

City of Surrey
PLANNING & DEVELOPMENT REPORT

File: 7917-0490-00

Planning Report Date: September 16, 2019

PROPOSAL:

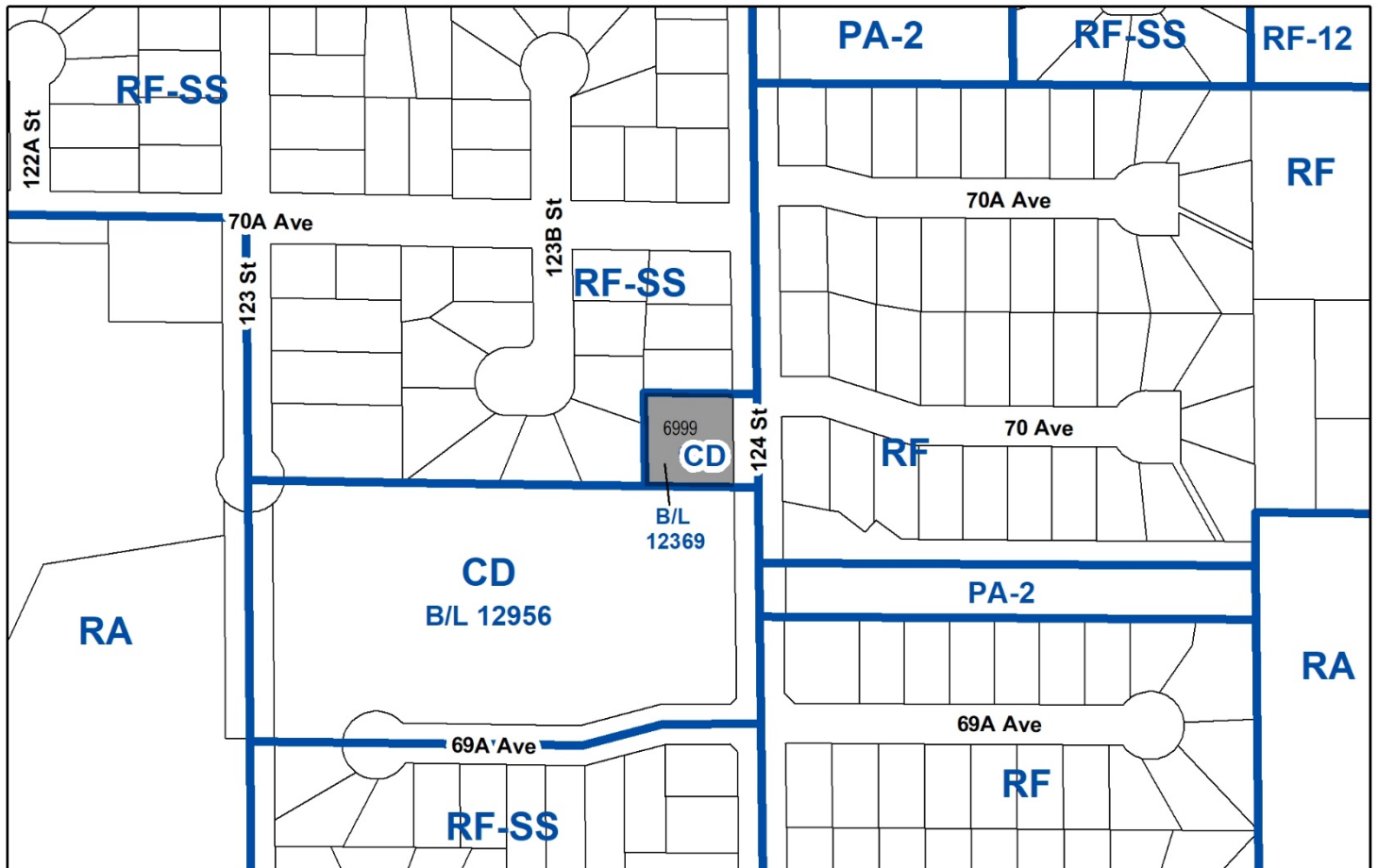
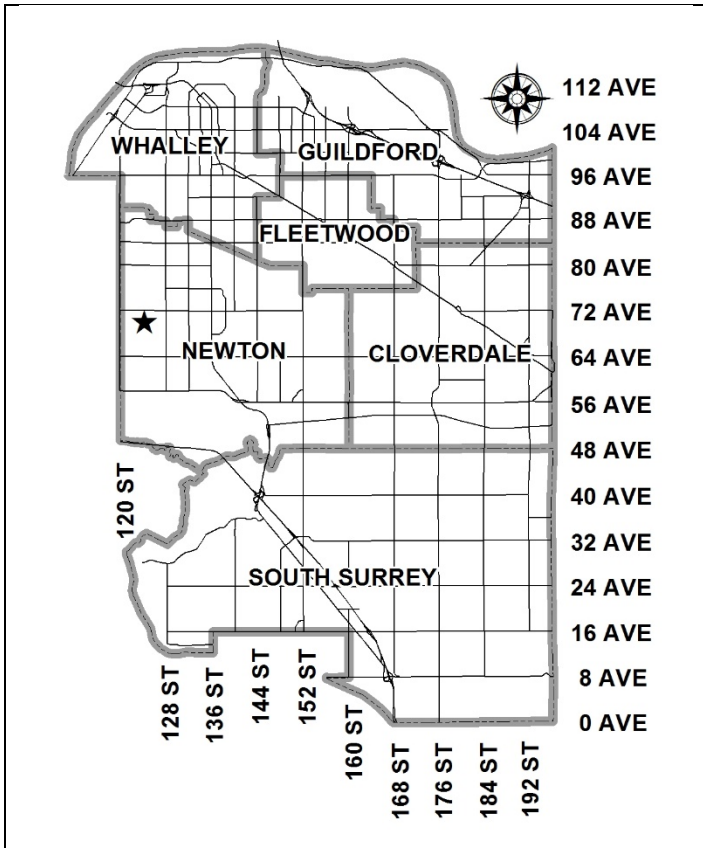
- Amend CD By-law No. 12369
- Development Permit
- Development Variance Permit

to permit the development of a new childcare facility for up to 57 children to replace the existing childcare facility that currently allows up to 50 children.

LOCATION: 6999 - 124 Street

ZONING: CD (By-law No. 12369)

OCP DESIGNATION: Urban



RECOMMENDATION SUMMARY

- By-law Introduction and set date for Public Hearing for amending "Comprehensive Development Zone (CD By-law No. 12369)".
- Approval to draft Development Permit.
- Approval for Development Variance Permit to proceed to Public Notification.

DEVIATION FROM PLANS, POLICIES OR REGULATIONS

- The applicant is seeking to reduce the minimum streamside setback, as measured from top-of-bank, for a "Class A Stream" from 30 metres (98 ft.) to a minimum of 5 metres (16 ft.) to permit the development of a two-storey building to accommodate a childcare facility.
- The applicant proposes to vary the Sign By-law to allow two (2) fascia signs to be located above the first storey of the building and also not be located on the top floor of the building, through a comprehensive sign design package.

RATIONALE OF RECOMMENDATION

- The proposal is for a new two-storey childcare facility for up to 57 children, to replace the existing childcare facility that currently allows up to 50 children.
- The proposal complies with the City's location and siting guidelines for childcare facilities.
- The applicant has demonstrated community support for the proposal.
- The existing childcare use and reduced environmental setback is consistent with past approvals for the site. The use was established prior to the Streamside Setback Area provisions of the Zoning By-law being adopted. The proposed amendment to the CD Zone (By-law No. 12369) will allow for a marginal increase in the number of children permitted in a childcare facility and for an increase in the floor area ratio (FAR).
- Although the minimum environmental setback of 5 metres (16 ft.) has been historically disturbed on the site, the applicant is proposing to respect and improve upon the environmental setback by: 1) increasing the setback to 8 metres (26 ft.) at its maximum; 2) conveying 318 square metres (3,423 sq. ft.) of land to the City as riparian protection area; and 3) implementing a riparian restoration plan.

RECOMMENDATION

The Planning & Development Department recommends that:

1. A By-law be introduced to amend Comprehensive Development By-law No. 12369 and a date be set for Public Hearing.
2. Council authorize staff to draft Development Permit No. 7917-0490-00 generally in accordance with the attached drawings (Appendix III).
3. Council approve Development Variance Permit No. 7917-0490-00 (Appendix VI) varying the following, to proceed to Public Notification:
 - (a) to reduce the minimum streamside setback, as measured from top-of-bank, for a "Class A Stream" from 30 metres (98 ft.) to 5 metres (16 ft.).
4. Council instruct staff to resolve the following issues prior to final adoption:
 - (a) ensure that all engineering requirements and issues including restrictive covenants, dedications, and rights-of-way where necessary, are addressed to the satisfaction of the General Manager, Engineering;
 - (b) submission of a finalized tree survey and a statement regarding tree preservation to the satisfaction of the City Landscape Architect;
 - (c) submission of a landscaping plan and landscaping cost estimate to the specifications and satisfaction of the Planning and Development Department;
 - (d) resolution of all urban design issues to the satisfaction of the Planning and Development Department;
 - (e) demolition of existing buildings and structures to the satisfaction of the Planning and Development Department;
 - (f) execution of a P-15 agreement for the monitoring and maintenance of replanting in the conveyed riparian area to the satisfaction of the General Manager, Parks, Recreation and Culture; and
 - (g) completion of a Sensitive Ecosystem Development Permit to the satisfaction of the General Manager, Planning & Development Department.

REFERRALS

Engineering: The Engineering Department has no objection to the project subject to the completion of Engineering servicing requirements as outlined in Appendix IV.

Parks, Recreation & Culture:	Parks will accept the hatched area shown on the architectural drawings as 'Riparian Area' as natural area for conservation purposes, without compensation. The area should be conveyed as a lot. A detailed planting plan and an associated P-15 agreement are required for the monitoring and maintenance of the proposed replanting in the conveyed riparian area. Access including a gate to the Riparian Area is to be provided from 124 Street and fencing along the southern and eastern property lines will be required.
Fraser Health Authority:	Fraser Health reviewed the plans and approved the expansion for 57 children.
Surrey Fire Department:	A referral to the Surrey Fire Department was made and there are no concerns.

SITE CHARACTERISTICS

Existing Land Use: Khalsa Daycare.

Adjacent Area:

Direction	Existing Use	OCP Designation	Existing Zone
North:	Single family dwelling.	Urban	RF-SS
East (Across 124 Street):	Single family dwellings.	Urban	RF
South:	Khalsa School Newton Campus	Urban	CD (By-law No. 12956)
West:	Single family dwelling.	Urban	RF-SS

DEVELOPMENT CONSIDERATIONS

Background

- The property at 6999 – 124 Street is designated "Urban" in the Official Community Plan (OCP) and zoned "Comprehensive Development Zone (CD By-law No. 12369)". A childcare facility in association with the neighbouring Khalsa school currently operates on the property.
- The subject site contains a portion of Cougar Creek, a red-coded Class A watercourse, along the south property line which is currently being protected by a metal chain-link fence.
- The subject property was rezoned to CD By-law No. 12369 in 1994 under Development Application No. 7994-0143-00 in order to allow for the expansion of the existing pre-school from twenty-five (25) to fifty (50) children.

- As a condition of the rezoning under Development Application No. 7994-0143-00 a minimum five (5) metre (16 ft.) environmental setback as measured from top of bank for the protection of Cougar Creek was established, in accordance with the Ministry of Environment requirements for the site. A "no build" Restrictive Covenant for the 5 metre (16 ft.) environmental setback area was executed, however, the site's parking has since encroached into the environmental setback.

Current Proposal

- The applicant proposes to amend the CD Zone (By-law No. 12369) to increase the number of children that are permitted in a childcare facility from 50 to 57 children, to increase the allowable floor area ratio from 0.48 to 0.70, to reduce the rear yard setback from 7.5 metres (25 ft.) to 6.0 metres (16 ft.), and to increase the maximum permitted principal building height from 9 metres (30 ft.) to 10.8 metres (35 ft.) in order to permit the development of a new two-storey childcare facility. The existing childcare building will be demolished.
- In order to accommodate the new childcare facility, the applicant requires a Development Variance Permit (DVP) to reduce the minimum streamside setback from thirty (30) metres (98 ft.) to a minimum of five (5) metres (16 ft.) along the east portion of the site, increasing to a maximum of eight (8) metres (26 ft.) along the west portion of the site.

Proposed CD By-law

- The proposed CD Zone is based on the existing CD Zone (By-law No. 12369), with an increase to the number of permitted children for a childcare facility from 50 to 57, an increase in allowable floor area ratio, a reduced rear yard setback, and an increase in the maximum permitted principal building height (Appendix VII).

	CD By-law No. 12369	Proposed CD Zone
Permitted Uses <ul style="list-style-type: none"> Childcare centre 	Licensed to accommodate a maximum of 50 children, at any one time.	Licensed to accommodate a maximum of 57 children, at any one time.
Density	The floor area ratio shall not exceed 0.48.	The floor area ratio shall not exceed 0.70.
Yards and Setbacks	Rear Yard: 7.5 metres [25 ft.]	Rear Yard: 6 metres [20 ft.]
Height of Buildings	Principal Building: 9 metres [30 ft.]	Principal Building: 10.8 metres [35 ft.]

- The proposed CD Zone corresponds to all other provisions of the existing CD Zone (By-law No. 12369).
- The proposed increase to the number of childcare spaces is considered marginal, however, there is a public benefit to increasing the number of available licensed childcare spaces.
- The proposed increase in allowable floor area ratio is a result of the increased floor area required for additional childcare spaces and because the applicant is conveying 318 square metres (3,423 sq. ft.) of land to the City, which reduces the net site area and therefore increases the floor area ratio of the proposed development.

- The applicant explored multiple options to maintain a 7.5 metre (25 ft.) rear yard setback but this could not be accommodated given the constraints on the property, including the riparian setback, the desire to retain mature trees along 124 Street, and the need for outdoor play space.
- The reduced rear yard (west) setback is mitigated by a 3 metre (10 ft.) wide landscape buffer and 1 metre (3 ft.) high fence between the building face and the landscape buffer. The existing 1.5 metre (5 ft.) high wood fence along the rear property line will remain in place.
- Under the Zoning By-law, elevator service rooms, air conditioners and similar equipment does not need to be included in building height calculations provided they do not exceed 25% of the plan view area of the roof on which they are located. In this case, the elevator service room and other rooftop equipment do not exceed 25% of the plan view area of the roof, however, there are two stair wells that function to serve the rooftop play area.
- The increased building height from 9 metres (30 ft.) to 10.8 metres (35 ft.) is considered marginal and is only required to accommodate the stairwells that serve the rooftop play area. The remainder of the flat roof is 9 metres (30 ft.) in height.

