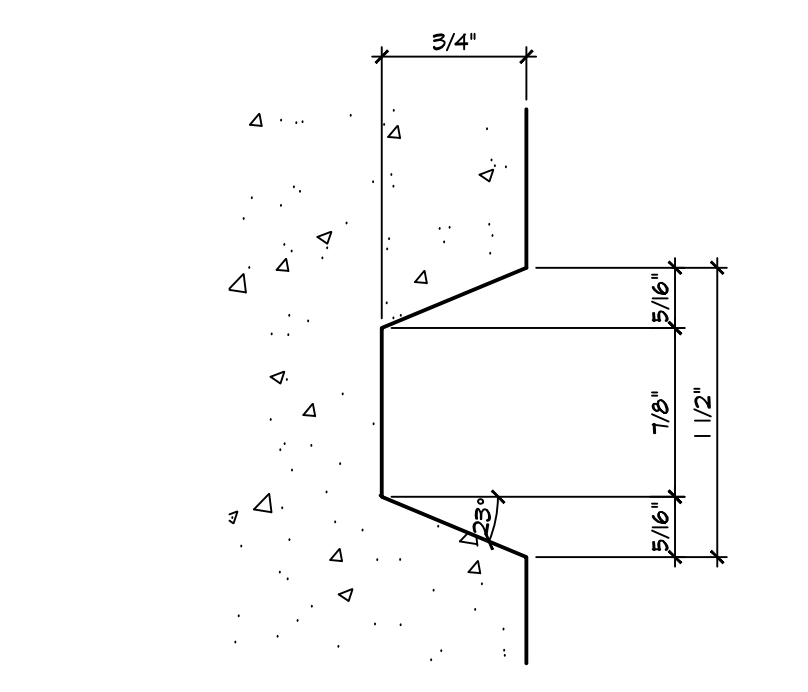
ALL PAINT TO BE BENJAMIN MOORE OR APPROVED EQUAL.

ALL EXTERIOR SURFACES AND ALL EXPOSED INTERIOR SURFACES IN FINISHED AREA TO BE PAINTED, CONFIRM WITH GENERAL CONTRACTOR AS REQUIRED.

OWNER TO CONFIRM IF INTERIOR SIDE OF WAREHOUSE WALLS AND/OR JOISTS AND DECK TO BE PAINTED.

NOTES:

- ALL GLAZING TO BE ASHRAE 90.1 2010 COMPLIANT, PROVIDE ALL REQUIRED DOCUMENTATION.
- EXTERIOR GLAZING TO BE GUARDIAN S6X 62/21 OR APPROVED EQUAL. IN THERMALLY BROKEN, CLEAR ANODIZED ALUMINUM FRAMES. THE LOW E SEALED GLAZING WILL BE FILLED WITH ARGON.



5 TYP. REVEAL DETAIL
SCALE: FULL SCALE

CHIP BARRETT ARCHITECT
1162 - 2228 162 STREET, SURREY, B.C. V3Z 6P4
IN ASSOCIATION WITH

D.FORCE DESIGN INC.
2625A ALLIANCE STREET, ABBOTSFORD, B.C. V2S 3J9
TEL: (604) 607-5655 EMAIL: DARYL@DFORCE.CA

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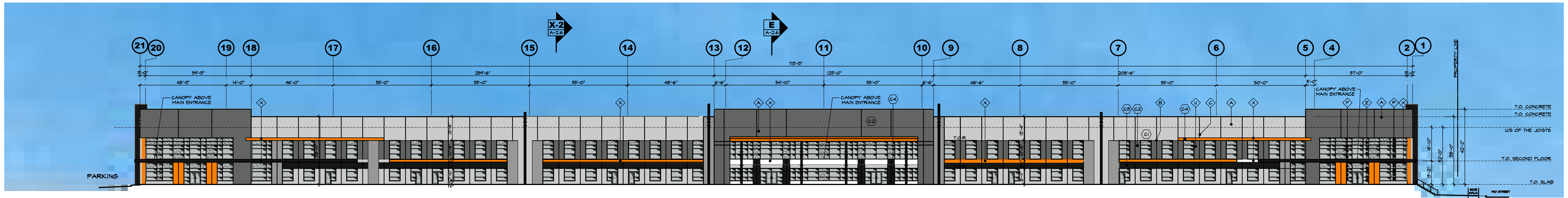
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6	MAR 01.18	FOR PLANNING REVIEW
5	DEC.13.17	ISSUED FOR REVIEW
4	NOV 24.17	PLANNING REVIEW
3	NOV 16.17	PLANNING REVIEW
2	SEP.14.17	RE-ISSUED FOR D.P.
1	JUN.26.17	ISSUED FOR D.P.
NO.	DATE	DESCRIPTION

PROJECT: PROPOSED OFFICE-WAREHOUSE COMPLEX FOR:
DIVERSIFIED MANAGEMENT INC. BUILDING 1
ADDRESS: 192 ST. & 32 AVE, SURREY, B.C.

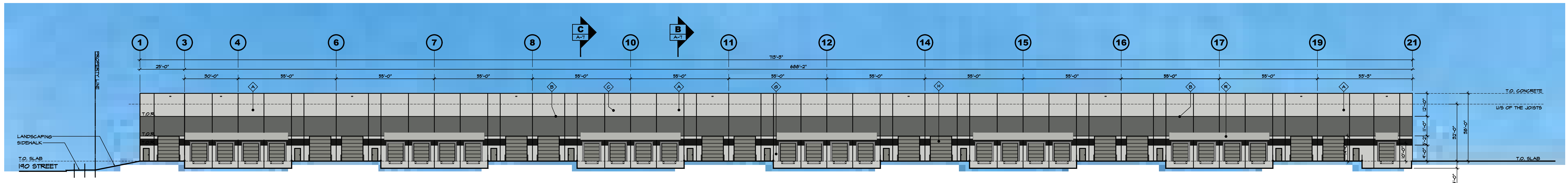
COLOUR ELEVATIONS

SEAL	JOB NO. 15-112	DRAWN D.F.
	DESIGNED D.F.	
	CHECKED C.B.	
	PLOT DATE MAR.01.18	

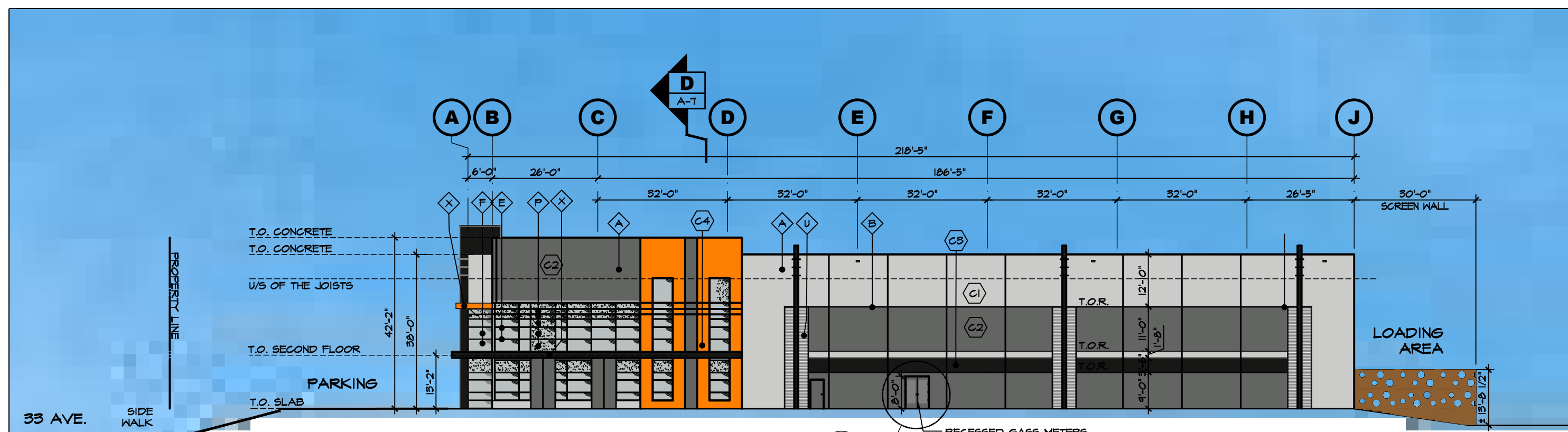
PROJECT - DRAWING NUMBER REV
A-1.8c 6



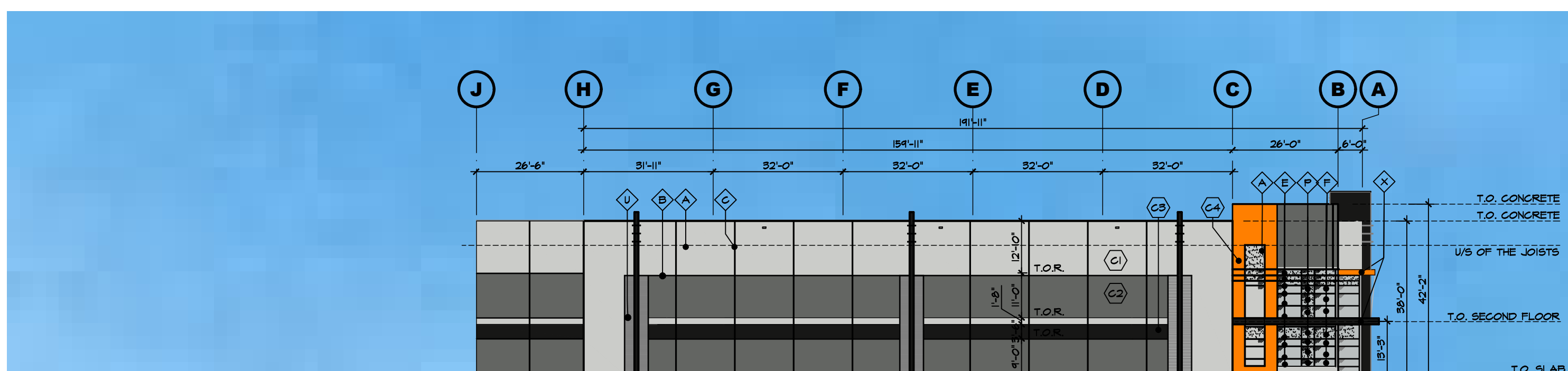
1 NORTH ELEVATION [33 AVENUE]
SCALE: 3/8"=1'-0"



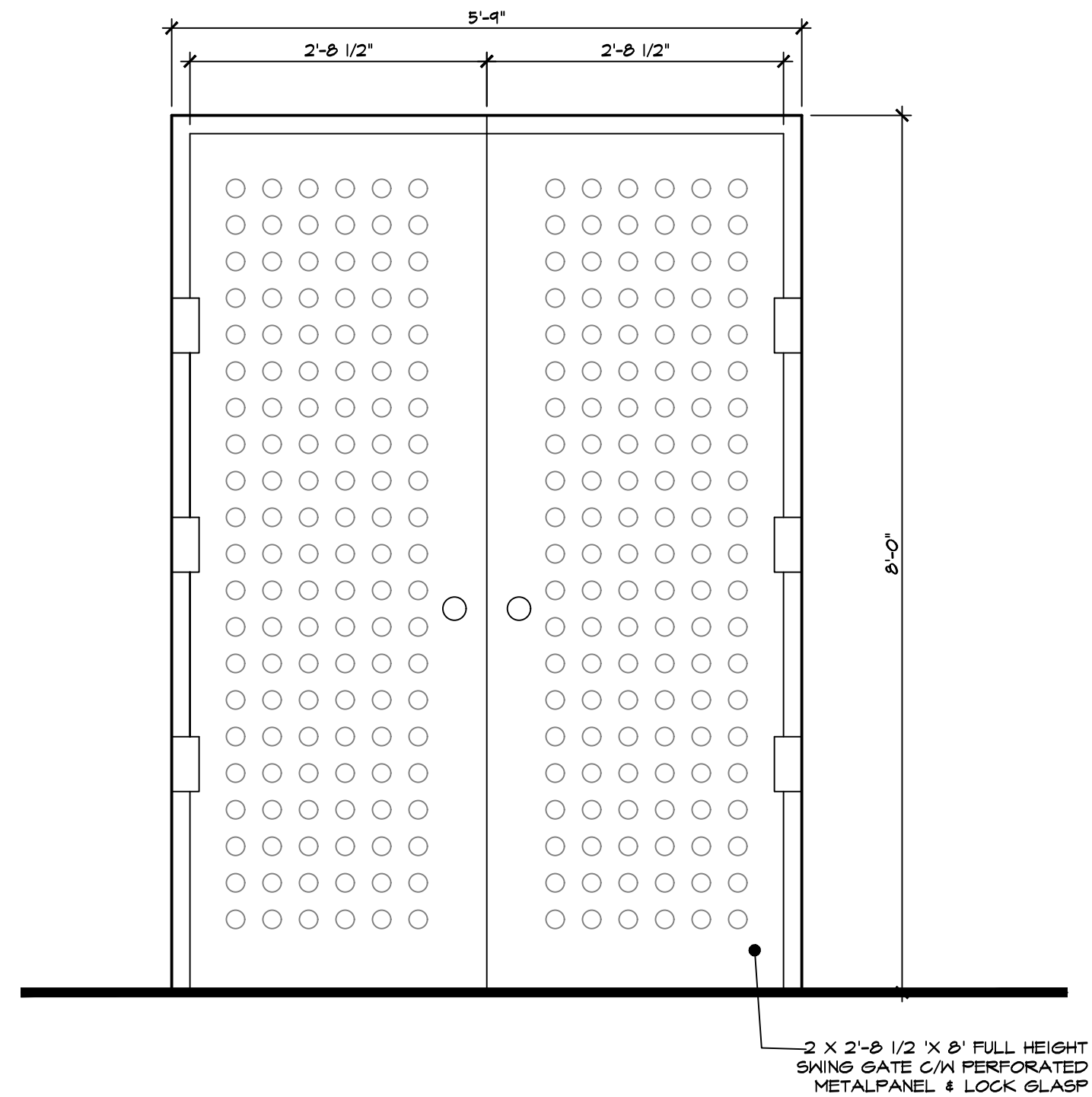
2 SOUTH ELEVATION
SCALE: 3/8"=1'-0"



