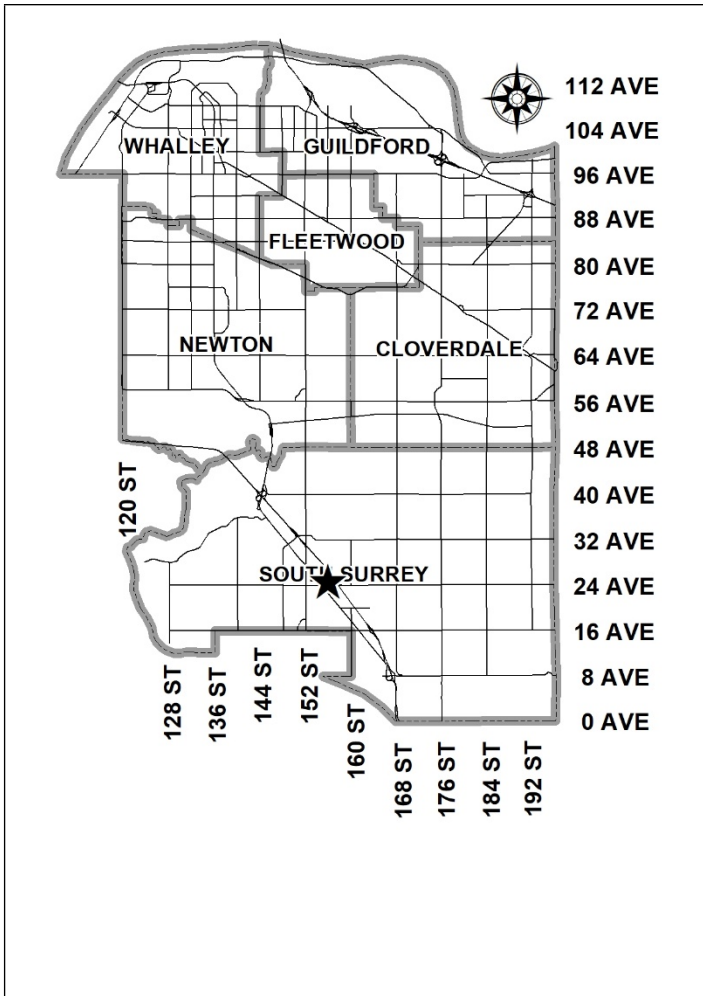


City of Surrey  
**PLANNING & DEVELOPMENT REPORT**

Application No.: 7917-0492-00

Planning Report Date: July 22, 2024



**PROPOSAL:**

- **OCP Amendment** from Urban to Multiple Residential
- **OCP Amendment** to allow an FAR of 2.12 for the site within the Multiple Residential land use designation
- **LAP Amendment** from Townhouse (15 upa) to Apartment
- **Rezoning** from R<sub>3</sub> to CD (based on RM-70)
- **Development Permit**
- **Housing Agreement**

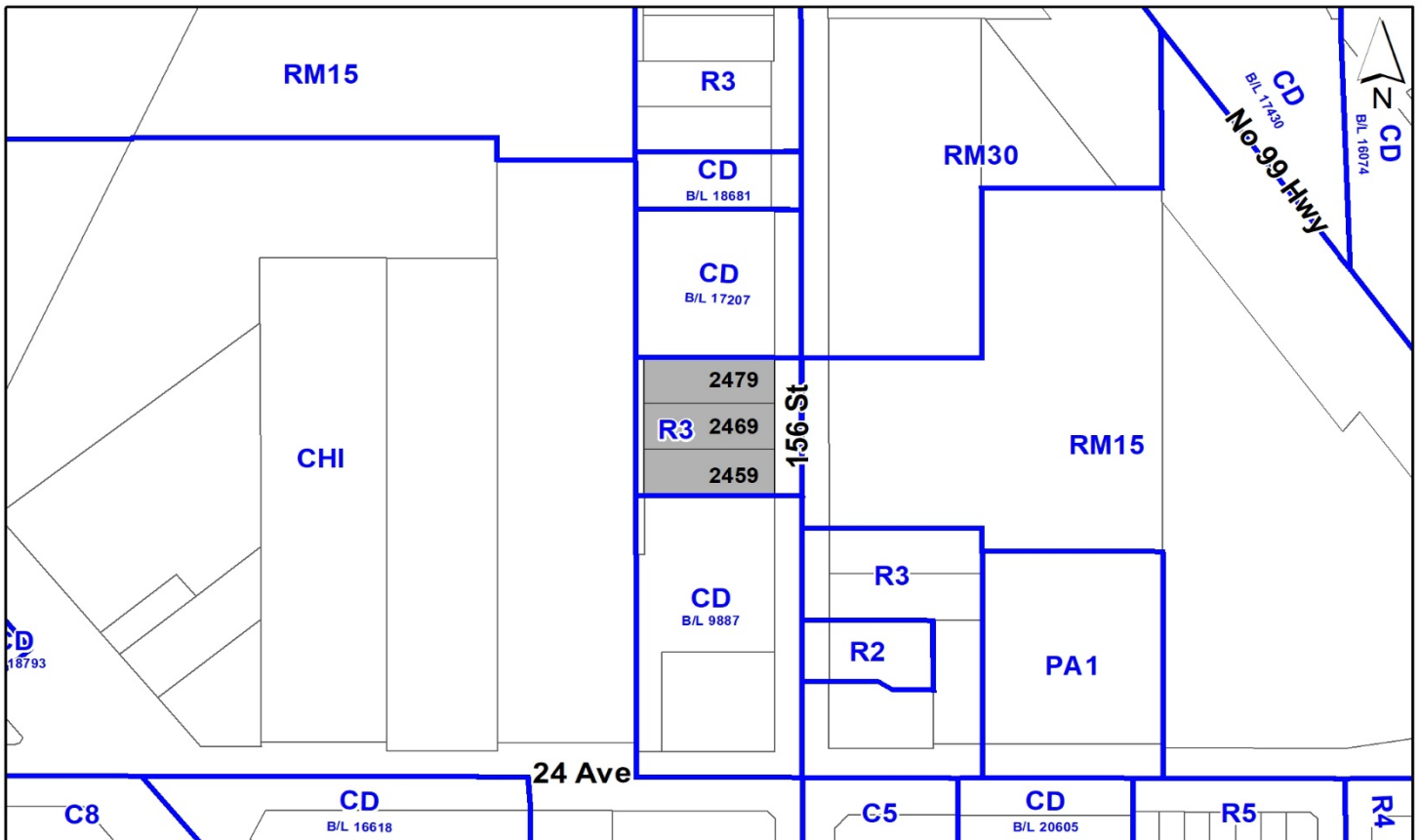
to permit the development of a 6-storey rental residential apartment building.

**LOCATION:** 2459 156 Street, 2469 156 Street,  
 2479 156 Street  
 Unconstructed Lane West of Site

**ZONING:** R<sub>3</sub>

**OCP DESIGNATION:** Urban

**LAP DESIGNATION:** Townhouse (15 upa)



## RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for:
  - OCP Amendment; and
  - Rezoning.
- Approval to draft Development Permit for Form and Character.
- By-law Introduction, First, Second and Third Reading for a Housing Agreement.

## DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is proposing an amendment to the Official Community Plan (OCP) from Urban to Multiple Residential.
- The applicant is proposing an amendment to the Official Community Plan (OCP) to allow an FAR of 2.12 on the subject site within the Multiple Residential land use designation.
- The applicant is proposing an amendment to the King George Corridor South Local Area Plan (LAP) from Townhouse (15 upa) to Apartment.

## RATIONALE OF RECOMMENDATION

- The proposal complies with the General Urban designation in the Metro Vancouver Regional Growth Strategy (RGS).
- The proposal complies with the Development Permit requirements in the OCP for Form and Character.
- The building form and character respect the surrounding land use context while providing rental apartment units.
- The proposed building achieves an attractive architectural built form, which utilizes high quality, natural materials and contemporary lines. The street interface has been designed to a high quality to achieve a positive urban experience between the proposed building and the public realm.
- The proposed rental apartment units will enhance the housing variety in the community and will help achieve the policies and objectives identified in the OCP and the Affordable Housing Strategy.
- The proposed building is entirely rental residential units, with 10 percent provided as below market rental. Design measures to provide sensitive interfaces along the street interface and the northern interface with existing townhouses to the north of the site are proposed.
- The subject site is in a location transitioning to higher density forms of development.
- The site is in proximity to 24 Avenue and King George Boulevard, and within walking distance to a number of local commercial and recreational services and amenities.

**RECOMMENDATION**

The Planning & Development Department recommends that:

1. A By-law be introduced to amend the OCP Figure 3: General Land Use Designations for the subject site from Urban to Multiple Residential and a date for Public Hearing be set.
2. A Bylaw be introduced to amend the OCP, 'Table 7a: Land Use Designation Exceptions' to allow an FAR of 2.12 on the subject site within the Multiple Residential land use designation and a date for Public Hearing be set.

"Bylaw No.	Land Use Designation	Site Specific Property	Site Specific Permission
Bylaw #	Multiple Residential	2459 156 Street 010-454-705 Lot 5 Section 23 Township 1 New Westminster District Plan 19124 2469 156 Street 002-190-281 Lot 6 Section 23 Township 1 New Westminster District Plan 19124 2479 156 Street 005-207-291 Lot 7 Section 23 Township 1 New Westminster District Plan 19124 That 167.2 sq. m. portion of closed lane	Density permitted up to 2.12 FAR (net calculation)

3. Council determine the opportunities for consultation with persons, organizations and authorities that are considered to be affected by the proposed amendment to the Official Community Plan, as described in the Report, to be appropriate to meet the requirement of Section 475 of the Local Government Act.
4. A By-law be introduced to rezone the subject site from "Urban Residential Zone (R3)" to "Comprehensive Development Zone (CD)" and a date be set for Public Hearing.
5. A By-law be introduced to enter into a Housing Agreement and be given First, Second and Third Reading.

6. Council authorize staff to draft Development Permit No. 7917-0492-00 generally in accordance with the attached drawings (Appendix I).
7. Council instruct staff to resolve the following issues prior to final adoption:
  - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
  - (b) submission of a subdivision layout to the satisfaction of the Approving Officer;
  - (c) Approval from the Ministry of Transportation & Infrastructure;
  - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
  - (e) submission of a finalized landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
  - (f) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
  - (g) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
  - (h) completion of the road closure and acquisition of the lane along the west property line of the subject site; and
  - (i) registration of a Section 219 Restrictive Covenant to ensure that, if the rental use is discontinued in the future, the City's needs with respect to Community Amenity Contributions (CAC), including Affordable Housing, Capital Projects and Tier 2 Capital Plan Project CACs, will be adequately met, to the satisfaction of the General Manager, Planning & Development Department.
8. Council pass a resolution to amend the King George Corridor South Local Area Plan (LAP) to redesignate the land from Townhouses (15 upa) to Apartments when the project is considered for final adoption.

**SITE CONTEXT & BACKGROUND**

Direction	Existing Use	NCP Designation	Existing Zone
Subject Site	Single family	Townhouse (15 upa)	R3
North:	Townhouses	Townhouse (27 upa)	CD Bylaw No. 17207
East (Across 156 Street):	Townhouses	Townhouse (15 upa)	RM-15
South:	Commercial	Commercial	CD Bylaw No. 9887

**Context & Background**

- The 0.27 hectare site is comprised of three (3) existing single family lots on 156 Street in the King George Corridor South Plan area.
- The subject site is designated Urban in the Official Community Plan (OCP) and is zoned “Urban Residential Zone (R3)”.
- The site is designated “Townhouses 15 upa” in the LAP, which was approved in 1995. Since the Plan was approved by Council, the development trend and market demand in the area has moved from a lower density multiple residential product toward a denser form of multiple residential development.

**DEVELOPMENT PROPOSAL****Planning Considerations**

- The applicant proposes the following to accommodate the development of a six-storey apartment building consisting of 82 rental apartment units:
  - OCP amendment from Urban to Multiple Residential and to allow an FAR of 2.12 on the subject site within the Multiple Residential land use designation;
  - LAP amendment from Townhouses 15 upa to Apartment;
  - Rezoning from R3 to CD (based on RM-70); and
  - Development Permit for Form and Character.

	Proposed
<b>Lot Area</b>	
Gross Site Area:	0.266 ha.
Road Dedication:	0.003 ha.
Net Site Area:	0.263 ha.
<b>Number of Lots:</b>	1
<b>Building Height:</b>	19.5 m
<b>Floor Area Ratio (FAR):</b>	2.12
<b>Floor Area</b>	
Residential:	5,600.7 m <sup>2</sup>

Proposed	
<b>Residential Units:</b>	
Studio:	10
1-Bedroom:	29
2-Bedroom:	10
3-Bedroom:	33
Total:	82

**Referrals**

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix II.

School District: **The School District has advised that there will be approximately 12 school-age children generated by this development, of which the School District has provided the following expected student enrollment.**

- 7 Elementary students at Jessie Lee Elementary School
- 3 Secondary students at Earl Marriott Secondary School

(Appendix III)

**Note that the number of school-age children is greater than the expected enrollment due to students attending private schools, home school or different school districts.**

The applicant has advised that the dwelling units in this project are expected to be constructed and ready for occupancy by summer 2026.

Parks, Recreation & Culture: No concerns.

Sunnyside Park is the closest active park with amenities including, outdoor sport courts, playgrounds, an outdoor pool, outdoor sport courts, and is 525 metres walking distance from the development.

Ministry of Transportation & Infrastructure (MOTI): Preliminary approval is granted for the rezoning for one year pursuant to section 52(3)(a) of the *Transportation Act*.

Surrey Fire Department: No concerns.

Advisory Design Panel: At the Regular Council – Land Use meeting on December 18, 2023, Council endorsed Corporate Report No. R214 (2023) which amended the Terms of Reference of the City’s Advisory Design Panel (ADP) which permits multi-family proposals that are 6-storeys or less, and supported by City staff, to proceed to Council for By-law introduction, without review and/or comment from the ADP.

The subject development proposal is generally supported by City staff and the applicant has agreed to resolve any outstanding items, to the satisfaction of the Planning and Development Department, prior to consideration of Final Adoption of the Rezoning By-law as well as issuance of the Development Permit.

### **Transportation Considerations**

- The applicant is required to provide the following improvements to service the subject proposal:
  - Complete the closure and purchase of the lane allowance along the west property line of the subject site; and
  - Construct the west half of 156 Street.
- Access to the site is proposed from 156 Street to the east.
- The nearest transit routes are Bus Route No. 531 White Rock Centre/Willowbrook, and Bus Route No. 354 White Rock South/Bridgeport Station, which run along 24 Avenue approximately 100 metres south of the subject site.
- A total of 90 parking stalls are required to be provided on site, based on the Zoning Bylaw requirements. The applicant is proposing to provide a total of 90 parking stalls in an underground parkade, meeting the Zoning Bylaw requirements.

### **Sustainability Considerations**

- The applicant has met all of the typical sustainable development criteria, as indicated in the Sustainable Development Checklist.

## **POLICY & BY-LAW CONSIDERATIONS**

### **Regional Growth Strategy**

- The proposal complies with the "General Urban" designation in the RGS.

### **Official Community Plan**

#### Land Use Designation

- The applicant is proposing an OCP amendment from "Urban" to "Multiple Residential".

#### Amendment Rationale

- The proposal is for rental residential, with design measures to provide sensitive interfaces along the street interface and the interface with existing townhouses to the north of the site.
- The subject site is in a location transitioning to higher density forms of development.
- The site is in proximity to 24 Avenue and King George Boulevard, and within walking distance to a number of local commercial and recreational services and amenities.
- The proposed development will be exempt from the Tier 1 and Tier 2 Capital Plan Project CACs for proposed density greater than the OCP designation, as described in the Community Amenity Contribution section of this report, because the proposal is for rental housing with a Housing Agreement.
- Pursuant to Section 475 of the Local Government Act, it was determined that it was not necessary to consult with any persons, organizations or authorities with respect to the proposed OCP amendment, other than those contacted as part of the pre-notification process.

#### Themes/Policies

- Growth Management
  - Accommodating Higher Density: Direct residential development into approved Secondary Plan areas at densities sufficient to encourage commercial development and transit services expansion (OCP Policy A2.1).
  - Sensitive Infill: Permit gradual and sensitive residential infill within existing neighbourhoods, particularly in areas adjacent to Town Centres, in order to support significant transit improvements, utilize existing transportation infrastructure and implement improvements to the public realm (OCP Policy A3.1).

*(The subject site is located in close proximity to 24 Avenue and King George Boulevard, in an area well-served by commercial services, transit and local amenities.)*

- Centres, Corridors and Neighbourhoods:
  - Healthy Neighbourhoods: Develop complete, accessible, and walkable green neighbourhoods through sensitive redevelopment within existing neighbourhoods (OCP Policy B4.1).

*(The subject site is located in a neighbourhood transitioning from single-detached homes and lower-density townhouse developments to higher density multi-unit residential developments.)*



- Affordable Housing:
  - Encourage and support the development of new purpose-built rental apartments (OCP Policy F.3.14).

*(All of the apartment units are proposed to be rental apartments secured with a 60-year Housing Agreement with 10% of the units below-market).*

## Secondary Plans

### Land Use Designation

- The applicant proposes to redesignate the site from "Townhouse (15 upa)" to "Apartment" in the King George Corridor South Plan (LAP), which was completed in 1995.

### Amendment Rationale

- The application proposes a rental residential development with a portion of the units provided as below-market, with design measures to provide sensitive interfaces along the street interface and the northern interface with existing townhouses to the north of the site.
- The subject site is in a location transitioning to higher density forms of development.
- The site is in proximity to 24 Avenue and King George Boulevard, and within walking distance to a number of local commercial and recreational services and amenities.
- The King George Corridor South Plan is 29 years old. The densities for multiple residential projects in South Surrey have generally increased significantly from the 15 upa density that was identified at that time. The proposed land use and density are reflective of current market conditions and housing demands in the area.
- The applicant is proposing a Housing Agreement to restrict all of the proposed 82 units in the building to a rental tenure for a minimum period of 60 years from the date when an Occupancy Permit is issued for the building. This will also increase the housing diversity of the neighbourhood. 10 % of the proposed rental units are proposed at 10% below market value.

### **CD By-law**

- The applicant proposes to rezone the subject site from "Urban Residential Zone (R3)" to "Comprehensive Development Zone (CD)".
- A comparison of the density, lot coverage, setbacks, building height and permitted uses in the RM-70 Zone, CD Zone and the proposed CD By-law is illustrated in the following table:

Zoning	RM-70 Zone (Part 24)	Proposed CD Zone	
<b>Floor Area Ratio:</b>	1.5	2.12	
<b>Lot Coverage:</b>	33%	45%	
<b>Yards and Setbacks</b>	7.5 metres from all lot lines	South – 8.0 m North – 10.0 m East – 4.5 m West – 6.0 m	
<b>Principal Building Height:</b>	50.0 m	20 m	
<b>Permitted Uses:</b>	Multi-unit residential buildings	Multi-unit residential buildings	
<b>Amenity Space</b>			
Indoor Amenity:	246 m <sup>2</sup>	246 m <sup>2</sup>	
Outdoor Amenity:	246 m <sup>2</sup>	246 m <sup>2</sup>	
<b>Parking (Part 5)</b>		<b>Required</b>	<b>Proposed</b>
<b>Number of Stalls</b>			
Residential:		82	82
Residential Visitor:		8	8
Total:		90	90
<b>Bicycle Spaces</b>			
Residential Secure Parking:		100	100
Residential Visitor:		6	6

- The CD Zone proposes a higher floor area ratio (FAR) at 2.12 relative to the 1.50 FAR permitted under the RM-70 Zone. This FAR reflects the 6-storey rental apartment proposal with a portion of the units proposed with below market unit rates.
- The RM-70 Zone has a maximum lot coverage of 33% which is appropriate for taller built forms with smaller building footprints. The proposed 45% lot coverage for the site reflects the proposed building.
- The proposed building adheres to the City's standard street fronting setbacks and has increased side yard setbacks to interface sensitively with neighbouring land uses.
- The CD Zone proposes a lower building height at 20 metres relative to the 50 metre building height of the RM-70 Zone. The proposed building height reflects the 6-storey proposal.

#### Capital Projects Community Amenity Contributions (CACs)

- The proposed development will not be subject to the Tier 1 or Tier 2 Capital Plan Project CACs, as the proposal includes 100% rental residential units. A Restrictive Covenant will be registered making CAC payable if there is a future change in tenure.

## Affordable Housing Strategy

- On April 9, 2018, Council approved the City's Affordable Housing Strategy (Corporate Report No. Ro66; 2018) requiring that all new rezoning applications for residential development contribute \$1,113.92 per new unit to support the development of new affordable housing. The funds collected through the Affordable Housing Contribution will be used to purchase land for new affordable rental housing projects.
- As a rental project, the subject proposal is exempt from the provision of this policy. The applicant will be required to register a Section 219 Restrictive Covenant, making the fees payable if there is a future change in tenure from the market rental, to address the City's needs with respect to the City's Affordable Housing Strategy.

## Public Art Policy

- The Public Art contribution will not be required as the proposal includes 100% rental units and will be applicable to the residential portion only if there is a future change in tenure from the market rental residential units.

## PUBLIC ENGAGEMENT

- Pre-notification letters were sent on May 7, 2024, and the Development Proposal Signs were installed on May 9, 2024. Staff received seven (7) responses from neighbouring (*staff comments in italics*):
  - Six (6) respondents expressed concern regarding lower parking supply, and a concern that the development would place more pressure on street parking which is already very limited.

*(The applicant is proposing rental housing which has a lower parking requirement than market housing. Research has shown that rental housing also has a lower parking demand than market housing. The area is served by two (2) transit routes on 24 Avenue.)*
  - Two (2) respondents expressed concern that the proposal would increase traffic in the area, which is especially significant considering congestion on 24 Avenue.

*(Transportation Engineering has reviewed and given the scope of the proposal, did not require a Traffic Impact Assessment with the proposal. MOTI has also reviewed and granted preliminary approval. This area is densifying, and rental housing, especially below-market housing, is critically needed.)*
  - Two (2) respondents expressed concern regarding the building height and density proposed. These respondents indicated that the proposed density and height are too high.

*(The proposal is supported given that it is for 100% rental housing with 10% below-market, secured with a 60-year housing agreement).*
  - One (1) respondent expressed concern that the existing commercial/industrial businesses in the area would receive increased complaints from future residents for nuisance, noise, etc.

*(As these businesses are in place and have existed for many years, future residents should understand that there may be noise, traffic, and so on at different times of the day.)*

- One (1) respondent called to ask about the housing tenure proposed.

*(Staff advised the respondent that the proposal was for rental housing).*

## DEVELOPMENT PERMITS

### Form and Character Development Permit Requirement

- The proposed development is subject to a Development Permit for Form and Character.
- The proposed development generally complies with the Form and Character Development Permit guidelines in the OCP.
- The applicant has worked with staff to employ step backs of the upper floors on the east side to reduce the massing from the street, and along the north side of the building, away from the existing townhomes.
- The building exhibits a strong and clear architectural character, highlighting a 2-storey townhouse expression at grade that engages pedestrian interest and achieves a balanced scale and composition.
- The building uses a limited palette of high-quality materials that creates a pedestrian-scaled building base and adds visual interest, brick is used to highlight the townhouse expression and the residential lobby location.

### Landscaping

- Landscaped planters along the street interface on 156 Street assist in creating a pedestrian-friendly public realm along the street edge.
- Ample landscaping, including a variety of trees and shrubs, are provided. Landscape buffering is provided on the north, west, and south sides to interface sensitively with neighbouring land uses, including commercial to the south and west, and townhouses to the north.

### Indoor Amenity

- The indoor amenity space is located on the ground floor of the building, and is 246 square metres in size, meeting the Zoning Bylaw requirement of 246 square metres.

### Outdoor Amenity

- The outdoor amenity space is located at the ground level, and is directly connected with the indoor amenity space. The space includes a variety of play structures designed to cater to multiple abilities/age groups, a sand pit play area, and bench seating.

### Outstanding Items

- There are a limited number of Urban Design items that remain outstanding, and which do not affect the overall character or quality of the project. These generally include refinement to the fenestration arrangement on the east elevation, and to the southeast plaza space to ensure a functional, enjoyable space is provided.
- Additional refinements for the form are required along the east and south to better conform within the neighbourhood context. A continuous 1.8 – 2 metres step back is required along the 6th level and balcony projections are only permitted 1.2 metres from the building face.
- The applicant has been provided a detailed list identifying these requirements and has agreed to resolve these prior to Final Approval of the Development Permit, should the application be supported by Council.