Sensitive Ecosystem Development Permit (DP)

- The subject property is located within the Sensitive Ecosystem Development Permit Area for Cougar Creek and a Green Infrastructure Network (GIN) corridor. In accordance with Part 7A of the Zoning By-law, the minimum setback from top-of-bank for a Class A watercourse is 30 metres (98 ft.). The applicant is requesting a variance to reduce the minimum setback requirement measured from top-of-bank to 5 metres (16 ft.) along the east portion of the site, increasing to a maximum of 8 metres (26 ft.) along the west portion, in order to accommodate the proposed development.
- The applicant proposes maximum safeguarding of the riparian area by conveying it to the City for conservation purposes. In addition, the applicant proposes restoration planting within the riparian area. The restoration landscaping in the riparian area requires a P-15 agreement between the applicant and the City to allow private landscaping works to be undertaken on City land.
- As part of the original condition of approval for Development Application No. 7994-0143-00 the applicant was required to maintain a minimum 5 metre (16 ft.) environmental setback measured from top-of-bank for the protection of Cougar Creek, in accordance with requirements set by the Ministry of Environment. Since that time, the parking lot for the existing childcare facility has encroached into the minimum setback area.
- The current proposal is to restore the minimum 5 metre (16 ft.) setback and expand the setback area to a maximum of 8 metres (26 ft.) at its largest distance. The proposed expansion and restoration of the environmental setback is sufficient to accommodate emergency drainage maintenance access over and above the existing Streamside Protection and Enhancement Area (SPEA) established as part of Development Application No. 7994-0143-00 and has been found to be acceptable to staff for the long-term protection of Cougar Creek.

PRE-NOTIFICATION

- Pre-notification letters were mailed to 69 property owners within one-hundred metres (328 ft.) of the subject property on December 5, 2017. The letter was also mailed to the Beaver Creek Heights Neighbourhood Association and the Newton Community Association. To date, staff have not received any responses.
- Staff asked that the applicant hold a Public Information Meeting with area residents. Letters were mailed to 98 property owners within 200 metres (656 ft.) of the subject property. The Public Information Meeting was held on Thursday, January 3, 2019 at the Khalsa School Newton Campus. Approximately 40 residents attended the meeting, many of whom have children enrolled in the Khalsa daycare.
- Approximately 35 attendees completed a sign-in sheet indicating their support for the proposal. Following the meeting, two further letters indicating support for the proposal were received. There were no persons who objected or expressed concerns with the proposal, who attended the Public Information Meeting.

DESIGN PROPOSAL AND REVIEW

Proposed Building

- The proposed childcare facility will provide approximately 750 square metres (8,072 sq. ft.) of childcare space on two levels with additional outdoor play space on the roof. The facility will accommodate childcare space of 12 infant toddlers, 25 children of ages 30 months to 5 years, and preschool space for 20 children of ages 30 months to 5 years.
- The building materials include a combination of corrugated metal siding in burgundy, deep blue and tan and grey cultured stone. In addition, the building façade includes a grey aluminum curtain wall on the south and east elevations and beige vinyl windows on the north and west elevations. The building promotes an attractive southerly façade with significant glazing elements that wrap around the southeast corner of the proposed building to provide views of the outdoor play space and riparian area as well as abundant interior natural lighting.
- The proposed building is considered attractive, well-designed and sensitive to the adjacent residential uses to the north and west of the subject property.

Driveway Access and On-site Parking

- The subject property will retain driveway access from 124 Street with a slightly wider driveway to accommodate the proposed land use and parking requirements.
- The CD Zone (By-law No. 12369) requires parking to be provided in accordance with Surrey Zoning By-law, 1993, No. 12000, as amended. Under the Zoning By-law, the applicant is required to provide 0.70 parking spaces per employee plus 0.15 parking spaces per licensed child for drop-off.
- The childcare licensing requirements of Fraser Health indicate that 8 employees are required for the proposed childcare facility based on the age range of children and number of programs

offered. As such, a total of 14 parking spaces would be required on-site. The applicant proposes a total of 14 parking spaces which complies with the minimum on-site parking requirements in the Zoning By-law.

Proposed Fascia Signage

- The applicant is proposing 2 fascia signs along the eastern and southern building façade. The fascia signs will consist of yellow individual channel letters with a white LED backlit halo effect and complies with the maximum allowable combined sign area per linear foot of premise frontage. The fascia signage will not extend more than 0.5 metres (1.6 ft.) from the building façade, in keeping with the Sign By-law. In addition, the existing signage attached to the fence along 124 Street will be removed.
- Under the Sign By-law, a maximum of one (1) fascia sign per frontage is permitted above the first storey provided that they are located at the top of the top floor of the building. The two (2) proposed fascia sign locations do not comply with the locational requirements of the Sign By-law. Refer to Appendix II for more information.

Proposed Landscaping

- A variety of trees, shrubs and groundcover is proposed along the north and west property line adjacent to single family dwellings which will serve as a landscape buffer between the childcare facility and residential land uses.
- The applicant proposes to retain a large Spruce tree within the outdoor play area and is to be surrounded by landscaped lawn. Several play structures will be implemented within the outdoor play area and on the rooftop play space.
- Decorative paving materials are proposed at the driveway entrance off 124 Street and permeable pavers are proposed for each of the 14 parking stalls.

Location Siting Criteria for Child Care Centres

- In 1990, the City completed a report entitled "Guidelines for the Location and Siting of Child Care Centres". The following illustrates how the proposed application adheres to the various locational and siting guidelines outlined in the report:
 - Locate centres close to child-oriented facilities (e.g. schools, parks, playgrounds, open space, community or recreation centres, libraries, etc.)
 - Locating childcare facilities adjacent to an elementary school provides ease of access for caregivers and the opportunity for caregivers to walk children to the childcare centre;
 - The subject site is located directly adjacent to the Khalsa School Newton Campus which includes an outdoor playground; and
 - The subject site is located within a reasonable walking distance of Cougar Creek Park.

- Avoid siting childcare centres along arterial roads.
 - The subject property is located on 124 Street which is a collector road.
- Provide adequate on-site parking for employees and parents.
 - The applicant will provide a total of 14 parking spaces on-site which complies with the minimum parking requirement under the Zoning By-law.
- Provide adequate fencing, screening, setbacks and outdoor play areas.
 - As the attached layout (Appendix II) illustrates, the childcare facility is setback from 124 Street and located at the northwest corner of the subject site thereby creating a spacious outdoor play area along the western property line and southern building façade;
 - The ground-floor of the proposed building will provide direct access to a large 177 square metre (1,900 sq. ft.) play space located adjacent to Cougar Creek. The play space will include several play structures beneath a large on-site tree that is to be retained. The play area is enclosed by a 1.8 metre (6 ft.) high black metal and chain link fence; and
 - An additional play area is to be located on the roof of the proposed childcare facility containing 205 square metres (2,217 sq. ft.) of play space.

TREES

- Vanessa Melney, ISA Certified Arborist of Mike Fadum and Associates Ltd. prepared an Arborist Assessment for the subject property. The table below provides a summary of the tree retention and removal by tree species:

Table 1: Summary of Tree Preservation by Tree Species:

Tree Species	Existing	Remove	Retain
Coniferous Trees			
Douglas Fir	8	0	8
Spruce	1	0	1
Western Red Cedar	1	0	1
Total (excluding Alder and Cottonwood Trees)	10	0	10
Total Replacement Trees Proposed (excluding Boulevard Street Trees)		5	
Total Retained and Replacement Trees		15	
Contribution to the Green City Fund		\$0	

- The Arborist Assessment states that there is a total of ten (10) protected trees on the site. It was determined all trees on the property can be retained as part of this development proposal. The proposed tree retention was assessed taking into consideration the location of services, building footprints, road dedication and proposed lot grading.
- A detailed planting plan prepared by a Registered Professional Biologist (R.P. Bio.) and an associated P-15 agreement are required for the monitoring and maintenance of the proposed trees to be planted in the conveyed riparian area.
- The applicant is proposing five (5) replacement trees, exceeding City requirements.
- The new trees on the site will consist of a variety of trees including Vine Maple and Kousa Dogwood.
- In summary, a total of fifteen (15) trees are proposed to be retained or replaced on the site.

BIODIVERSITY CONSERVATION STRATEGY

- The City of Surrey Biodiversity Conservation Strategy (BCS) Green Infrastructure Network (GIN) map, adopted by Council on July 21, 2014 (Corporate Report No. R141; 2014), identifies a Local BCS Corridor within the subject site, in the Newton BCS management area, with High ecological value.
- The BCS further identifies the GIN area of the subject site as having a Moderately High habitat suitability rating, derived from species at risk presence, species accounts and known ecosystem habitat inventories. The BCS recommends a target Corridor width of 60 meters (197 ft.) and target area of 1,051 square meters (11,313 sq. ft.) which is 74% of the subject property.
- Protecting green infrastructure Hubs (large habitat areas) and Sites (smaller habitat areas) are critical to preserving natural habitat refuges and a diversity of habitat features while maintaining/enhancing Corridors ensures connectivity between fragmented hubs for genetic variation throughout the City. The closest Biodiversity Hub connection in the GIN to the subject site is Hub Colebrook Park, and is located south of No. 10 (56 Avenue) Highway, approximately 3,700 metres (3.8 km) away.
- The development proposal conserves and enhances 318 square meters (3,423 sq. ft.) of the subject site through conveyance of the Riparian Area, which represents 23% of the total gross area of subject site, or 30 % of the target GIN area. This method of GIN retention and enhancement will assist in the long term protection of the natural features and allows the City to better achieve biodiversity at this location consistent with the guidelines contained in the BCS.
- In order for the proposal to fully comply with the BCS target recommendations, an additional 733 square meters (7,890 sq. ft.) of the GIN area would be required on the subject site but has not been provided by the development proposal. If the full 1,051 square metres (11,313 sq. ft.) of GIN area was protected, there would be no reasonable development potential for a new building to accommodate a daycare facility.

PROJECT ANALYSIS

Information in Support of the Applicant's Proposed Streamside Setback Variance

- Under the original development application for the property (No. 7994-0143-00), the Ministry of Environment supported a reduction of the environmental setback to 5 metres (16 ft.), as measured from top-of-bank. At the time, the provincial Riparian Areas Regulation (RAR) was not in effect.
- The applicant is of the understanding that at the time the Streamside Setback Area provisions were adopted in September 2016, variances would be considered for sites where application of the new streamside setback areas would significantly impact a site's developable area. Although the application was submitted after the Streamside Setback Area provisions were adopted, the applicant had been in discussions with staff regarding the proposed redevelopment of the subject site for nearly one year prior to these provisions were adopted.
- The existing childcare use and reduced environmental setback is consistent with past approvals for the site. The use was established prior to the Streamside Setback Area provisions being adopted and the proposed amendment to the CD Zone (By-law No. 12369) will allow for a marginal increase in the number of children permitted in a childcare facility and for an increase in the floor area ratio (FAR).
- There is a public benefit to permitting an increase in the number of childcare spaces. The existing facility currently accommodates 50 children, while the proposed expansion will accommodate 57 children.
- The applicant is proposing to convey approximately 318 square metres (3,423 sq. ft.) of land to the City as riparian protection area, which is approximately 23% of the gross site area. The applicant is also proposing to restore the riparian protection area, which will involve the removal of invasive species, anthropogenic debris and native vegetation planting to achieve riparian vegetation establishment and improved riparian function.
- Although the minimum environmental setback of 5 metres (16 ft.) has been historically disturbed on the site, the applicant is proposing to respect and improve upon the environmental setback by: 1) increasing the setback to 8 metres (26 ft.) at its maximum; 2) conveying 318 square metres (3,423 sq. ft.) of land to the City as riparian protection area; and 3) implementing a riparian restoration plan.
- If the proposal complied with the required 30 metre (100 ft.) streamside setback, only 195 square metres (2,099 sq. ft.) of land on the subject property would be available for development.
- If no variance is supported, the applicant will still be able to utilize the existing childcare facility and parking lot with no increase in childcare spaces or conveyance and improvements to the riparian protection area will not be undertaken.
- Based on the rationale above, staff are supportive of the Development Variance Permit (DVP) to reduce the minimum streamside setback.

SUSTAINABLE DEVELOPMENT CHECKLIST

The applicant prepared and submitted a sustainable development checklist for the subject site on July 16, 2019. The table below summarizes the applicable development features of the proposal based on the seven (7) criteria listed in the Surrey Sustainable Development Checklist.

Sustainability Criteria	Sustainable Development Features Summary
1. Site Context & Location (A1-A2)	<ul style="list-style-type: none"> This subject site is located outside of a Secondary Land Use Plan area.
2. Density & Diversity (B1-B7)	<ul style="list-style-type: none"> The proposed net floor area ratio is 0.69.
3. Ecology & Stewardship (C1-C4)	<ul style="list-style-type: none"> The proposed development will convey and enhance 318 square meters (3,423 sq. ft.) of riparian area for conservation purposes. All existing trees will be retained with redevelopment of the site, with an additional five (5) trees being planted.
4. Sustainable Transport & Mobility (D1-D2)	<ul style="list-style-type: none"> None proposed.
5. Accessibility & Safety (E1-E3)	<ul style="list-style-type: none"> The proposed development will provide childcare space and playground/recreation space for 57 children.
6. Green Certification (F1)	<ul style="list-style-type: none"> None proposed.
7. Education & Awareness (G1-G4)	<ul style="list-style-type: none"> A Development Sign was installed on the property on November 9, 2017 and pre-notification letters were mailed out to 69 property owners within one-hundred metres (328 ft.) of the subject property on December 5, 2017 A Public Information Meeting was held on Thursday, January 3, 2019 at the Khalsa School Newton Campus.