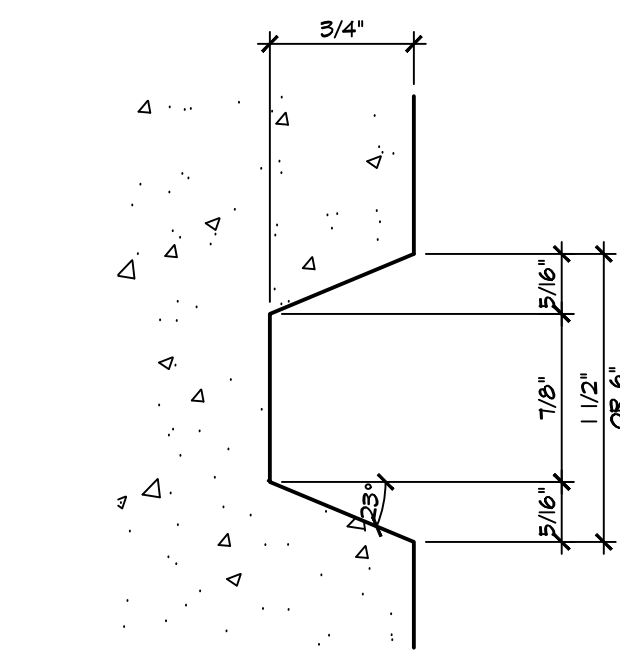
3 WEST ELEVATION [190 STREET]
SCALE: 3/8"=1'-0"



4 EAST ELEVATION
SCALE: 3/8"=1'-0"



5 GAS METER GATE ELEVATION
SCALE: 3/4"=1'-0"



5 TYPICAL REVEAL
NOT TO SCALE

PAINTING:
ALL MATERIALS AND WORK SHALL CONFORM TO THE STANDARDS OF THE CANADIAN PAINTING CONTRACTORS ASSOCIATION.
FOR THE PAINTING OF CONCRETE SURFACES THE MAXIMUM MOISTURE CONTENT OF THE CONCRETE SURFACE SHALL BE 4% FOR ANY EPOXY PAINT.
IT IS THE RESPONSIBILITY OF THE PAINTING CONTRACTOR TO ENSURE COMPATIBILITY BETWEEN CONCRETE BOND BREAKER AND PAINT OR PRIMER. IT IS ALSO THE PAINTING CONTRACTORS RESPONSIBILITY TO FOLLOW ALL APPLICATIONS & PREPAINTING PROCEDURES AS ADVISED BY THE BOND BREAKER MANUFACTURER.
THE PAINTING CONTRACTOR IS TO EXAMINE ALL SURFACES TO BE PAINTED BEFORE COMMENCING WORK AND REPORT ALL DEFECTS TO THE GENERAL CONTRACTOR. DO NOT PAINT SURFACES UNTIL ACCEPTED BY THE GENERAL CONTRACTOR. REMOVE ALL LOOSE MATERIAL, FOREIGN MATTER, REMOVE OIL OR GREASE WITH TSP, WASH, RINSE AND LET DRY.
PROTECT ALL OTHER SURFACES DURING PAINTING.
ALL EXTERIOR PAINT COLOURS PER LEGEND ON ELEVATIONS, AND TO BE APPROVED BY THE GENERAL CONTRACTOR OR OWNER. PAINTING SUBCONTRACTOR TO PAINT A 20x20" TEST PATCH ON HALL FOR APPROVAL BEFORE PAINTING REMAINDERS OF BUILDING.
ALL INTERIOR COLOURS BY INTERIOR DESIGNER OR OWNER (EXCEPT AS NOTED FOR SAFETY). PAINTING CONTRACTOR TO CONFIRM COLOURS BEFORE PAINTING.
PAINT SURFACES AS FOLLOWS:
1) CONCRETE TILT-UP WALLS - PAINT EXTERIOR FACE ONLY WITH 2 COATS OF ACRYLIC LATEX APPLIED PER MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS.
2) DRYWALL SURFACES - TO BE PAINTED WITH 2 COATS LATEX PAINT.
3) METAL DOORS AND FRAMES, AND OTHER METAL SURFACES - 1 COAT ALKYL PRIMER, 2 COATS OF ALKYL DOWNE.
4) WOODWORK - 1 COAT SEALER, 2 COATS SEMI GLOSS FINISH.
ALL PAINT TO BE BENJAMIN MOORE OR APPROVED EQUAL.
ALL EXTERIOR SURFACES AND ALL EXPOSED INTERIOR SURFACES IN FINISHED AREA TO BE PAINTED, CONFIRM WITH GENERAL CONTRACTOR AS REQUIRED.
OWNER TO CONFIRM IF INTERIOR SIDE OF WAREHOUSE HALLS AND OR JOISTS AND DECK TO BE PAINTED.

MATERIAL LEGEND

◊	CONCRETE TILT-UP WALL TYP. - PAINTED
◊	REVEAL IN CONCRETE - PAINTED
◊	PANEL JOINT
◊	PRE-FINISHED METAL CAP FLASHING
◊	STOREFRONT FRAMES - CLEAR ANODIZED ALUMINUM
◊	STOREFRONT GLASS - CLEAR
◊	STEEL HANDDOORS - PAINTED
◊	STEEL SECTIONAL OVERHEAD DOORS - PAINTED
◊	STEEL GUARDRAILS - PAINTED
◊	CONCRETE RETAINING WALLS - NATURAL FINISH UNPAINTED TYP.
◊	LIGHT FIXTURE - SEE ELECTRICAL DWG'S
◊	CONCRETE STAIR W/ STEEL PIPE GUARDRAIL
◊	5/4" RECESS IN CONCRETE
◊	SPANDREL GLAZING (OBSCURE TO MATCH VISION GLASS)
◊	SUPPER
◊	METAL GLAD CANOPY
◊	STEEL BOLLARD - PAINTED
◊	CONCRETE CURB UNDER PAINTED
◊	HORIZONTAL METAL CLADDING
◊	STEEL CANOPY, PAINTED
◊	LONGBOARD SIDING, FLOATING SYSTEM, WHITE OAK
◊	AGM CANOPY - PAINTED

NOTE:
- NOT ALL MATERIALS ARE APPLICABLE
◊ SPANDREL GLAZING
◊ HORIZONTAL METAL CLADDING VIGNET 1/8" CORRUGATED METAL CLADDING

EXISTING GRADE
PROPOSED GRADE

PROJECT COLOURS
ALL COLOURS TO BE BENJAMIN MOORE:

◊	MAIN FIELD COLOUR 1: ICE HSBY (00-67)
◊	FIELD ACCENT COLOUR 2: GULL HING GRAY (2184-60)
◊	FIELD ACCENT COLOUR 3: HOLE GRAY (2184-40)
◊	FIELD ACCENT COLOUR 4: FESTIVE ORANGE (2014-10)

EXTERIOR GUARDRAILS: BLACK POWDER COAT
ALUMINUM STOREFRONT MULLIONS: CLEAR ANODIZED ALUMINUM
TYPICAL GLAZING: CLEAR (LOW E AND / OR ASHRAE 40) 20% COMPLIANT
SPANDREL GLAZING COLOUR: TYPICAL METAL CAP FLASHING: BLACK
REGENT GRAY (0007-90)

NOTE: CONFIRM ALL COLOURS & FINISHES WITH THE OWNER PRIOR TO FABRICATION &/OR PAINTING

CHIP BARRETT ARCHITECT
1162 - 2228 162ND STREET, SURREY, B.C., V3Z 6P4
IN ASSOCIATION WITH
D.FORCE DESIGN INC.
2025A ALLIANCE STREET, ABBOTSFORD, B.C., V2S 3J9
TEL: (604) 607-5655 EMAIL: DARDY@DFORCE.CA

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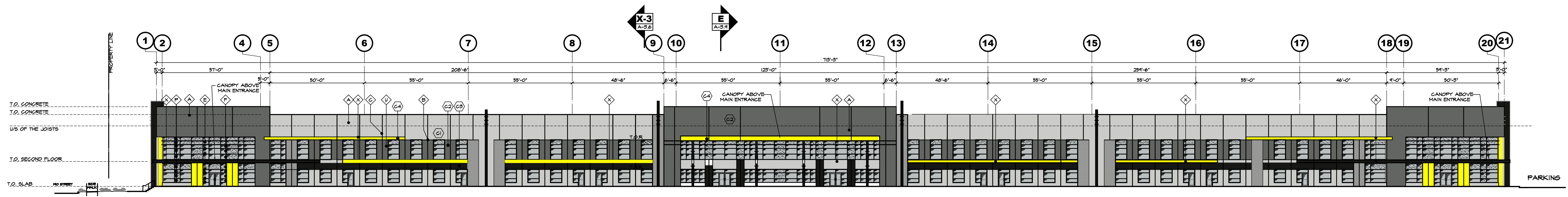
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3	MAR 01 18	FOR PLANNING REVIEW
2	DEC 13 17	ISSUED FOR REVIEW
1	NOV 24 17	PLANNING REVIEW
NO.	DATE	DESCRIPTION

PROJECT PROPOSED
OFFICE-WAREHOUSE COMPLEX FOR
DIVERSIFIED MANAGEMENT INC. BUILDING 2
ADDRESS: 190 ST. & 33 AVE., SURREY, B.C.

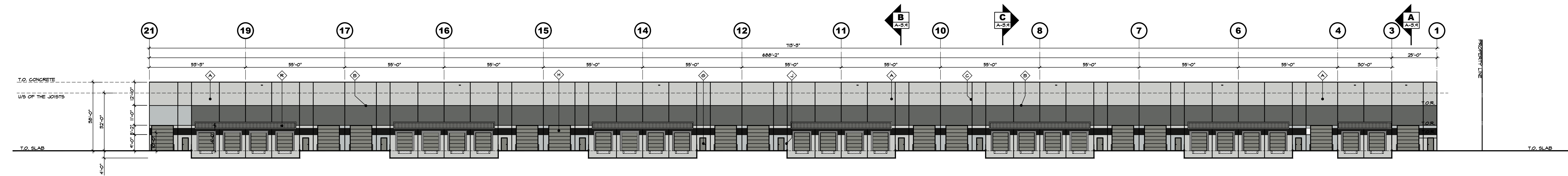
DRAWING
OVERALL ELEVATIONS

SEAL	JOB NO. 15-112	DRAWN D.F.
	DESIGNED	
	CHECKED C.B.	
	PLOT DATE MAR 01 18	

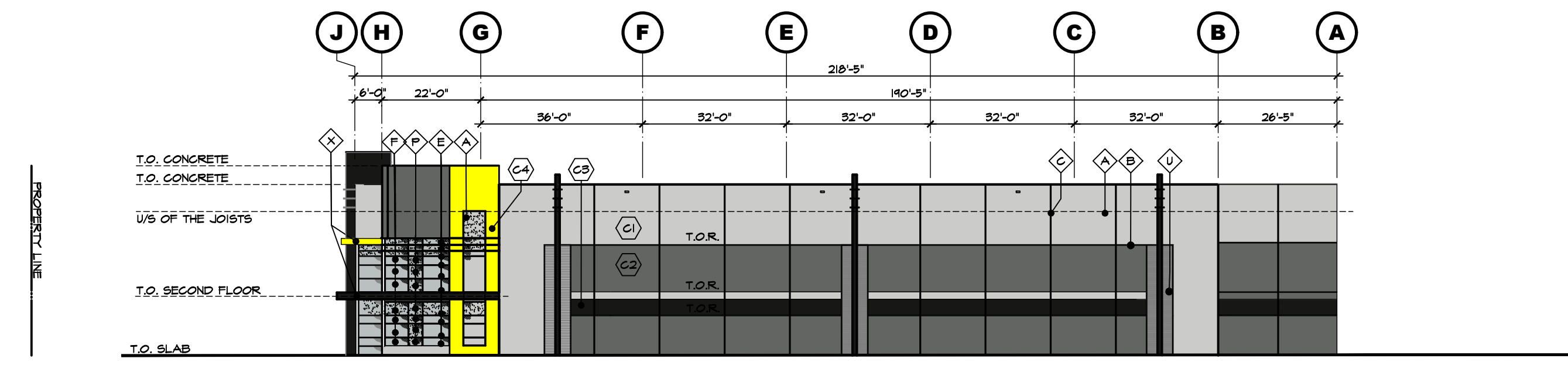
PROJECT - DRAWING NUMBER **A-2.7c** REV **3**