### TREES

- Stuart Goode, ISA Certified Arborist of Goode Arboriculture Consulting prepared an Arborist Assessment for the subject property. The table below provides a summary of the proposed tree retention and removal by tree species:

**Table 1: Summary of Proposed Tree Preservation by Tree Species:**

Tree Species	Existing	Remove	Retain
<b>Cottonwood Trees</b>			
Cottonwood	3	3	0
<b>Deciduous Trees (excluding Alder and Cottonwood Trees)</b>			
Cherry Tree	1	1	0
Cascara Buckthorn	2	2	0
Plum Tree	1	1	0
<b>Total (excluding Alder and Cottonwood Trees)</b>	<b>4</b>	<b>4</b>	<b>0</b>
<b>Total Replacement Trees Proposed (excluding Boulevard Street Trees)</b>		<b>23</b>	
<b>Total Retained and Replacement Trees Proposed</b>		<b>23</b>	
<b>Estimated Contribution to the Green City Program</b>		<b>NA</b>	

- The Arborist Assessment states that there are a total of 4 mature trees on the site, excluding Alder and Cottonwood trees. 3 existing trees, approximately 43% of the total trees on the site, are Alder and Cottonwood trees. No existing trees are proposed to be retained as part of this development proposal.

- For those trees that cannot be retained, the applicant will be required to plant trees on a 1 to 1 replacement ratio for the Cottonwood trees and a 2 to 1 replacement ratio for all other trees. This will require a proposed total of 11 replacement trees on the site. The applicant is proposing 23 replacement trees, meeting City requirements.
- The new trees on the site will consist of a variety of trees including Vine Maple, Japanese Maple, Allegheny Serviceberry, Red Maple, Swamp Maple, Scotch Pine and White Spruce.
- In summary, a total of 23 trees are proposed to be retained or replaced on the site with no required contribution to the Green City Program.

### INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Survey Plan, Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix II.	Engineering Summary
Appendix III.	School District Comments
Appendix IV.	Summary of Tree Survey, Tree Preservation and Tree Plans
Appendix V.	LAP Plan
Appendix VI.	OCP Redesignation Map
Appendix VII.	Proposed Housing Agreement By-law and Housing Agreement

*approved by Shawn Low*

Don Luymes  
General Manager  
Planning and Development

# 156TH STREET APARTMENT DEVELOPMENT

2459, 2469, 2479, 156 STREET, SURREY



**LIST OF DRAWINGS :**

- A-1.0 COCONTACT LIST & DRAWINGS INDEX
- A-1.1a CONTEXT PLAN
- A-1.1b EXTENSIVE CONTEXT PLAN
- A-1.2 AERIAL MAP & CONTEXT PHOTOS
- A-1.3 156 STREET SCAPE
- A-1.4 SURVEY PLAN
- A-1.5 BASE PLAN
- A-1.6 FIRE ACCESS PLAN
- A-1.7 SITE PLAN
- A-1.8 STATISTICS
- A-1.9 PERSPECTIVE VIEW
- A-1.10 COLORED ELEVATIONS (EAST AND NORTH)
- A-1.11 COLORED ELEVATIONS (WEST AND SOUTH)
- A-1.12 EXTERIOR FINISH

- A-2.1 UNDERGROUND PARKING PLAN-P2
- A-2.2 UNDERGROUND PARKING PLAN-P1
- A-2.3 FIRST FLOOR PLAN
- A-2.4 SECOND FLOOR PLAN
- A-2.5 THIRD & FOURTH FLOOR PLAN
- A-2.8 FIFTH FLOOR PLAN
- A-2.7 SIXTH FLOOR PLAN
- A-2.8 ROOF PLAN

- A-3.1 SOUTH AND EAST ELEVATIONS
- A-3.2 NORTH AND WEST ELEVATIONS

**A-4.1 SECTIONS**

- L-1 KEY PLAN
- L-2 LANDSCAPE CONCEPT
- L-3 HARDSCAPE PLAN
- L-4 PLANTING PLAN
- L-5 OUTDOOR AMENITY DETAIL
- L-6 UPPER FLOORS
- L-7 DETAILS
- L-8 GRADING / LIGHTING PLAN
- L-9 SECTIONS

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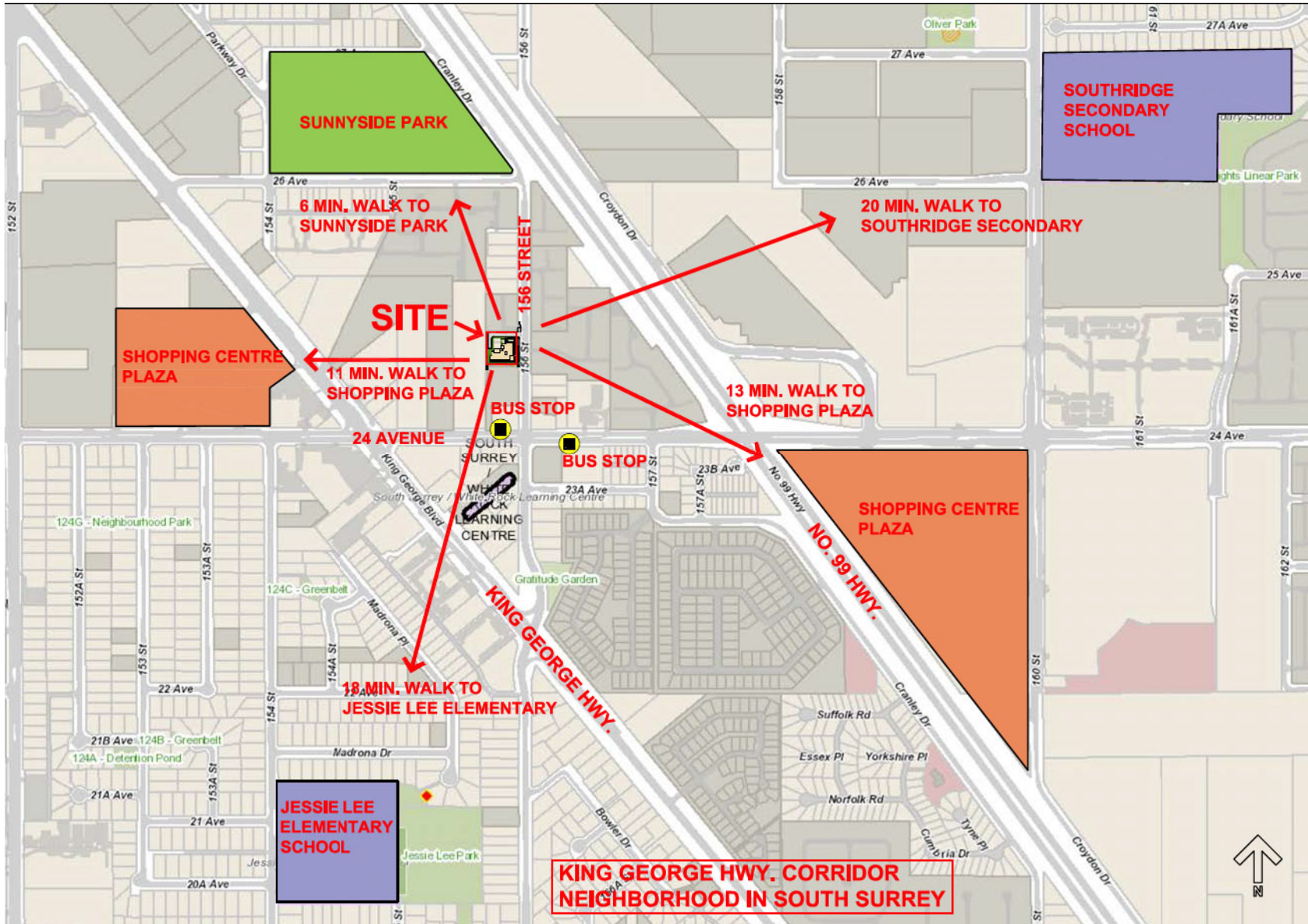
NO.	DATE	REVISION / ISSUED
6	06-04-24	REISSUED FOR CITY REVIEW
5	04-13-24	REVISED TO SIX STOREY PERMITS
4	11-09-21	REISSUED FOR CITY REVIEW
3	04-04-21	REISSUED FOR CITY REVIEW
2	01-19-21	REISSUED FOR CITY REVIEW
1	11-04-20	ISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
2459-2469-2479, 156TH STREET  
SURREY, BC.

FOR:  
1168478 BC Ltd.

DRAWING TITLE:  
**CONTACT LIST &  
DRAWING INDEX**

DATE:	AUG. 2020	SHEET NO.:	A-1.0
SCALE:	NTS.		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		



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NO.	DATE	REVISION / ISSUED
4	06-04-24	REISSUED FOR CITY REVIEW
5	05-13-24	REVISION TO 2ND STOREY RENTAL
4	11-05-21	REISSUED FOR CITY REVIEW
3	04-29-21	REISSUED FOR CITY REVIEW
2	01-18-21	REISSUED FOR CITY REVIEW
1	11-04-20	ISSUED FOR CITY REVIEW
NO.	DATE	REVISION / ISSUED

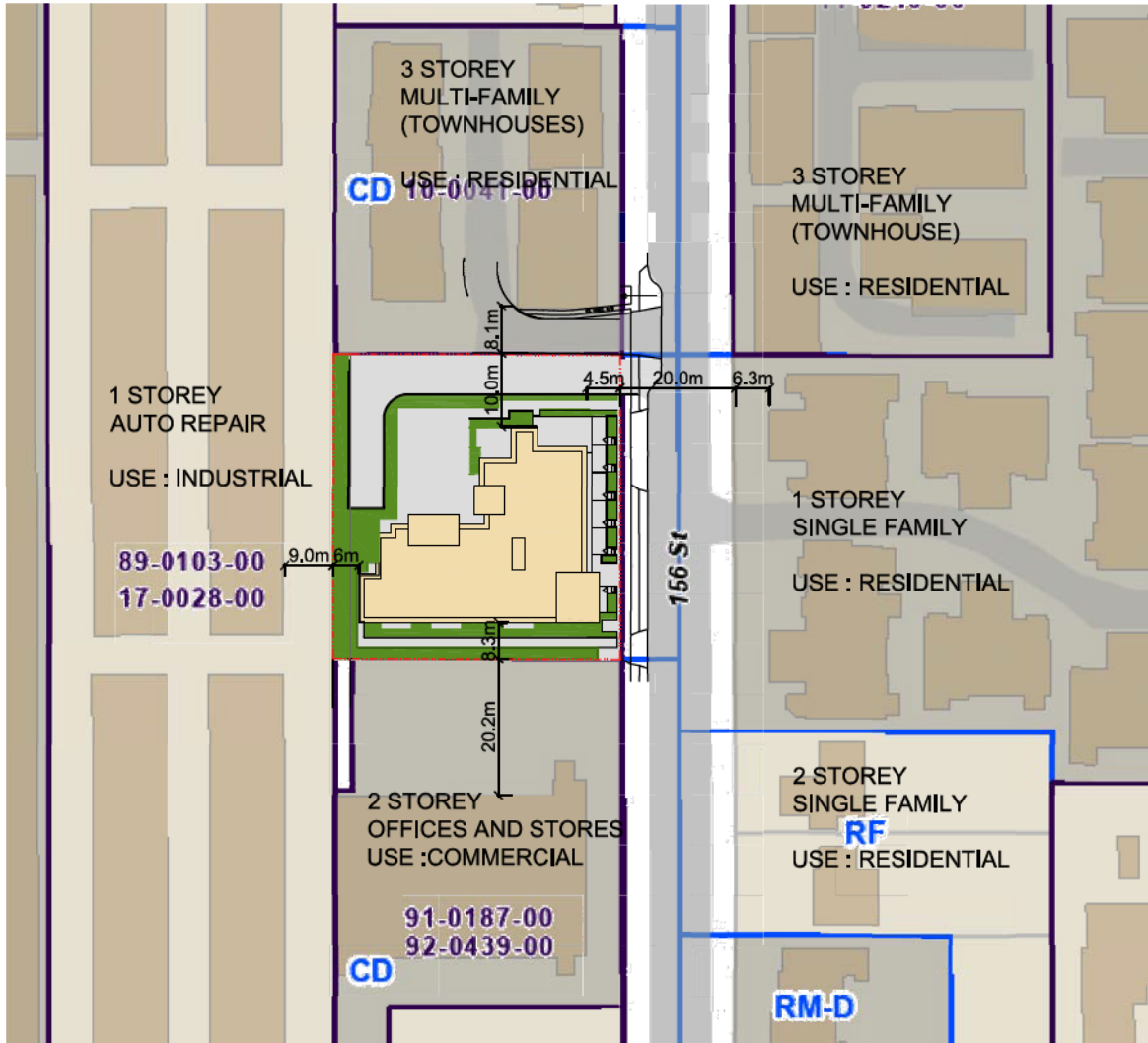
PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
2459-2469-2479, 156TH STREET  
SURREY, BC.

FOR:  
1168478 BC Ltd.

DRAWING TITLE:  
**EXTENSIVE  
CONTEXT PLAN**

DATE:	AUG. 2022	SHEET NO.:
SCALE:	NTS	<b>A-1.1a</b>
DESIGNER:	AA	
DRAWN:	AA	
PROJECT NO.:		





**F. ADAB ARCHITECTS INC.**

#133-100 ROOSEVELT CRESCENT  
NORTH VANCOUVER, BC V7P 3R4  
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5414 L. ST. VANCOUVER, BC

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NO.	DATE	REVISION / ISSUED
4	06-04-24	REISSUED FOR CITY REVIEW
3	05-13-24	REMOVED TO 3 STOREY RENTAL
4	11-05-21	REISSUED FOR CITY REVIEW
3	04-29-21	REISSUED FOR CITY REVIEW
2	01-16-21	REISSUED FOR CITY REVIEW
1	1-9-20	ISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
2459-2469-2479, 156TH STREET  
SURREY, BC.

FOR:  
1168478 BC Ltd.

DRAWING TITLE:  
**CONTEXT PLAN**

DATE:	AUG. 2022	SHEET NO.:
SCALE:	NTS	<b>A-1.1b</b>
DESIGNER:	AA	
DRAWN:	AA	
PROJECT NO.:		

# AERIAL MAP



1 VIEW TO NORTH OF SITE



2 VIEW TO ACROSS 156 STREET FROM SITE



3 VIEW TO SOUTH OF SITE



**F. ADAB ARCHITECTS INC.**

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CAD: a.f.adab@f.adab.com

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NO.	DATE	REVISION / ISSUED
6	06-04-24	REISSUED FOR CITY REVIEW
5	05-13-24	REVISSED TO MAX STOREY HEIGHT
4	11-05-21	REISSUED FOR CITY REVIEW
3	04-29-21	REISSUED FOR CITY REVIEW
2	01-18-21	REISSUED FOR CITY REVIEW
1	1-26-20	ISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
2459-2469-2479, 156TH STREET  
SURREY, BC.

FOR:  
1168478 BC Ltd.

DRAWING TITLE:  
**AERIAL MAP AND  
CONTEXT PHOTOS**

DATE:	AUG, 2022	SHEET NO.:	A-1.2
SCALE:	NTS		
DESIGN:	AA		
DRAWING:	AA		
PROJECT NO.:	-		



156TH STREETSCAPE



156TH STREETSCAPE



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NO.	DATE	REVISION / ISSUED
6	05-04-24	REISSUED FOR CITY REVIEW
5	03-13-24	REVISED TO 60 STOREY HEIGHT
4	11-20-21	REISSUED FOR CITY REVIEW
3	04-09-21	REISSUED FOR CITY REVIEW
2	01-19-21	REISSUED FOR CITY REVIEW
1	11-24-20	ISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
 2459-2469-2479, 156TH STREET  
 SURREY, BC.

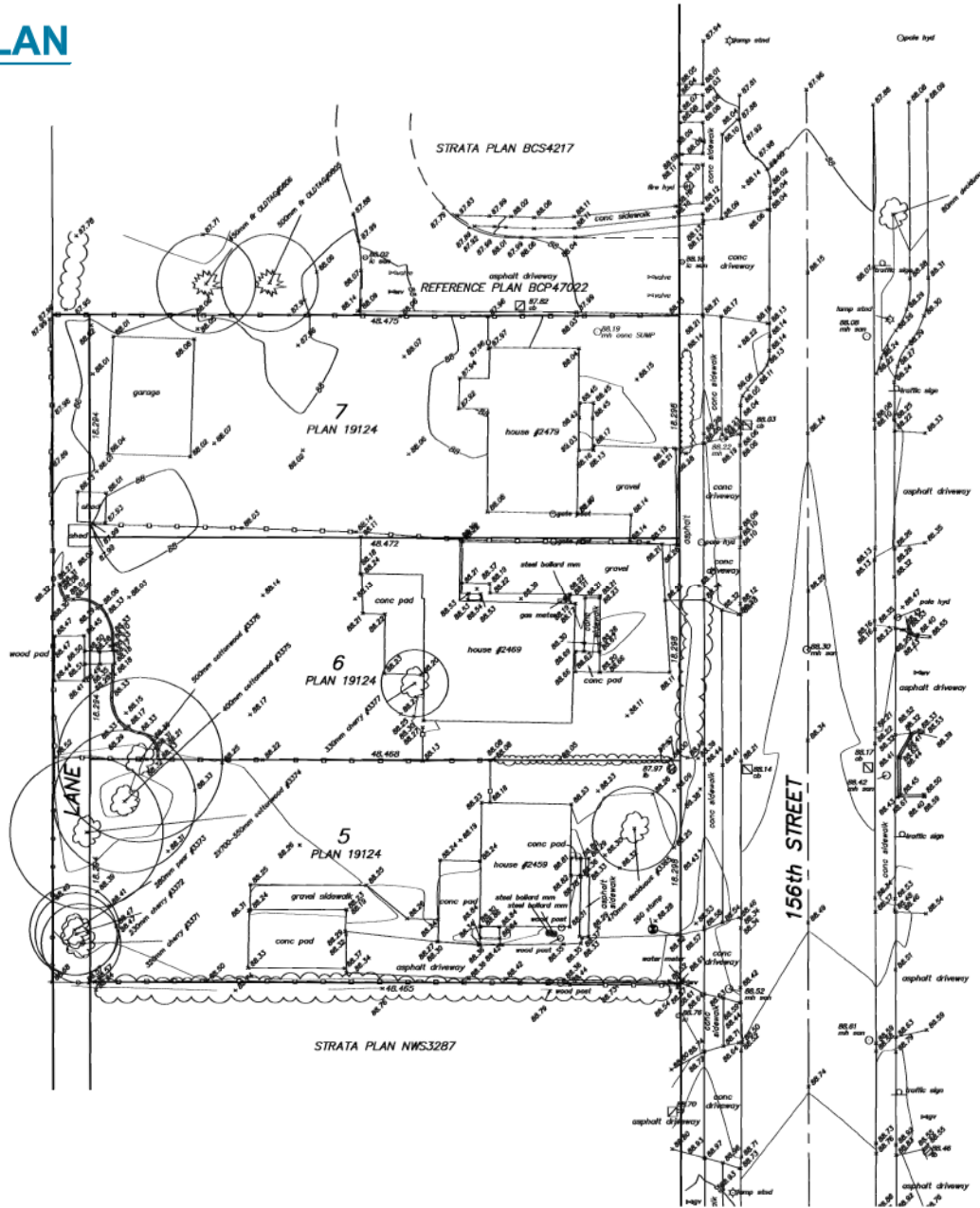
FOR:  
 1168478 BC Ltd.

DRAWING TITLE:  
**156TH STREETSCAPE**

DATE:	AUG. 2022	SHEET NO.:	A-1.3
SCALE:	NTS.		
DESIGNER:	A.A.		
DRAWN:	A.A.		
PROJECT NO.:	-		

# SURVEY PLAN

77  
PLAN 57015



**F. ADAB  
ARCHITECTS  
INC.**

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EMAIL: info@fadab.com

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Contractors will verify and be responsible for all dimensions on the job. This office will be advised of any discrepancies and corrections done on drawings.

These design documents are prepared solely for the use by the party who retain the design professional fee contract and are not to be used as a representation of any third party by the design professional to any party who was not the design professional fee contract.

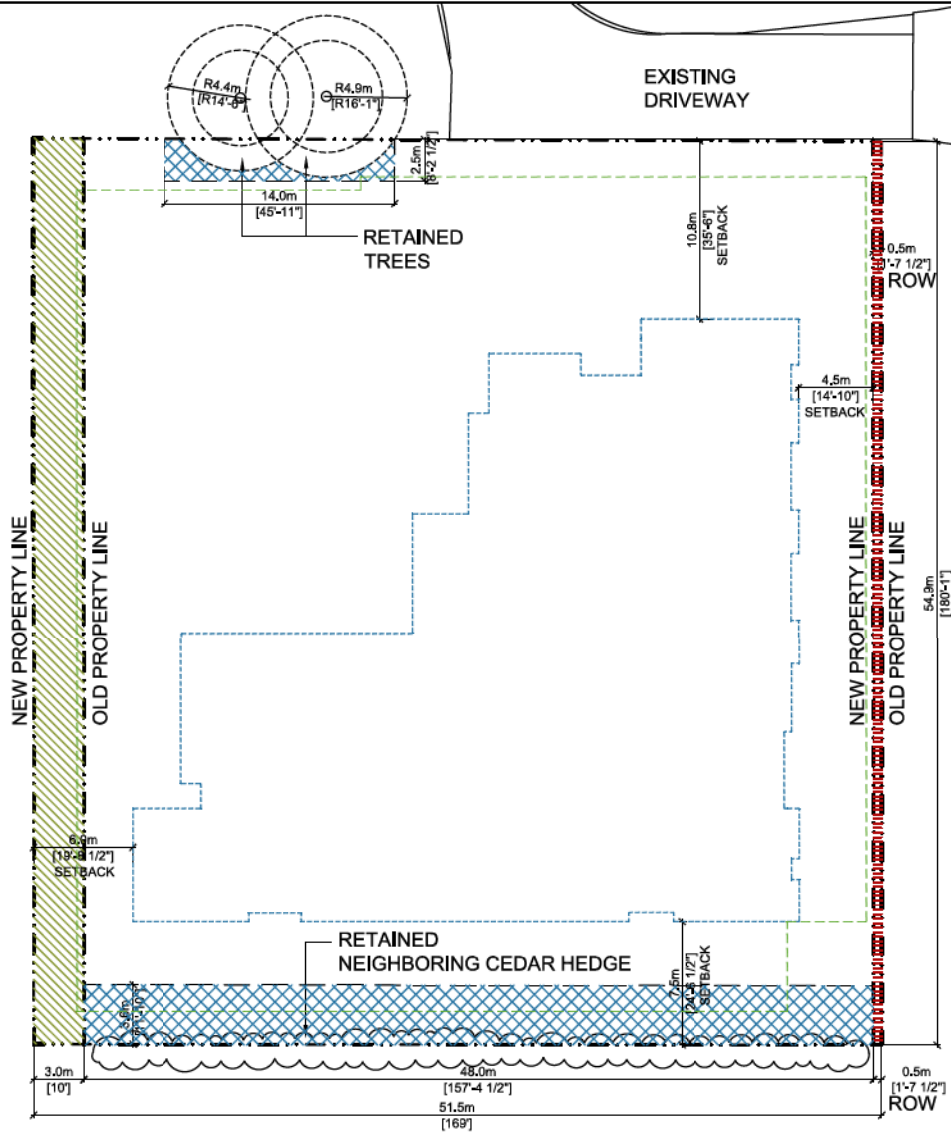
NO.	DATE	REVISION / ISSUED
6	06-04-24	REISSUED FOR CITY REVIEW
5	03-13-24	REVISED TO SIX STOREY PERMIT.
4	11-05-21	REISSUED FOR CITY REVIEW
3	04-04-21	REISSUED FOR CITY REVIEW
2	01-19-21	REISSUED FOR CITY REVIEW
1	11-04-20	ISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
2459-2469-2479, 156TH STREET  
SURREY, BC.

FOR:  
1168478 BC Ltd.