ADVISORY DESIGN PANEL

- The City Architect determined that a referral to the Advisory Design Panel is not required for this application. Instead, the application will need to resolve all urban design issues to the satisfaction of the Planning and Development Department prior to proceeding for Final Adoption.
- The urban design issues to be resolved prior to Final Adoption include lot grading, site landscaping, building massing/form and building materials.

BY-LAW VARIANCE AND JUSTIFICATION

(a) Requested Variance:

- To reduce the minimum required setback requirement from the top-of-bank for a Class A watercourse from 30 metres (98 ft.) to 5 metres (16 ft.) at the closest point to accommodate the proposed development.

Applicant's Reasons:

- The existing riparian setback of 5 metres (16 ft.) as measured from top-of-bank for Cougar Creek was established as part of Development Application No. 7994-0143-00. The proposed development will accommodate a 5 metre (16 ft.) setback from top-of-bank at its closest point but expands to 8 metres (26 ft.) at its largest point.

Staff Comments:

- In accordance with Part 7A of the Zoning By-law, the minimum setback requirement from top-of-bank for the Class A watercourse (Cougar Creek) is 30 metres (98 ft.).
- As part of the original rezoning application for the property under Development Application No. 7994-0143-00, the applicant was required to establish a minimum 5 metre (16 ft.) setback as measured from top-of-bank, in accordance with requirements set by the Ministry of Environment.
- The applicant's Qualified Environmental Professional (QEP) submitted a Riparian Area Regulation (RAR) report and Ecosystem Development Plan (EDP) in support of the requested variance to the streamside setback.
- Although the minimum environmental setback of 5 metres (16 ft.) has been disturbed on the site, the applicant is proposing to respect and improve upon the environmental setback by: 1) increasing the setback to 8 metres (26 ft.) at its maximum; 2) conveying 318 square metres (3,423 sq. ft.) of land to the City for riparian protection area; and 3) implementing a riparian restoration plan.
- Given the various protection measures previously established, and the proposed enhancement of the Streamside Protection Area (SPA), staff support the proposed variance.

INFORMATION ATTACHED TO THIS REPORT

The following information is attached to this Report:

Appendix I.	Project Data Sheets
Appendix II.	Proposed Sign By-law Variances
Appendix III.	Site Plan, Building Elevations, Landscape Plans and Perspective
Appendix IV.	Engineering Summary
Appendix V.	Summary of Tree Survey and Tree Preservation
Appendix VI.	Development Variance Permit No. 7917-0490-00
Appendix VII.	Proposed CD By-law

INFORMATION AVAILABLE ON FILE

- Environmental Report Prepared by Envirowest Consultants Inc. Dated June 19, 2019.
- Complete Set of Architectural and Landscape Plans prepared by M. Saar Architecture and Damon Oriente Ltd. Landscape Architects, respectively, dated September 9, 2019 and September 4, 2019.

original signed by Ron Hintsche

Jean Lamontagne
General Manager
Planning and Development

KS/cm

DEVELOPMENT DATA SHEET

Proposed Zoning: CD

Required Development Data	Minimum Required / Maximum Allowed	Proposed
LOT AREA* (in square metres)		
Gross Total	1,413 m ²	1,413 m ²
Road Widening area		
Undevelopable area		
Net Total	1,413 m ²	1,413 m ²
LOT COVERAGE (in % of net lot area)	40%	32%
Buildings & Structures		
Paved & Hard Surfaced Areas		
Total Site Coverage		
SETBACKS (in metres)		
Front	7.5 m	10.4 m
Rear	7.5 m	6.0 m
Side #1 (N)	1.8 m	2.0 m
Side #2 (S)	1.8 m	20.0 m
BUILDING HEIGHT (in metres/storeys)	9 m	10.8 m
Principal		
Accessory		
NUMBER OF RESIDENTIAL UNITS	N/A	N/A
Bachelor		
One Bed		
Two Bedroom		
Three Bedroom +		
Total		
FLOOR AREA: Residential	N/A	N/A
FLOOR AREA: Commercial		750 m ²
Retail		
Office		
Total		
FLOOR AREA: Industrial	N/A	N/A
FLOOR AREA: Institutional	N/A	N/A
TOTAL BUILDING FLOOR AREA		750 m ²

** If the development site consists of more than one lot, lot dimensions pertain to the entire site.*

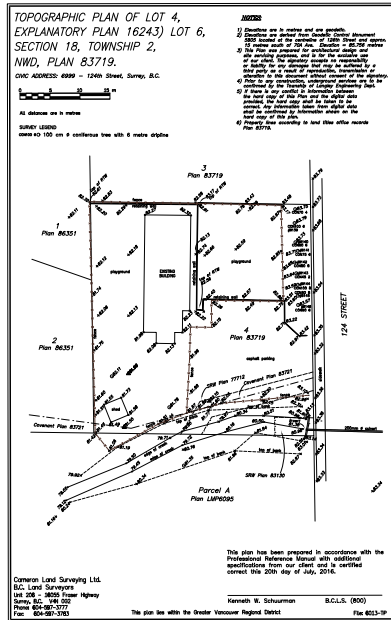
Development Data Sheet cont'd

Required Development Data	Minimum Required / Maximum Allowed	Proposed
DENSITY		
# of units/ha /# units/acre (gross)	N/A	N/A
# of units/ha /# units/acre (net)	N/A	N/A
FAR (gross)		0.55
FAR (net)		0.69
AMENITY SPACE (area in square metres)	N/A	N/A
Indoor		
Outdoor		
PARKING (number of stalls)		
Commercial	14 spaces	14 spaces
Industrial	N/A	N/A
Residential Bachelor + 1 Bedroom	N/A	N/A
2-Bed		
3-Bed		
Residential Visitors	N/A	N/A
Institutional	N/A	N/A
Total Number of Parking Spaces	14 spaces	14 spaces
Number of accessible stalls	N/A	N/A
Number of small cars	5 spaces	5 spaces
Tandem Parking Spaces: Number / % of Total Number of Units	N/A	N/A
Size of Tandem Parking Spaces width/length	N/A	N/A

Heritage Site	NO	Tree Survey/Assessment Provided	YES
---------------	----	---------------------------------	-----

PROPOSED SIGN BY-LAW VARIANCES

#	Proposed Variances	Sign By-law Requirement	Rationale
1	To allow two (2) fascia signs to be located above the first storey of the building.	A maximum of one (1) fascia sign per frontage is permitted above the first storey pertaining to the tenant that occupies the largest percentage of the total floor area above the first storey, provided no more than one such sign shall be permitted on any one façade of the building above the first storey [Part 5, Section 27(2)(a.1)(ii)]	The fascia signs are reasonably sized in relation to the size and scale of the building and each sign is well screened from adjoining residential uses.
2	To allow two (2) fascia signs that are located above the first storey to not be located on the top of floor of the building.	A fascia sign that is located above the first storey must be located on the top of the top floor of the building [Part 5, Section 27(2)(a.1)(iii)]	Trees along 124 Street are proposed for retention, which will reduce the visibility of signage if it were required to be located at the top of the top floor of the building.



SURVEY PLAN OF EXISTING SITE

DRAWING LIST

- DP 0.00 COVER SHEET
- DP 0.01 CONTEXT
- DP 0.02 CONTEXT PHOTOS OF EXISTING
- DP 1.01 SITE PLAN
- DP 1.02 BASE PLAN SHOWING LEGAL + SETBACKS
- DP 1.03 FENCING AND PLAY STRUCTURES
- DP 1.04 FLOOR PLANS
- DP 1.05 GRADING PLAN
- DP 2.01 ELEVATIONS
- DP 2.02 3D MASSING MODEL VIEWS
- DP 2.03 EXTERIOR LIGHTING
- L1.1 LANDSCAPE LAYOUT
- L1.2 PLANTING PLAN
- A1 CIVIL-PRELIMINARY SERVICING PLAN
- A2 CIVIL-PRELIMINARY GRADING PLAN

CONTACT INFO

- OWNER:** SATNAM EDUCATION SOCIETY OF BC
SATNAM KAUR GILL, MANAGER CHILD CARE
TEL: 604-544-0553
CEL: 604-947-0954
EMAIL: satwantkaur@khalsaschool.ca
- ARCHITECT:** M. SAAR ARCHITECTURE
MATTI SAAR
TEL: 604-605-2253
EMAIL: msaar@telus.net
- LANDSCAPE ARCHITECT:** DAMON ORIETTE LANDSCAPE ARCHITECTS
DAMON ORIETTE
TEL: 604-222-4200
EMAIL: dvo@telus.net
- ARBORIST:** MIKE FADUM AND ASSOCIATES LTD.
MIKE FADUM
TEL: 778-545-0300
EMAIL: mfadum@fadum.ca
- ENVIRONMENTAL:** ENVIRONWEST CONSULTANTS INC
IAN WYTHE
TEL: 604-944-0502
EMAIL: whyte@environwest.ca
- CIVIL:** CIVINVEST CONSULTING LTD.
RON HUNG
TEL: 604-591-5510
EMAIL: rhung@civinvest.com



VIEW FROM SE

SUSTAINABILITY STATEMENT

- LARGE WINDOWS ORIENTED SOUTH TO PROVIDE GOOD DAYLIGHTING ANGLED AND SHADED TO REDUCE SOLAR HEAT BUILDUP.
- EXTENSIVE USE OF LED LIGHTING TO REDUCE ENERGY CONSUMPTION.
- RETENTION OF SIGNIFICANT MATURE TREES.
- USE OF WATER PERMEABLE PAVING IN PARKING AREA.
- USE OF MANY NATIVE LANDSCAPE SPECIES REQUIRING LOW WATERING. HAND WATERING OF LANDSCAPE IN LIEU OF AN IRRIGATION SYSTEM.
- ENHANCED PRESERVATION OF NATURAL WATERCOURSE AND FISH HABITAT.

ZONING INFO

REFER TO SITE PLAN DP1.01

DEVELOPMENT DESCRIPTION AND PROPOSED VARIANCES

Proposed Khalsa Child Daycare Building
6999 - 124th Street
Surrey BC

The site currently has an existing child care building allowed under a CD Zoning (Bylaw No. 12369). The south part of the site borders on Cougar Creek. An existing covenant (Plan 83721) restricts development within a specific boundary associated with the creek. There are in addition, two sewer covenants (Plan 77712 and Plan 83130) associated with the creek on this property.

The site has a row of mature coniferous trees along 124th Street, as well as a mature significant specimen conifer at the rear of the property. The purpose of the new development is to provide additional space for child care, specifically to allow for three concurrent groups on the site (for 12+20+25 children) with interior spaces and outdoor play area in conformance with current provincial Child Care Licensing Regulations including minimum area sizes. Note that some of the required outdoor play space has been met by space provided on the roof.

The proponent wishes to also protect and enhance the riparian area associated with Cougar Creek and to save all the existing mature trees on the site. A Tree Evaluation Report has been prepared for the preservation of the trees and both a Sensitive Ecosystem and Impact Mitigation Report and Riparian Areas Regulation Assessment Report have been prepared for the site.

The following variances from the current CD Zoning are requested:

1. To increase the maximum number of children from 50 to 57 in order to accommodate the three groups proposed. There is a demand for additional child care spaces. The proponent has explored the possibility of meeting this demand on one of its other facilities in the immediate area but planning and zoning restrictions make these possibilities difficult. Redevelopment of this site presents the most feasible opportunity.
2. To reduce the rear yard setback to 6.0 M. (19.68') half to be landscaped and fenced from the outdoor play area. Various options to maintain the current setback requirements have been explored. Given the constraints of providing a suitable riparian setback, saving the mature trees on the site, outdoor space for the children, none of these options were found to be viable. In order to gain the required spaces on the site it was found that the setback requirements would need to be relaxed. Note that the front yard setback has been increased specifically to accommodate the preservation of the trees along 124th Street. The proposed building has been oriented so that its short side faces the rear yard thereby lessening the impact of diminishing the rear yard setback. Also note that the side yard relaxation to 1.2 M. (4.00') allowed under the current CD Bylaw has not been used but rather a 2.0 M. (6.56') landscaped setback provided from the current 1.8 M. (6.00') requirement.
3. To increase the FAR to 0.70 from 0.40. The current CD zoning allows a maximum FAR of 0.48 with 10 sq.M. of that reserved only for accessory buildings. The increased FAR included the covered parking area at grade as well as enclosed areas on the roof accessing the required play area.
4. To increase the maximum height of the building from 9.0 M. (29'-6") to 10.8 M. (35'-5").
5. To reduce the minimum streamside setback from 30 M. to 5 M.

The following approvals are requested:

- CD By-law amendment
- Development Permit (for sensitive ecosystems and for form and character)
- Development Variance Permit (to vary the Riparian Protection Setbacks).

Matti Saar
Architect MAIBC
M.Saar Architecture

COPYRIGHT RESERVED. THIS DRAWING AND DESIGN REMAIN THE EXCLUSIVE PROPERTY OF M. SAAR ARCHITECTURE AND CANNOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS NOTED AS ISSUED FOR CONSTRUCTION.

ALL DIMENSIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

ISSUE DATES & REVISIONS

No.	ISSUED FOR	DATE
1	Development Permit	2018/11/05
2	Reissued for DP	2019/05/09
3	Reissued for DP	2019/09/03
4	Requested variances resolved.	2019/09/09

NEW KHALSA CHILD CARE

6999 - 124th Street
Surrey BC

M. SAAR ARCHITECTURE
ARCHITECTURE
Matti Saar
11011 124th Street
Surrey, BC V3V 3A5
Canada
Tel: (604) 925-8625 msaar@msaar.ca

14914-DP101_19.09.20

COVER SHEET

DP-0.00

Mar 2019

NOTE:

1. ALL EXISTING TREES AS IDENTIFIED TO BE RETAINED
2. BASIC TREE PROTECTION ZONES (TPZ) SHOWN AS A RADIUS OF 5 TIMES THE DIAMETER OF THE TREE TRUNK. ADDITIONAL 1.5 M. RADIUS SHOWN FOR EXCAVATION.

COPYRIGHT RESERVED. THIS DRAWING AND DESIGN REMAIN THE EXCLUSIVE PROPERTY OF M. SAAR ARCHITECTURE AND CANNOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS NOTED AS ISSUED FOR CONSTRUCTION.