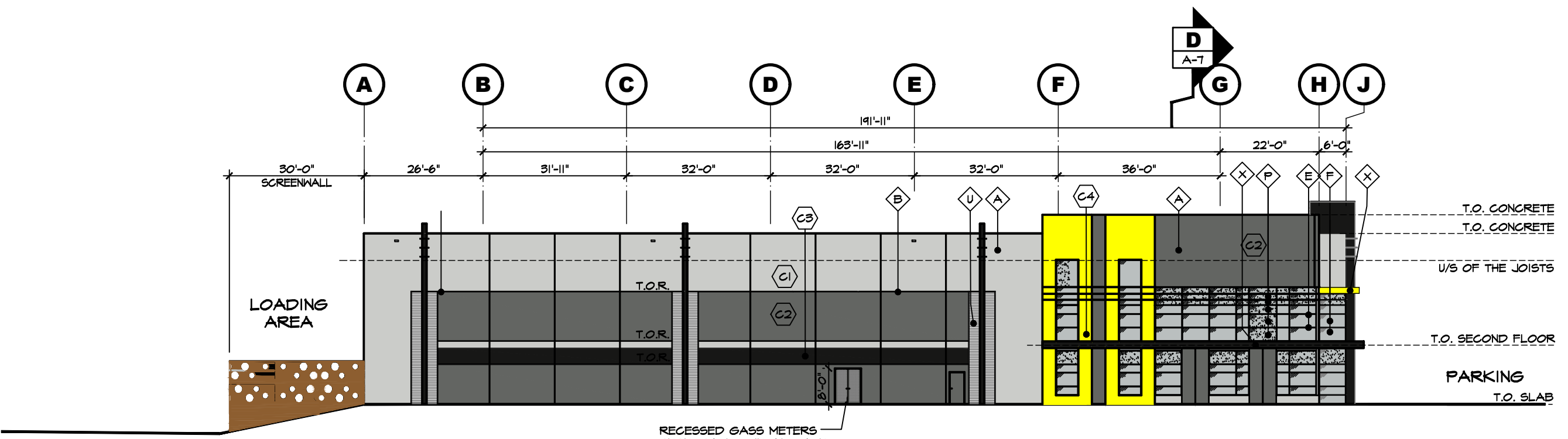
1 SOUTH ELEVATION [32 AVENUE]
SCALE: 3/8"=1'-0"



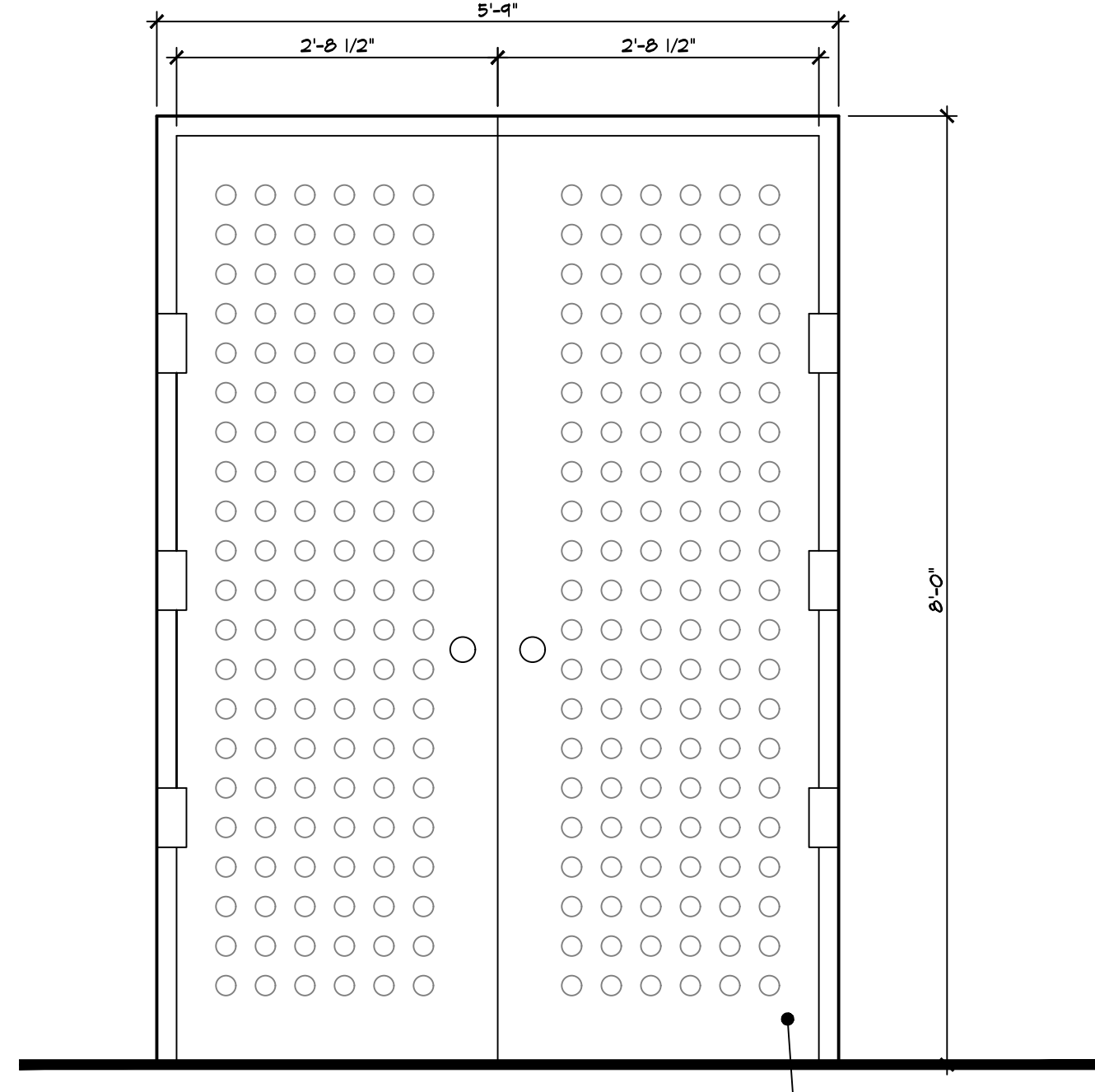
2 NORTH ELEVATION
SCALE: 3/8"=1'-0"



3 EAST ELEVATION
SCALE: 3/8"=1'-0"



4 WEST ELEVATION [190 STREET]
SCALE: 3/8"=1'-0"



5 GAS METER GATE ELEVATION
SCALE: 3/4"=1'-0"

5 TYPICAL REVEAL
NOT TO SCALE

PAINTING:
ALL MATERIALS AND WORK SHALL CONFORM TO THE STANDARDS OF THE CANADIAN PAINTING CONTRACTORS ASSOCIATION.
FOR THE PAINTING OF CONCRETE SURFACES THE MAXIMUM MOISTURE CONTENT OF THE CONCRETE SURFACE SHALL BE 4% FOR ANY EPOXY PAINT.
IT IS THE RESPONSIBILITY OF THE PAINTING CONTRACTOR TO ENSURE COMPATIBILITY BETWEEN CONCRETE BOND BREAKER AND PAINT OR PRIMER. IT IS ALSO THE PAINTING CONTRACTORS RESPONSIBILITY TO FOLLOW ALL APPLICATIONS & PREPAINTING PROCEDURES AS ADVISED BY THE BOND BREAKER MANUFACTURER.
THE PAINTING CONTRACTOR IS TO EXAMINE ALL SURFACES TO BE PAINTED BEFORE COMMENCING WORK AND REPORT ALL DEFECTS TO THE GENERAL CONTRACTOR. DO NOT PAINT SURFACES UNTIL ACCEPTED BY THE GENERAL CONTRACTOR. REMOVE ALL LOOSE MATERIAL, FOREIGN MATTER, REMOVE OIL OR GREASE WITH TSP, WASH, RINSE AND LET DRY.
PROTECT ALL OTHER SURFACES DURING PAINTING.
ALL EXTERIOR PAINT COLOURS PER LEGEND ON ELEVATIONS, AND TO BE APPROVED BY THE GENERAL CONTRACTOR OR OWNER. PAINTING SUBCONTRACTOR TO PAINT A 200x200 TEST PATCH ON WALL FOR APPROVAL BEFORE PAINTING REMAINDER OF BUILDING.
ALL INTERIOR COLOURS BY INTERIOR DESIGNER OR OWNER (EXCEPT AS NOTED FOR SAFETY). PAINTING CONTRACTOR TO CONFIRM COLOURS BEFORE COMMENCING WORK.
PAINT SURFACES AS FOLLOWS:
1) CONCRETE TILT-UP WALLS - PAINT EXTERIOR FACE ONLY WITH 2 COATS OF ACRYLIC LATEX APPLIED PER MANUFACTURERS SPECIFICATIONS AND INSTRUCTIONS.
2) DRYWALL SURFACES - TO BE PAINTED WITH 2 COATS LATEX PAINT.
3) METAL DOORS AND FRAMES, AND OTHER METAL SURFACES - 1 COAT ALKYL PRIMER, 2 COATS OF ALKYL ENAMEL.
4) WOODWORK - 1 COAT SEALER, 2 COATS SEMI GLOSS FINISH.
ALL PAINT TO BE BENJAMIN MOORE OR APPROVED EQUAL.
ALL EXTERIOR SURFACES AND ALL EXPOSED INTERIOR SURFACES IN FINISHED AREA TO BE PAINTED. CONFIRM WITH GENERAL CONTRACTOR AS REQUIRED.
OWNER TO CONFIRM IF INTERIOR SIDE OF WAREHOUSE WALLS AND OR JOISTS AND DECK TO BE PAINTED.

MATERIAL LEGEND

◊	CONCRETE TILT-UP HALL TYP. - PAINTED
◊	REVEAL IN CONCRETE - PAINTED
◊	PANEL JOINT
◊	PRE-FINISHED METAL GAP FLASHING
◊	STOREFRONT FRAMES - CLEAR ANODIZED ALUMINUM
◊	STOREFRONT GLASS - CLEAR
◊	STEEL HANDDOORS - PAINTED
◊	STEEL SECTIONAL OVERHEAD DOORS - PAINTED
◊	STEEL GUARDRAILS - PAINTED
◊	CONCRETE RETAINING WALLS - NATURAL FINISH UNPAINTED TYP.
◊	LIGHT FIXTURE - SEE ELECTRICAL DWGS
◊	CONCRETE STAIR W/ STEEL PIPE GUARDRAIL
◊	3/4" RECESS IN CONCRETE
◊	SPANDREL GLAZING (OPSCURE TO MATCH VISION GLASS)
◊	SCUPPER
◊	METAL GLAD CANOPY
◊	STEEL BOLLARD - PAINTED
◊	CONCRETE CURB UNDER PAINTED
◊	HORIZONTAL METAL CLADDING
◊	STEEL CANOPY, PAINTED
◊	LONGBOARD SIDING, FLOATING SYSTEM- WHITE OAK
◊	ACM CANOPY - PAINTED

NOTE:
- NOT ALL MATERIALS ARE APPLICABLE

◊	SPANDREL GLAZING	◊	HORIZONTAL METAL CLADDING VISIBLE TYP. CORNERED METAL CLADDING
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EXISTING GRADE
PROPOSED GRADE

PROJECT COLOURS
ALL COLOURS TO BE BENJAMIN MOORE:

◊	MAIN FIELD COLOUR 1: ICE HIBT (00-07)
◊	FIELD ACCENT COLOUR 1: GULL KING GRAY (2184-80)
◊	FIELD ACCENT COLOUR 2: HOLE GRAY (2184-40)
◊	FIELD ACCENT COLOUR 4: YELLOW (2022-10)

EXTERIOR GUARDRAILS:
ALUMINUM STOREFRONT MILLIONS:
TYPICAL GLAZING:
SPANDREL GLAZING COLOUR:
TYPICAL METAL GAP FLASHING:

◊	BLACK POWDER COAT
◊	CLEAR ANODIZED ALUMINUM
◊	CLEAR (LOW E AND / OR ASHRAE 90.1 2010 COMPLIANT)
◊	BLACK
◊	RESIDENT GREY (002180)

* NOTE: CONFIRM ALL COLOURS & FINISHES WITH THE OWNER PRIOR TO FABRICATION &/OR PAINTING

CHIP BARRETT ARCHITECT
1162 - 2228 162 STREET, SURREY, B.C., V3Z 6P4
IN ASSOCIATION WITH
D.FORCE DESIGN INC.
2628A ALLIANCE STREET, ABBOTSFORD, B.C., V2S 3J9
TEL: (604) 607-5655 EMAIL: DARRY@DFORCE.CA

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2	MAR 01 18	FOR PLANNING REVIEW
1	NOV 24 17	PLANNING REVIEW
NO.	DATE	DESCRIPTION

PROJECT PROPOSED
OFFICE-WAREHOUSE COMPLEX FOR:
DIVERSIFIED MANAGEMENT INC.
ADDRESS: 192 ST., SURREY, B.C.