DRAWING TITLE:  
**SURVEY PLAN**

DATE:	AUG. 2020	SHEET NO.:	<b>A-1.4</b>
SCALE:	NTS.		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		



- LEGEND**
- OBTAINED LANE
  - RIGHT OF WAY (ROW)
  - TREE PROTECTED ZONE
  - PROPERTY LINE
  - LINE OF UG. PARKING STRUCTURE
  - SETBACK LINE
  - BUILDING FOOTPRINT AT GROUND LEVEL

156 STREET



**F. ADAB ARCHITECTS INC.**

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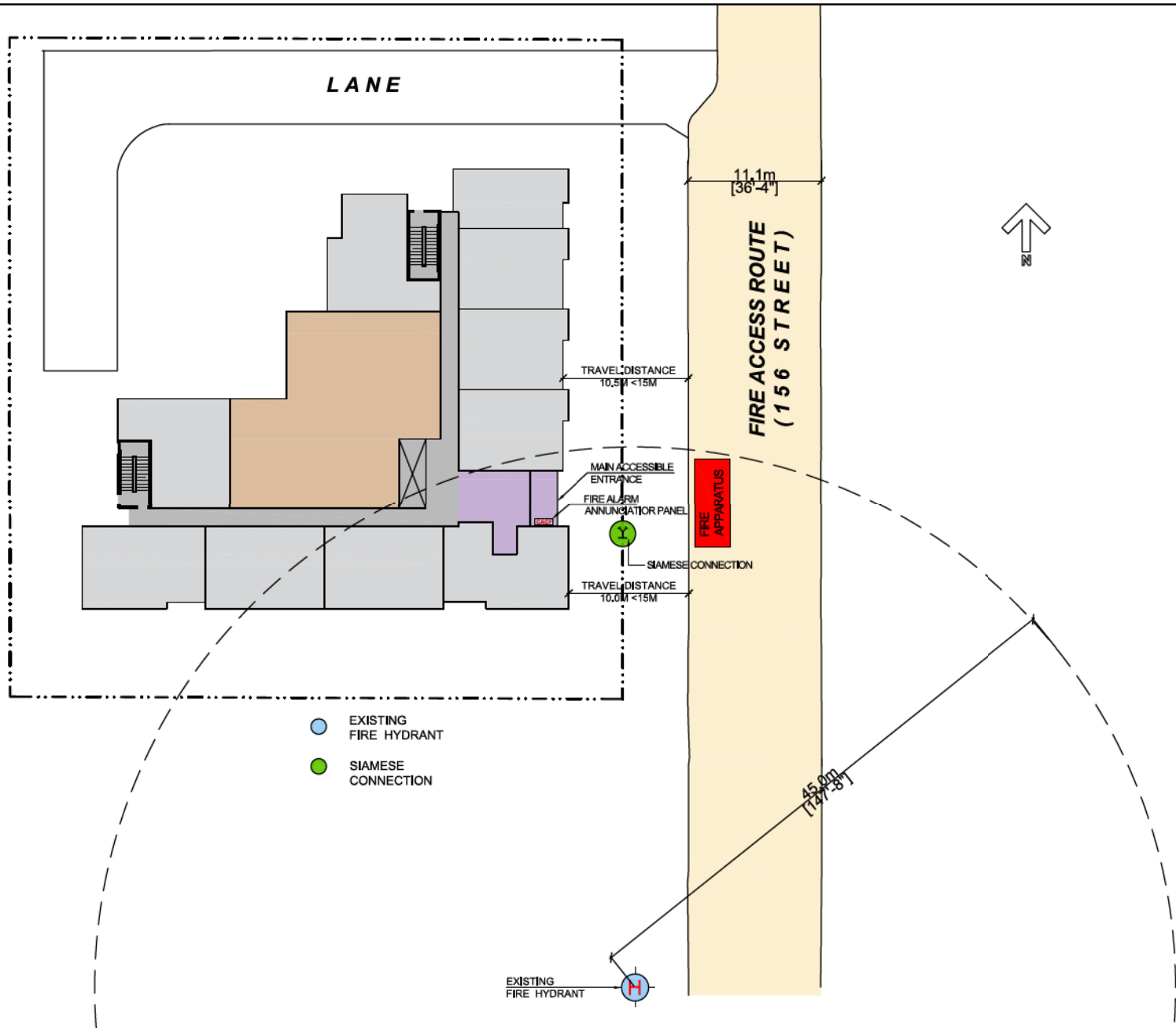
NO.	DATE	REVISION / ISSUED
6	06-04-24	REISSUED FOR CITY REVIEW
5	03-13-24	REVISED TO 28K STOREY PERMITS
4	11-05-21	REISSUED FOR CITY REVIEW
3	04-03-21	REISSUED FOR CITY REVIEW
2	01-19-21	REISSUED FOR CITY REVIEW
1	11-04-20	REISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
 2459-2469-2479, 156TH STREET  
 SURREY, BC.

FOR:  
 1168478 BC Ltd.

DRAWING TITLE:  
**BASE PLAN**

DATE:	AUG. 2020	SHEET NO.:	<b>A-1.5</b>
SCALE:	NTS.		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		



- EXISTING FIRE HYDRANT
- SIAMESE CONNECTION



**F. ADAB ARCHITECTS INC.**

#130-100 ROOSEVELT CRESCENT  
 NORTH VANCOUVER, BC V1P 3M4  
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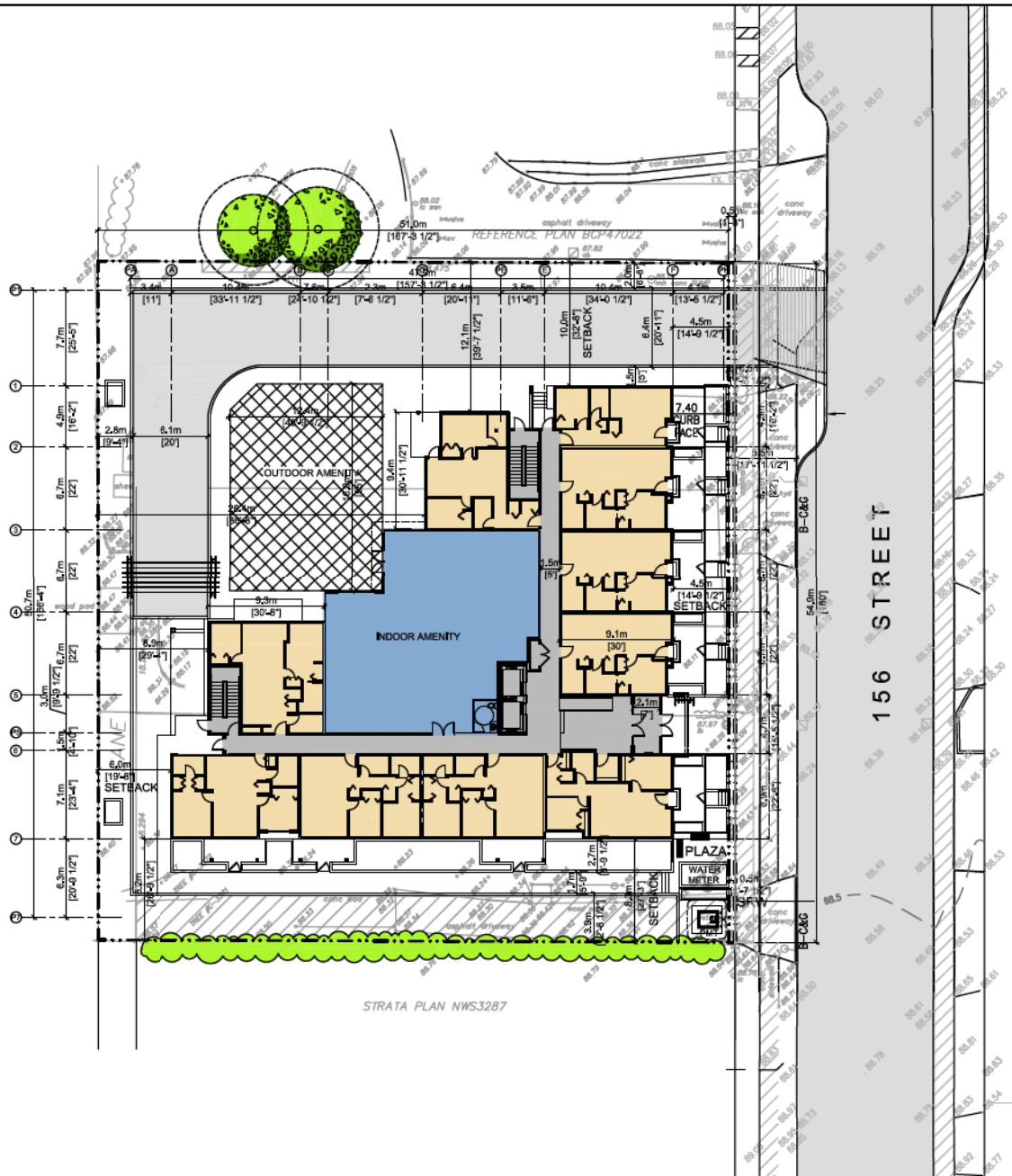
NO.	DATE	REVISION / ISSUED
6	06-04-24	REISSUED FOR CITY REVIEW
5	03-13-24	REVISED TO 60K STOREY PERMITS.
4	11-05-21	REISSUED FOR CITY REVIEW
3	04-04-21	REISSUED FOR CITY REVIEW
2	01-19-21	REISSUED FOR CITY REVIEW
1	11-04-20	REISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
 2459-2469-2479, 156TH STREET  
 SURREY, BC.

FOR:  
 1168478 BC Ltd.

DRAWING TITLE:  
**FIRE ACCESS PLAN**

DATE: AUG. 2020	SHEET NO:
SCALE: NTS.	A-1.6
DESIGN: AA	
DRAWN: A.A.	
PROJECT NO: -	



**F. ADAB  
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NO.	DATE	REVISION / ISSUED
6	06-04-24	REISSUED FOR CITY REVIEW
5	03-13-24	REVISED TO 80% STOREY PERMIT.
4	11-05-21	REISSUED FOR CITY REVIEW
3	04-04-21	REISSUED FOR CITY REVIEW
2	01-19-21	REISSUED FOR CITY REVIEW
1	11-04-20	ISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
2459-2469-2479, 156TH STREET  
SURREY, BC.

FOR:  
1168478 BC Ltd.

DRAWING TITLE:  
**SITE PLAN**

DATE:	AUG. 2020	SHEET NO.:	<b>A-1.7</b>
SCALE:	NTS.		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		

## PROJECT STATISTICS

### C/MC ADDRESS :

2459, 2469, 2479,  
156TH STREET, SURREY, BC.

### LEGAL DESCRIPTION :

LOTS 5,6 & 7, ALL OF SECTION 23, TOWNSHIP 1,  
NEW WESTMINSTER DISTRICT, PLAN 19124, SURREY, BC.

### LOT AREA :

BEFORE DEDICATION : 2660,4 SQ.M. (28,637 SQ.FT.) ; 0,657 ACRE = 0,266 HA,  
AFTER DEDICATION : 2638,2 SQ.M.(28,398 SQ.FT.) ; 0,651 ACRE =0,263 HA.

### ZONING :

EXISTING : RF  
PROPOSED : CD - COMPREHENSIVE DEVELOPMENT ZONE

### NO. OF UNITS :

NO. STUDIOS : 10  
NO. OF 1 BED RM. UNITS : 29  
NO. OF 1 BED + DEN UNITS : 10  
OF 2 BED RM. UNITS : 33

TOTAL : 82 (INCLUDING 5 ACCESSIBLE UNITS)  
(UNITS ARE ALL RENTAL)

### FLOOR AREA :

FIRST FLOOR : TOTAL : 1045 SQ.M. = 11,302 SQ.FT.  
AMENITY : 246 SQ.M. = 2,648 SQ.FT.  
(EXCLUDED FROM FAR)

FIRST FLOOR INCLUDED IN FAR : 803.9 SQ.M. = 8,654 SQ.FT.  
SECOND FLOOR : 1000.0 SQ.M. = 10,765 SQ.FT.  
THIRD FLOOR : 996.6 SQ.M. = 10,728 SQ.FT.  
FOURTH FLOOR : 996.6 SQ.M. = 10,728 SQ.FT.  
FIFTH FLOOR : 932.8 SQ.M. = 10,041 SQ.FT.  
SIXTH FLOOR : 870.8 SQ.M. = 9,374 SQ.FT.

**TOTAL : 5600.7 SQ.M. = 60,290 SQ.FT.**

### FAR :

GROSS : 5600.7 SQ.M. / 2660.4 SQ.M. = 2.10  
NET : 5600.7 SQ.M. / 2638,2 SQ.M. = 2.12

### DENSITY :

GROSS : 82 / 0,658 ACRE = 124,6 UNIT / ACRE ; 308,2 UNIT / HA.  
NET : 82 / 0,651 ACRE = 125,9 UNIT / ACRE ; 311,7 UNIT / HA.

### LOT COVERAGE (NET) :

BUILDINGS : 1082 SQ.M.(11652 SQ.FT.) / 2638,2 SQ.M. = 41,0%  
HARD SURFACE : 538,6 SQ.M. (5798 SQ.FT.) / 2638,2 SQ.M. = 20,4%

### BUILDING HEIGHT :

6 STOREYS : 19.5 M.

### PARKING ( BASED ON RENTAL UNITS ) :

REQUIRED : 1 STALL / UNIT ;  
TOTAL : 82

PARKING PROVIDED : 82

ACCESSIBLE STALLS REQUIRED : 2% OF TOTAL = 0,02 X 82 = 1,64

ACCESSIBLE STALLS PROVIDED : 2

VISITORS STALLS REQUIRED : 0,1 / UNIT ;  
0,1 x 82 = 8,2

VISITORS PARKING PROVIDED : 8 STALLS

SMALL CAR PROVIDED : 5 STALLS  
(ALLOWED : 0,35% OF 82 = 28,7)

### BICYCLE PARKING :

REQUIRED: 1,2 STALLS / UNITS  
1,2 X 82 = 98,4  
PROVIDED: 100

### LOCKER STORAGE :

REQUIRED : 1 / UNIT = 82  
PROVIDED : 82

### INDOOR AMENITY:

REQUIRED : 3 SQ.M. ( 32,29 SQ.FT.) / UNIT  
3 X 82 = 246 SQ.M. (2648 SQ.FT.)  
PROVIDED : 246 SQ.M. (2648 SQ.FT.)

### OUTDOOR AMENITY :

REQUIRED : 3 SQ.M. ( 32,29 SQ.FT.) / UNIT  
3 X 82 = 246 SQ.M. (2648 SQ.FT.)  
PROVIDED : 246 SQ.M. (2648 SQ.FT.)

### SETBACKS :

PROVIDED : NORTH PL. : 10,8 m. (35'-5")  
SOUTH PL. : 7,5 m. (24'-6") TO 7,3 m. (23'-11")  
EAST PL. : 4,5 m. (14'- 9")  
WEST PL. : 6,0 m. (19'- 8") TO 26,4m. (86'- 9")

### NO. OF UNITS

NO OF STUDIO	10
NO OF 1 BED RM. UNITS	29
NO OF 1 BED+DEN UNITS	10
NO OF 2 BED RM. UNITS	33
TOTAL NO. OF UNITS	82

### UNIT MIX

UNIT TYPE	NO OF BED RM.	NO OF UNIT	AREA (SQ.FT.)	TOTAL AREA (SQ.FT.)
A	1+DEN	3	640	1920
A1	1	10	603	6030
A2	1	10	630	6300
B	2	12	729	8748
C	1+DEN	3	683	2049
C1	2	1	710	710
D	2	6	746	4476
E	2	1	757	757
F	STUDIO	4	344	1376
G	1	6	577	3462
H	2	4	877	3508
J	2	4	717	2868
J1	2	1	702	702
J2	2	1	702	702
K	1+DEN	3	625	1875
K1	1	1	492	492
L	1+DEN	1	683	683
M	2	1	782	782
N	2	1	703	703
O	STUDIO	1	420	420
P	1	1	518	518
Q	1	1	620	620
R	2	1	690	690
S	STUDIO	5	329	1645
TOTAL		82		52036

INCLUDING 5 ADAPTABLE UNITS  
EFFICIENCY | 52036 / 60290 = 86,3%



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NO.	DATE	REVISION / ISSUED
6	06-04-24	REISSUED FOR CITY REVIEW
5	04-13-24	REVISION TO 5th STOREY PERMITS
4	11-09-21	REISSUED FOR CITY REVIEW
3	04-04-21	REISSUED FOR CITY REVIEW
2	01-19-21	REISSUED FOR CITY REVIEW
1	11-04-20	ISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
2459-2469-2479, 156TH STREET  
SURREY, BC.

FOR:  
1168478 BC Ltd.

DRAWING TITLE:  
**STATISTICS**

DATE:	AUG. 2022	SHEET NO.:
SCALE:	N/A	<b>A-1.8</b>
DESIGN:	AA	
DRAWN:	AA	
PROJECT NO.:	-	





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NO.	DATE	REVISION / ISSUED
6	06-04-24	REISSUED FOR CITY REVIEW
5	04-13-24	REVISED TO 5&6 STOREY PERMITS.
4	11-05-21	REISSUED FOR CITY REVIEW
3	04-04-21	REISSUED FOR CITY REVIEW
2	01-19-21	REISSUED FOR CITY REVIEW
1	11-04-20	ISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
2459-2469-2479, 156TH STREET  
SURREY, BC.

FOR:  
1168478 BC Ltd.

DRAWING TITLE:  
**PERSPECTIVE VIEW**

DATE:	AUG. 2020	SHEET NO.:	<b>A-1.9</b>
SCALE:	N/A		
DESIGN:	A.A.		
DRAWN:	A.A.		
PROJECT NO.:	-		



**NORTH ELEVATION**



**EAST ELEVATION (FACING 156 STREET)**



**F. ADAB  
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INC.**

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NO.	DATE	REVISION / ISSUED
6	06-04-24	REISSUED FOR CITY REVIEW
5	04-14-24	REVISED TO 5&6 STOREY PERMITS
4	11-05-21	REISSUED FOR CITY REVIEW
3	04-04-21	REISSUED FOR CITY REVIEW
2	01-19-21	REISSUED FOR CITY REVIEW
1	11-04-20	ISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
2459-2469-2479, 156TH STREET  
SURREY, BC.

FOR:  
1168478 BC Ltd.

DRAWING TITLE:  
**COLORED ELEVATIONS**  
(NORTH AND EAST)

DATE:	AUG. 2020	SHEET NO.:	<b>A-1.10</b>
SCALE:	NTS		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		



**WEST ELEVATION**



**SOUTH ELEVATION**



**F. ADAB  
ARCHITECTS  
INC.**

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TEL: (604) 967-0033 FAX: (604) 967-0033  
EMAIL: info@fadam.com

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NO.	DATE	REVISION / ISSUED
6	06-04-24	REISSUED FOR CITY REVIEW
5	04-13-24	REVISED TO 5&6 STOREY PERMITS.
4	11-05-21	REISSUED FOR CITY REVIEW
3	04-04-21	REISSUED FOR CITY REVIEW
2	01-19-21	REISSUED FOR CITY REVIEW
1	11-04-20	ISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
2459-2469-2479, 156TH STREET  
SURREY, BC.

FOR:  
1168478 BC Ltd.

DRAWING TITLE:  
**COLORED ELEVATIONS  
(SOUTH AND WEST)**

DATE:	AUG. 2020	SHEET NO.:	<b>A-1.11</b>
SCALE:	NTS		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		



**NORTH ELEVATION**



**EAST ELEVATION**

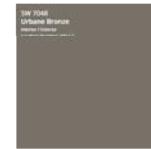
**EXTERIOR FINISH COLOUR SCHEME**



**1**  
**BRICK :**  
SMOKE MOUNTAIN - BY IXL



**2**  
**HARDIE SIDING & PANEL :**  
SW 7004 SNOWBOUND -  
BY SHERWIN WILLIAMS



**3**  
**HARDIE PANEL :**  
SW 7048 URBANE BRONZE-  
BY SHERWIN WILLIAMS



**4**  
**WINDOW SILLS, WALL CAPS :**  
SW 9163 TIN LIZZIE-  
BY SHERWIN WILLIAMS



**5**  
**WINDOWS, STOREFRONT,  
CANOPIES, RAILING, GATES :**  
BLACK



**F. ADAB  
ARCHITECTS  
INC.**

#150-1000 ROCHEVELT CRESCENT  
NORTH VANCOUVER, BC V7P 3H4  
TEL: 604-967-0000 FAX: 604-967-3033  
EMAIL: info@fadab.com

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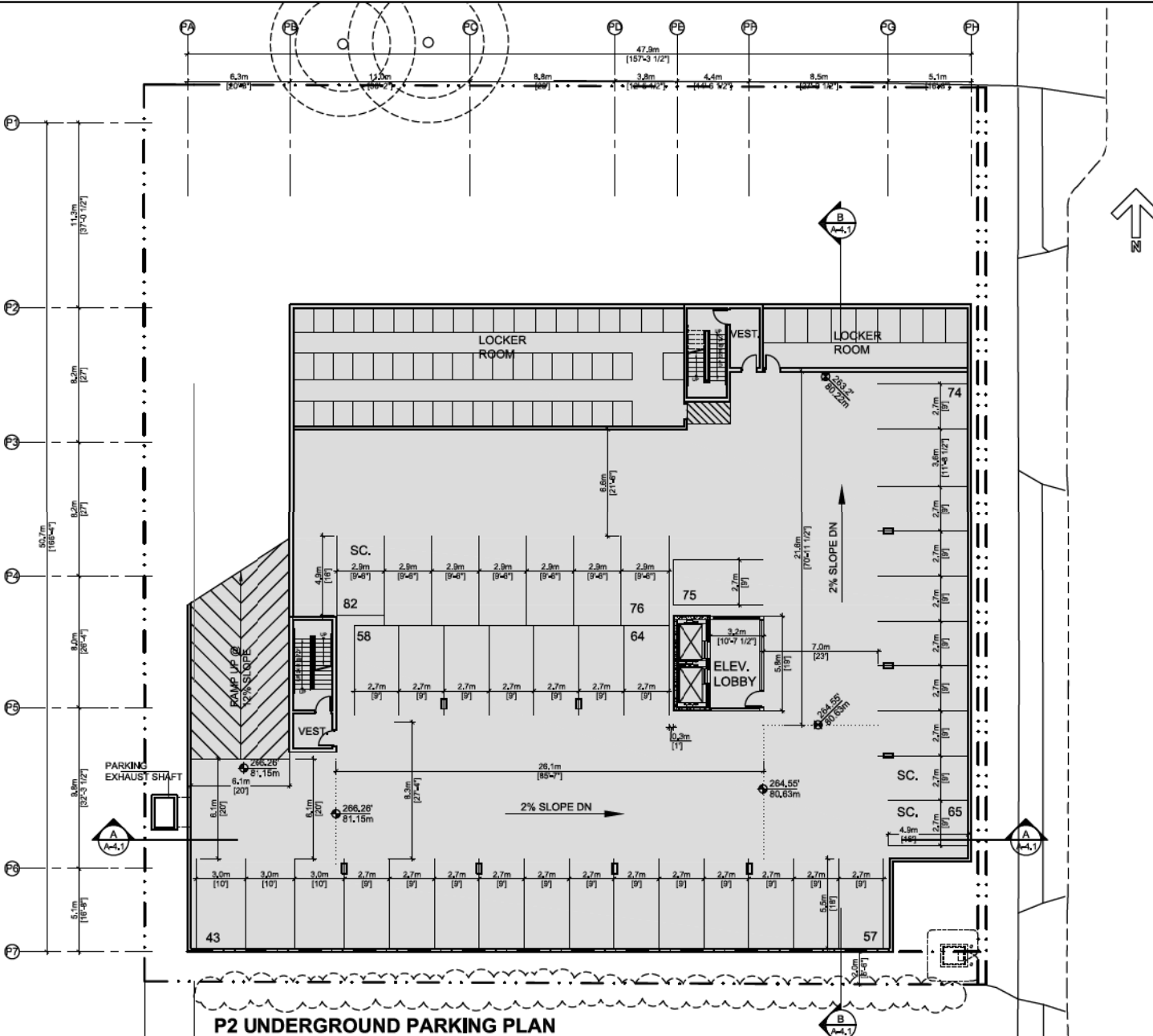
NO.	DATE	REVISION / ISSUED
6	06-04-24	REISSUED FOR CITY REVIEW
5	02-13-24	REMOVED TO 6TH STOREY RENTAL
4	11-08-21	REISSUED FOR CITY REVIEW
3	04-29-21	REISSUED FOR CITY REVIEW
2	01-19-21	REISSUED FOR CITY REVIEW
1	11-24-20	ISSUED FOR CITY REVIEW
NO.	DATE	REVISION / ISSUED

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
2455-2480-2478, 156TH STREET  
SURREY, BC.

FOR:  
1168478 BC Ltd.