ALL DIMENSIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

ISSUE DATES & REVISIONS

No.	ISSUED FOR	DATE
1	Development Permit	2018/11/05
2	Reissued for DP	2019/05/06
3	Section Line	2019/07/04
4	Floor Space Added	2019/08/06
	Reissued for DP	2019/09/03

**NEW
KHALSA
CHILD
CARE**

6999 - 124th Street
Surrey BC

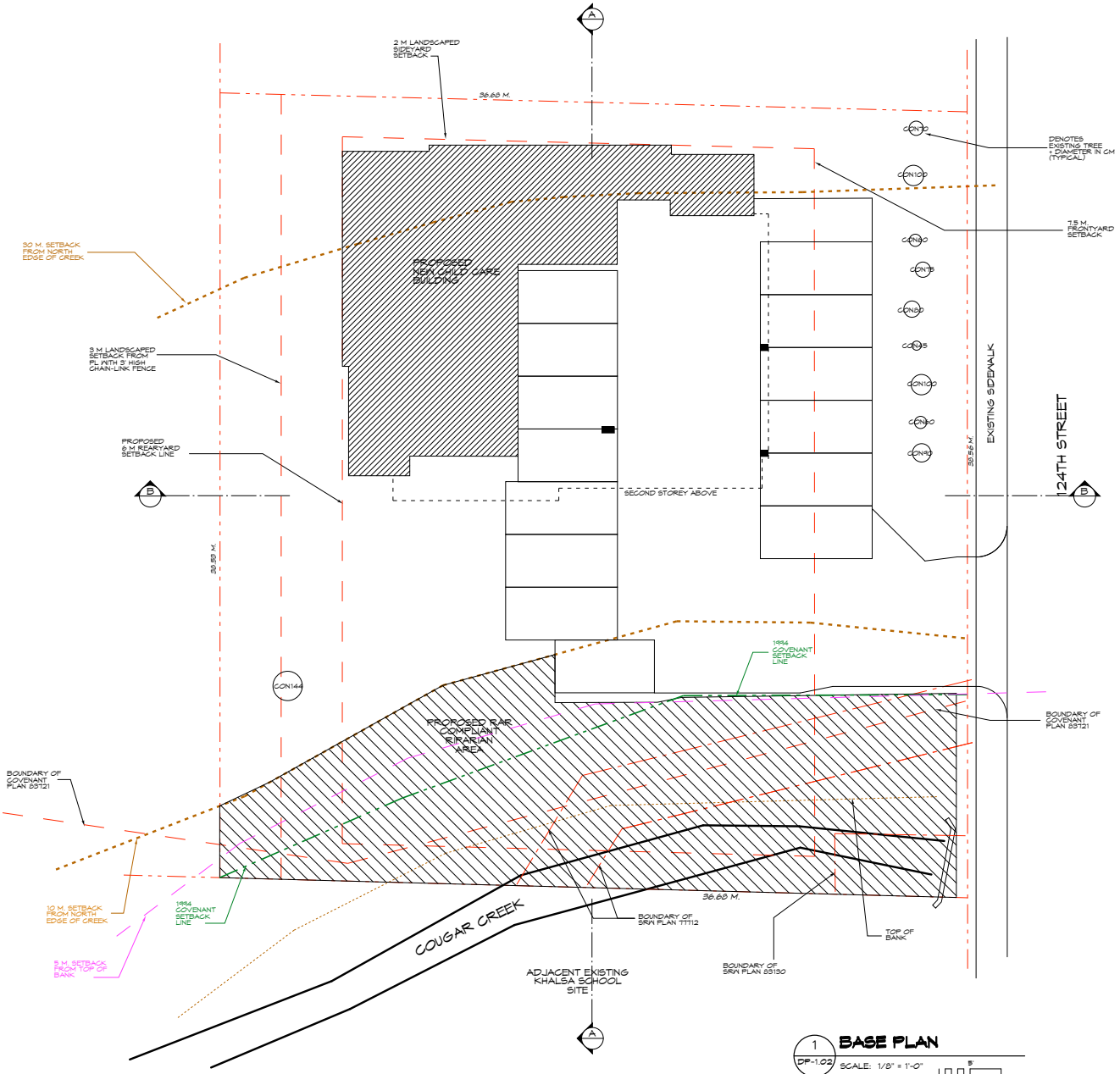
M SAAR
ARCHITECTURE

Head Office: 6999 124th Street, Coquitlam, BC V7W 3A5
Tel: (604) 926-8625 msaar@msaar.ca

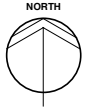
**BASE PLAN
SHOWING
LEGAL +
SETEBACKS**

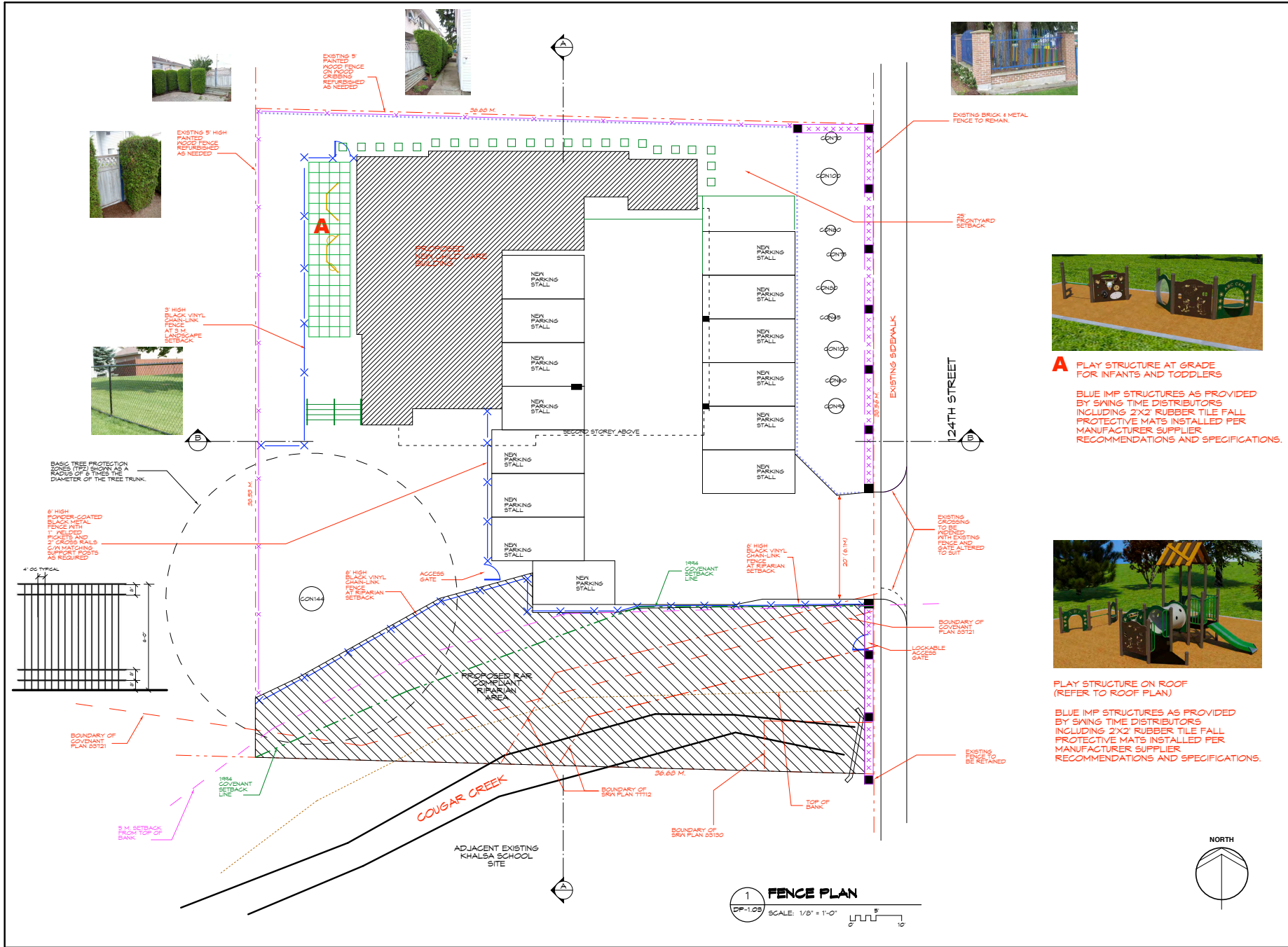
DP-1.02

Mar 2019



1 BASE PLAN
DP-1.02 SCALE: 1/8" = 1'-0"





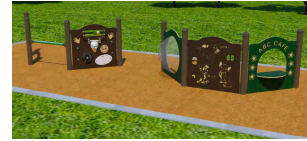
COPYRIGHT RESERVED. THIS DRAWING AND DESIGN REMAIN THE EXCLUSIVE PROPERTY OF M. SAAR ARCHITECTURE AND CANNOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS NOTED AS ISSUED FOR CONSTRUCTION.

ALL DIMENSIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

ISSUE DATES & REVISIONS

No.	ISSUED FOR	DATE
1	Development Permit	2018/11/05
2	DP Play Struct Detail	2018/11/20
3	Revised for DP	2019/05/08
4	Section Line	2019/07/04
5	Gate to Riparian Area	2019/07/16
6	Floor Space Added	2019/08/06
7	Revised for DP	2019/09/03



A PLAY STRUCTURE AT GRADE FOR INFANTS AND TODDLERS

BLUE IMP STRUCTURES AS PROVIDED BY SWING TIME DISTRIBUTORS INCLUDING 2'X2' RUBBER TILE FALL PROTECTIVE MATS INSTALLED PER MANUFACTURER SUPPLIER RECOMMENDATIONS AND SPECIFICATIONS.



PLAY STRUCTURE ON ROOF (REFER TO ROOF PLAN)

BLUE IMP STRUCTURES AS PROVIDED BY SWING TIME DISTRIBUTORS INCLUDING 2'X2' RUBBER TILE FALL PROTECTIVE MATS INSTALLED PER MANUFACTURER SUPPLIER RECOMMENDATIONS AND SPECIFICATIONS.

NEW KHALSA CHILD CARE

6999 - 124th Street
Surrey BC

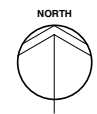
M SAAR ARCHITECTURE
A R C H I T E C T U R E
10010 152nd Street, Unit 101
Surrey, BC V3W 3A5
Canada
Tel: (604) 925-8625 msaar@msaar.ca

FENCING + PLAY STRUCTURES

DP-1.03

Mar 2019

1 FENCE PLAN
DP-1.03 SCALE: 1/8" = 1'-0"



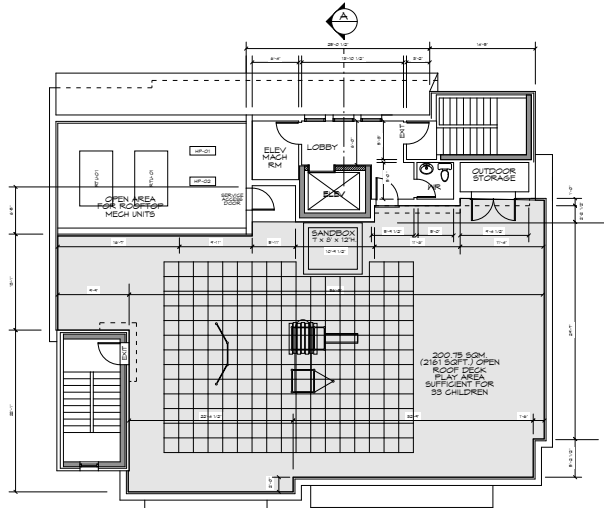
COPYRIGHT RESERVED. THIS DRAWING AND DESIGN REMAIN THE EXCLUSIVE PROPERTY OF M. SAAR ARCHITECTURE AND CANNOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS NOTED AS ISSUED FOR CONSTRUCTION.

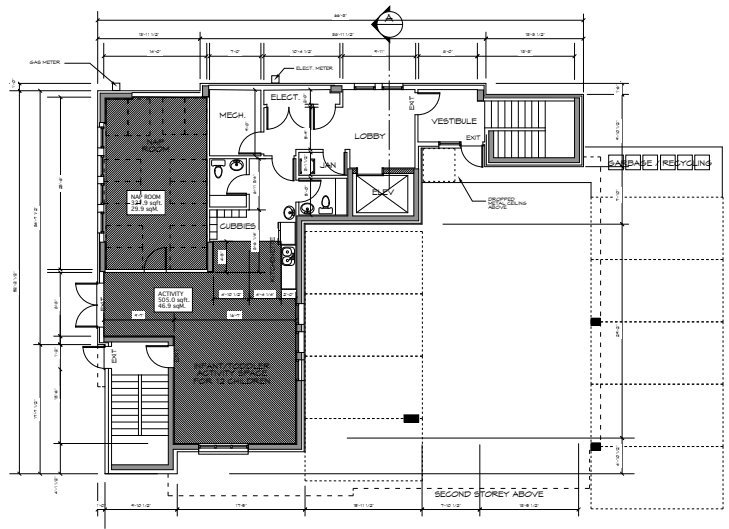
ALL DIMENSIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

ISSUE DATES & REVISIONS

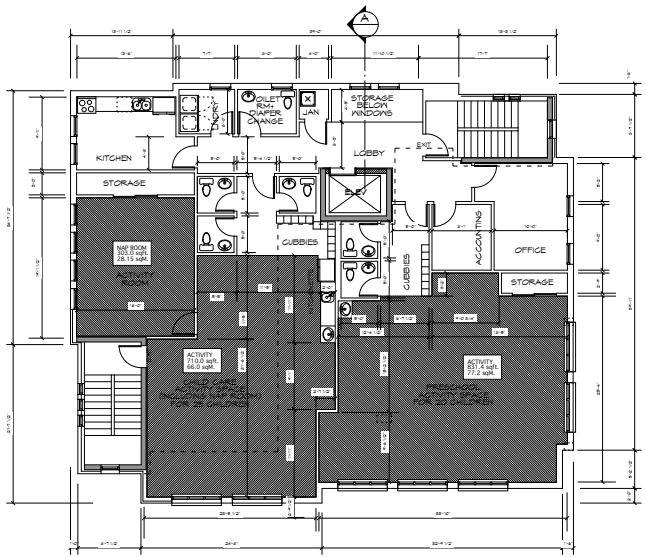
No.	ISSUED FOR	DATE
1	Development Permit	2018/11/05
2	Reissued for DP	2019/05/06
3	Revised for Fraser Health	2019/07/30
4	Reissued for DP	2019/09/03
5	INTERIM PERMIT FOR FRASER HEALTH	2019/09/09