BUILDING 3 OVERALL ELEVATIONS

SEAL	JOB NO. 15-112	DRAWN D.F.
	DESIGNED	
	CHECKED C.B.	
	PLOT DATE MAR 01 18	

PROJECT - DRAWING NUMBER **A-3.7c** REV **2**

PROPOSED: DIVERSIFIED MANAGEMENT, INC.

ADDRESS: 192nd ST. & 32nd AVE., Surrey, B.C.



ARCHITECTURAL DRAWING LIST - BUILDING 1

COVER SHEET	A-1.0
SITE PLAN BUILDING 1	A-1.1
SITE DETAILS	A-1.1a
SITE DETAILS	A-1.1b
OVERALL FLOOR PLAN	A-1.2
ROOF PLAN	A-1.7
OVERALL BUILDING ELEVATIONS	A-1.8
OVERALL BUILDING COLORED ELEVATIONS	A-1.8c
BUILDING SECTIONS	A-1.9

CHIP BARRETT ARCHITECT
1162 - 2228 162 STREET, SURREY, B.C. V3Z 6P4

D.FORCE DESIGN INC.
2625A ALLIANCE STREET, ABBOTSFORD, B.C. V2S 3J9
TEL: (604) 607-5655 EMAIL: DARYL@DFORCE.CA

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6	DEC 13 17	ISSUED FOR REVIEW
5	NOV 24 17	PLANNING REVIEW
4	NOV 16 17	PLANNING REVIEW
3	SEP 14 17	RE-ISSUED FOR D.P.
2	JUN 26 17	ISSUED FOR D.P.
1	JAN 13 17	PRELIMINARY REVIEW
NO.	DATE	DESCRIPTION

PROJECT:
PROPOSED
OFFICE-WAREHOUSE COMPLEX FOR:
**DIVERSIFIED MANAGEMENT INC.
BUILDING 1**

ADDRESS: 192 ST. & 32 AVE, SURREY, B.C.

DRAWING

**BUILDING 1
COVERSHEET**

SEAL	JOB NO. 15-112	DRAWN D.F.
	DESIGNED	
	CHECKED C.B.	
	PLOT DATE MAR 01 18	

PROJECT - DRAWING NUMBER
A-1.0

REV
7

PROPOSED:
DIVERSIFIED MANAGEMENT, INC.
ADDRESS: 32nd & 192nd ST., Surrey, B.C.



BUILDING 2

ARCHITECTURAL DRAWING LIST - BUILDING 2

COVER SHEET	_____	A-2.0
SITE PLAN	_____	A-2.1
SITE PLAN DETAILS	_____	A-2.1a
OVERALL GROUND AND UPPER FLOOR PLAN	_____	A-2.2
ROOF PLAN	_____	A-2.6
OVERALL BUILDING ELEVATIONS	_____	A-2.7
OVERALL BUILDING COLORED ELEVATIONS	_____	A-2.7c
BUILDING SECTIONS	_____	A-2.8

CHIP BARRETT ARCHITECT
1162 - 2228 162ND STREET, SURREY, B.C. V3Z 6P4
 IN ASSOCIATION WITH
D.FORCE DESIGN INC.
2625A ALLIANCE STREET, ABBOTSFORD, B.C. V2S 3J9
 TEL: (604) 607-5655 EMAIL: DARCY@DFORCE.CA

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4	DEC 13 17	ISSUED FOR REVIEW
3	NOV 24 17	PLANNING REVIEW
2	NOV 16 17	PLANNING REVIEW
1	OCT 31 17	PRELIMINARY REVIEW
NO.	DATE	DESCRIPTION

PROJECT: PROPOSED OFFICE-WAREHOUSE COMPLEX FOR:
DIVERSIFIED MANAGEMENT INC. BUILDING 2
 ADDRESS: 190 ST. & 33 AVE., SURREY, B.C.
 DRAWING:
COVERSHEET

SEAL	JOB NO. 15-112	DRAWN D.F.
	DESIGNED	
	CHECKED C.B.	
	PLOT DATE	MAR 01 18

PROJECT - DRAWING NUMBER **A-2.0** REV **5**

PROPOSED:
DIVERSIFIED MANAGEMENT, INC.
ADDRESS: 32nd & 192nd ST., Surrey, B.C.



BUILDING 3

ARCHITECTURAL DRAWING LIST - BUILDING 3

COVER SHEET	A-3.0
SITE PLAN	A-3.1
SITE PLAN DETAILS	A-3.1a
SITE PLAN DETAILS	A-3.1b
OVERALL GROUND FLOOR PLAN	A-3.2
ROOF PLAN	A-3.6
OVERALL BUILDING ELEVATIONS	A-3.7
OVERALL BUILDING COLORED ELEVATIONS	A-3.7c
BUILDING SECTIONS	A-3.9

CHIP BARRETT ARCHITECT
1162 - 2228 162ND STREET, SURREY, B.C. V3Z 6P4

D.FORCE DESIGN INC.
2625A ALLIANCE STREET, ABBOTSFORD, B.C. V2S 3J9
 TEL: (604) 607-5655 EMAIL: DARY@DFORCE.CA

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5	DEC 13 17	ISSUED FOR REVIEW
4	DEC 13 17	ISSUED FOR REVIEW
3	NOV 24 17	PLANNING REVIEW
2	NOV 16 17	PLANNING REVIEW
1	OCT 31 17	PRELIMINARY REVIEW
NO.	DATE	DESCRIPTION

PROJECT:
 PROPOSED
 OFFICE-WAREHOUSE COMPLEX FOR:
DIVERSIFIED MANAGEMENT INC. BUILDING 3
 ADDRESS: 190 ST. & 32 AVE., SURREY, B.C.

COVERSHEET

SEAL	JOB NO. 15-112	DRAWN D.F.
	DESIGNED	
	CHECKED C.B.	
	PLOT DATE MAR 01 18	



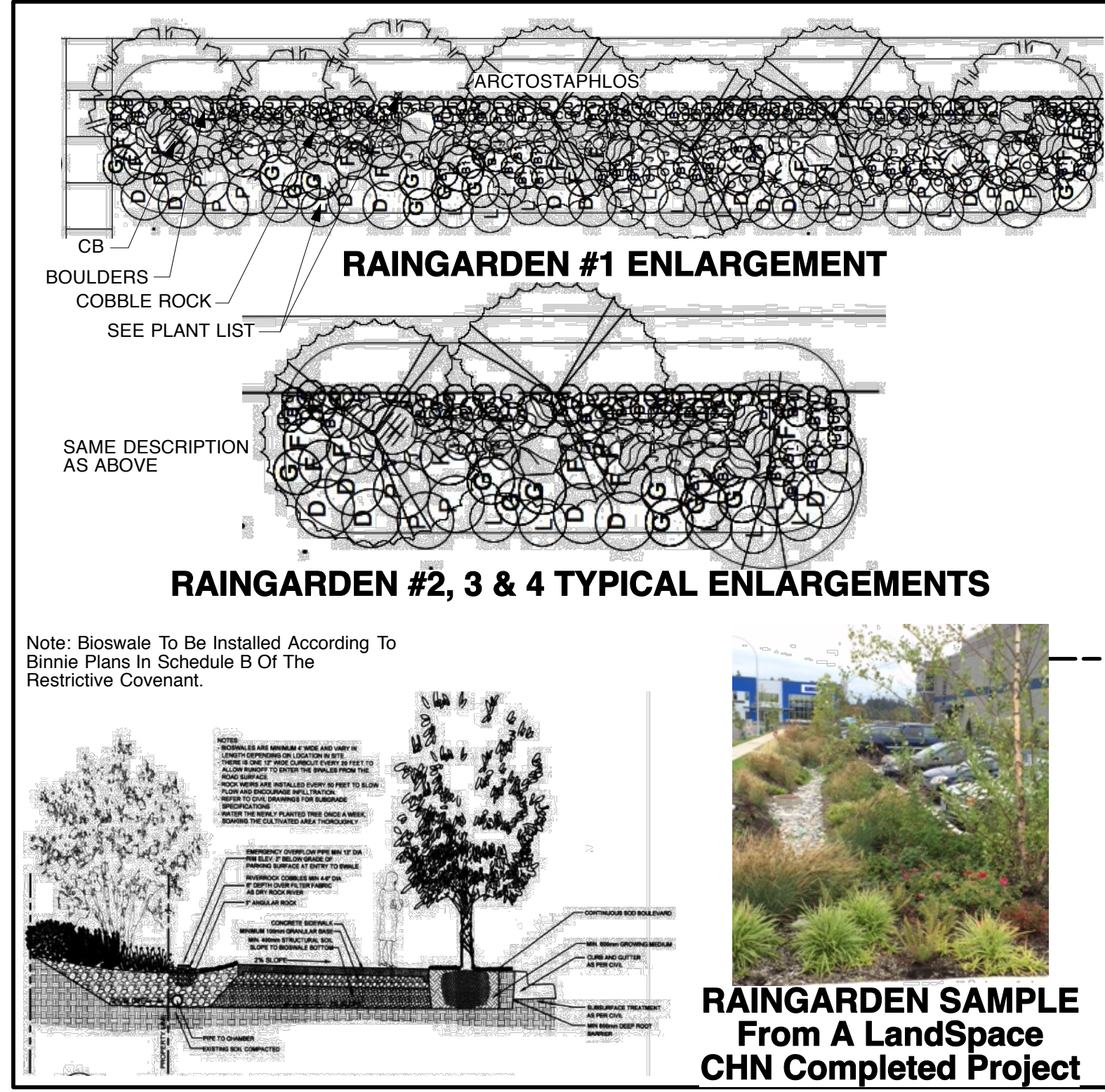
PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
Trees				
10	Acer rubrum 'Armstrong'	Columnar Maple Var.	6cm cal. / 2m std.	
3	Acer palmatum 'Osakasuki'	Japanese Maple Var.	3m ht. / 9-stem / match	
7	Betula papyrifera alt: Populus t. 'Erecta'	Paper Birch	5cm cal / 2m std	
9	Cornus x nuttallii 'Starlight'	Pacific Dogwood Var.	5cm cal. / 2m std.	
4	Chamaecyparis nootkatensis	Nootka Cypress	3m ht / spreading form	
3	Fagus sylvatica 'purpurea'	Copper Beech	7cm cal. / 2m std	
13	Fraxinus americana 'Autumn Purple'	Ash	6cm cal. / 2m std	
15	Liquidambar styraciflua 'Worpleston'	Sweet Gum	6cm cal. / 2 std	
9	Magnolia soulangiana 'Galaxy'	Saucer Magnolia Var.	5cm cal. / 2m std	
7	Picea abies	Norway Spruce	2.5m ht / nat. form	
13	Cercidiphyllum japonicum	Katsura Tree	6cm cal / 2m std.	
Shrubs				
310	Azalea japonica 'Rosebud'	Japanese Azalea	#2 pot	
5	Hydrangea macrophylla 'Blue Wave'	Hydrangea	#3 pot	
416	Lonicera pileata	Evergreen Honeysuckle	#2 pot	
11	Pieris japonica 'Forest Flame'	Japanese Andromeda	#3 pot	
30	Potentilla fruticosa 'Goldfinger'	Shrubby Cinquefoil Var.	#2 pot	
377	Prunus l. 'Otto Luyken'	Otto Luyken Laurel	#2 pot	
35	Photinia fraseri	Photinia	#3 pot	
16	Rhododendron 'Christmas Cheer'	Rhododendron (medium var.)	#3 pot	
13	Rhododendron 'Anna Rose Whitney'	Rhododendron (tall var.)	#3 pot	
98	Rosa mediland (various var's)	Hardy French Rose var.	#2 pot	
31	Sarcocococca hookerana humilis	Sweetbox	#2 pot	
12	Spirea x bumalda 'Pink Princess'	Spirea Var.	#2 pot	
32	Thuja occidentalis 'Smargd'	Emerald Green Cedar	1.2m ht	
7	Thuja occidentalis 'Smargd'	Hedging Cedar	2.5m ht	
48	Viburnum davidii	David's Viburnum	#2 pot	
4	Weigelia 'Bristol Ruby'	Weigelia	#3 pot	
Ground Covers/Perennials				
1245	Arctostaphylos uva-ursi	Vancouver Jade	10 cm pot / 45cm o.c. / heavy	
304	Erica darleyensis 'Kramer's Red'	Winter Heather	#1 pot / 45cm o.c.	
51	Hemocallis 'Stella d'Oro'	Daylily var	#1 pot	
166	Carex var.	Sedge Var.	#1 pot	

Notes:
 1. Specification as per most recent BCSLA/BC/LNA 'Landscape Standards' and LandSpace Design Inc. 'Spec Notes'.
 2. Plant material to be selected by Landscape Architect at nursery.
 3. Provide 2" Mulch All Planting Beds.