DRAWING TITLE:  
**EXTERIOR FINISH MATERIALS**

DATE: AUG, 2022	SHEET NO:
SCALE: N/A	<b>A-1.12</b>
DESIGN: A.A.	
DRAWN: A.A.	
PROJECT NO: -	



**P2 UNDERGROUND PARKING PLAN**



**F. ADAB ARCHITECTS INC.**

#130-1010 ROOSEVELT CRESCENT  
 NORTH VANCOUVER, BC V1P 3H4  
 TEL: (604) 967-0033 FAX: (604) 967-0033  
 EMAIL: info@f-adab.com

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NO.	DATE	REVISION / ISSUED
6	06-04-24	REISSUED FOR CITY REVIEW
5	05-13-24	REVIEWED TO 2ND STOREY REVIEW
4	11-05-21	REISSUED FOR CITY REVIEW
3	04-04-21	REISSUED FOR CITY REVIEW
2	01-19-21	REISSUED FOR CITY REVIEW
1	11-04-20	REISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
 2459-2469-2479, 156TH STREET  
 SURREY, BC.

FOR:  
 1168478 BC Ltd.

DRAWING TITLE:  
**P2 PARKING PLAN**

DATE:	AUG. 2022	SHEET NO.:	<b>A-2.1</b>
SCALE:	NTS.		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		



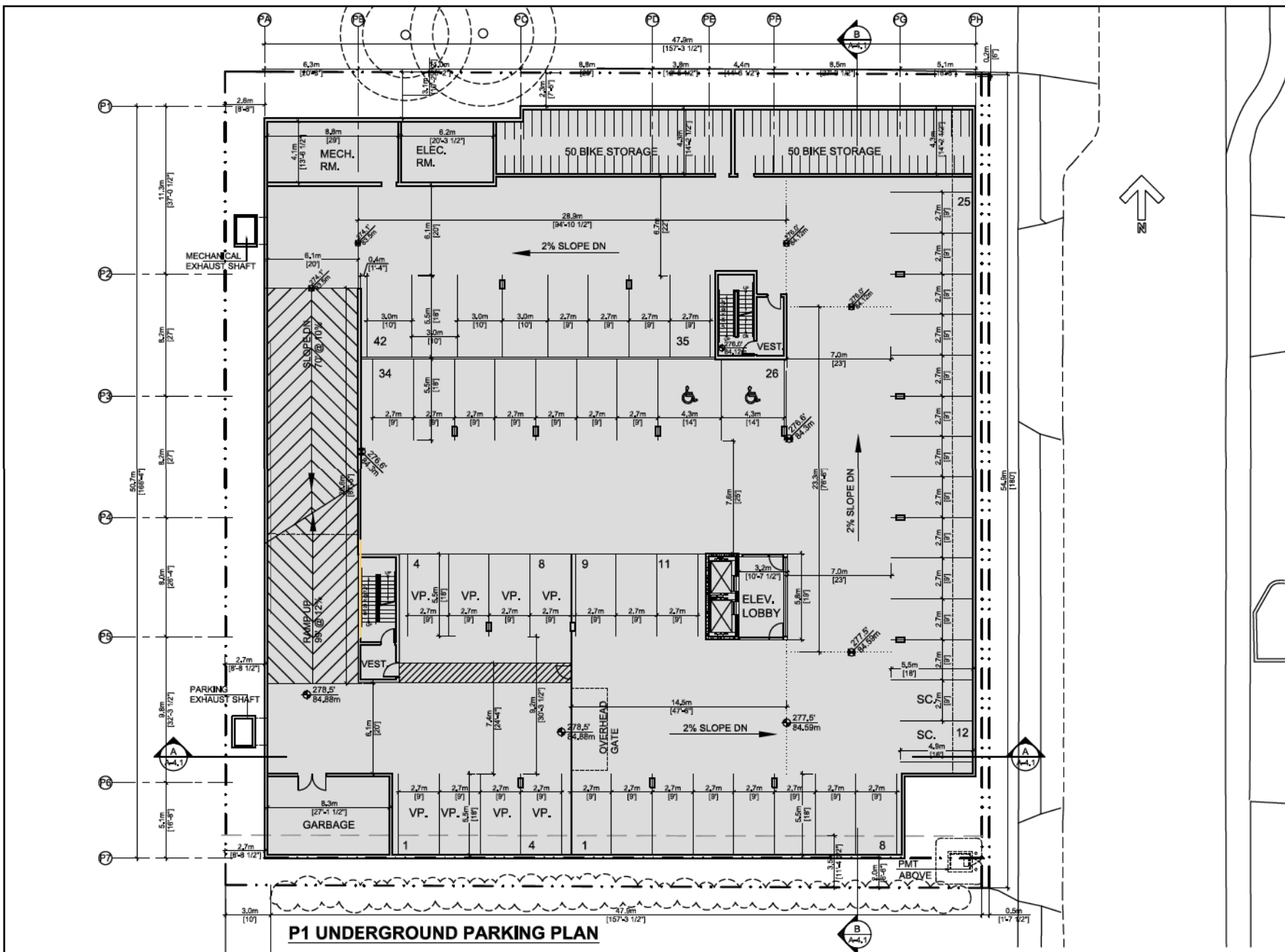
# F. ADAB ARCHITECTS INC.

#130-1010 ROOSEVELT CRESCENT  
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**P1 UNDERGROUND PARKING PLAN**

NO.	DATE	REVISION / ISSUED
6	06-04-24	REISSUED FOR CITY REVIEW
5	05-13-24	REVIEWED TO SIX STOREY PERMIT.
4	11-05-21	REISSUED FOR CITY REVIEW
3	04-04-21	REISSUED FOR CITY REVIEW
2	01-19-21	REISSUED FOR CITY REVIEW
1	11-04-20	REISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
2459-2469-2478, 156TH STREET  
SURREY, BC.

FOR:  
1168478 BC Ltd.

DRAWING TITLE:  
**P1 PARKING PLAN**

DATE: AUG. 2022	SHEET NO:
SCALE: NTS.	<b>A-2.2</b>
DESIGN: AA	
DRAWN: AA	
PROJECT NO: -	





**SECOND FLOOR PLAN**



**F. ADAB ARCHITECTS INC.**

#130-1010 ROOSEVELT CRESCENT  
NORTH VANCOUVER, BC V7P 3R4  
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NO.	DATE	REVISION / ISSUED
6	06-04-24	REISSUED FOR CITY REVIEW
5	03-13-24	REVISED TO 2ND STOREY PERMIT.
4	11-09-21	REISSUED FOR CITY REVIEW
3	04-04-21	REISSUED FOR CITY REVIEW
2	01-19-21	REISSUED FOR CITY REVIEW
1	11-04-20	ISSUED FOR CITY REVIEW

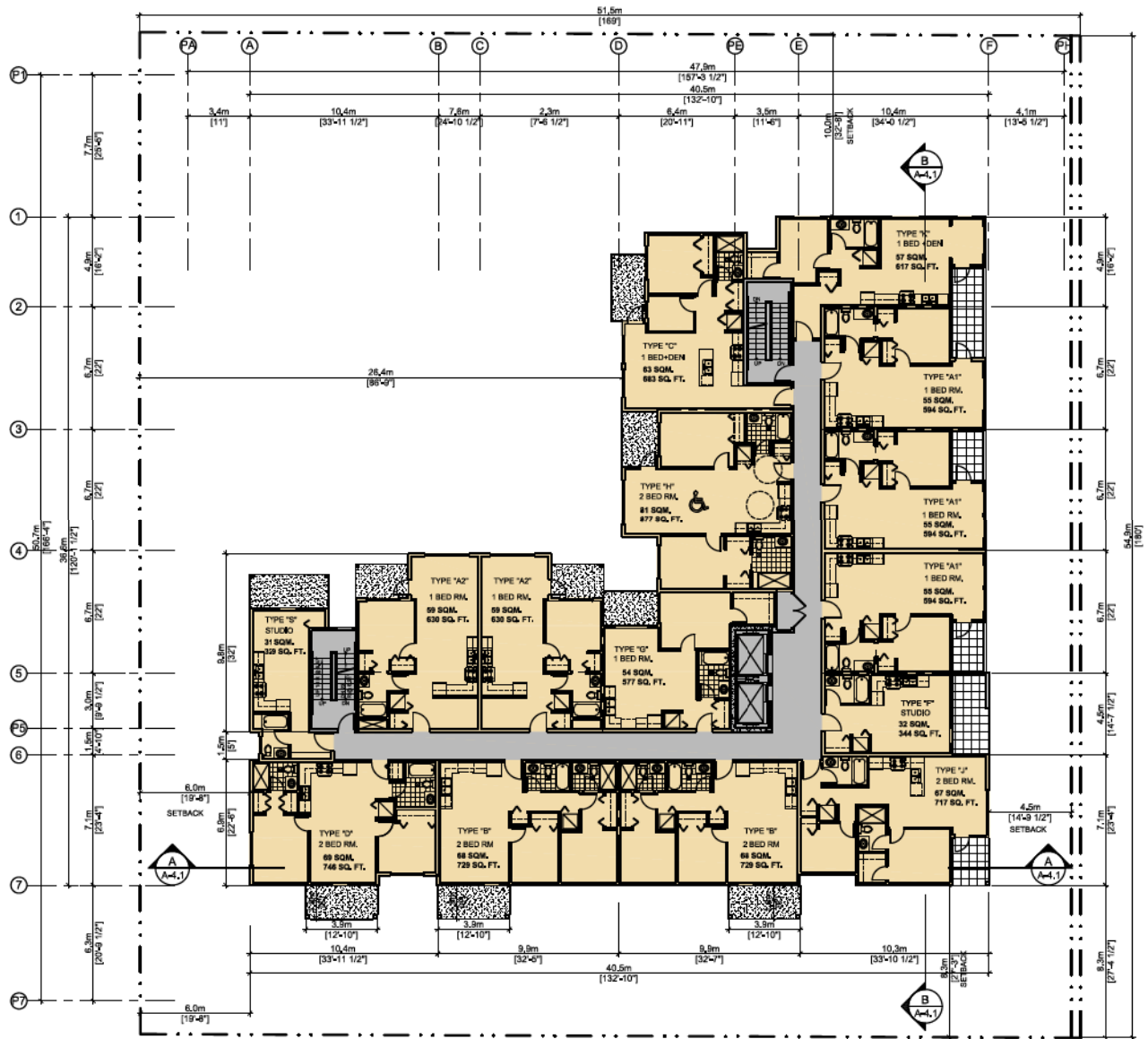
PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
2459-2469-2479, 156TH STREET  
SURREY, BC.

FOR:  
1168478 BC Ltd.

DRAWING TITLE:  
**SECOND FLOOR PLAN**

DATE:	AUG. 2022	SHEET NO.:	<b>A-2.4</b>
SCALE:	NTS.		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		





**THIRD & FOURTH FLOOR PLAN**



**F. ADAB ARCHITECTS INC.**

#130-1010 ROOSEVELT CRESCENT  
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NO.	DATE	REVISION / ISSUED
6	06-04-24	REISSUED FOR CITY REVIEW
5	04-13-24	REVISED TO 2ND STOREY PERMIT.
4	11-05-21	REISSUED FOR CITY REVIEW
3	04-04-21	REISSUED FOR CITY REVIEW
2	01-19-21	REISSUED FOR CITY REVIEW
1	11-04-20	ISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
2459-2469-2478, 156TH STREET  
SURREY, BC.

FOR:  
1168478 BC Ltd.

DRAWING TITLE:  
**THIRD & FOURTH FLOOR PLAN**

DATE:	AUG. 2022	SHEET NO.:	<b>A-2.5</b>
SCALE:	NTS.		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		



**FIFTH FLOOR PLAN**



**F. ADAB ARCHITECTS INC.**

#130-1010 ROOSEVELT CRESCENT  
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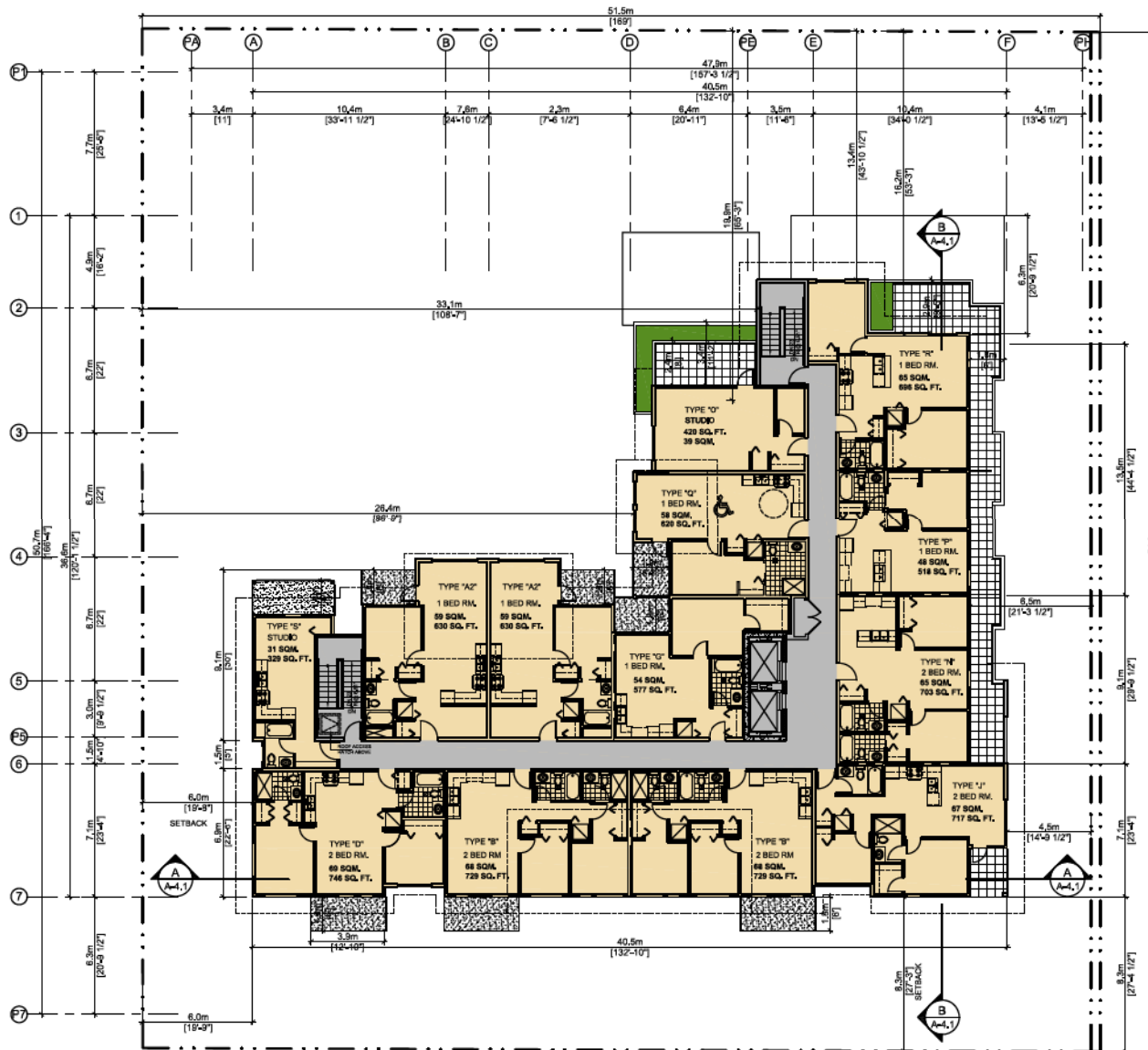
NO.	DATE	REVISION / ISSUED
6	06-04-24	REISSUED FOR CITY REVIEW
5	03-13-24	REVISED TO SIX STOREY PERMIT.
4	11-05-21	REISSUED FOR CITY REVIEW
3	04-04-21	REISSUED FOR CITY REVIEW
2	01-19-21	REISSUED FOR CITY REVIEW
1	11-04-20	ISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
 2459-2469-2479, 156TH STREET  
 SURREY, BC.

FOR:  
 1168478 BC Ltd.

DRAWING TITLE:  
**FIFTH FLOOR PLAN**

DATE:	AUG. 2022	SHEET NO.:	A-2.6
SCALE:	NTS.		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		



**F. ADAB ARCHITECTS INC.**

#130-1010 ROOSEVELT CRESCENT  
 NORTH VANCOUVER, BC V7P 3R4  
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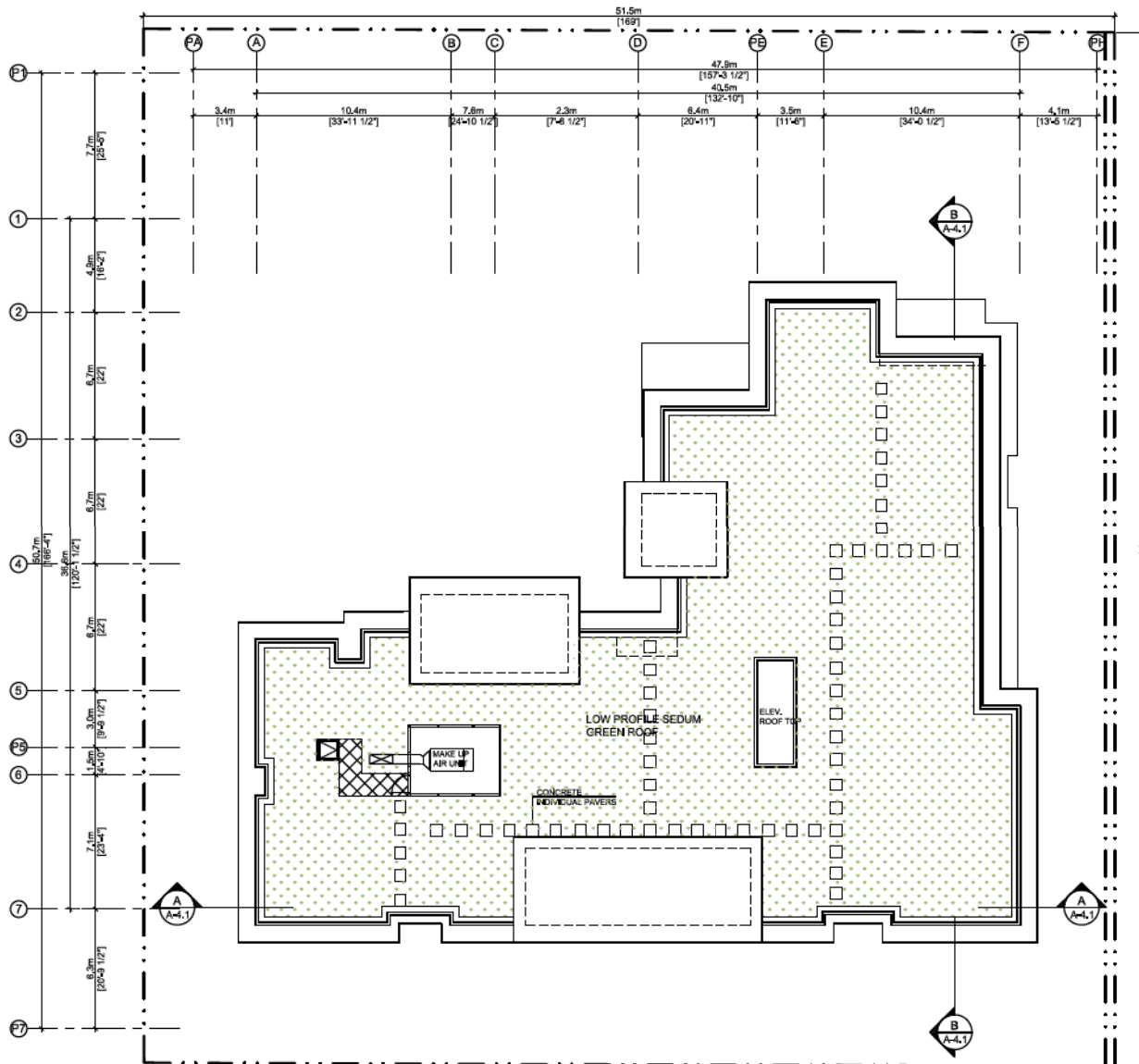
NO.	DATE	REVISION / ISSUED
6	06-04-24	REISSUED FOR CITY REVIEW
5	04-13-24	REVISED TO SIX STOREY PERMIT.
4	11-09-21	REISSUED FOR CITY REVIEW
3	04-04-21	REISSUED FOR CITY REVIEW
2	01-19-21	REISSUED FOR CITY REVIEW
1	11-04-20	ISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
 2459-2469-2479, 156TH STREET  
 SURREY, BC.

FOR:  
 1168478 BC Ltd.

DRAWING TITLE:  
**SIXTH FLOOR PLAN**

DATE:	AUG, 2022	SHEET NO.:	<b>A-2.7</b>
SCALE:	NTS.		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:	-		



**ROOF PLAN**



**F. ADAB ARCHITECTS INC.**

#130-1010 ROOSEVELT CRESCENT  
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NO.	DATE	REVISION / ISSUED
6	06-04-24	REISSUED FOR CITY REVIEW
5	04-13-24	REMOVED TO 2ND STOREY REVISION
4	11-05-21	REISSUED FOR CITY REVIEW
3	04-04-21	REISSUED FOR CITY REVIEW
2	01-19-21	REISSUED FOR CITY REVIEW
1	11-04-20	REISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
2459-2469-2479, 156TH STREET  
SURREY, BC.

FOR:  
1168478 BC Ltd.

DRAWING TITLE:  
**ROOF PLAN**

DATE:	AUG. 2022	SHEET NO.:
SCALE:	NTS.	<b>A-2.8</b>
DESIGN:	AA	
DRAWN:	AA	
PROJECT NO.:	-	



**F. ADAB ARCHITECTS INC.**

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TEL: (604) 887-3003 FAX: (604) 887-3003  
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NO.	DATE	REVISION / ISSUED
6	06-04-24	REISSUED FOR CITY REVIEW
5	05-13-24	REVISSED TO 3&S STOREY INITIAL
4	11-05-21	REISSUED FOR CITY REVIEW
3	04-29-21	REISSUED FOR CITY REVIEW
2	01-16-21	REISSUED FOR CITY REVIEW
1	1-26-20	ISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
2459-2469-2479, 156TH STREET  
SURREY, BC.

FOR:  
1168478 BC Ltd.

DRAWING TITLE:  
**EAST ELEVATION**

DATE	AUG, 2020	SHEET NO.
SCALE	NTS	<b>A-3.1</b>
DESIGN	AA	
DRAWN	AA	
PROJECT NO.		

**EXTERIOR FINISHES**

- 1 BRICK SMOKEY MOUNTAIN - BY IXL
- 2 HARDIE PANEL SW 7004 SNOWBOUND BY SHERWIN WILLIAMS
- 3 HARDIE PANEL SW7048 URBANE BRONZE BY SHERWIN WILLIAMS
- 4 6" HORIZONTAL HARDIE SIDING, TRIM & FASCIA - SW 7004 SNOWBOUND BY SHERWIN WILLIAMS
- 5 WINDOW BLACK VINYL
- 6 STOREFRONT BLACK ALUMINUM
- 7 RAILING BLACK ALUMINUM & CLEAR SAFETY GLASS
- 7a GUARDRAIL AND GATE BLACK ALUMINUM
- 8 WINDOW SILL & WALL CAP PRECAST CONCRETE PAINTED - SW 9163 TIN LIZZIE BY SHERWIN WILLIAMS
- 9 ENTRY DOORS INSULATED WOOD & CLEAR SAFETY GLASS 7 - BY SHERWIN WILLIAMS
- 10 SPANDREL - GLASS OVER PAINTED WALL
- 11 CANOPY (BLACK METAL FRAME AND CLEAR GLASS)
- 12 CONCRETE PLANTER AND RETAINING WALL PAINTED - SW 9163 TIN LIZZIE BY SHERWIN WILLIAMS
- 13 TRELLIS - STAINED CEDAR WOOD

REVEALS (IN HARDIE PANELS) - COLOUR SAME AS PANELS



**EAST ELEVATION (156 STREET)**



**ELEVATION OF FENCE AND GATES**



**F. ADAB  
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INC.**

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CAD: j.milne@f-adab.com

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NO.	DATE	REVISION / ISSUED
1	09-04-04	REBUISSED FOR CITY REVIEW
1	02-13-04	REBUISSED TO 3-1/2 STOREY RENTAL
4	11-06-21	REBUISSED FOR CITY REVIEW
3	04-29-21	REBUISSED FOR CITY REVIEW
2	01-19-21	REBUISSED FOR CITY REVIEW
1	11-24-20	ISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
2459-2469-2479, 156TH STREET  
SURREY, BC.

FOR:  
1168478 BC Ltd.