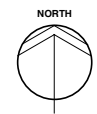
3 ROOF PLAN
 DP-1.04 SCALE: 1/8" = 1'-0"



1 MAIN FLOOR PLAN
 DP-1.04 SCALE: 1/8" = 1'-0"



2 SECOND FLOOR PLAN
 DP-1.04 SCALE: 1/8" = 1'-0"



**NEW
 KHALSA
 CHILD
 CARE**

6999 - 124th Street
 Surrey BC

M SAAR
 ARCHITECTURE
 8660 124th Street, Coquitlam
 British Columbia V7M 3A5
 Canada
 Tel: (604) 925-8625 msaar@msaar.ca

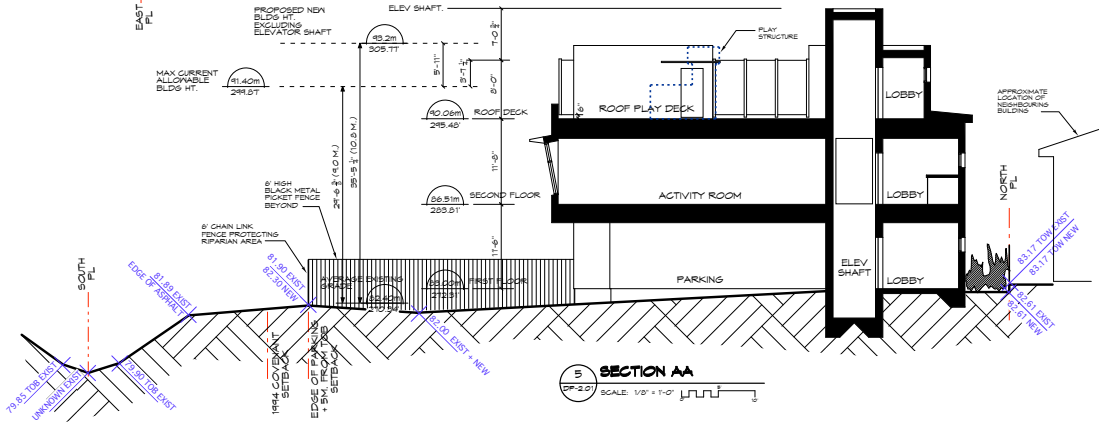
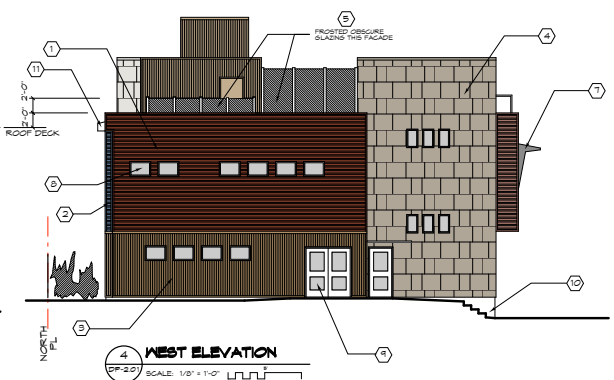
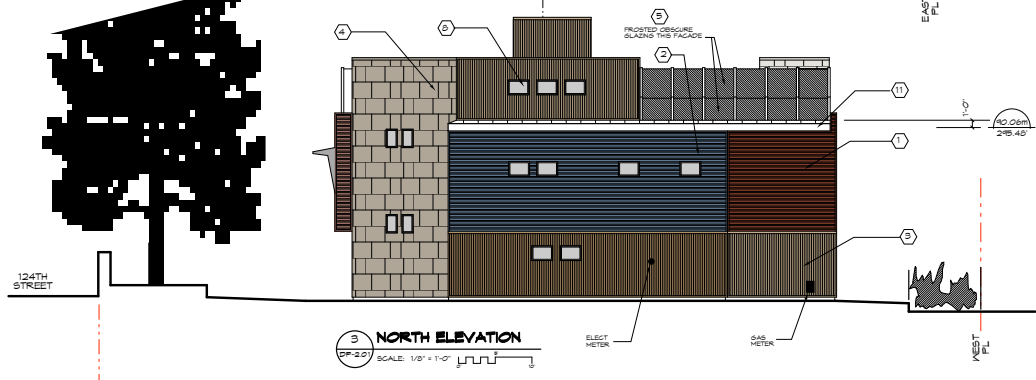
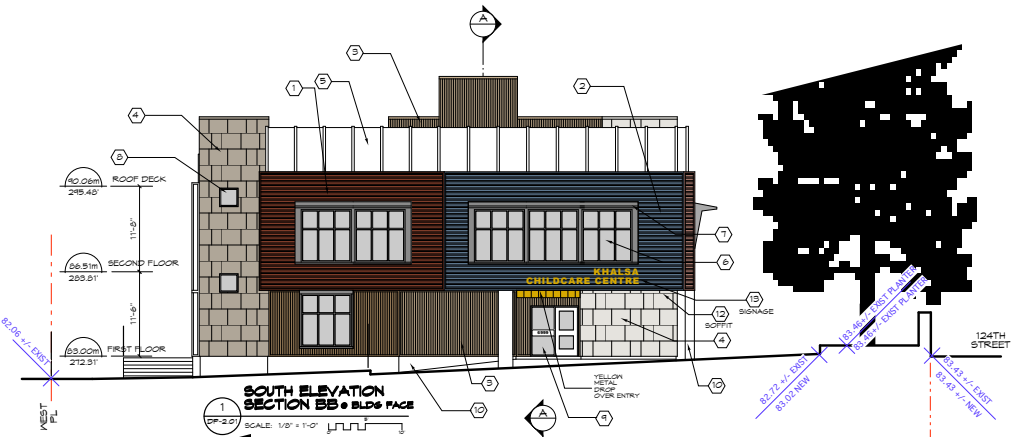
**FLOOR
 PLANS**

DP-1.04
 Mar 2019

COPYRIGHT RESERVED. THIS DRAWING AND DESIGN REMAIN THE EXCLUSIVE PROPERTY OF M. SAAR ARCHITECTURE AND CANNOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

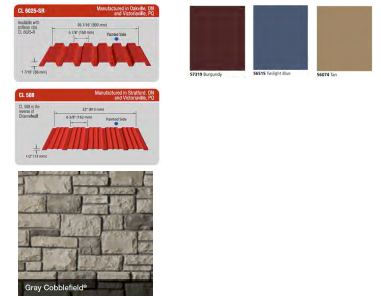
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS NOTED AS ISSUED FOR CONSTRUCTION.

ALL DIMENSIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.



- FINISHES**
- ① HORIZONTAL METAL SIDING VIGRETT GL 808R SR - 81514 BURGUNDY
 - ② HORIZONTAL METAL SIDING VIGRETT GL 808R SR - 8655 TRULIGHT BLUE
 - ③ VERTICAL METAL SIDING VIGRETT GL 808 - 8604 TAN
 - ④ POLISHED STONE FACING GREY COBBLEFIELD
 - ⑤ TEMPERED LAMINATE GLAZING WITH SILVER METAL POSTS
 - ⑥ KARNER 1600 CURTAIN WALL WINDOWS ALUMINUM CLEAR ANODIZED
 - ⑦ METAL BRASS SHAPES AND GLAZING COLOUR TO MATCH VIGRETT 8001 STONE GREY
 - ⑧ VINYL WINDOWS BEIGE
 - ⑨ STOREFRONT ENTRANCE DOORS ALUMINUM CLEAR ANODIZED
 - ⑩ CONCRETE
 - ⑪ METAL ROOFING + GUTTER
 - ⑫ 2 x 8 DRESSED CLEAR FIR SUSPENDED SOFFIT WITH 1/2" SPACING PATTERNS CONCALED

- SIGNAGE**
- ⑬ 12" HIGH ALUMINUM CHANNEL LETTERS 12" HIGH OFFSET FROM BUILDING FACE. PANELS BACKLIT HALF EFFECT.
 - NO OTHER SIGNAGE PROVIDED EXCEPT FOR SIGNAGE ADJACENT TO MAIN DOOR.
 - EXTING SIGNAGE ON FENCE TO BE REMOVED.
 - CONFIGURED SIGNAGE HEIGHT APPROXIMATELY 20' AND CONFIGURED LENGTH APPROXIMATELY 80'.



ISSUE DATES & REVISIONS

No.	ISSUED FOR	DATE
1	Development Permit	2018/11/05
2	Reissued for DP	2019/05/16
3	Section @ South Elev	2019/07/04
4	Signage	2019/07/12
5	Roof guard raised	2019/08/23
6	Reissued for DP	2019/09/03

NEW KHALSA CHILD CARE

6999 - 124th Street
Surrey BC

M SAAR ARCHITECTURE
A R C H I T E C T U R E
Wesley, Vancouver, British Columbia
Canada | Tel: (604) 925-8625 | msaar@msaar.ca

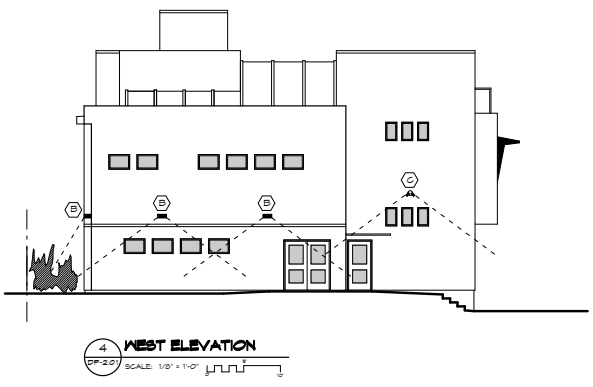
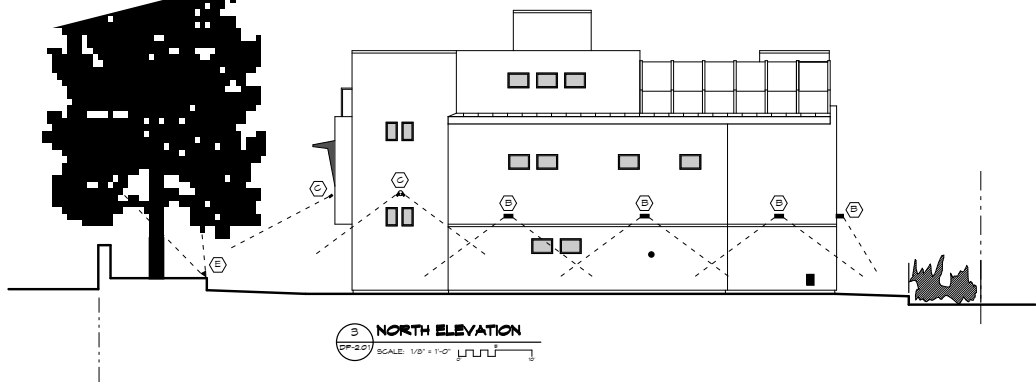
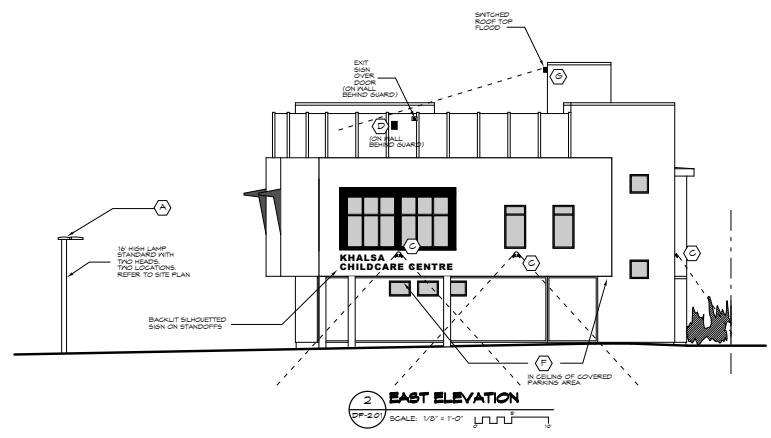
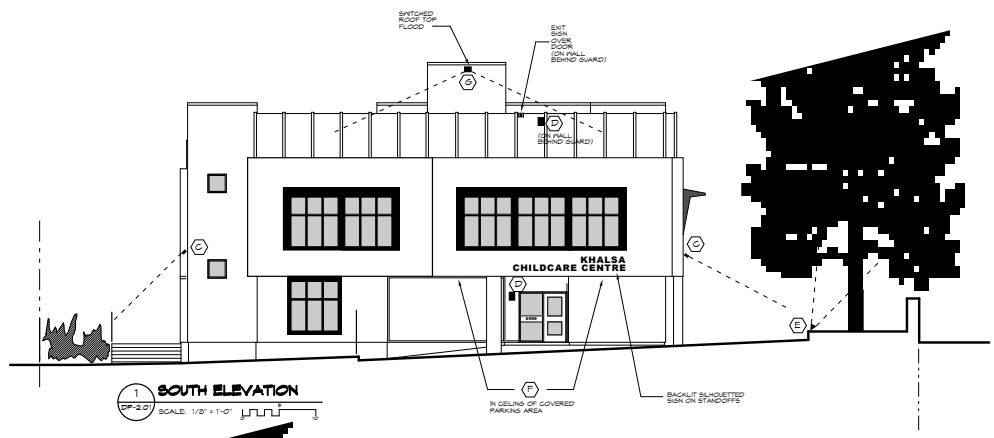
ELEVATIONS SECTION

DP-2.01
Mar 2019

COPYRIGHT RESERVED. THIS DRAWING AND DESIGN REMAIN THE EXCLUSIVE PROPERTY OF M. SAAR ARCHITECTURE AND CANNOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION UNLESS NOTED AS ISSUED FOR CONSTRUCTION.

ALL DIMENSIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.