PLANT LIST - RAINGARDEN

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
Trees				
4	Acer circinatum	Vine Maple	1.5m ht, B&B; 3 stem clump	
6	Amelanchier x Grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5m ht, B&B	
6	Malus 'Red Jewel'	Crab Apple Var.	1.5m ht; B&B	
Shrubs				
23	Cornus Sericea 'Kelsey'	Kelsey Dogwood	#3 pot	
5	Philadelphus x Virginalis 'Dwarf Mock Org.'	Dwarf Snowflake Mock Orange	#3 pot	
Grass				
64	Carex 'Ice Dance'	Silver Variegated Sedge	#1 pot	
95	Juncus effusus	Common Rush	#1 pot	
15	Koeleria cristata	June Grass	#1 pot	
G.C.				
82	Blechnum spicant	Deerfern	#1 pot / 20cm	
173	Arctostaphylos uva-ursi	Kinnicknick	#1 pot / 20cm	
15	Cornus canadensis	Bunchberry	#1 pot / 20cm	
31	Gaultheria shallon	Salal	#1 pot / 20cm	
39	Lonicera pileata	Privet Honeysuckle	#1 pot / 25cm	
33	Polystichum munium	Western Sword Fern	#1 pot / 20cm	
15	Galium Odorum	Sweet Woodruff	#1 pot / 20cm	



BENCH MODELS
(Or Approved Equivalent)



VICTOR STANLEY 'RBW-28' (Wood Version)



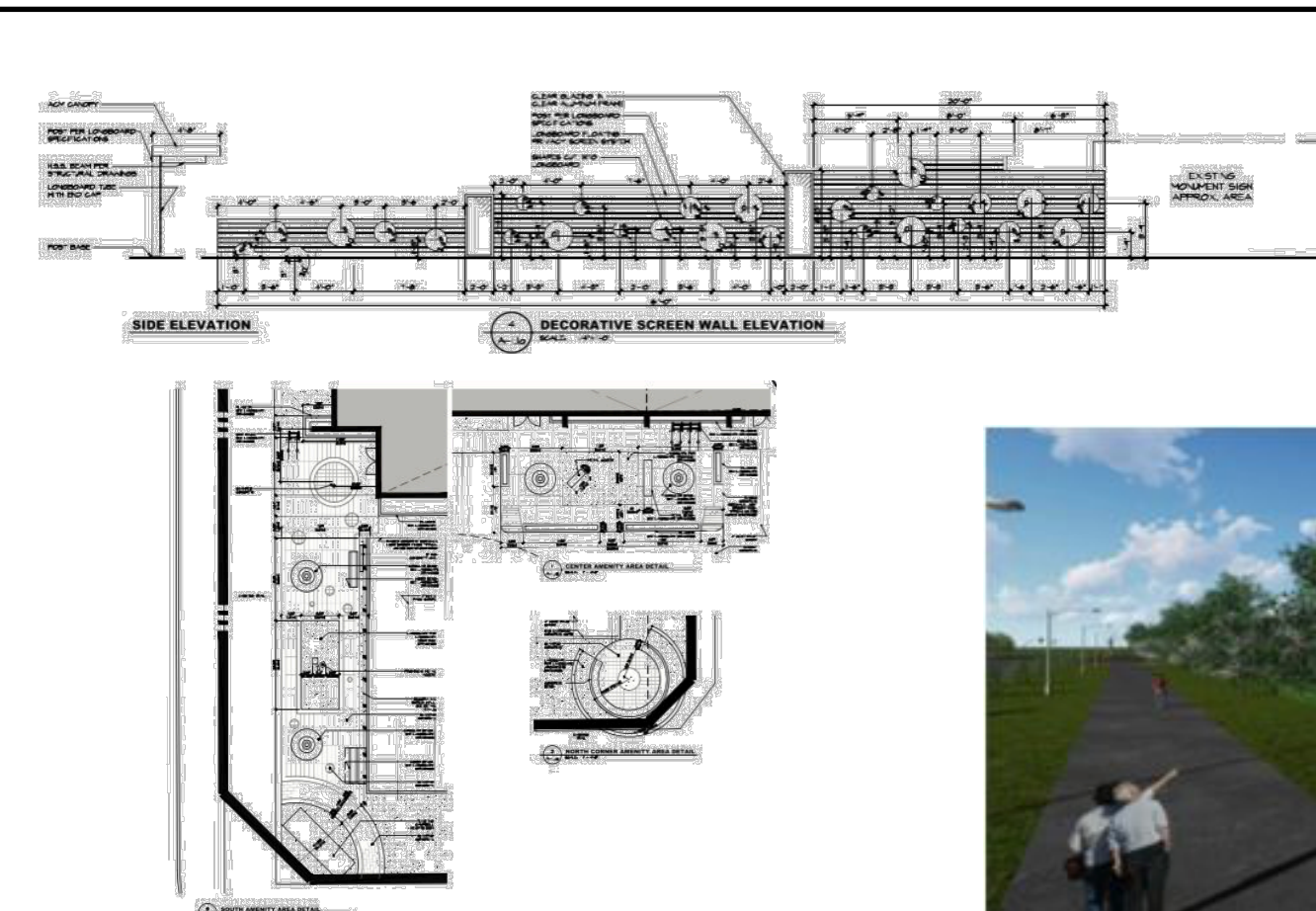
VICTOR STANLEY 'RB-28' (Metal Version)



VICTOR STANLEY 'NRBI-225' Circular Bench
Colour & Mount TBD



ADVANTAGE BIKERACK Ribbon Series
(Or Approved Equivalent)



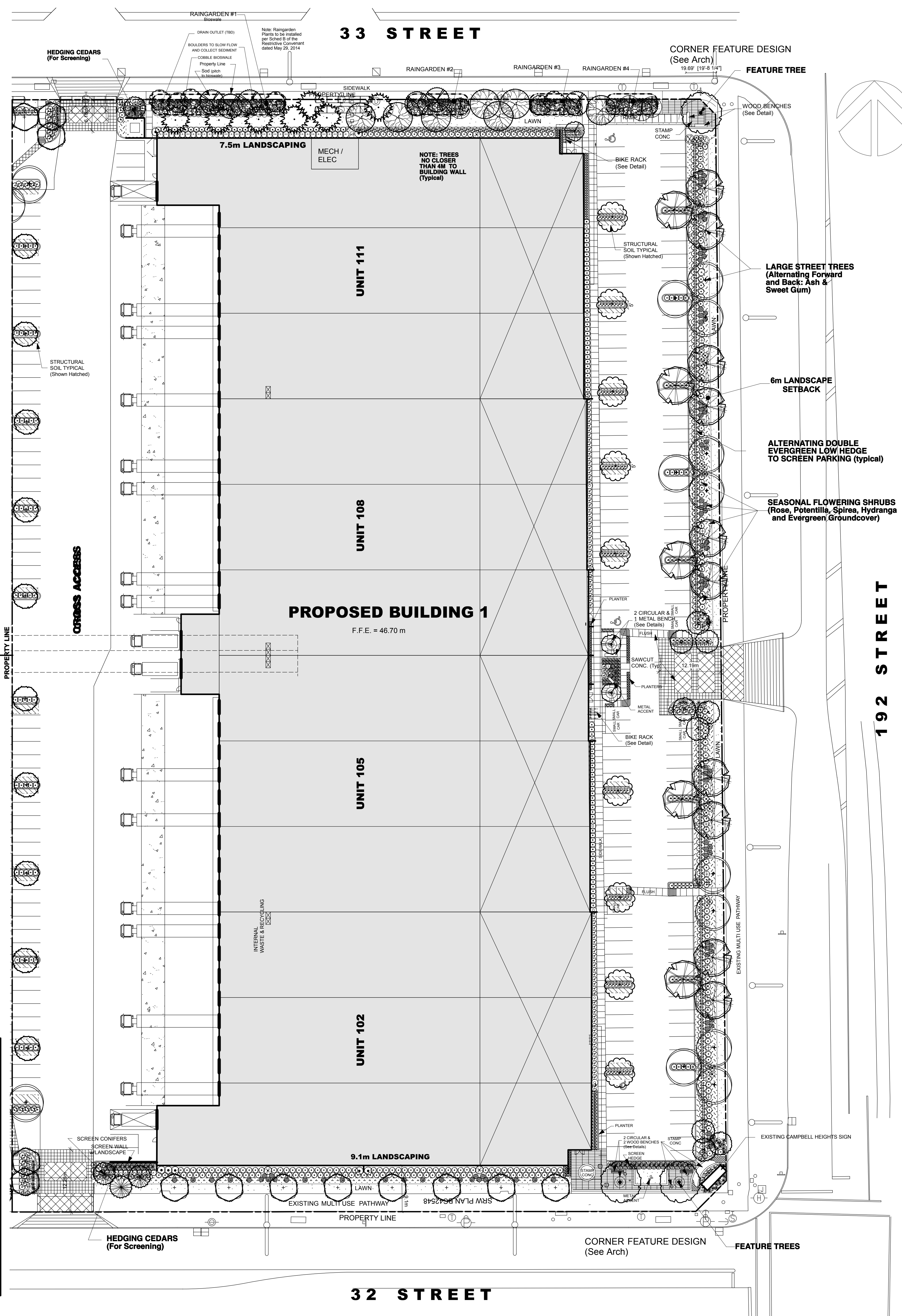
CORNER FEATURES
See Arch. For Details



NORTHEAST CORNER



SOUTHEAST CORNER



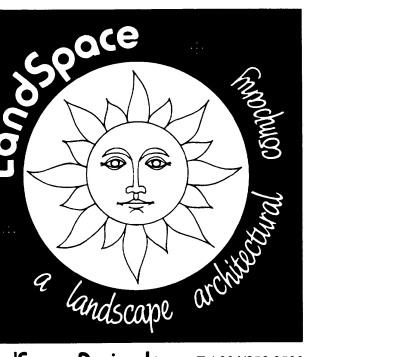
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2	MAR 23'18	ISSUE FOR DP
1	AUG 30'17	ISSUE FOR DP (DRG)
NO.	DATE	DESCRIPTION

PROJECT
 PROPOSED OFFICE-WAREHOUSE COMPLEX FOR:
DIVERSIFIED MANAGEMENT INC.
 ADDRESS: 192 STREET, SURREY, B.C.