DRAWING TITLE:  
**SOUTH ELEVATION**

DATE:	AUG, 2020	SHEET NO.:	<b>A-3.2</b>
SCALE:	NTS.		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO.:			



EXTERIOR FINISHES	
1	<b>BRICK</b> SMOKEY MOUNTAIN - BY IXL
2	<b>HARDIE PANEL</b> SW 7004 SNOWBOUND BY SHERWIN WILLIAMS
3	<b>HARDIE PANEL</b> SH7048 URBANE BRONZE BY SHERWIN WILLIAMS
4	<b>6" HORIZONTAL HARDIE SIDING, TRIM &amp; FASCIA</b> - SW 7004 SNOWBOUND BY SHERWIN WILLIAMS
5	<b>WINDOW</b> BLACK VINYL
6	<b>STOREFRONT</b> BLACK ALUMINUM
7	<b>RAILING</b> BLACK ALUMINUM & CLEAR SAFETY GLASS
7a	<b>GUARDRAIL AND GATE</b> BLACK ALUMINUM
8	<b>WINDOW SILL &amp; WALL CAP PRECAST CONCRETE</b> PAINTED - SW 9163 TN LEZIE BY SHERWIN WILLIAMS
9	<b>ENTRY DOORS</b> INSULATED WOOD & CLEAR SAFETY GLASS 7 - BY SHERWIN WILLIAMS
10	<b>SPANDREL</b>
11	<b>CANOPY (BLACK METAL FRAME AND CLEAR GLASS)</b>
12	<b>CONCRETE PLANTER AND RETAINING WALL</b> PAINTED - SW 9163 TN LEZIE BY SHERWIN WILLIAMS
13	<b>TRELLIS - STAINED CEDAR WOOD</b>

REVEALS (IN HARDIE PANELS) - COLOUR SAME AS PANELS



**F. ADAB  
ARCHITECTS  
INC.**

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**WEST ELEVATION**

EXTERIOR FINISHES	
1	BRICK SMOKEY MOUNTAIN - BY DXL
2	HARDIE PANEL SW 7004 SNOWBOUND BY SHERWIN WILLIAMS
3	HARDIE PANEL SW7048 URBANE BRONZE BY SHERWIN WILLIAMS
4	6" HORIZONTAL HARDIE SIDING, TRIM & FASCIA SW 7004 SNOWBOUND BY SHERWIN WILLIAMS
5	WINDOW BLACK VINYL
6	STOREFRONT BLACK ALUMINUM
7	RAILING BLACK ALUMINUM & CLEAR SAFETY GLASS
7a	GUARDRAIL AND GATE BLACK ALUMINUM
8	WINDOW SILL & WALL CAP PRECAST CONCRETE PAINTED - SW 9163 TIN LIZZE BY SHERWIN WILLIAMS
9	ENTRY DOORS INSULATED WOOD & CLEAR SAFETY GLASS 7 - BY SHERWIN WILLIAMS
10	SPANDREL
11	CANOPY (BLACK METAL FRAME AND CLEAR GLASS)
12	CONCRETE PLANTER AND RETAINING WALL PAINTED - SW 9163 TIN LIZZE BY SHERWIN WILLIAMS
13	TRELLIS - STAINED CEDAR WOOD

REVEALS (IN HARDIE PANELS) - COLOURS SAME AS PANELS

NO.	DATE	REVISION / ISSUED
1	09-04-04	REISSUED FOR CITY REVIEW
2	02-13-04	REISSUED TO 5-6 STOREY RENTAL
3	11-06-01	REISSUED FOR CITY REVIEW
4	04-29-01	REISSUED FOR CITY REVIEW
5	01-19-01	REISSUED FOR CITY REVIEW
6	11-24-00	ISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
2459-2469-2479, 156TH STREET  
SURREY, BC.

FOR:  
1168478 BC Ltd.

DRAWING TITLE:  
**WEST ELEVATION**

DATE:	AUG, 2020	SHEET NO.:	<b>A-3.3</b>
SCALE:	NTS.		
DESIGN:	AA		
DRAWING:	AA		
PROJECT NO.:			



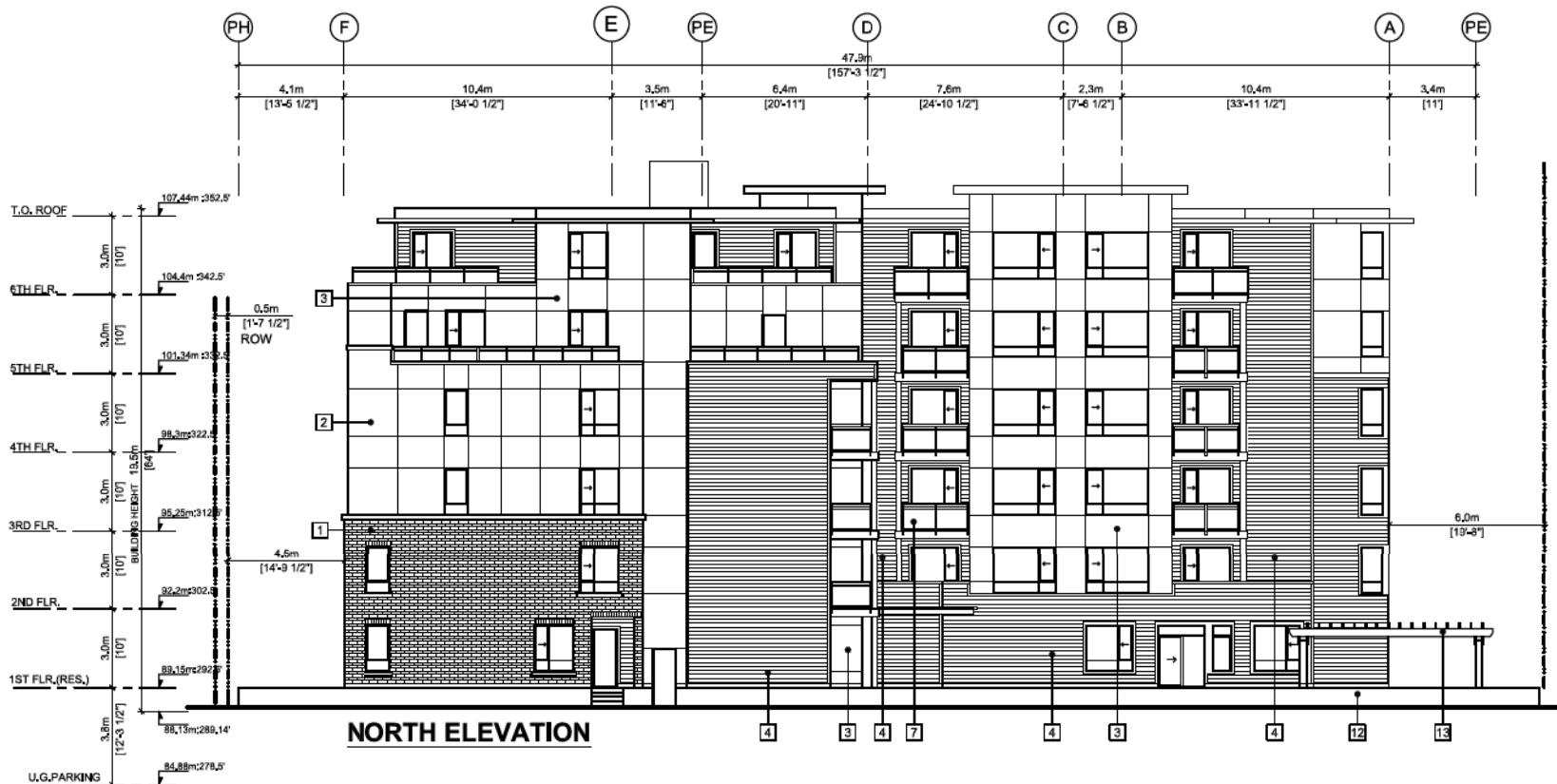
**F. ADAB  
ARCHITECTS  
INC.**

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**NORTH ELEVATION**

**EXTERIOR FINISHES**

- |   |   |
|---|---|
| <p>1 BRICK<br/>SMOKEY MOUNTAIN - BY XL</p> <p>2 HARDIE PANEL<br/>SW 7004 SNOWBOUND BY SHERWIN WILLIAMS</p> <p>3 HARDIE PANEL<br/>SW7048 URBANE BRONZE BY SHERWIN WILLIAMS</p> <p>4 6" HORIZONTAL HARDIE SIDING, TRIM &amp; FASCIA -<br/>SW 7004 SNOWBOUND BY SHERWIN WILLIAMS</p> <p>5 WINDOW<br/>BLACK VINYL</p> <p>6 STOREFRONT<br/>BLACK ALUMINUM</p> <p>7 RAILING<br/>BLACK ALUMINUM &amp; CLEAR SAFETY GLASS</p> | <p>7a GUARDRAIL AND GATE<br/>BLACK ALUMINUM</p> <p>8 WINDOW SILL &amp; WALL CAP PRECAST CONCRETE<br/>PAINTED - SW 9163 TIN LIZZIE<br/>BY SHERWIN WILLIAMS</p> <p>9 ENTRY DOORS<br/>INSULATED WOOD &amp; CLEAR SAFETY GLASS<br/>2 - BY SHERWIN WILLIAMS</p> <p>10 SPANDREL</p> <p>11 CANOPY ( BLACK METAL FRAME AND<br/>CLEAR GLASS)</p> <p>12 CONCRETE PLANTER AND RETAINING WALL<br/>PAINTED - SW 9163 TIN LIZZIE<br/>BY SHERWIN WILLIAMS</p> <p>13 TRELLIS - STAINED CEDAR WOOD</p> |
|---|---|

REVEALS (IN HARDIE PANELS) - COLOURS AS PANELS

NO.	DATE	REVISION / ISSUED
1	09-04-04	REISSUED FOR CITY REVIEW
2	02-15-04	REISSUED TO S&K STOREY RENTAL
4	11-06-21	REISSUED FOR CITY REVIEW
3	04-29-21	REISSUED FOR CITY REVIEW
2	01-19-21	REISSUED FOR CITY REVIEW
1	11-24-20	ISSUED FOR CITY REVIEW

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
2459-2469-2479, 156TH STREET  
SURREY, BC.

FOR:  
1168478 BC Ltd.

DRAWING TITLE:  
**NORTH ELEVATION**

DATE:	AUG, 2020	SHEET NO.:	<b>A-3.4</b>
SCALE:	NTS.		
DESIGN:	AA		
DRAWING:	AA		
PROJECT NO.:			





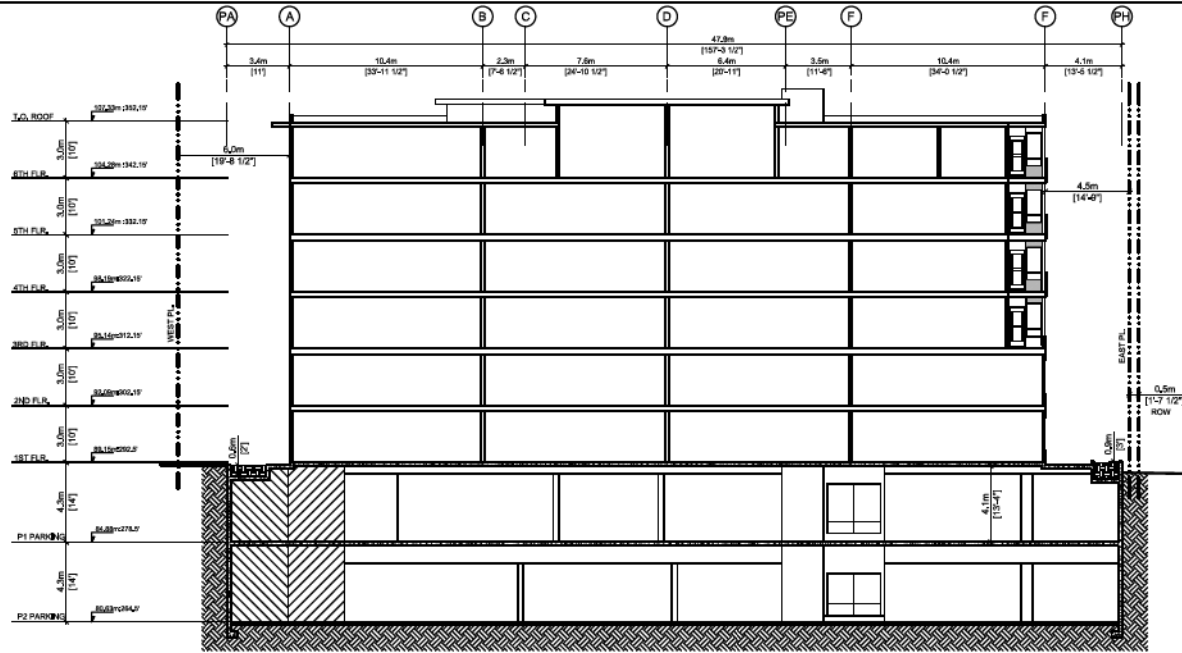
**F. ADAB  
ARCHITECTS  
INC.**

#130-1000 ROOSEVELT CRESCENT  
NORTH VANCOUVER, BC V1P 3B4  
TEL: (604) 967-0033 FAX: (604) 967-0033  
E-MAIL: info@fmadab.com

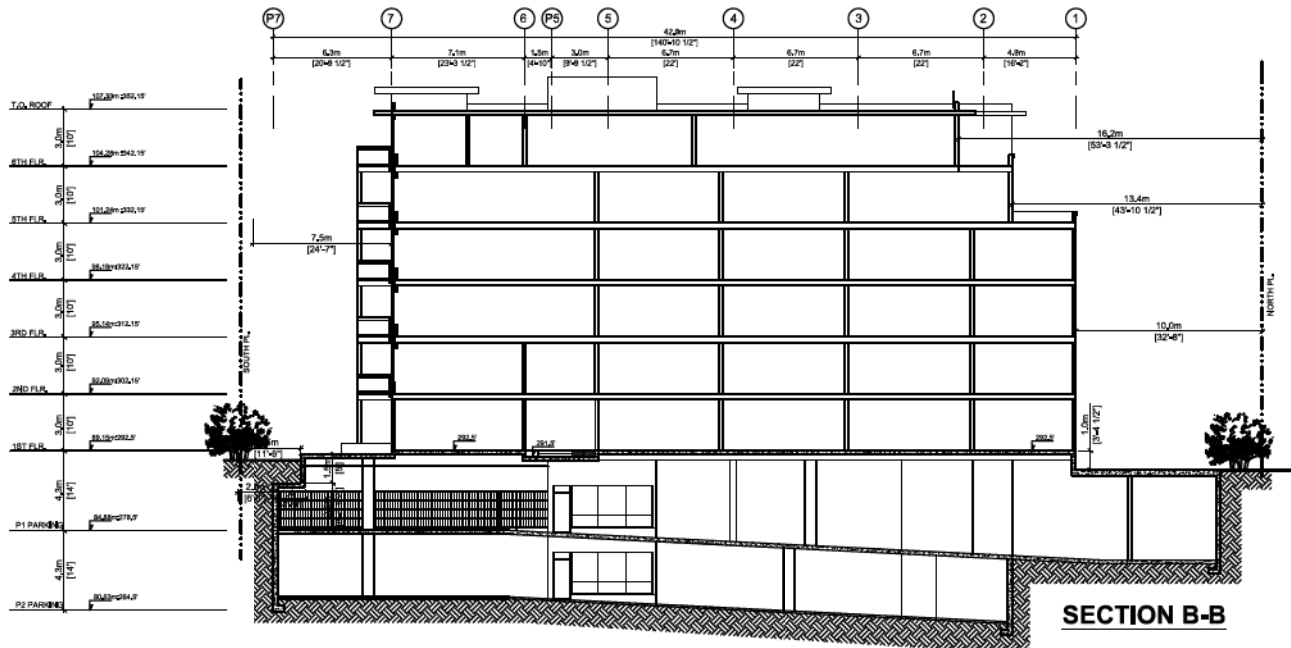
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**SECTION A-A**



**SECTION B-B**

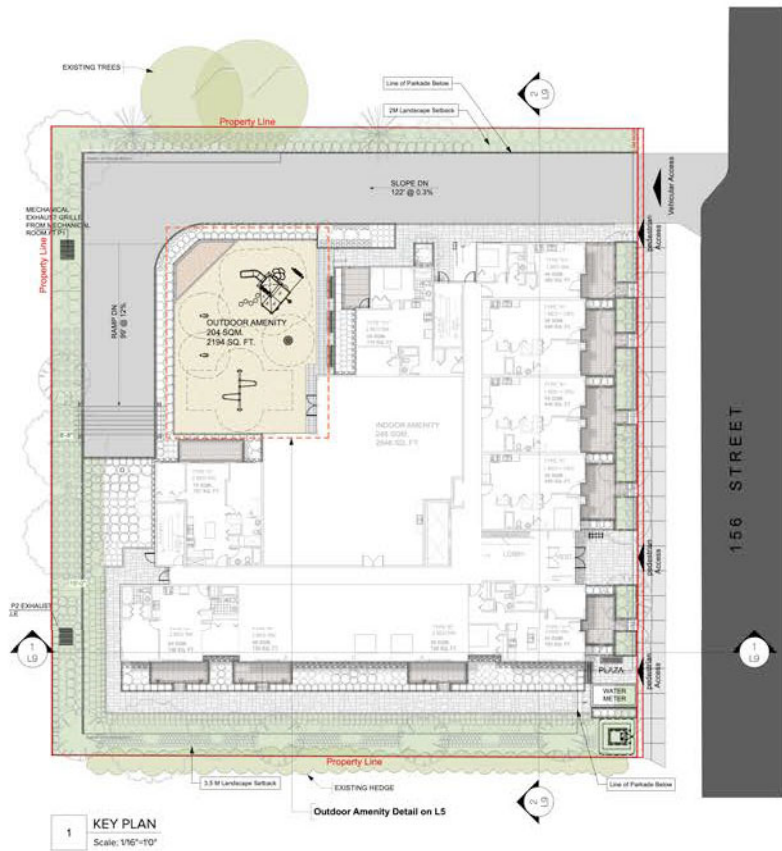
NO.	DATE	REVISION / ISSUED
8	06-04-24	REISSUED FOR CITY REVIEW
7	03-13-24	REISSUED TO SIX STOREY HEIGHT
6	1-16-24	REISSUED FOR CITY REVIEW
5	04-29-21	REISSUED FOR CITY REVIEW
4	01-19-21	REISSUED FOR CITY REVIEW
3	11-24-20	ISSUED FOR CITY REVIEW
1		

PROJECT TITLE:  
**MIXED-USE DEVELOPMENT**  
2459-2469-2479, 156TH STREET  
SURREY, BC.

FOR:  
1168478 BC Ltd.

DRAWING TITLE:  
**SECTIONS :  
A-A & B-B**

DATE:	AUG, 2022	SHEET NO.:
SCALE:	NTS.	
DESIGN:	A.A.	<b>A-4.1</b>
DRAWN:	A.A.	
PROJECT NO.:	-	



**Recommended Shrubs**

Image	ID	Quantity	Latin Name	Common Name	Scheduled Size
	A	73	Andromeda polifolia	Bog Rosemary	#3 pot
	AJ	48	Azalea japonica	Japanese azalea	#3 pot
	AJ1	5	Avicula japonica 'Picturata'	Picturata Azubia	#3 pot
	Asco	378	Asplenium scolopendrium	Hart's Tongue Fern	#1 pot
	ArMo	23	Azalea mollis 'Lemonade'	Deciduous azalea yellow	#3 pot
	BT	5	Berberis thunbergii 'Crimson Pygmy' (Atropurpurea Nana)	Crimson Pygmy Dwarf Japanese Barberry	#3 pot
	CJ	2	Camellia japonica	Japanese Camellia	1.0 m. Ht
	CR	12	Clematis vitalba 'Brunele'	Bugbane	#1 pot
	CT	2	Choisya ternata	Mexican Orange Blossom	#5 pot
	CV	4	Ceanothus 'Violet'	California lilac	#3 pot
	H.Ly	79	Hemerocallis x 'Lemon Yellow' or var.	Lemon Yellow Daylily	#1 pot
	H1	126	Helleborus scaberrimus	Blue Owl Grass	#1 pot
	H2	124	Hesperis matronalis	Heartleaf Bergenia	#1 pot
	HD	19	Hedera helix	ivy	#3 pot
	HL	12	Hemerocallis x 'Lemon Yellow' or var.	Lemon Yellow Daylily	#1 pot
	HP	39	Hosta x 'Patriot'	Patriot Plantain Lily	#3 pot
	L	20	Lavandula vera	Lavender	#1 pot
	Lo.I	19	Lonicera involucrata	Black Twinberry	#2 pot
	MAuf	14	Mahonia aquifolium	Oregon grape	#3 pot
	MA	10	Mahonia aquifolium	Oregon grape	#3 pot
	PC	2	Physocarpus opulifolius	Pacific ninebark	#2 pot
	PM	89	Polydichum mundulum	swortfern	#3 pot
	PHD	60	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountain Grass	#2 pot
	Ps.m	19	Polydichum muratum	swortfern	#3 pot
	R	26	Rosa Nutkana	Nootka rose	#2 pot
	RP	3	Rubus Parviflorus	Thimble berry	#2 pot
	RB1	15	Rubus spp	Flowering Raspberry	#2 pot
	RV	4	Rhododendron 'Vulcan'	Red Rhododendron	#7 pot
	SJ	19	Skimmia japonica	Japanese Skimmia	#2 pot
	SJ1	30	Spiraea japonica 'Little Princess'	Little Princess Spirea	#3 pot
	Stx	16	Salix purpurea 'Nana'	Dwarf Arctic Blue Leaf Willow	#3 pot
	Tx	192	Taxus sp	Yew, hedge variety	1.5 m. Ht
	VO	66	Vaccinium ovatum 'Thunderbolt'	evergreen huckleberry	#3 pot

**Recommended Trees**

Image	ID	Quantity	Latin Name	Common Name	Scheduled Size
	Ac.C	3	Acer circinnatum	Vine maple	3.0m Ht.
	Ac.P	2	Acer palmatum	Japanese Maple	3.5 m. Ht.
	Am.lv	6	Aristaechter laevis	Althayery Serviceberry	3.0m Ht.
	Ar.Ma	4	Acer Macrophyllum	Red Maple, Swamp Maple	3.5 m. Ht.
	p.syl	2	Pinus sylvestris	Scotch Pine	3.0 m. Ht
	PGlc	6	Picea glauca	White Spruce	3 m

**Design Rationale and Summary**

Owing to the highly visible nature of the project located on 2459 156 St. Surrey with requirements to meet the constituents of the Surrey City Requirements, a balance of access and flanking street interface is required.

We are proposing an addition of textural paving distinctions to identify the varied use entrances and accentuation with the built form edge. The dense development zones and their respective demarcations have been attempted by allocating a variety of landscape finishes such as the stained concrete, pavers directing the movement and circulation.

A number of focal tree species have been used once again to highlight the site zones such as the White Spruce (Picea Glauca). This development is amidst a rapidly changing area where a number of developments have sprung up in the past few years. Our design concept advocates a sensitive scheme that merges with the general transformation of the area.

The multi-user nature of the residential development demands privacy for the various units and their accessible spaces. The element used to define these spaces (private patios from one another) and private to commercial distinction is achieved by using a combination of Hedging and Native shrubbery. These columnar hedge plants are used in tandem with smaller hedging material such as the Vaccinium Ovatum and the flowering perennials to allow for multiple layers of textural relief.

The flanking and the landscape buffer zones of the site have been very strongly designed in favour of the native trees, shrubs and groundcovers. They are chosen for not only for their low footprint factor but also owing to their mainly evergreen nature and limited maintenance and the leaf litter.

The outdoor amenity is designated as the Children's play area with multi Outdoor Play Structures along with a sand pit area for a varied choice of play. Outdoor seating benches are provided to provide the required supervision by parents while the children are at play. This area is screened by 9' high shrubs to further distinguish the playzone.

It may be pointed out that since a majority of the site has underground parkade, a very careful selection of trees and shrubs are proposed that can grow in limited depth of available growing medium. Wherever necessary, built up planters are provided.

**GENERAL NOTES**  
All materials and workmanship to CLS Standards, latest edition. Soil depths and subgrade preparation, soil quality and plant sizes to meet or exceed that standard.

Plant sizes in list are specified according to the BC Landscape Standard's latest edition. Container sizes are specified as per "CNTA Standards". Both plant size and container size are the minimum acceptable sizes. The installers are advised to search and review, make plant material available to the Landscape Architect for optional review at the source of supply. Area of search to include Lower Mainland and Fraser Valley. 'Substitutions' must obtain written approval from the Landscape Architect prior to making any substitutions to specified material. Unapproved substitutions will be rejected. Allow a minimum of five working days prior to delivery for request to substitute. Substitutions are subject to the Landscape Standard.

All plant material must be provided from the certified 'Disease Free' nursery. All plant material must conform to the latest edition of the 'BC Landscape Standard'. Provide certification upon request. All landscaping and landscape materials to conform to the latest edition of the CLS standards.