A PARKING AREA LAMP HEADS ON LAMP STANDARD

B WALL WASHER

C DIRECTIONAL BULLET LIGHTS

D WALL SCENE

E TREE UP FLOOD LIGHTS

F PARKADE CEILING LIGHTS

G ROOF FLOOD LIGHT

DOUBLE HEAD CONFIGURATION REFER TO SITE PLAN DP1.01 FOR LOCATIONS

ISSUE DATES & REVISIONS

No.	ISSUED FOR	DATE
1	Development Permit	2018/11/05
2	Reissued for DP	2019/05/06
3	Reissued for DP	2019/08/23
4	Reissued for DP	2019/09/03

**NEW
KHALSA
CHILD
CARE**

6999 - 124th Street
Surrey BC

M. SAAR
ARCHITECTURE
1000
Head Office: 1000 Columbia
West Vancouver, BC, Canada
V7W 3A5
Tel: (604) 925-8625 msaar@msaar.ca



DAMON
ORIENTE
LTD

LANDSCAPE
ARCHITECTS

#306 - 4664 West 10th Ave.
Vancouver, BC, Canada
V6R 2H5
tel: 604-222-7200
fax: 604-222-7212
d@damonoriente.net
www.damonoriente.ca

Project
KHALSA DAY CARE

6999 -124th St Surrey BC

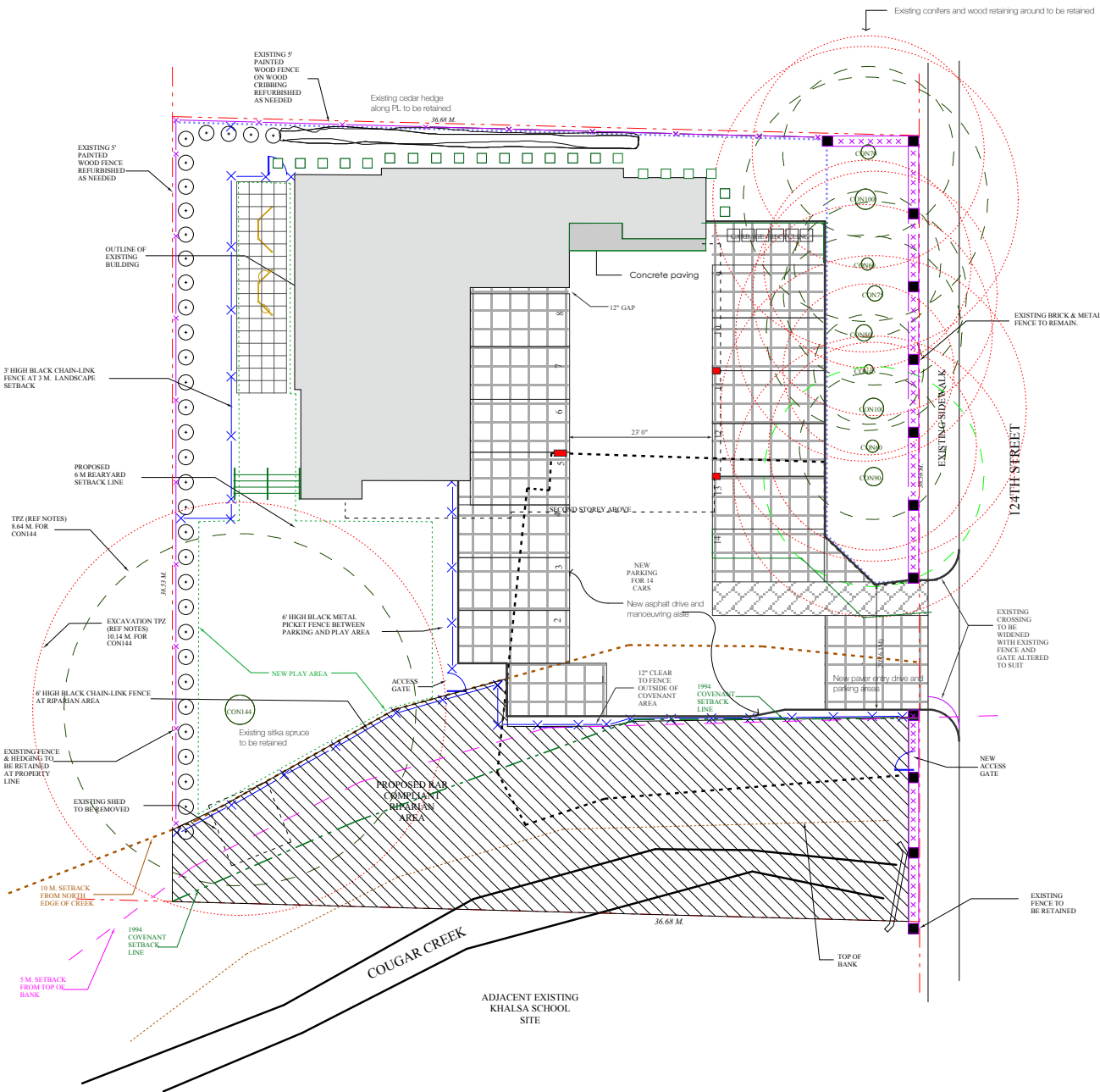
Drawing
LANDSCAPE
LAYOUT

All these dimensions shall have a tolerance unless noted otherwise. Coordinates shall be the responsibility of all clients. All dimensions shall be in metric unless otherwise noted. All dimensions shall be in metric unless otherwise noted. All dimensions shall be in metric unless otherwise noted.

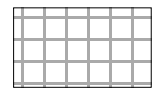
Issue 12 Oct. 2018 (DP submission)
21 Nov. 2018 (LP submission)
24 Apr. 2019 (DP re-submission)
18 Jul. 2019 (LP re-submission)
03 Sept. 2019 (LP re-submission)

Scale: 1/8" = 1'-0"
Date: 31 Oct. 2018
Sheet:

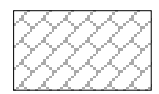
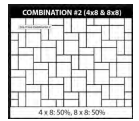
L1.1



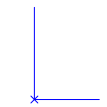
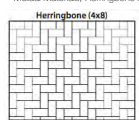
General Material Notes



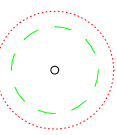
Indicates area of permeable Eco-Phora unit pavers on sand Mutual Materials, Combination 2 Pattern, charcoal blend



Indicates area of permeable Eco-Phora unit pavers on sand Mutual Materials, Herringbone Pattern, harvest blend



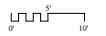
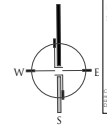
Indicates line of black chain link fence, 3' or 6' ht as indicated



Indicates line of existing wood crib wall, to be retained

Indicates existing tree to be retained, with trunk and DBH, specified root protection zone (in green, long dash) and additional 1m excavation protection zone (in red, short dash)

0.0000 ELEVATIONS IN METRES





DAMON
ORIENTE
LTD

LANDSCAPE
ARCHITECTS

#306 - 4664 West 10th Ave.
Vancouver, BC, Canada
V6R 2H5

tel: 604-222-7200
fax: 604-222-7212
d@damonorienteltd.com
www.damonorienteltd.ca

Project
KHALSA DAY CARE

6999 -124th St Surrey BC

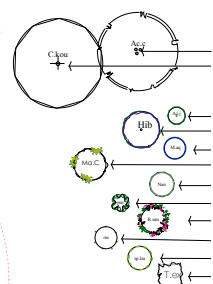
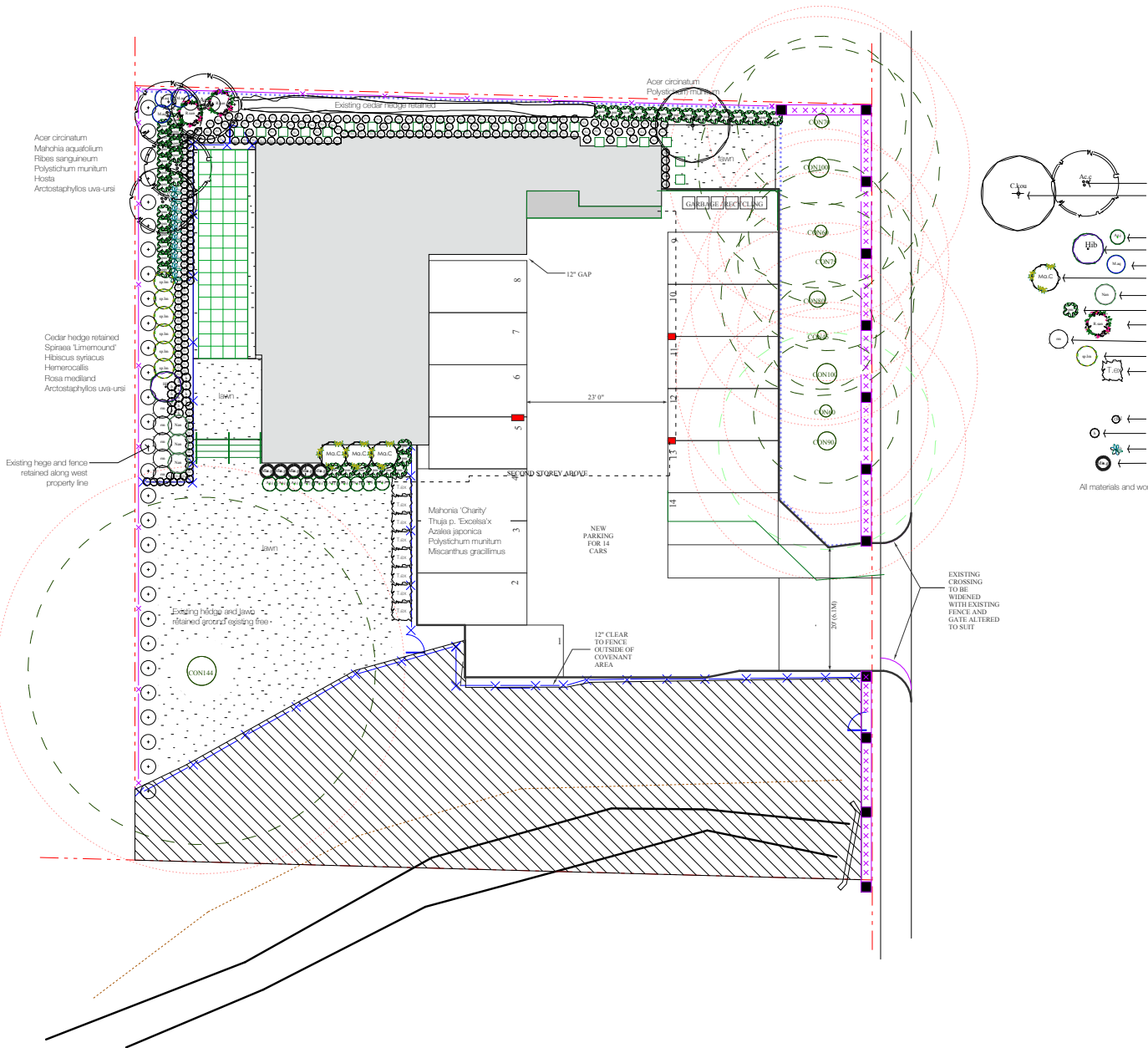
Drawing
PLANTING PLAN

All other dimensions shall refer to metric units unless otherwise specified.
Dimensions are rounded to the nearest millimetre or as indicated on drawings.
The contractor shall verify the accuracy of all dimensions and report any discrepancies to the architect immediately.
The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
The contractor shall be responsible for obtaining all necessary materials and labor for the project.

Issue 12 Oct. 2018 (DP submission)
21 Nov. 2018 (DP re-submission)
24 Apr. 2019 (DP re-submission)
18 Jul. 2019 (DP re-submission)
03 Sept. 2019 (DP re-submission)

Scale: 1/8" = 1'-0"
Date: 31 Oct. 2018
Sheet:

L1.2



Recommended Plant List				
Key	Qty	Botanical Name	Common Name	Size
Trees				
Ac	4	Acer circinatum	Vine maple	2.5 m. ht. 3 stems
C.kou	1	Cornus kousa	Kousa dogwood	#3.0 m. ht
Shrubs				
Az.j	10	Azalea japonica	Japanese azalea	x #2 pot
Hib	1	Hibiscus syriacus	Hibiscus / Rose of Sharon	#7 pot
M.aq	3	Mahonia aquifolium	Oregon grape	#3 pot
Ma.C	3	Mahonia x media 'Charity'	Charity Oregon grape	#3 pot
Nan	3	Nandina domestica 'Compacta'	Heavenly bamboo	#3 pot
pm	41	Polystichum munitum	Swordfern	#2 pot
R.san	2	Ribes sanguineum	Red flowering currant	#2 pot
rm	5	Rosa mediland vars.	landscape rose	#2 pot
sp.im	6	Spiraea 'Limemound'	Limemound spiraea	#2 pot
T.ex	10	Thuja plicata. 'Excelsa'	Excelsa red cedar	2.5 m. ht.
Groundcovers and Perennials				
ac	257	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot
h	13	Hemerocallis	daylily	#1 pot
H.ba	10	Hosta blue angel	Hosta 'Blue Angel'	#1 pot
Mis.g	5	Miscanthus sinensis 'Gracillimus'	maiden grass	#1 pot

All materials and workmanship to Canadian Landscape Standard, latest edition

EXISTING CROSSING TO BE WIDENED WITH EXISTING FENCE AND GATE ALTERED TO SUIT

NEW PARKING FOR 14 CARS

12" CLEAR TO FENCE OUTSIDE OF COVENANT AREA

Existing 'Himal' and 'Limo' retained ground existing fence

Acer circinatum
Mahonia aquifolium
Ribes sanguineum
Polystichum munitum
Hosta
Arctostaphylos uva-ursi

Cedar hedge retained
Spiraea 'Limemound'
Hibiscus syriacus
Hemerocallis
Rosa mediland
Arctostaphylos uva-ursi

Mahonia 'Charity'
Thuja p. 'Excelsa' x
Azalea japonica
Polystichum munitum
Miscanthus gracillimus

CON144



DAMON ORIENTE LTD

LANDSCAPE ARCHITECTS

#306 - 4664 West 10th Ave.
Vancouver, BC, Canada
V6R 2H5
tel: 604-222-7200
fax: 604-222-7212
d@damonoriente.net
www.damonoriente.ca