DRAWING
BUILDING 1
LANDSCAPE PLAN
 SURREY FILE #79XX-XXXX-00

JOB NO. (DF)	DRAWN	ACT
SCALE:	1"=30'-0"	
PLOT DATE:	JULY 28'17	
PROJECT - DRAWING NUMBER	L-1	



LandSpace Design Inc. Tel: 604.272.8500
140 Columbia St. Suite 201, Vancouver, BC V6C 3K4

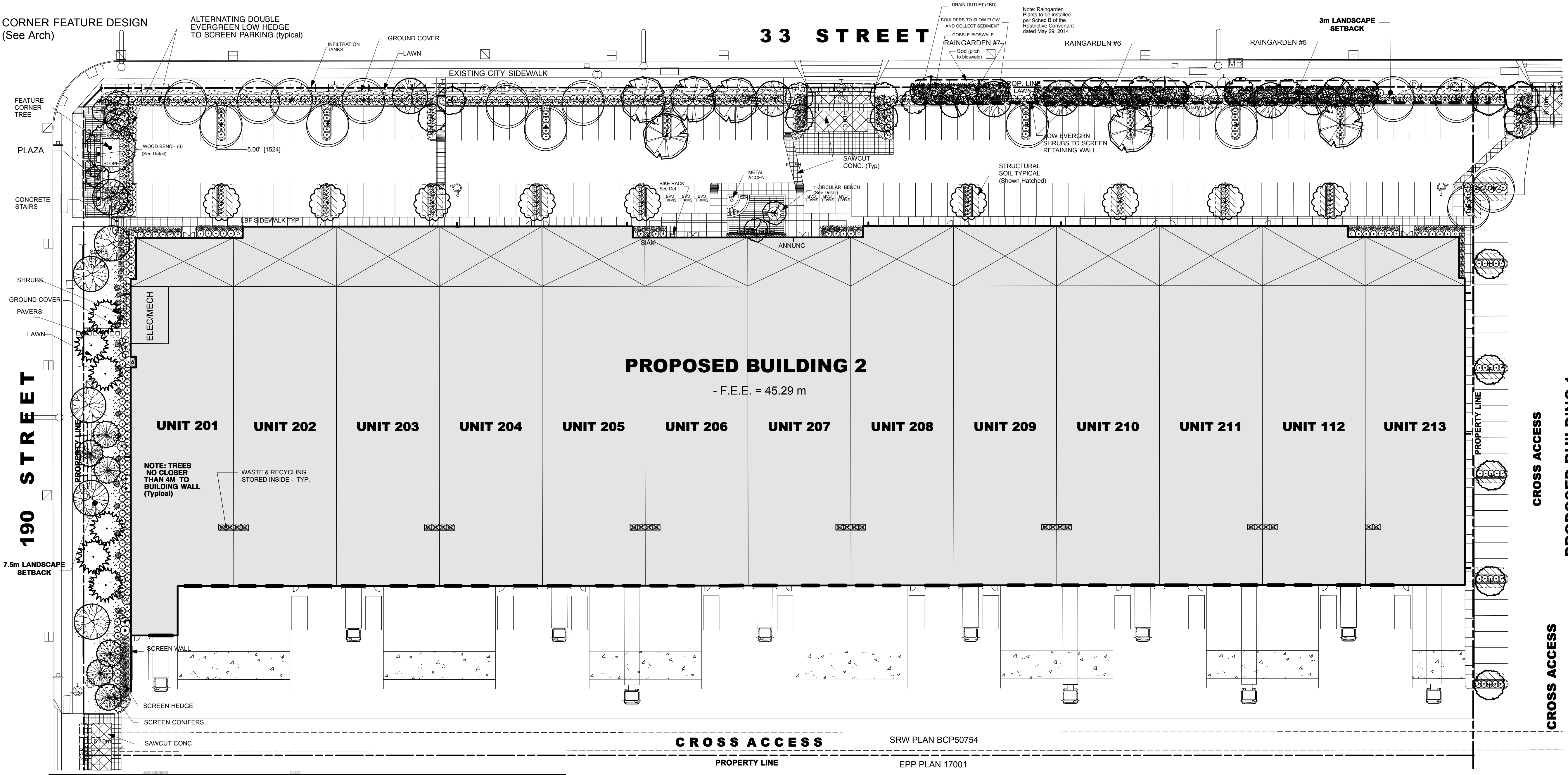
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NO.	DATE	DESCRIPTION
2	MAR 23'18	ISSUE FOR DP
1	AUG 30'17	ISSUE FOR DP (DRG)

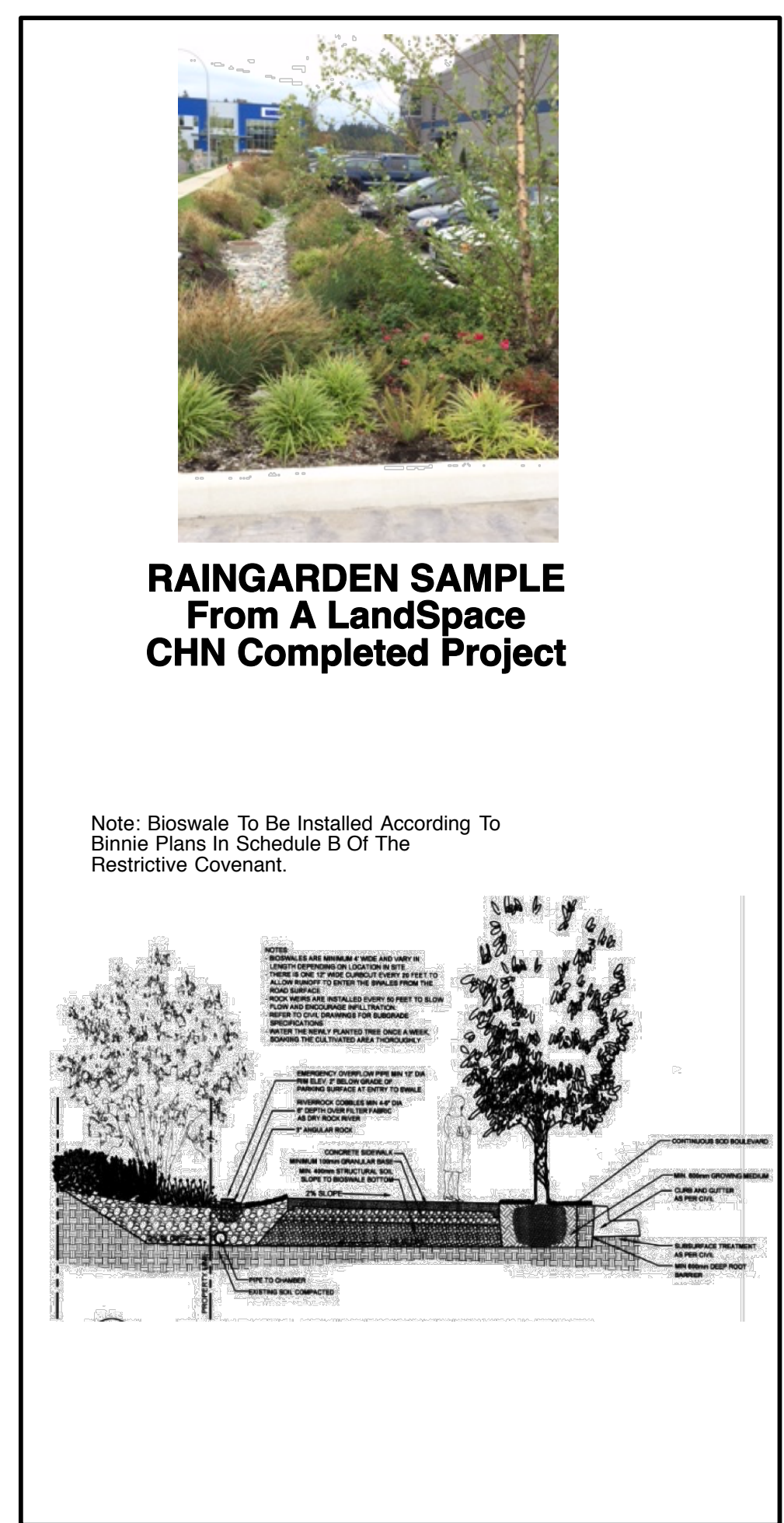
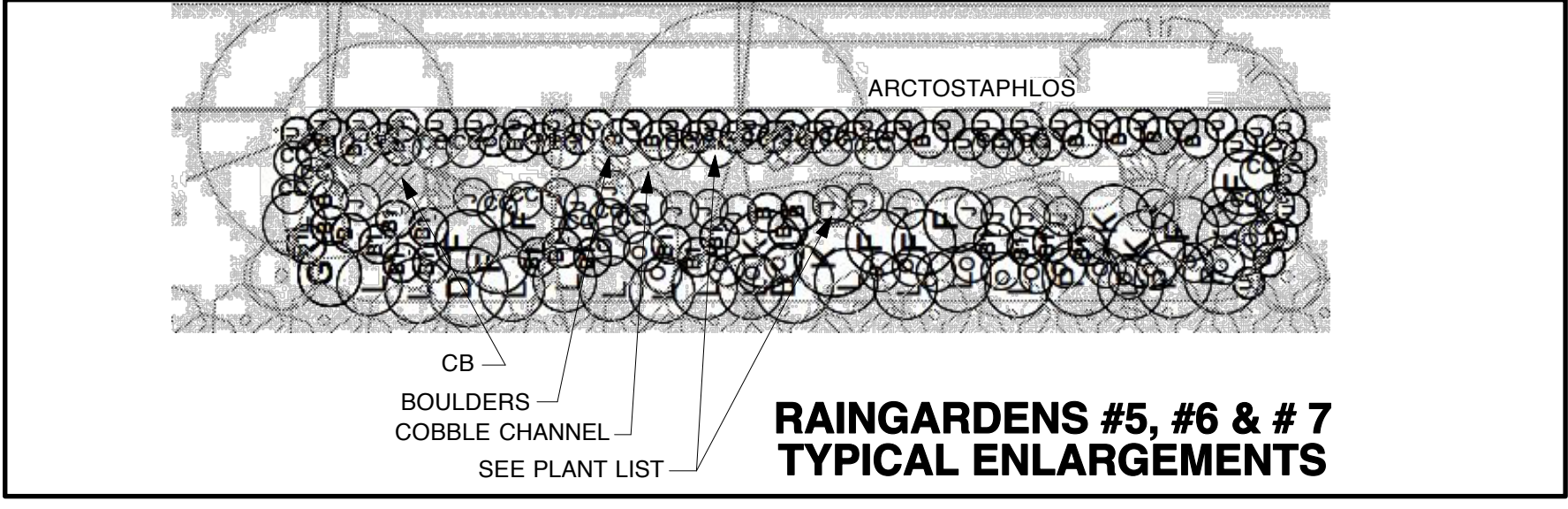
0	10'	30'	60'
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PROJECT	PROPOSED OFFICE-WAREHOUSE COMPLEX FOR:
	DIVERSIFIED MANAGEMENT INC.
ADDRESS:	192 STREET, SURREY, B.C.
DRAWING	BUILDING 2 LANDSCAPE PLAN SURREY FILE #79XX-XXXX-00
JOB NO. (DP)	DRAWN
	ACT
SCALE:	1"=30'-0"
PLOT DATE:	JULY 28'17
PROJECT - DRAWING NUMBER	L - 1