Min. growing medium depths over prepared subgrade shall be:  
Lawn areas 300mm  
Ground Cover Areas 450mm  
Shrub Areas 450mm  
Tree Pits 300mm (around root ball)

Growing medium shall have physical and chemical properties as described in the standards for 'Ground' areas, except for the areas over structures where the medium shall conform to the requirements for level 1 applications. Processing and mixing of the growing medium shall be done off-site using a mechanized screening process. Proposed growing medium shall be tested by a recognized laboratory. The contractor shall guarantee that the soil submitted for testing is a sample representative of the soil to be used at the site.

On-site or imported soils shall satisfy the requirements of the standards for growing medium. Soils shall be virtually free from subsoil, wood including woody plant parts, weed or reproductive parts of the weeds, plant pathogenic organisms, toxic material, stones over 30mm, and foreign objects.

All planting beds shall receive min. 50mm bark mulch. The contractor shall maintain clean working conditions, remove all refuse and debris and present the site in a safe and clean condition upon completion of all works. Plant species and varieties may not be substituted without the approval of the Landscape architect. All plant material to be warranted for one year from date of substantial completion. All wood fences to be cedar, with one coat of clear penetrating preservative.

All engineering drawings (Civil, Mechanical and Electrical) to supersede the Landscape drawings where applicable. These Landscape drawings are to be considered overriding only in case of soft landscaping/planting.

All soft landscape areas to be serviced by High Efficiency Irrigation System.



**ARCHITECTURE PANEL INC.**  
ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN

Unit 206, 1493 Foster Street, White Rock, BC  
6047831450 | ruchi@architecturepanel.com

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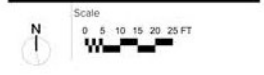
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**2459-2469-2479, 156 St. Surrey**  
Owner  
**1168478 BC Ltd.**

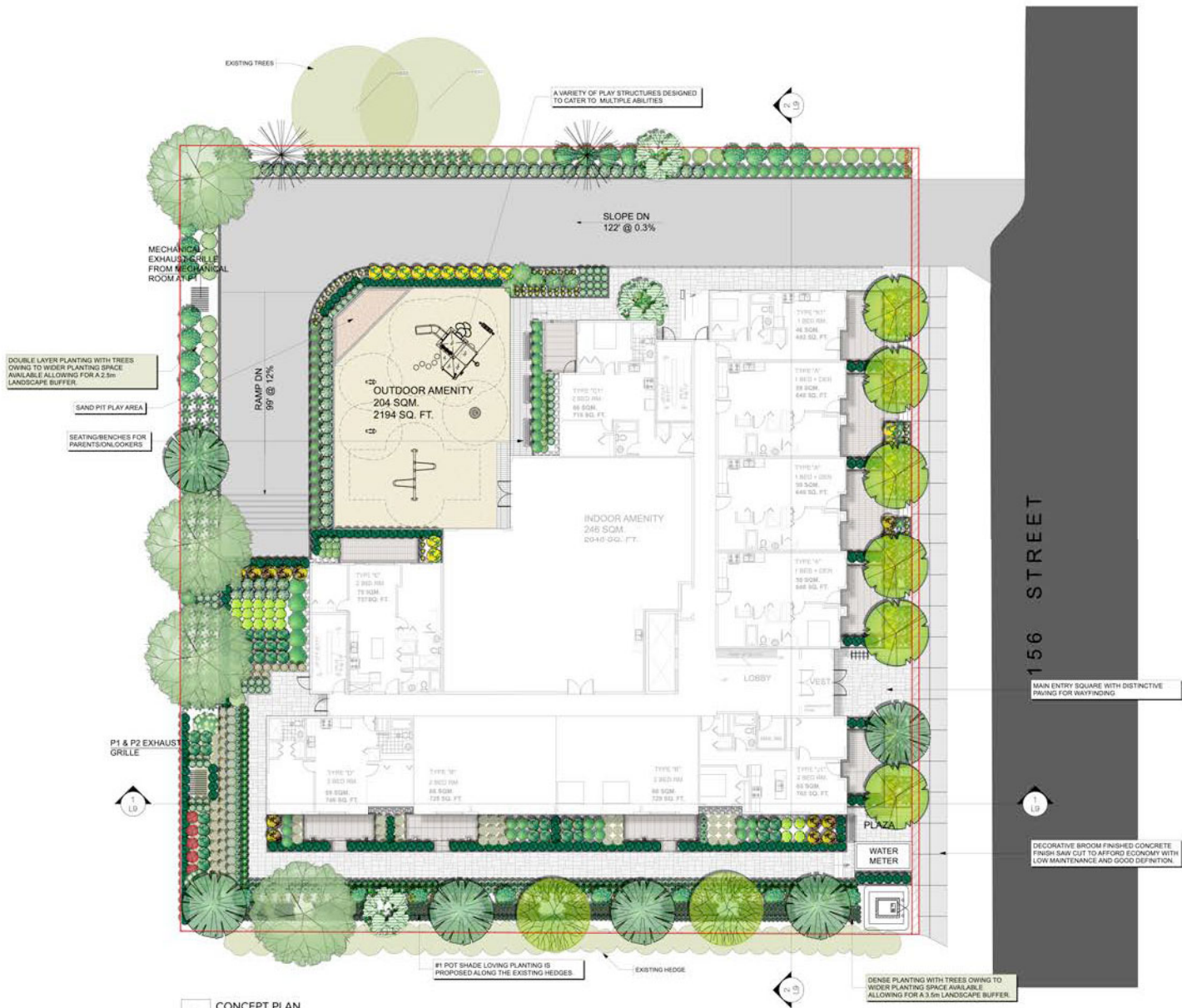
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**Key Plan**

Total Sheets	9	Sheet No.	L1
Drawn By	LT	Checked By	RD
Reviewed By		Status	DP Application
Contractors		Consultants	

AHJ Documents  
**City of Surrey**

No	Date	Issue Notes
A	27-01-21	DP Submission
B	23-11-21	DP Submission
C	07-02-24	DP Submission





1 CONCEPT PLAN  
Scale: 3/32"=1'0"



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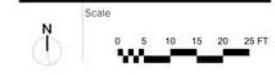
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**2459-2469-2479, 156 St.  
Surrey**  
Owner  
**1168478 BC Ltd.**

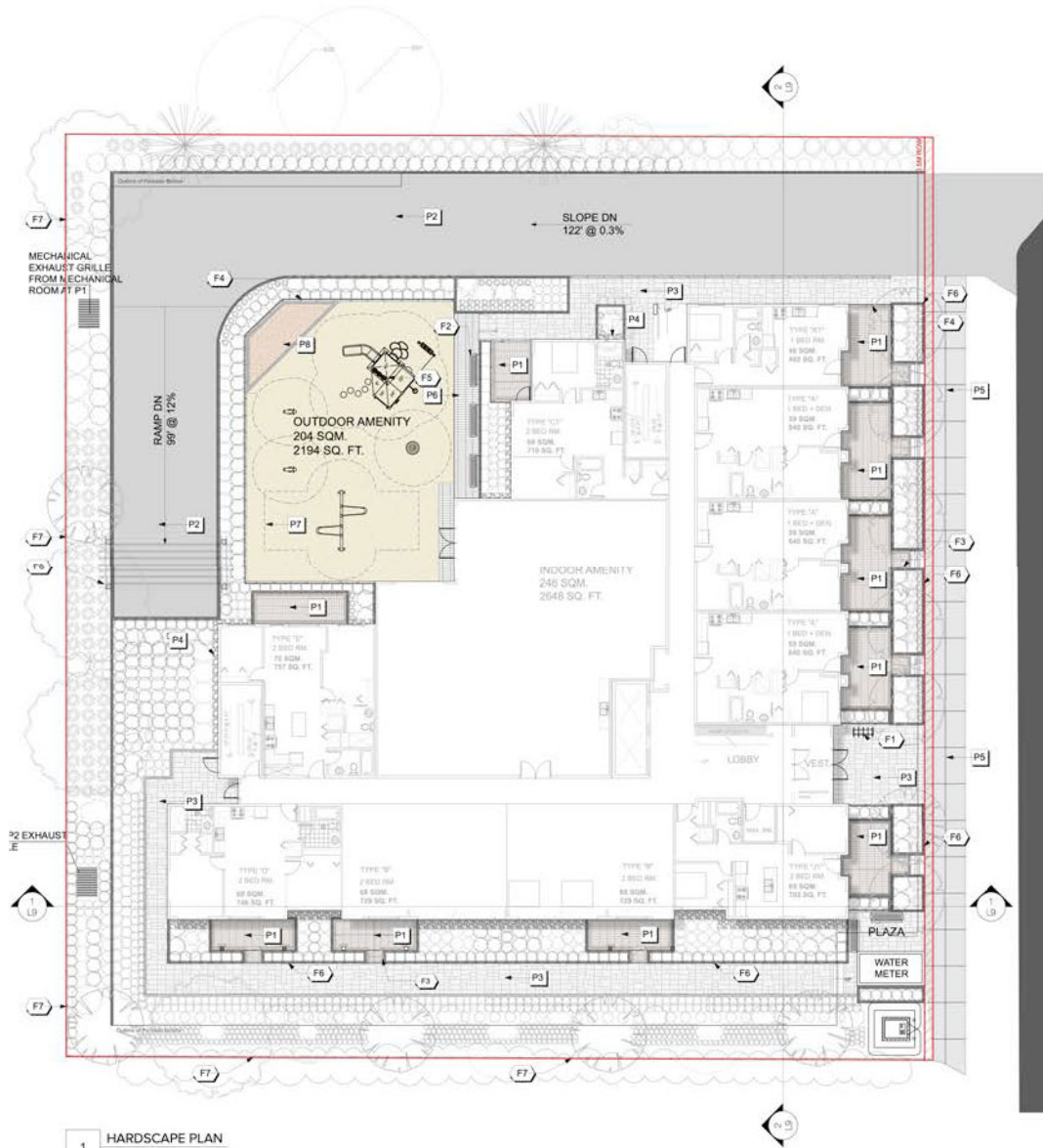
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**Landscape Concept**

Total Sheets	Sheet No.
9	L2
Drawn By	Checked By
LT	RD
Reviewed By	Status
	DP Application
Contractors	Consultants

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City of Surrey

No	Date	Issue Notes
A	27-01-21	DP Submission
B	23-11-21	DP Submission
C	07-02-24	DP Submission





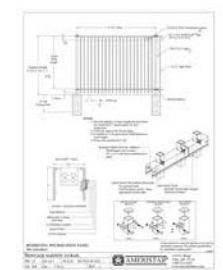
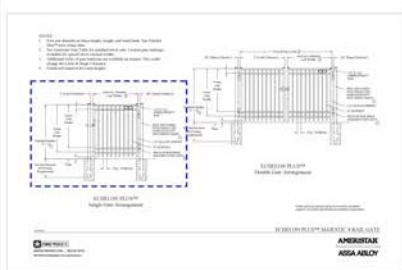
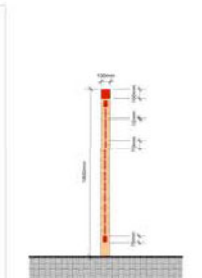
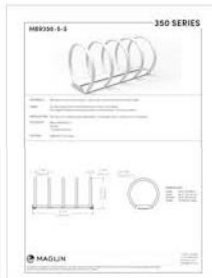
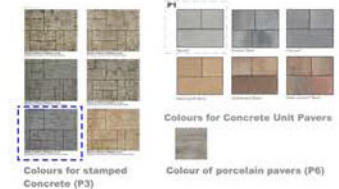
1 HARDSCAPE PLAN  
Scale: 3/32"=10"

**Paving Legend**

- P1 Concrete Unit Paver  
Standard Unit Paver 9"X4" (Standard & Standard II) Abbottsford  
Pavers Colour 'Natural'with Border colour 'Charcoal'
- P2 Concrete Surface
- P3 Stamped Concrete  
Dark Gray Antique Release
- P4 1/2" average dis. washed River Rock
- P5 CIP Concrete  
Light Broom Finish
- P6 Porcelain Pavers  
NU Porcelain Pavers NA01  
Color 'Fado'
- P7 Fall Zone Spec.  
FIBAR®  
Light Cedar
- P8 Sand Pit

**Furnishing Legend**

- F1 MAGLIN Bike Rack  
Cast Aluminum Bike Rack (See L3/2)
- F2 MAGLIN Outdoor Bench (See L3/3)
- F3 Metal gate (See L3/5)
- F4 Metal Fence (See L3/6)
- F5 CASCADE Pacific Timber Form  
Play Structures
- F6 CIP Sandblaster plaster finish Planter
- F7 6' High Cedar Fence for Privacy (See L3/4)
- F8 Trellis Per Architectural



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Project  
**2459-2469-2479, 156 St. Surrey**

Owner  
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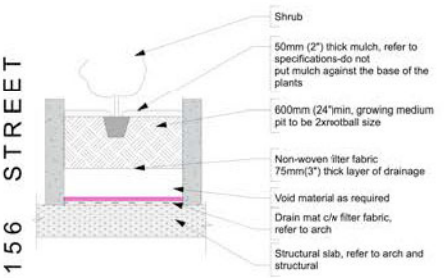
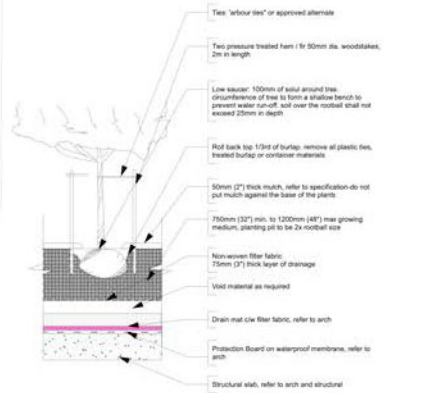
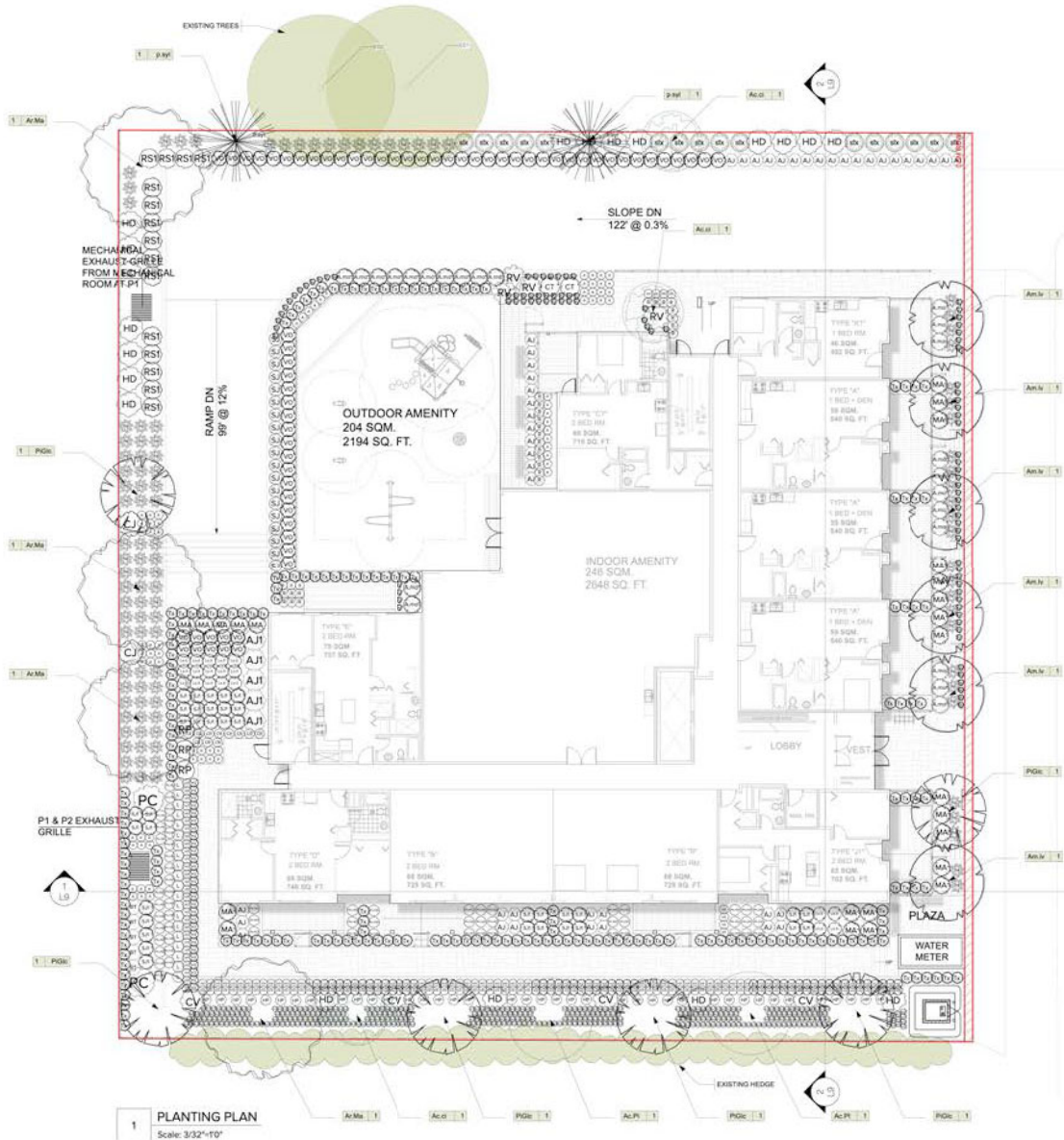
Sheet Title  
**Hardscape Plan**

Total Sheets	Sheet No.
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Drawn By	Checked By
LT	RD
Reviewed By	Status
	DP Application
Contractors	Consultants

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City of Surrey

No	Date	Issue Notes
A	27-01-21	DP Submission
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**Over the slab planting notes**

Since Majority of the site has underground parkade, large shrubs and trees require specially created planting medium that allows for the thriving of such landscape. Careful selection of the plant species has been made to allow for suitable depth availability of the growing medium. I.e the tree species chosen to be planted in such conditions are Acer Palmatum and Picea Omorika that would find available depths more than sufficient. These depths in consultation with the architects has been achieved by raising concrete retaining walls over the parkade slab.

Following criteria are followed to achieve the soilgrowing medium depth.

**Min. 1m depth for trees**

**Min. 0.5m depth for shrubs and ground covers/Perennials.**

**Min. 10 cubic metres per tree.**

See Plant Schedules, tables and descriptions on L1



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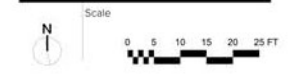
Project  
**2459-2469-2479, 156 St. Surrey**  
Owner  
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Sheet Title  
**Planting Plan**

Total Sheets	Sheet No.
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Drawn By	Checked By
LT	RD
Reviewed By	Status
	<b>DP Application</b>
Contractors	Consultants

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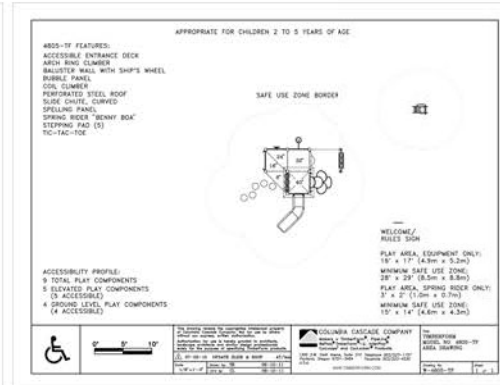
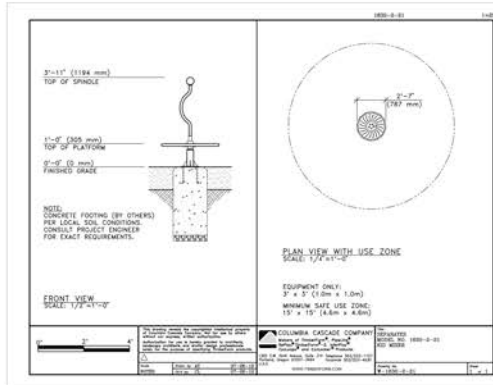
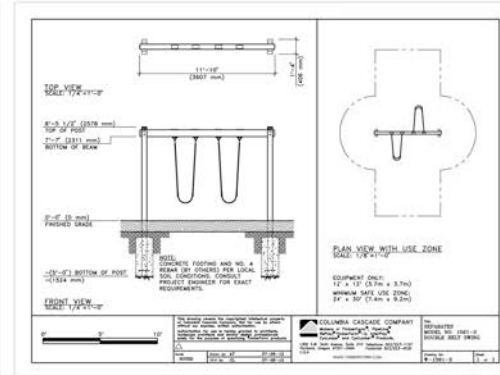
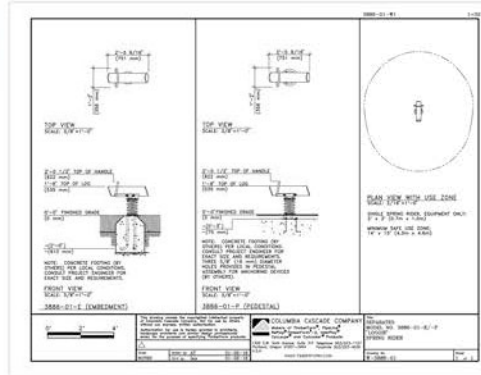
No	Date	Issue Notes
A	27-01-21	DP Submission
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**1** OUTDOOR AMENITY AREA  
Scale: 1/4"=10'

See Paving & Furnishing Legends on L3



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Project  
**2459-2469-2479, 156 St.**  
**Surrey**

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Sheet Title  
**Outdoor Amenity Detail**

Total Sheets	Sheet No.
<b>9</b>	<b>L5</b>
Drawn By	Checked By
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Project  
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Owner  
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Sheet Title  
**Upper Floors**

Total Sheets	Sheet No.
<b>9</b>	<b>L6</b>
Drawn By	Checked By
<b>LT</b>	<b>RD</b>
Reviewed By	Status
	<b>DP Application</b>
Contractors	Consultants

AHJ Documents  
**City of Surrey**

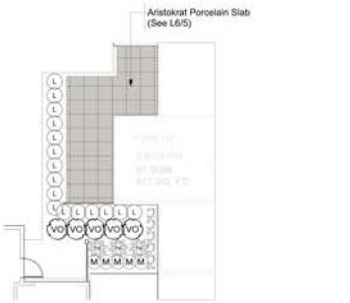
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B	23-11-21	DP Submission
C	07-02-24	DP Submission

**Recommended Shrubs - Second Floor**

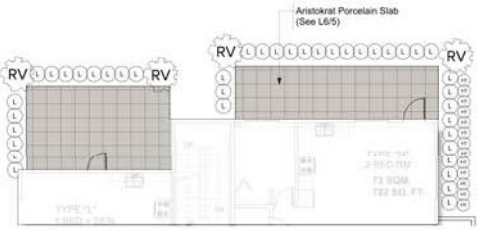
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	M	5	Mahonia nervosa	Dull Oregon grape	#1 pot
	PM	3	Polystichum muratum	acornfern	#3 pot
	VO	5	Vaccinium ovatum "Thunderbird"	evergreen huckleberry	#3 pot

**Recommended Shrubs - Fifth Floor**

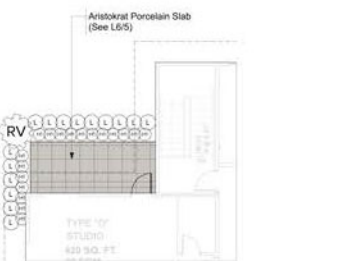
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	L	41	Lavandula vars	Lavender	#1 pot
	RV	4	Rhododendron Vulcan	Red Rhododendron	#7 pot



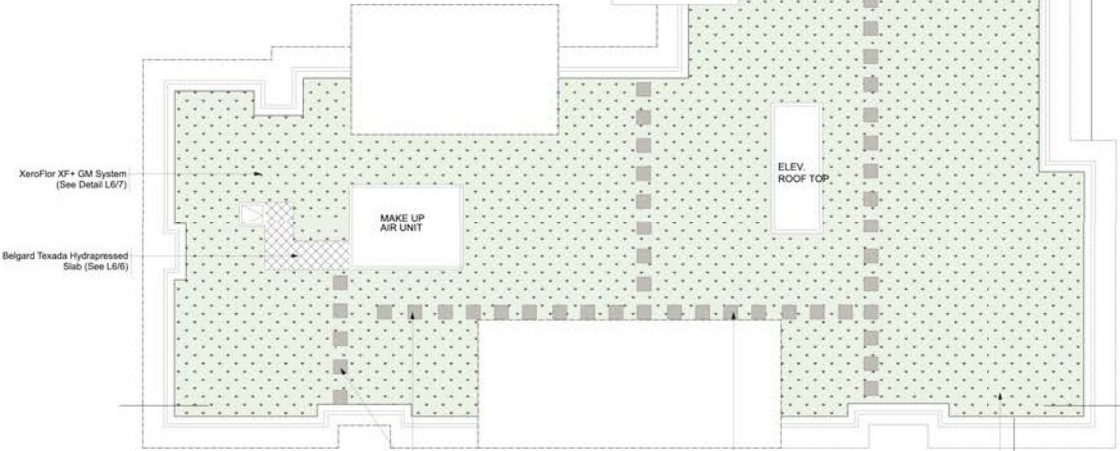
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Scale: 1/8" = 1'-0"