Project
KHALSA DAY CARE

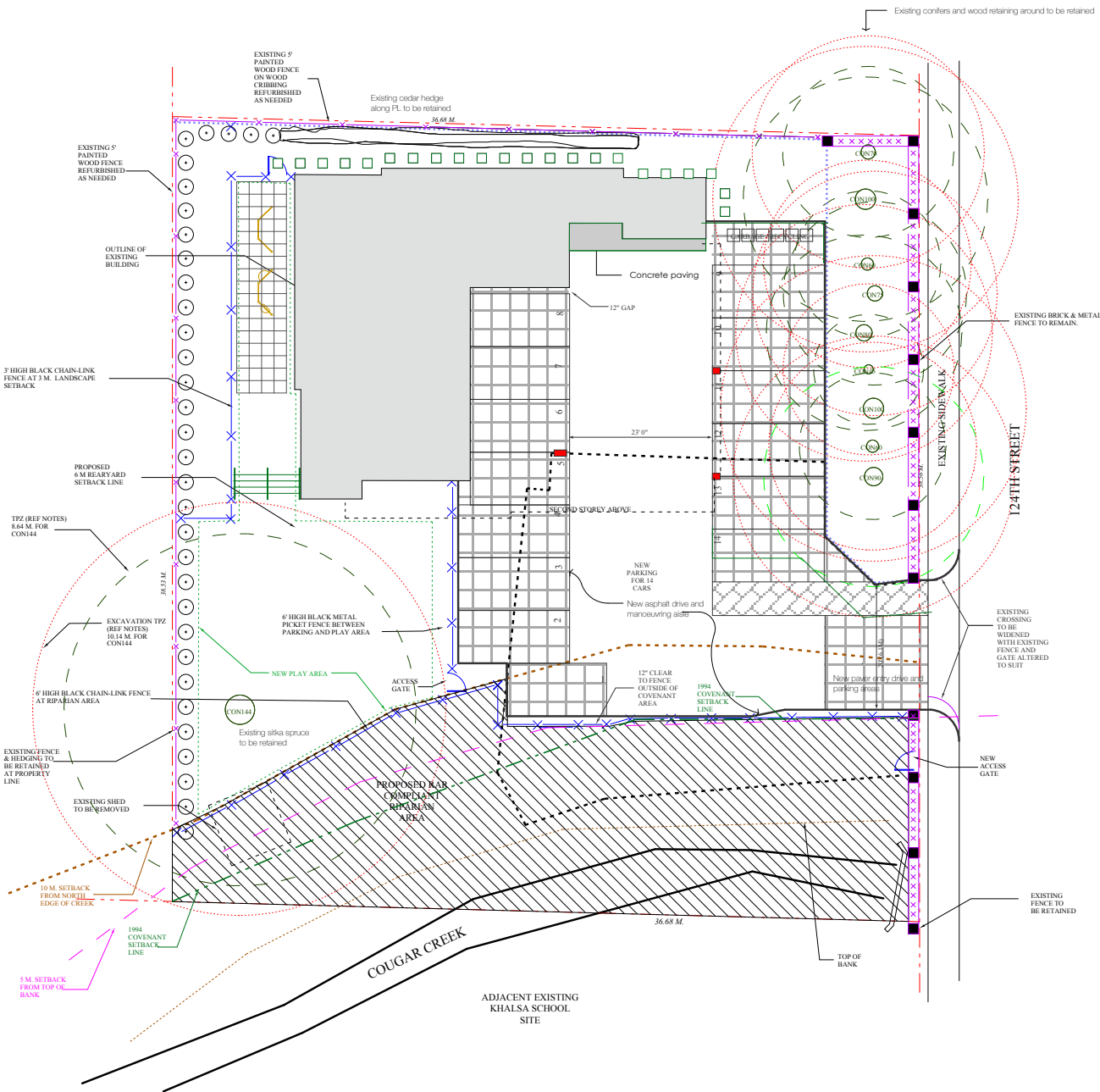
6999 - 124th St Surrey BC

Drawing
LANDSCAPE LAYOUT

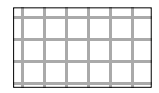
Issue 12 Oct. 2018 (DP submission)
21 Nov. 2018 (DP re-submission)
24 Apr. 2019 (DP re-submission)
18 Jul. 2019 (DP re-submission)
03 Sept. 2019 (DP re-submission)

Scale: 1/8" = 1'-0"
Date: 31 Oct. 2018
Sheet:

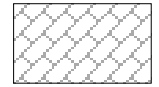
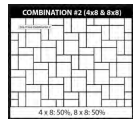
L1.1



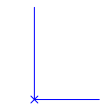
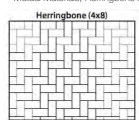
General Material Notes



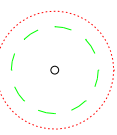
Indicates area of permeable Eco-Phora unit pavers on sand
Mutual Materials, Combination 2 Pattern, charcoal blend



Indicates area of permeable Eco-Phora unit pavers on sand
Mutual Materials, Herringbone Pattern, harvest blend

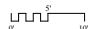
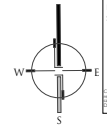


Indicates line of black chain link fence, 3' or 6' ht as indicated



Indicates existing tree to be retained, with trunk and DBH, specified root protection zone (in green, long dash) and additional 1m excavation protection zone (in red, short dash)

0000 DWS IN METRES
ALL SPOT ELEVATIONS IN METRES





DAMON
ORIENTE
LTD

LANDSCAPE
ARCHITECTS

#306 - 4664 West 10th Ave.
Vancouver, BC, Canada
V6R 2H5

tel: 604-222-9200
fax: 604-222-9212
d.o@damonoriente.ca
www.damonoriente.ca

Project
KHALSA DAY CARE

6999 -124th St Surrey BC

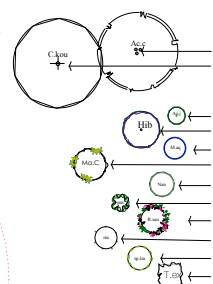
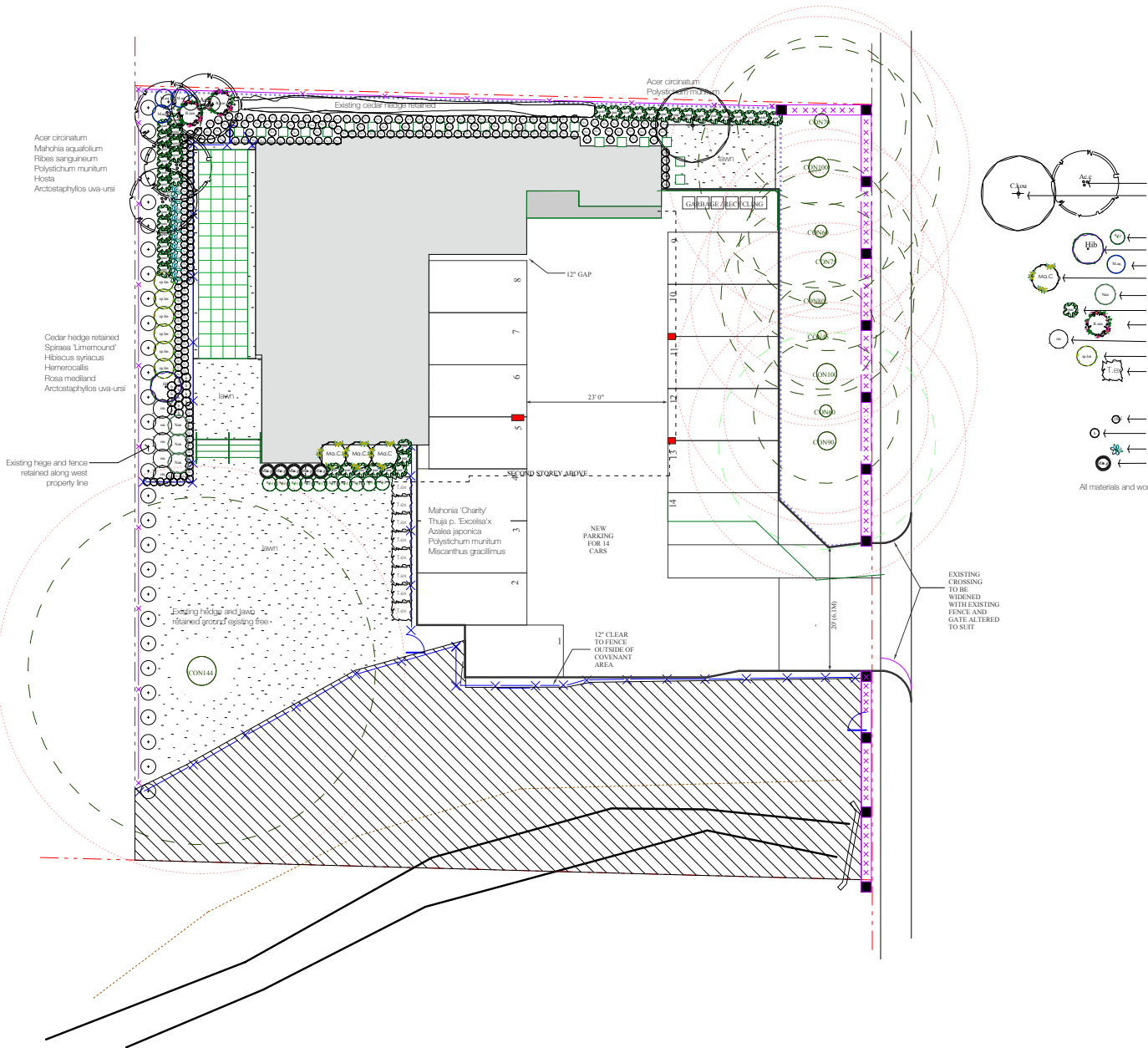
Drawing
PLANTING PLAN

All other dimensions shall refer to metric units unless otherwise specified.
Dimensions are rounded to the nearest millimetre or as indicated by the manufacturer of the material.
The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

Issue 12 Oct. 2018 (DP submission)
21 Nov. 2018 (LP submission)
24 Apr. 2019 (LP submission)
18 Jul. 2019 (LP submission)
03 Sept. 2019 (LP submission)

Scale: 1/8" = 1'-0"
Date: 31 Oct. 2018
Sheet:

L1.2



Recommended Plant List				
Key	Qty	Botanical Name	Common Name	Size
Trees				
Ac	4	Acer circinatum	Vine maple	2.5 m. ht. 3 stems
C.kou	1	Cornus kousa	Kousa dogwood	#3.0 m. ht
Shrubs				
Az.j	10	Azalea japonica	Japanese azalea	x #2 pot
Hib	1	Hibiscus syriacus	Hibiscus / Rose of Sharon	#7 pot
M.aq	3	Mahonia aquifolium	Oregon grape	#3 pot
Ma.C	3	Mahonia x media 'Charity'	Charity Oregon grape	#3 pot
Nan	3	Nandina domestica 'Compacta'	Heavenly bamboo	#3 pot
pm	41	Polyetichum munium	Swordfern	#2 pot
R.san	2	Ribes sanguineum	Red flowering currant	#2 pot
rm	5	Rosa mediland vars.	landscape rose	#2 pot
sp.im	6	Spiraea 'Limemound'	Limemound spiraea	#2 pot
T.ex	10	Thuja plicata. 'Excelsa'	Excelsa red cedar	2.5 m. ht.
Groundcovers and Perennials				
ac	257	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot
h	13	Hemerocallis	daylily	#1 pot
H.ba	10	Hosta blue angel	Hosta 'Blue Angel'	#1 pot
Mis.g	5	Miscanthus sinensis 'Gracillimus'	maiden grass	#1 pot

All materials and workmanship to Canadian Landscape Standard, latest edition

TO: **Manager, Area Planning & Development
- South Surrey Division
Planning and Development Department**

FROM: **Development Services Manager, Engineering Department**

DATE: **June 11, 2019** PROJECT FILE: **7817-0490-00**

RE: **Engineering Requirements
Location: 6999 124 Street**

REZONE

Works and Services

- construct west half of 124 Street for the site frontage;
- provide onsite stormwater detention and low impact development features;
- install water, sanitary and storm sewer service connections.

A Servicing Agreement is required prior to Rezone.

DEVELOPMENT PERMIT/DEVELOPMENT VARIANCE PERMIT

The site and Cougar Creek area design elements are to provide unobstructed City access to the drainage infrastructure within the existing Statutory Right of Way on the site.



Tommy Buchmann, P.Eng.
Development Services Manager

KMH

Tree Preservation Summary

Surrey Project No: 17-0490-00


Address: 6999 - 124 Street, Surrey

Registered Arborist: Vanessa Melney

On-Site Trees	Number of Trees
Protected Trees Identified (on-site and shared trees, including trees within boulevards and proposed streets and lanes, but excluding trees in proposed open space or riparian areas)	10
Protected Trees to be Removed	0
Protected Trees to be Retained (excluding trees within proposed open space or riparian areas)	10
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	0
Replacement Trees Proposed	TBD
Replacement Trees in Deficit	TBD
Protected Trees to be Retained in Proposed [Open Space / Riparian Areas]	NA

Off-Site Trees	Number of Trees
Protected Off-Site Trees to be Removed	0
Total Replacement Trees Required: - Alder & Cottonwood Trees Requiring 1 to 1 Replacement Ratio 0 X one (1) = 0 - All other Trees Requiring 2 to 1 Replacement Ratio 0 X two (2) = 0	NA
Replacement Trees Proposed	NA
Replacement Trees in Deficit	NA

Summary report and plan prepared and submitted by: Mike Fadum and Associates Ltd.