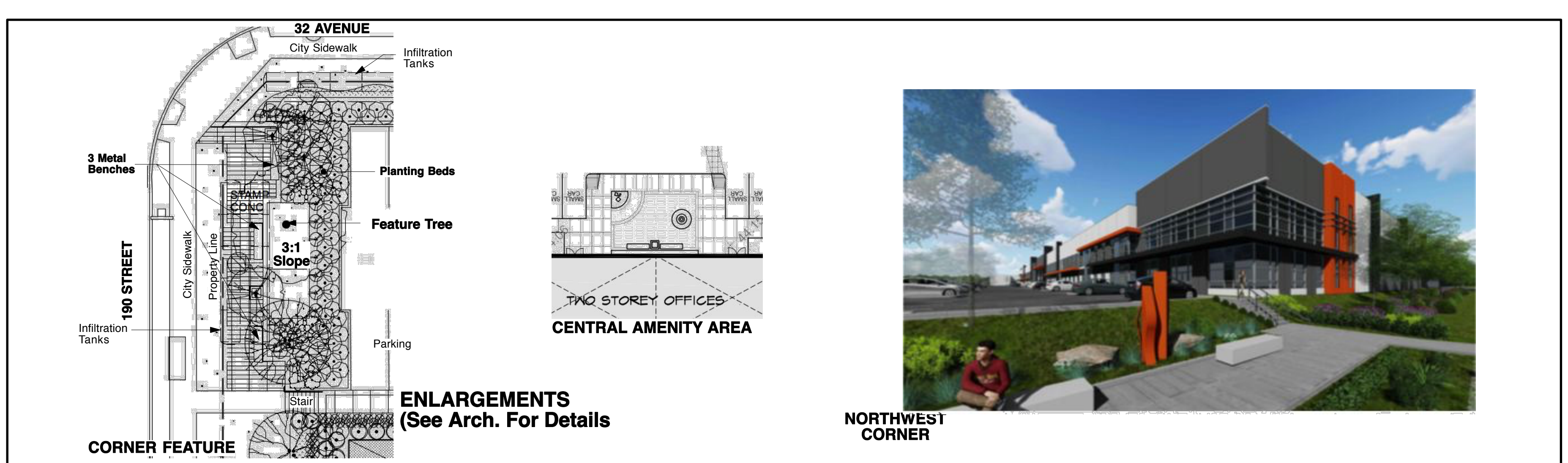
PLANT LIST

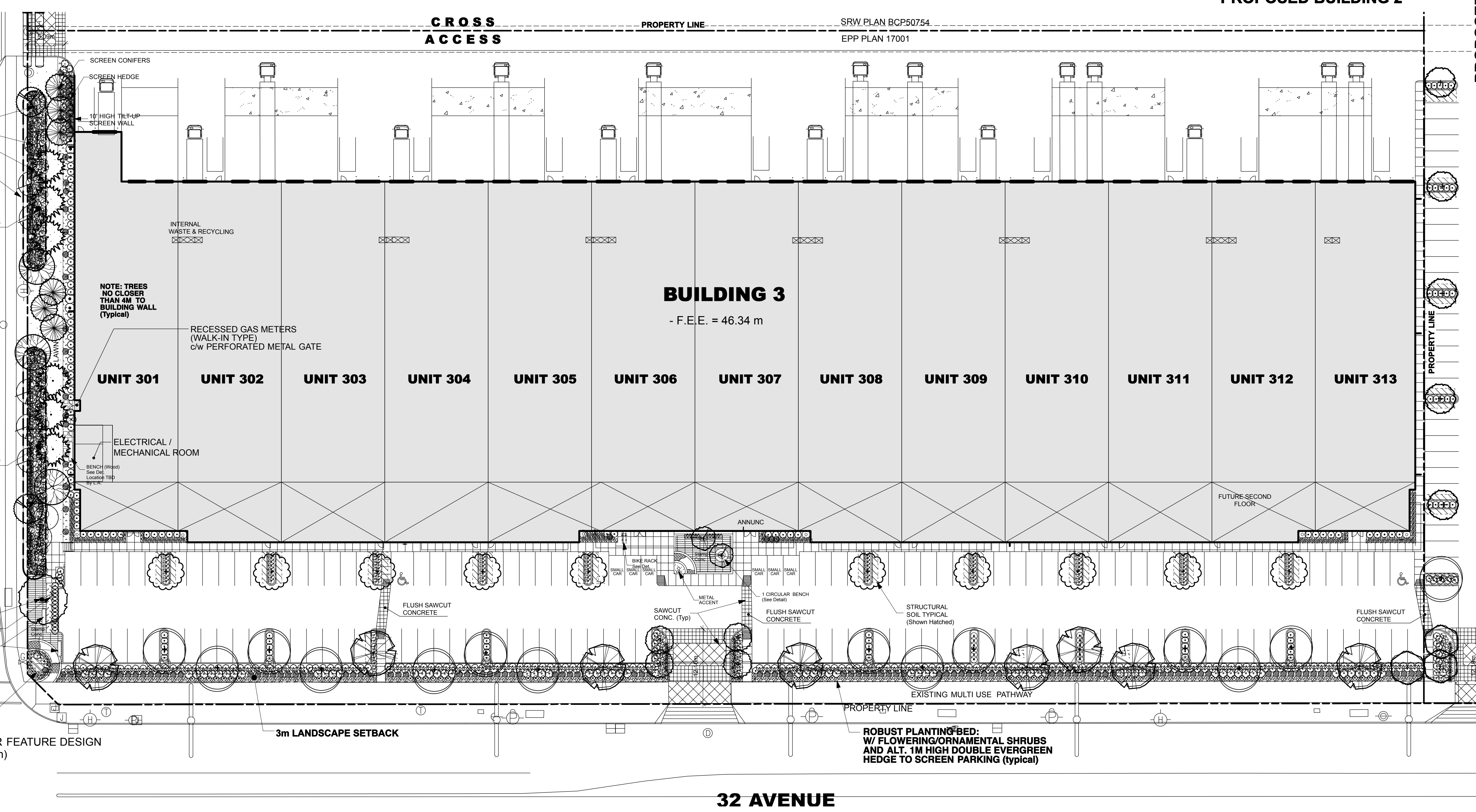
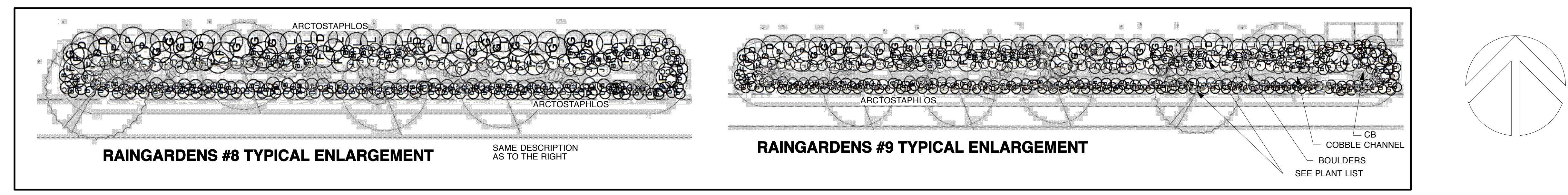
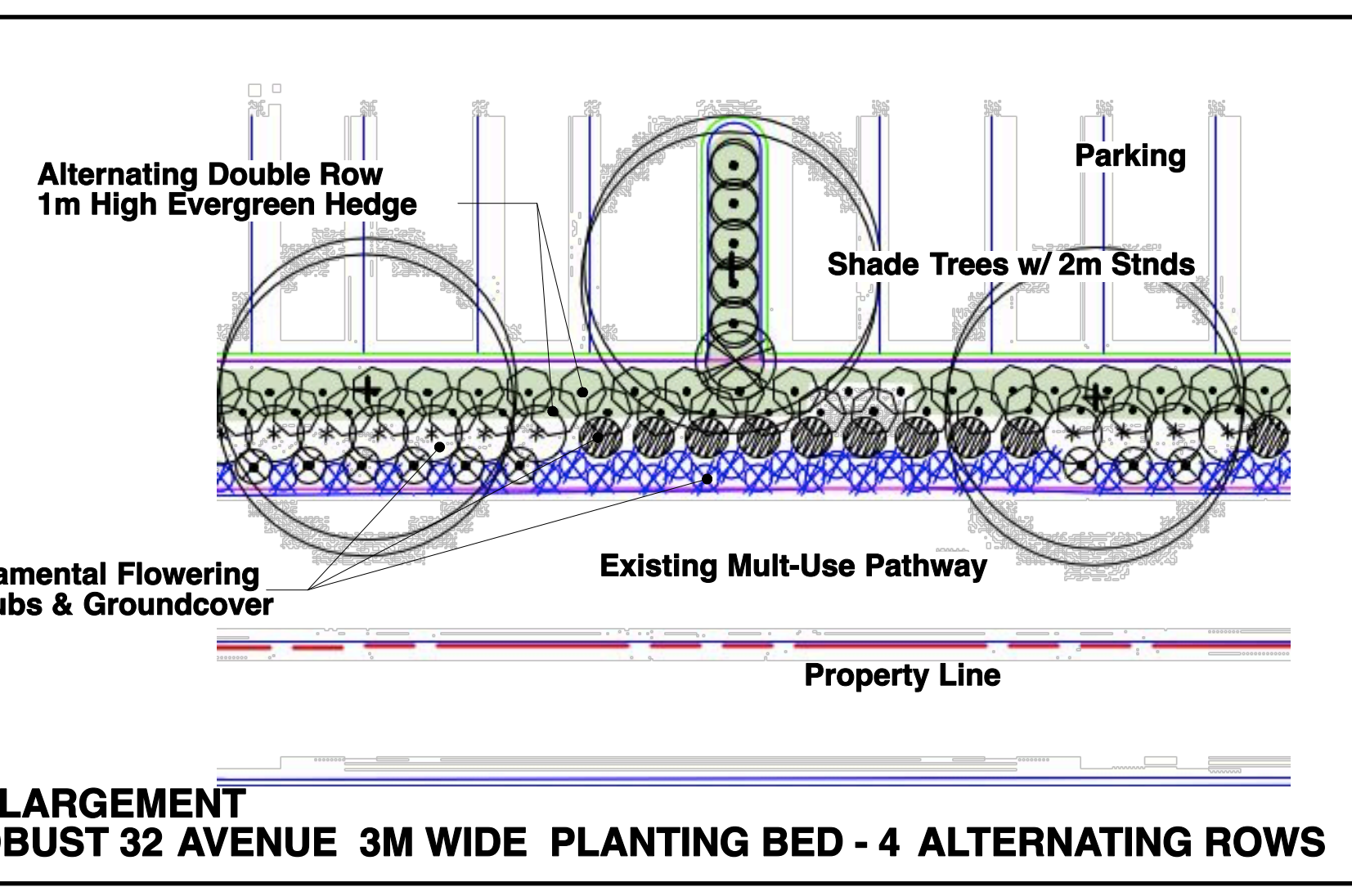
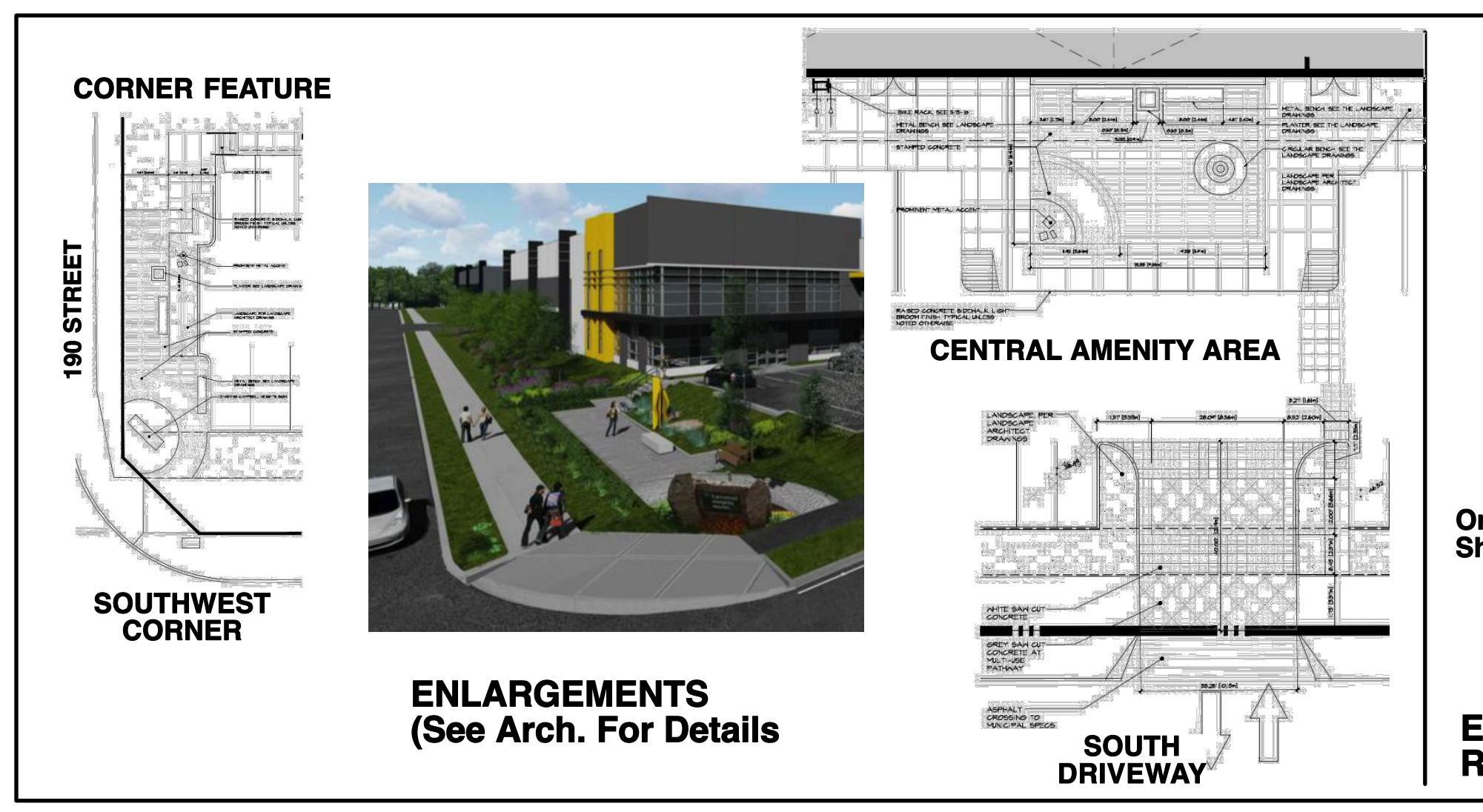
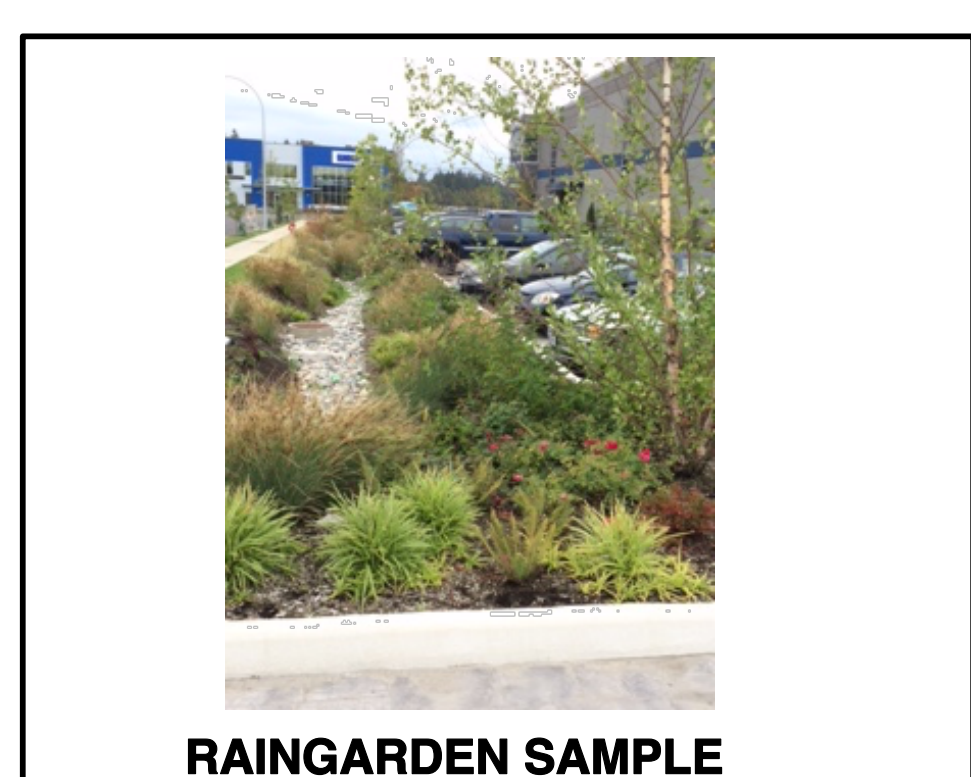
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
Trees				
+	-	Acer rubrum 'Armstrong'	Columnar Maple Var.	6cm cal. / 2m std.
+	7	Acer palmatum 'Osakasuki'	Japanese Maple Var.	3m ht. / 9-stem / match
+	8	Betula papyrifera alt: Populus t. 'Erecta'	Paper Birch	5cm cal / 2m std
+	6	Cornus x nuttallii 'Starlight'	Pacific Dogwood Var.	5cm cal. / 2m std.
+	6	Chamaecyparis nootkatensis	Nootka Cypress	3m ht / spreading form
+	1	Fagus sylvatica 'purpurea'	Copper Beech	7cm cal. / 2m std
+	14	Fraxinus americana 'Autumn Purple'	Ash	6cm cal. / 2m std
+	6	Liquidambar styraciflua 'Worpleston'	Sweet Gum	6cm cal. / 2 std
+	9	Magnolia soulangiana 'Galaxy'	Saucer Magnolia Var.	5cm cal. / 2m std
+	8	Picea abies	Norway Spruce	2.5m ht / nat. form
+	-	Cercidiphyllum japonicum	Katsura Tree	6cm cal / 2m std.
Shrubs				
+	154	Azalea japonica 'Rosebud'	Japanese Azalea	#2 pot
+	-	Hydrangea macrophylla 'Blue Wave'	Hydrangea	#3 pot
+	159	Lonicera pileata	Evergreen Honeysuckle	#2 pot
+	7	Pieris japonica 'Forest Flame'	Japanese Andromeda	#3 pot
+	-	Potentilla fruticosa 'Goldfinger'	Shrubby Cinquefoil Var.	#2 pot
+	383	Prunus l. 'Otto Luyken'	Otto Luyken Laurel	#2 pot
+	-	Photinia fraseri	Photinia	#3 pot
+	13	Rhododendron 'Christmas Cheer'	Rhododendron (medium var.)	#3 pot
+	8	Rhododendron 'Anna Rose Whitney'	Rhododendron (tall var.)	#3 pot
+	22	Rosa meidland (various var's.)	Hardy French Rose var.	#2 pot
+	8	Sarcococcca hookerana humilis	Sweetbox	#2 pot
+	-	Spiraea x bumalda 'Pink Princess'	Spiraea Var.	#2 pot
+	11	Thuja occidentalis 'Smargd'	Emerald Green Cedar	1.2m ht
+	4	Thuja occidentalis 'Smargd'	Hedging Cedar	2.5m ht
+	24	Viburnum davidii	David's Viburnum	#2 pot
+	11	Weigelia 'Bristol Ruby'	Weigelia	#3 pot
Ground Covers/Perennials				
+	308	Arctostaphylos uva-ursi	Vancouver Jade	10 cm pot / 45cm o.c. / heavy
+	259	Erica darleyensis 'Kramer's Red'	Winter Heather	#1 pot / 45cm o.c.
+	17	Hemocalis 'Stella d'Oro'	Daylily var	#1 pot
+	185	Carex var.	Sedge Var.	#1 pot