**2 FIFTH FLOOR- HARDSCAPE/PLANTING PLAN**  
Scale: 1/8" = 1'-0"



**3 SIXTH FLOOR- HARDSCAPE/PLANTING PLAN**  
Scale: 1/8" = 1'-0"



**4 ROOF PLAN**  
Scale: 1/8" = 1'-0"



**5 ARISTOKRAT PORCELAIN SLAB**  
Scale: NTS



**6 BELGARD TEXADA HYDRAPRESSED SLAB**  
Scale: NTS

**Recommended Shrubs - Sixth Floor**

Image	ID	Quantity	Latin Name	Common Name	Scheduled Size
	H1	18	Helictotrichon sempervirens	Blue Oat Grass	#1 pot
	L	15	Lavandula vars	Lavender	#1 pot
	RV	1	Rhododendron Vulcan	Red Rhododendron	#7 pot

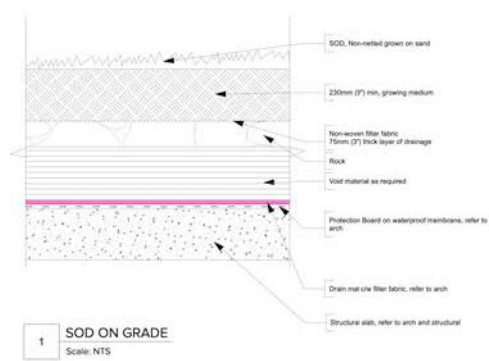


**XeroFlor + Growing Media**  
The Lightweight Built-Up  
The XF+ GM system allows for better water retention capacity thereby providing the vegetation essential nutrients and moisture for growth.  
**Weight: 17 lbs per sf with 2" of media**  
**Add 6.6 lbs for every additional inch of media depth**

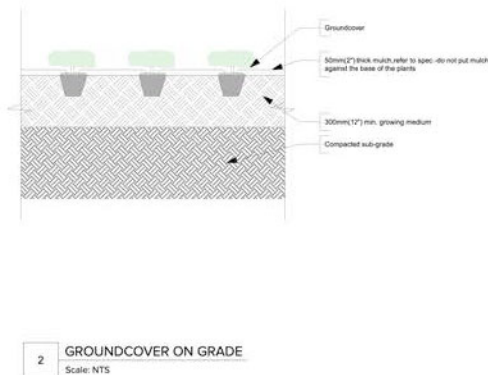
- XF300 Sedum Mat
- XF360 Growing Media
- XF430 Retention Fleece
- XF240 Drainage Layer
- XF110 Root Barrier

**7 XeroFlor XF+ GM System**  
Scale: NTS

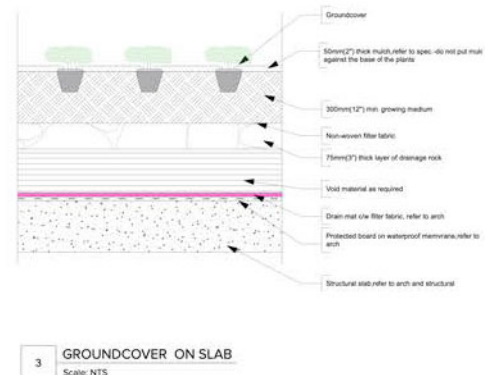




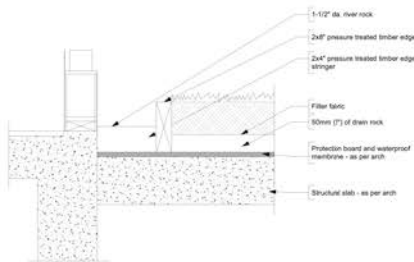
**1 SOD ON GRADE**  
Scale: NTS



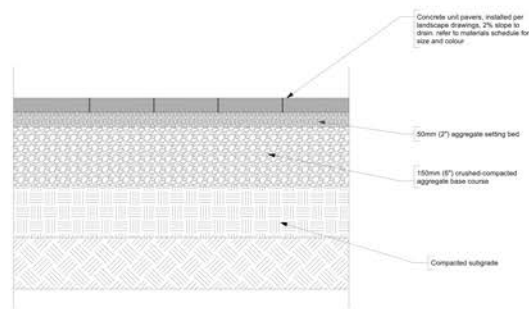
**2 GROUNDCOVER ON GRADE**  
Scale: NTS



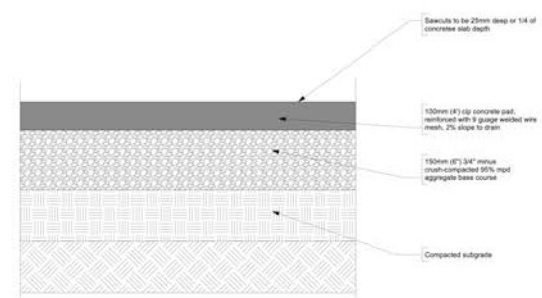
**3 GROUNDCOVER ON SLAB**  
Scale: NTS



**4 DETAIL- DRIP STRIP**  
Scale: NTS



**5 DETAIL- CONCRETE UNIT PAVERS ON GRADE**  
Scale: NTS



**6 DETAIL- CONCRETE ON GRADE**  
Scale: NTS



**ARCHITECTURE PANEL INC.**  
ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN

Unit 206, 1493 Foster Street, White Rock, BC  
6047833450 | ruchi@architecturepanel.com

These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other datum on drawings. Any discrepancies to be reported immediately to the Landscape Architect. Any changes made without the Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern. © Architecture Panel Inc. All rights reserved.

Project  
**2459-2469-2479, 156 St.**  
Surrey  
Owner  
**1168478 BC Ltd.**

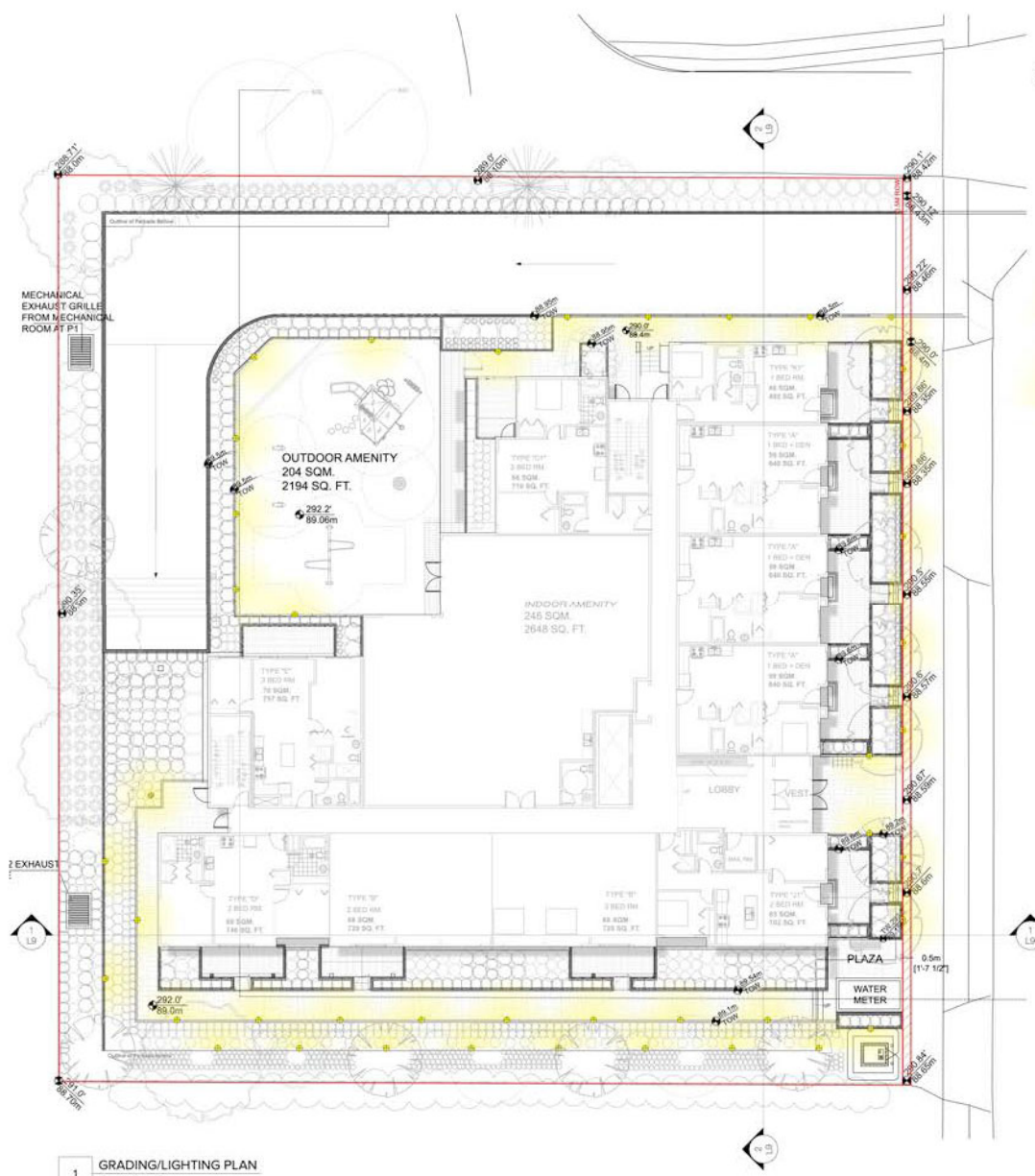
Sheet Title  
**Details**  
Total Sheets **9** Sheet No. **L7**  
Drawn By **LT** Checked By **RD**  
Reviewed By **LT** Status **DP Application**  
Contractors **Consultants**

AHJ Documents  
**City of Surrey**

No	Date	Issue Notes
A	27-01-21	DP Submission
B	23-11-21	DP Submission
C	07-02-24	DP Submission







**LIGHTING LEGEND**



**ELEVATION LEGEND**

	Proposed Developed Grades
	Top of Wall

**1 GRADING/LIGHTING PLAN**  
Scale: 3/32"=1'0"



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ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN

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Project  
**2459-2469-2479, 156 St. Surrey**

Owner  
**1168478 BC Ltd.**

Sheet Title  
**Grading/Lighting Plan**

Total Sheets: 9, Sheet No.: **LS**

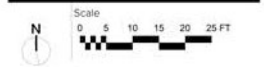
Drawn By: **LT**, Checked By: **RD**

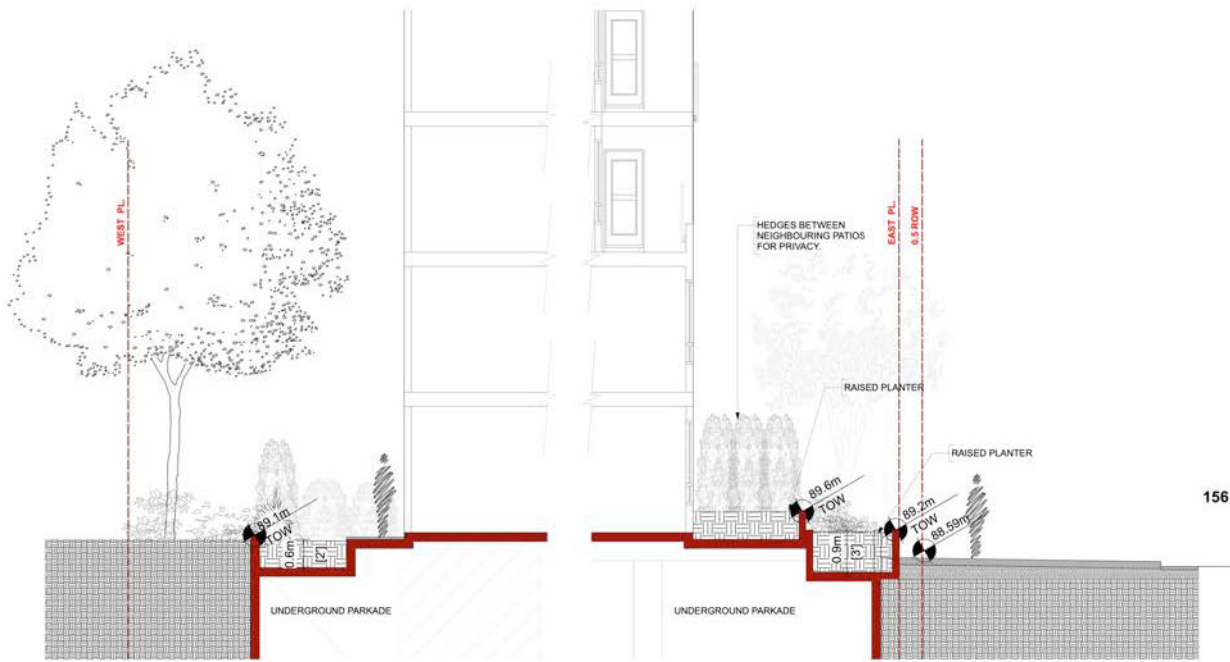
Reviewed By: **DP Application**, Status: Consultants

Contractors: Consultants

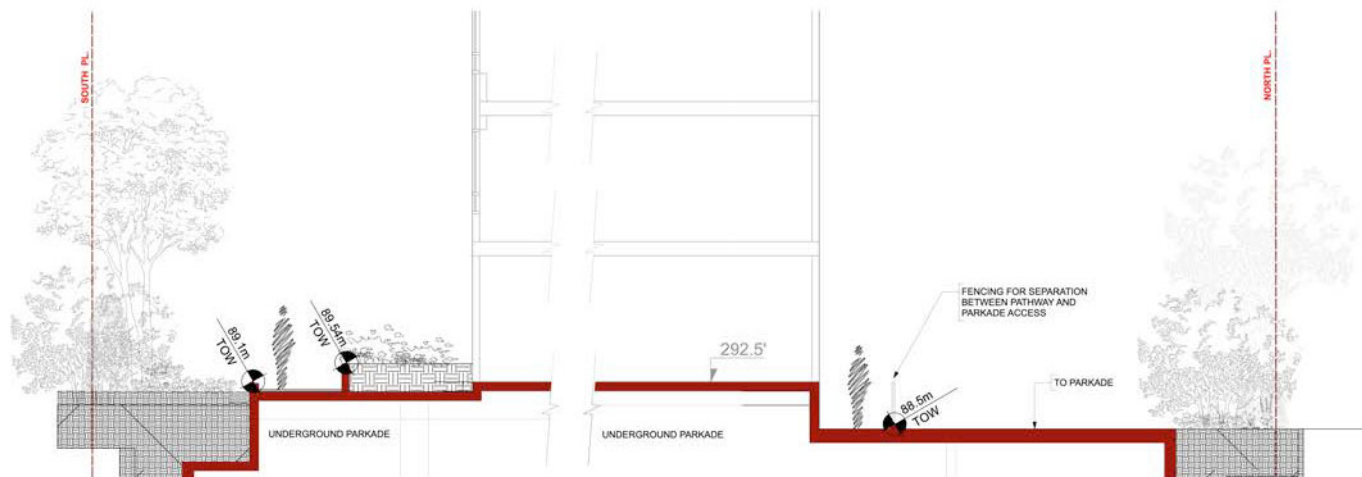
AHJ: Documents, City of Surrey

No	Date	Issue Notes
A	27-01-21	DP Submission
B	23-11-21	DP Submission
C	07-02-24	DP Submission





1 SECTION 1  
Scale: 1/4" = 1'-0"



2 SECTION 2  
Scale: 1/4" = 1'-0"



**ARCHITECTURE PANEL INC.**

ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN

Unit 206, 1493 Foster Street, White Rock, BC  
6047833450 | ruchi@architecturepanel.com

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Project  
2459-2469-2479, 156 St.  
Surrey

Owner  
1168478 BC Ltd.

Sheet Title  
**Sections**

Total Sheets	Sheet No.
9	L9
Drawn By	Checked By
LT	RD
Reviewed By	Status
	DP Application
Contractors	Consultants

AHJ Documents  
City of Surrey

No	Date	Issue Notes
A	27-01-21	DP Submission
B	23-11-21	DP Submission
C	07-02-24	DP Submission





## INTER-OFFICE MEMO

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TO: **Manager, Area Planning & Development  
- South Surrey Division  
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **July 2, 2024** PROJECT FILE: **7817-0492-00**

---

RE: **Engineering Requirements  
Location: 2459/2469/2479 156 Street**

**OCP AMENDMENT**

There are no engineering requirements relative to the OCP Amendment.

**REZONE/SUBDIVISION*****Property and Statutory Right-of-Way (SRW) Requirements***

- Register 0.5 metre SRW along 156 Street.
- Dedicate City Owned Road (Filing 24818) for the east half of legal Subdivision 3 of Section 23 Township 1, except part in Plan 7947.
- Complete closure and purchase of lane allowance.

***Works and Services***

- Construct west half of 156 Street.
- Implement onsite low impact development storm water management features.
- Extend 250mm water main from 24 Avenue.
- Extend sanitary sewer for the site's frontage.
- Provide water, sanitary, and drainage service connections to the site.
- Register applicable Restrictive Covenants as required.

A Servicing Agreement is required prior to Rezone/Subdivision.

**DEVELOPMENT PERMIT**

There are no engineering requirements relative to issuance of the Development Permit.

Jeff Pang, P.Eng.  
Development Services Manager

KMH



Department: **Planning and Demographics**  
 Date: **July 2, 2024**  
 Report For: **City of Surrey**

**Development Impact Analysis on Schools For:**

Application #: **17-0492**

The proposed development of **82** Low Rise Apartment units are estimated to have the following impact on elementary and secondary schools within the school regions.

<b>School-aged children population projection</b>	12
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<b>Projected Number of Students From This Development In:</b>	
Elementary School =	7
Secondary School =	3
<b>Total Students =</b>	<b>10</b>

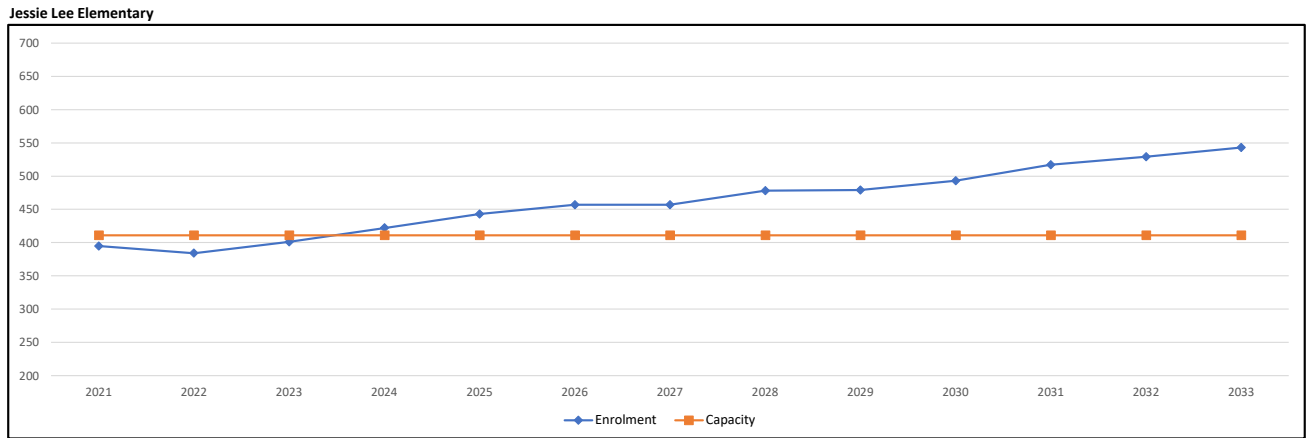
<b>Current Enrolment and Capacities:</b>	
<b>Jessie Lee Elementary</b>	
Enrolment	401
Operating Capacity	411
# of Portables	1
<b>Earl Marriott Secondary</b>	
Enrolment	1398
Operating Capacity	1500
# of Portables	4

**Summary of Impact and Commentary**

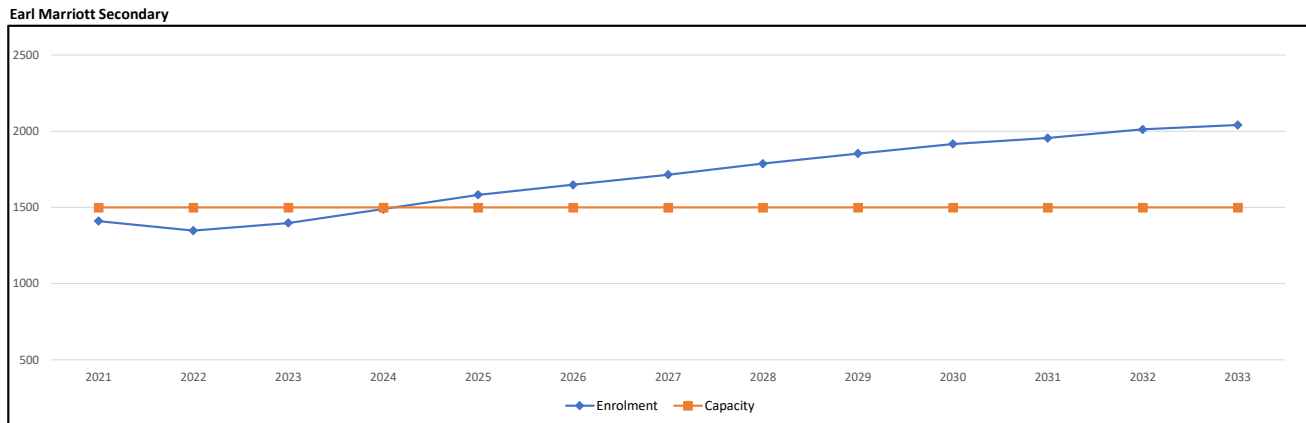
The following tables illustrate the historical, current and future enrolment projections including current/approved ministry operating capacity for the elementary and secondary schools serving the proposed development.

As of September 2023, Jessie Lee is at 97% capacity. Enrollment at Jessie Lee Elementary has grown modestly over the past five years which also has one portable. The 10-year projections support continuing growth at a similar modest pace. Currently there are no capital expansion requests for Jessie Lee Elementary and any additional capacity issues will be resolved with portables in the short term.

As of September 2023, Earl Marriott is at 93% capacity. The opening of Grandview Heights Secondary, a new 1500 capacity high school in September 2021 has relieved pressure in the short term. Despite this, Earl Marriott continues to trend over capacity into the future and a 500 capacity addition is identified on the District's Capital Plan. This addition has not yet been funded by the Ministry.



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.



Note: If this report is provided in the months of October, November and December, the 10-year projections are out of date and they will be updated in January of next year.

**Population:** The projected population of children aged 0-17 impacted by the development.  
**Enrolment:** The number of students projected to attend the Surrey School District ONLY.