Signature of Arborist: 	Date: April 29, 2019
--	----------------------



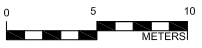
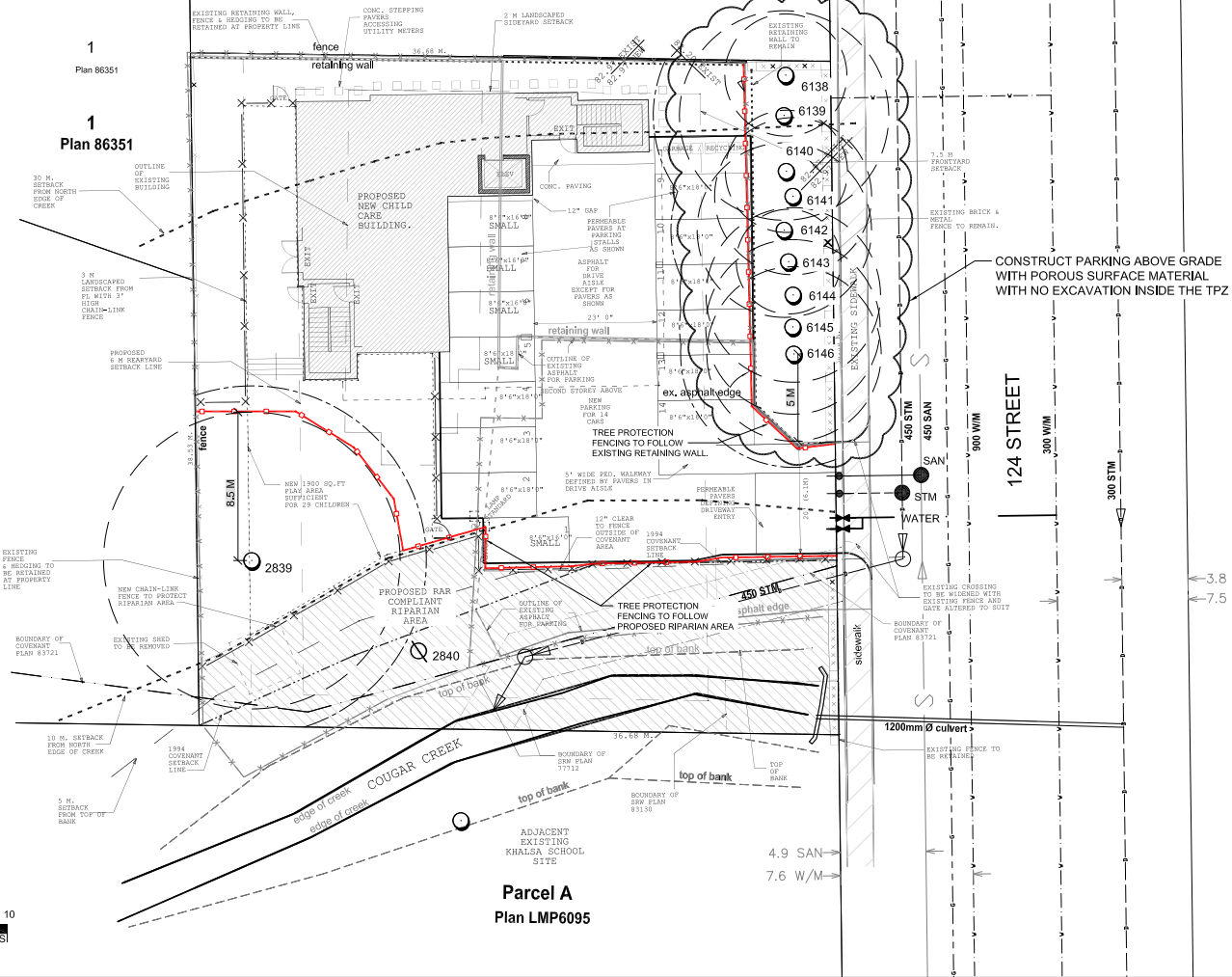


3
Plan 83719

1
Plan 86351

1
Plan 86351

Parcel A
Plan LMP6095



LEGEND

- TREE TO BE RETAINED
- TREE TO BE RETAINED AND ASSESSED BY SURREY'S PRC.
- MINIMUM NO DISTURBANCE ZONE
- 1.5m EXCAVATION OFFSET
- TREE PROTECTION FENCING

NO.	DATE	BY	REVISION
1	SEPT25/17	MK	REVISED SITE PLAN
2	DEC08/17	SL	GRADING PLAN
3	OCT22/18	MK	REVISED SITE PLAN
4	NOV23/18	MK	REVISED SITE PLAN
5	APR26/18	MK	REVISED SITE PLAN

MIKE FADUM AND ASSOCIATES LTD.
VEGETATION CONSULTANTS

#105, 8277 129 SL
Surrey, British Columbia
V3W 0A6
Ph: (778) 593-0300
Fax: (778) 593-0302
Mobile: (604) 240-0309
Email: mfadum@fadum.ca

© Copyright Reserved.
This drawing and design is the property of Mike Fadum and Associates Ltd. and may not be reproduced or used for other projects without their permission.

PROJECT TITLE
KHALSA DAYCARE
6999 124 STREET
SURREY, B.C.

SHEET TITLE		DRAWN	
T1 - TREE PROTECTION AND PRESERVATION PLAN		MK	
CLIENT		SCALE AS SHOWN	
		DATE	
		OCTOBER 22, 2018	

T-1
SHEET 1 OF 1

(the "City")

DEVELOPMENT VARIANCE PERMIT

NO.: 7917-0490-00

Issued To:

(the "Owner")

Address of Owner:

1. This development variance permit is issued subject to compliance by the Owner with all statutes, by-laws, orders, regulations or agreements, except as specifically varied by this development variance permit.
2. This development variance permit applies to that real property including land with or without improvements located within the City of Surrey, with the legal description and civic address as follows:

Parcel Identifier: 015-329-143

Lot 4 Section 18 Township 2 New Westminster District Plan 83719

6999 - 124 Street

(the "Land")

3. (a) As the legal description of the Land is to change, the City Clerk is directed to insert the new legal description for the Land once title(s) has/have been issued, as follows:

Parcel Identifier:

4. Surrey Zoning By-law, 1993, No. 12000, as amended is varied as follows:
 - (a) In Subsection B.1 of Part 7A "Streamside Protection," the minimum streamside setback for a Class A channelized stream is reduced from 30 metres (98 ft.) to 5 metres (16 ft.).

5. This development variance permit applies to only that portion of the buildings and structures on the Land shown on Schedule A which is attached hereto and forms part of this development variance permit. This development variance permit does not apply to additions to, or replacement of, any of the existing buildings shown on attached Schedule A, which is attached hereto and forms part of this development variance permit.
6. The Land shall be developed strictly in accordance with the terms and conditions and provisions of this development variance permit.
7. This development variance permit shall lapse if the Owner does not substantially start any construction with respect to which this development variance permit is issued, within two (2) years after the date this development variance permit is issued.
8. The terms of this development variance permit or any amendment to it, are binding on all persons who acquire an interest in the Land.
9. This development variance permit is not a building permit.

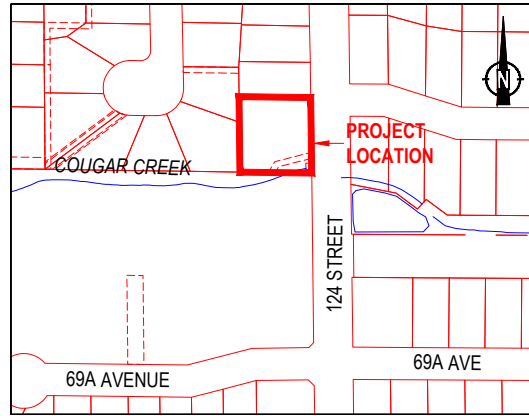
AUTHORIZING RESOLUTION PASSED BY THE COUNCIL, THE DAY OF , 20 .
ISSUED THIS DAY OF , 20 .

Mayor – Doug McCallum

City Clerk – Jennifer Ficocelli

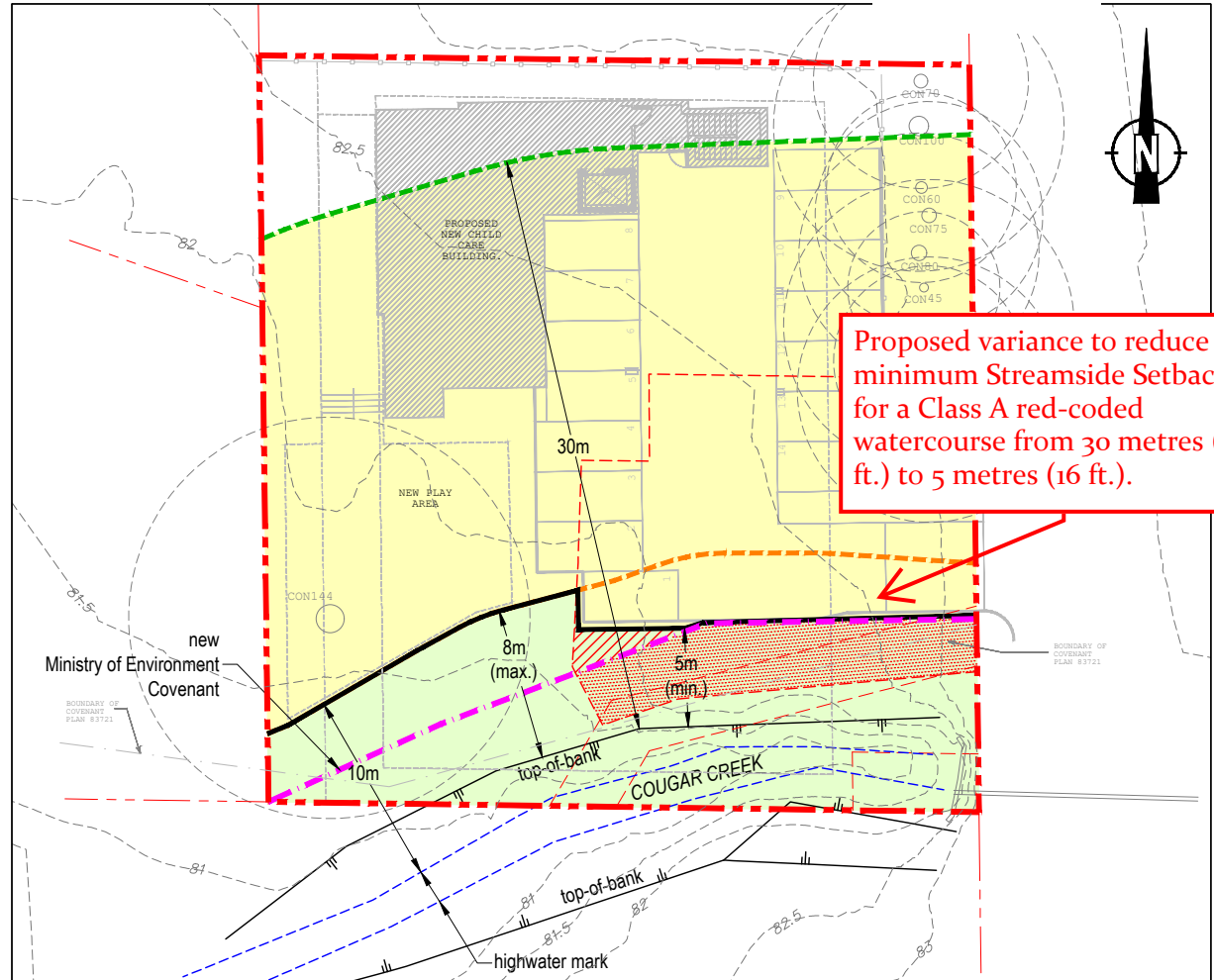
LOCATION

SCALE 1:2500

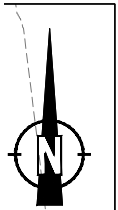


PLAN

SCALE 1:250



SCHEDULE A



Proposed variance to reduce the minimum Streamside Setback for a Class A red-coded watercourse from 30 metres (100 ft.) to 5 metres (16 ft.).

LEGEND	
	Property Line
	Bylaw Setback
	Proposed Setback
	RAR SPEA Boundary
	Ministry of Environment Covenant
	Existing Asphalt Pavement
	Encroachment Area (894m ²)
	Proposed Riparian Covenant Area (324m ²)
	Paved, within MoE Covenant (66m ²)
	Paved, outside MoE Covenant (9m ²)

REFERENCE DRAWINGS

1. Email: 14914-DP1.01-19.06.05.dwg, Received June 12, 2019; M Saar Architecture.
2. Email: NEW_6013-TP2-SENT-25Feb2019.dwg, Received April 23, 2019; M Saar Architecture.
3. File No. 6013-TP. "Topographic Plan of Lot 4, Explanatory Plan 16243, Lot 6, Section 18, Township 2, NWD, Plan 83719". July 20, 2016. Cameron Land Surveying Ltd.
4. 2018 Legal Base from City of Surrey.
5. 2013 Contours from City of Surrey.

KHALSA DAYCARE

6999 124 STREET
Surrey, BC



envirowest consultants inc.

Suite 101 - 1515 Broadway Street
Port Coquitlam, British Columbia
Canada V3C 6M2
office: 604-944-0502
facsimile: 604-944-0507

www.envirowest.ca

SETBACKS

DESIGN: TA	DRAWN: CEV	CHECKED: IWW	REVISION: 04	REVISION DATE: June 19, 2019
SCALE: As Shown			DRAWING NUMBER: 568-03-02	
DATE: September 08, 2017				

CITY OF SURREY

BY-LAW NO. _____

A by-law to amend "Surrey Zoning By-law, 1993, No. 12000,
Amendment By-law, 1994, No. 12369"

.....

THE CITY COUNCIL of the City of Surrey, in open meeting assembled, ENACTS AS FOLLOWS:

- 1. Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, 1994, No. 12369 is hereby amended as follows:

Part 2, Section B. Permitted Uses, Sub-Section 1. is deleted and replaced with the following:

"1. *Childcare centre* licensed to accommodate a maximum of 57 children, at any one time."

Part 2, Section D. Density, Sub-Section 1.(b) is deleted and replaced with the following:

"(b) For *building* construction within a *lot*, the *floor area ratio* shall not exceed 0.70."

Part 2, Section F. Yards and Setbacks, Sub-Section 1.(b) is deleted and replaced with the following:

"(b) Rear Yard: 6 metres [20 ft]."

Part 2, Section G. Height of Buildings, Sub-Section 1. is deleted and replaced with the following:

"1. Principal building: The *height* shall not exceed 10.8 metres [35 ft]."

2. This By-law shall be cited for purposes as "Surrey Zoning By-law, 1993, No. 12000, Amendment By-law, 1994, No. 12369, Amendment By-law, 2019, No. _____."

PASSED FIRST AND SECOND READING on the _____ th day of _____, 20 .

PUBLIC HEARING HELD thereon on the _____ th day of _____, 20 .

PASSED THIRD READING ON THE _____ th day of _____, 20 .

RECONSIDERED AND FINALLY ADOPTED, signed by the Mayor and Clerk, and sealed with the Corporate Seal on the _____ th day of _____, 20 .

_____ MAYOR

_____ CLERK