PLANT LIST - RAINGARDEN

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
Trees				
+	6	Acer circinatum	Vine Maple	1.5m ht; B&B; 3 stem clump
+	4	Amelanchier x Grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5m ht; B&B
+	4	Malus 'Red Jewel'	Crab Apple Var.	1.5m ht; B&B
Shrubs				
+	12	Cornus Sericea 'Kelsey'	Kelsey Dogwood	#3 pot
+	5	Philadelphus x Virginalis 'Dwarf Mock Org.'	Dwarf Snowflake Mock Orange	#3 pot
Grass				
+	74	Carex 'Ice Dance'	Silver Variegated Sedge	#1 pot / 20cm
+	92	Juncus effusus	Common Rush	#1 pot
+	15	Koeleria cristata	June Grass	#1 pot
G.C.				
+	69	Blechnum spicant	Deerfern	#1 pot / 20cm
+	194	Arctostaphylos uva-ursi	Kinnickinick	#1 pot / 20cm
+	15	Cornus canadensis	Bunchberry	#1 pot / 20cm
+	17	Gaultheria shallon	Salal	#1 pot / 20cm
+	48	Lonicera pileata	Privet Honeysuckle	#1 pot / 25cm
+	36	Polystichum munitum	Western Sword Fern	#1 pot / 20cm
+	15	Galium Odoratum	Sweet Woodruff	#1 pot / 20cm





PLANT LIST

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
Trees				
+	-	Acer rubrum 'Armstrong'	Columnar Maple Var.	6cm cal. / 2m stnd
+	2	Acer palmatum 'Osakasuki'	Japanese Maple Var.	3m ht. / s-stem / match
+	3	Betula papyrifera alt: Populus t. 'Erecta'	Paper Birch	5cm cal. / 2m stnd
+	4	Cornus x rutalis 'Starlight'	Pacific Dogwood Var.	5cm cal. / 2m stnd
+	6	Chamaecyparis nootkatensis	Nootka Cypress	3m ht. / spreading form
+	1	Fagus sylvatica 'purpurea' alt: Fraxinus ornus 'Ana Peters' / Manna Ash	Copper Beech	7cm cal. / 2m stnd
+	13	Fraxinus americana 'Autumn Purple'	Ash	6cm cal. / 2m stnd
+	8	Liquidambar styraciflua 'Worpleston'	Sweet Gum	6cm cal. / 2 stnd
+	10	Magnolia soulangeana 'Galaxy'	Saucer Magnolia Var.	5cm cal. / 2m stnd
+	6	Picea abies	Norway Spruce	2.5m ht. / nat. form
+	1	Cercidiphyllum japonicum	Katsura Tree	6cm cal. / 2m stnd.
Shrubs				
+	533	Azalea japonica 'Rosebud'	Japanese Azalea	#2 pot
+	71	Hydrangea macrophylla 'Blue Wave'	Hydrangea	#3 pot
+	598	Lonicera pileata	Evergreen Honeysuckle	#2 pot
+	23	Pieris japonica 'Forest Flame'	Japanese Andromeda	#3 pot
+	90	Potentilla fruticosa 'Goldfinger'	Shrubby Cinquefoil Var.	#2 pot
+	1095	Prunus l. 'Otto Luyken'	Otto Luyken Laurel	#2 pot
+	35	Photinia fraseri	Photinia	#3 pot
+	19	Rhododendron 'Christmas Cheer'	Rhododendron (medium var.)	#3 pot
+	27	Rhododendron 'Anna Rose Whitney'	Rhododendron (tall var.)	#3 pot
+	246	Rosa meiland (various var's.)	Hardy French Rose var.	#2 pot
+	31	Sarcococca hookerana humilis	Sweetbox	#2 pot
+	12	Spiraea x bumalda 'Pink Princess'	Spiraea Var.	#2 pot
+	36	Thuja occidentalis 'Smargd'	Emerald Green Cedar	1.2m ht
+	17	Thuja occidentalis 'Smargd'	Hedging Cedar	2.5m ht
+	90	Viburnum davidii	David's Viburnum	#2 pot
+	8	Weigelia 'Bristol Ruby'	Weigelia	#3 pot
Ground Covers/Perennials				
+	128	Arctostaphylos uva-ursi	Vancouver Jade	10 cm pot / 45cm o.c. / heavy
+	159	Erica darleyensis 'Kramer's Red'	Winter Heather	#1 pot / 45cm o.c.
+	97	Hemocalis 'Stella d'Oro'	Daylily var	#1 pot
+	1176	Carex var.	Sedge Var.	#1 pot

Notes:
 1. Specification as per most recent BCSLA/BCLNA 'Landscape Standards' and LandSpace Design Inc. 'Spec Notes'.
 2. Plant material to be selected by Landscape Architect at nursery.

PLANT LIST - RAINGARDEN

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
Trees				
+	8	Acer circinatum	Vine Maple	1.5m ht; B&B; 3 stem clump
+	0	Amelanchier x Grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5m ht; B&B
+	2	Malus 'Red Jewel'	Crab Apple Var.	1.5m ht; B&B
Shrubs				
+	13	Cornus Sericea 'Kelsey'	Kelsey Dogwood	#3 pot
+	5	Philadelphus x Virginalis 'Dwarf Mock Org.'	Dwarf Snowflake Mock Orange	#3 pot
+	58	Carex 'Ice Dance'	Silver Variegated Sedge	#1 pot
+	98	Juncus effusus	Common Rush	#1 pot
+	15	Koeleria cristata	June Grass	#1 pot
G.C.				
+	77	Blechnum spicant	Deerfern	#1 pot / 20cm
+	211	Arctostaphylos uva-ursi	Kinnicknick	#1 pot / 20cm
+	15	Cornus canadensis	Bunchberry	#1 pot / 20cm
+	30	Gaultheria shallon	Salal	#1 pot / 20cm
+	43	Lonicera pileata	Privet Honeysuckle	#1 pot / 25cm
+	33	Polystichum munitum	Western Sword Fern	#1 pot / 20cm
+	15	Gallium Odoraturn	Sweet Woodruff	#1 pot / 20cm

LANDSCAPE ARCHITECT

190 STREET, SURREY, B.C.
 V3R 4C8
 TEL: 604.273.8888
 WWW.LANDSPACEARCHITECT.COM

PROJECT: PROPOSED OFFICE-WAREHOUSE COMPLEX FOR: **DIVERSIFIED MANAGEMENT INC.**

ADDRESS: 192 STREET, SURREY, B.C.

DRAWING: **BUILDING 3 LANDSCAPE PLAN**
 SURREY FILE #79XX-XXXX-00

JOB NO. (DP) DRAWN ACT
 SCALE: 1"=30'-0"
 PLOT DATE: JULY 28/17
 PROJECT - DRAWING NUMBER **L-1**

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **Apr 03, 2018** PROJECT FILE: **7817-0513-00**

RE: **Engineering Requirements (Commercial/Industrial)
Location: 19018/19030/19058/19070/19128/19168/19188 - 33 Avenue and
19177/19111/19089/19055/19033 - 32 Avenue**

SUBDIVISION/CONSOLIDATION

There following issues are to be addressed as a condition of the lot consolidation:

- Remove and cap all redundant service connections.
- Review and evaluate all ROWs and Easements on the Lands. Modify as required.
- Construct driveway accesses in accordance with the proposed Development Permit.
- Provide service connections to support the proposed Development Permit.
- Register access restrictions at 192 Street and 32 Avenue.


A Servicing Agreement is required prior to lot consolidation to capture these requirements. A processing fee of \$7,145.25 is payable at initiation of Servicing Agreement Process.

BUILDING PERMIT/DEVELOPMENT PERMIT

The following issues are to be addressed as a condition of issuance of the Building Permit:

- Design/Construct offsite/onsite infiltration and water treatment features as per Campbell Heights Land Use Plan requirements and as described in servicing plans under City projects 7810-0179-00, 7812-0159-00 and Restrictive Covenants on title. ***The onsite infiltration must be designed to achieve no runoff from the site up to the 100 Year return period event.***
- The applicant is advised to review the registered sustainable drainage and water quality control restrictive covenants prior to submitting the building permit application.

In order to facilitate design of Servicing Agreement Works we recommend a predesign meeting be held with the Engineering Department to discuss service connection sizing in advance of Building Permit submission.


Rémi Dubé, P.Eng.
Development Services Manager
LR1