MIKE FADUM AND ASSOCIATES LTD.  
VEGETATION CONSULTANTS

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## Tree Preservation Summary

Surrey Project No: 7917-0492-00

Address: 2459, 2469, 2479 156 St, Surrey, BC

Registered Arborist: Elvis Truong, PN-9567A

On-Site Trees	Number of Trees
<b>Protected Trees Identified</b> (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	7
<b>Protected Trees to be Removed</b>	7
<b>Protected Trees to be Retained</b> (excluding trees within proposed open space or riparian areas)	0
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 3 X one (1) = <u>3</u></li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 4 x two (2) = <u>8</u></li> </ul>	11
<b>Replacement Trees Proposed</b>	TBD
<b>Replacement Trees in Deficit</b>	TBD
<b>Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]</b>	NA

Off-Site Trees	Number of Trees
<b>Protected Off-Site Trees to be Removed</b>	20
<b>Total Replacement Trees Required:</b>  <ul style="list-style-type: none"> <li>- Alder &amp; Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0</li> <li>- All other Trees Requiring 2 to 1 Replacement Ratio 20 X two (2) = 40</li> </ul>	40
<b>Replacement Trees Proposed</b>	0
<b>Replacement Trees in Deficit</b>	0

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

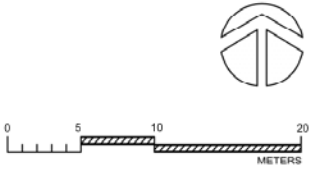
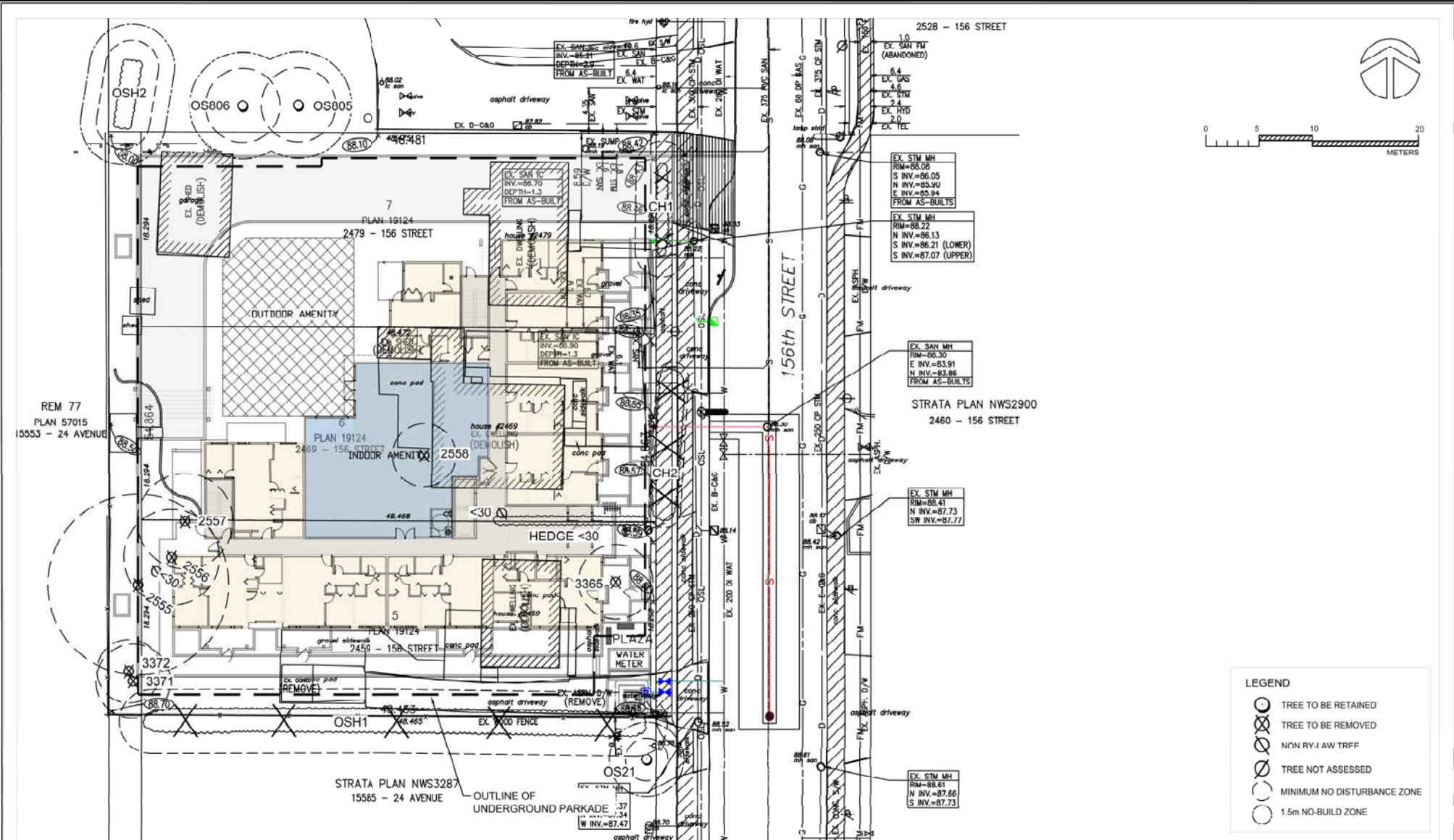
Signature of Arborist:

Date: June 21, 2024



Mike Fadum and Associates Ltd.  
#105, 8277-129 Street, Surrey, BC, V3W 0A6  
Phone 778-593-0300 Fax 778-593-0302





**LEGEND**

- TREE TO BE RETAINED
- TREE TO BE REMOVED
- NON RV:1 AW TRFF
- TREE NOT ASSESSED
- MINIMUM NO DISTURBANCE ZONE
- 1.5m NO-BUILD ZONE

STAMP	NO.	DATE	BY	REVISION

**MIKE FADUM AND ASSOCIATES LTD.**  
**VEGETATION CONSULTANTS**

#106, 8277 126 St.  
 Surrey, British Columbia,  
 V3W 6A8  
 Ph: (778) 593-0300  
 Fax: (778) 593-0302  
 Email: m.fadum@fadum.ca

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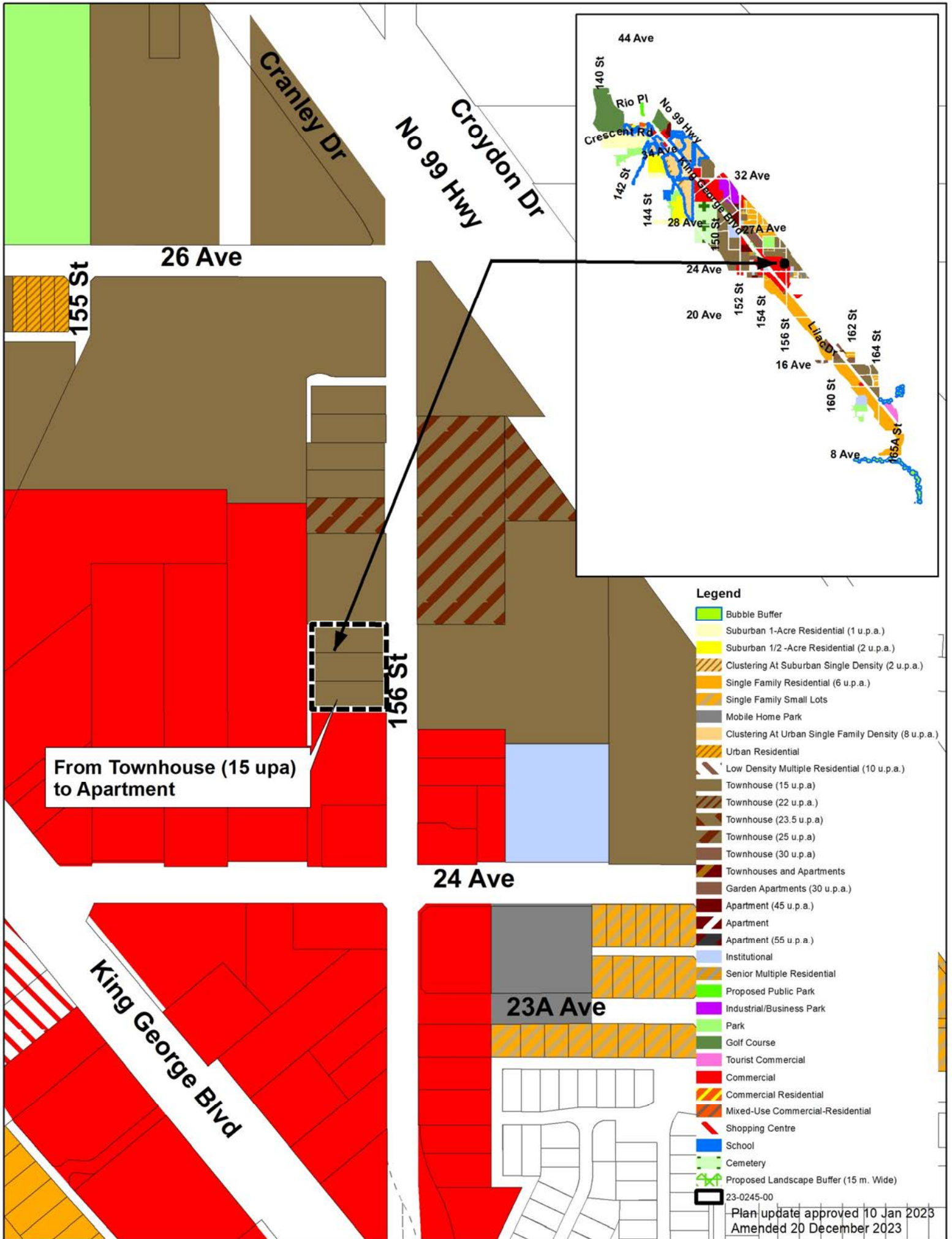
PROJECT TITLE  
**2459 2469 2479**  
**156th STREET**  
 SURREY, B.C.

SHEET TITLE  
**T1 - TREE REMOVAL AND PRESERVATION PLAN**  
 CLIENT

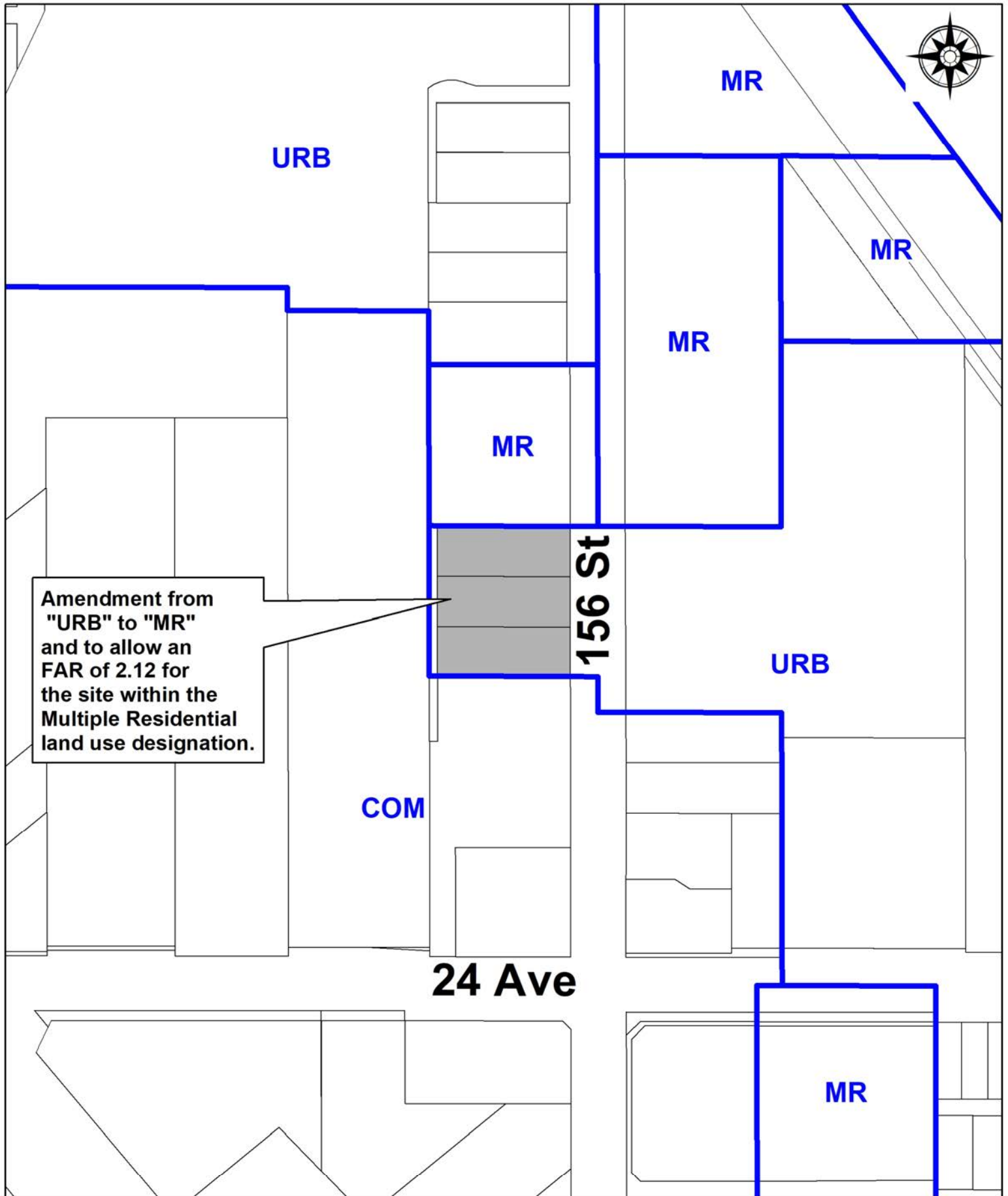
DRAWN MK  
 SCALE AS SHOWN  
 DATE  
 JUNE 20, 2024

**T-1**  
 SHEET 1 OF 2









Amendment from "URB" to "MR" and to allow an FAR of 2.12 for the site within the Multiple Residential land use designation.

**OCP Amendment 17-0492-00**

Amendment from "URB" to "MR" and to allow an FAR of 2.12 for the site within the Multiple Residential land use designation.



**CITY OF SURREY****HOUSING AGREEMENT**  
**(Residential Only)**

THIS HOUSING AGREEMENT made the 5th day of July, 2024.

BETWEEN:

**CITY OF SURREY**, a municipal corporation having its offices at 13450 – 104 Avenue, Surrey, B.C. V3T 1V8

(the “**City**”)

OF THE FIRST PART

AND:

**1168478 BC Ltd. (Inc. No. BC1168478)**, a British Columbia corporation having its offices at Suite 319, 15315 - 66 Avenue, Surrey, B.C. V3S 2A1

(the “**Owner**”)

OF THE SECOND PART

WHEREAS:

- A. The Owner is the legal and beneficial owner of those certain lands and premises located in the City of Surrey, in the Province of British Columbia, legally described as:

PID: 005-207-291  
Legal Description: Lot 7 Section 23 Township 1 New Westminster District  
Plan 19124

PID: 002-190-281  
Legal Description: Lot 6 Section 23 Township 1 New Westminster District  
Plan 19124

PID: 010-454-705  
Legal Description: Lot 5 Section 23 Township 1 New Westminster District  
Plan 19124

(collectively, the “**Lands**”);

- B. The Owner proposes to use the Lands for a single 6-storey building, containing multi-family residential dwelling units (market rental) with an underground parkade (the “**Development**”);

- C. The Owner has voluntarily agreed to enter into a housing agreement pursuant to Section 483 of the *Local Government Act*, R.S.B.C. 2015, Chapter 1, as amended, to ensure that the Rental Units are rented in accordance with this Agreement.

NOW THEREFORE in consideration of the premises herein and of the mutual covenants and agreements hereinafter set forth and contained herein and \$1.00 now paid by the City to the Owner (the receipt of which is hereby acknowledged), the parties hereto covenant and agree each with the other as follows:

## 1. **DEFINED TERMS**

- 1.1 In and for the purpose of this Agreement, in addition to the definitions on the first page of this document, the following terms shall have the following meanings:
- (a) **“Agreement”** means this housing agreement and any amendments to or modifications of the same;
  - (b) **“Below-Market Rental Units”** means the eight (8) Rental Units that must specifically target low to moderate income households in line with BC Housing’s Housing Income Limits established annually to be rented at a maximum of 10% below current CMHC average rents for the applicable unit size in the City of Surrey, as provided in CMHC’s Rental Market Report: Vancouver CMA, which is released annually in the fall;
  - (c) **“City”** means the City of Surrey and any person authorized by the City of Surrey, including assigns of whole or partial interest in this Agreement or of any of the rights conferred upon the City of Surrey by this Agreement;
  - (d) **“City Personnel”** means all of the City’s elected and appointed officials, officers, employees, agents, nominees, delegates, permittees, contractors, subcontractors, invitees and the Approving Officer;
  - (e) **“Claims and Expenses”** means all actions, causes of actions, suits, judgments, proceedings, demands, and claims, whether at law or in equity, losses, damages, expenses and costs (including legal fees and disbursements on an indemnity basis) of any kind or nature whatsoever, at law or in equity, for any damages, losses, injuries or death;
  - (f) **“CMHC”** means Canadian Market and Housing Corporation;
  - (g) **“Development”** means as defined in Recital B;
  - (h) **“Lands”** means the parcel of land situated in the City of Surrey, British Columbia and legally described in Recital A, and includes any parcel into which such land is consolidated or further subdivided (including a subdivision pursuant to the *Land Title Act*;
  - (i) **“Owner”** means the person named on the first page of this Agreement and the legal and beneficial owner at any given time and any successors in title of the Lands;

- (j) **“Rental Units”** means the eighty-two (82) dwelling units approved by the City in the Development which must be made available by the Owner to the general public at arms’ length for use as residential rental accommodation on a month-to-month or longer basis in accordance with all applicable laws including, without limitation, the *Residential Tenancy Act*, S.B.C. 2002, Chapter 78, as amended, and any regulations pursuant thereto; and
- (k) **“Term”** means 60 years, commencing on the first day of the month after the City issues an occupancy permit for the Development.

## **2. RESTRICTION ON OCCUPANCY OF RENTAL UNITS**

- 2.1 During the Term the Rental Units must be made available for rent in accordance with this Agreement.
- 2.2 The City may, from time to time, during the Term request the Owner to provide written proof of compliance with section 2.1 and the Owner agrees to provide, or cause an operator of the Lands to provide, the City with such proof in a form reasonably satisfactory to the City.
- 2.3 All of the Rental Units must be owned by the same Owner(s).
- 2.4 Throughout the Term, the Owner shall not sell or transfer the beneficial or registered title or any interest in and to the Rental Units, unless the Owner obtains from the transferee an agreement in writing from the transferee to assume and perform all of the obligations of the Owner arising under this Agreement.
- 2.5 During the Term, 10% of the Rental Units shall be Below-Market Rental Units.

## **3. LIABILITY**

- 3.1 **Indemnity.** The Owner shall indemnify and save harmless the City and City Personnel from all Claims and Expenses which the City and City Personnel may suffer, or incur, or be put to, arising out of or in connection with any breach or default of any covenants or agreements on the part of the Owner contained in this Agreement, or arising out of, or in connection with the Development or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.2 **Release.** The Owner does hereby remise, release and forever discharge the City and City Personnel from all Claims and Expenses which the Owner may have against the City and City Personnel, which the Owner now has or hereafter may have with respect to or by reasons of or arising out of the fact that the Lands are encumbered by and affected by this Agreement.
- 3.3 **Obligations Continue.** The Owner covenants and agrees that the indemnity and release in Sections 3.1 and 3.2 will remain effective and survive the expiration or termination of this Agreement whether by fulfilment of the covenants contained in

this Agreement or otherwise.

#### 4. **NOTICE**

4.1 Any notices or other documents to be given or delivered pursuant to this Agreement will be addressed to the proper party as follows:

(a) As to the City:

City of Surrey  
13450 – 104 Avenue  
Surrey, BC V3T 1V8

Attention: General Manager, Planning and Development Department

(b) As to the Owner:

1168478 BC Ltd.  
319 – 15315 66 Avenue, Surrey, B.C. V3S 2A1

Attention: Roop Kooner

or such other address as such party may direct. Any notice or other documents to be given or delivered pursuant to this Agreement will be sufficiently given or delivered if delivered to the particular party as its address set out or determined in accordance with this section and shall be deemed complete two (2) days after the day of delivery.

4.2 It is specifically agreed that for any notice or document to be validly given or delivered pursuant to this Agreement, such notice or document must be delivered and not mailed.

#### 5. **GENERAL**

5.1 **Joint and Several.** Where the Owner consists of more than one person, each such person will be jointly and severally liable to perform the Owner's obligations under this Agreement.

5.2 **Assignment by City.** This Agreement or any of the rights conferred by this Agreement upon the City may be assigned in whole or in part by the City without the consent of the Owner.

5.3 **City's Other Rights Unaffected.** Nothing contained or implied herein will derogate from the obligations of the Owner under any other agreement with the City or, if the City so elects, prejudice or affect the City's rights, powers, duties or obligations in the exercise of its functions pursuant to the *Local Government Act* and the *Community Charter*, as amended from time to time and the rights,

powers, duties and obligations of the City under all public and private statutes, by-laws, orders and regulations, which may be, if the City so elects, as fully and effectively exercised in relation to the Lands as if this Agreement had not been executed and delivered by the Owner and the City.

- 5.4 **Agreement for Benefit of City.** The Owner and the City hereby acknowledge, agree and declare that this Agreement is entered into for the sole purpose of benefitting the City and, in particular, acknowledge, agree and declare that this Agreement is not designed to protect or promote the interests of the Owner or any mortgagee of the Owner, or any future owner or occupier of the Lands and any improvements on the Lands or any other person and the City may, at its sole option, execute a release of this Agreement at any time without liability to any person for so doing.
- 5.5 **No Waiver.** The Owner acknowledges and agrees that no failure on the part of the City to exercise and no delay in exercising any right under this Agreement will operate as a waiver thereof, nor will any single or partial exercise by the City of any right under this Agreement preclude any other or future exercise thereof of the exercise of any other right.
- 5.6 **City Not Required to Prosecute.** The Owner agrees that the City is not required or is under no obligation in law or equity to prosecute or enforce this Agreement in any way whatsoever.
- 5.7 **Remedies.** The remedies provided for in this Agreement will be cumulative and not exclusive of any other remedies provided by law or in equity. In addition to any remedies which are available under this Agreement or at law, the City will be entitled to all equitable remedies, including, without limitation, specific performance, injunction and declaratory relief, or any combination thereof, to enforce its rights under this Agreement. The Owner acknowledges that specific performance, injunctive relief (mandatory or otherwise) or other equitable relief may be the only adequate remedy for a default by the Owner under this Agreement.
- 5.8 **Severability.** All the obligations and covenants in this Agreement are severable, so that if any one or more of the obligations or covenants are declared by a court of competent jurisdiction to be void and unenforceable, the balance of the obligations and covenants will remain and be binding.
- 5.9 **City Court Costs.** In an action to enforce this Agreement in respect of which the court determines that the position of the City will prevail, the City will be entitled to court costs on a solicitor-client basis.
- 5.10 **Subdivision/Consolidation.** If the Lands are subdivided or consolidated at any time hereafter either under the provisions of the *Land Title Act* or under the *Strata Property Act*, then upon the deposit of a plan of subdivision, strata plan, consolidation plan, or similar plan or application as the case may be the rights, benefits, burdens, obligations and covenants contained in this Agreement will continue to charge each of the new parcels, lots, or other subdivided or consolidated parcels and areas created.

- 5.11 **Subdivision by Strata Plan.** If the Lands, or any portion thereof, are subdivided by a strata plan, this Agreement will charge title to the strata lots and the common property comprising such strata lot and:
- (a) This Agreement will be registered against each individual strata lot and noted on the common property sheet;
  - (b) The strata corporation created will perform and observe the Owner's covenants in this Agreement, solely at the expense of the strata lot owners; and
  - (c) The liability of each strata lot owner for the performance and observance of the Owner's covenants herein will be in proportion to the unit entitlement for his, her or its strata lot as established by the strata plan.
- 5.12 **Personal Representatives and Successors.** This Agreement shall enure to the benefit of and be binding upon the parties hereto and their personal representatives, respective heirs, executors, administrators, successors, and assigns.
- 5.13 **Governing Law.** This Agreement will be governed by and construed in accordance with the laws of the Province of British Columbia and the laws of Canada applicable in British Columbia.
- 5.14 **Priority.** The Owner shall at the sole expense of the Owner, do or cause to be done all acts reasonably necessary to grant priority to this Agreement over all charges and encumbrances which may have been registered against the title to the Lands at the Land Title Office save and except those specifically approved in writing by the City.
- 5.15 **Further Assurances.** The Owner shall do, or cause to be done, all things and execute or cause to be executed all documents and give such further and other assurances which may be reasonably necessary to give proper effect to the intent of this Agreement.
- 5.16 **Counterparts.** This Agreement may be executed in any number of counterparts and delivered via facsimile or e-mail, each of which will be deemed to be an original and all of which taken together will be deemed to constitute one and the same instrument, provided that any party delivering this Agreement via facsimile or e-mail will deliver to the other party any originally executed copy of this Agreement forthwith upon request by the other party.

*(the balance of this page is left intentionally blank)*

5.17 **Entire Agreement.** This Agreement represents the entire agreement between the City and the Owner regarding the matters set out in this Agreement and supersedes all prior agreements, letters of intent or understandings about these matters.

IN WITNESS WHEREOF the City of Surrey and the Owner have executed this Agreement under seal of their duly authorized officers as of the references of this Agreement.

**CITY OF SURREY**

By: \_\_\_\_\_  
Authorized Signatory  
Brenda Locke  
Mayor  
City of Surrey

By: \_\_\_\_\_  
Authorized Signatory  
Jennifer Ficocelli  
City Clerk and Director Legislative Services  
City of Surrey

**1168478 BC Ltd.**

By: \_\_\_\_\_  
Authorized Signatory  
*Name: Rupinder Kooner*  
*Title: Director*